

REQUIRED INFORMATION - SITE PLAN FOR SUBDIVISION:

Site: 11.46 acres zoned C-1 (SC) and contains 11 existing lots and Tract A for Bosque Plaza Lane, an existing private road.

Proposed Use: Retail - Neighborhood Commercial consistent with the C-1 (SC) regulations.

- Only two fast food drive-up service windows are permitted and shall require approval of a conditional use permit, pursuant to the City of Albuquerque Comprehensive Zoning Code.
- One additional drive-thru facility shall be permitted for a financial institution.
- No outdoor storage is permitted.
- Wireless telecommunication facilities shall not be permitted.

Pedestrian and Vehicular Ingress and Egress: The Bosque Plaza Design Standards and Pedestrian Plan contain information regarding pedestrian and vehicular ingress and egress to the site.

Access: The primary access to the Bosque Plaza shopping center is from Coors Boulevard, which is identified as a Major Arterial on MRCOG's Roadway Functional Classification Map and La Orilla Road. There is no direct vehicular access to Coors Boulevard other than Bosque Plaza Lane and La Orilla Road.

Roadways: Bosque Plaza Lane is an existing 60 foot private easement that provides access to all lots within the shopping center. Cross-access agreements exist within Bosque Plaza and are filed in the Bosque Plaza Declaration of Easements, Covenants and restrictions (see note Sheet 1).

Pedestrian access: Access shall be accommodated through the development of City standard sidewalks on all abutting roadways and per the Bosque Plaza Pedestrian Plan found on Sheet 3.

Maximum Building Height: Maximum building height shall be pursuant to the City C-1 Zone and shall comply with the Coors Corridor Sector Development plan (CCSDP) view preservation requirements for Segment 3.

Minimum Building Setback: Building setback minimums shall be pursuant to the City C-1 Zone and the Coors Corridor Plan. A 35-foot landscape buffer is required adjacent to Coors Boulevard.

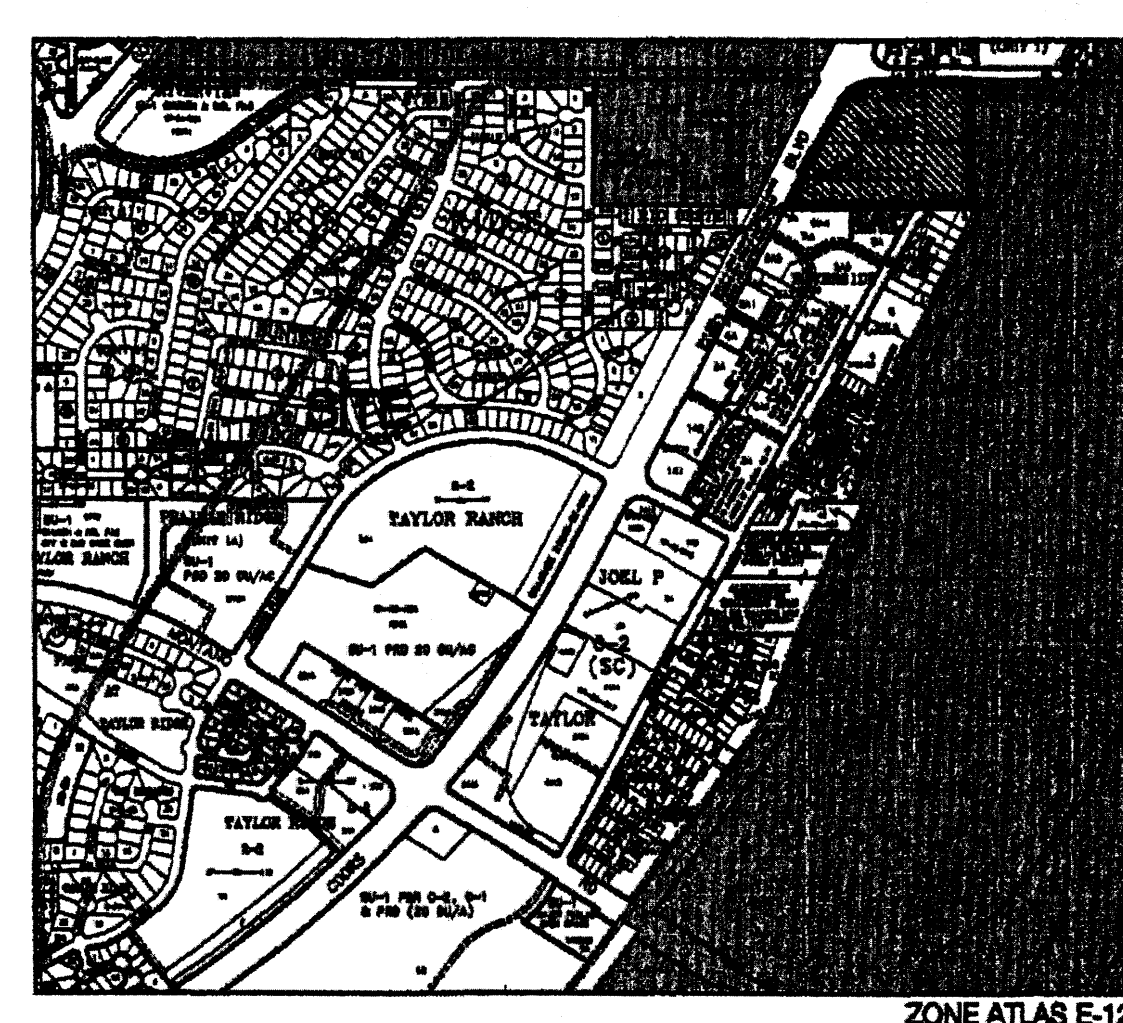
Maximum Floor Area Ratio: Retail - .30, Office - .40

Landscape Plan: Landscaping shall be consistent with the City Zoning Code, Water Conservation Ordinance, and Pollen Ordinance. A 10 foot landscape buffer is required adjacent to the residential area to the south and east of the subject site (known as the "Preserve"). Street Trees are required on Coors Boulevard and La Orilla in accordance with the Street Tree Ordinance. Maintenance of the landscaping and irrigation system shall be the responsibility of each individual Lot Owner. Gravel is allowed to be used, but will not be used as a primary ground cover, only to bridge gaps between plants and as an accent in the landscaping beds. Landscape areas over 36 square feet in size shall be covered with living vegetative material over at least 80% of the required landscape area. High-water use turf is prohibited. All planting areas will be maintained in a living, attractive, and weed free condition. Underground irrigation systems are required and shall consist of a fully automated sprinkler/drip irrigation system to irrigate trees, shrubs, and groundcover planting areas.

Lighting: Lighting shall be fully shielded and consistent with the Coors Corridor Plan lighting regulations. The height of pole-mounted lights will not exceed 20-feet from the grade of the parking lot. Lights within 150 feet of the adjacent residential area shall be limited to 16 feet in height and provide additional shielding on the residential side of the fixture.

Signage: One project identification sign will be permitted for the shopping center, which will be located on Lot 7, and building mounted signage shall be limited to 6% of the building facade to which it is applied and subject to the restrictions (Sheet 2).

SITE VICINITY



NOTE
 Sold Lots 1 through 10A, B and C and Tract A are subject to all restrictions, conditions and requirements as set forth in that certain "BOSQUE PLAZA DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 28th day of July, 2004 in Book A81, Page 84-88.

*Coordination with Lots 7A and 8A in the Riverside Plaza will be required to accommodate the vehicular/pedestrian connection between lots 4 and 5 and Bottlers Trail. Final adjustments shall be determined in conjunction with the Site Development Plans for Building Permit.

GENERAL NOTE:
 THE AMENDMENT COMPLIES WITH GENERAL REGULATIONS OF THE ZONING CODE, THE SUBDIVISION ORDINANCE, AND APPLICABLE DESIGN REGULATIONS EXCEPT AS SPECIFICALLY APPROVED BY THE EPC.

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List Required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

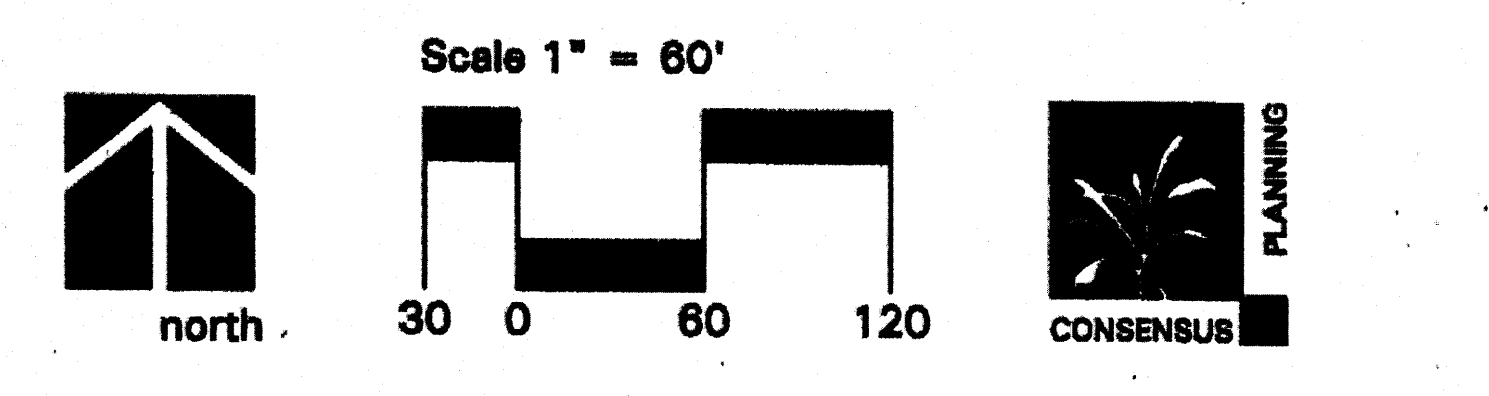
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

**SITE PLAN FOR SUBDIVISION
 BOSQUE PLAZA**

Prepared for:
 La Orilla Group LLC
 5445 Edith NE
 Albuquerque, NM 87107

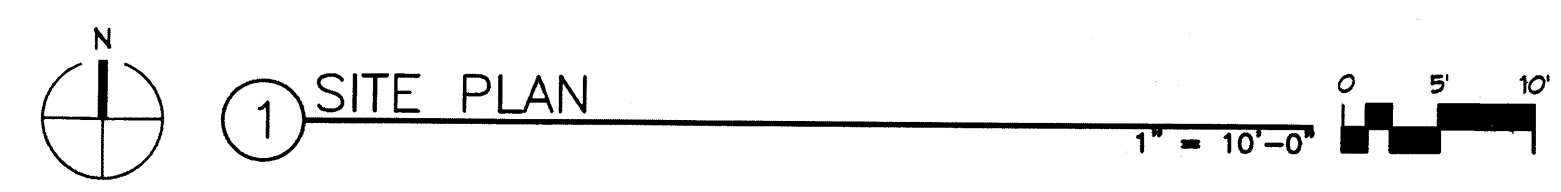
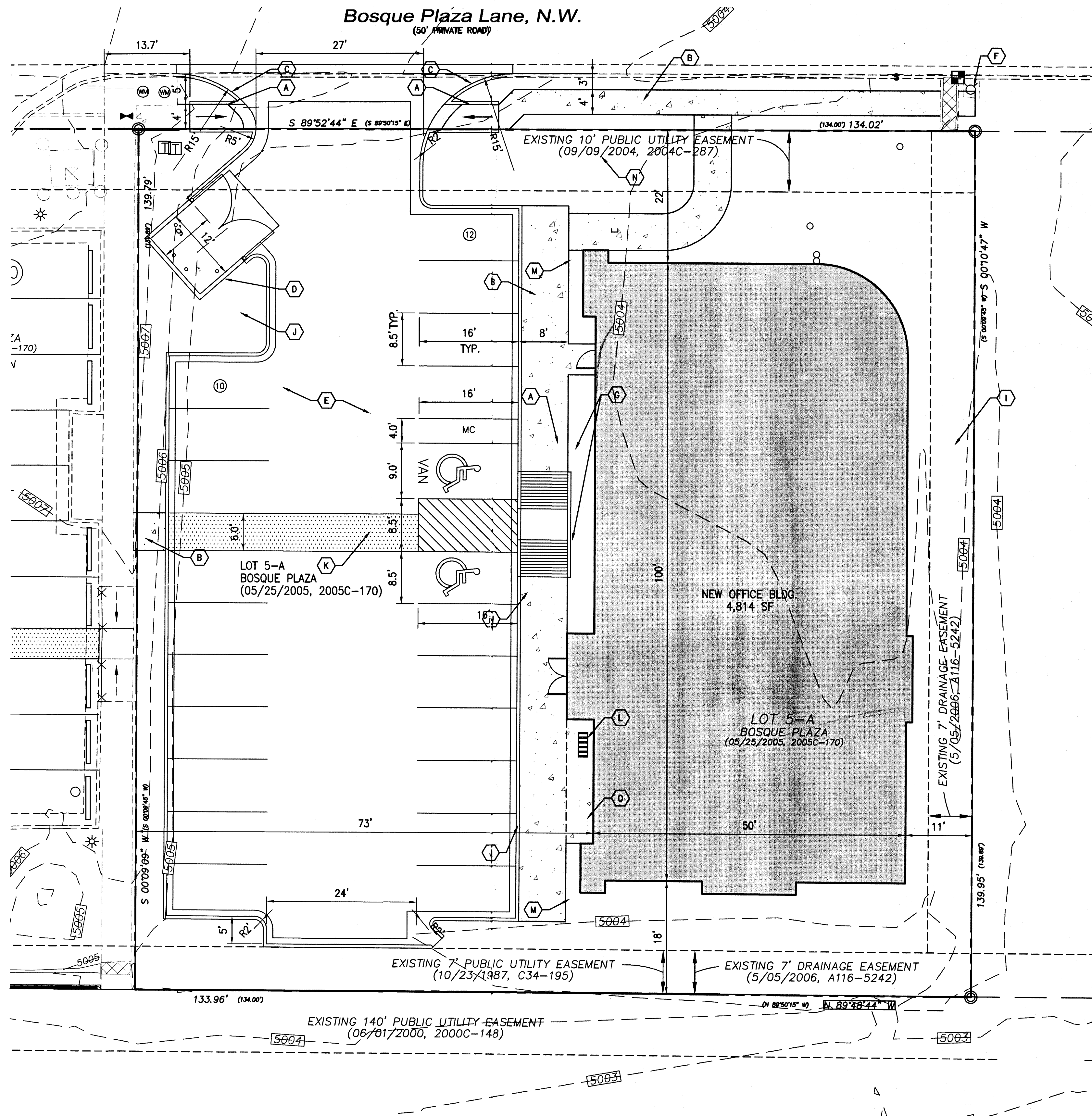
Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street SW
 Albuquerque, NM 87102



October 03, 2006

Sheet 1 of 3

UPDATED AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION
 SUBMITTED TO DRB JUNE 24, 2014 BY DSA.



DRAWING INDEX

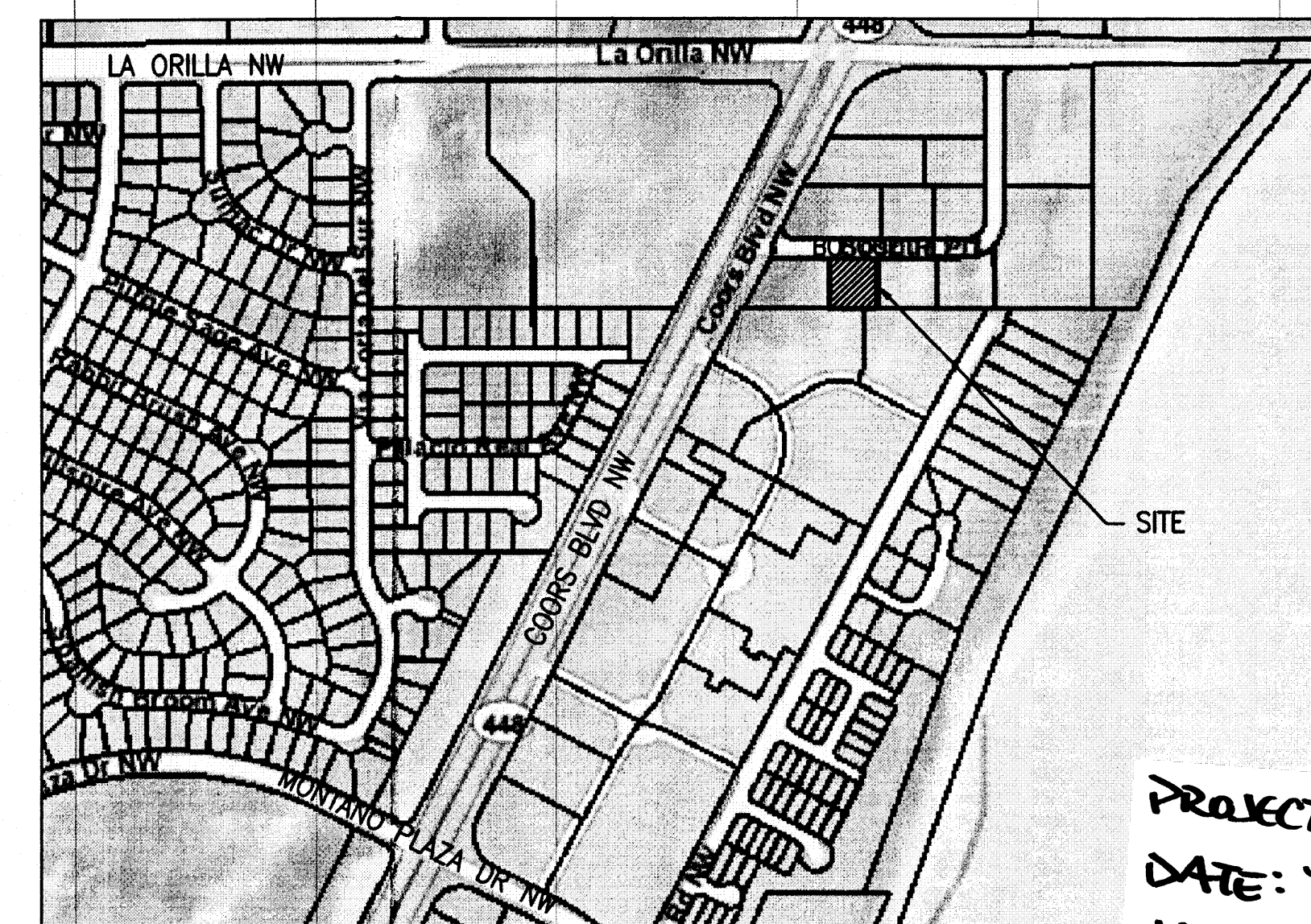
- AS001 SITE PLAN FOR BUILDING PERMIT
- L1 LANDSCAPING PLAN
- C1 GRADING AND DRAINAGE PLAN
- C2 UTILITY PLAN
- C3 VIEW CORRIDOR EXHIBIT
- A-201 BUILDING AND STRUCTURE ELEVATIONS

GENERAL NOTES

1. THE DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB) AND AS SHOWN ON THIS DRAWING.
2. THE PROPOSED PROJECT COMPLIES WITH APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL, CURRENT ADA CRITERIA, THE ZONING CODE, THE SUBDIVISION ORDINANCE, AND OTHER DESIGN REGULATIONS EXCEPT AS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION.
3. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
4. THE APPLICANT SHALL ABIDE BY TERMS OF UTILITY EASEMENTS.

SITE DATA

ZONING:	C-1 (SC)
SITE AREA:	18,741 SF (0.43 ACRES)
PROPOSED USAGE:	OFFICE
BUILDING AREA:	OWNER OFFICE 3,507 SF TENANT OFFICE 1,307 SF
OCCUPANCY:	B
PARKING REQUIRED:	OFFICE 24.07 SPACES (1 SPACE PER 200 SF) TRANSIT REDUCTION: 10% W/IN 300 FEET OF REG. ROUTE TOTAL: 22 (21.67) SPACES
PARKING PROVIDED:	22 SPACES (INCLUDING 2 HC SPACES)
HC PARKING REQUIRED:	1 SPACE
HC PARKING PROVIDED:	2 SPACES
MC PARKING REQUIRED:	1 SPACE
MC PARKING PROVIDED:	1 SPACE
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES
ALL MOTORCYCLE AND HANDICAP PARKING SPACES SHALL BE PER DEVELOPMENT PROCESS MANUAL	
SETBACKS:	ADJACENT TO BOSQUE PLAZA LANE 10' MINIMUM 54' MAXIMUM INTERNAL LOT LINES 0' OR 5' MINIMUM



VICINITY MAP

LEGAL DESCRIPTION

BOSQUE PLAZA, LOT 5A

KEYED NOTES

- A UNIDIRECTIONAL HC RAMP PER COA STD DWG #2426
- B SIDEWALK PER COA STD DWG #2430 WIDTH AS SHOWN
- C STANDARD CURB AND GUTTER PER COA STD DWG #2415A
- D REFUSE CONTAINER AND ENCLOSURE
- E ASPHALT PAVING
- F EXISTING FIRE HYDRANT; IF LOCATION OBSTRUCTS SIDEWALK, PAVE PER COA STD DWG #2431
- G ADA PARKING SIGN
- H MOTORCYCLE PARKING SIGN
- I DRAINAGE SWALE, SEE GRADING PLAN
- J 6" MEDIAN CURB AND GUTTER PER COA STD DWG #2415B
- K ENHANCED TEXTURED COLORED CONCRETE PAVEMENT
- L BICYCLE RACKS
- M APPROXIMATE LOCATION OF PARKING LOT POLE LIGHT; 20' MAXIMUM HEIGHT; FULLY SHIELDED; COMPLYING WITH DESIGN STANDARDS
- N APPROXIMATE LOCATION OF MONUMENT SIGN
- O PATIO

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- STRIPING
- CONCRETE PAVING
- SIDEWALK

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List Required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date 6/24/14
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 GRC MOROZA 6/24/14
 SIGNATURE & DATE
 BASED ON TYPE I/B CONSTRUCTION
 1273 GEN OK PER ASCWA
 SEE LETTER

DSA
 Darren Sowell
 ARCHITECTS
 4700 Lincoln N.E., Suite 111
 Albuquerque, N.M. 87109
 Phone: (505) 342-6200
 Fax: (505) 342-6201

PROJECT: 1010058
 DATE: 7-9-14
 APP: 14-70225 (SEP)
 14-70226 (SPS)

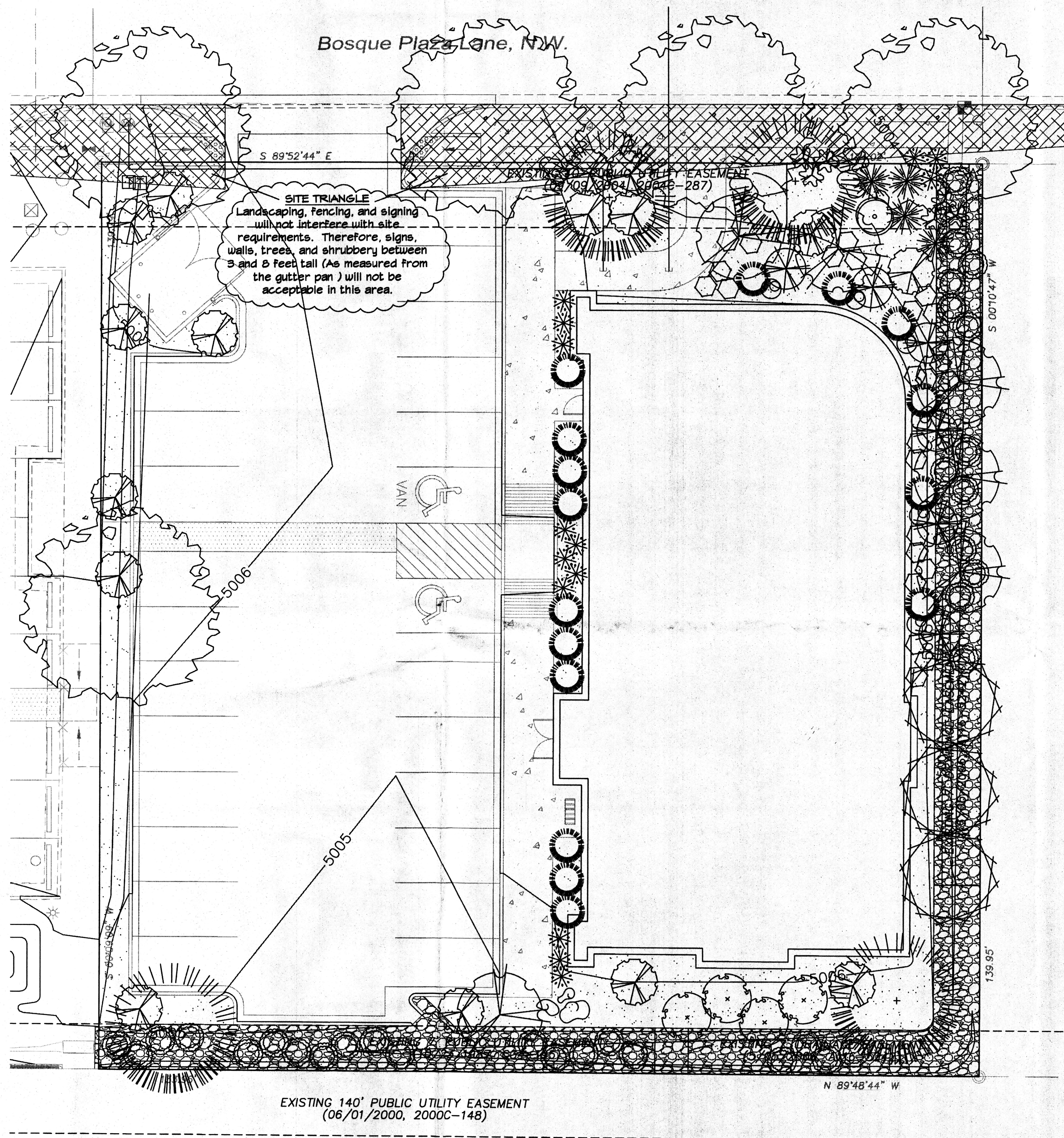
Office Building
 Dr. Ken Hurt
 Lot 5A, Bosque Plaza
 Albuquerque, New Mexico

Project Number 1410
 Drawn By JS
 Checked CC
 Issue Date June 23, 2014

SITE PLAN FOR BUILDING PERMIT

Scale: AS SHOWN

AS001



PLANT LEGEND

TREES

ASH (H) OR HONEY LOCUST (M) 5
Fraxinus pennsylvanica
Gleditsia triacanthos
 2" Cal.

AUSTRIAN PINE (M) 4
Pinus nigra
 10"

PURPLE-LEAF PLUM (M) 6
Prunus spp.
 1 1/2" Cal.

SHRUBS

DESERT WILLOW (L) 3
Chilopsis linearis
 15 Gal. 225cf

MUGO PINE (M) 16
Pinus mugo
 5 Gal. 25cf

BUTTERFLY BUSH (M) 4
Buddleia davidii
 5 Gal. 100cf

RED YUCCA (L) 4
Hesperaloe parviflora
 5 Gal. 9cf

RUSSIAN SAGE (M) 1
Perovskia atriplicifolia
 5 Gal. 36cf

GREEN SPIRE (M) 6
Eunonymus japonicus
 5 Gal. 60cf

BLUE MIST SPIREA (M) 14
Caryopteris clandonensis
 5 Gal. 9cf

GROUNDCOVER/GRASSES

KARL FOERSTER GRASS (M) 33
Calamagrostis arundinacea
 1 Gal. 9cf

CATMINT (M) 25
Nepeta x faasseni
 1 Gal. 9cf

HONEYSUCKLE (M) 16
Juniperus 'Halliana'
 1 Gal. 144cf
 Unstaked-groundcover

THREADGRASS (M) 6
Stipa tenuisima
 1 Gal. 4cf

HARDSCAPES

ORNAMENTAL POT WITH PERENNIAL GRASSES AND ANNUAL COLOR

SANTA ANA TAN COBBLESTONE & BOULDERS

SANTA ANA TAN GRAVEL WITH FILTER FABRIC

RIP RAP PER CIVIL PLANS

* EVERGREEN PLANT MATERIAL

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	18760	square feet
TOTAL BUILDINGS AREA	5000	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	13760	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	2064	square feet

TOTAL BED PROVIDED	5401	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	4050	square feet
TOTAL GROUNDCOVER PROVIDED	4523	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL LANDSCAPE PROVIDED	5401	square feet

STREET TREE REQUIREMENTS

Street trees required under the COA Street Tree Ordinance and the Bosque Plaza Design Guidelines:

1 Tree per 25 Linear Feet of Public Roadway
 60% Deciduous 40% Evergreen
 Name of Street Bosque Plaza
 Required # 6 Provided # 6
 Deciduous # 4 Evergreen # 2

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes.

PARKING TREE REQUIREMENTS

Parking Lot trees required under the COA Parking Lot Tree Ordinance and the Bosque Plaza Design Guidelines:

1 Tree per 10 spaces
 75% Deciduous 25% Evergreen
 Parking Spaces provided 21
 Required # 3 Provided # 3
 Deciduous # 2 Evergreen # 1

IRRIGATION NOTES:

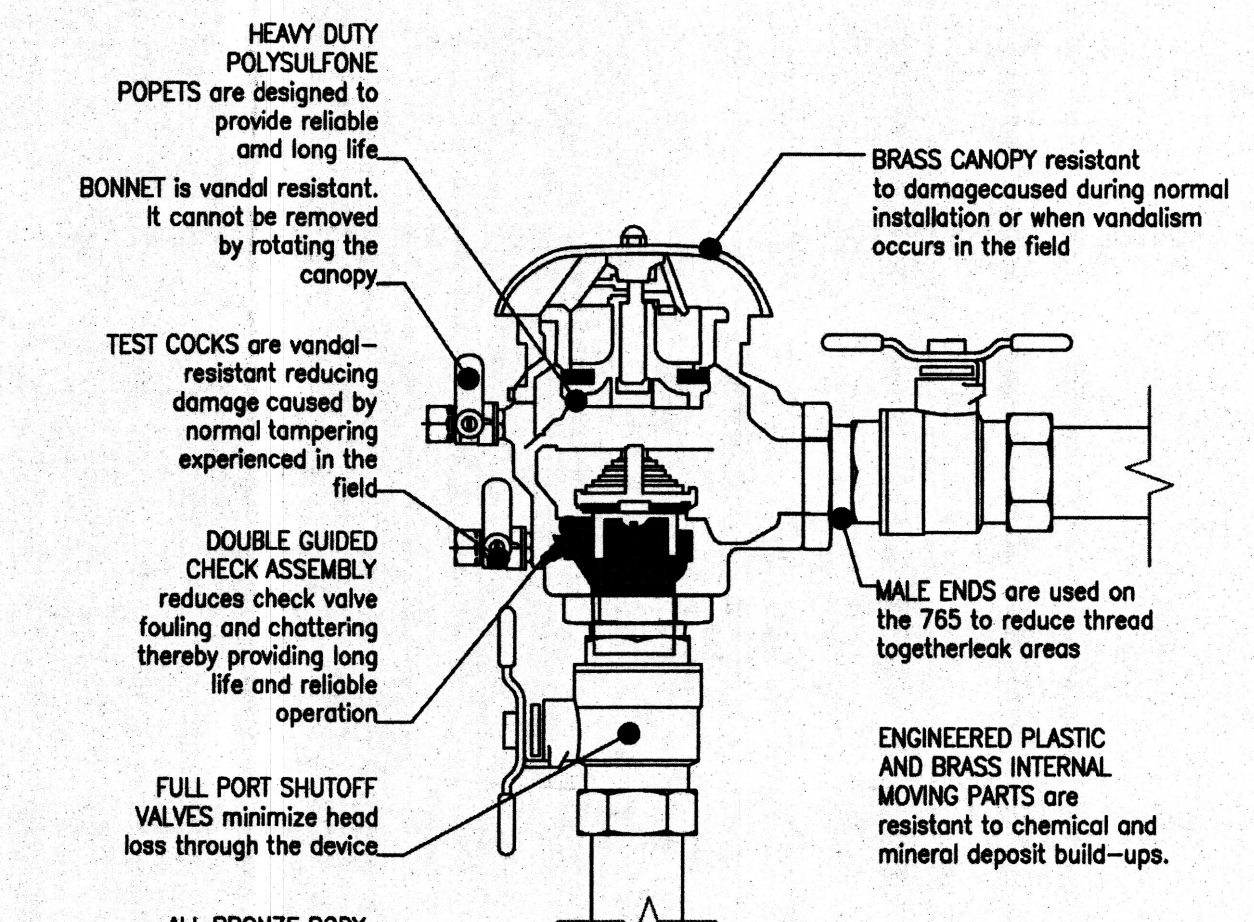
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

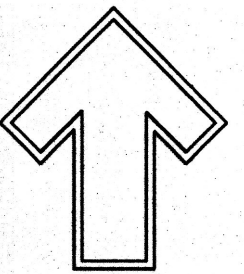
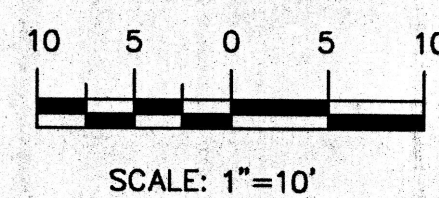
Location of controller to be field determined and power source for controller to be provided by others. Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



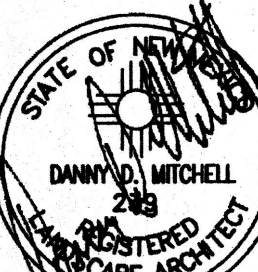
FEBCO MODEL 765 Pressure Vacuum Breaker Features

GRAPHIC SCALE



Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



6/23/14

BOSQUE PLAZA LOT 5A

LANDSCAPE PLAN

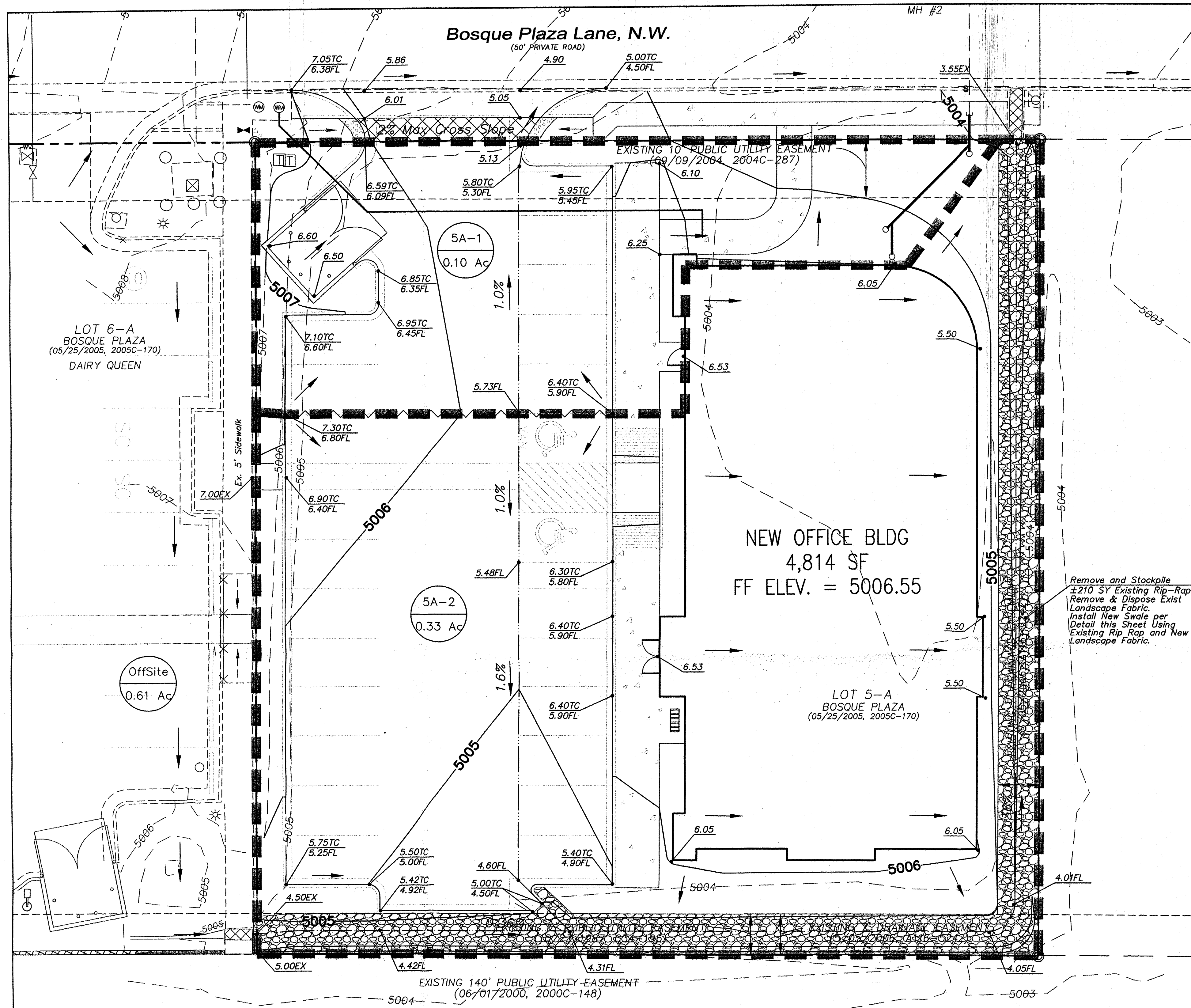
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Engineers. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



DRAWN BY: cmd
 REVISION #:
 DATE: 3-7-14

SHEET #

L1 of L1



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION

DRAINAGE MANAGEMENT PLAN

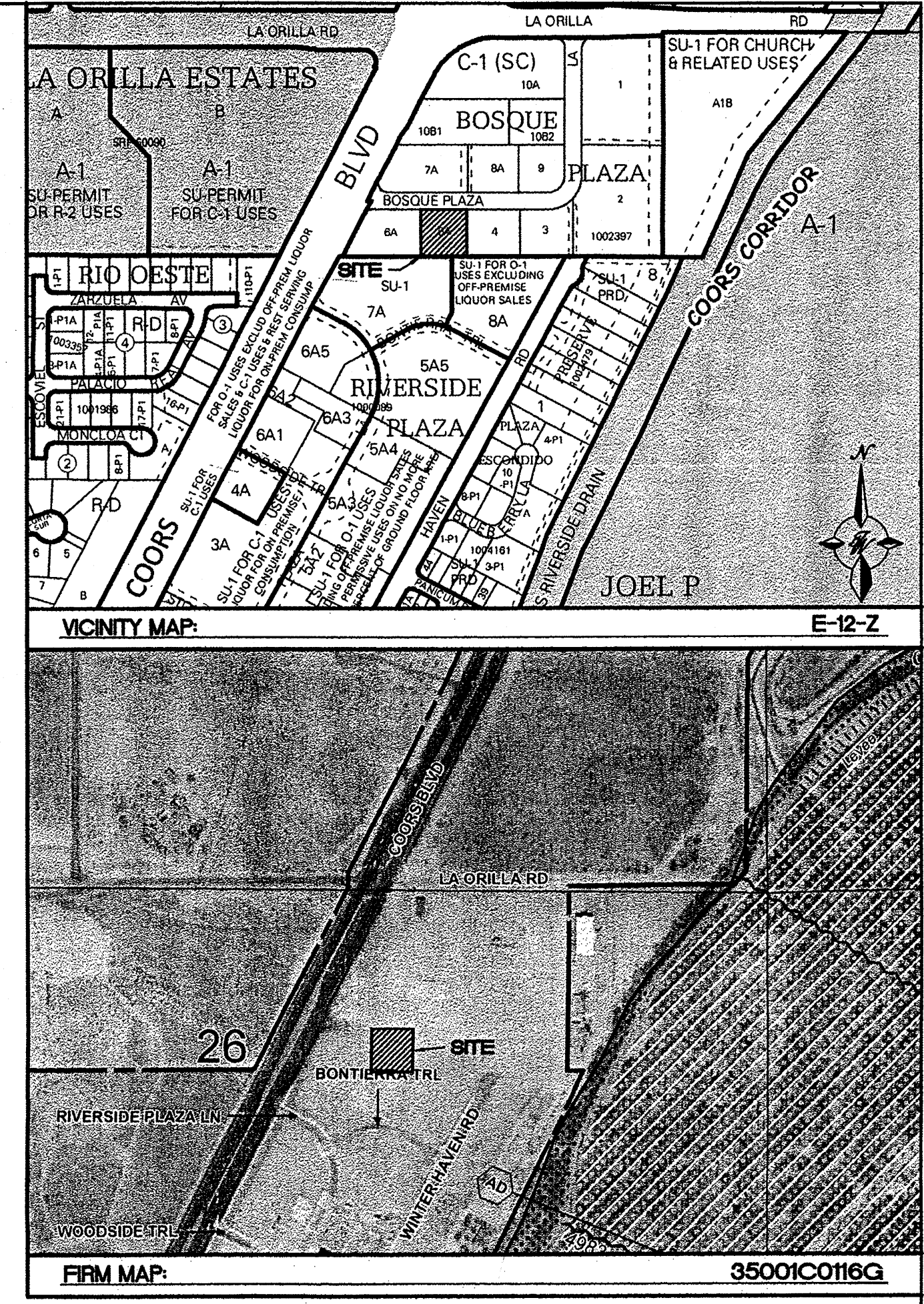
INTRODUCTION
 The purpose of this submittal is to provide a final drainage management plan for the proposed office building and parking lot serving a new office building located at located at 3710 Bosque Plaza Lane NW in Albuquerque, New Mexico. The site contains approximately 0.43 acres.

EXISTING HYDROLOGIC CONDITIONS
 The site is part of an approved master drainage plan titled "Revised Drainage Report for Southeast Corner of La Orilla and Coors, Lots 1, 2, 3, 4, 5, 6A, 7A, 8 of the Lands of Martin L. Taylor" dated September 25, 2002. An updated grading plan dated August 5, 2004 was approved that affects the subject property as well as the Dairy Queen site to the west.

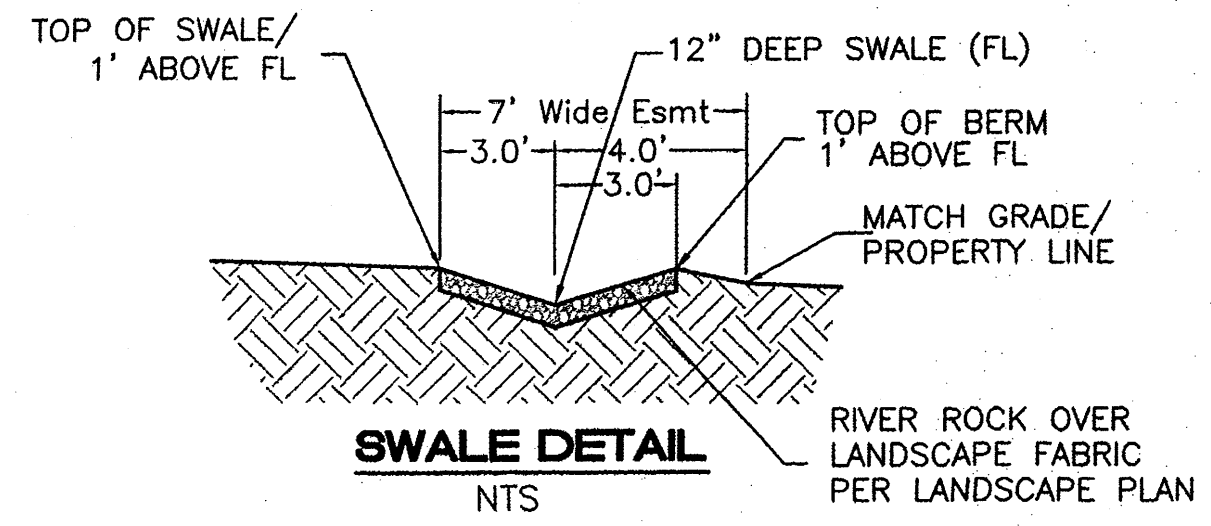
The site is currently undeveloped and drains via surface flow from west to east and then north to Bosque Plaza Lane in a Rip Rap lined swale. There is an existing Dairy Queen development (0.61 Acres) to the west of the subject that drains through the existing Rip Rap lined swale as well. Per the Drainage Calculations table, the total drainage from the 100-Yr storm event is 3.37 cfs and discharges to Bosque Plaza Lane.

PROPOSED HYDROLOGIC CONDITIONS
 The subject site will continue to drain via surface flow to Bosque Plaza Lane. The north portion of the site (0.10 acres) will drain directly to Bosque Plaza Lane; whereas the southern portion of the site (0.33 acres) will drain south and east into the drainage swale which discharges onto Bosque Plaza Lane at the northeast corner of the site. Per the Drainage Calculations table, the Post Developed discharge from the site is 4.25 cfs including the drainage from the Dairy Queen site to the west. We are proposing to reconstruct this existing swale as our analysis shows that it does not have enough capacity to carry the 100-Yr storm. Reference the cross section detail this sheet for capacity calculations of the proposed swale.

CONCLUSION
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meets city requirements. The proposed improvements to the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting approval for EPC, DRB, and Building Permit.



BENCHMARK: ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS MONUMENT "ML_448_NB" PUBLISHED ELEVATION (FEET) = 5021.651



Drainage Calculations:
 Known:
 S=0.36% Min
 A=3.0 SF
 Wp=6.1'
 R=0.48
 n=0.030
 Q100=3.84 cfs

Calculated:
 Qcalc = A(1.486/n)*(R^0.67)*(S^0.5)
 Qcalc = 3.0(1.486/0.030)*(0.49^0.67)*(0.0036^0.5)
 Qcalc = 5.53 cfs
 Depth = 0.89'
 Velocity = 1.67fps

Pre-Developed Drainage Calculations

This table is based on the COA DPM Section 22.2, Zone 1

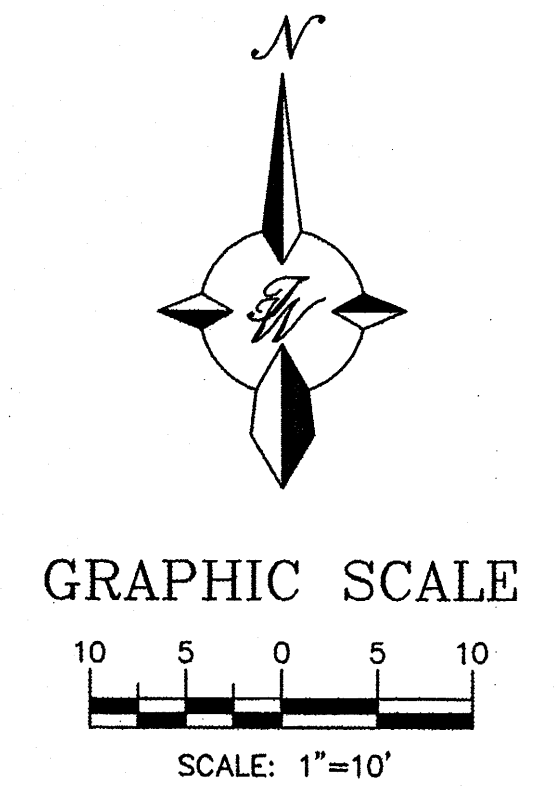
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100)300 (CF)	V(100)1440 (CF)	V(100)10000 (CF)
			A	B	C	D						
Offsite	26650	0.61	0.0%	0.0%	19.0%	81.0%	4.09	2.50	1.78	3962	5473	7515
5A-1	4413	0.10	0.0%	0.0%	100.0%	0.0%	2.03	0.21	0.67	246	246	835
5A-2	14313	0.33	0.0%	0.0%	100.0%	0.0%	2.03	0.67	0.67	799	799	2708
TOTAL	45376	1.04								5007	6518	11057

Post Developed Drainage Calculations

Ultimate Development Conditions Basin Data Table

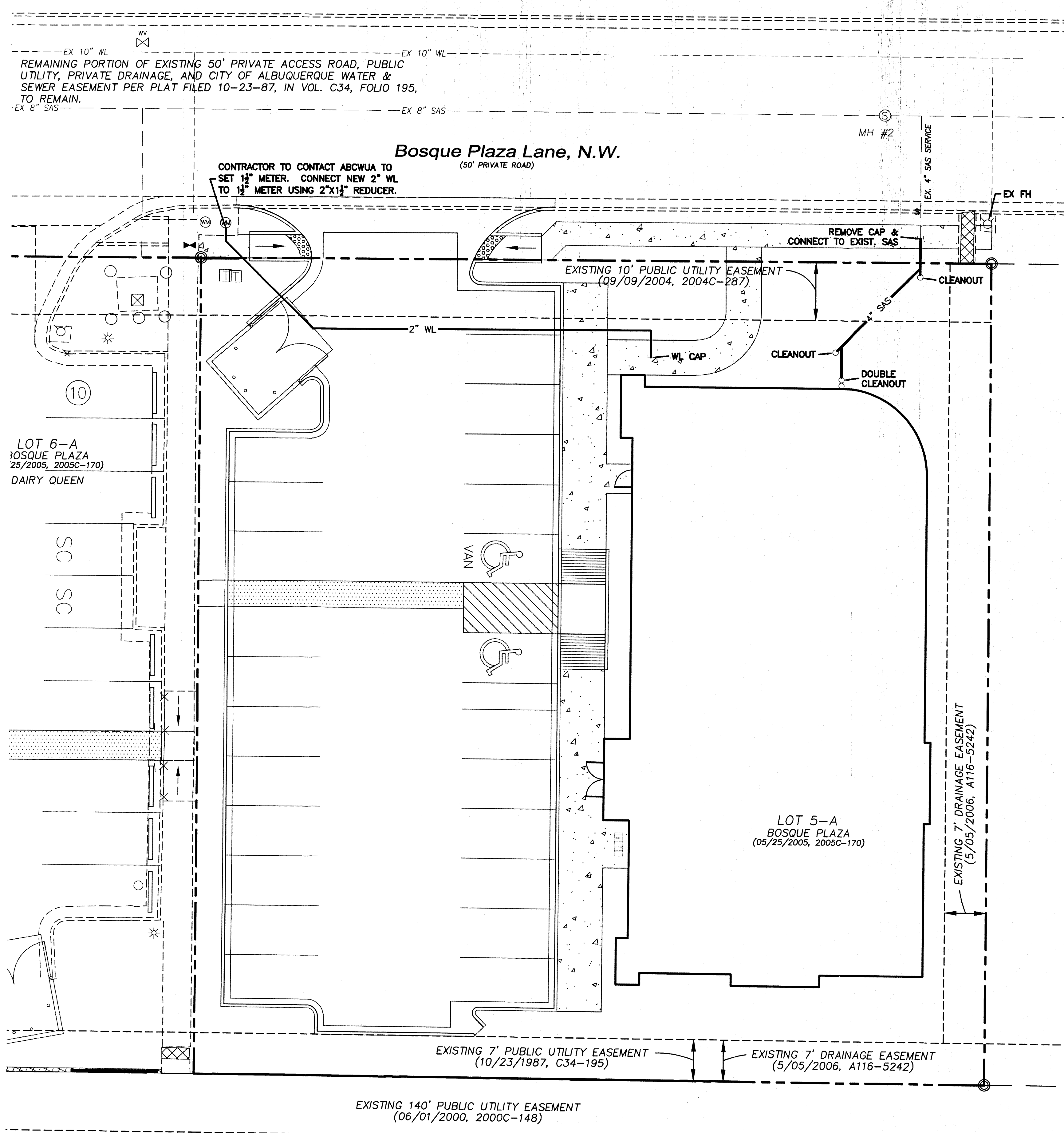
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BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100)300 (CF)	V(100)1440 (CF)	V(100)10000 (CF)
			A	B	C	D						
Offsite	26650	0.61	0.0%	0.0%	19.0%	81.0%	4.09	2.50	1.78	3962	5473	7515
5A-1	4413	0.10	0.0%	0.0%	20.0%	80.0%	4.07	0.41	1.77	652	900	1241
5A-2	14313	0.33	0.0%	0.0%	20.0%	80.0%	4.07	1.34	1.77	2116	2917	4024
TOTAL	45376	1.04								6730	9290	12780



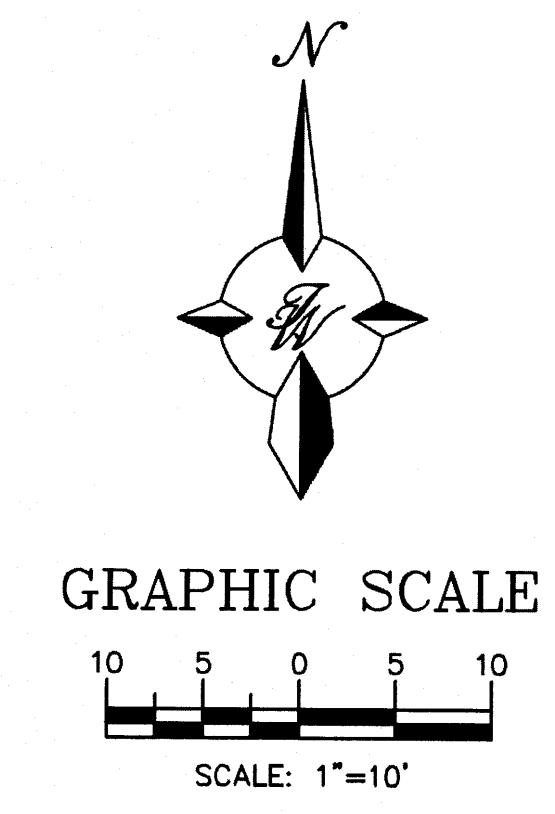
ROUGH GRADING APPROVAL _____ DATE _____

ENGINEER'S SEAL JTW 5/19/14	OFFICE BUILDING DR. KEN HURT GRADING AND DRAINAGE PLAN	DRAWN BY JW
		DATE 4/23/14
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawest.com		2014012-GRE
		SHEET # C1
RONALD R. BOHANNAN P.E. #7868	MAY 19 2014 LAND DEVELOPMENT SECTION	JOB # 2014012



LEGEND

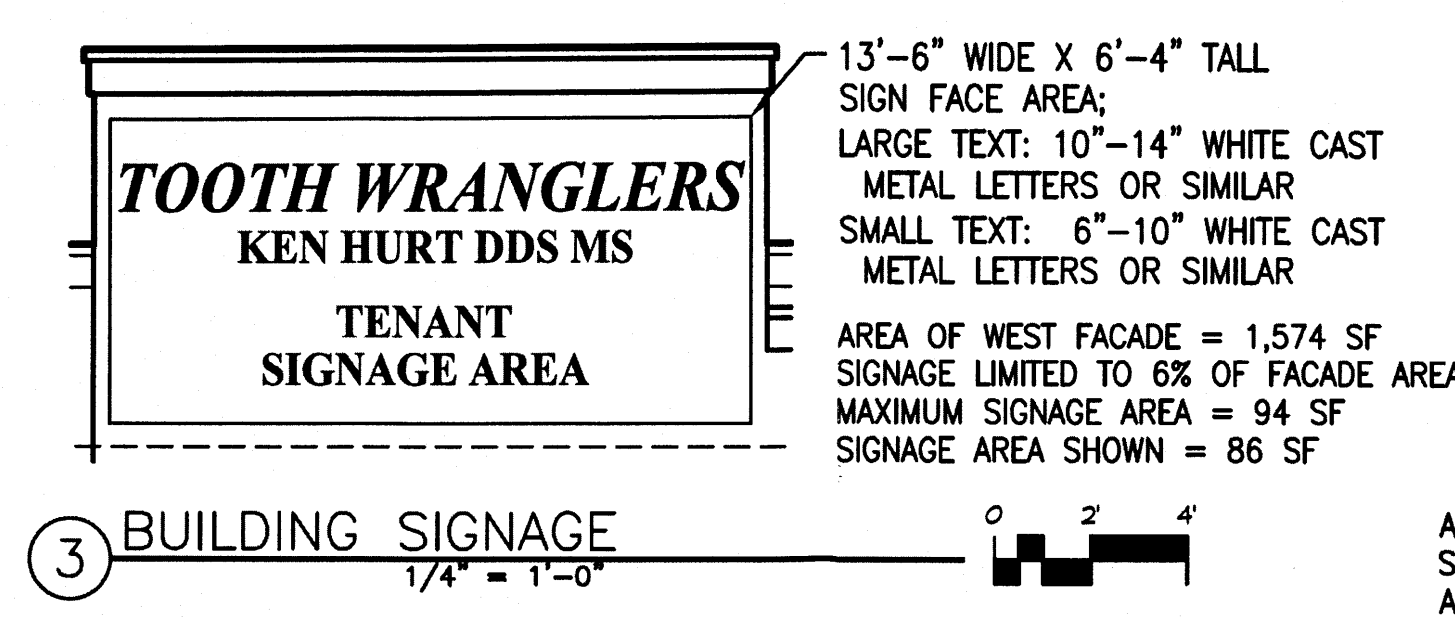
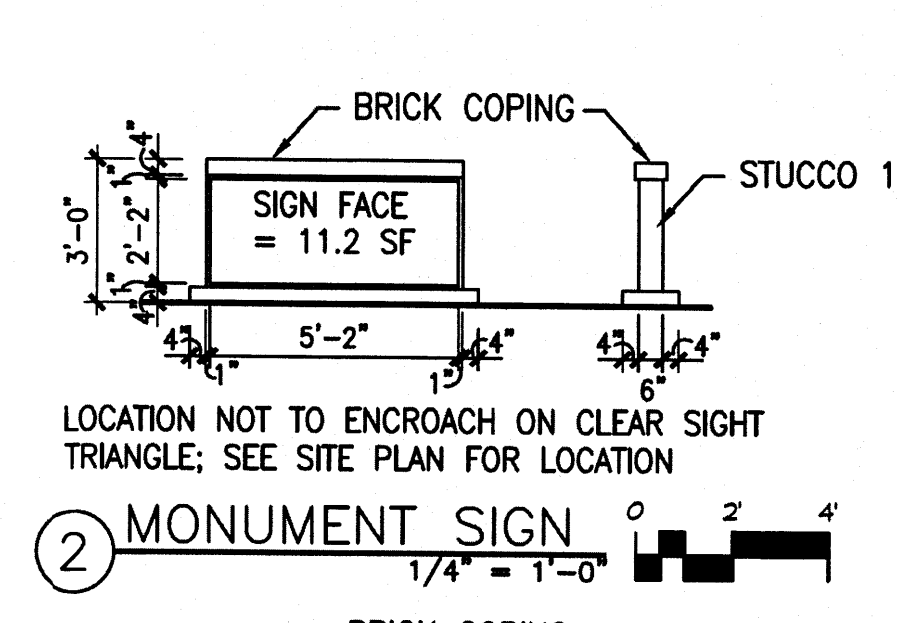
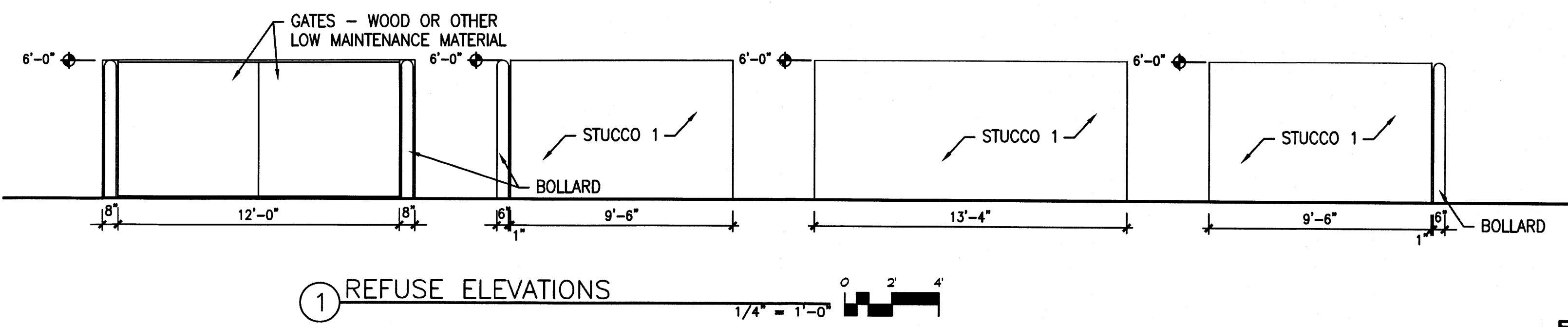
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	36" SD STORM SEWER LINE
	8" SAS SANITARY SEWER LINE
	4" WL WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EX- UOE EXISTING UNDERGROUND UTILITIES
	EX- 2" GAS EXISTING GAS
	EX- 8" SAS EXISTING SANITARY SEWER LINE
	EX- 10" WL EXISTING WATER LINE
	EX- 18" RCP EXISTING STORM SEWER LINE



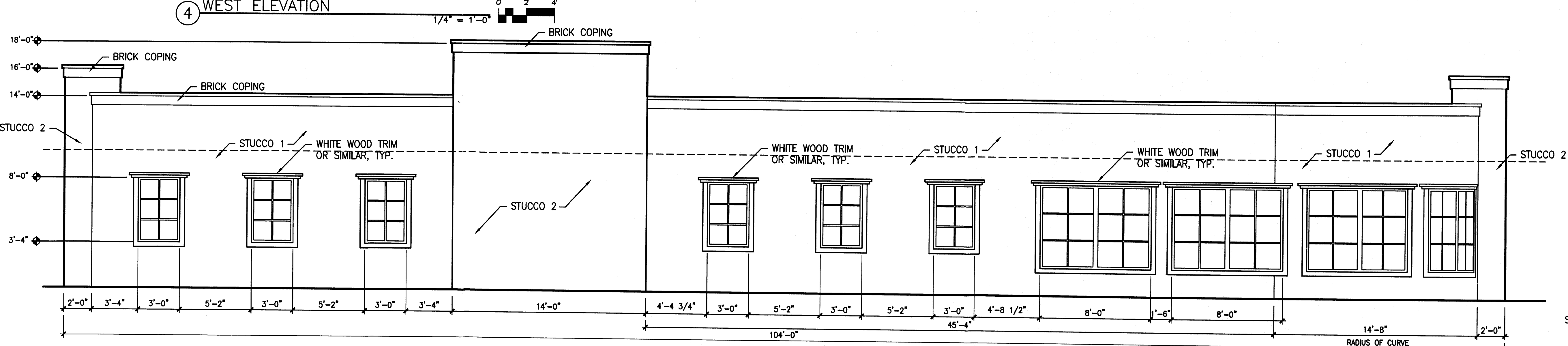
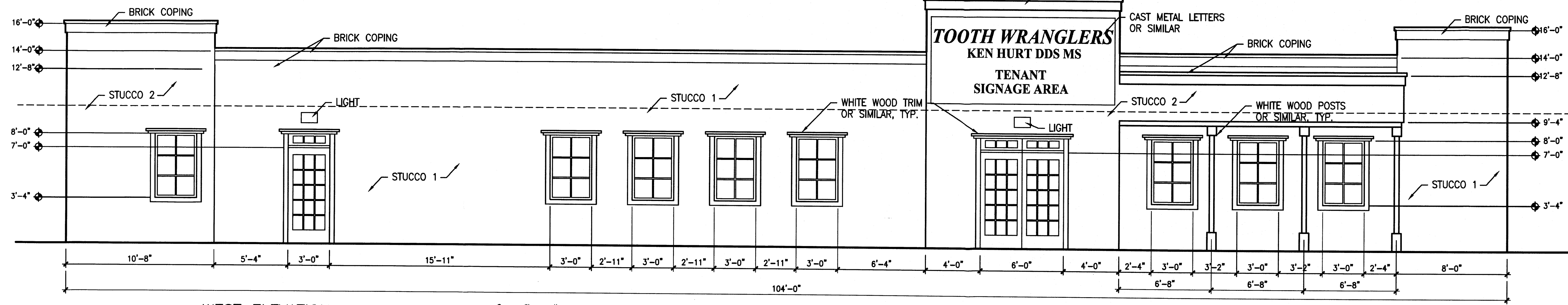
ENGINEER'S SEAL	OFFICE BUILDING	DRAWN BY
	DR. KEN HURT	DY
	MASTER UTILITY PLAN	DATE
		4/23/14
		2014012-MUE
		SHEET #
	C2	
		JOB #
		2014012

TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tierrawestllc.com

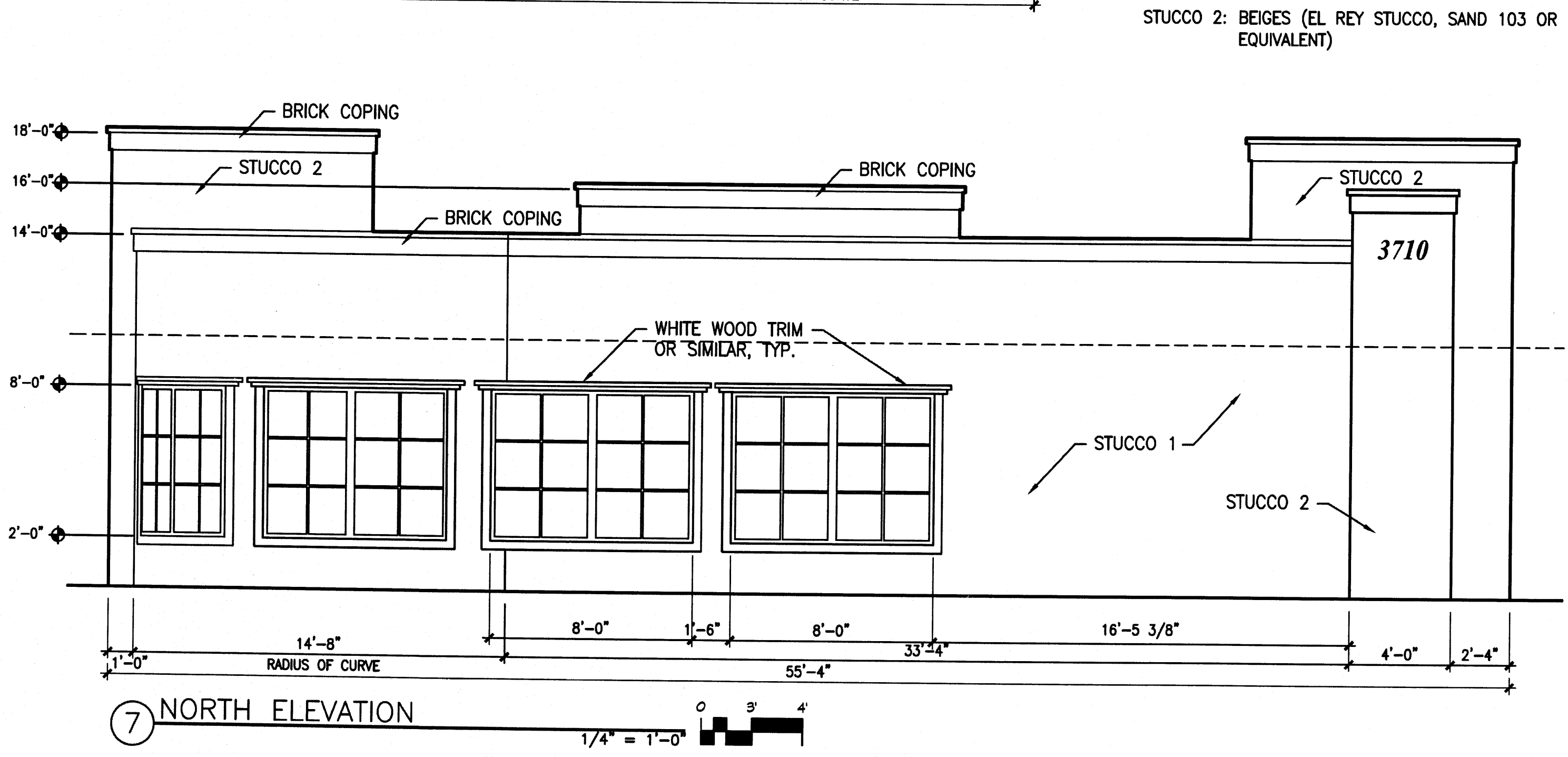
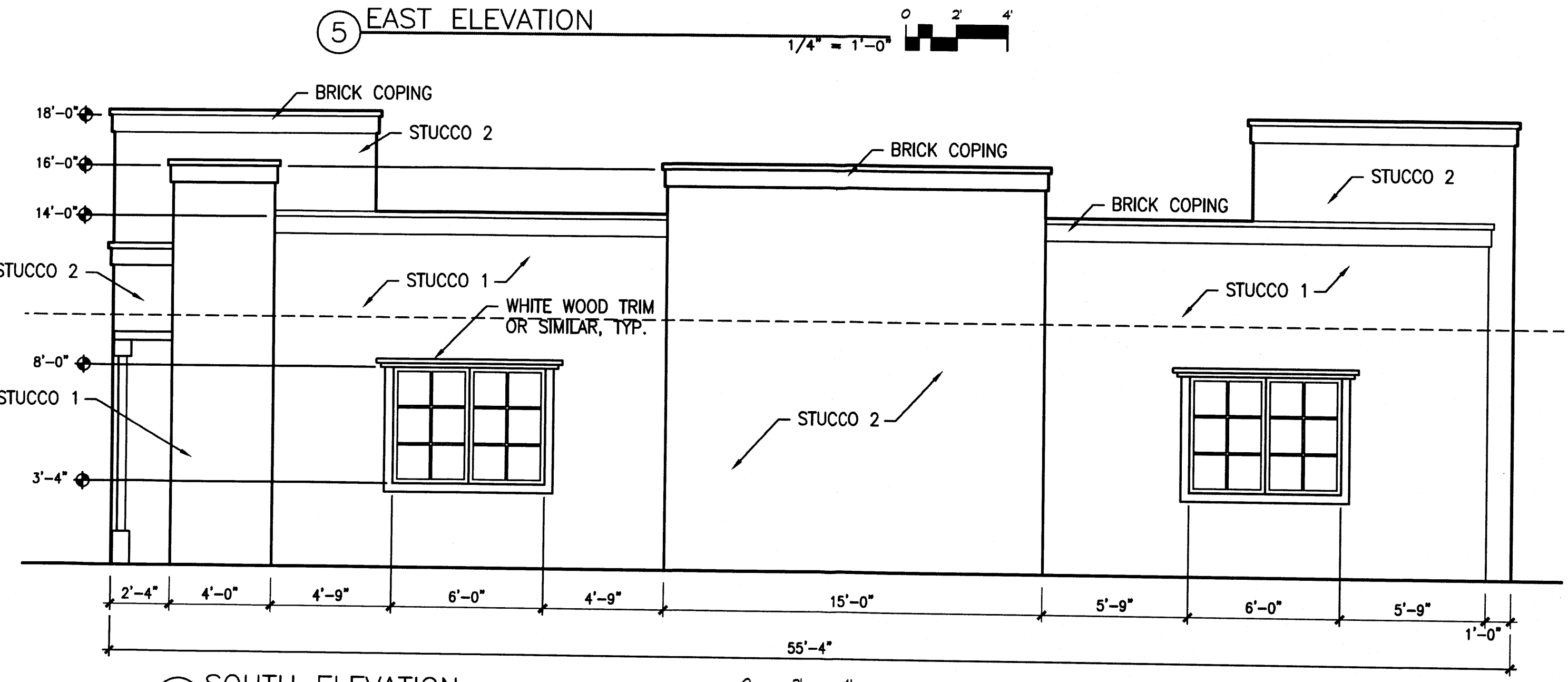
RONALD R. BOHANNAN
 P.E. #7868



3710
 ADDRESS SIGN
 TEXT: 8"-12" WHITE CAST METAL LETTERS OR SIMILAR
 AREA OF NORTH FACADE = 900 SF
 SIGNAGE LIMITED TO 6% OF FACADE AREA
 MAXIMUM SIGNAGE AREA = 54 SF
 SIGNAGE AREA SHOWN = 3 SF



STUCCO 1: WARM MEDIUM BROWNS (EL REY STUCCO, ADOBE 116 OR EQUIVALENT)
 STUCCO 2: BEIGES (EL REY STUCCO, SAND 103 OR EQUIVALENT)



Project Number	1410
Drawn By	JS
Checked	CC
Issue Date	April 23, 2014

EXTERIOR ELEVATIONS

Scale: AS SHOWN