

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

NOT FOR CONSTRUCTION

2440 LOUISIANA
2440 Louisiana Blvd. NE
ALBUQUERQUE, NM 87110

URT REVIEW /
SITE PLAN FOR
BUILDING PERMIT

REVISIONS

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DRAWN BY: CTS
REVIEWED BY: SL
DATE: 04.07.2017
PROJECT NO: 14-0087

DRAWING NAME:
SITE DEVELOPMENT PLAN
SHEET NO:
01 OF 12

GENERAL SHEET NOTES

- A. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS AND COA ZONING CODE.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE, AND UTILITY INFORMATION.
- C. SIGNS: SEE BUILDING ELEVATIONS FOR DESCRIPTION OF SIGNAGE ON BUILDING.
- D. DIMENSIONS ARE TO FACE OF CURB, OR WALL OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- E. PEDESTRIAN ACCESS RAMP WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER COA STD DWGS. #242B.
- F. ALL CURBS TO BE DESIGNED AND BUILT TO ACCORDING TO THE COA STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHERE POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- G. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- H. LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- I. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- J. OWNER WILL BE RESPONSIBLE FOR THE PROPOSED/EXISTING LANDSCAPING IN THE RIGHT OF WAY.
- K. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGN WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THIS AREA.

SITE INFORMATION

LEGAL DESCRIPTION
TRACT: LOT 5-A-1
ZONING: SU-3 FOR MLI-UP

GROSS BUILDING AREA (GBA):
ORIGINALLY APPROVED SDP (2015)
BUILDING AREA- RETAIL: 14,067 SF
RESIDENTIAL: 9,709 SF

PROPOSED:
RETAIL: 10,042 SF
RESIDENTIAL: 11,337 SF
RESTAURANT: 4,229 SF

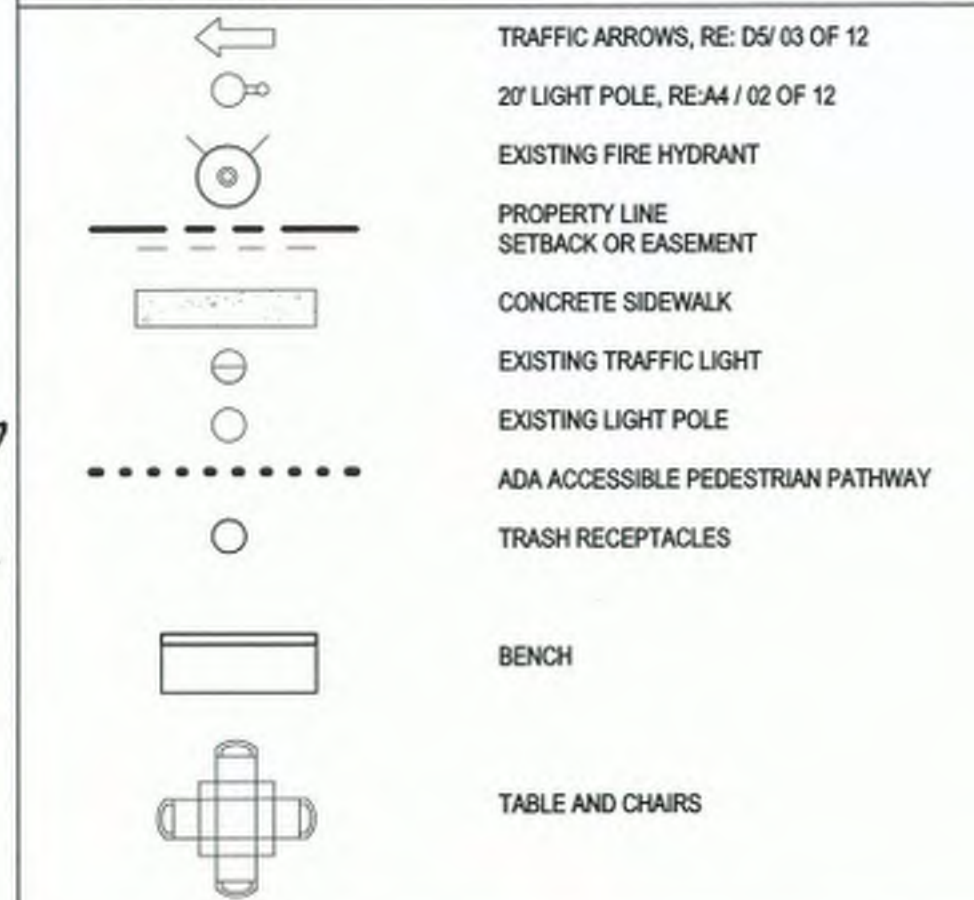
TOTAL SITE AREA: 52873.128 SF = 1.2138 ACRES
TOTAL F.A.R. (GBA/SITE AREA) = 0.51

BUILDING INFORMATION
TYPE: IB CONSTRUCTION
28,942 SF BUILDING
BUILDING SPRINKLER
BUILDING HEIGHT 34'-0"
PROVIDE 10' HIGH NUMERALS WITH 2' STROKE PREMISE ID @ STREET OF ADDRESS

SHEET KEYED NOTES

1. PAINTED PARKING STRIPING (4-INCH WIDE), COLOR: WHITE
2. PAINTED HANDICAP PARKING STRIPING, COLOR: BLUE
3. PAINTED A.D.A. PARKING SPACE PAVEMENT MARKING, RE: C3/ 02 OF 12.
4. CONCRETE ACCESSIBLE RAMP TYPE B WITH 1:12 MAXIMUM SLOPE AT RAMP AND 1:12 SLOPE AT RAMP FLARE. FINISH: HEAVY BROOM FINISH PERPENDICULAR TO SLOPE TYPICAL ON RAMP.
5. POLE MOUNTED ACCESSIBLE PARKING SIGNAGE, RE: C5/ 02 OF 12.
6. 6" CONCRETE CURB AND GUTTER, RE: CIVIL
7. CONCRETE SIDEWALK, RE: B3, B4, B5/ 02 OF 12
8. EXISTING RETAINING WALL TO REMAIN
9. EXTERIOR BOLLARD - 6 INCH DIAMETER, RE: C2/ 02 OF 12
10. CONCRETE APRON
11. LANDSCAPE AREA, RE: LANDSCAPE PLAN
12. NEW 20' LIGHT POLE
13. REFUSE ENCLOSURE, CMU WALL WITH STUCCO SYSTEM, COLOR: GREY, RE: A2, A3 & A4/ 02 OF 12
14. PROPERTY LINE
15. EXISTING CURB AND GUTTER TO REMAIN.
16. ROADWAY ARROW, RE: D2/ 02 OF 12
17. PAINTED CROSSWALK, RE: D1/ 02 OF 12
18. BIKE RACK, RE: D4/ 02 OF 12
19. MOTORCYCLE PARKING.
20. EXISTING SIDEWALK
21. ADA ACCESS AISLES SHALL BE LABELED, "NO PARKING" IN CAPITAL LETTERS, 1'-0" TALL AND 2' WIDE PLACED AT THE REAR OF THE SPACE.
22. DRY UTILITY EASEMENT
23. FIRE LANE STRIPING, NO PARKING FIRE LANE
24. EXISTING FIRE HYDRANT
25. NEW RETAINING WALL
26. CONCRETE STAIRS, RE: D3, 2 OF 12
27. EXISTING BUS STOP
28. EXISTING MONUMENT SIGN
29. EXISTING TRAFFIC LIGHT
30. EXISTING LIGHT POLE TO REMAIN
31. PROPOSED TRANSFORMER LOCATION.
32. EXISTING BUILDING
33. ELEVATOR
34. 6" STRIP OF CONTRASTING EDGING
35. EXISTING SIDEWALK RAMP.
36. EXISTING SHADE CANOPY TO REMAIN.
37. CONCRETE ACCESSIBLE RAMP TYPE A WITH 1:12 MAXIMUM SLOPE AT RAMP, HEAVY BROOM FINISH PERPENDICULAR TO SLOPE TYPICAL ON RAMP, RE: A1/ 02 OF 12
38. CONCRETE ACCESSIBLE RAMP TYPE C WITH 1:12 MAXIMUM SLOPE AT RAMP, HEAVY BROOM FINISH PERPENDICULAR TO SLOPE TYPICAL ON RAMP, RE: D2/ 02 OF 12
39. TRASH RECEPTICLES, TYP.
40. TABLE AND CHAIRS, TYP.
41. BENCH SEATING.
42. PARKING BUMPER, TYP.

LEGEND



PARKING INFORMATION

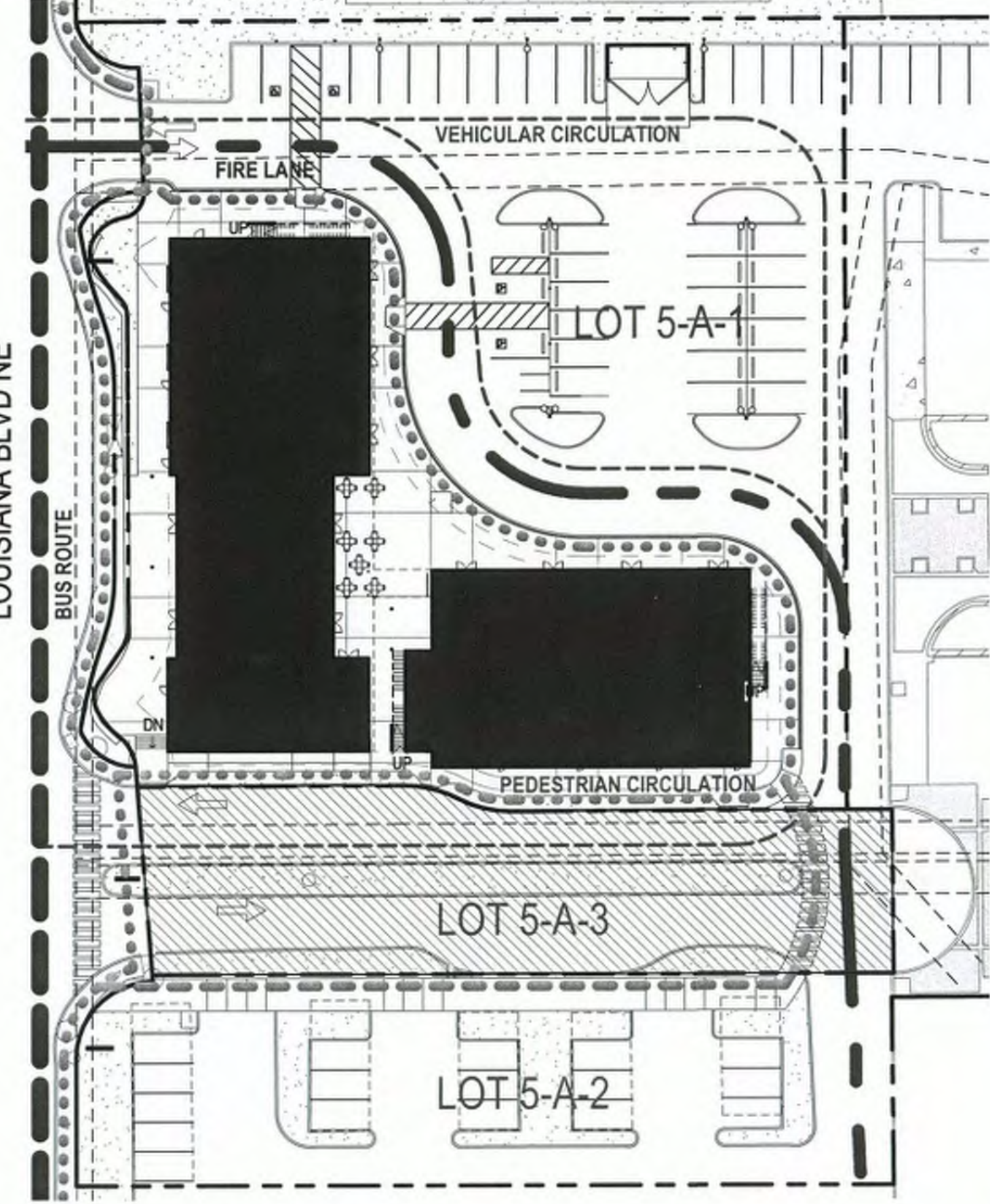
REQUIRED
28,352 SF BUILDING (RETAIL)
2:1000 SF (10,042/1000 = 11*2) = 22 SPACES
(RESTAURANT)
2:1000 SF (4,229/1000 = 5*2) = 10 SPACES
(HOUSING)
1 PER UNIT (10 UNITS* 2= 20) = 20 SPACES
TOTAL = 52 SPACES

51-75 PARKING SPACES = 4 HANDICAPPED SPACE (1 VAN)
51-75 PARKING SPACES = 4 MOTORCYCLE
1:20 AUTOMOBILE (44/20) = 3 BICYCLE

PROVIDED
SPACES PROVIDED: 53 SPACES (4 ACCESSIBLE)
4 MOTORCYCLE
3 BICYCLE



VICINITY MAP



(A1) CIRCULATION PLAN
1" = 40'-0"

PROJECT NUMBER: 1010042
APPLICATION NUMBER: 17 DRB-70120

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:
Raymond M. Wilk 5/3/17
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Wanda Cad 05-03-17
UTILITIES DIVISION DATE

Dan Dorval 5/3/17
PARKS AND RECREATION DEPARTMENT DATE

James D. Hight 5/3/2017
CIVIL ENGINEER DATE

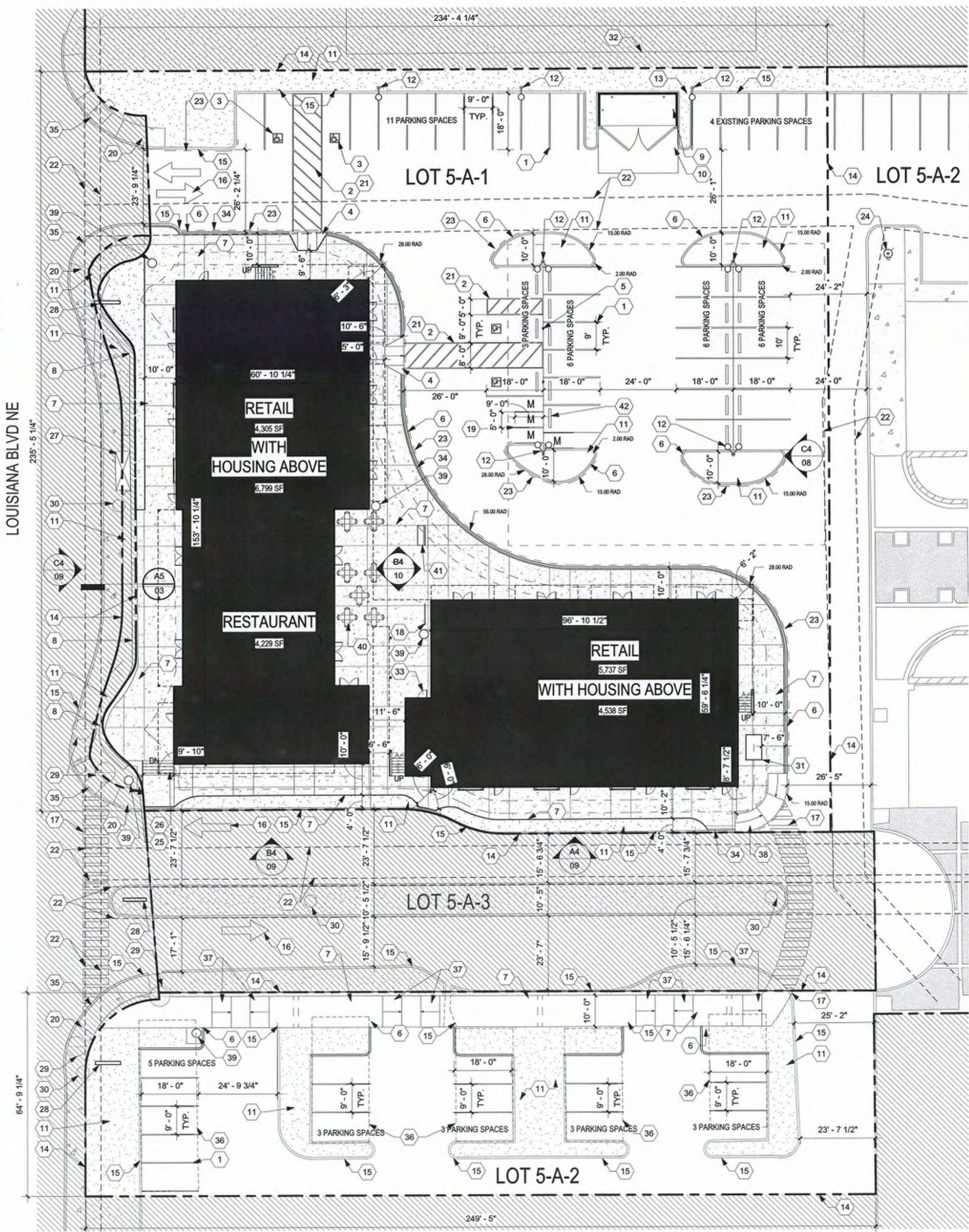
Carl Wilkins 4-25-17
SOLID WASTE MANAGEMENT DATE

[Signature] 5-25-17
FIRE MARSHALL DATE

[Signature] 5-25-17
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

TOTAL SUBDIVISION PARKING COUNT

| | | |
|------------------|--|--|
| LOT 5-A-1 | RETAIL 10,042 / 1000 = 11*2 = 22 SPACES REST. 4,229 / 1000 = 5*2 = 10 SPACES RES. 10 UNITS*2 = 20 SPACES TOTAL = 52 SPACES | LOT 6-A-1-C-1-A OFFICE 54,000 SF / 1000 = 54*2 = 108 SPACES REQUIRED = 108 SPACES PROVIDED = 108 SPACES |
| LOT 5-A-2 | BUS 52*0.10 = 5 SPACES REQUIRED = 5 SPACES PROVIDED = 5 SPACES | LOT 6-A-1-C-1-B OFFICE 5,015 SF / 1000 = 5.015*2 = 11 SPACES REQUIRED = 11 SPACES PROVIDED = 12 SPACES |
| LOT 5-A-3 | OFFICE 93,799 / 1000 = 93.80*2 = 188 SPACES BUS 93.80*0.10 = 9 SPACES TOTAL = 197 SPACES REQUIRED = 169 SPACES PROVIDED = 169 SPACES | TOTAL PARKING COUNT REQUIRED = 335 SPACES PROVIDED = 343 SPACES |



(A3) SITE PLAN
1" = 20'-0"

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|------------------|--|---|
| LOT 3-A-1 | OFFICE FOOTPRINT 126'-0" X 130'-0" = 16,380 SF 16,380 SF X 4 FLOORS = 65,520 SF TOTAL | OFFICE 65,520 / 1000 = 65.52*2 = 133 SPACES BUS 132*0.10 = 13 SPACES REQUIRED = 119 SPACES PROVIDED = 227 SPACES |
| LOT 2-A-1 | OFFICE FOOTPRINT 60'-0" X 120'-0" = 7,200 SF TOTAL | OFFICE 7,200 / 1000 = 7.2*2 = 15 SPACES REQUIRED = 15 SPACES PROVIDED = 41 SPACES |

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**URT REVIEW /
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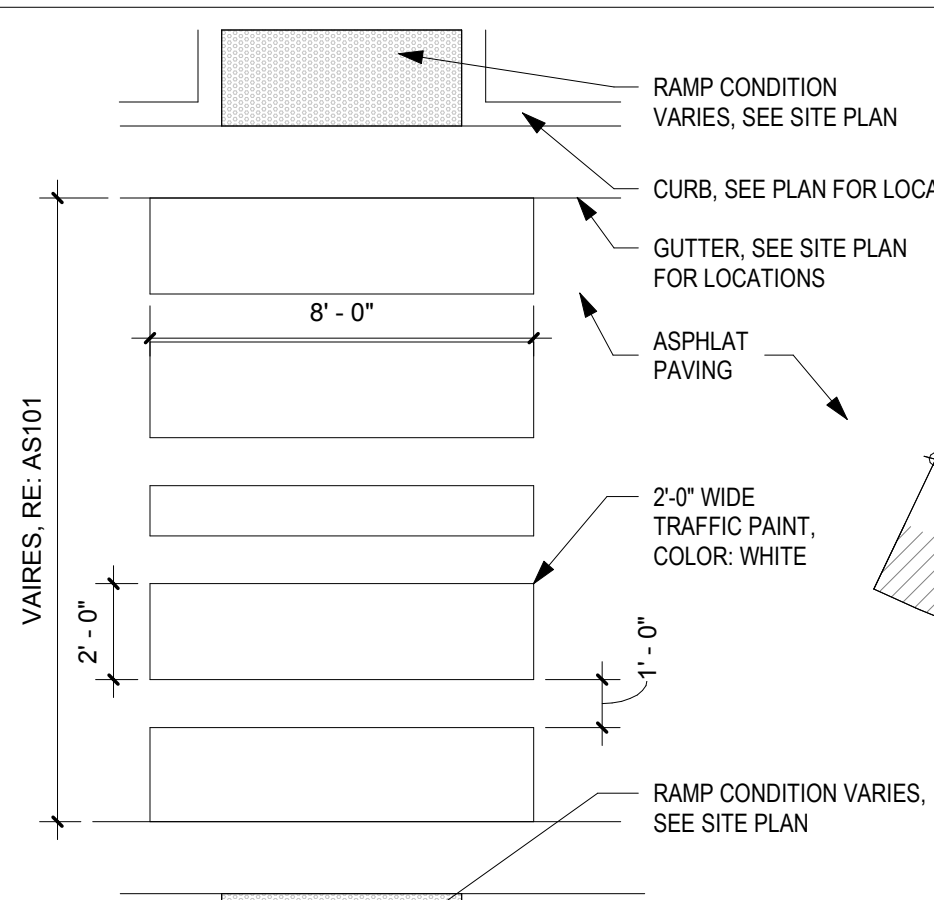
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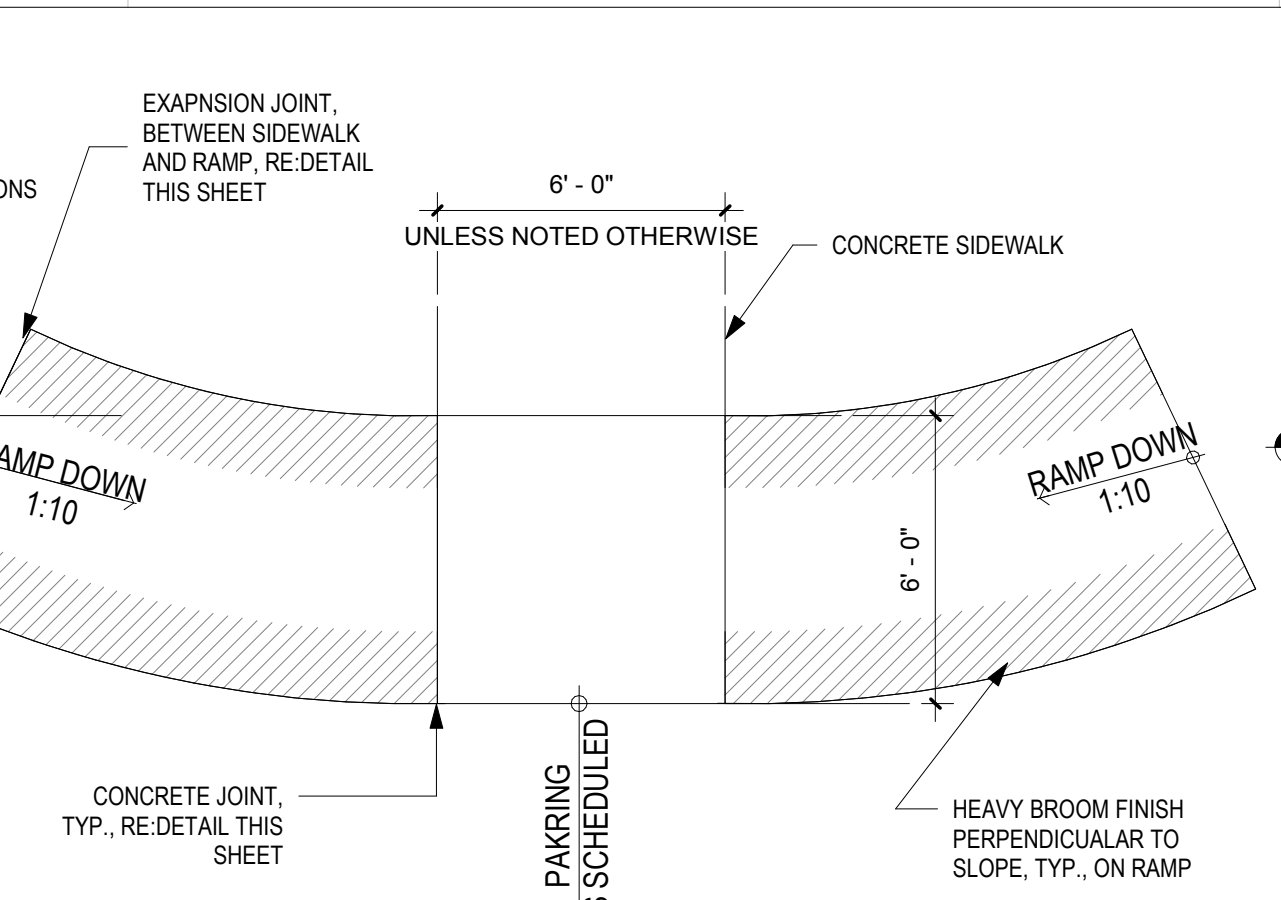
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**SITE SECTIONS
AND DETAILS**

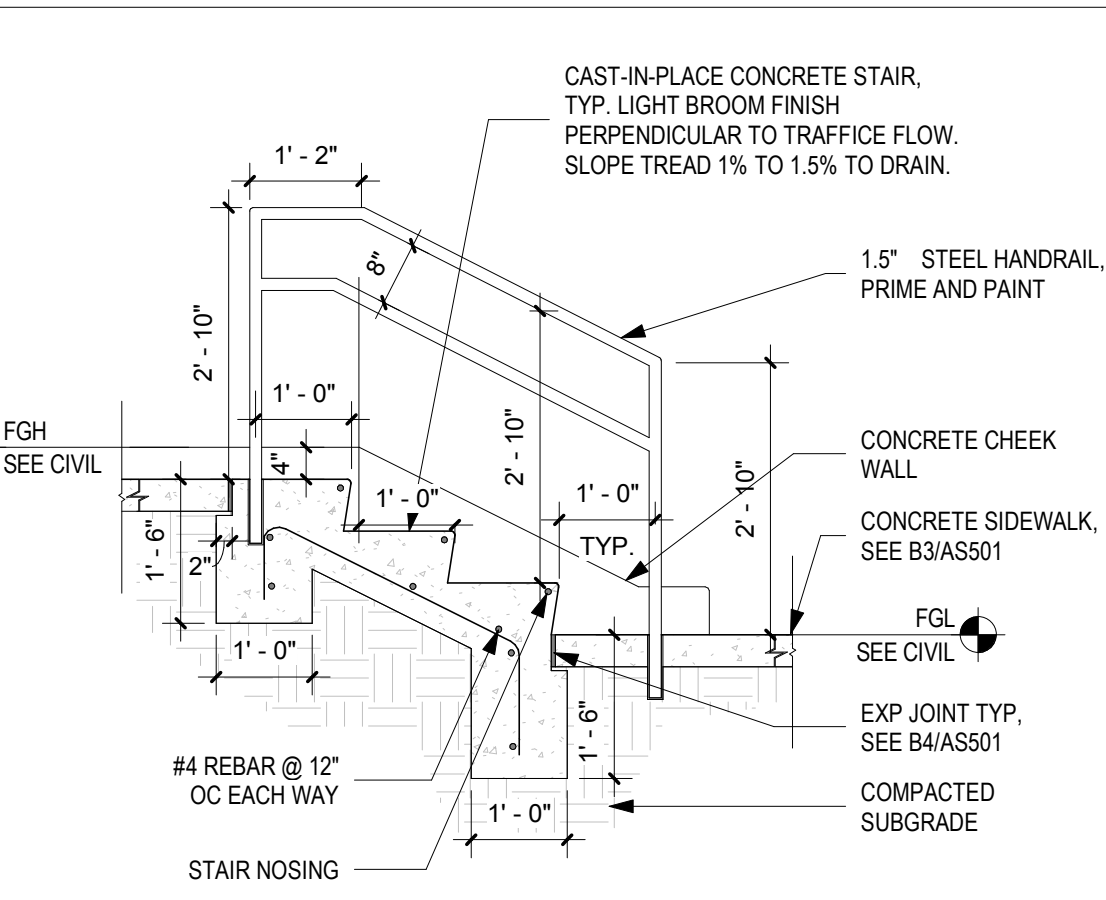
SHEET NO
02 OF 12



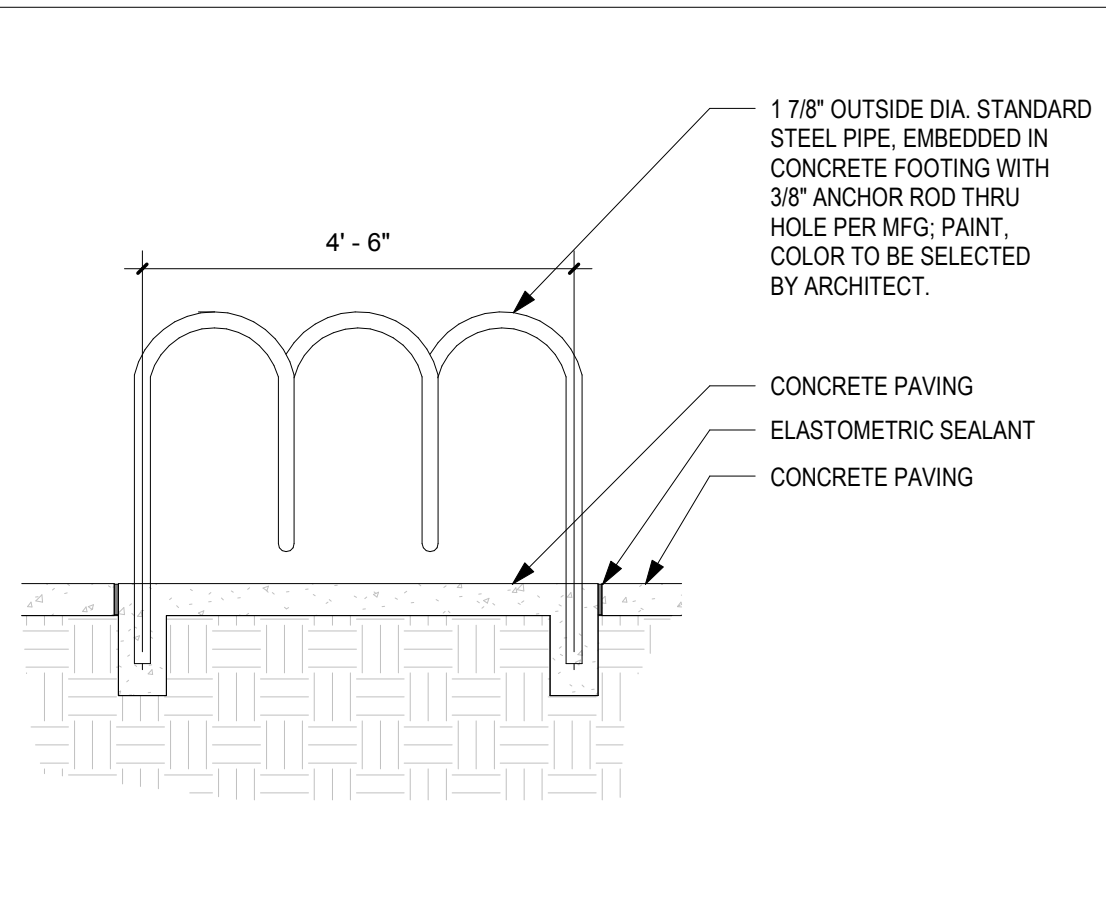
D1 CROSSWALK STRIPING
1/4" = 1'-0"



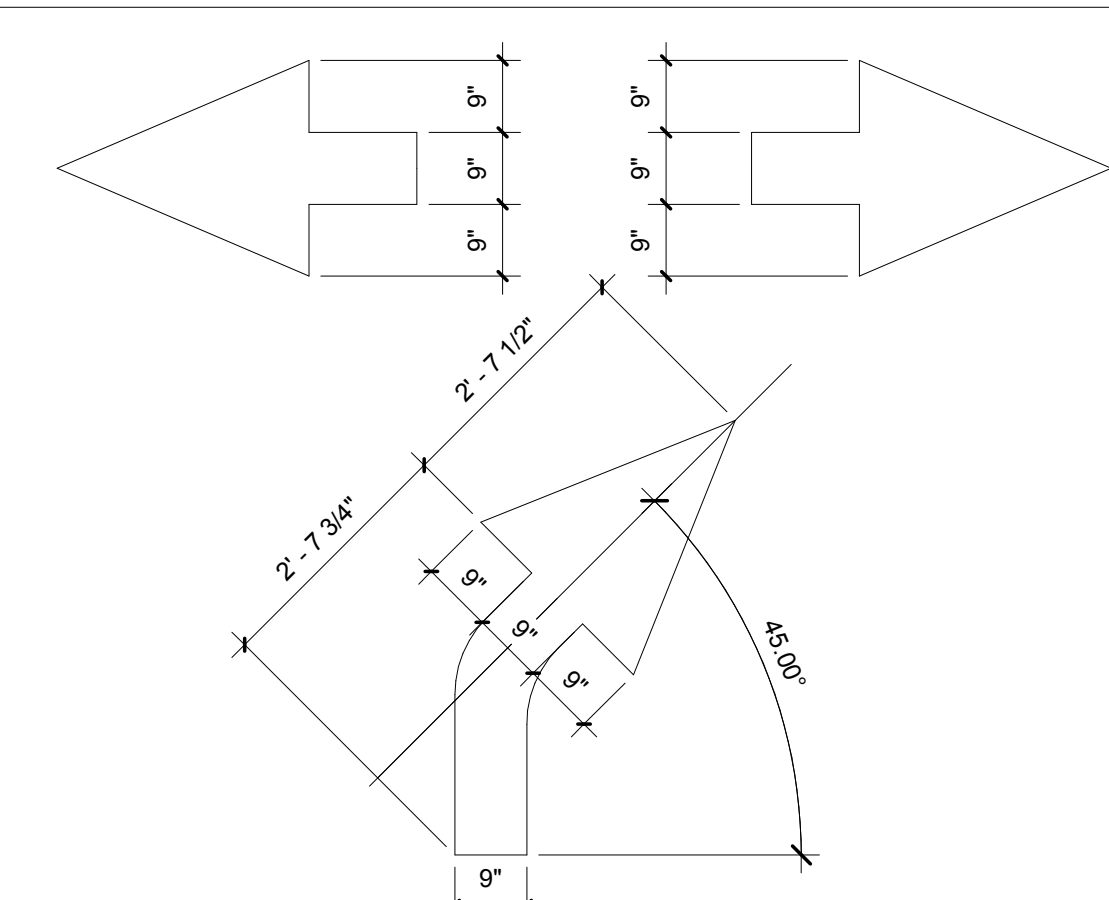
D2 ACCESSIBLE RAMP, TYPE C
1/4" = 1'-0"



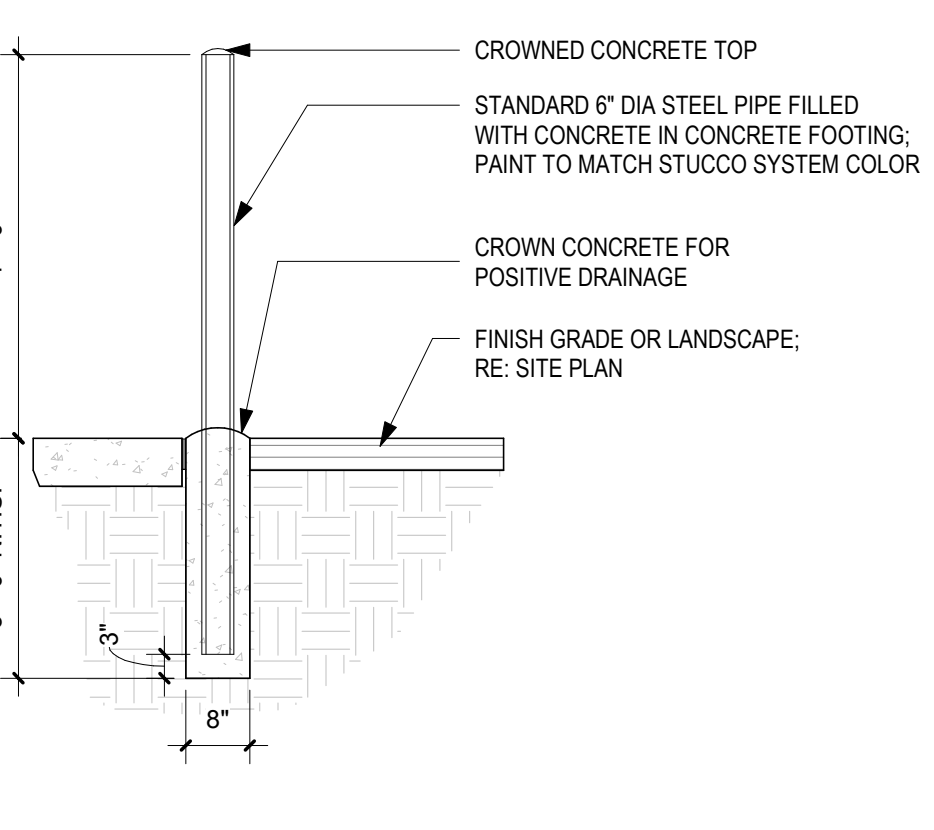
D3 CONCRETE STAIRS
1/2" = 1'-0"



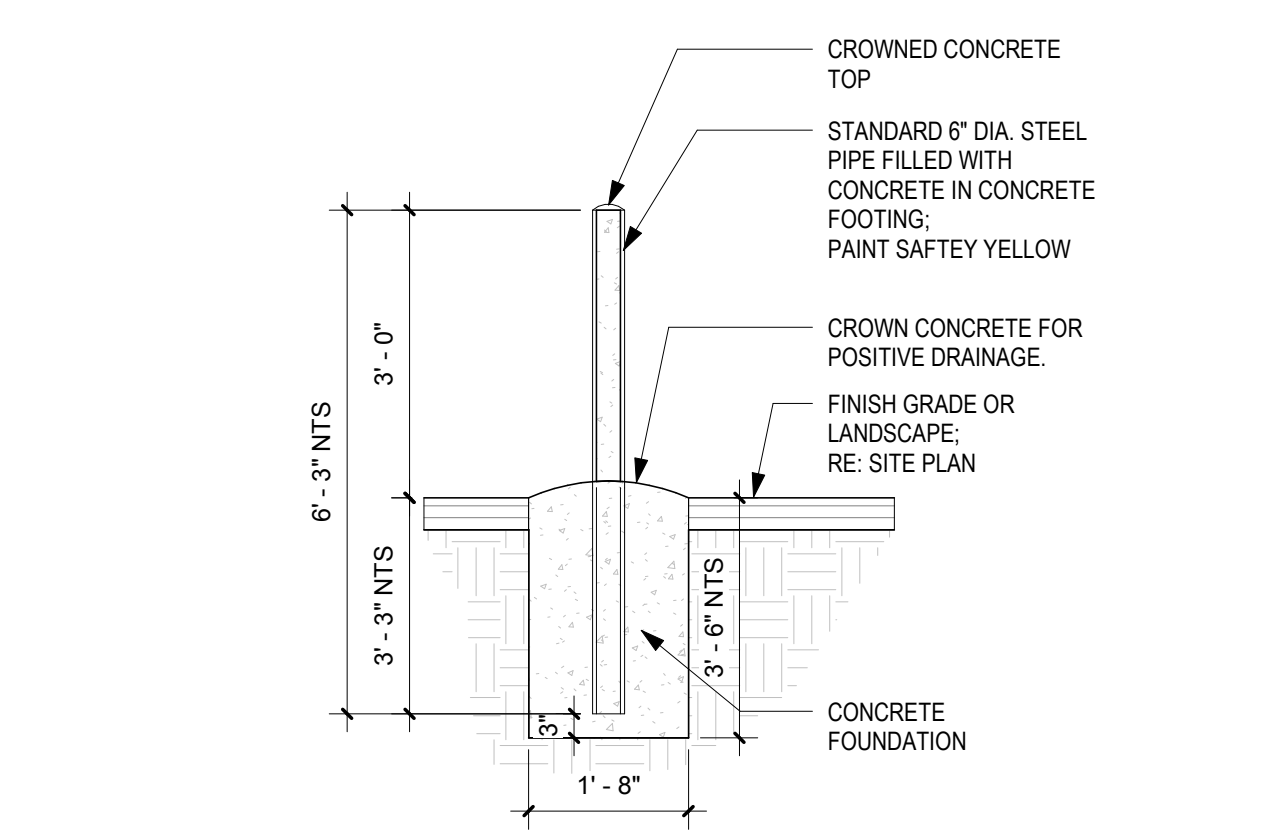
D4 BIKE RACK ELEVATIONS
1/2" = 1'-0"



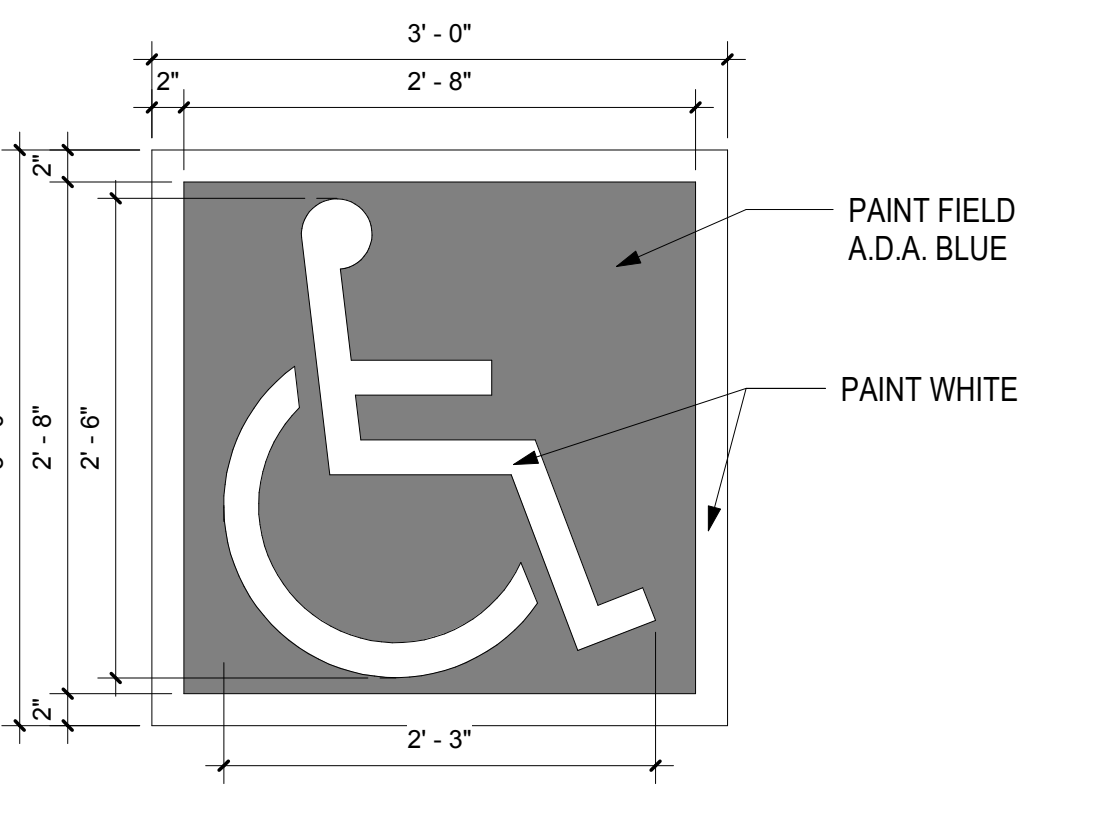
D5 DIRECTIONAL PAVEMENT ARROW
1/2" = 1'-0"



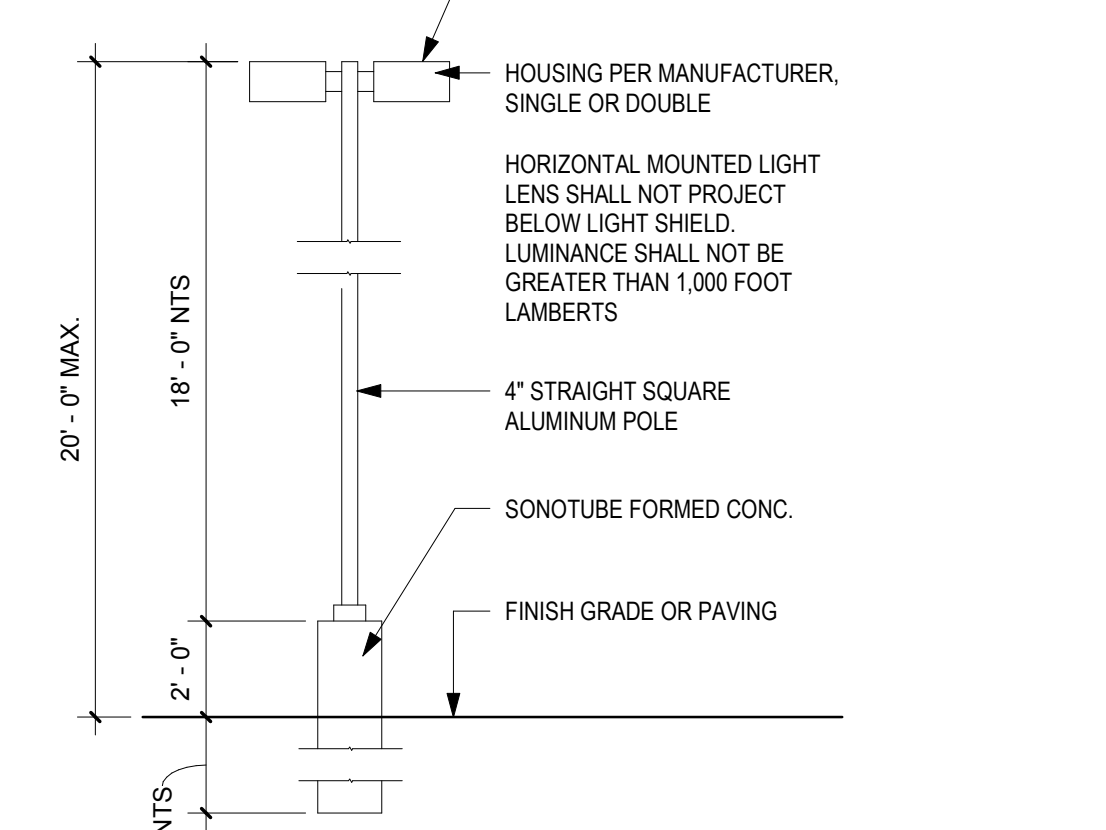
C1 TRASH ENCLOSURE GATE BOLLARD - 6\"/>



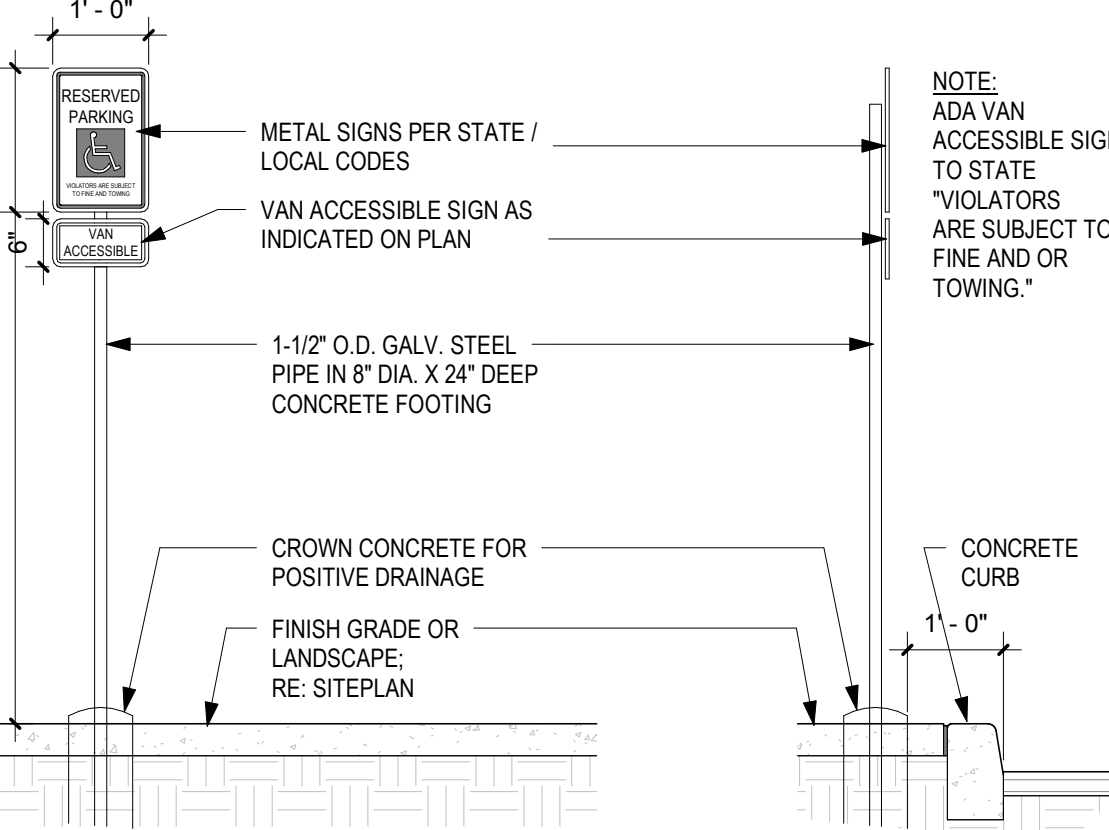
C2 BOLLARD - 6\"/>



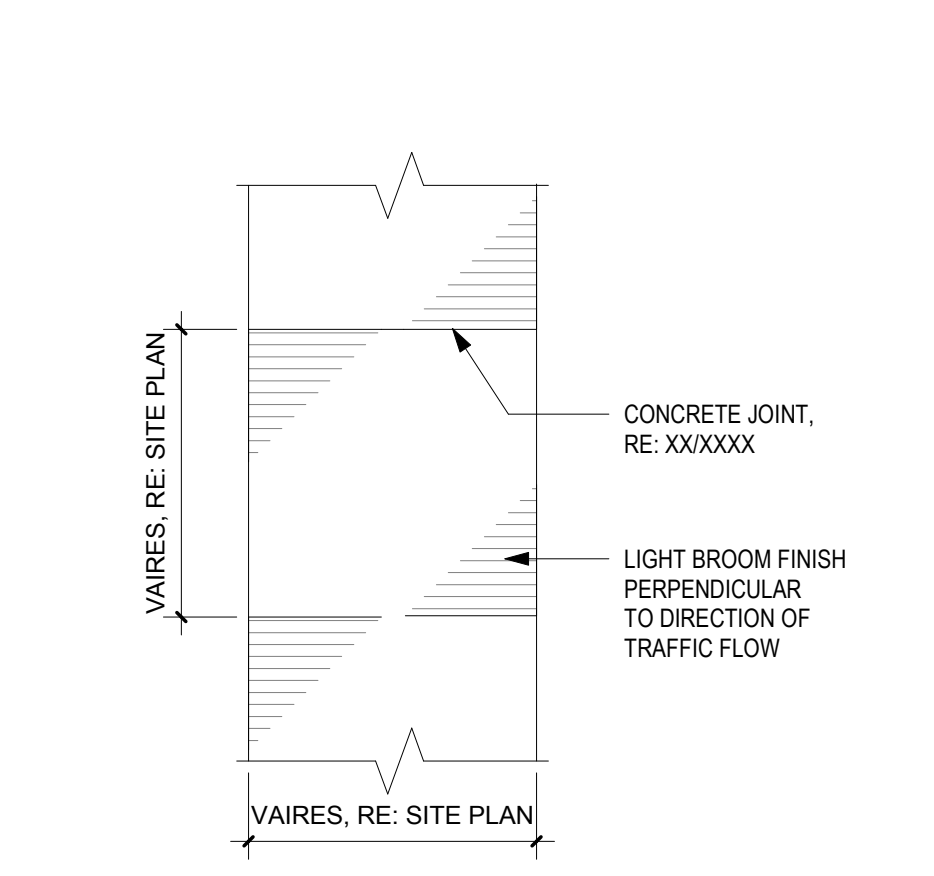
C3 A.D.A. PARKING SPACE PAVEMENT SIGNAGE
1" = 1'-0"



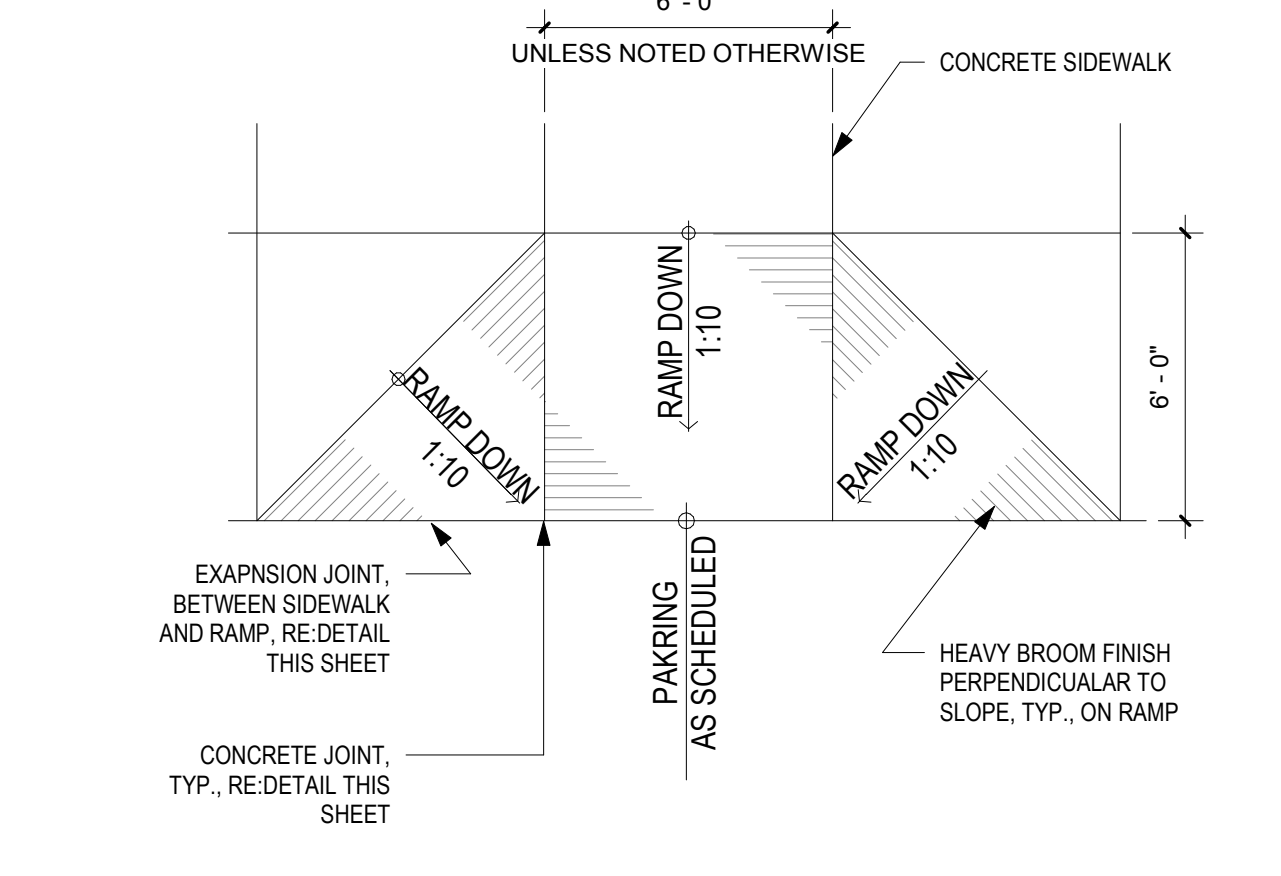
C4 PARKING LOT LIGHT POLE
1/4" = 1'-0"



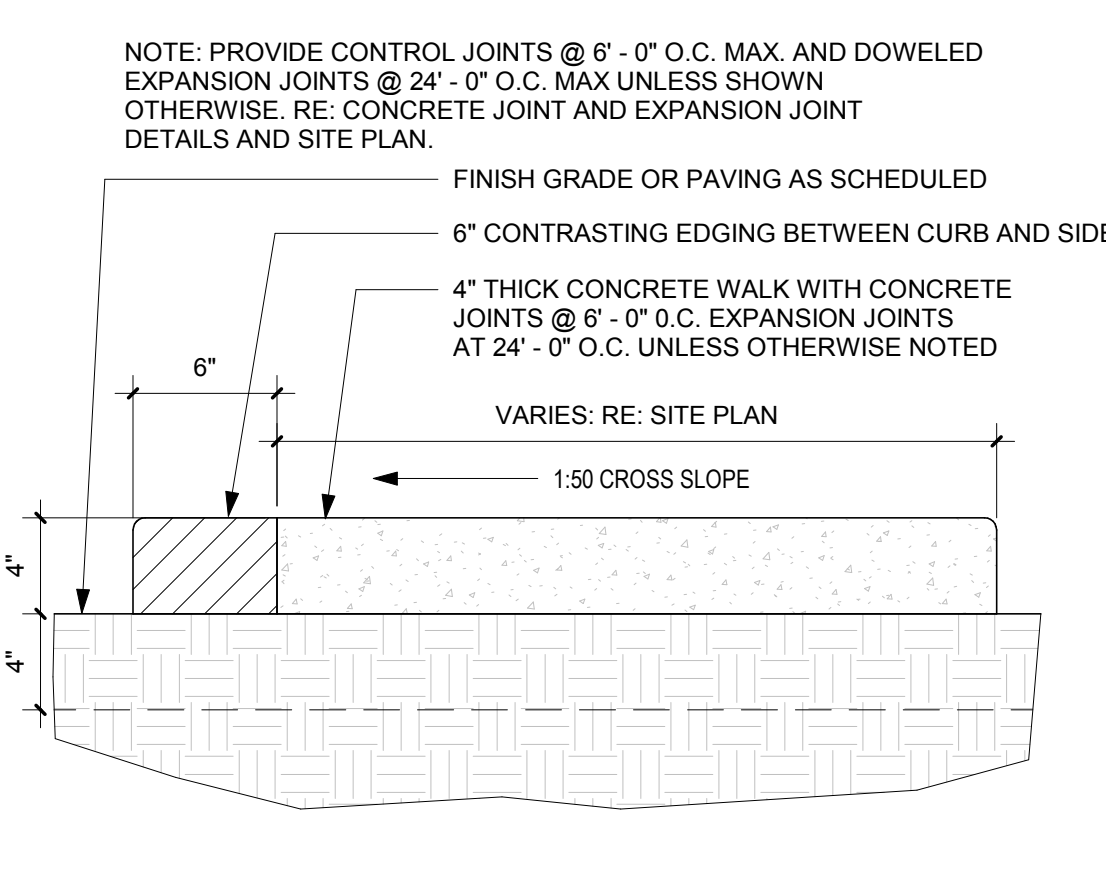
C5 POLE MOUNTED A.D.A. PARKING SIGN
1/2" = 1'-0"



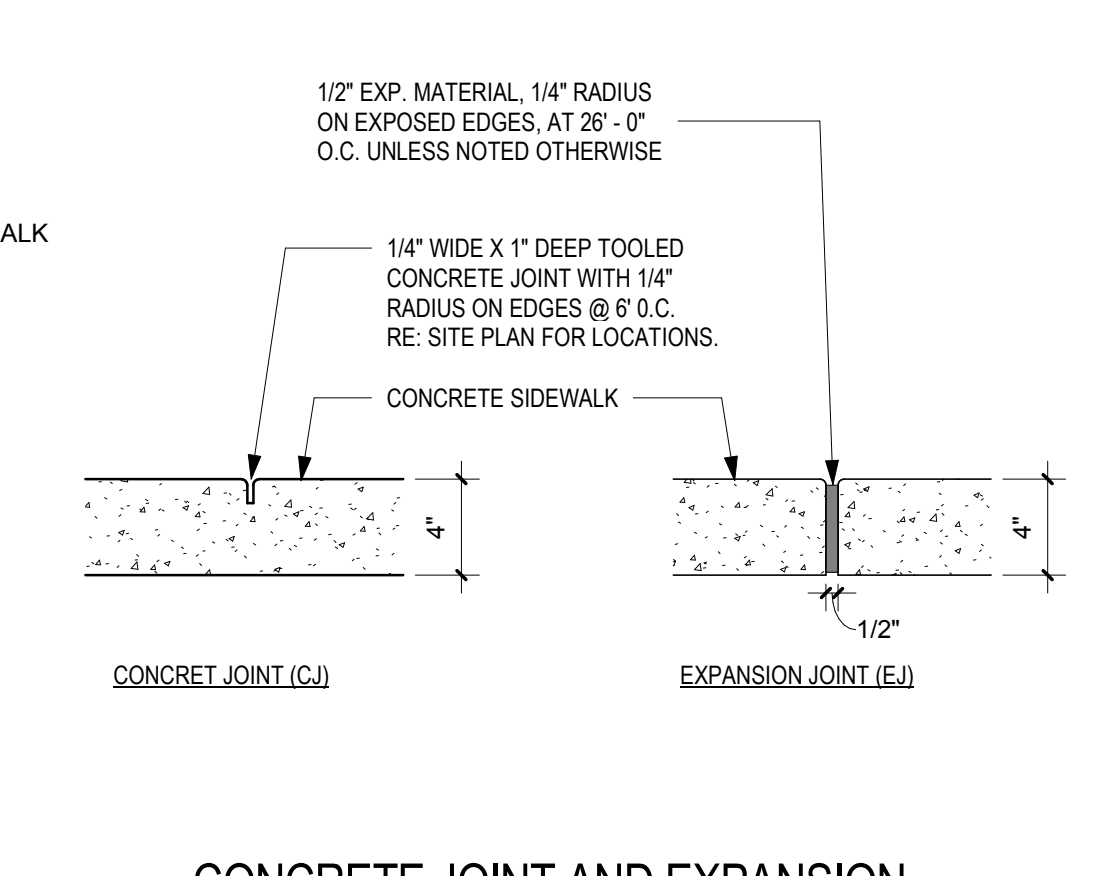
B1 CONCRETE WALK PLAN
1/4" = 1'-0"



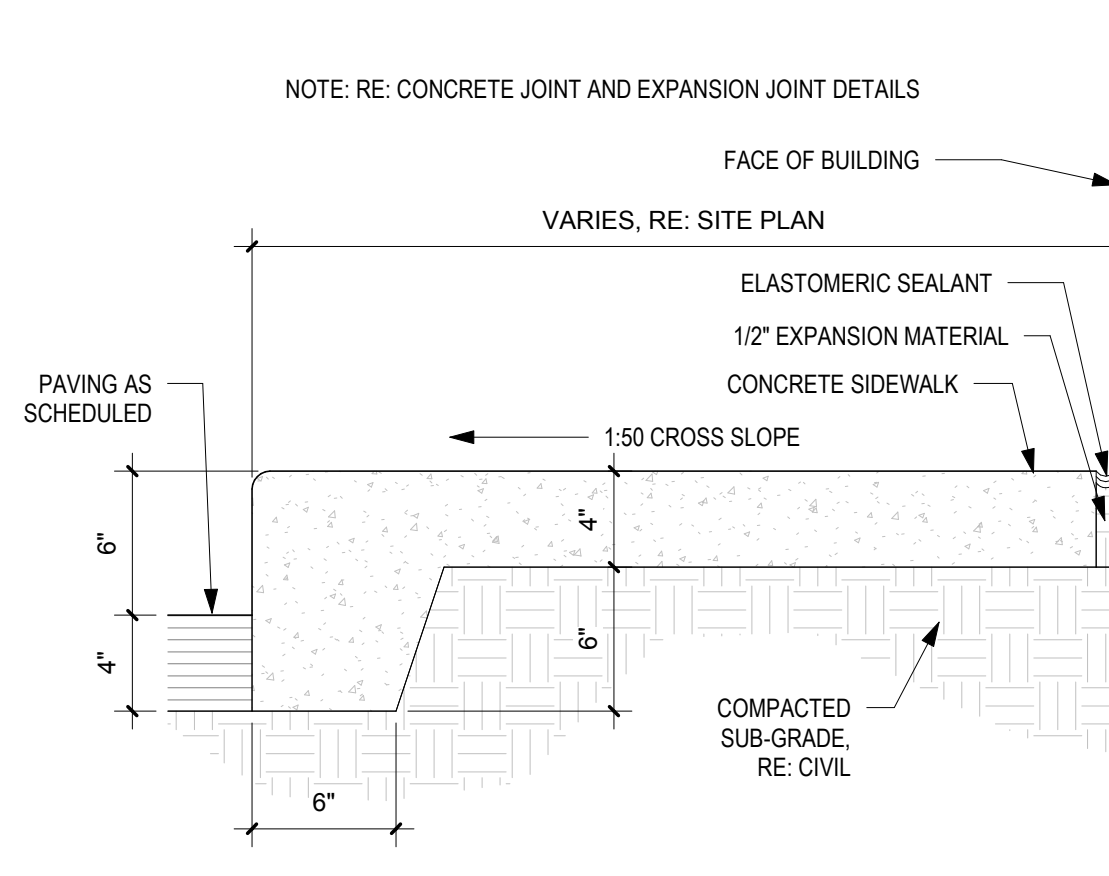
B2 ACCESSIBLE RAMP, TYPE B
1/4" = 1'-0"



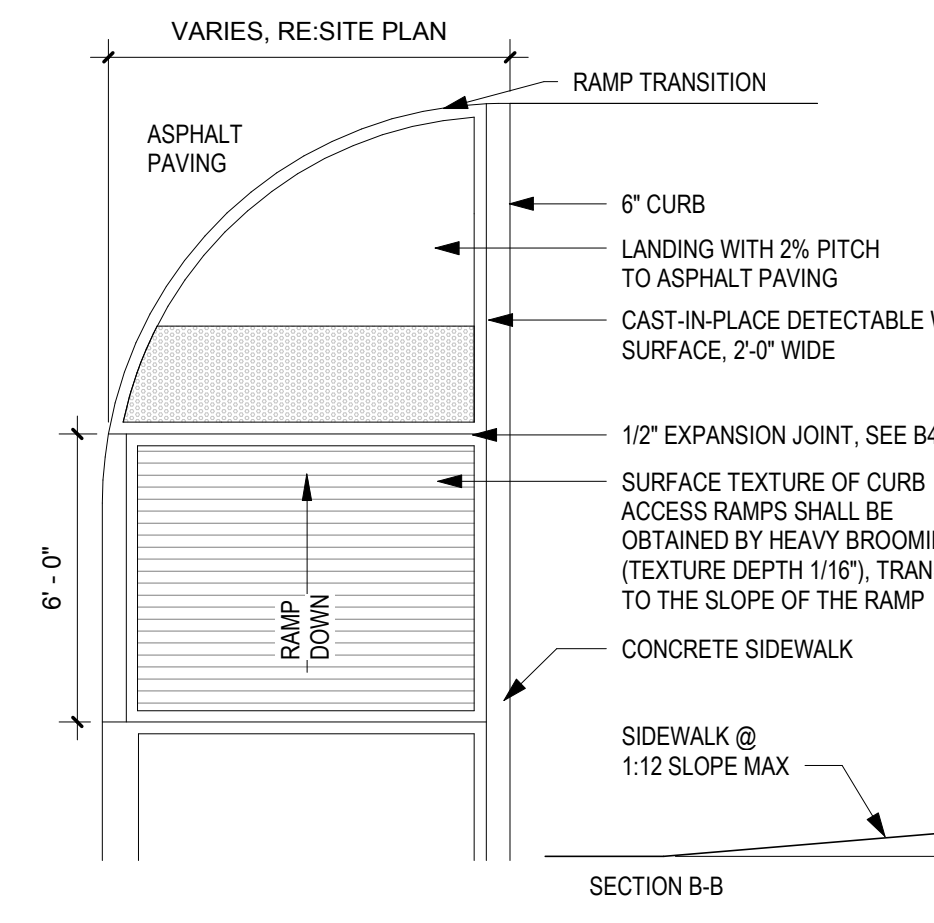
B3 CONCRETE SIDEWALK
1 1/2" = 1'-0"



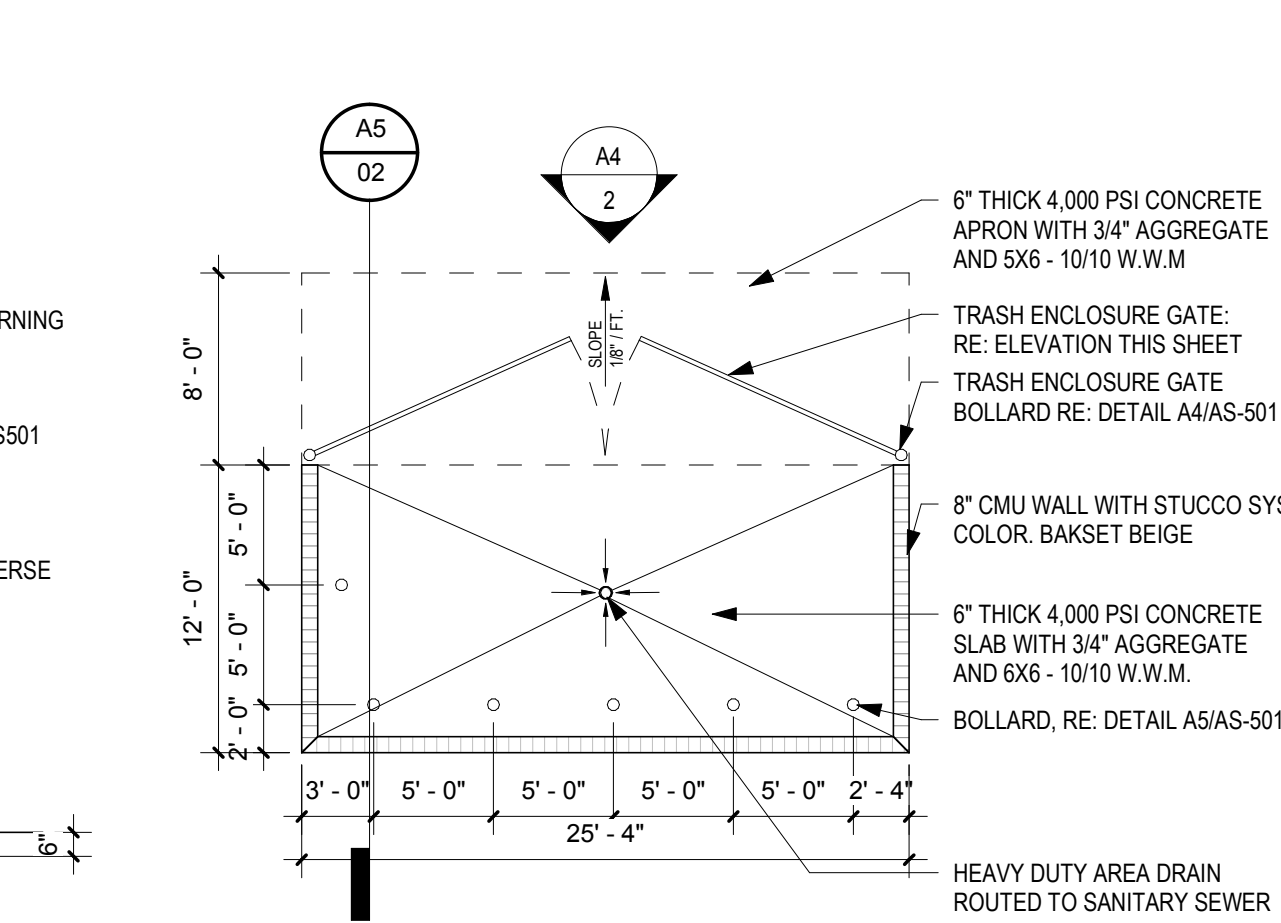
B4 CONCRETE JOINT AND EXPANSION JOINT
1 1/2" = 1'-0"



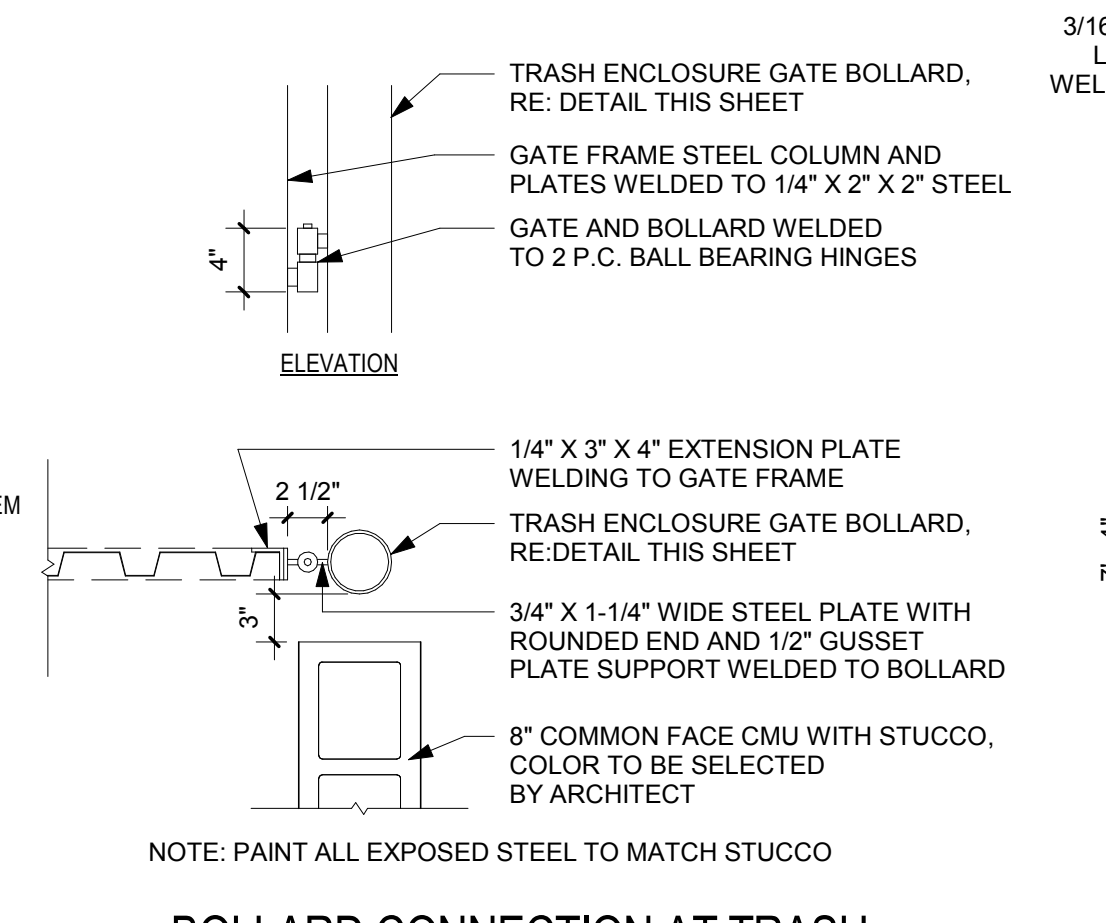
B5 BUILDING APRON
1 1/2" = 1'-0"



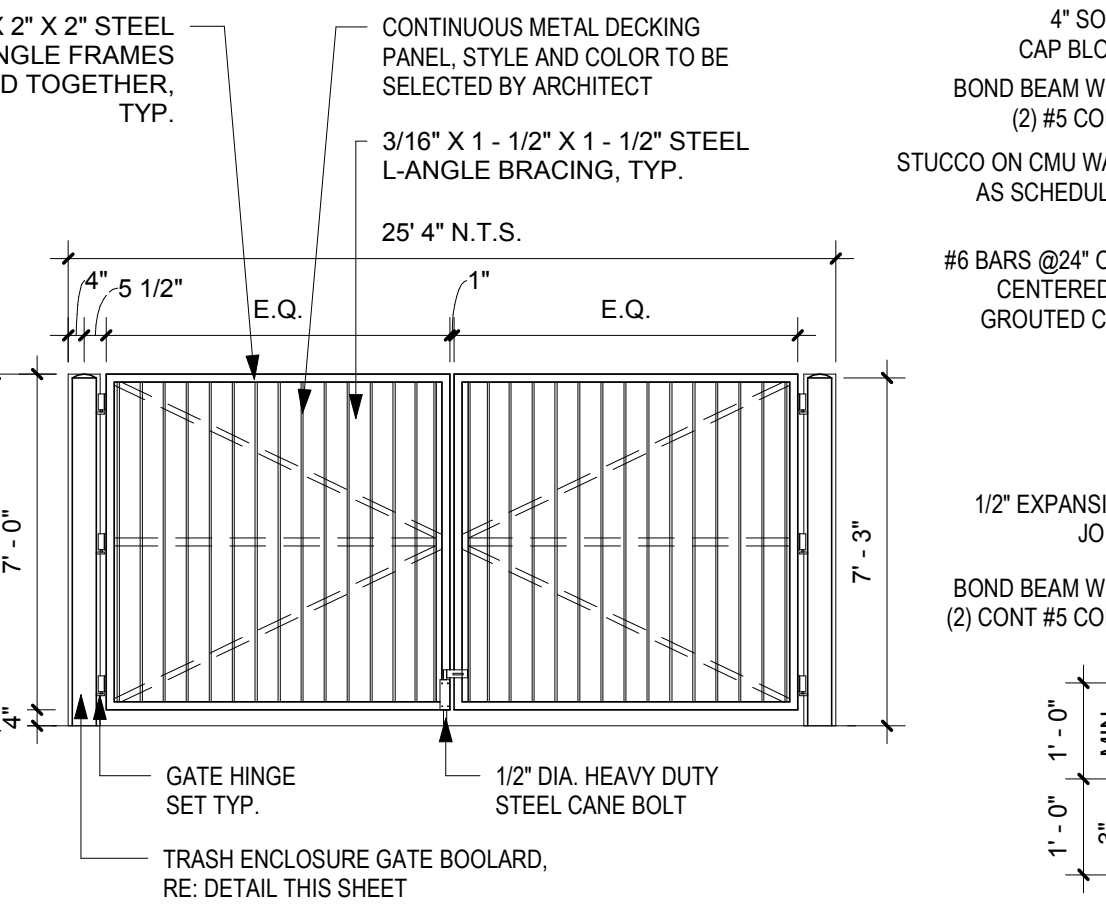
A1 ACCESSIBLE RAMP, TYPE A
1/4" = 1'-0"



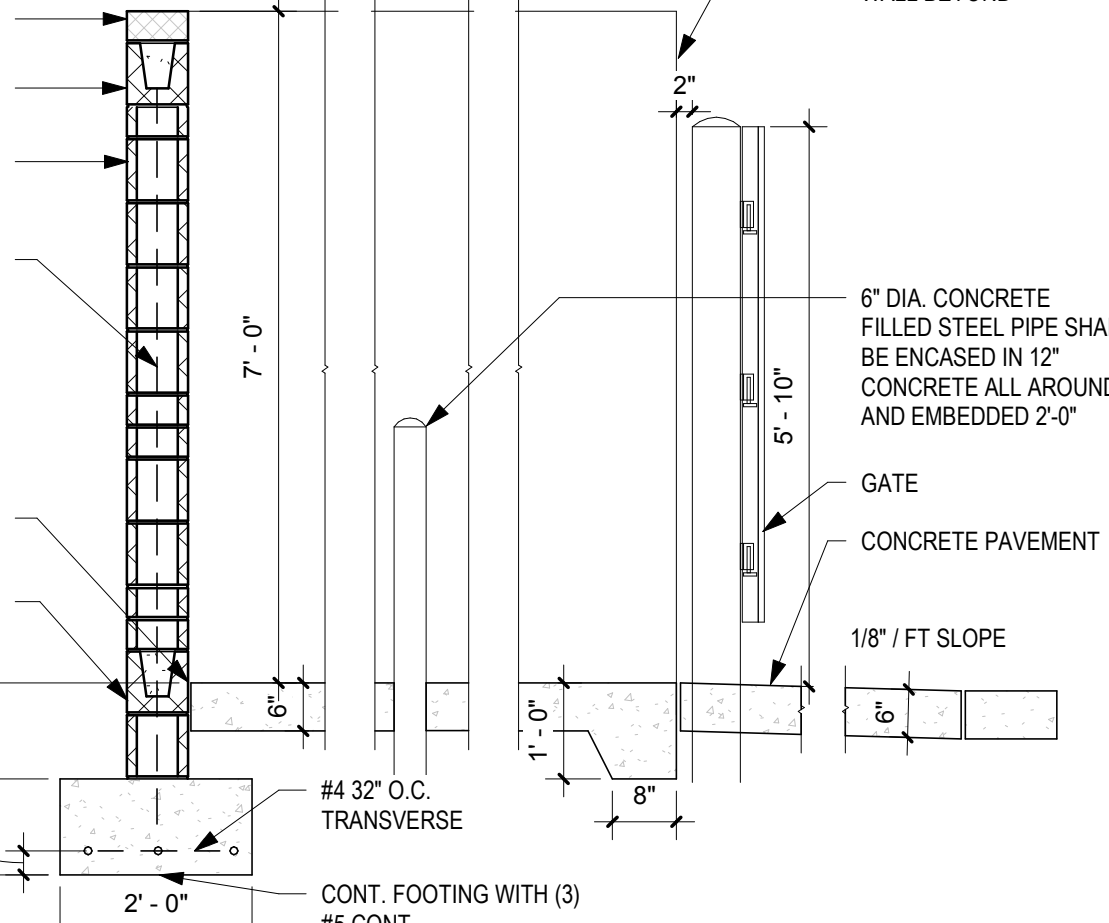
A2 TRASH ENCLOSURE PLAN
1/8" = 1'-0"



A3 BOLLARD CONNECTION AT TRASH ENCLOSURE GATE
1" = 1'-0"



A4 TRASH ENCLOSURE GATE
1/4" = 1'-0"



A5 REFUSE ENCLOSURE SECTION
1/2" = 1'-0"

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SEAL

PROJECT

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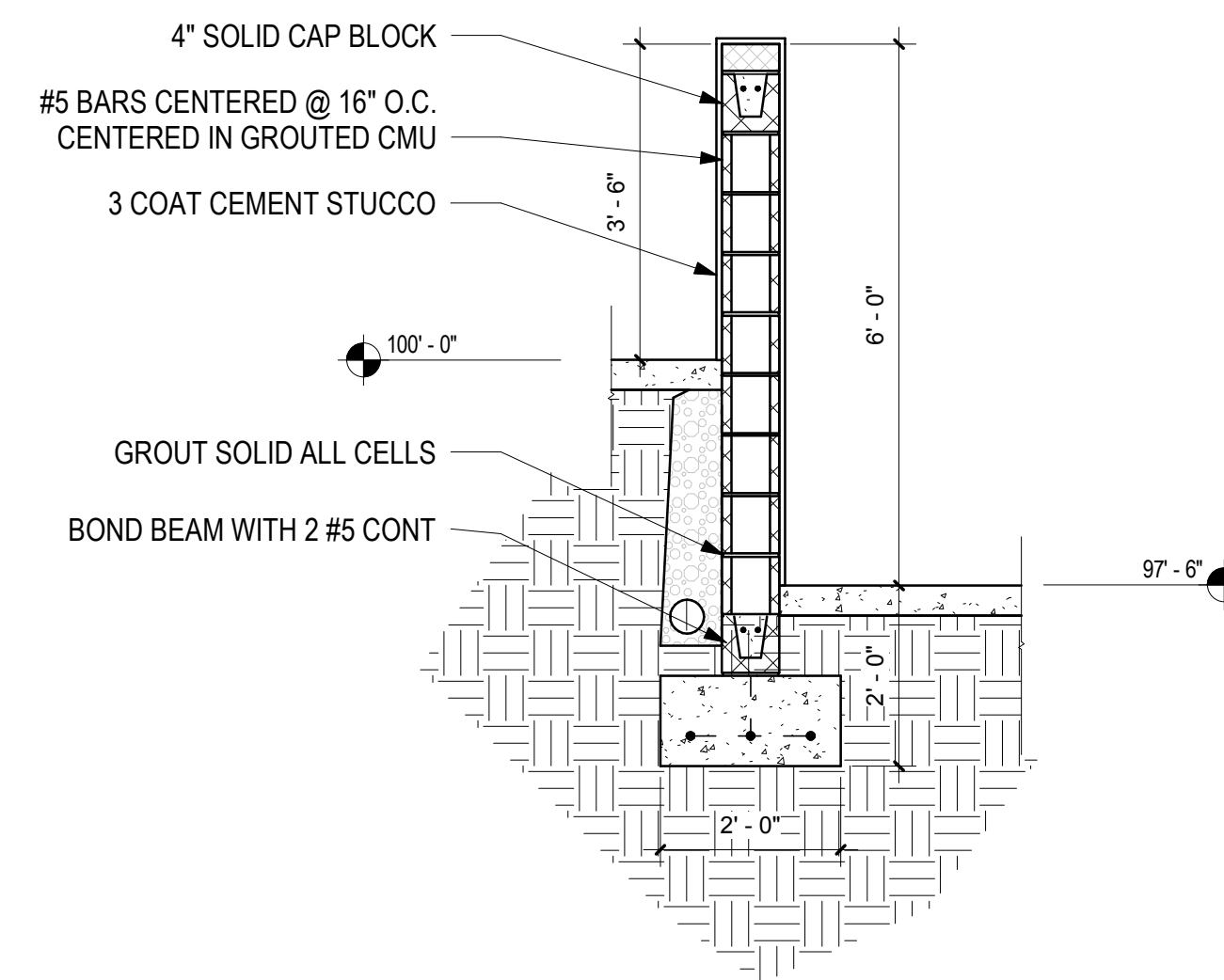
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A5 RETAINING WALL
1/2" = 1'-0"

LANDSCAPE CALCULATIONS

| | |
|--|-------------------|
| TOTAL SITE AREA AREA, BOTH PROPERTIES: | 68,873 SQFT |
| TOTAL LANDSCAPE AREA REQUIRED: | 2,755 SQFT |
| TOTAL LANDSCAPE BED PROVIDED: | 6,984 SQFT |
| TOTAL LIVE GROUNDCOVER REQUIRED 75%: | 2,066 SQFT |
| TOTAL LIVE GROUNDCOVER PROVIDED: | 3,445 SQFT |
| TOTAL PARKING SPACES PROVIDED: | 54 |
| TOTAL PARKING LOT TREES REQUIRED (1 PER 8 SPACES): | 7 |
| TOTAL PARKING LOT TREES PROVIDED: | 12 (4 EX./8 NEW) |
| TOTAL STREET TREES REQUIRED ON LOUISIANA (25' O.C.): | 15 |
| TOTAL STREET TREES PROVIDED: | 12 (1 EX./11 NEW) |
| TOTAL STREET AND PARKING LOT TREES REQUIRED: | 22 |
| TOTAL STREET AND PARKING LOT TREES PROVIDED: | 24 (5 EX./19 NEW) |

* PLANT MATERIAL PROVIDED TO MEET 10% FLOWERING SHRUB/FLOWER REQUIREMENT

| | |
|---|-----------|
| TOTAL NUMBER OF SHRUBS/PLANTS PROVIDED: | 415 |
| TOTAL NUMBER OF FLOWERING SHRUBS/PLANTS REQUIRED (10%): | 42 |
| TOTAL NUMBER OF FLOWERING SHRUBS/PLANTS PROVIDED: | 259 (62%) |

KEY NOTES

- PROPERTY LINE/LIMIT OF WORK LINE
- SITE TRIANGLE
- EXISTING SIGNAGE
- EXISTING TREE
- EXISTING RETAINING WALL
- EXISTING EASEMENT
- NOT PART OF THIS PROJECT, SEE NOTE 15 OF PLANTING NOTES THIS SHEET
- EXISTING LANDSCAPE: COORDINATE WITH ADJACENT PROPERTY OWNERS FOR LANDSCAPE IMPROVEMENTS IN THIS AREA.
- EXISTING LANDSCAPE TO REMAIN (SQUARE FOOTAGE AND PLANT MATERIAL NOT INCLUDED IN THE ABOVE CALCULATIONS).

GENERAL SHEET NOTES

- FOR GRADING AND DRAINAGE INFORMATION, SEE CIVIL DRAWINGS. DO NOT RELY ON LANDSCAPE DRAWINGS FOR GRADING INFORMATION.
- FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.

PLANTING NOTES

- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN; INSTALLATION SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- AFTER SUBSTANTIAL COMPLETION, THE INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THIS PLAN ALSO SERVES AS THE PROJECTS STREET TREE PLAN.
- LANDSCAPING SHALL HAVE ADEQUATE MAINTENANCE. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 DAYS AFTER NOTIFICATION.
- NO TURF IS BEING PROPOSED IN THIS PROJECT.
- LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. SEE PLANTING LEGEND.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING AND IRRIGATION OPERATIONS.
- MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
- LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING, AND RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
- ALL PLANT MATERIAL MUST BE NURSERY GROWN, AND ALL PLANTS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IN ORIGINAL NURSERY CONDITION.
- NATIVE SOILS MAY BE USED FOR LANDSCAPE INSTALLATION, BUT SHALL BE BLENDED WITH IMPORTED TOPSOIL BLEND AND/OR COMPOST.
- WHERE MULCH IS ADJACENT TO CONCRETE, FINISH GRADE OF MULCH TO BE APPROXIMATELY 1/2" BELOW TOP OF CONCRETE.
- A MINIMUM OF 10% OF ALL LANDSCAPED AREA SHALL CONTAIN FLOWERING PLANTS AND FLOWERING SHRUBS.
- NO PARKING SPACE SHALL BE MORE THAN SIXTY (60) FEET FROM A TREE TRUNK.

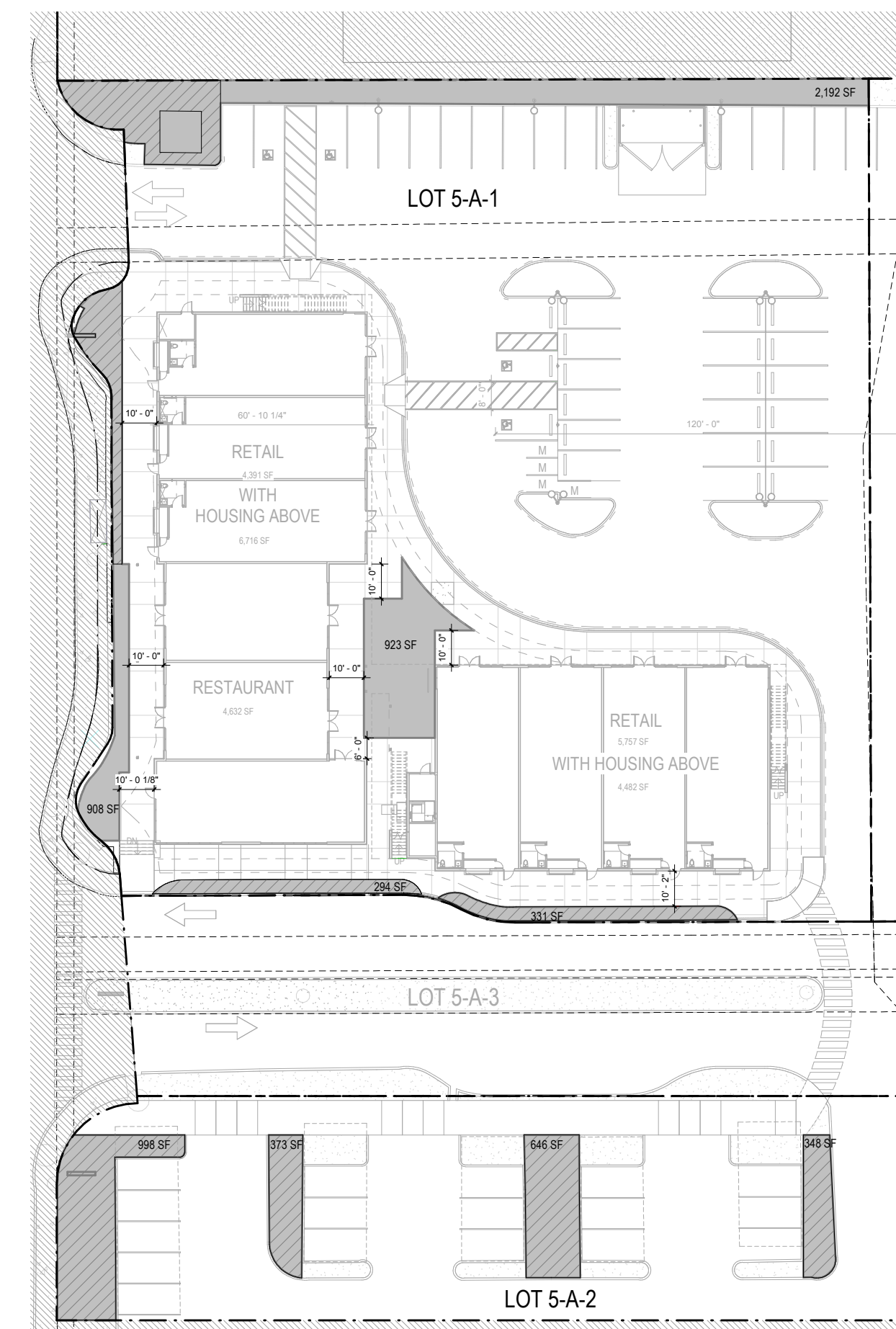
IRRIGATION NOTES

- THE IRRIGATION SYSTEM DESIGN SHALL COMPLY WITH ALL CITY WATER CONSERVATION LANDSCAPE AND WASTE WATER ORDINANCES.
- A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREES, SHRUBS, AND GROUNDCOVER PLANTING AREAS.
- THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTER VALVE. SEE COA STD DETAIL 2701.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO PLANT WATER REQUIREMENTS.
- EACH TREE SHALL RECEIVE THREE (3) - TWO (2) GPH EMITTERS. EACH SHRUB/PERENNIAL SHALL RECEIVE TWO (2) - TWO (2) GPH EMITTERS.
- THE MAINTENANCE OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

PLANTING LEGEND

| SYMBOL | SCIENTIFIC NAME/ | COMMON NAME |
|----------------------------------|---|--------------------------------|
| TREES - SEE A1-LP501 | | |
| | <i>Robinia pseudoacacia</i> 'Purple Robe' | PURPLE ROBE LOCUST |
| | <i>Platanus wrightii</i> | ARIZONA SYCAMORE |
| | <i>Zelkova serrata</i> | GREEN VASE ZELKOVA |
| | <i>Ulmus parviflora</i> 'Emer II' | Allee Elm |
| SHRUB - SEE A2-LP501 | | |
| | <i>Buddleia davidii</i> nanhoensis 'Nanho Purple' | DWARF PURPLE BUTTERFLY BUSH |
| | <i>Rosa</i> 'Seafoam' | SEAFOAM ROSE |
| | <i>Pinus mugo</i> pumillo | DWARF MUGO PINE |
| | <i>Rhaphiolepis</i> 'Blueberry muffin' | BLUEBERRY INDIAN HAWTHORN |
| | <i>Prunus besseyi</i> 'Pawnee Buttes' | CREeping SAND CHERRY |
| PERENNIALS - SEE A2-LP501 | | |
| | <i>Salvia darcyl</i> 'Pscarf' | VERMILLION BLUFFS MEXICAN SAGE |
| | <i>Lavandula angustifolia</i> 'Hidcote' | DEEP BLUE LAVENDER |
| GROUNDCOVERS - SEE A2-LP501 | | |
| | <i>Juniperus horizont</i> alis 'Wiltonii' | BLUE RUG JUNIPER |
| | <i>Ericameria larcifolia</i> | TURPENTINE BUSH |
| | <i>Euphorbia rigida</i> | SPURGE |
| ACCENTS & GRASSES - SEE A2-LP501 | | |
| | <i>Calamagrostis acutiflora</i> 'Karl Foerster' | KARL FOERSTER REED GRASS |
| | <i>Hesperaloe parviflora</i> | RED YUCCA |
| | <i>Bouteloua</i> 'Blonde Ambition' | BLONDE AMBITION BLUE GRAMA |
| | <i>Muhlenbergia rigens</i> | DEER GRASS |

| HARDSCAPES AND MULCH - SEE SPECS | |
|----------------------------------|---|
| SYMBOL | DESCRIPTION |
| | EXISTING VEGETATION TO REMAIN |
| | 3" DEPTH 1-1/2" GRAVEL OVER FILTER FABRIC, COLOR: BUILDOLGY BROWN |
| | 3" DEPTH, 7/16" GRAVEL OVER FILTER FABRIC, COLOR: BUILDOLGY BROWN |
| | 4" DEPTH, 2-4" STONE PLATING OVER FILTER FABRIC, COLOR: SANGRIA |
| | MOSSROCK BOULDERS, SIZES RANGE FROM 2'x2'x2' TO 4'x4'x4' |



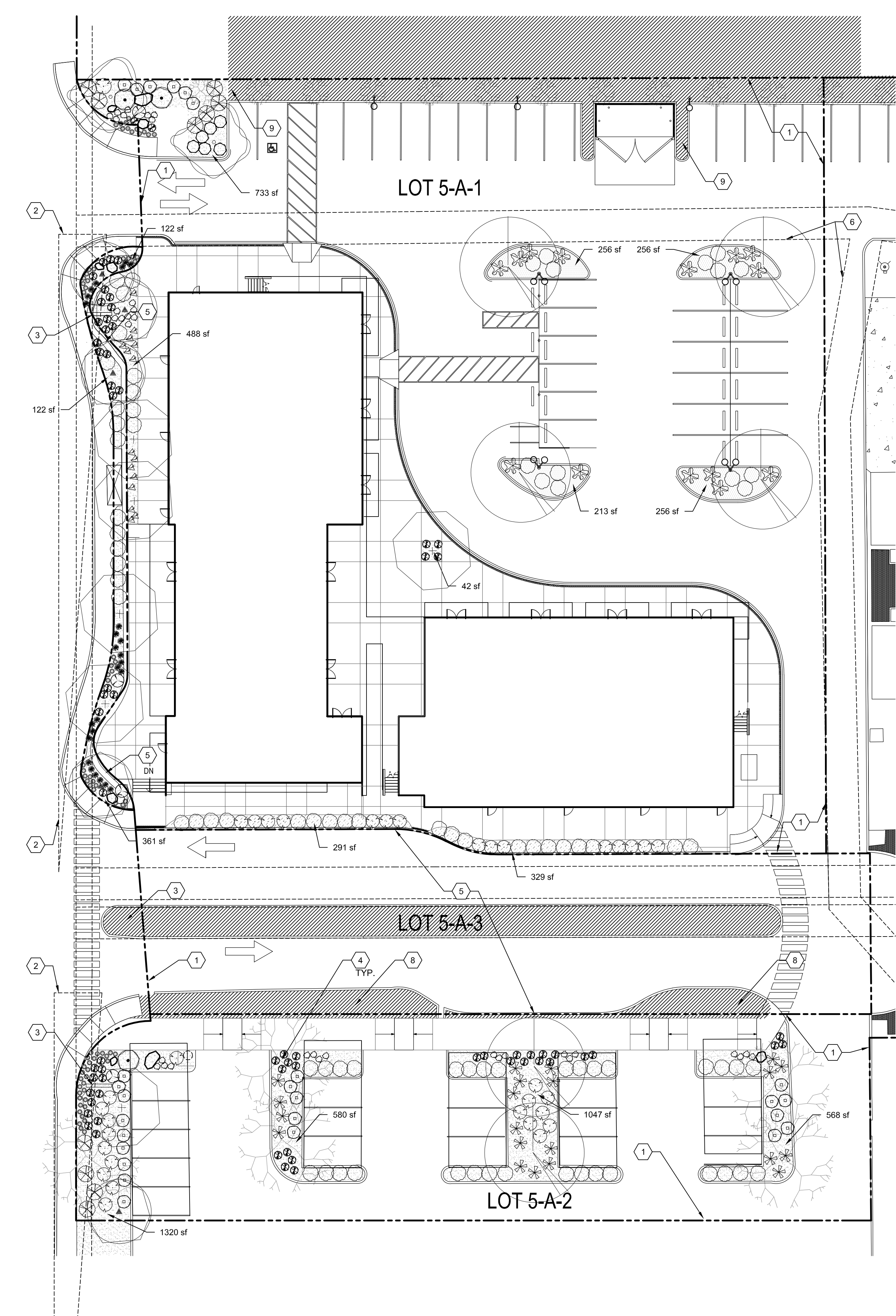
B4 OPEN SPACE DIAGRAM
1" = 40'-0"
0 40' 80'

CHAPTER V, SECTION D. OPEN SPACE

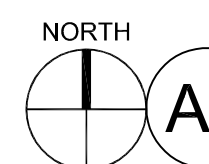
| | |
|-------------------------------|---|
| TOTAL SITE AREA: | LANDSCAPE AREA: |
| LOT 5-A-1: 52,873 SF | REQUIRED |
| LOT 5-A-3: 16,000 SF | (OPEN SPACE REQUIRED * 0.40) = 2,755 SF |
| TOTAL: 68,873 SF | |
| OPEN SPACE REQUIRED | PROVIDED |
| (SITE AREA * 0.10) = 6,887 SF | LOT 5-A-1: 3,101 SF |
| | LOT 5-A-2: 2,365 SF |
| | TOTAL: 5,466 SF |
| PROVIDED | SHADED LANDSCAPE AREA REQUIRED: |
| LOT 5-A-1: 4,648 SF | (LANDSCAPE AREA REQUIRED * 0.15) = 413 SF |
| LOT 5-A-2: + 2,365 SF | |
| TOTAL: 7,013 SF | |

OPEN SPACE LEGEND

- OPEN SPACE AREA
- LANDSCAPE AREA



A1 PLANTING PLAN
1" = 20'-0"
0 20' 40'

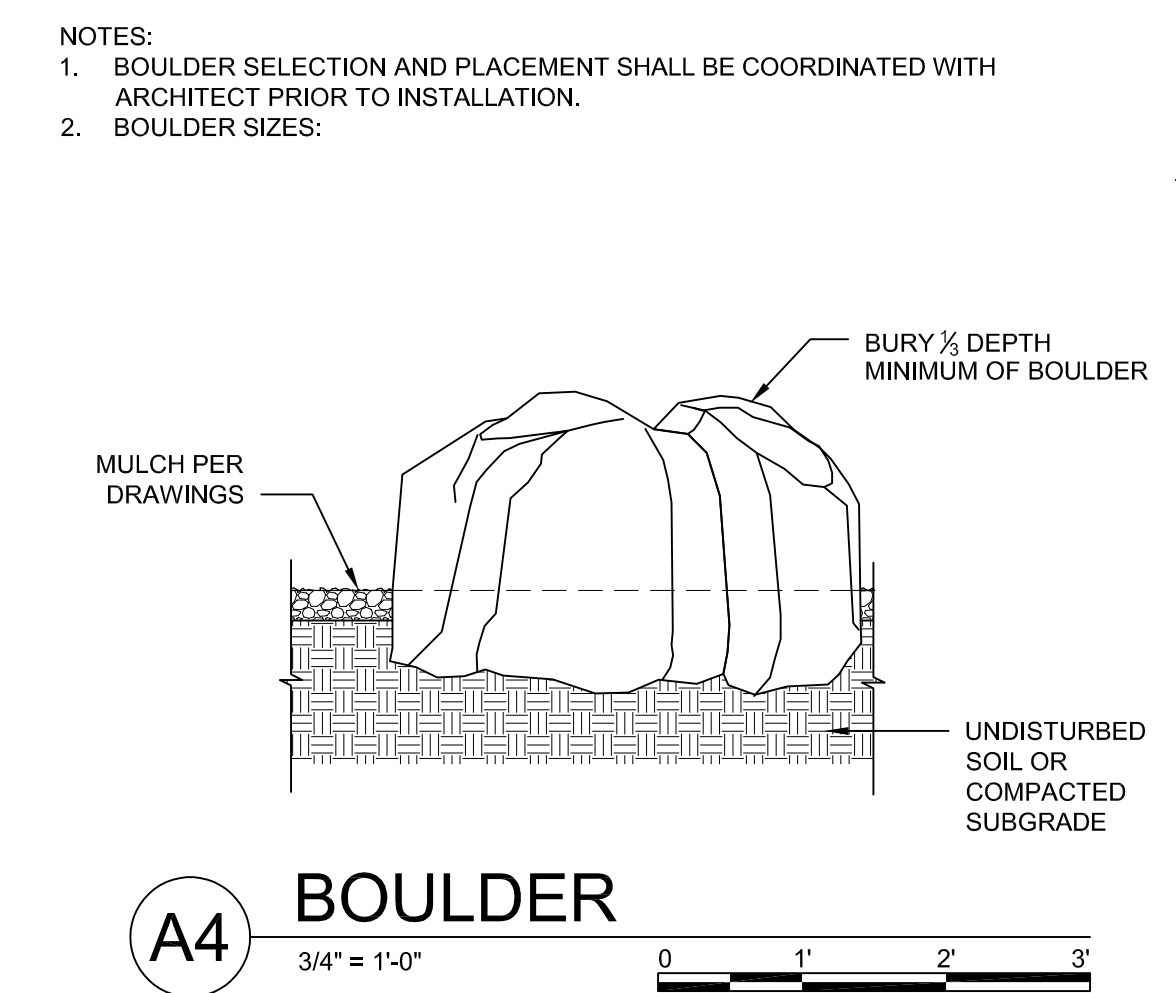
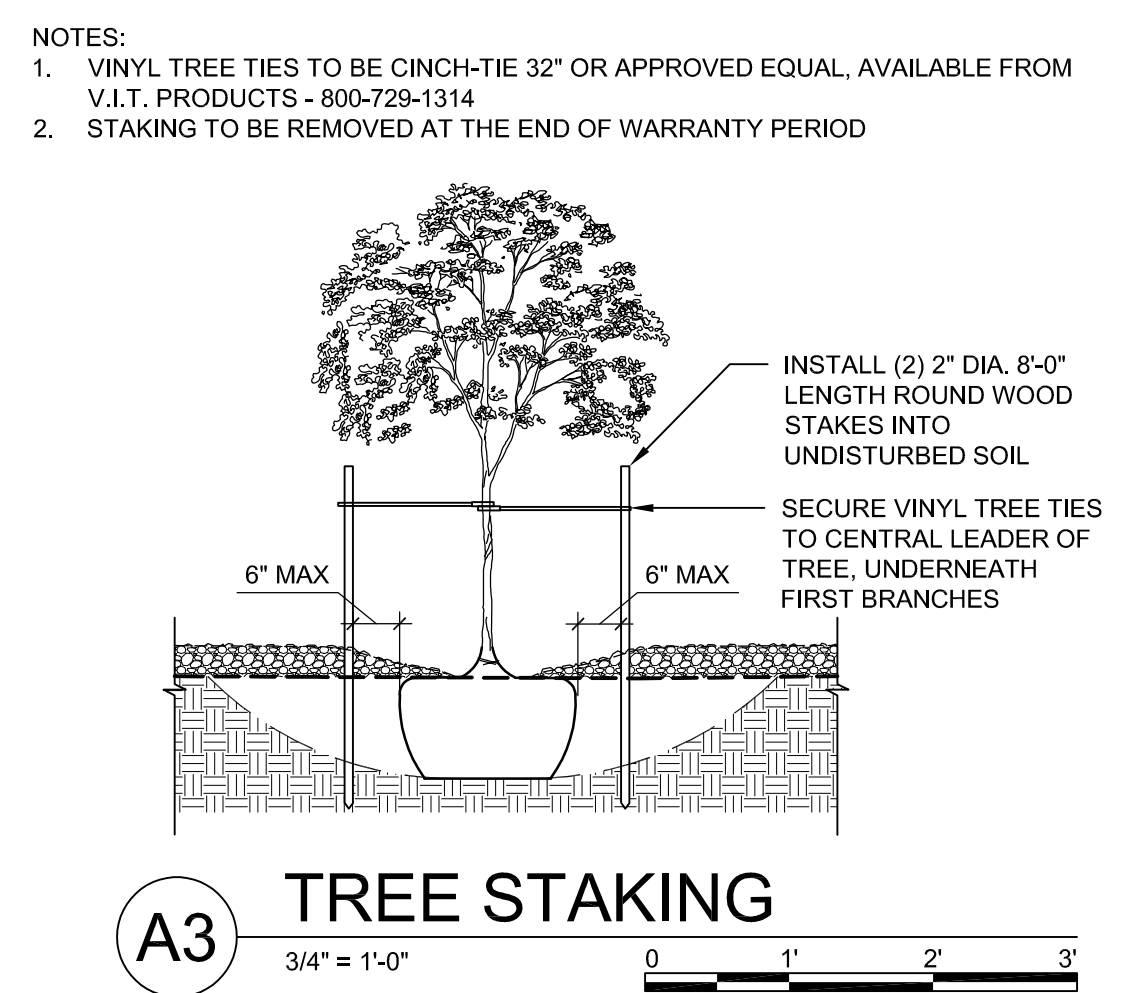
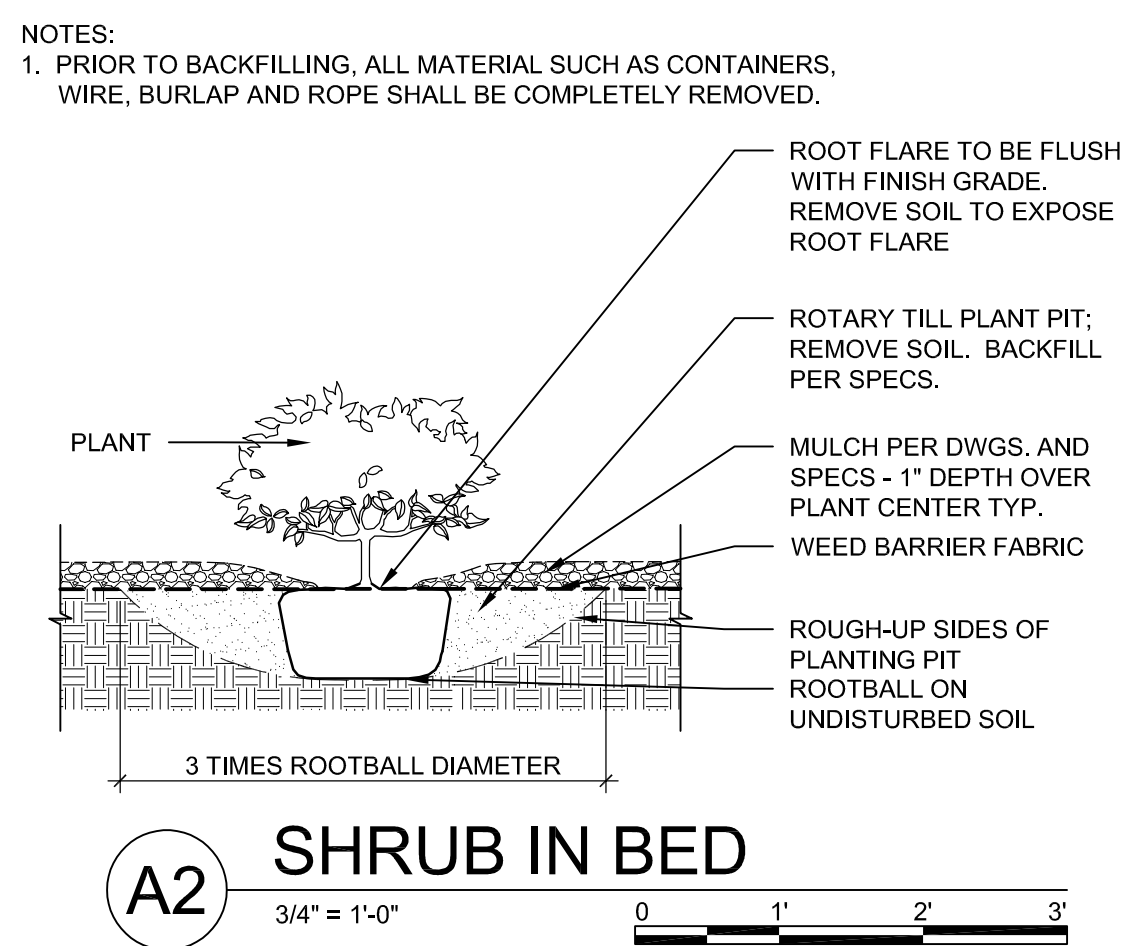
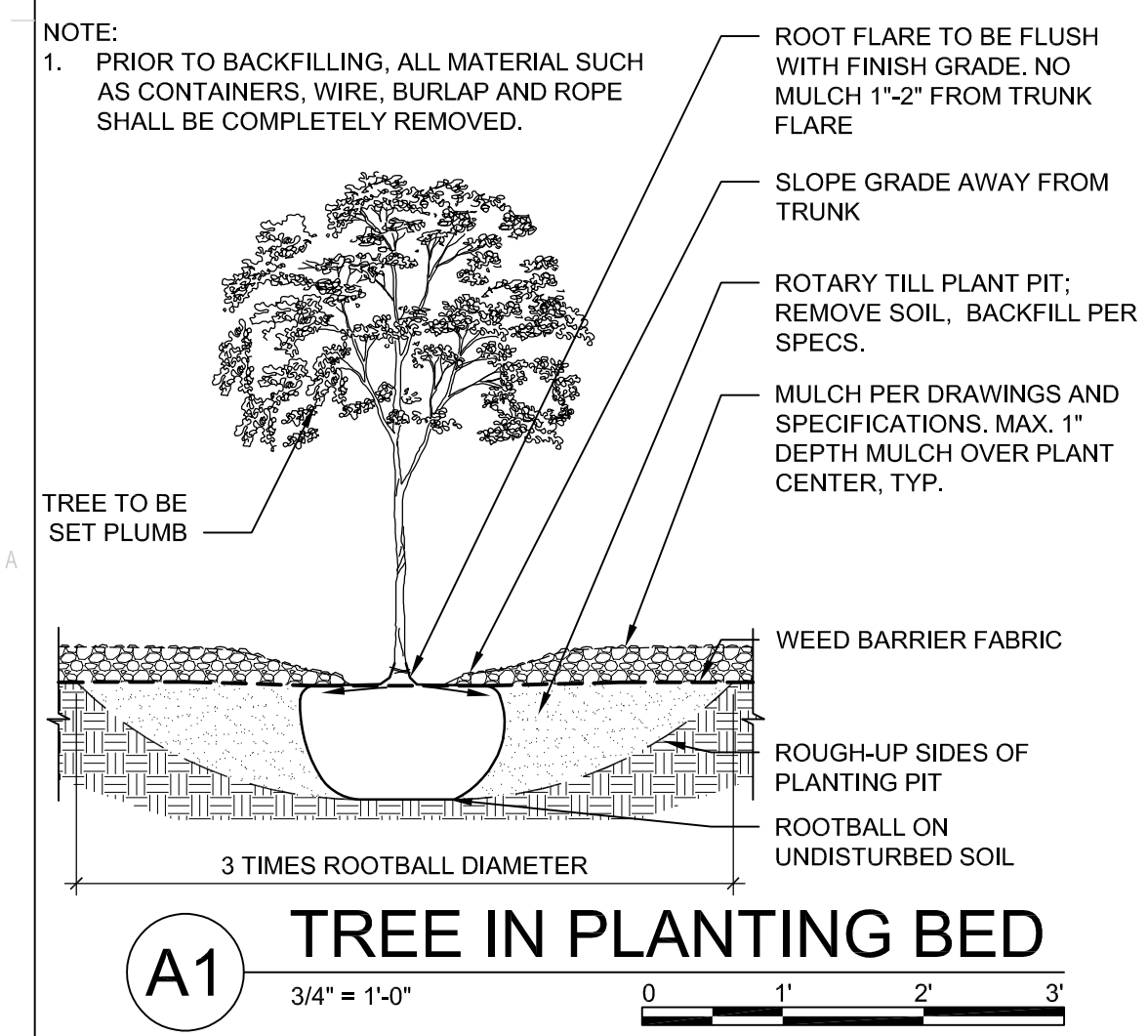


| PLANTING SCHEDULE | | | | | * PLANT MATERIAL PROVIDED TO MEET 10% FLOWERING SHRUB/FLOWER REQUIREMENT | |
|---|-----------|---|--------------------------------|--------------|--|-------|
| SYMBOL | EST. QTY. | SCIENTIFIC NAME/ | COMMON NAME | INSTALL SIZE | MATURE HT. | DIA. |
| TREES - SEE A1-LP501 | | | | | | |
| | 6 | Robinia pseudoacacia 'Purple Robe' | PURPLE ROBE LOCUST | 2" CAL. | 45.00 | 30.00 |
| | 6 | Platanus wrightii | ARIZONA SYCAMORE | 2" CAL. | 40.00 | 35.00 |
| | 2 | Zelkova serrata | GREEN VASE ZELKOVA | 2" CAL. | 35.00 | 25.00 |
| | 5 | Ulmus parviflora 'Emer II' | ALLEE ELM | 2" CAL. | 50.00 | 35.00 |
| SHRUB - SEE A2-LP501 | | | | | | |
| | 26 | * Buddleia davidii nanhoensis 'Nanho Purple' | DWARF PURPLE BUTTERFLY BUSH | 5-GAL | 5.00 | 4.00 |
| | 4 | * Rosa 'Seafoam' | SEAFOAM ROSE | 5-GAL | 3.00 | 4.00 |
| | 3 | Pinus mugo pumilio | DWARF MUGO PINE | 5-GAL | 4.00 | 7.00 |
| | 6 | * Rhamphilepis 'Blueberry muffin' | BLUEBERRY INDIAN HAWTHORN | 5-GAL | 4.00 | 4.00 |
| | 14 | * Prunus besseyi 'Pawnee Buttes' | CREEPING SAND CHERRY | 5-GAL | 2.00 | 6.00 |
| PERENNIALS - SEE A2-LP501 | | | | | | |
| | 67 | * Salvia darcyl 'Pscarf' | VERMILLION BLUFFS MEXICAN SAGE | 1-GAL | 3.00 | 2.00 |
| | 72 | * Lavandula angustifolia 'Hidcote' | DEEP BLUE LAVENDER | 1-GAL | 1.50 | 1.50 |
| GROUNDCOVERS - SEE A2-LP501 | | | | | | |
| | 10 | Juniperus horizontalis 'Wiltonii' | BLUE RUG JUNIPER | 5-GAL | 0.75 | 8.00 |
| | 34 | * Ericameria laevis | TURPENTINE BUSH | 5-GAL | 4.00 | 4.00 |
| | 15 | * Euphorbia rigida | SPURGE | 1-GAL | 2.00 | 2.00 |
| ACCENTS & GRASSES - SEE A2-LP501 | | | | | | |
| | 25 | Calamagrostis acutiflora 'Karl Foerster' | KARL FOERSTER REED GRASS | 5-GAL | 4.00 | 2.00 |
| | 21 | * Hesperaloe parviflora | RED YUCCA | 5-GAL | 4.00 | 4.00 |
| | 34 | Bouteloua 'Blonde Ambition' | BLONDE AMBITION BLUE GRAMA | 1-GAL | 2.00 | 2.00 |
| | 84 | Muhlenbergia rigens | DEER GRASS | 5-GAL | 5.00 | 5.00 |
| HARDSCAPES AND MULCH - SEE SPECS (QUANTITIES BELOW ARE GENERAL ONLY) | | | | | | |
| SYMBOL | EST. QTY. | DESCRIPTION | | | | |
| | | EXISTING VEGETATION TO REMAIN | | | | |
| | 982 SF | 3" DEPTH 1-1/2" GRAVEL OVER FILTER FABRIC, COLOR: BUILDODOGY BROWN, AVAILABLE FROM: BUILDODOGY MATERIALS 505/344-6626 | | | | |
| | 5,381 SF | 3" DEPTH 7/16" GRAVEL OVER FILTER FABRIC, COLOR: BUILDODOGY BROWN, AVAILABLE FROM: BUILDODOGY MATERIALS 505/344-6626 | | | | |
| | 621 SF | 4" DEPTH, 2-4" STONE PLATING OVER FILTER FABRIC, COLOR: SANGRIA, AVAILABLE FROM: BUILDODOGY MATERIALS 505/344-6626 | | | | |
| | 10 | MOSSROCK BOULDERS, SIZES RANGE FROM 2'x2'x2' to 4'x4'x4' COLOR: AS LOCALLY AVAILABLE | | | | |

| REVISIONS | |
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| DRAWN BY | CD |
| REVIEWED BY | KR/MB |
| DATE | 04.04.2017 |
| PROJECT NO. | 14-0087 |
| DRAWING NAME | |

**PLANTING
SCHEDULE
AND
DETAILS**



NOT FOR CONSTRUCTION

SEAL

PROJECT

2440 LOUISIANA

2440 Louisiana Blvd. NE ALBUQUERQUE, NM 87110

URT REVIEW / SITE PLAN FOR BUILDING PERMIT

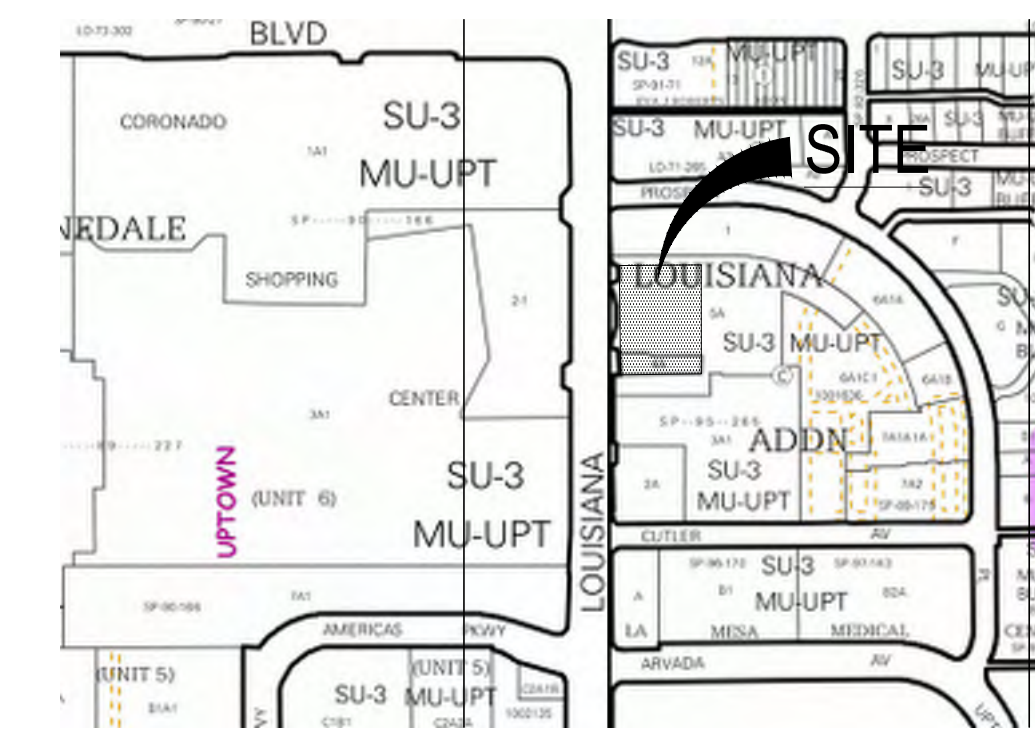
REVISIONS

- Revision symbols: triangles

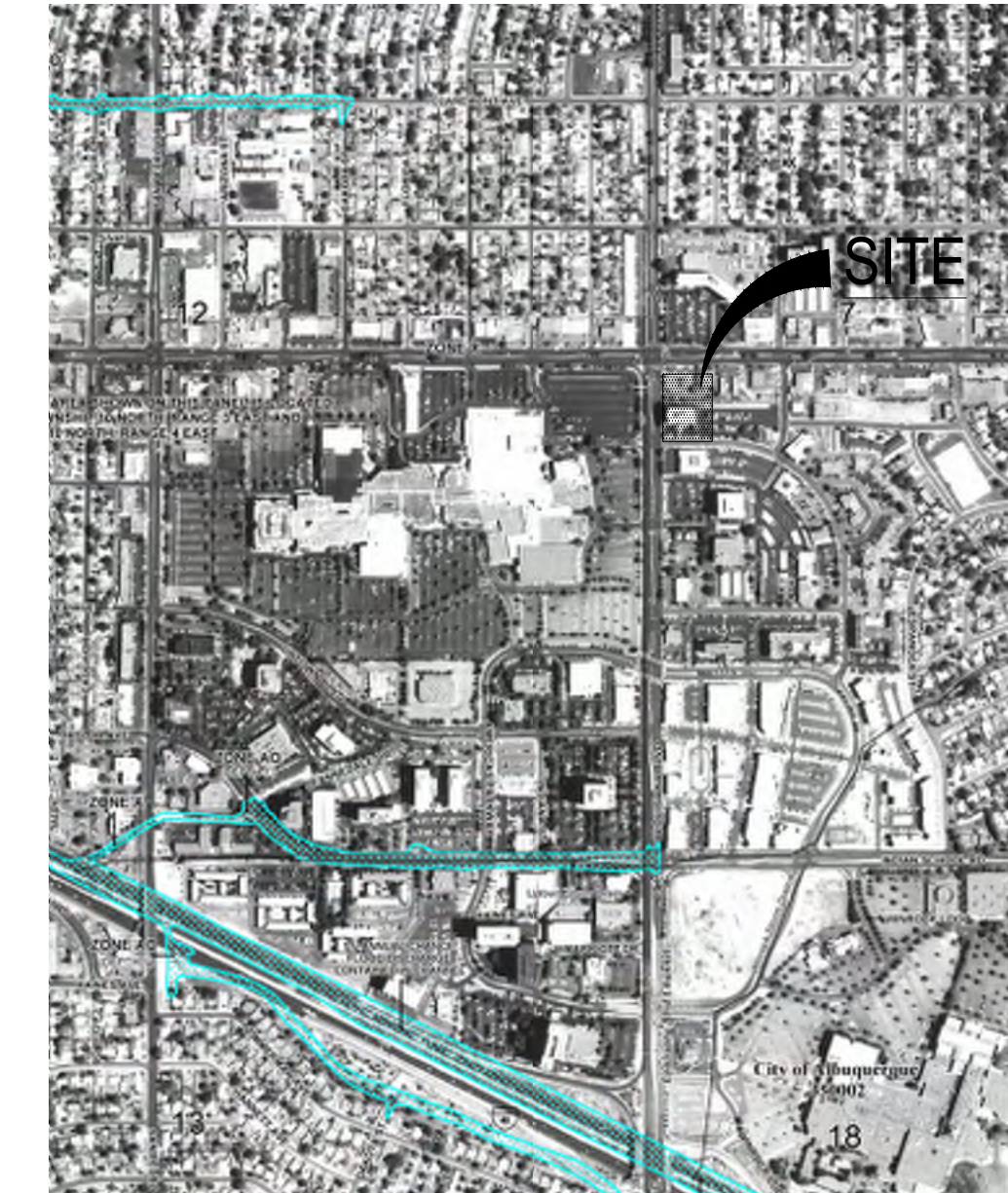
DRAWN BY: EGN
REVIEWED BY: MJB
DATE: 03.08.2017
PROJECT NO: 14-0087

DRAWING NAME: CONCEPTUAL GRADING PLAN

SHEET NO: 06 OF 12



ZONE ATLAS PAGE H18 & H19



FEMA FIRM # 35001C0352H

DRAINAGE NARRATIVE

EXISTING CONDITIONS:

THE SITE IS LOCATED NEAR THE INTERSECTION OF LOUISIANA BLVD AND CUTLER AVE, EAST OF CORONADO MALL. THE SITE IS ADJACENT TO AN EXISTING 7 STORY BUILDING. THE CURRENT CONDITIONS OF THE SITE ARE FAIRLY FLAT.

REVIEW OF THE CITY HYDROLOGY FILES (COA HYDROLOGY FILE #H19-D1) AND THE EXISTING TOPOGRAPHIC SURVEY SHOWS THERE IS AN EXISTING INLET LOCATED WEST OF THE SITE WHICH DISCHARGE INTO THE PUBLIC RIGHT OF WAY. ALL THE DRAINAGE FROM THE SITE APPEARS TO ENTER THE EXISTING 60" STORM DRAIN LOCATED WITHIN LOUISIANA BLVD VIA A DIRECT STORM DRAIN CONNECTION AS WELL AS TO A SERIES OF EXISTING INLETS ONSITE. EXISTING SURFACE PARKING PONDS HELP TO MITIGATE THESE FLOWS AS NECESSARY.

A MORE RECENT GRADING AND DRAINAGE PLAN PREPARED BY LARRY READ AND APPROVED ON JANUARY 11, 2002 FOR PAVING PERMIT AND SITE PLAN FOR BUILDING PERMIT. CONSTRUCTED ADDITIONAL ONSITE PARKING. ACCORDING TO THIS PLAN, THE SITE UTILIZES THE PARKING LOTS AS DETENTION PONDS DURING LARGER STORM EVENTS. THESE PONDS AND OTHER ONSITE DRAINAGE IMPROVEMENTS WERE VERIFIED BY THE TOPOGRAPHIC SURVEY.

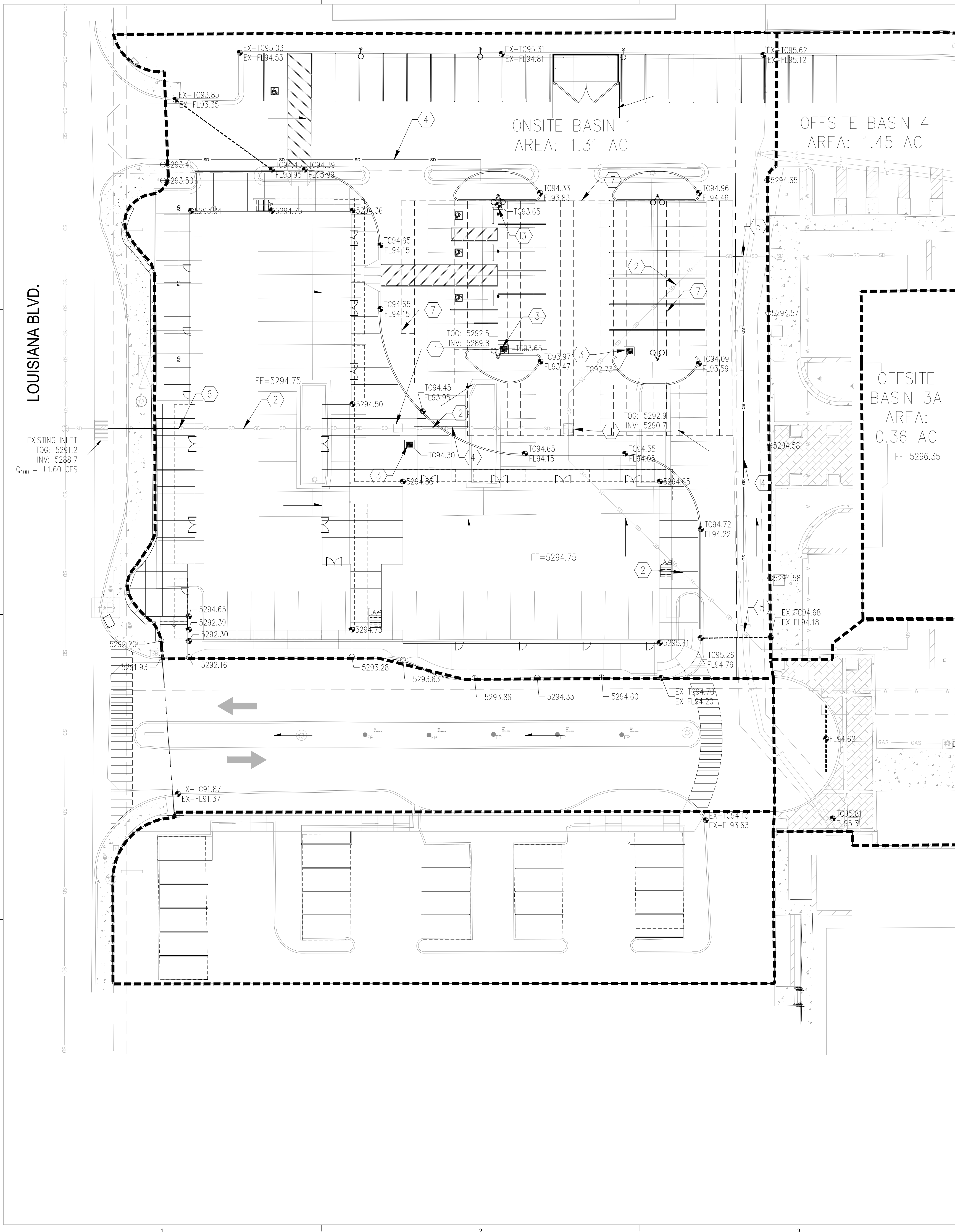
PER FEMA MAP PANEL #35001C0352H (SEE ABOVE), THE SITE IS NOT LOCATED WITHIN A KNOWN FLOOD ZONE.

PROPOSED CONDITIONS:

THE DEVELOPED FLOWS FOR THE SITE WILL MAINTAIN THE REDUCED DISCHARGE TO THE SURROUNDING RIGHT OF WAY. THE SITE WILL NOT DEVIATE SIGNIFICANTLY FROM HISTORIC FLOW PATHS. DUE TO THE PROPOSED BUILDINGS AND THE SITE SLOPE CONSTRAINTS, UNDERGROUND PONDING WILL BE REQUIRED TO ASSIST IN THE FIRST FLUSH REQUIREMENTS AS WELL AS HELP TO DETAIN THE PEAK DISCHARGE TO MEET THE ALLOWABLE DISCHARGE RATES.

THE SITE, ALONG LOUISIANA BOULEVARD INCLUDING THE EXISTING LEWIS UNIVERSITY BUILDING, AND ASSOCIATED PARKING TO THE EAST WILL CONTINUE TO DISCHARGE TO THE 60" STORM DRAIN IN LOUISIANA BASED ON THE HISTORIC OFFSITE BASINS. UNDERGROUND PONDING WILL BE REQUIRED TO MAINTAIN THE ALLOWABLE DISCHARGE (±1.6CFS) AND TO RETAIN THE FIRST FLUSH VOLUME.

GIVEN THE ABOVE INFORMATION, THE SITE WILL MAINTAIN HISTORICAL FLOWPATHS AND FLOWS VIA ONSITE STORM DRAIN SYSTEMS AND UNDERGROUND PONDING. WITH THIS SUBMITTAL, WE ARE SEEKING SITE PLAN FOR SUBDIVISION APPROVAL.

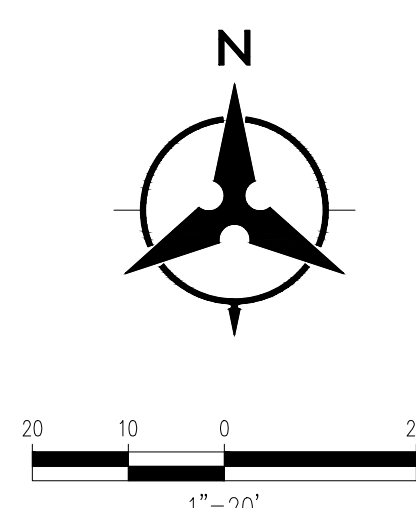


GRADING KEYNOTES

- 1. REMOVE EXISTING INLET
2. REMOVE EXISTING STORM DRAIN
3. INSTALL NEW STORM DRAIN INLET
4. INSTALL NEW STORM DRAIN
5. CONNECT TO EXISTING 8" STORM DRAIN
6. CONNECT TO EXISTING 12" STORM DRAIN
7. INSTALL NEW UNDERGROUND DETENTION POND

GRADING LEGEND

Table with 2 columns: Symbol and Description. Includes property line, project limits, contours, spot elevations, storm drain lines, manholes, inlets, retaining walls, easements, and basin boundaries.



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SEAL

PROJECT

2440 LOUISIANA

2440 Louisiana Blvd. NE
ALBUQUERQUE, NM 87110

URT REVIEW /
SITE PLAN FOR
BUILDING PERMIT

REVISIONS



DRAWN BY: EGN

REVIEWED BY: MJB

DATE: 03.08.2017

PROJECT NO: 14-0087

DRAWING NAME

**CONCEPTUAL
UTILITY PLAN**

SHEET NO

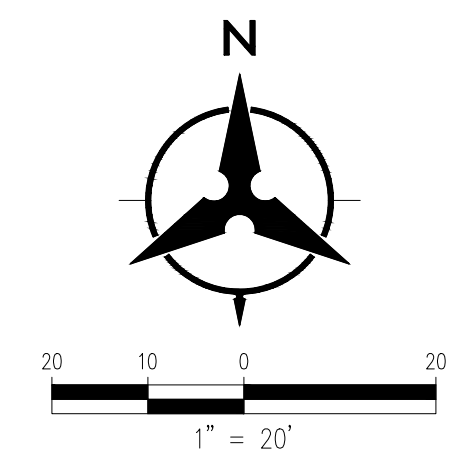
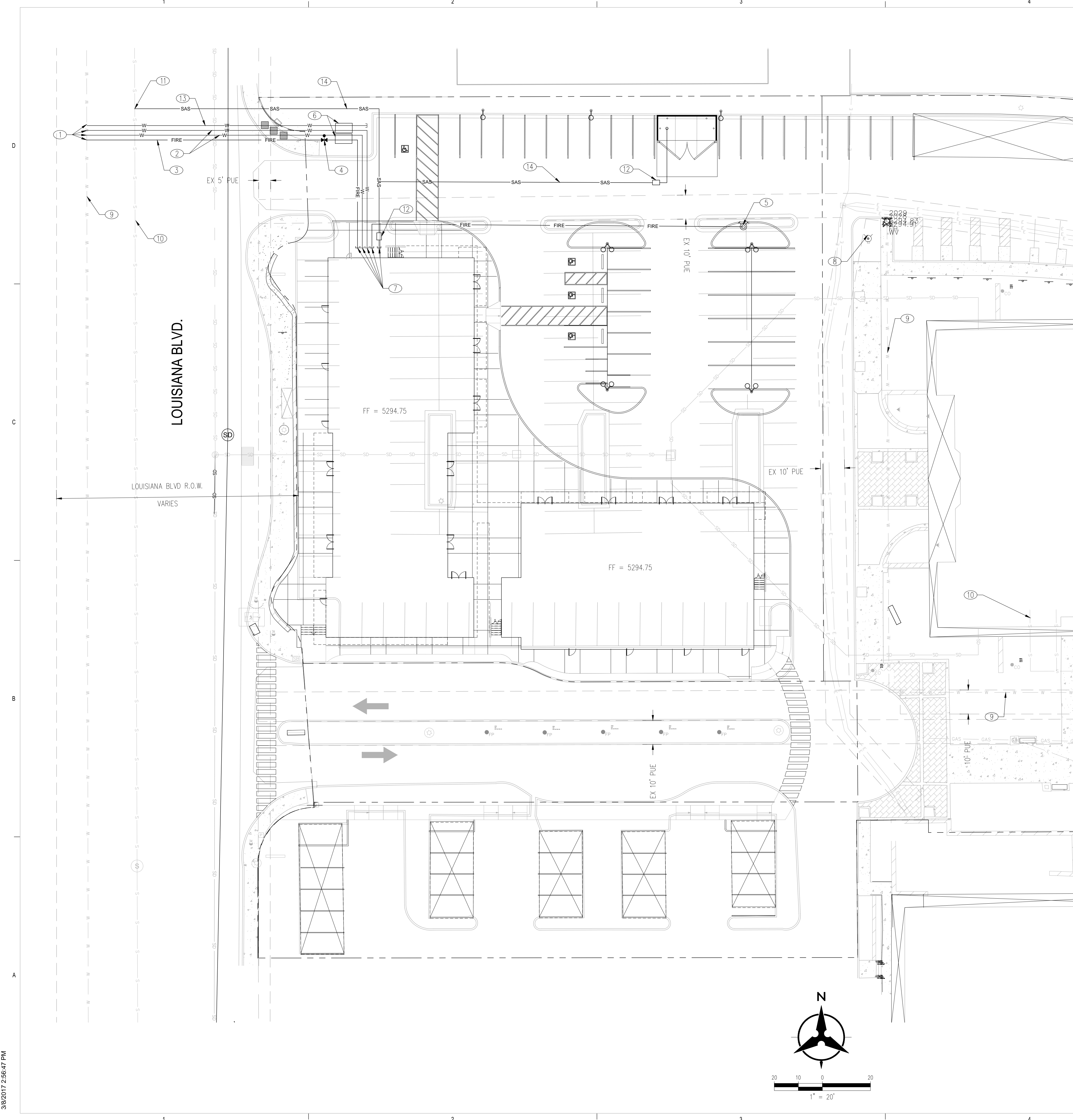
07 OF 12

UTILITY KEYNOTES

1. CONNECT TO EXISTING WATER LINE
2. INSTALL NEW 2" DOMESTIC SERVICE WATER LINE
3. INSTALL NEW FIRE PROTECTION LINE
4. INSTALL NEW POST INDICATOR VALVE
5. INSTALL NEW FDC
6. INSTALL NEW HEATED ENCLOSURE FOR DOMESTIC REDUCED BACKFLOW PREVENTION
7. STUB TO WITHIN 5' OF BUILDING
8. EXISTING FIRE HYDRANT
9. EXISTING WATER LINE
10. EXISTING SANITARY SEWER LINE
11. CONNECT TO EXISTING SANITARY SEWER LINE
12. INSTALL NEW GREASE TRAP
13. INSTALL NEW 3/4" LANDSCAPE WATER LINE
14. INSTALL NEW SANITARY SEWER LINE

UTILITY LEGEND

| | | | |
|--|---------------------------------|--|-----------------------------------|
| | PROPERTY LINE | | PROPOSED EASEMENT |
| | EXISTING EASEMENT | | PROPOSED SANITARY SEWER LINE |
| | EXISTING SANITARY SEWER | | PROPOSED SANITARY SEWER MANHOLE |
| | EXISTING WATER LINE | | PROPOSED CLEANOUT |
| | EXISTING WATER METER | | PROPOSED WATER LINE |
| | EXISTING CAP | | PROPOSED VALVE |
| | EXISTING VALVE | | PROPOSED FIRE WATER LINE |
| | EXISTING FIRE HYDRANT | | PROPOSED HYDRANT |
| | EXISTING SANITARY SEWER MANHOLE | | PROPOSED CAP |
| | EXISTING STORM DRAIN MANHOLE | | PROPOSED WATER METER |
| | EXISTING INLET | | PROPOSED PIV |
| | | | REMOTE FIRE DEPARTMENT CONNECTION |



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PROJECT

2440 LOUISIANA
2440 Louisiana Blvd. NE
ALBUQUERQUE, NM 87110

**URT REVIEW /
SITE PLAN FOR
BUILDING PERMIT**

REVISIONS

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- △
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| DRAWN BY | CTS |
| REVIEWED BY | SL |
| DATE | 04.07.2017 |
| PROJECT NO: | 14-0087 |

DRAWING NAME
**EXTERIOR
ELEVATIONS**

SHEET NO
08 OF 12

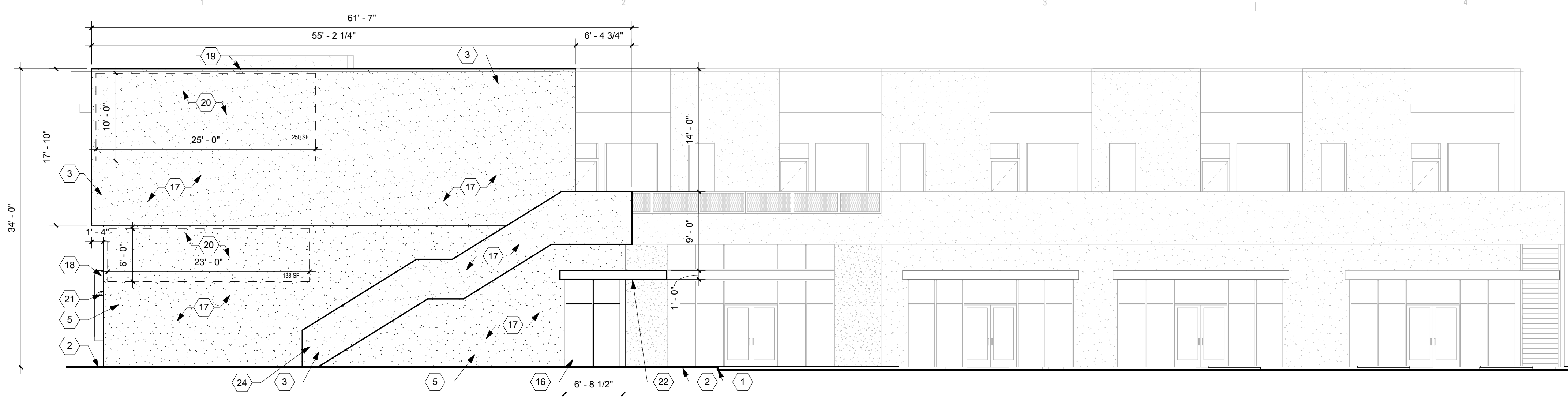
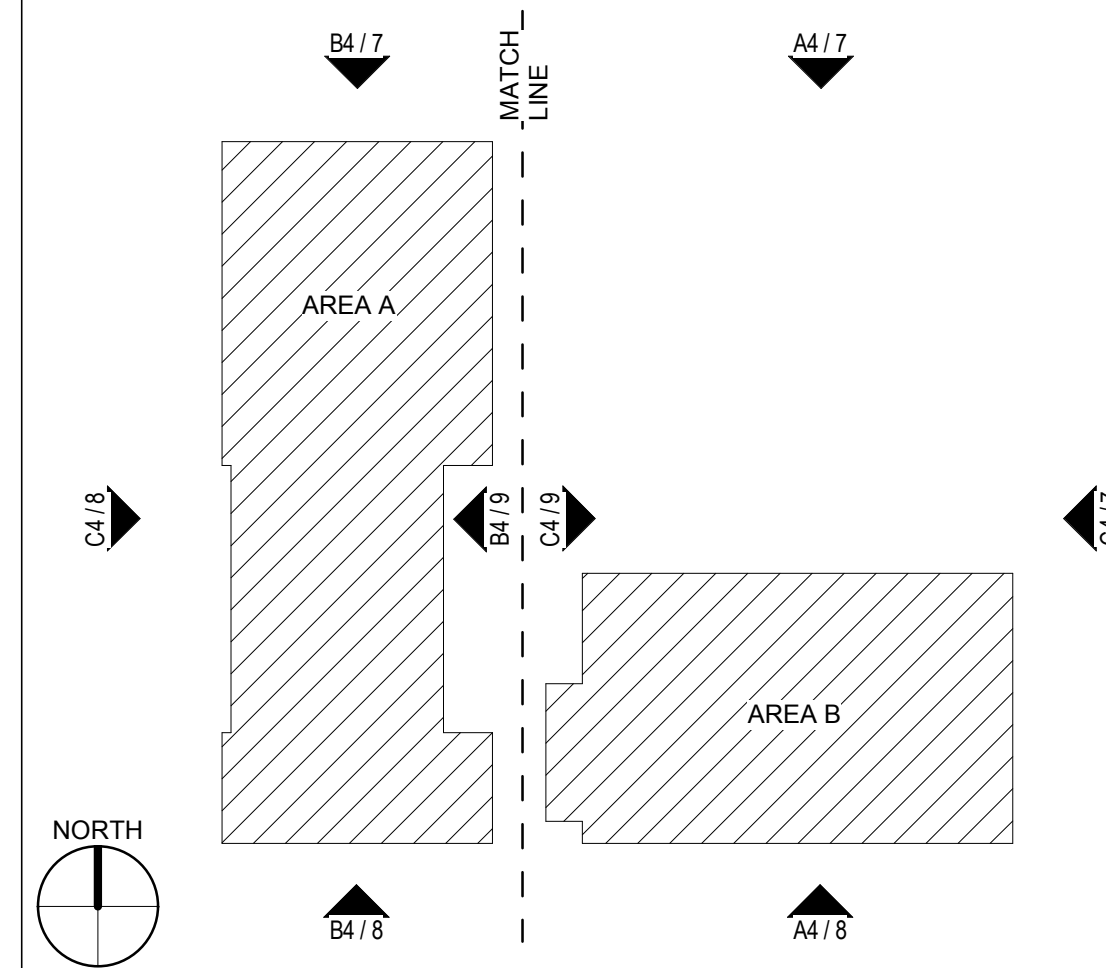
GENERAL SHEET NOTES

A. GENERAL SHEET NOTES

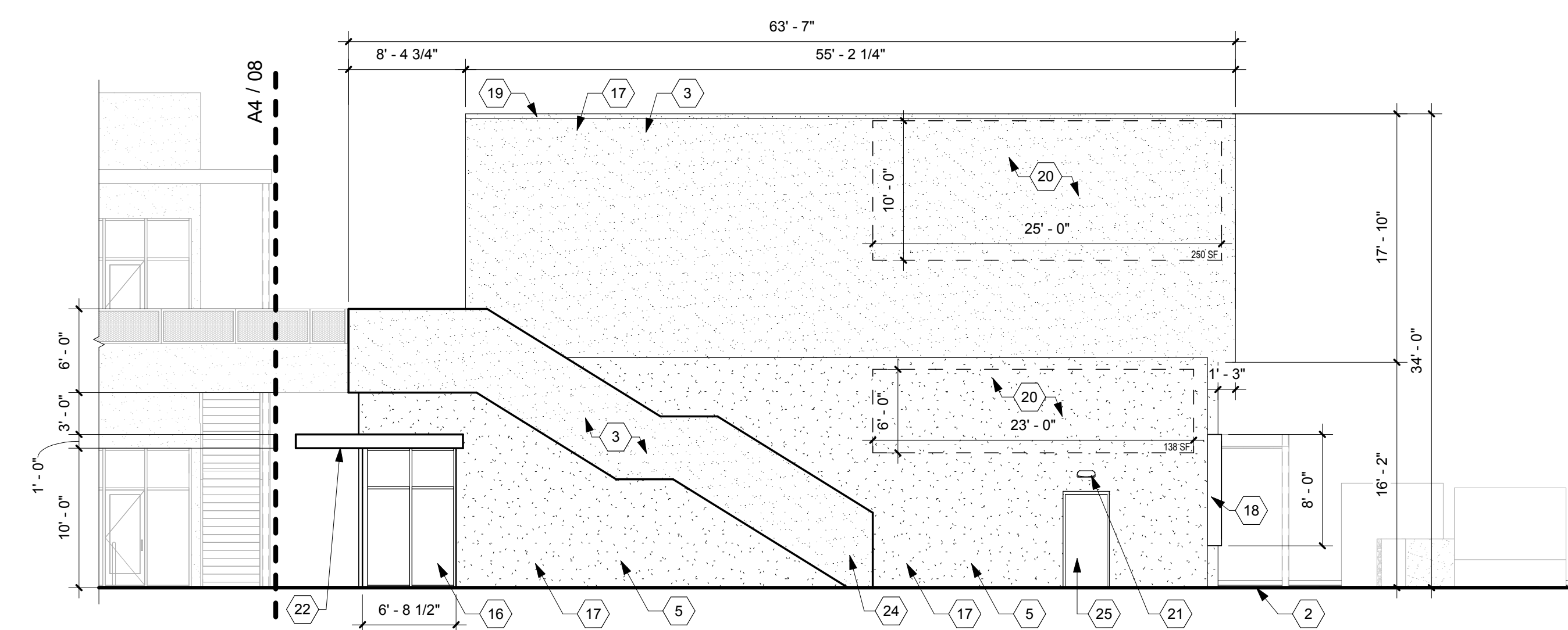
SHEET KEYNOTES

1. NEW CONCRETE AND CURB PAVING
2. NEW CONCRETE SIDEWALK
3. STUCCO COLOR "GREY". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
4. STUCCO COLOR "SLATE GREY". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
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15. STUCCO COLOR "DARK BROWN". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
16. THERMALLY BROKEN ALUMINUM AND GLASS CURTAIN WALL SYSTEM PRE-FINISHED KYNAR COATING WITH 1" INSULATED LOW E GLAZING. FINAL STOREFRONT / DOORS TO BE DETERMINED BY FUTURE TENANTS.
17. 3/4" STUCCO SYSTEM
18. METAL PANEL WHITE SHOWROOM FRAME
19. NEW KAYNAR COATED, PRE-FINISHED METAL COPING TO MATCH ADJACENT STUCCO COLOR
20. POTENTIAL SIGNAGE AREA OF FUTURE TENANTS. SIZE AND MAXIMUM SQUARE FOOTAGE AS NOTED. TO BE BACK LIT. FUTURE SIGNAGE CAN BE APPROVED ADMINISTRATIVELY.
21. EMERGENCY EGRESS LIGHTING.
22. LOUVERED WHITE SHADE CANOPY
23. PERFORATED WHITE BALCONY SLIDING SCREEN.
24. EXTERIOR STAIR.
25. PAINTED HMTL DOOR TO MATCH ADJACENT STUCCO COLOR AND FRAME WITH ASSOCIATED HARDWARE.
26. CLERESTORY WINDOW, TYP.
27. RESIDENTIAL WINDOW.
28. STRUCTURAL COLUMN.
29. EXISTING RETAINING WALL TO REMAIN
30. NEW CONCRETE STAIRS
31. NEW RETAINING WALL.
32. PERFORATED METAL RAILING.
33. BICYCLE RACK.

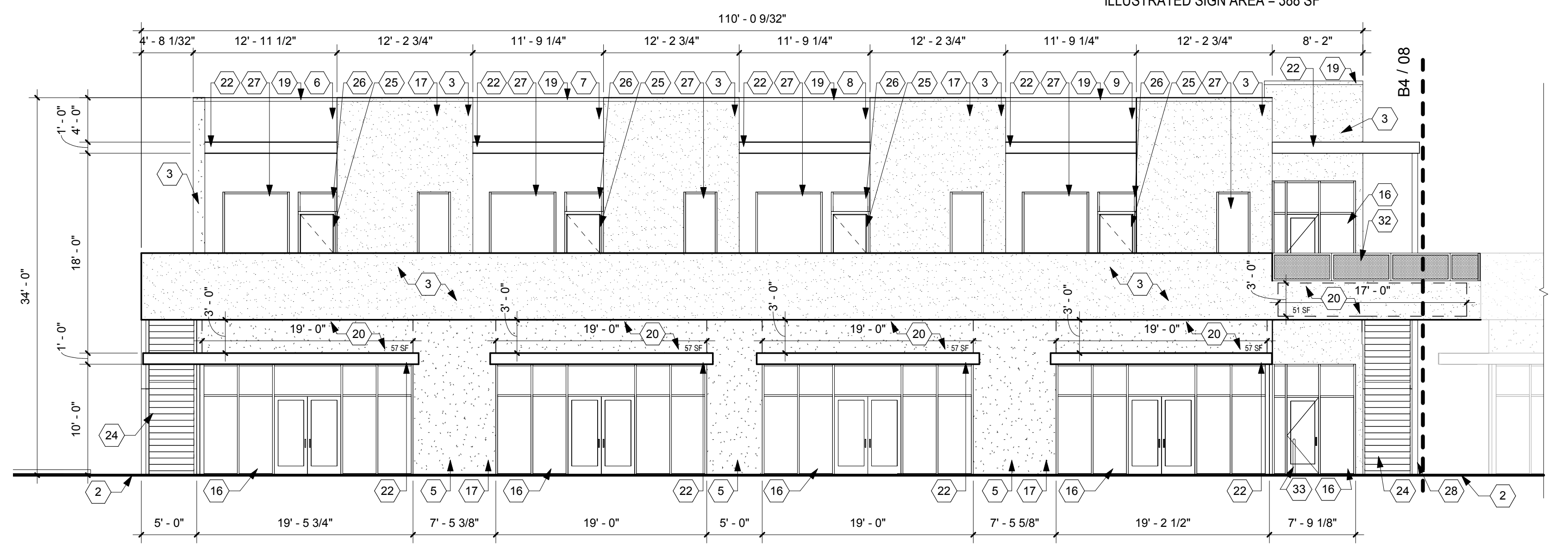
KEY PLAN



C4 EAST ELEVATION
1/8" = 1'-0"
EAST SIGNAGE AREA = 1,978 SF
MAX ALLOWABLE SIGN AREA = 492 SF (25% OF BLDG FACADE AREA)
ILLUSTRATED SIGN AREA = 388 SF



B4 NORTH ELEVATION
1/8" = 1'-0"
EAST SIGNAGE AREA = 1,968 SF
MAX ALLOWABLE SIGN AREA = 492 SF (25% OF BLDG FACADE AREA)
ILLUSTRATED SIGN AREA = 388 SF



A4 NORTH ELEVATION
1/8" = 1'-0"
EAST SIGNAGE AREA = 3,576.25 SF
MAX ALLOWABLE SIGN AREA = 894 SF (25% OF BLDG FACADE AREA)
ILLUSTRATED SIGN AREA = 279 SF

NOT FOR CONSTRUCTION

PROJECT

2440 LOUISIANA

2440 Louisiana Blvd. NE
ALBUQUERQUE, NM 87110

URT REVIEW /
SITE PLAN FOR
BUILDING PERMIT

REVISIONS



| | |
|-------------|------------|
| DRAWN BY | CTS |
| REVIEWED BY | SL |
| DATE | 04.07.2017 |
| PROJECT NO: | 14-0087 |

DRAWING NAME
**EXTERIOR
ELEVATIONS**

SHEET NO
09 OF 12

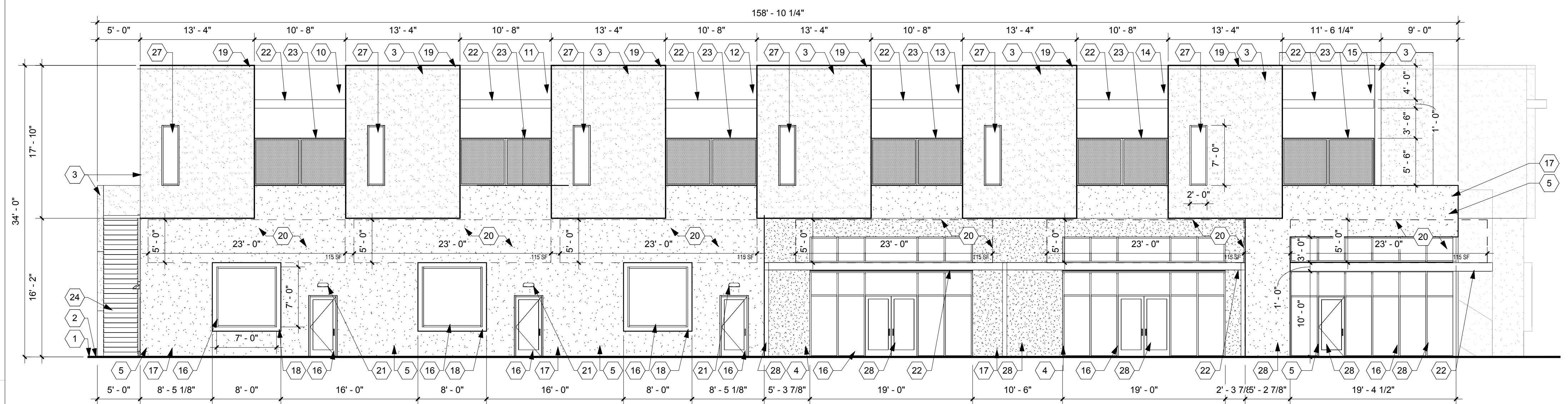
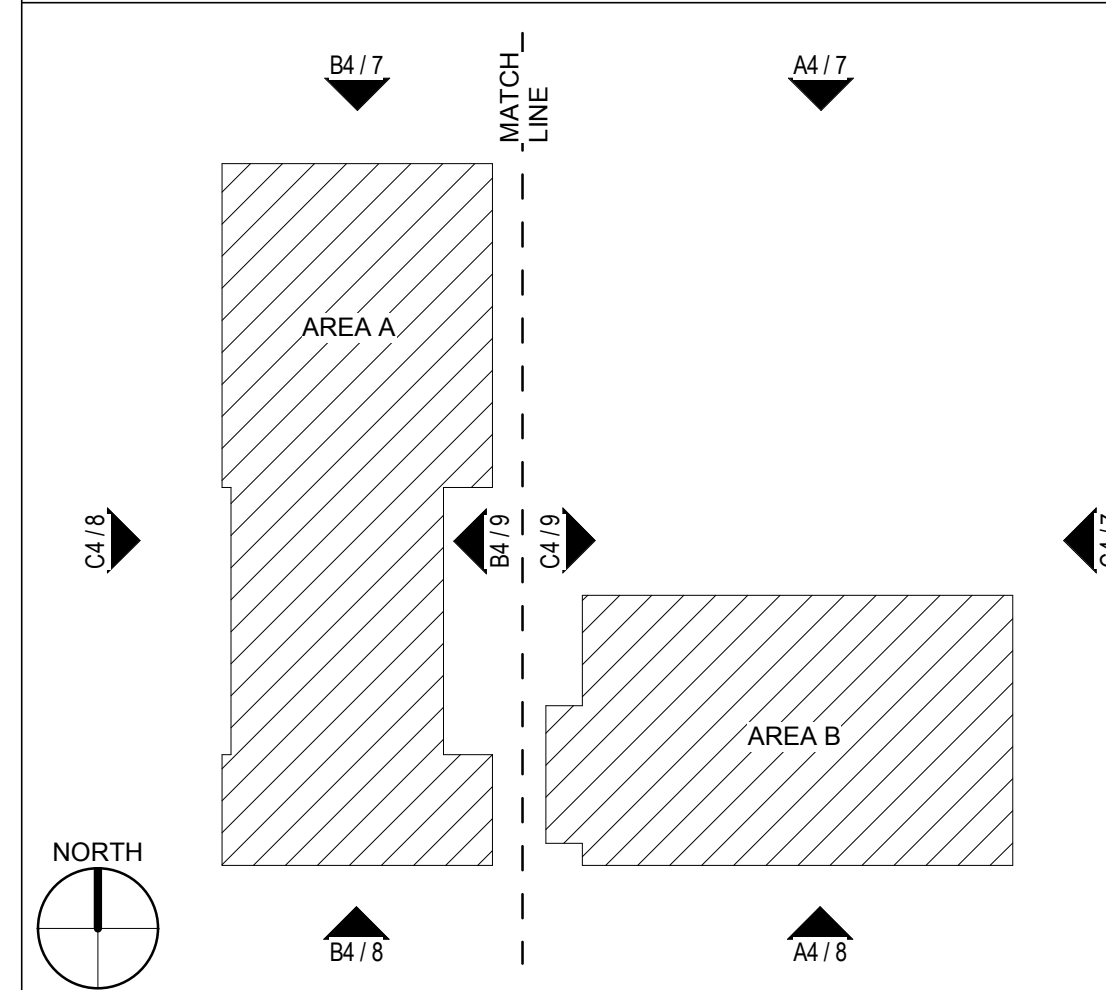
GENERAL SHEET NOTES

A. GENERAL SHEET NOTES

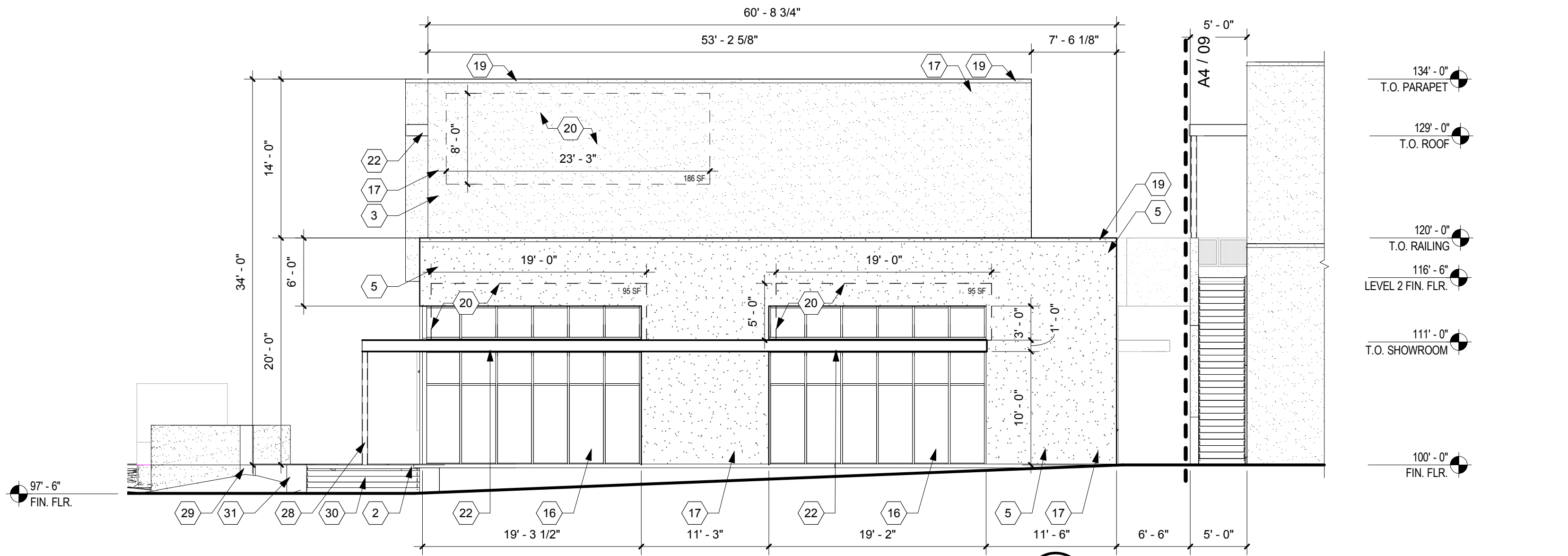
SHEET KEYNOTES

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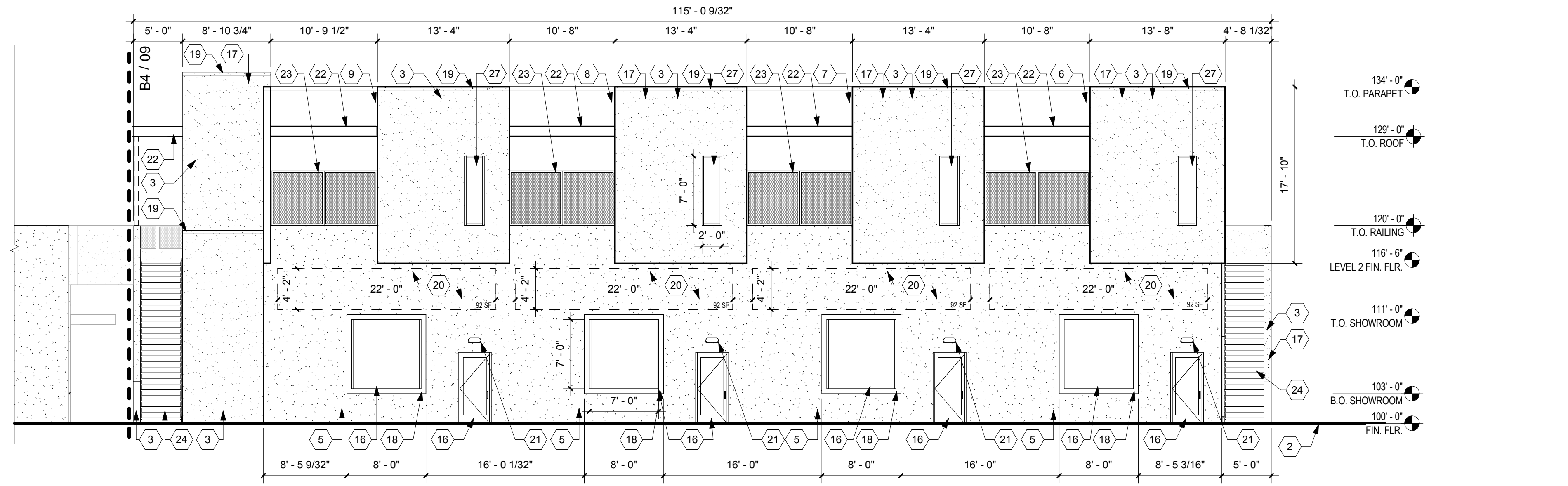
KEY PLAN



C4 WEST ELEVATION
1/8" = 1'-0"
WEST SIGNAGE AREA = 4,729.85 SF
MAX ALLOWABLE SIGN AREA = 1,418.95 SF (30% OF BLDG FACADE AREA)
ILLUSTRATED SIGN AREA = 690 SF



B4 SOUTH ELEVATION
1/8" = 1'-0"
SOUTH SIGNAGE AREA = 1,960.23 SF
MAX ALLOWABLE SIGN AREA = 490 SF (25% OF BLDG FACADE AREA)
ILLUSTRATED SIGN AREA = 376 SF



A4 SOUTH ELEVATION
1/8" = 1'-0"
EAST SIGNAGE AREA = 3,576.25 SF
MAX ALLOWABLE SIGN AREA = 894 SF (25% OF BLDG FACADE AREA)
ILLUSTRATED SIGN AREA = 368 SF

NOT FOR CONSTRUCTION

PROJECT

2440 LOUISIANA
2440 Louisiana Blvd. NE
ALBUQUERQUE, NM 87110

URT REVIEW /
SITE PLAN FOR
BUILDING PERMIT

REVISIONS

- ▲
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- ▲
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DRAWN BY: CTS
REVIEWED BY: SL
DATE: 04.07.2017
PROJECT NO: 14-0087

DRAWING NAME
**EXTERIOR
ELEVATIONS**

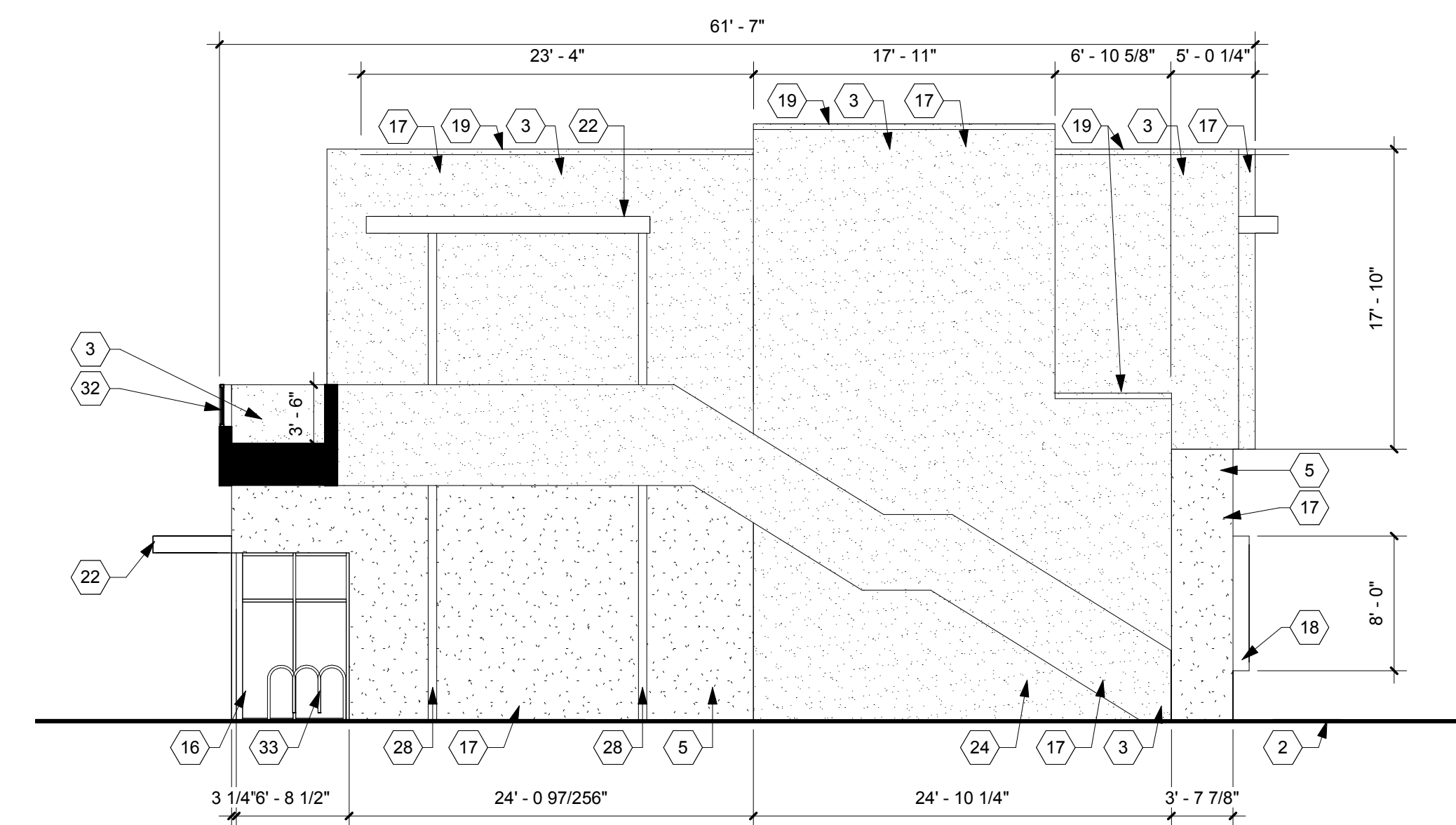
SHEET NO
10 OF 12

GENERAL SHEET NOTES

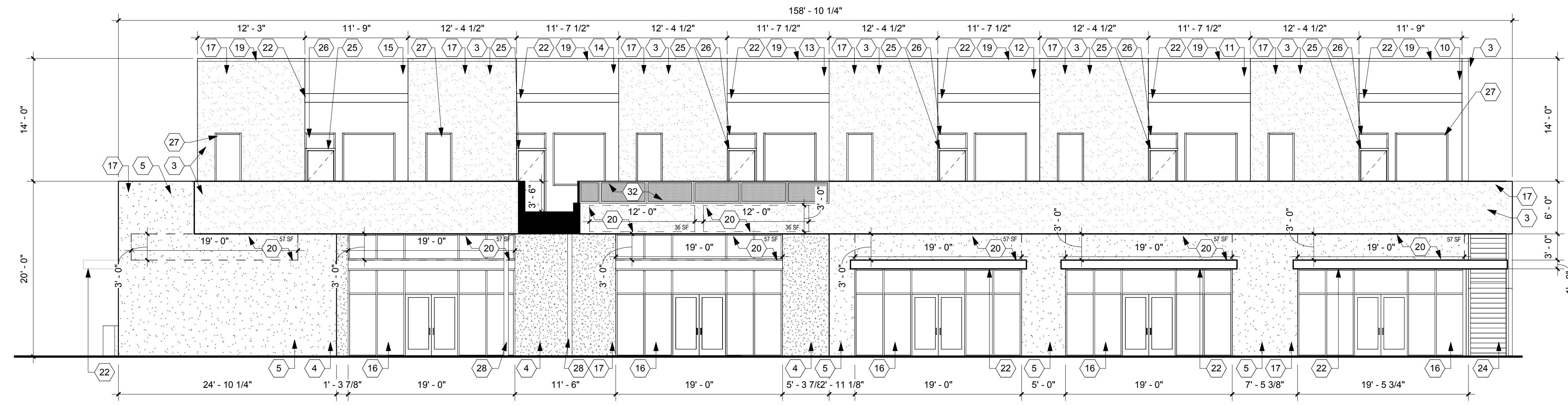
A. GENERAL SHEET NOTES

SHEET KEYNOTES

1. NEW CONCRETE AND CURB PAVING
2. NEW CONCRETE SIDEWALK.
3. STUCCO COLOR "GREY". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
4. STUCCO COLOR "SLATE GREY". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
5. STUCCO COLOR "TAN". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
6. STUCCO COLOR "DARK SIENNA". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
7. STUCCO COLOR "TEAL". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
8. STUCCO COLOR "GREEN". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
9. STUCCO COLOR "RED". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
10. STUCCO COLOR "SIENNA". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
11. STUCCO COLOR "MUSTARD". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
12. STUCCO COLOR "BLUE". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
13. STUCCO COLOR "LIME GREEN". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
14. STUCCO COLOR "PLUM". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
15. STUCCO COLOR "DARK BROWN". (ADJACENT PRE-FINISHED COPING COLOR TO BE SIMILAR TO EIFS COLOR).
16. THERMALLY BROKEN ALUMINUM AND GLASS CURTAIN WALL SYSTEM PRE-FINISHED KYNAR COATING WITH 1" INSULATED LOW E GLAZING. FINAL STOREFRONT / DOORS TO BE DETERMINED BY FUTURE TENANTS.
17. 3/4" STUCCO SYSTEM
18. METAL PANEL WHITE SHOWROOM FRAME.
19. NEW KAYNAR COATED, PRE-FINISHED METAL COPING TO MATCH ADJACENT STUCCO COLOR.
20. POTENTIAL SIGNAGE AREA OF FUTURE TENANTS. SIZE AND MAXIMUM SQUARE FOOTAGE AS NOTED. TO BE BACK LIT. FUTURE SIGNAGE CAN BE APPROVED ADMINISTRATIVELY.
21. EMERGENCY EGRESS LIGHTING.
22. LOUVERED WHITE SHADE CANOPY
23. PERFORATED WHITE BALCONY SLIDING SCREEN.
24. EXTERIOR STAIR.
25. PAINTED HMTL DOOR TO MATCH ADJACENT STUCCO COLOR AND FRAME WITH ASSOCIATED HARDWARE.
26. CLERESTORY WINDOW, TYP.
27. RESIDENTIAL WINDOW, TYP.
28. STRUCTURAL COLUMN.
29. EXISTING RETAINING WALL TO REMAIN
30. NEW CONCRETE STAIRS
31. NEW RETAINING WALL.
32. PERFORATED METAL RAILING.
33. BICYCLE RACK.

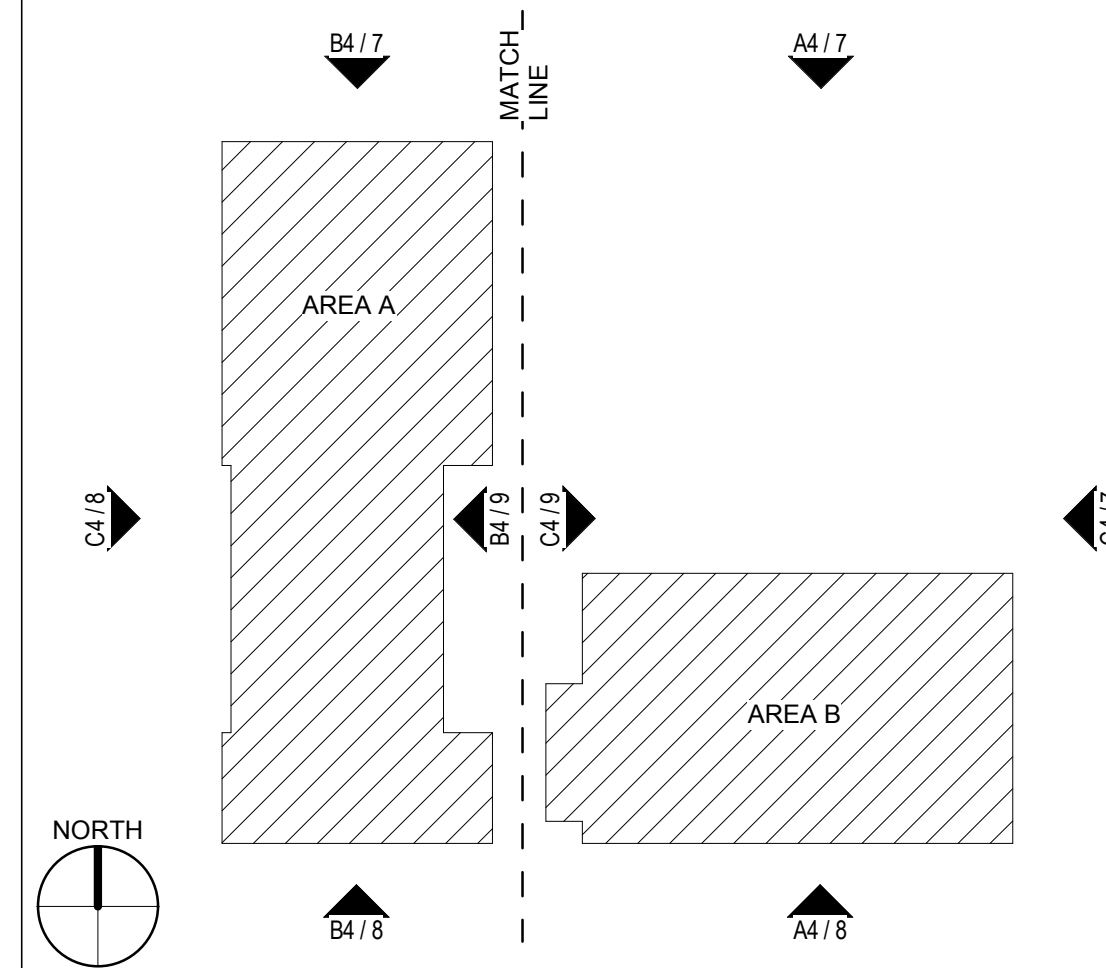


C4 WEST ELEVATION
1/8" = 1'-0"
WEST SIGNAGE AREA = 5,128.15 SF
MAX ALLOWABLE SIGN AREA = 1,282 SF (25% OF BLDG FACADE AREA)
ILLUSTRATED SIGN AREA = 909 SF



B4 EAST ELEVATION
1/8" = 1'-0"
EAST SIGNAGE AREA = 4,729.85 SF
MAX ALLOWABLE SIGN AREA = 1,182 SF (25% OF BLDG FACADE AREA)
ILLUSTRATED SIGN AREA = 414 SF

KEY PLAN



**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

ISSUED FOR
DRB/URT
Site Plan for Subdivision

SEAL

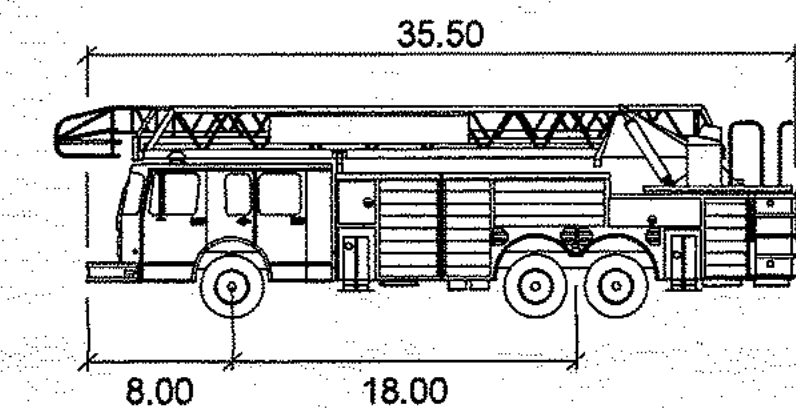
PROJECT

2440 LOUISIANA LOTS
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

BUILDING INFORMATION

BUILDING 1

ADDRESS : 2440 LOUISIANA BLVD.
LEGAL DESCRIPTION : TRACT 5-A-1, BLOCK C OF THE REPLAT OF LOUISIANA SUBDIVISION
ZONE ATLAS : H-19
BUILDING AREA : 26,394 SF
LEVEL 1 - 14,936 SF
LEVEL 2 - 11,458 SF
CONSTRUCTION TYPE : II-B
SPRINKLERED : YES
FIRE FLOW : 1,750 GPM
BUILDING HEIGHT : 32'-0"
HYDRANTS REQUIRED : 1



| Fire truck - COA | feet |
|-------------------|--------|
| Width | : 8.00 |
| Track | : 8.00 |
| Lock to Lock Time | : 6.0 |
| Steering Angle | : 40.0 |

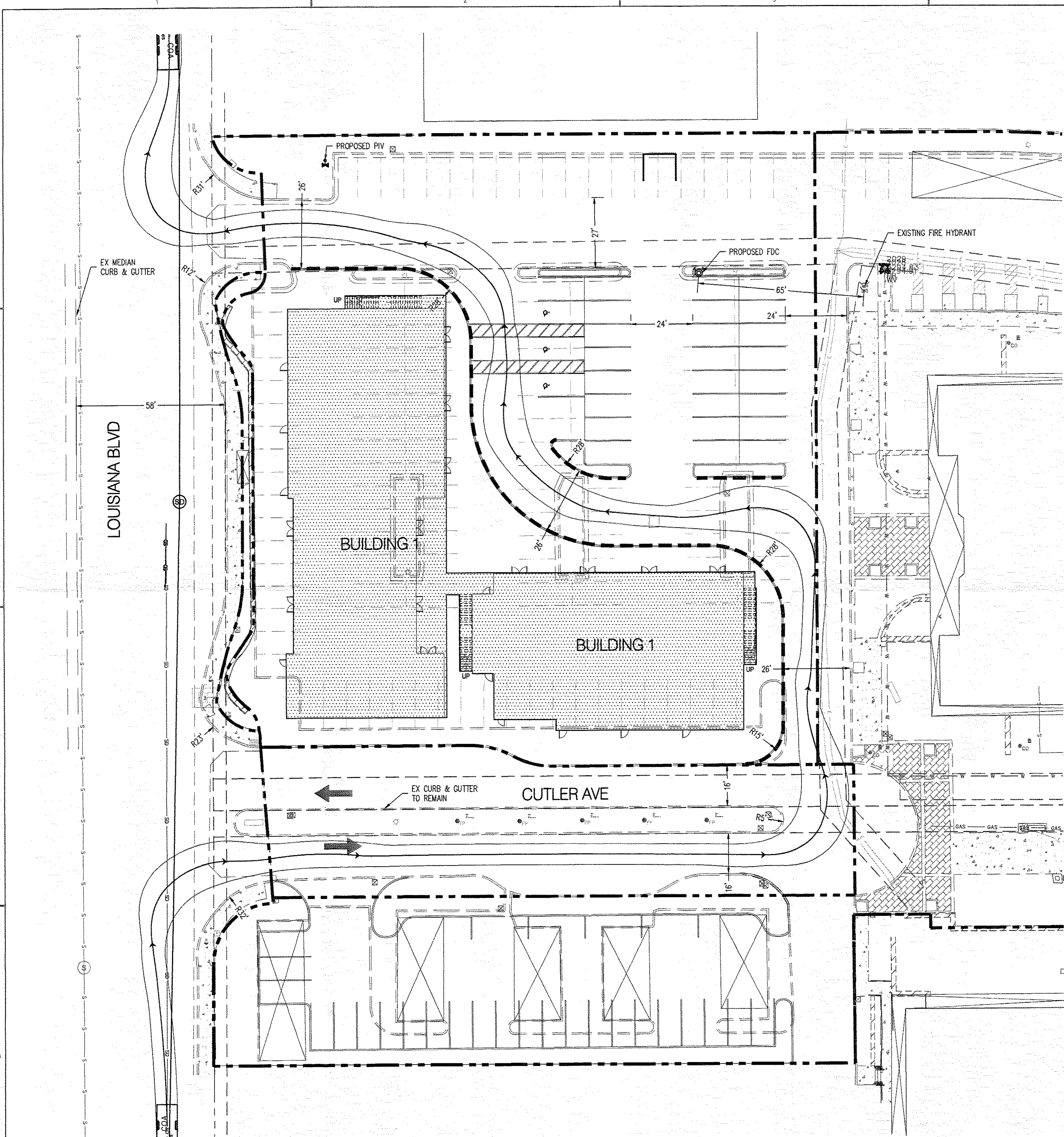
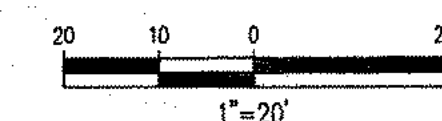
12-60-17
HYDRANT AND FIRE ACCESS
ALBUQUERQUE FIRE MARSHAL'S OFFICE
PLANS CHECKING DIVISION
SOFT 11193 CONSTRUCTION TYPE 118
SPRINK 1156 NUMBER OF HYDRANTS 1
APPROVED / DISAPPROVED
Kaukawat 2-2-17
SIGNATURE, LEAN NUMBER, DATE

NOTES

1. ALL RADII ALONG FIRE LANE SHALL BE 28'.
2. MONUMENT SIGN IDENTIFY BUILDINGS WILL BE PROVIDED AT ADJACENT ROADWAYS.
3. ALL BUILDINGS SHALL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
4. FIRE HYDRANT CONNECTION SHALL BE WITHIN 100 FT OF A FIRE HYDRANT.
5. ALL AREAS PAVED INCLUDING FIRE ACCESS.
6. SLOPES WILL NOT EXCEED 10% IN GRADE FOR THE FIRE ACCESS ROAD
7. AREA/OCCUPANCY SEPARATION AS REQUIRED BY THE CURRENTLY ENFORCED IBC SHALL BE PROVIDED AS NECESSARY.

LEGEND

- PROPERTY LINE
- - - MARKED FIRE ACCESS
- [Hatched Box] BUILDING FOOTPRINT



GENERAL SHEET NOTES

- A. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2013)
- B. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT, OFFICE AND HOUSING
- C. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN

SHEET KEYED NOTES

1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE
3. 10' PRIVATE WATER LINE EASEMENT
4. 10' PRIVATE SANITARY SEWER EASEMENT
5. EXISTING 5' P.U.E.
6. EXISTING 10' UNDERGROUND UTILITY EASEMENT MST&T
7. 10' PNM AND MST&T UNDERGROUND EASEMENT
8. 25' SANITARY SEWER, WATER MAIN AND FIRE PROTECTION EASEMENT
9. 10' PRIVATE GAS LINE EASEMENT
10. PORTION OF ORIGINAL EASEMENT RELEASED BY PNM
11. PROPOSED BUILDINGS AND ASSOCIATED SITE DEVELOPMENT ARE ILLUSTRATIVE ONLY
12. EXISTING RECIPROCAL PRIVATE PARKING AND STORM DRAINAGE EASEMENT (8.14.89, C39-140) BLANKET IN NATURE.
13. EXISTING PRIVATE DRAINAGE EASEMENT (2.9.84, C23-461) BLANKET IN NATURE.
14. EXISTING LOT LINE TO BE RE-PLATTED PER SHEET 4 OF 5 OF THIS SUBMITTAL.

SITE DATA

UPC: 101905903119330904 & 101905906316730907
 SITE ADDRESS: 2440 LOUISIANA BLVD, ALBUQUERQUE, NM 87110
 LEGAL DESCRIPTION: LOT 5-A BLK C LOUISIANA SUBD (A REPL OF LTS 2-7 BLK C) CONT'G 2.997 AC AND LOT 6-A-1-C-1 BLK C PLAT OF LOTS 6-A-1-C-1 & 7-A-1-A-1-A BLOCK C LOUISIANA SUBDIVISION COMPRISED OF LOTS 6-A-A-C & 7-A-1-A-A BLOCK C LOUISIANA SUBDIVISION CONT 2.5592 AC
 ACRES: EXISTING 3.2997 & 2.5592
 SECTOR DEVELOPMENT PLANS: UPTOWN SDP
 COMPREHENSIVE PLAN DESIGNATION: ESTABLISHED URBAN
 ZONE: SU-3 FOR MU-UPT

BUILDING AREA:
 LOT 5-A-1
 RETAIL 14,067 SF
 RESIDENTIAL 9,709 SF (1 STORY ABOVE RETAIL)
 FAR 0.45

LOT 5-A-2: EXISTING OFFICE 93,799 SF (7 STORY)

LOT 6-A-1-C-1-A: RESIDENTIAL 54,000 SF (5 STORY)
 FAR 0.82

LOT 6-A-1-C-1-B: OFFICE 5,015 SF (1 STORY)
 FAR 0.27

DESIGN STANDARDS

FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT SHALL ADHERE TO DESIGN STANDARDS AS DESCRIBED WITHIN THE UPTOWN SECTOR DEVELOPMENT PLAN:

ZONING AND DESIGN REGULATIONS
 STREET REALM / LANDSCAPING:
 OPEN SPACE Chapter V Section D (pgs 51 - 53)
 PLAZAS Chapter V Section E (pgs 54 - 55)
 LANDSCAPE Chapter V Section F (pgs 55 - 57)
 TREES Chapter V Section G (pgs 57 - 60)
 WALKWAYS Chapter V Section F (pgs 60 - 61)
 LANDSCAPE BUFFERS Chapter V Section I (pgs 61 - 62)
 LANDSCAPE PLAN Chapter V Section K (pgs 65 - 66)

BUILDING DESIGN:
 HEIGHT / SETBACK Chapter IV Sections G & H (pgs 46 - 47)
 REGULATIONS Chapter V Section A (pgs 49 - 50)

SIGNAGE:
 REGULATIONS Chapter V Section L (pgs 66 - 73)

SITE DESIGN:
 PARKING Chapter V Section J (pgs 62 - 65)
 REGULATIONS Chapter V Section B (pg 50) Screening
 Chapter V Section C (pg 51) Fencing and Walls
 Chapter VI Section A - F (pgs 75 - 77) Connectivity

PROJECT NUMBER: 10 10042
 APPLICATION NUMBER: 15 DRB-70382
 Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRB plan a work order is required for any construction within Public Right-of-Way or for construct public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

[Signature] 10/3/16 DATE
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION
 ABCWUA

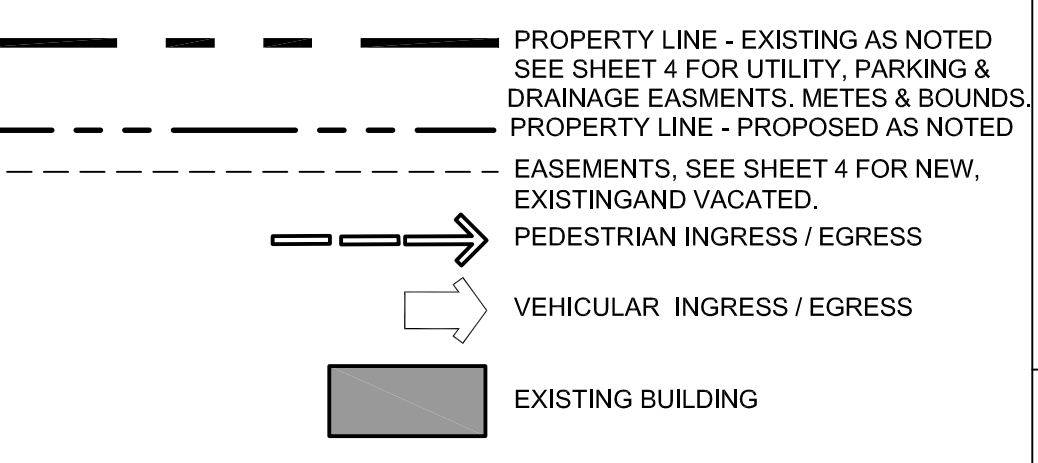
[Signature] 05/03/16 DATE
 Carol S. Dumont
 PARKS AND RECREATION DEPARTMENT

[Signature] 8-3-16 DATE
 CITY ENGINEER

[Signature] 10-28-14 DATE
 SOLID WASTE MANAGEMENT

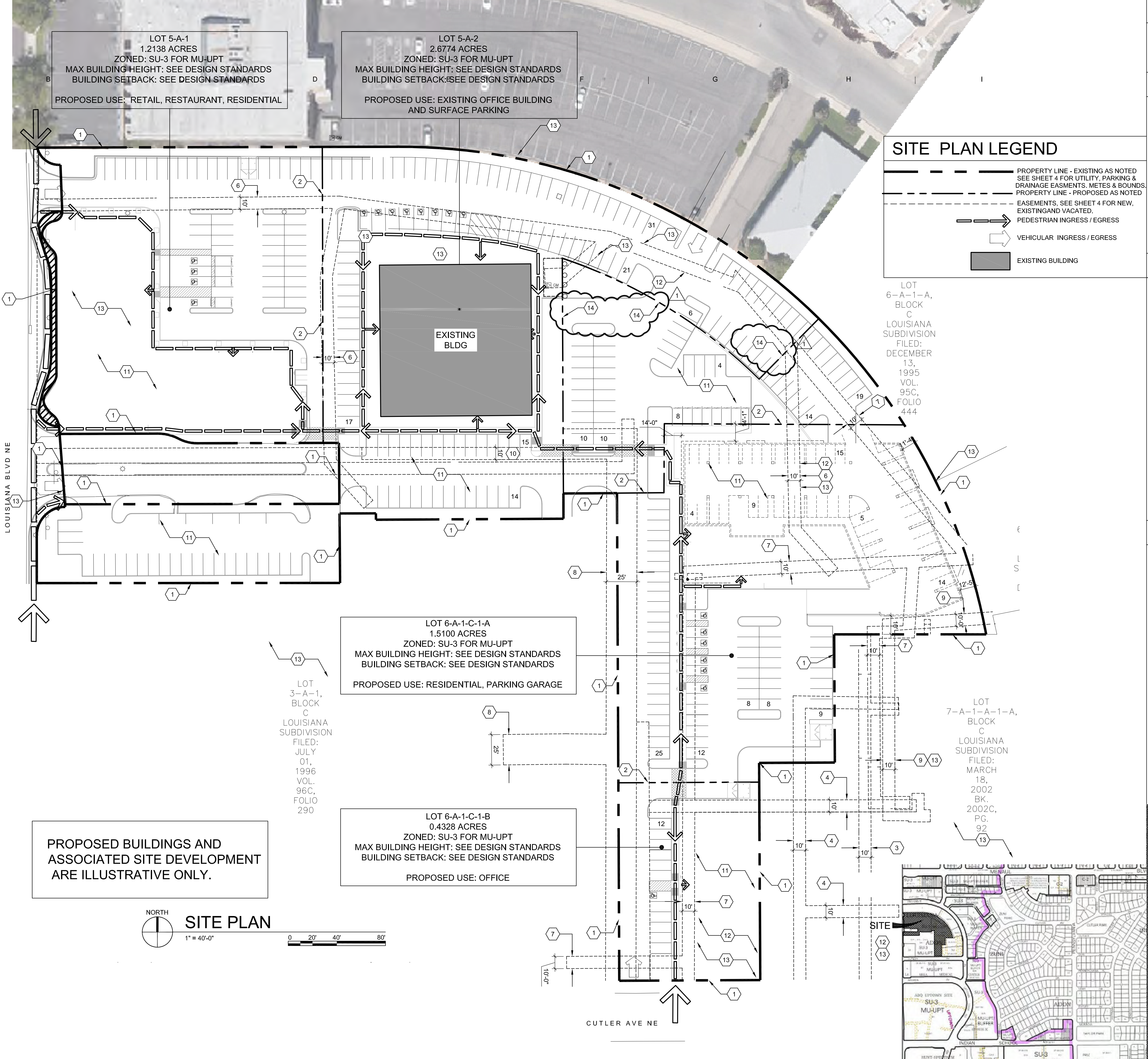
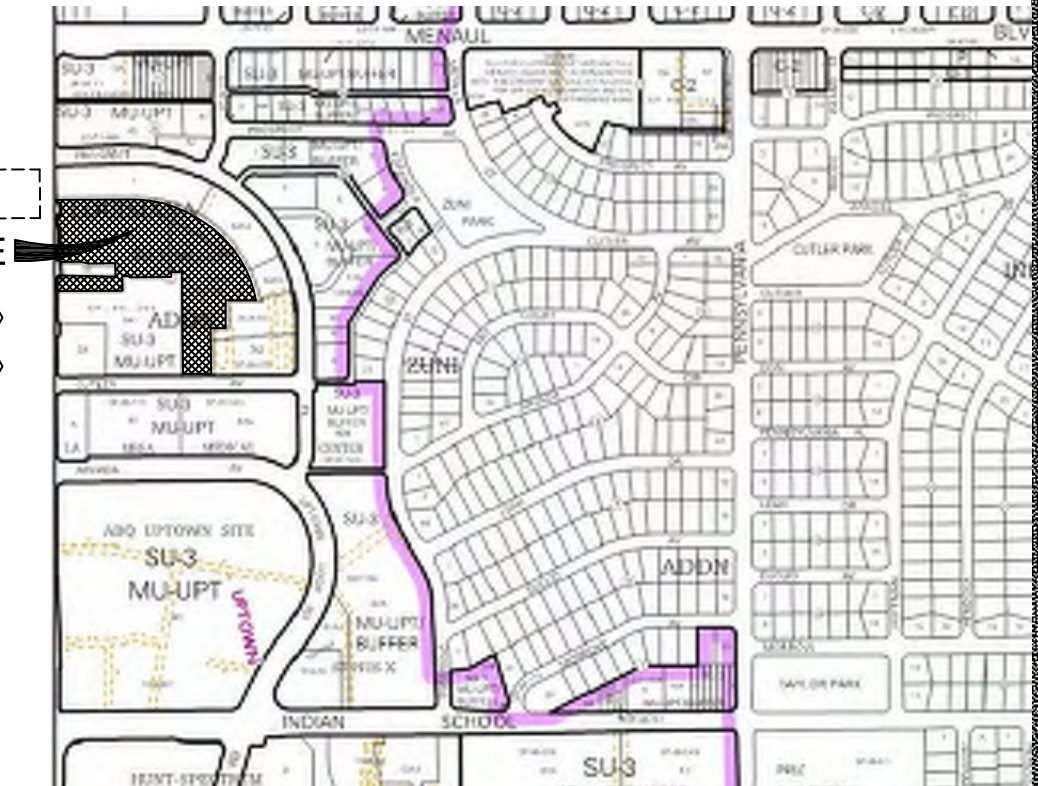
[Signature] 10-20-16 DATE
 DRD CHAIRPERSON, PLANNING DEPARTMENT

SITE PLAN LEGEND



LOT 6-A-1-A, BLOCK C LOUISIANA SUBDIVISION FILED: DECEMBER 13, 1995 VOL. 95C, FOLIO 444

LOT 7-A-1-A-1-A, BLOCK C LOUISIANA SUBDIVISION FILED: MARCH 18, 2002 BK. 2002C, PG. 92



PROPOSED BUILDINGS AND ASSOCIATED SITE DEVELOPMENT ARE ILLUSTRATIVE ONLY.

