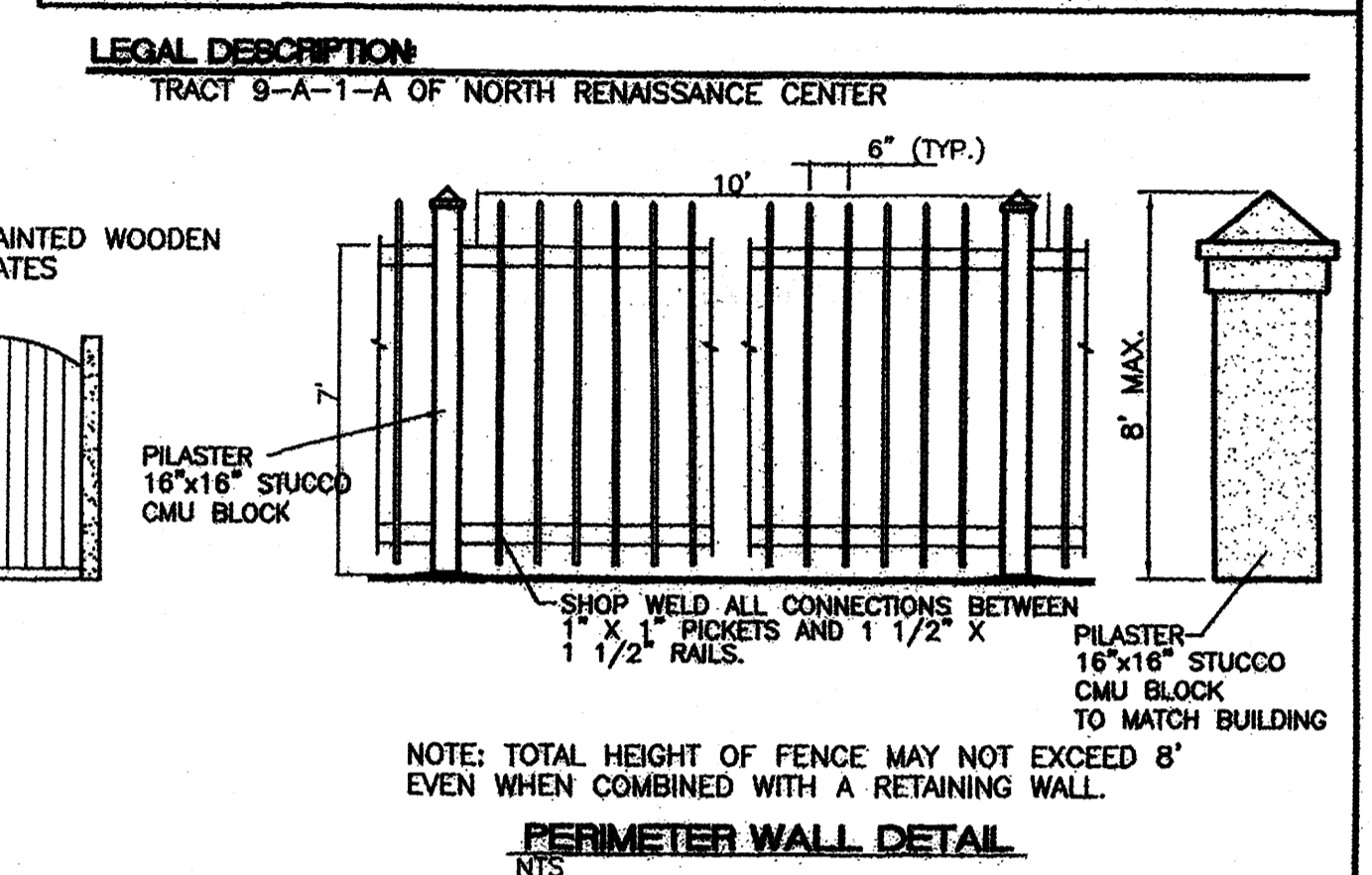
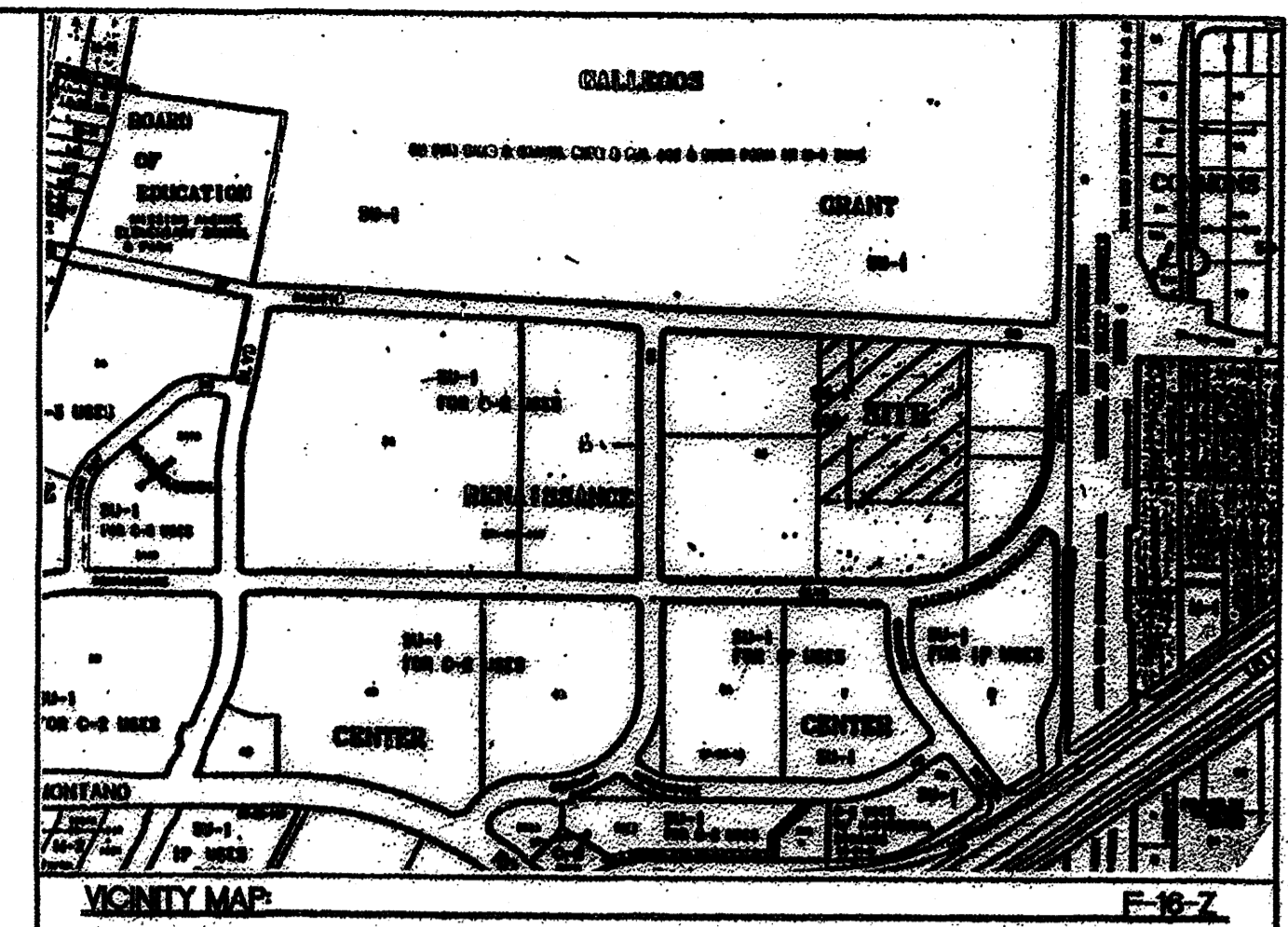
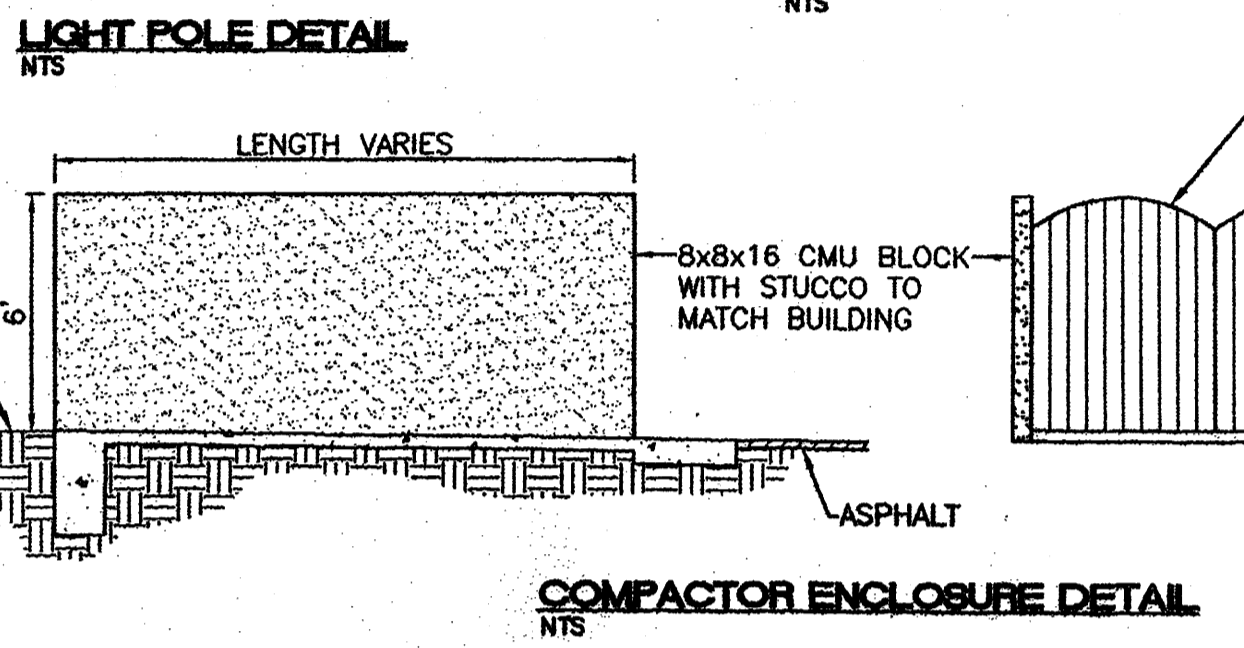
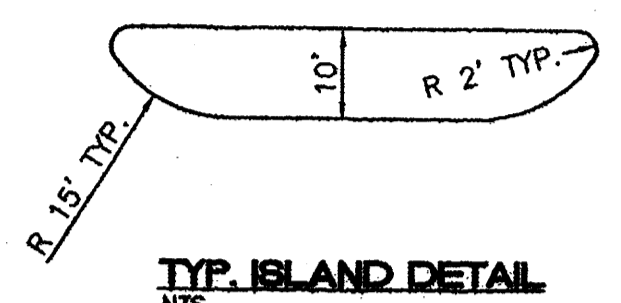
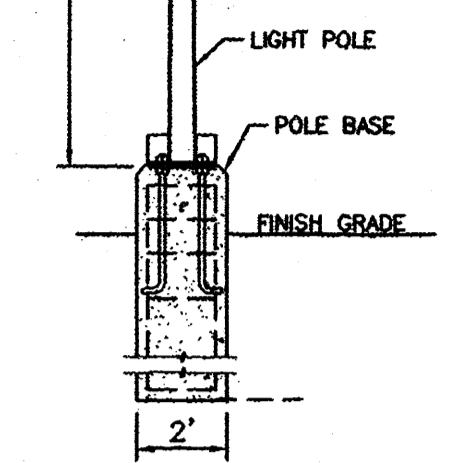
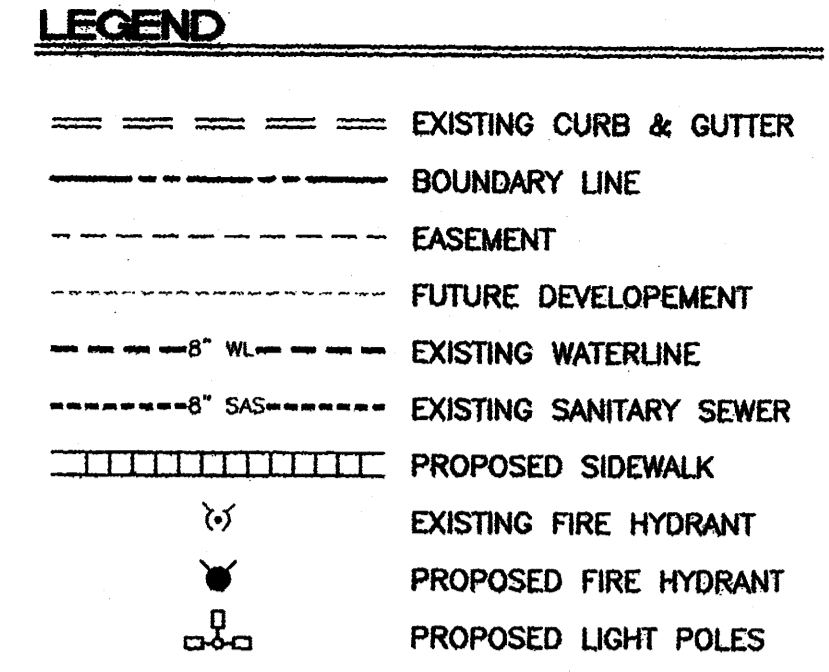
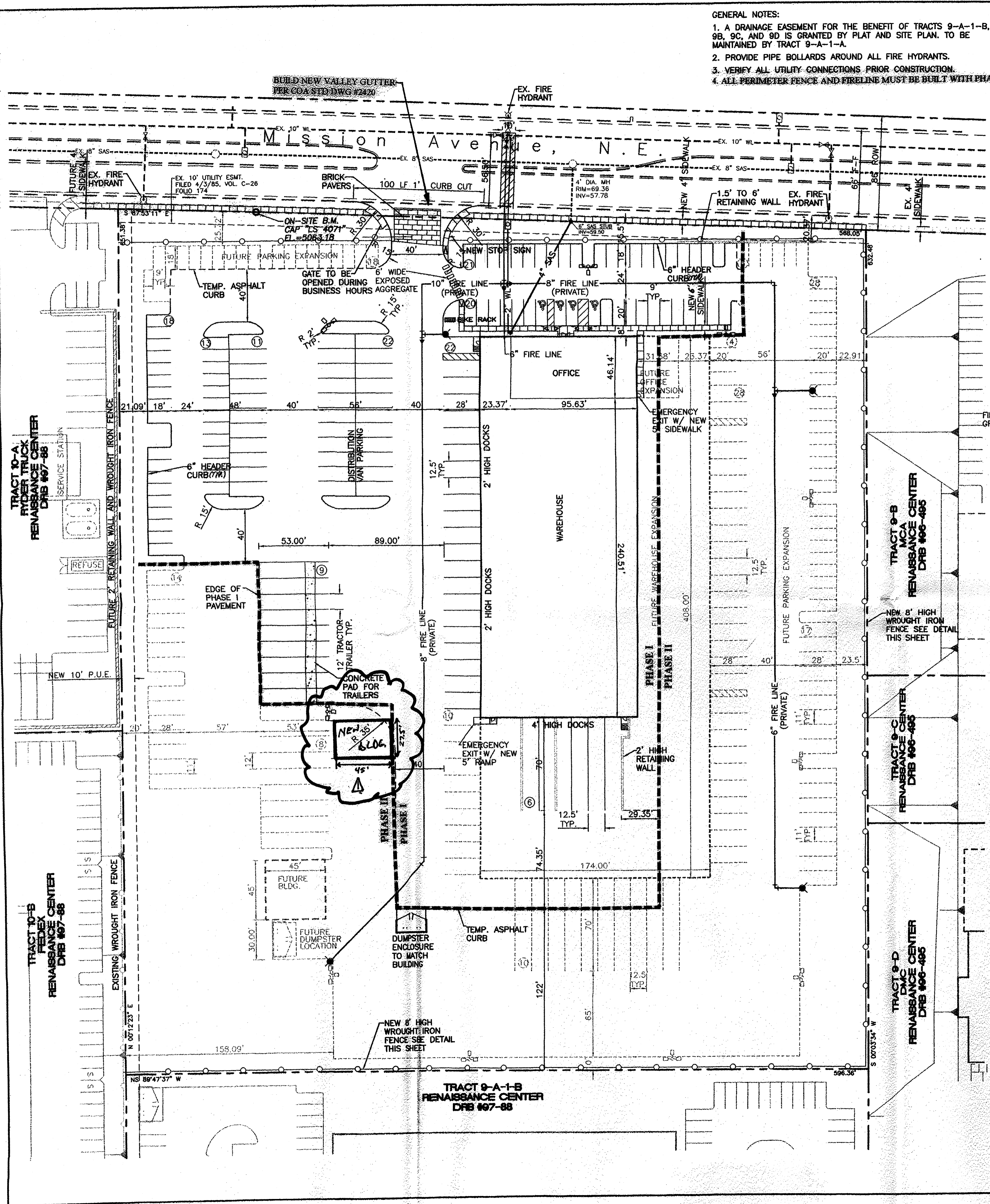


GENERAL NOTES:
 1. A DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS 9-A-1-B, 9B, 9C, AND 9D IS GRANTED BY PLAT AND SITE PLAN. TO BE MAINTAINED BY TRACT 9-A-1-A.
 2. PROVIDE PIPE BOLLARDS AROUND ALL FIRE HYDRANTS.
 3. VERIFY ALL UTILITY CONNECTIONS PRIOR CONSTRUCTION.
 4. ALL PERIMETER FENCE AND FIRELINE MUST BE BUILT WITH PHASE I.



SITE DATA

	PHASE I	PHASE II	TOTAL
PROPOSED USAGE:	DISTRIBUTION CENTER	DISTRIBUTION CENTER	DISTRIBUTION CENTER
ZONING:	SU-1 IP		
LOT AREA:	364,957 SF (8.3782 ACRES)	364,957 SF (8.3782 ACRES)	364,957 SF (8.3782 ACRES)
BUILDING AREA:	4,410 SF OFFICE 29,688 SF WAREHOUSE	1,462 SF OFFICE 35,432 SF WAREHOUSE 2,025 SF GARAGE	5,872 SF OFFICE 65,120 SF WAREHOUSE 2,025 SF GARAGE
PARKING/DRIVEWAY:	114,610 SF ±	102,016 SF ±	216,626 SF ±
LANDSCAPE AREA:	217,109 SF ±	75,314 SF ±	75,314 SF ±
LANDSCAPING REQUIRED:	49,758 SF ±	43,791 SF ±	43,791 SF ±
PARKING PROVIDED:	72 AUTO SPACES	56 AUTO SPACES	128 AUTO SPACES
PARKING REQUIRED:	36 PUBLIC SPACES 36 EMPLOYEE SPACES 72 TOTAL REQUIRED	37 PUBLIC SPACES 19 EMPLOYEE SPACES 56 TOTAL REQUIRED	73 PUBLIC SPACES 55 EMPLOYEE SPACES 128 TOTAL REQUIRED
ADDITIONAL PARKING:	55 VAN SPACES 15 TRACTOR TRAILER 142 TOTAL SPACES	69 VAN SPACES 12 TRACTOR TRAILER 137 TOTAL SPACES	124 VAN SPACES 27 TRACTOR TRAILER 279 TOTAL SPACES
HC PARKING PROVIDED:	4 SPACES (1 VAN)	4 SPACES (1 VAN)	4 SPACES (1 VAN)
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 TOTAL OFFICE AREA: 5,872 SF / 200 SF = 30 SPACES
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SITE PLAN FOR BUILDING PERMIT FOR PHASE I ONLY.
PHASE II DEVELOPMENT PLAN FOR BUILDING PERMIT PURPOSES WILL BE REQUIRED FOR APPROVAL THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD.

CASE NUMBER DRB 98-310 (PHASE I ONLY)
 This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on January 19, 1998, and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

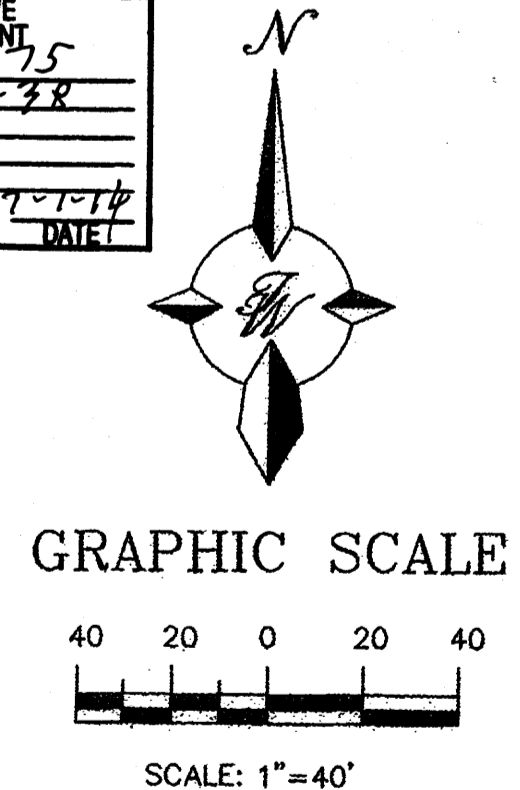
Traffic Engineer, Transportation Division: *8-25-98* Date
 Design and Development, CIP: *25 Aug 98* Date
 Public Works, Water Utilities Division: *8-25-98* Date
 CIP Engineer, Engineering Division / AMAFCA: *10-6-98* Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Review Manual.

City Planner, Albuquerque / Bernalillo County Planning Division: *10/9/98* Date
 Solid Waste: *10-4-98* Date

PLNZ (10706) 4/96

- SHEET INDEX**
- SITE PLAN
 - LANDSCAPING PLAN
 - GRADING PLAN
 - BUILDING ELEVATIONS



ENGINEER'S SEAL

FRITO LAY
 DRAWN BY JDN
 DATE 05-11-98
 9844SP.DWG

SITE PLAN
 SHEET # 1 OF 4

TIERRA WEST, LLC
 4421 McLEOD ROAD, N.E., SUITE D
 ALBUQUERQUE, NEW MEXICO 87109
 (505)883-7592

RDONALD R. BOHANNAN
 P.E. #7868

JOB # 980044

DRB 1010075

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	365,371	square feet
TOTAL LOT AREA	301,029	square feet
TOTAL BUILDINGS AREA	64,342	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	301,029	square feet
LANDSCAPE REQUIREMENT	15	square feet
TOTAL LANDSCAPE REQUIREMENT	45,154	square feet
TOTAL LANDSCAPE PROVIDED	76,355	square feet
TOTAL BED PROVIDED	51,936	68% square feet
TOTAL SOD PROVIDED	789	2% square feet
TOTAL NATIVE SEED PROVIDED	23,650	30% square feet

PLANT LEGEND

- ASH(H) OR HONEY LOCUST (H) 48
Fraxinus pennsylvanica
Gleditsia triacanthos
2' Cal
- FLOWERING PEAR (H) 8
Pyrus calleryana
2' Cal
- AUSTRALIAN PINE(H) 2
Pinus nigra
6-8'
- PALM YUCCA (L) 2
- INDIAN HAWTHORN (M) 28
Raphidelepis indica
5 gal
- RUSSIAN SAGE (M) 56
Perovskia atriplicifolia
5 gal
- AUTUMN SAGE (M) 51
Salvia greggii
5 gal
- CHAMISA (L) 81
Chrysothamnus nauseosus
1 gal
- WILDFLOWER 134
1 gal
- TAM JUNIPER (M) 166
JUNIPERUS SABINA
5 gal
- OVERSIZED GRAVEL & BOULDERS
- 3/4" GREY GRAVEL WITH FILTER FAB
- SOD
- CRIMP STRAW NATIVE SEED
- COMMERCIAL GRADE STEEL EDGING

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPM Drip Emitters
Shrubs to receive (1) 1.0 GPH Drip Emitters
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

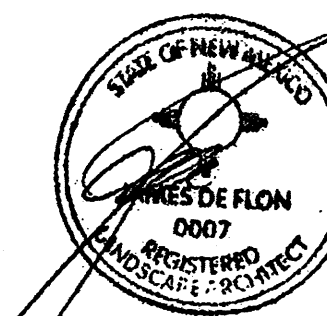
Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

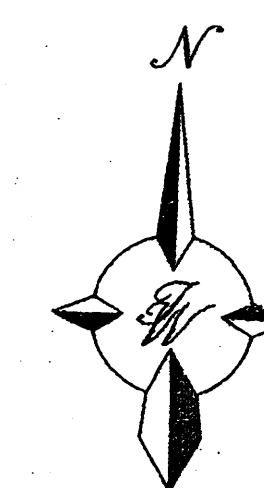


The Hilltop

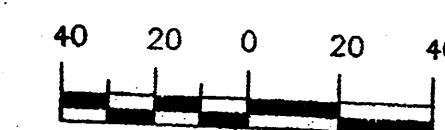
7/17/98

THE HILLTOP
agrees to reserve the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of

THE HILLTOP



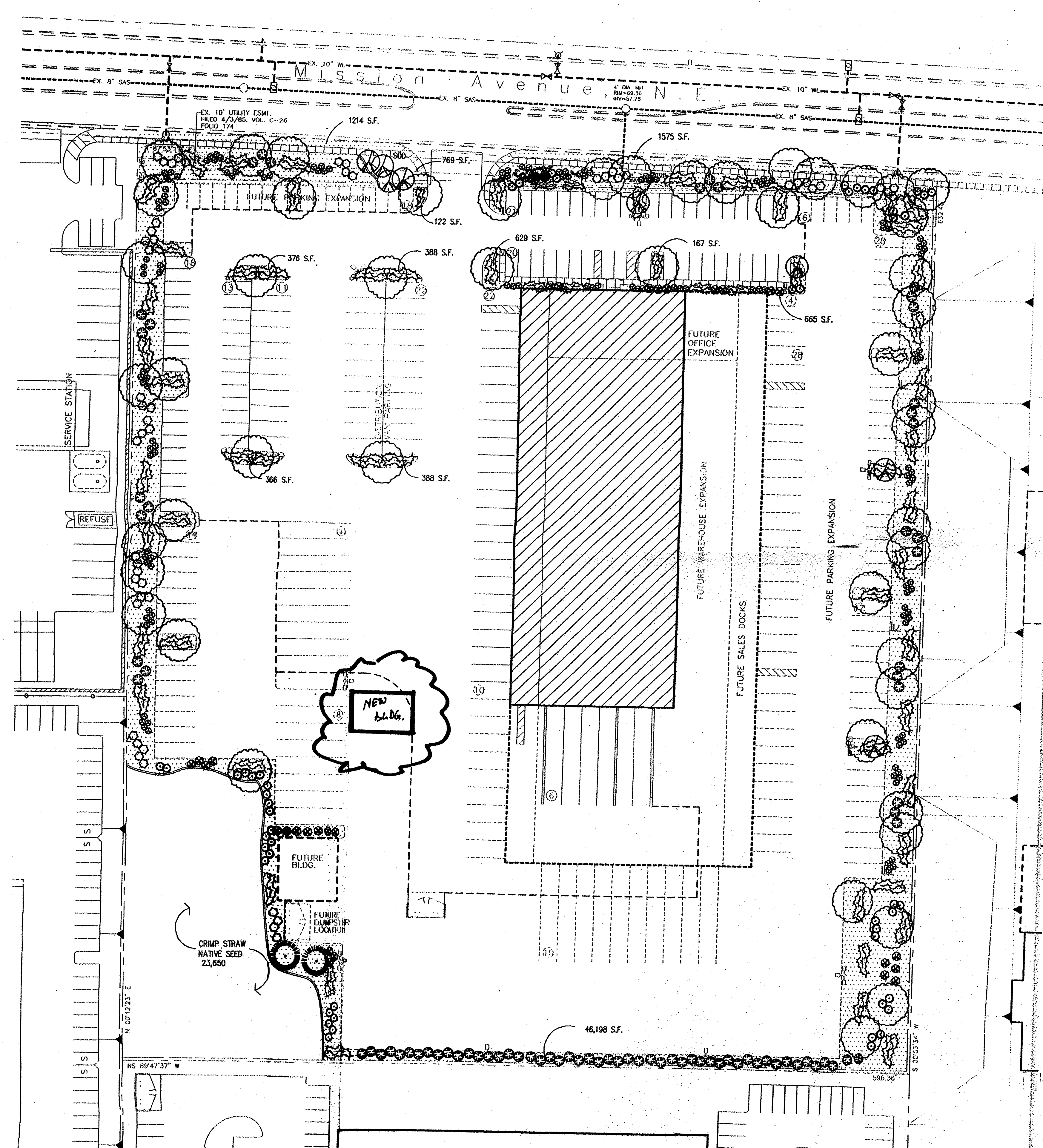
GRAPHIC SCALE

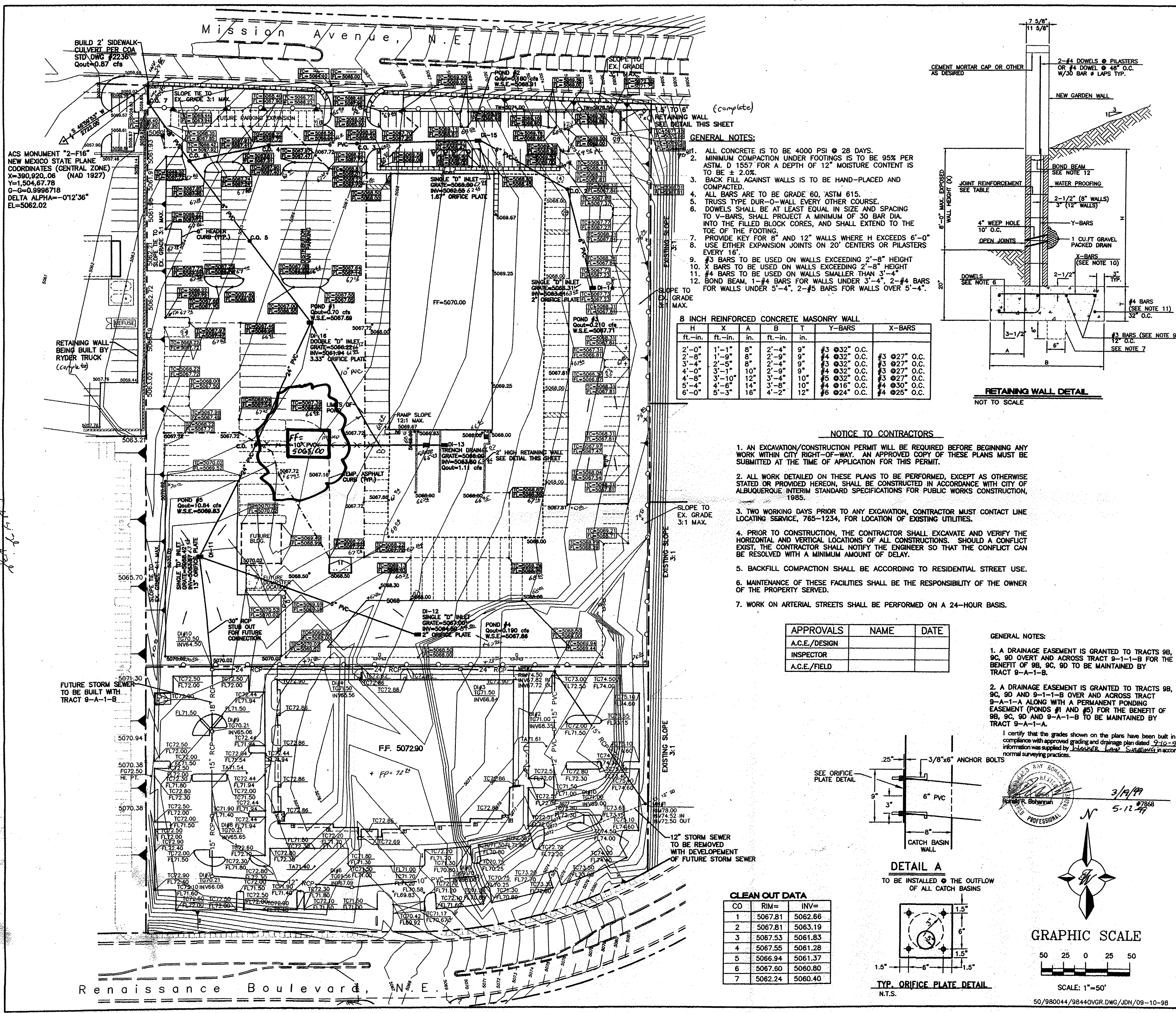


SCALE: 1"=40'

40/980044/9844SP.DWG/JDN/07-06-98

LANDSCAPE ARCHITECT'S SEAL	FRITO LAY	DRAWN BY JDN
	LANDSCAPE PLAN	DATE 05-11-98
TIERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592		9844SP.DWG SHEET # 2 OF 4 JOB # 980044



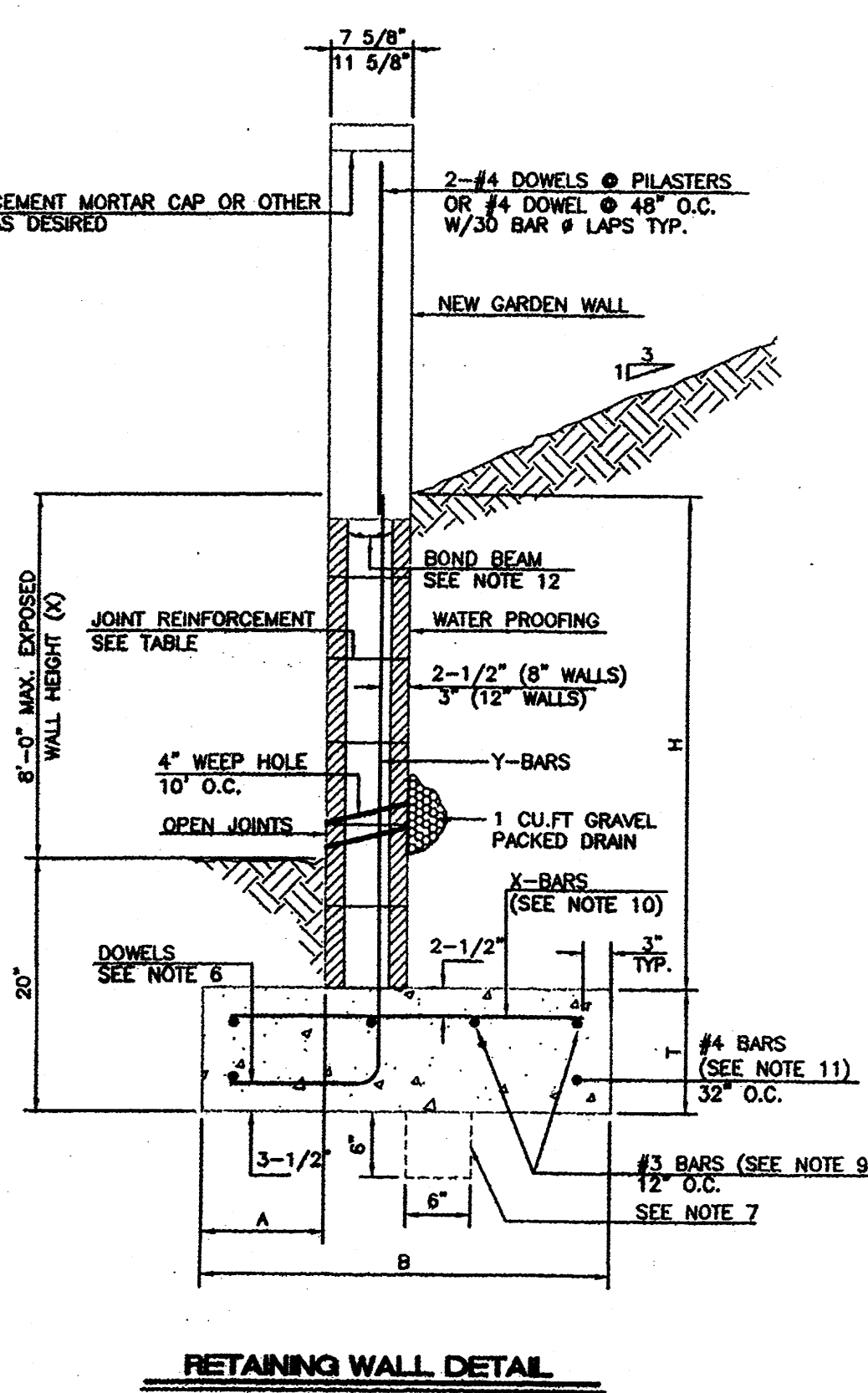


GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
- #4 BARS TO BE USED ON WALLS EXCEEDING 3'-8" HEIGHT
- #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @ 32" O.C.	#3 @ 27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @ 32" O.C.	#3 @ 27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @ 32" O.C.	#3 @ 27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @ 16" O.C.	#4 @ 30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @ 24" O.C.	#4 @ 25" O.C.



- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

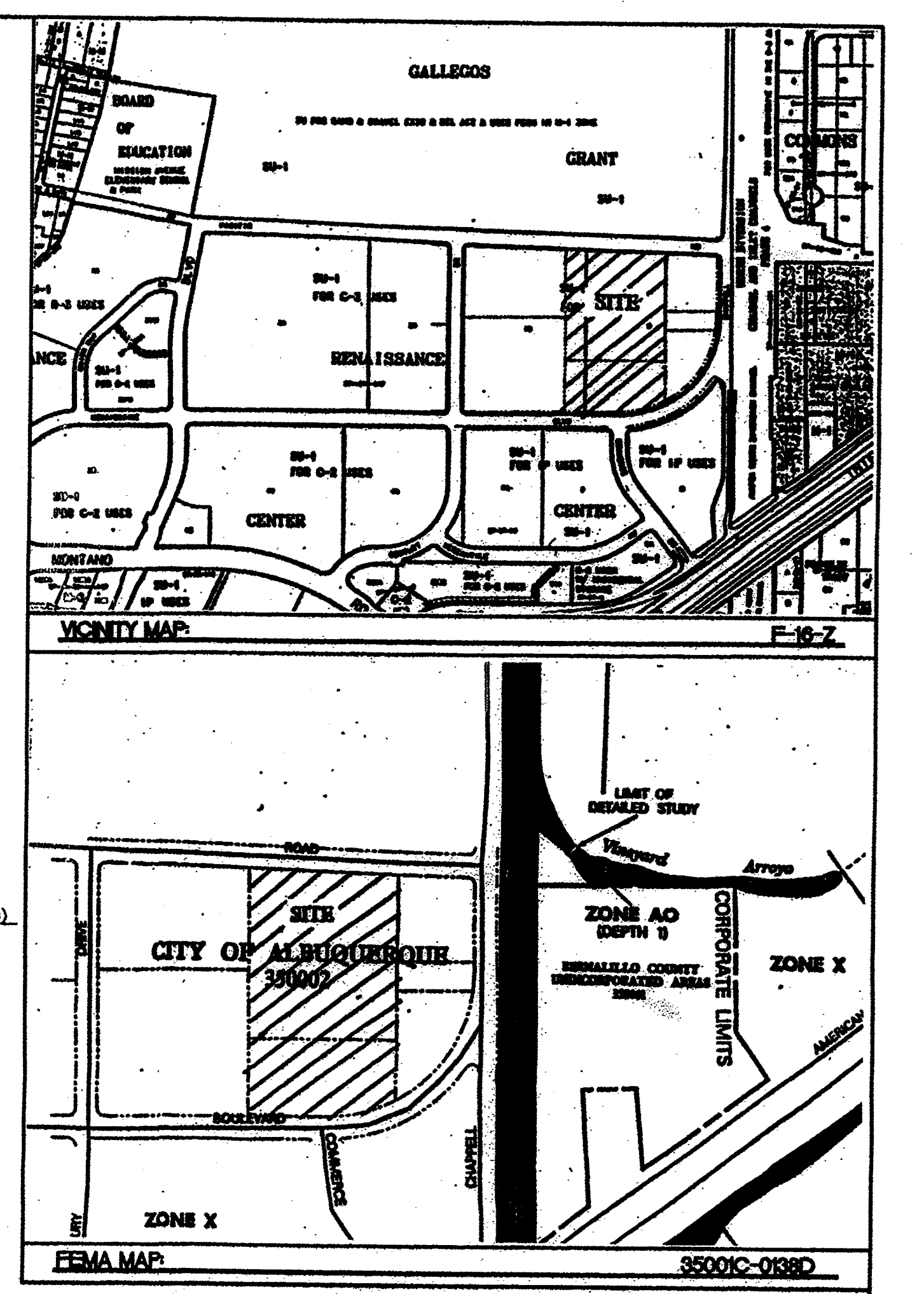
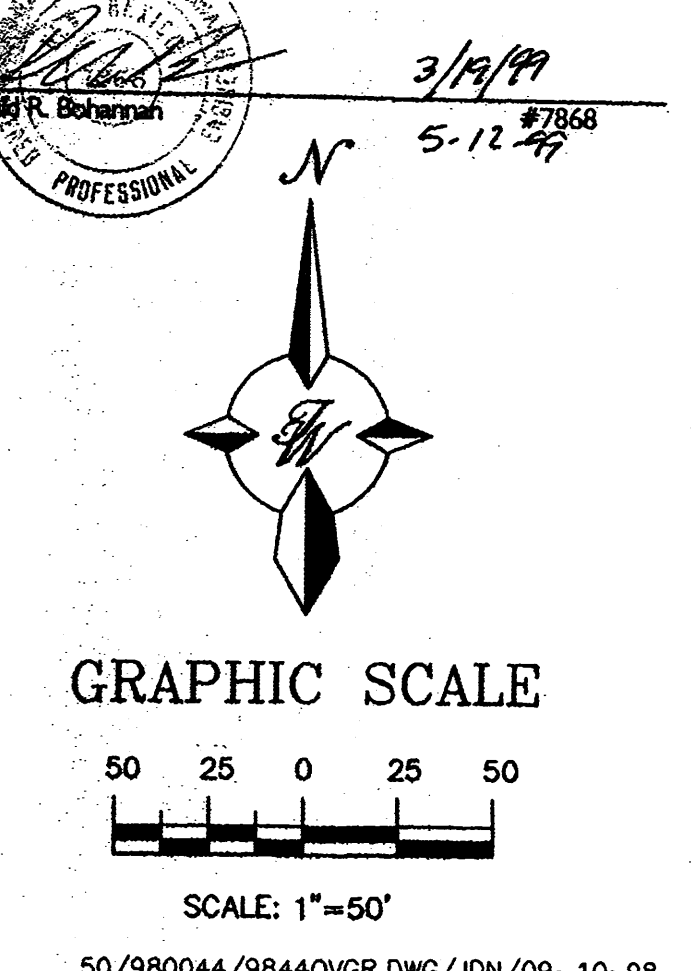
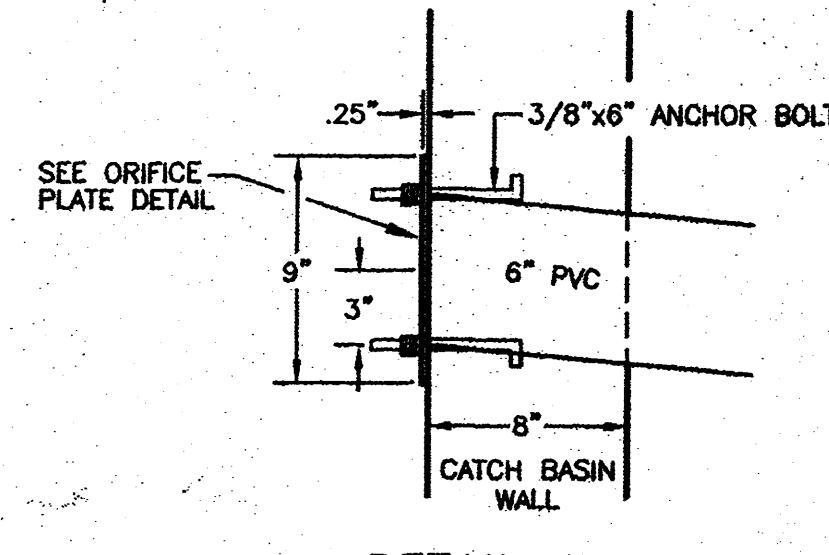
APPROVALS

A.C.E./DESIGN	NAME	DATE
A.C.E./FIELD		

GENERAL NOTES:

- A DRAINAGE EASEMENT IS GRANTED TO TRACTS 9B, 9C, 9D OVERT AND ACROSS TRACT 9-1-1-B FOR THE BENEFIT OF 9B, 9C, 9D TO BE MAINTAINED BY TRACT 9-A-1-B.
- A DRAINAGE EASEMENT IS GRANTED TO TRACTS 9B, 9C, 9D AND 9-1-1-B OVER AND ACROSS TRACT 9-A-1-A ALONG WITH A PERMANENT PONDING EASEMENT (POND #1 AND #5) FOR THE BENEFIT OF 9B, 9C, 9D AND 9-A-1-B TO BE MAINTAINED BY TRACT 9-A-1-A.

I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 3/12/99. Survey information was supplied by Lawyer Law Surveyors in accordance with normal surveying practices.



LEGAL DESCRIPTION:
TRACT 9-A-1-A AND 9-A-1-B OF NORTH RENAISSANCE CENTER

EROSION CONTROL PLAN NOTES

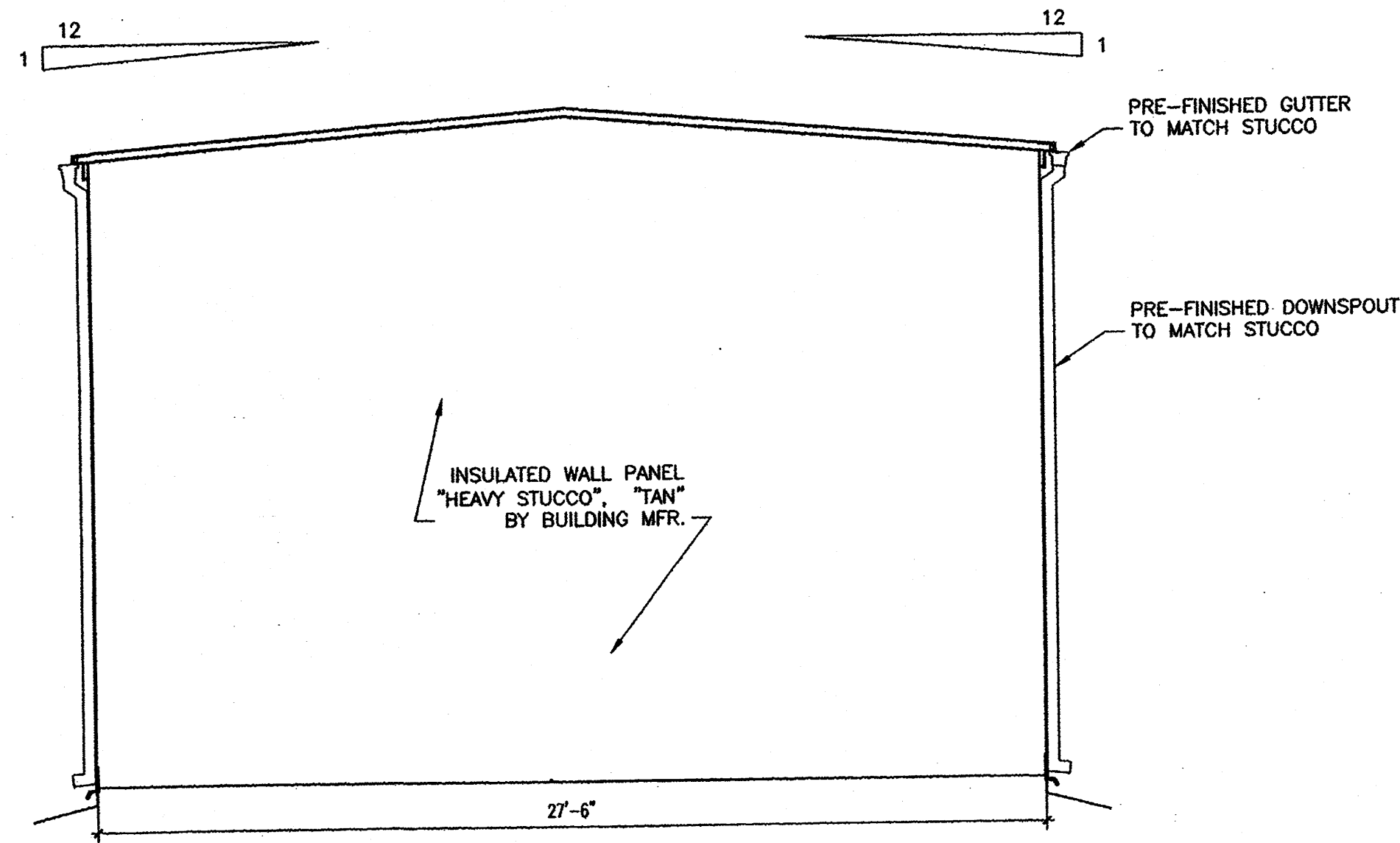
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

LEGEND

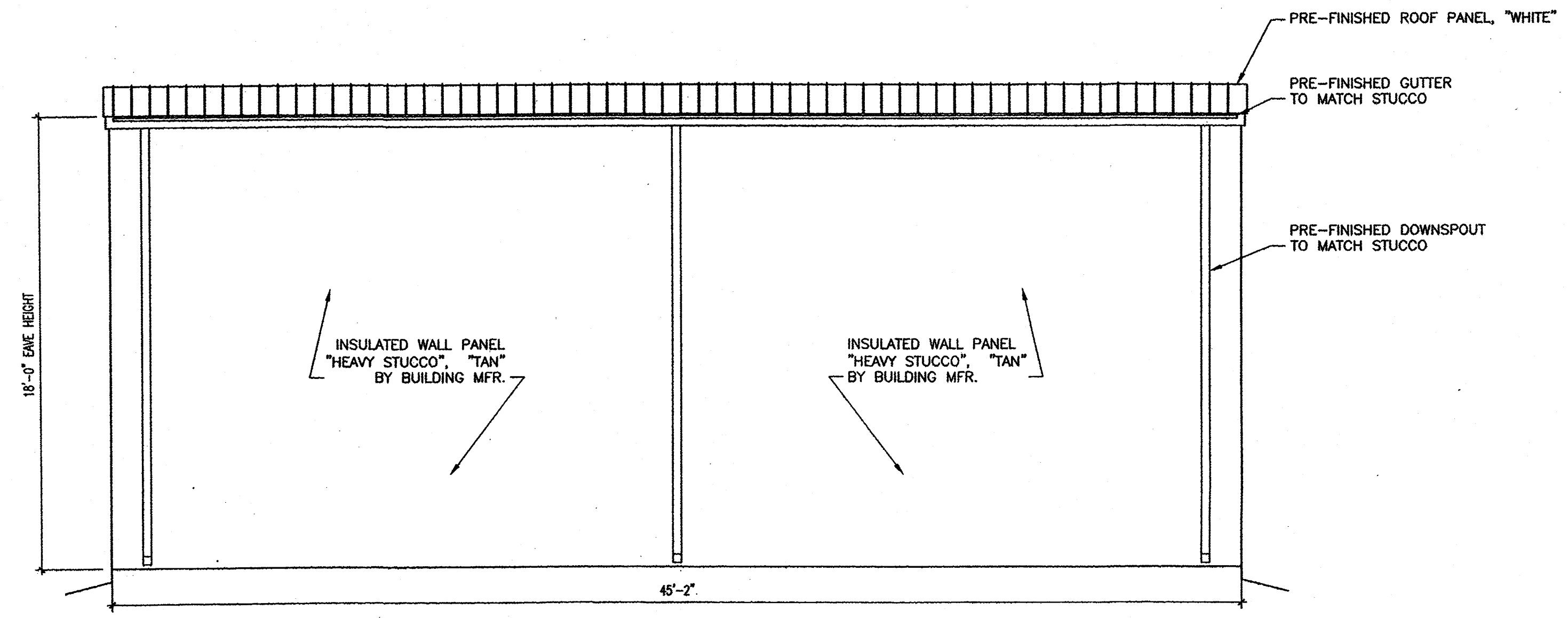
- EXISTING CURB & GUTTER
- TEMPORARY ASPHALT CURB
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK

ROUGH GRADING APPROVAL _____ DATE _____

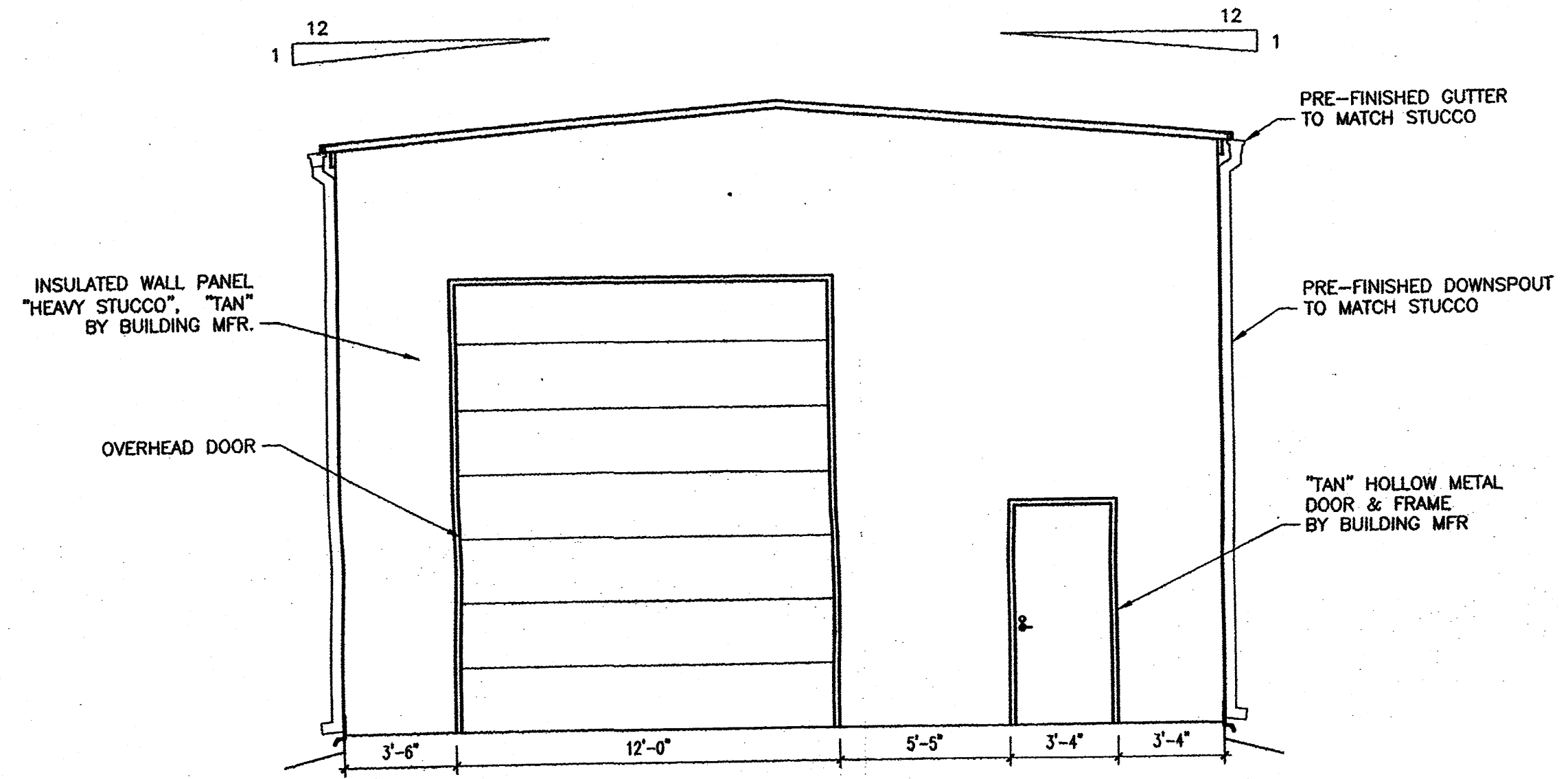
ENGINEER'S SEAL	FRITO LAY	DRAWN BY JDN
	GRADING AND DRAINAGE PLAN	DATE 06-30-98
	TERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	9844DVR.DWG
		SHEET # 3 OF 4
		JOB # 980044



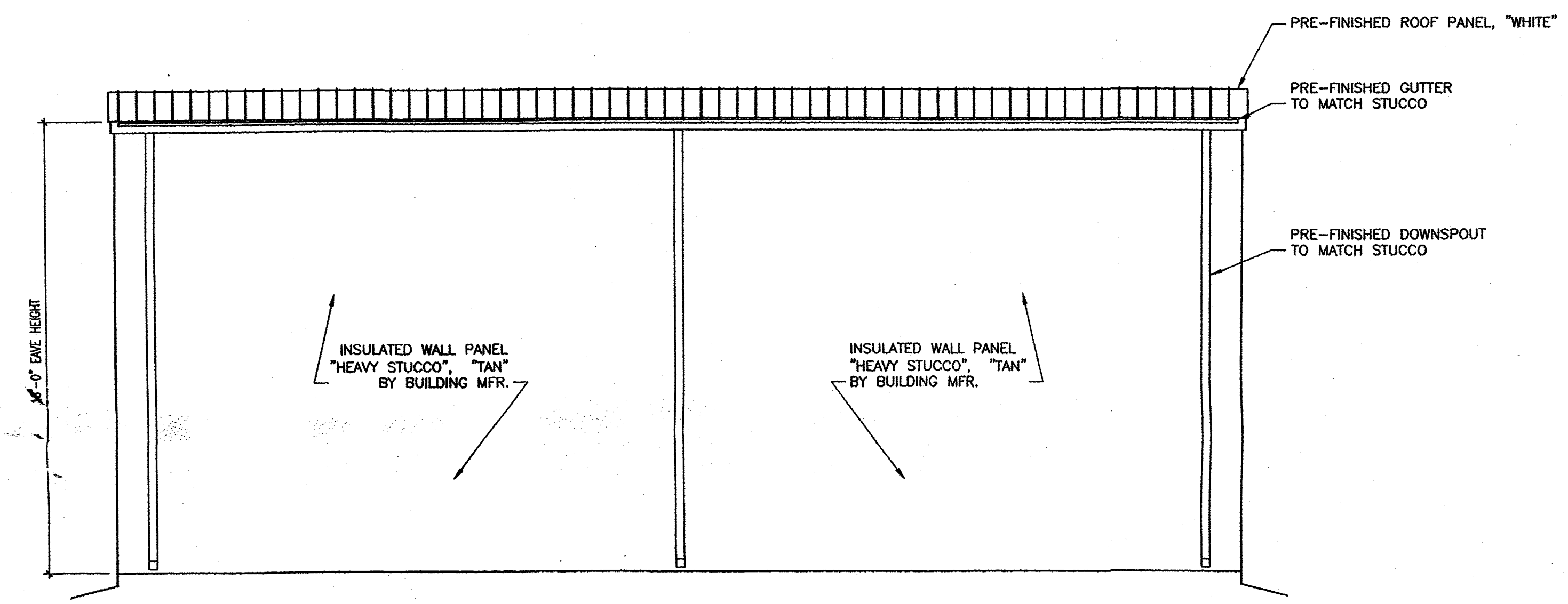
EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



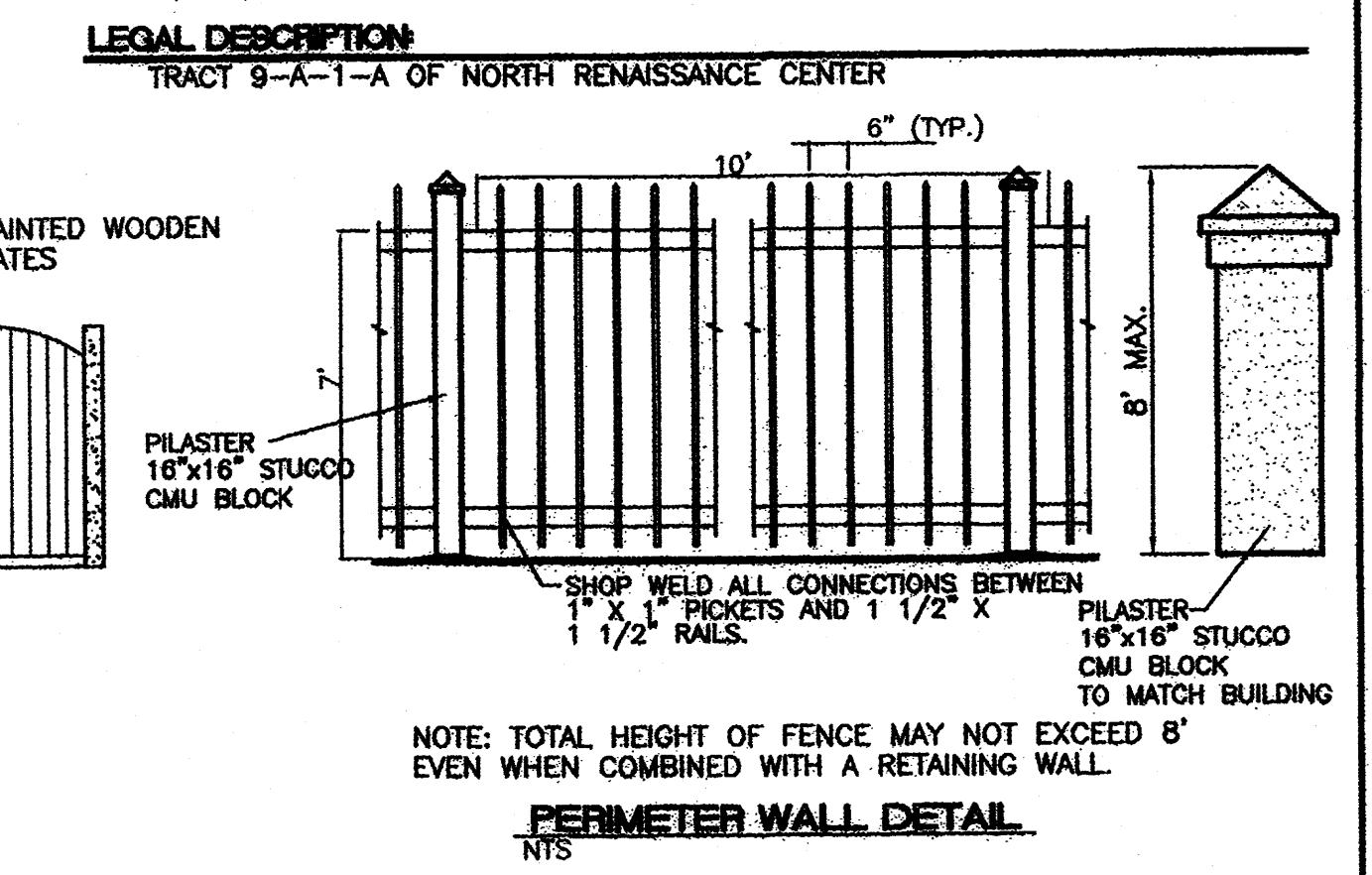
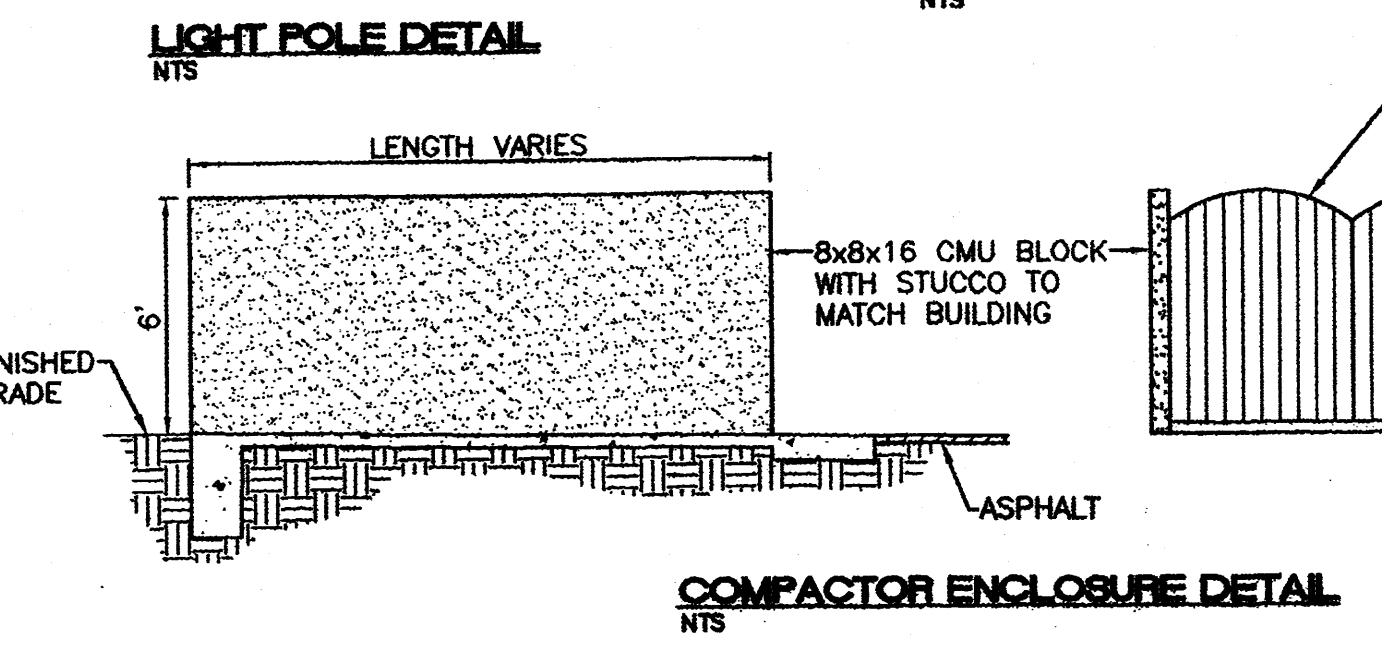
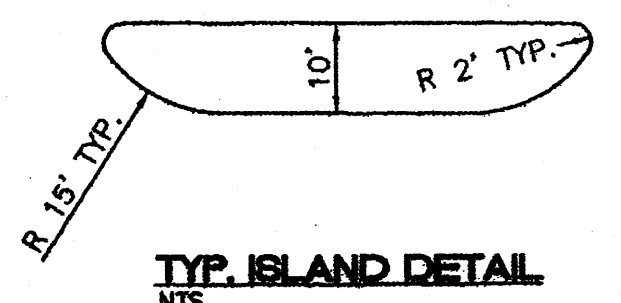
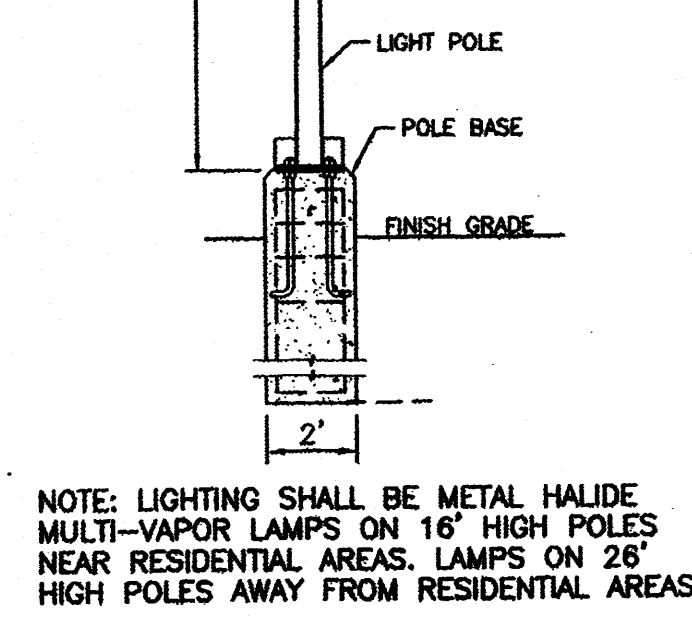
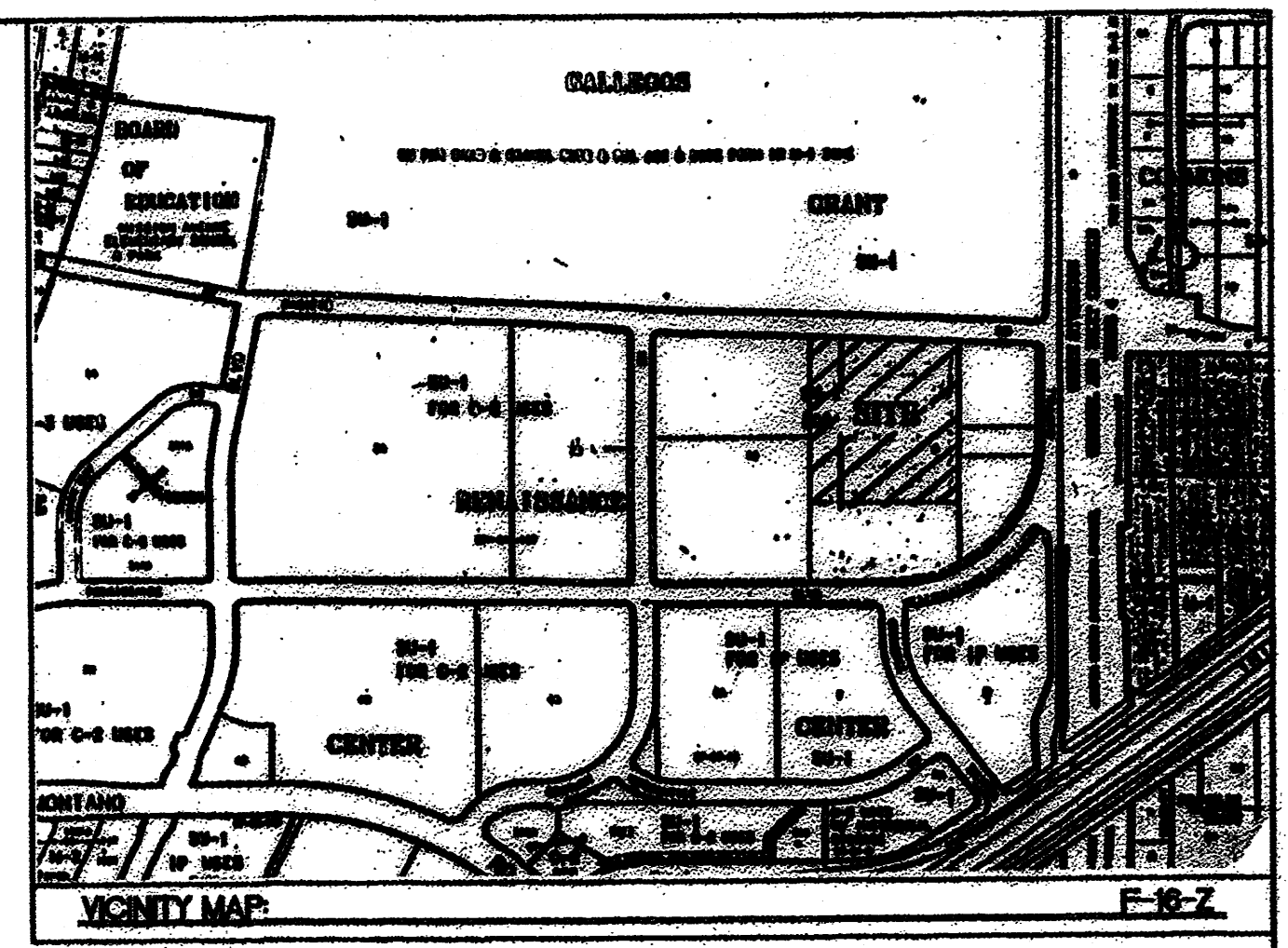
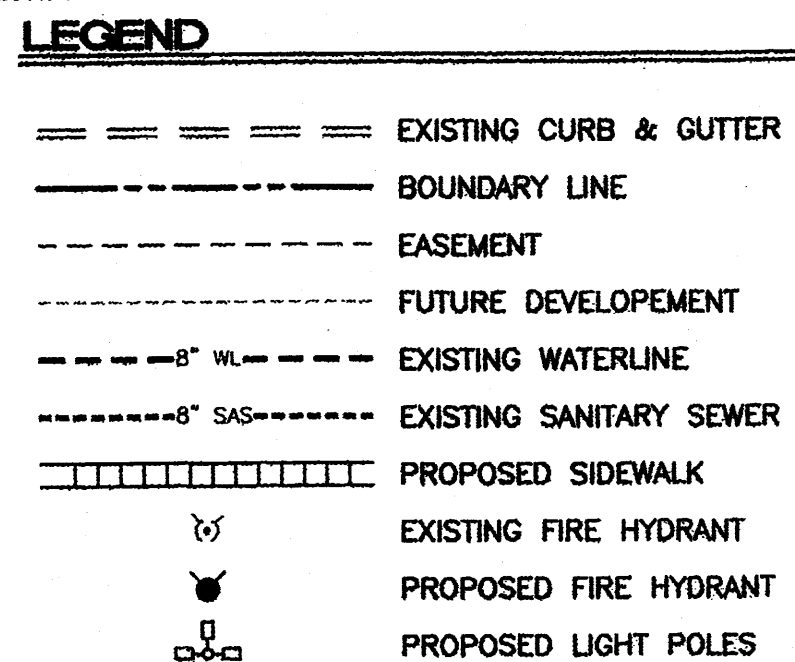
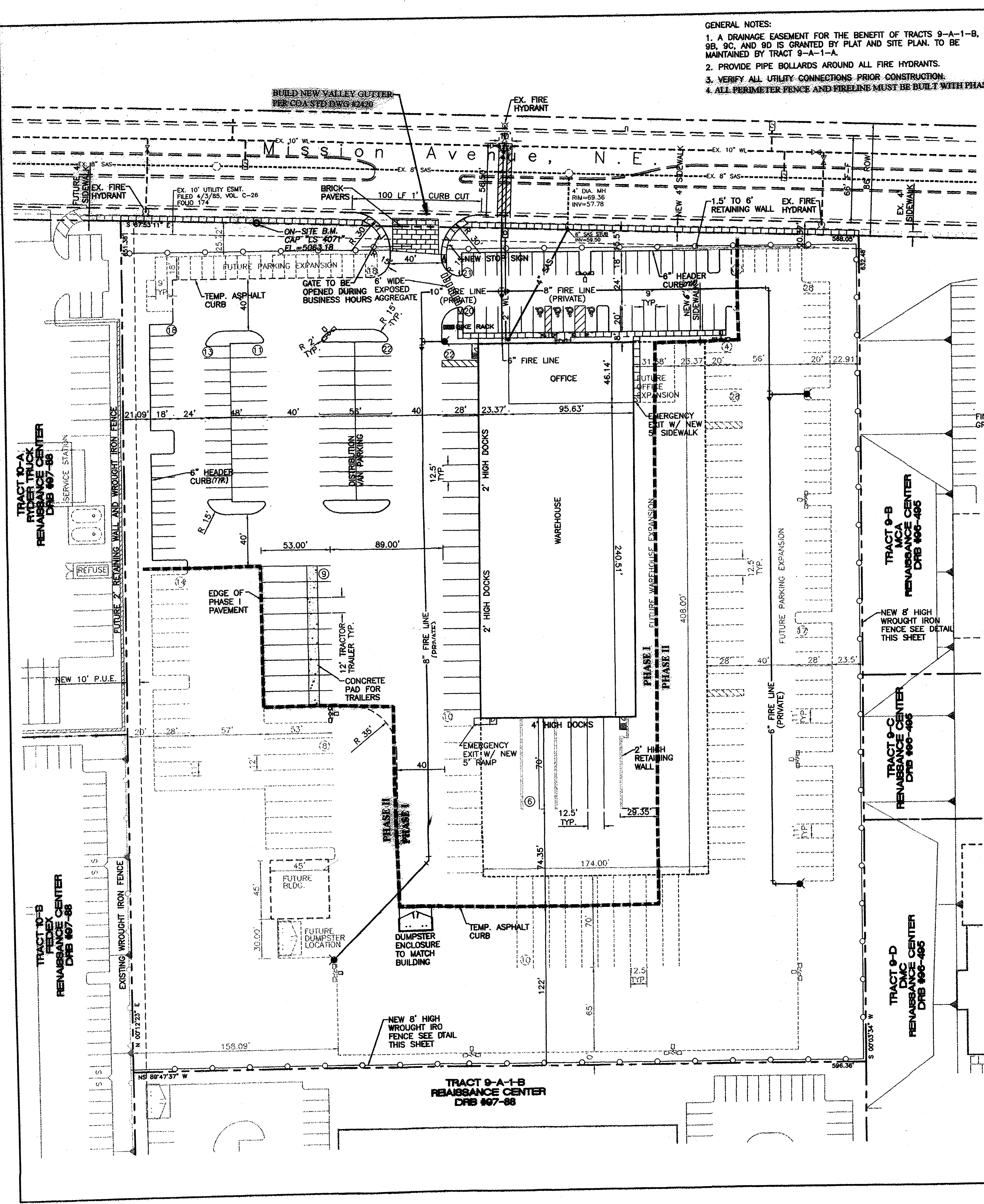
WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

No	Revision Item	Date
TRIM TO MATCH EXISTING BLDG 6/30/14 SCOTT ANDERSON & ASSOCIATES ARCHITECTS 7604 Rio Penasco, Albuquerque, New Mexico 87120 Phone: (505) 401-7575 Email: andersonscott@comcast.net		
FRITO LAY GARAGE 1550 MISSION AVE. NE ALBUQUERQUE, NM 87107		
BUILDING ELEVATIONS		
SEAL	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-201 of
	DATE	
	4/10/14	

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CASE NUMBER DRB-98-310 (PHASE I ONLY)

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on January 1, 1998, and that the findings and conditions in the Official Notice of Decision have been complied with:

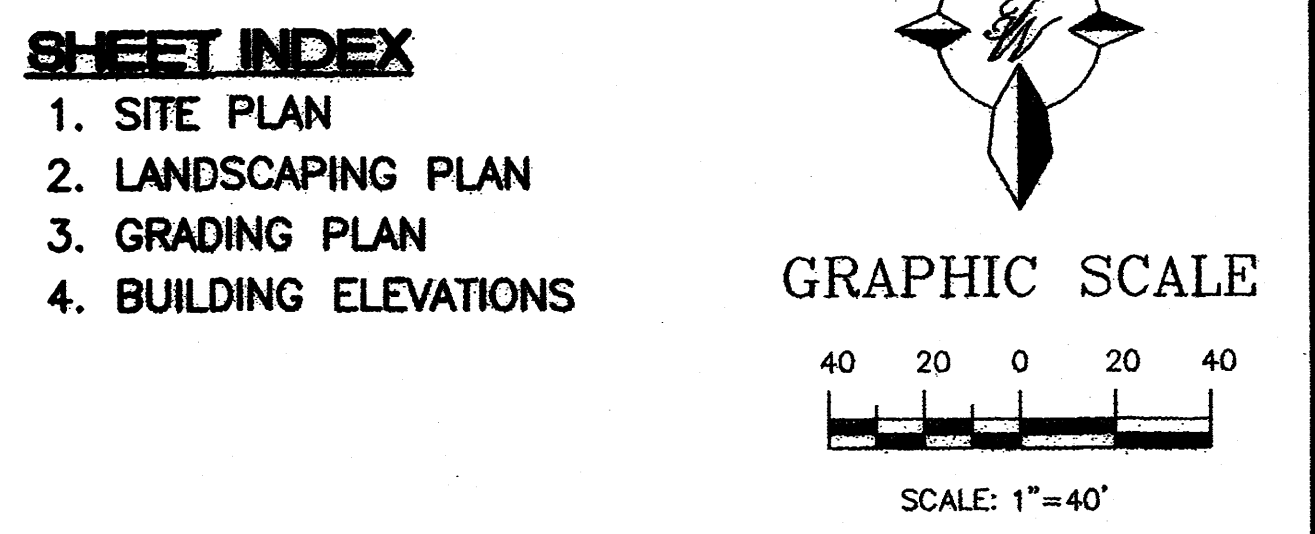
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division: *[Signature]* Date: 8-25-98
 Design and Development, CIP: *[Signature]* Date: 2-5-98
 Public Works, Water Utilities Division: *[Signature]* Date: 2-25-98
 City Engineer, Engineering Division / AMAFCA: *[Signature]* Date: 10-6-98

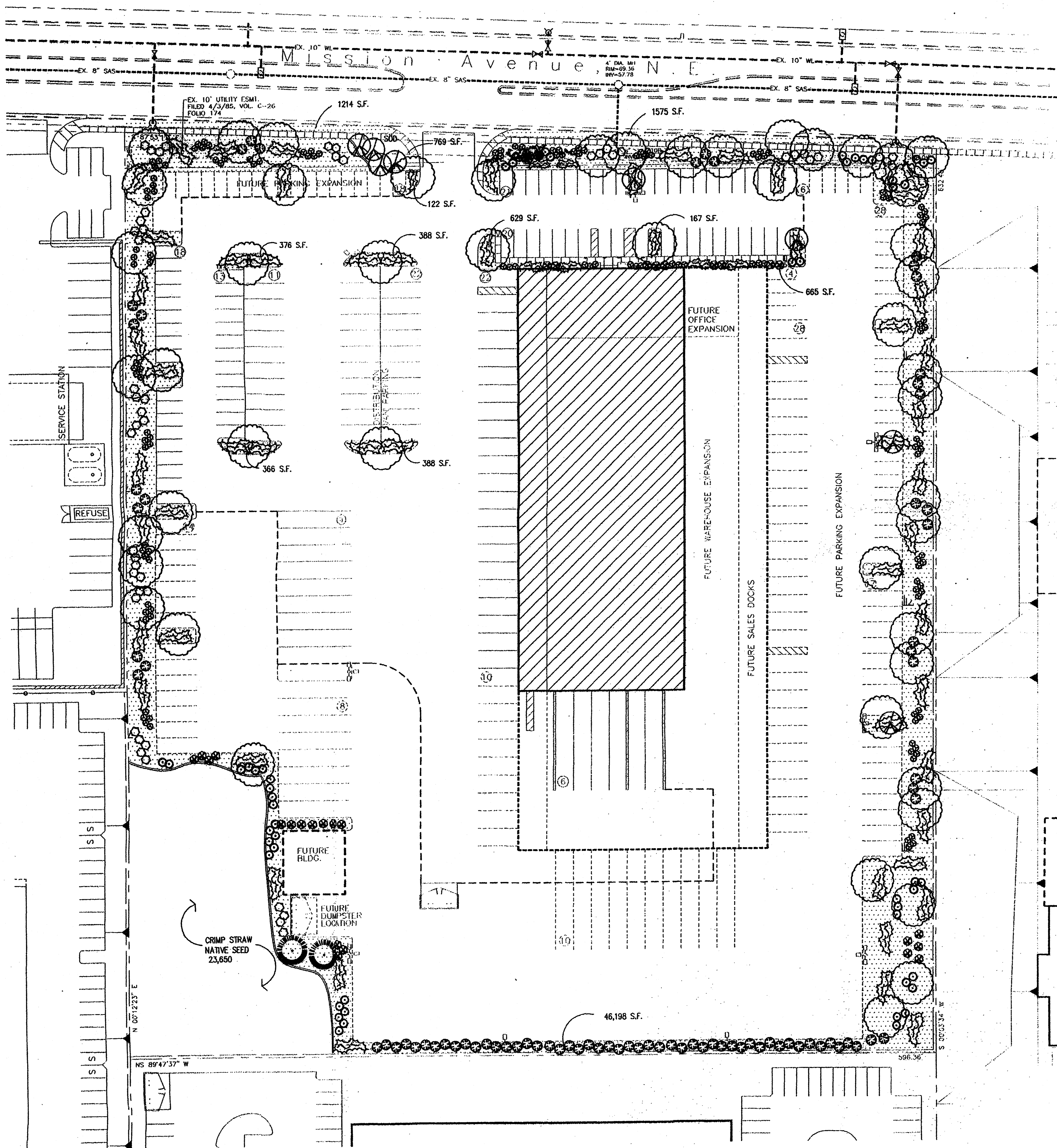
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Review Board Manual.

City Planner, Albuquerque / Bernalillo County Planning Division: *[Signature]* Date: 10/9/98
 Solid Waste: *[Signature]* Date: 10-4-98

PLNZ (10706) 4/96



ENGINEER'S SEAL	FRITO LAY	DRAWN BY: JDN
	SITE PLAN	DATE: 05-11-98
	TERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	9844SP.DWG
RDNALD R. BOHANNAN P.E. #7868		SHEET # 1 OF 4
		JOB # 980044



PLANT LEGEND

- ASH(H) OR HONEY LOCUST (H) 48
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal
- FLOWERING PEAR (H) 8
Pyrus calleryana
2" Cal
- AUSTRIAN PINE(H) 2
Pinus nigra
6'-8'
- PALM YUCCA (L) 2
- INDIAN HAWTHORN (M) 28
Rapidoletis indica
5 gal
- RUSSIAN SAGE (M) 56
Perovskia atriplicifolia
5 gal
- AUTUMN SAGE (M) 51
Salvia greggii
5 gal
- CHAMISA (L) 81
Chrysothamnus nauseosus
1 gal
- WILDFLOWER 134
1 gal
- TAM JUNIPER (M) 166
JUNIPERUS SABINA
5 gal
- OVERSIZED GRAVEL & BOULDERS
- 3/4" GREY GRAVEL WITH FILTER FAB
- SOD
- CRIMP STRAW NATIVE SEED
- COMMERCIAL GRADE STEEL EDGING

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	365,371	square feet
TOTAL BUILDINGS AREA	64,342	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	301,029	square feet
LANDSCAPE REQUIREMENT	15	square feet
TOTAL LANDSCAPE REQUIREMENT	45,154	square feet
TOTAL LANDSCAPE PROVIDED	76,355	square feet
TOTAL BED PROVIDED	51,936	68% square feet
TOTAL SOD PROVIDED	769	2% square feet
TOTAL NATIVE SEED PROVIDED	23,650	30% square feet

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPM Drip Emitters
Shrubs to receive (1) 1.0 GPH Drip Emitters
Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

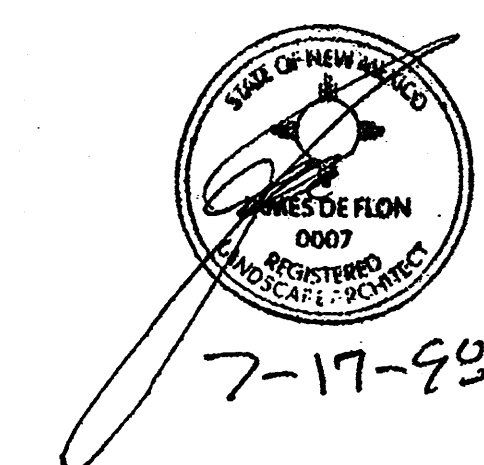
Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

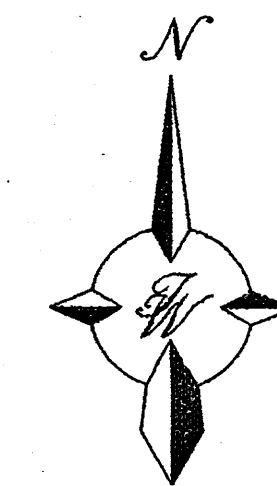
It is the intent of this plan to comply with the City Of Albuquerque, water conservation landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

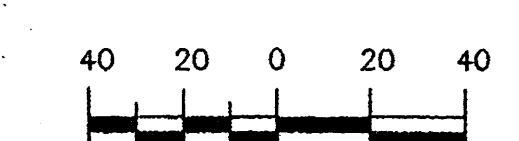


The Hilltop

7/17/98



GRAPHIC SCALE



SCALE: 1"=40'

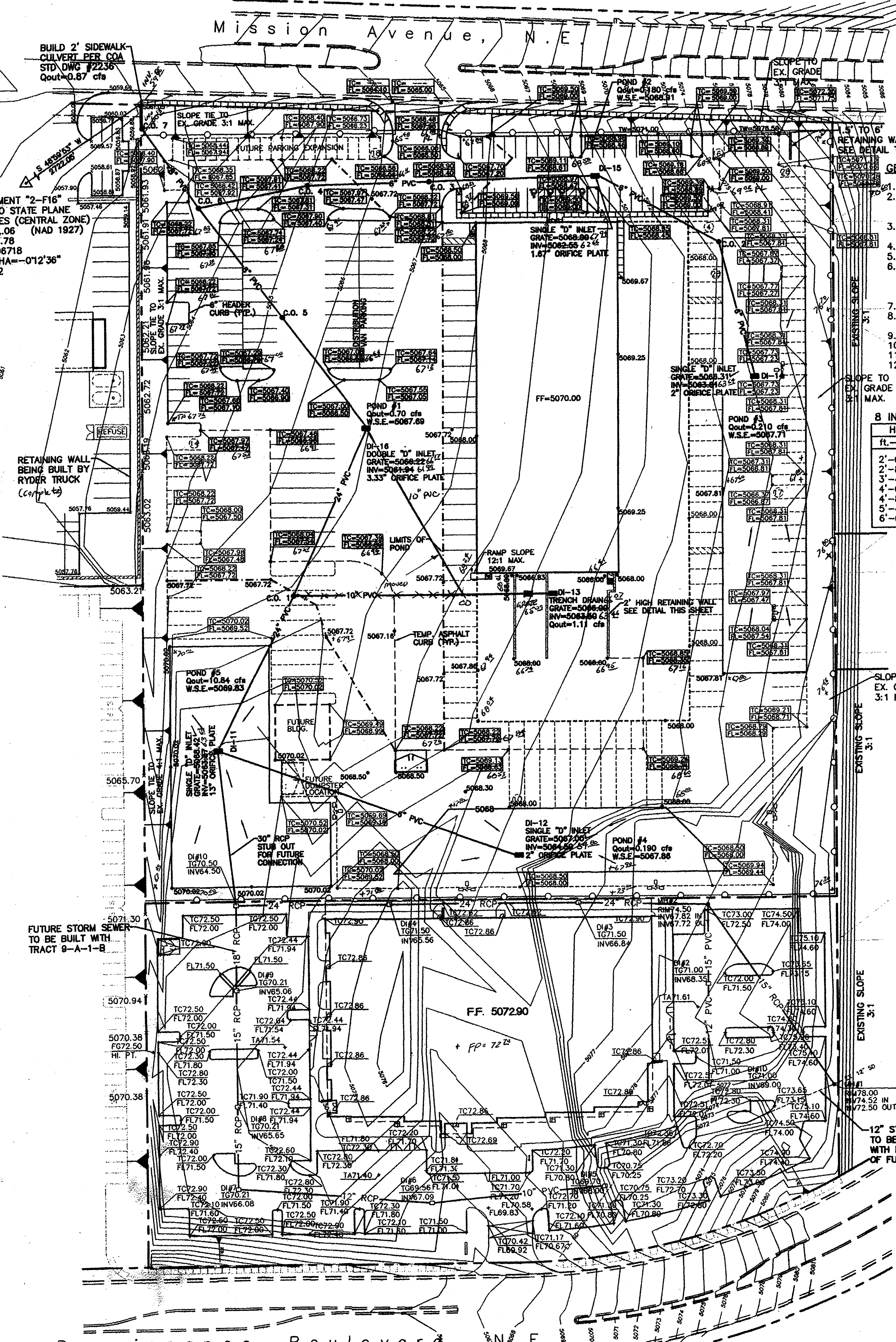
40/980044/9844SP.DWG/JDN/07-08-98

LANDSCAPE ARCHITECT'S SEAL	FRITO LAY	DRAWN BY JDN
	LANDSCAPE PLAN	DATE 05-11-98
		9844SP.DWG
		SHEET #
		2 OF 4
		JDB # 980044

TIERRA WEST, LLC
4421 McLEOD ROAD, N.E., SUITE 0
ALBUQUERQUE, NEW MEXICO 87109
(505)883-7592

Mission Avenue, N.E.

ACS MONUMENT "2-F16"
NEW MEXICO STATE PLANE
COORDINATES (CENTRAL ZONE)
X=380,920.06 (NAD 1927)
Y=1,504,677.78
G-C=0.9999678
DELTA ALPHA="012'36"
EL=5062.02



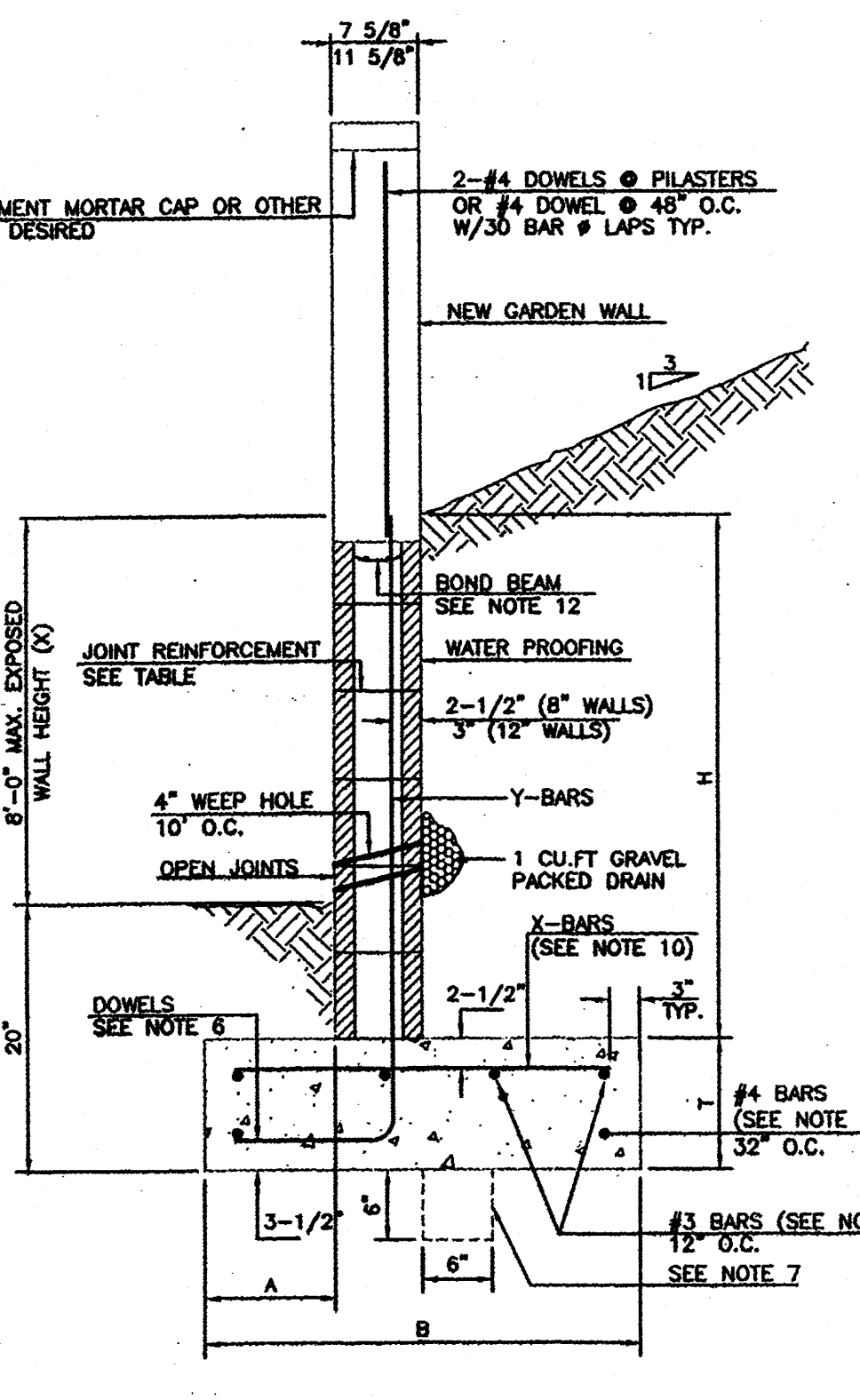
(complete)

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
2. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
3. ALL BARS ARE TO BE GRADE 60, ASTM 615.
4. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
5. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
6. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0".
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
8. #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
9. #4 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
10. #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4".
11. #4 BARS TO BE USED ON WALLS UNDER 3'-4".
12. #4 BARS FOR WALLS UNDER 3'-4".
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97. #4 BARS FOR WALLS UNDER 3'-4".
98. #4 BARS FOR WALLS UNDER 3'-4".
99. #4 BARS FOR WALLS UNDER 3'-4".
100. #4 BARS FOR WALLS UNDER 3'-4".

8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#3 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-9"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#6 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.



RETAINING WALL DETAIL
NOT TO SCALE

NOTICE TO CONTRACTORS

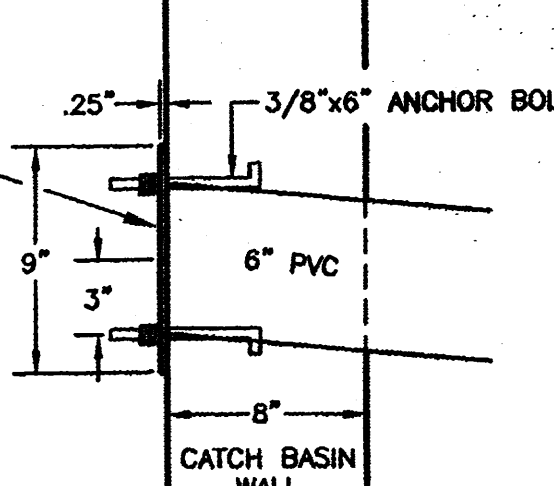
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

GENERAL NOTES:

1. A DRAINAGE EASEMENT IS GRANTED TO TRACTS 9B, 9C, 9D OVERT AND ACROSS TRACT 9-A-1-B FOR THE BENEFIT OF 9B, 9C, 9D TO BE MAINTAINED BY TRACT 9-A-1-B.
2. A DRAINAGE EASEMENT IS GRANTED TO TRACTS 9B, 9C, 9D AND 9-1-1-B OVER AND ACROSS TRACT 9-A-1-A ALONG WITH A PERMANENT PONDING EASEMENT (PONDS #1 AND #5) FOR THE BENEFIT OF 9B, 9C, 9D AND 9-A-1-B TO BE MAINTAINED BY TRACT 9-A-1-A.

I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 9-10-99. Survey information was supplied by Blaker Law Surveying in accordance with normal surveying practices.

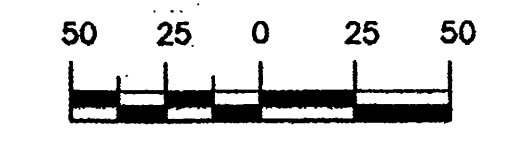


DETAIL A
TO BE INSTALLED @ THE OUTFLOW OF ALL CATCH BASINS

CLEAN OUT DATA

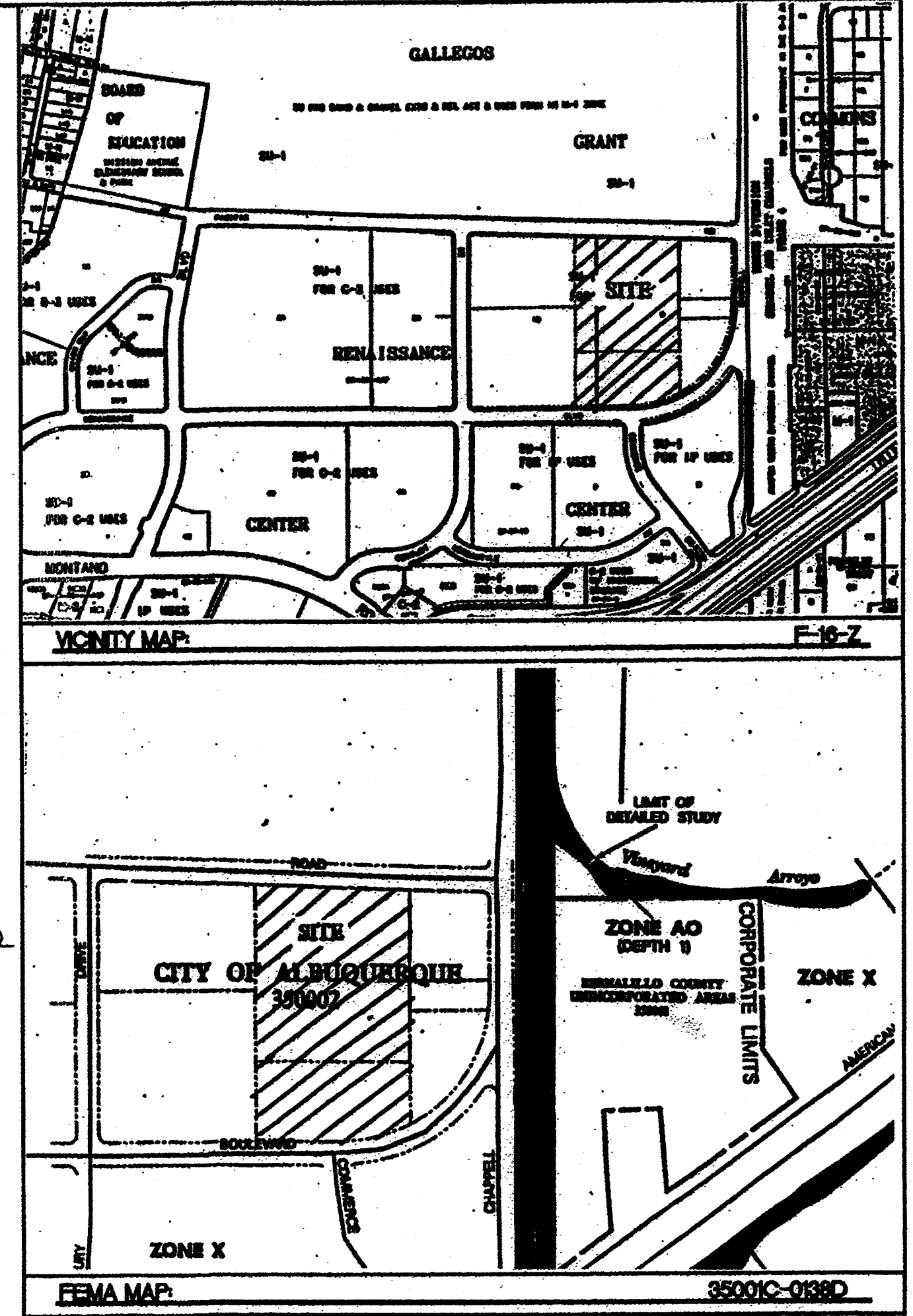
CO	RIN=	INV=
1	5067.81	5062.66
2	5067.81	5063.19
3	5067.53	5061.83
4	5067.55	5061.28
5	5066.94	5061.37
6	5067.60	5060.80
7	5062.24	5060.40

GRAPHIC SCALE



SCALE: 1"=50'

50/980044/9844OVR.DWG/JDN/08-10-98



LEGAL DESCRIPTION

TRACT 9-A-1-A AND 9-A-1-B OF NORTH RENAISSANCE CENTER

EROSION CONTROL PLAN NOTES

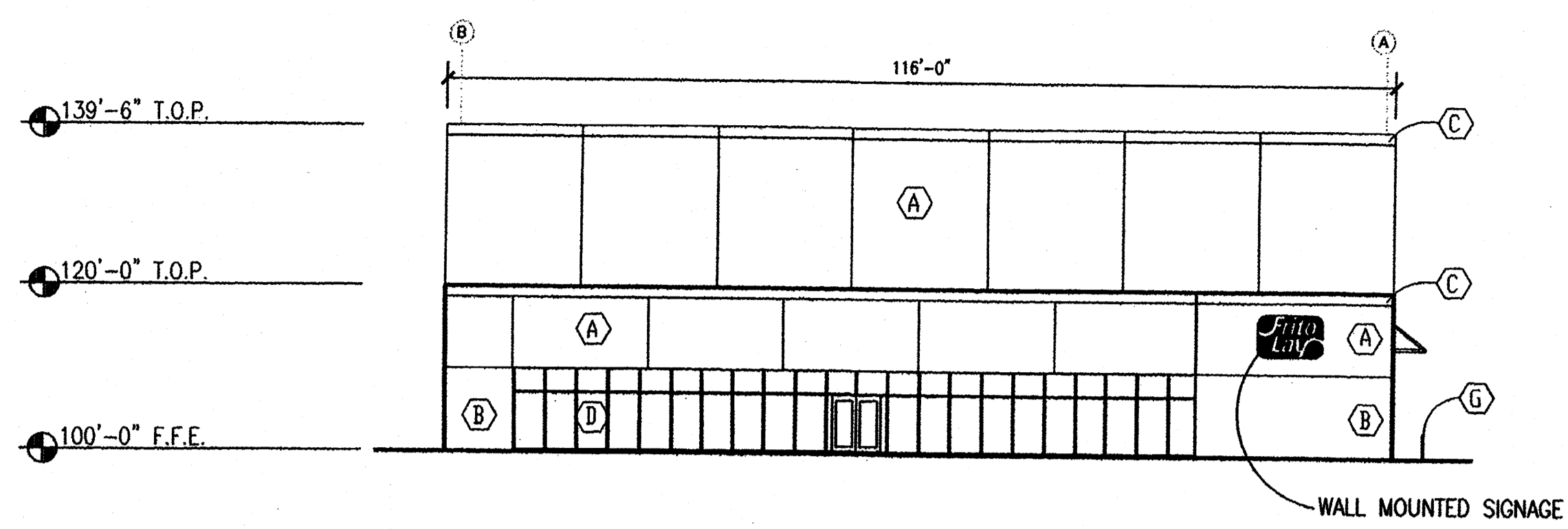
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

LEGEND

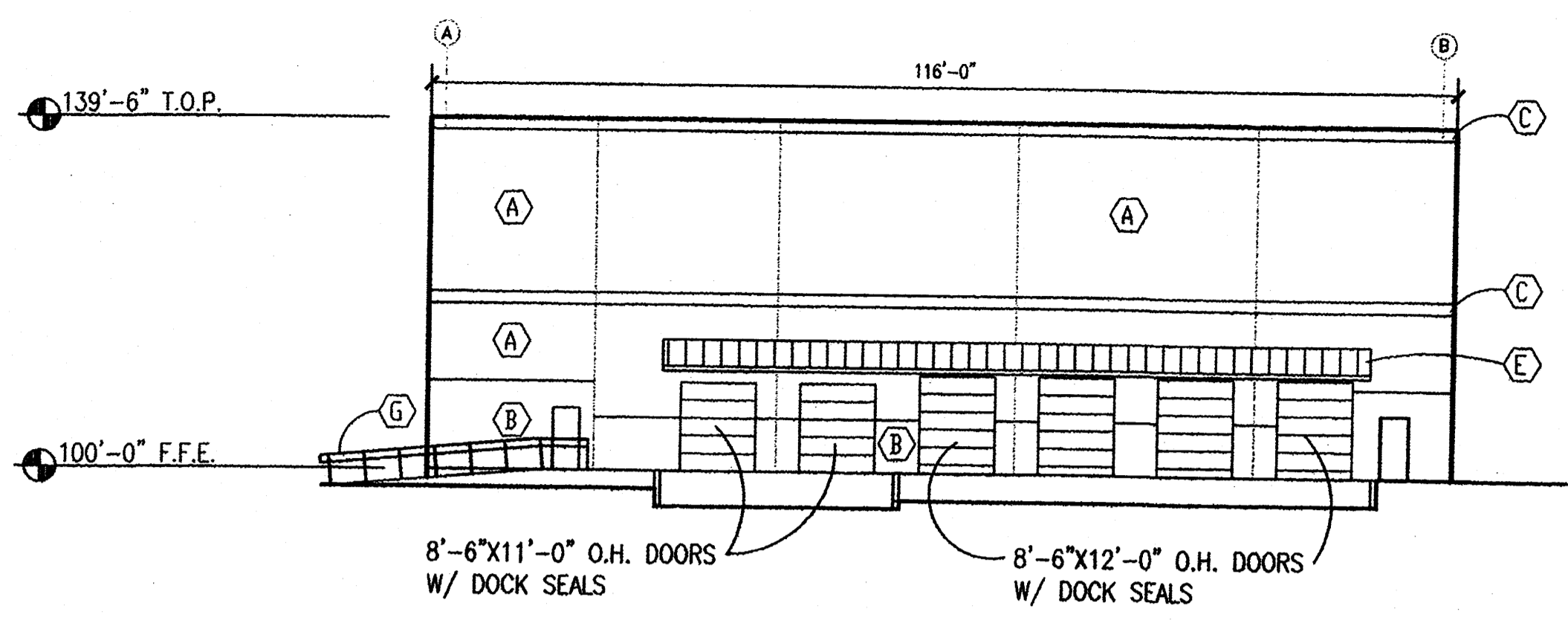
- ===== EXISTING CURB & GUTTER
- TEMPORARY ASPHALT CURB
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- ===== PROPOSED SIDEWALK

ROUGH GRADING APPROVAL DATE

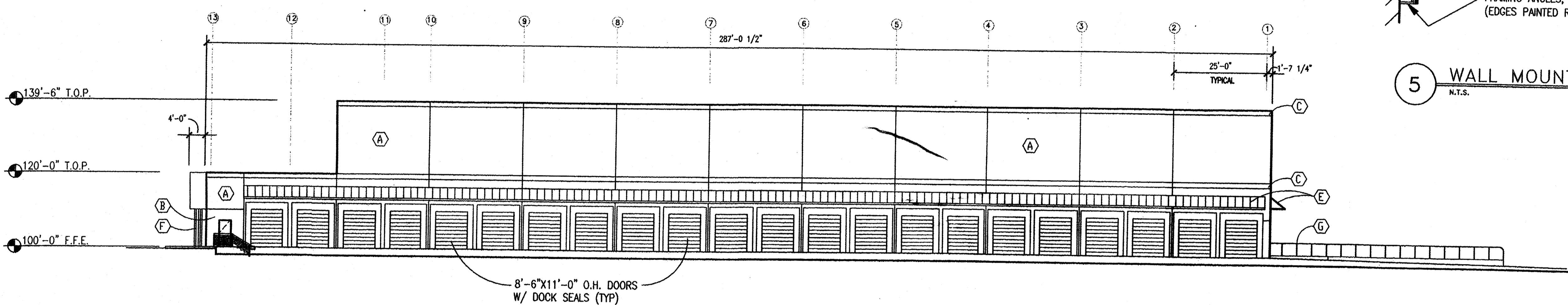
ENGINEER'S SEAL	<p>FRITO LAY</p> <p>GRADING AND DRAINAGE PLAN</p> <p>TERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592</p>	DRAWN BY JDN
		DATE 06-30-98
		9844OVR.DWG
		SHEET # 3 OF 4
		JOB # 980044



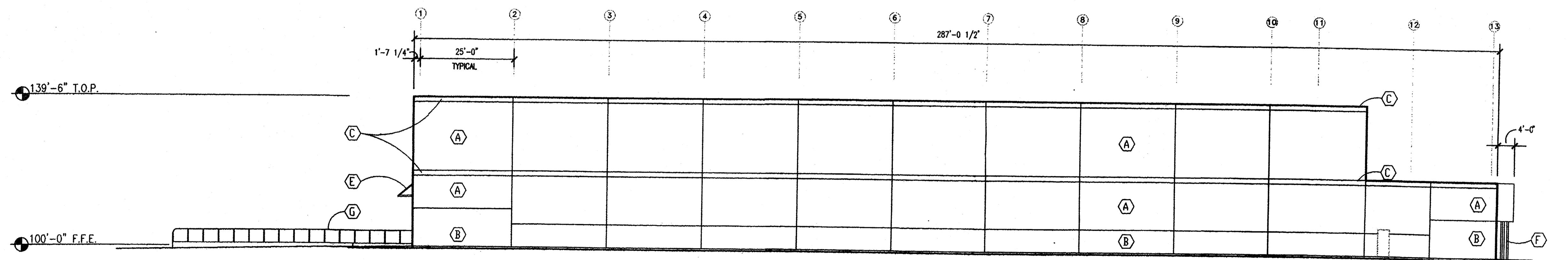
1 NORTH ELEVATION
SCALE: 1/16"=1'-0"
0' 8' 16' 32' 48'



2 SOUTH ELEVATION
SCALE: 1/16"=1'-0"
0' 8' 16' 32' 48'

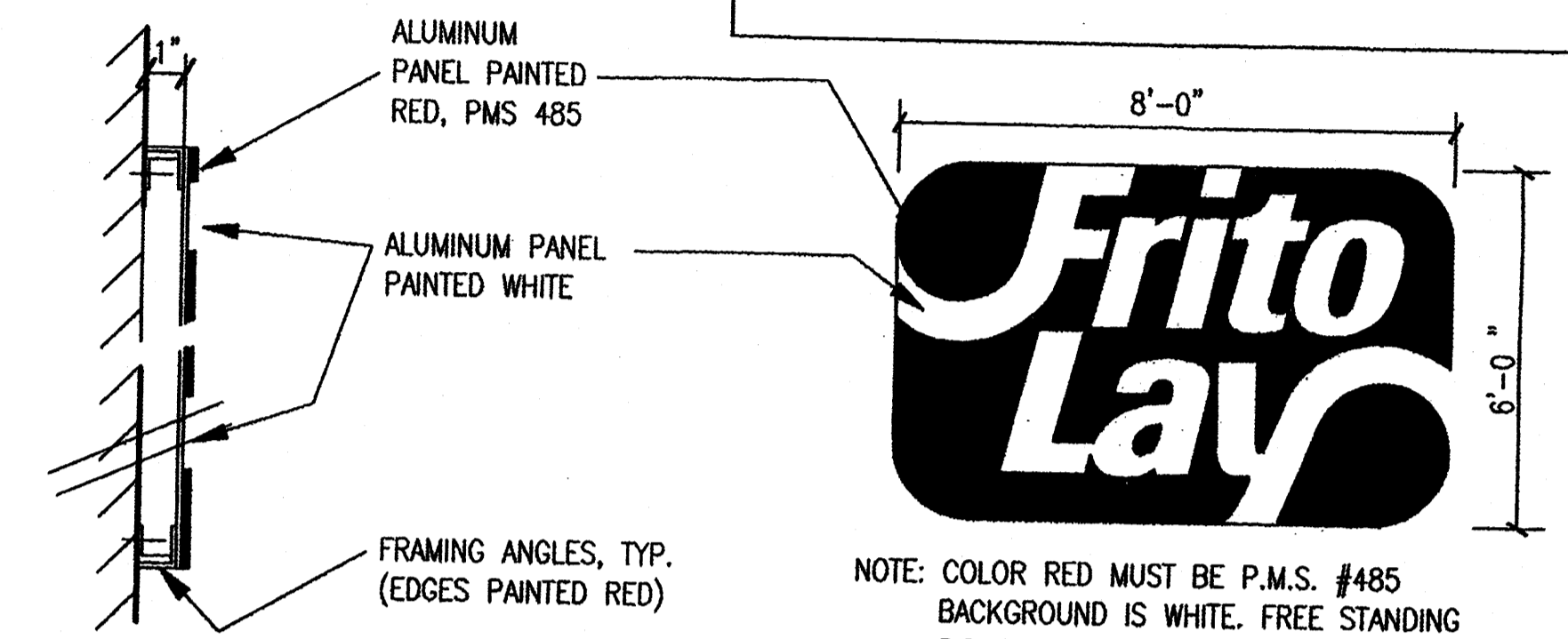


3 WEST ELEVATION
SCALE: 1/16"=1'-0"
0' 8' 16' 32' 48'



4 EAST ELEVATION
SCALE: 1/16"=1'-0"
0' 8' 16' 32' 48'

LEGEND	
(A)	LIGHT BUFF (CONCRETE TILT WALL)
(B)	MEDIUM BROWN (CONCRETE TILT WALL)
(C)	FRITO-LAY RED (CONCRETE TILT WALL)
(D)	BRONZE ALUMINUM STOREFRONT WITH INSULATED GLASS
(E)	RED ALUMINUM AWNINGS
(F)	BRONZE BREAK METAL
(G)	1 1/2" Ø RAILING PAINTED RED



5 WALL MOUNTED SIGN (NOT ILLUMINATED)
N.T.S.

NOTE: COLOR RED MUST BE P.M.S. #485 BACKGROUND IS WHITE. FREE STANDING SIGNS WILL BE DOUBLE FACED WITH LEGS SET IN CONCRETE.

DESIGN-PHASE

general notes
contractor to coordinate architectural plans with structural, plumbing mechanical and electrical plans for routing, blockouts stubs, blocking for equipment, etc.
if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents
contractor to verify all dimensions prior to construction
contractor to verify all existing on site conditions prior to construct.

FRITO-LAY RENAISSANCE CTR

DCSW ARCHITECTS

Sheet Title: ELEVATIONS & SIGNAGE

Revisions: _____

Design _____

Architect _____

Collaborative _____

Southwest inc. _____

engineer _____ 320 Central Ave SW

albuquerque, nm _____

87102 _____

job no: 9818 _____

date: 7/17/98 _____ 505-843-9639

sheet 4 OF 4 _____ dcs@dcsarchitects.com