

Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 83, AND ARE BASED ON ACS CONTROL MONUMENTS 12_J13 AND 13_J13, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
A. 22' x 83' PRIVATE DRIVEWAY EASEMENT GRANTED BY THIS PLAT IS FOR THE BENEFIT OF ADJOINING LOT B.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF DURAN & ALEXANDER ADDITION, FILED OCTOBER 11, 2007, BK. 2007C, P. 294, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. ORIGINAL PLATS OF DURAN AND ALEXANDER ADDITION FILED SEPTEMBER 18, 1884, VOL. C, FOLIO 141 AND HOMESTEAD GARDEN SPOT ADDITION FILED MAY 5, 1885, VOL. C, FOLIO 144 DO NOT INDICATE BEARINGS.
6. GROSS AREA: 0.8999 ACRES
7. NUMBER OF EXISTING LOTS: 5, PORTIONS OF 3 LOTS.
8. NUMBER OF LOTS CREATED: 1
9. PROPERTY IS ZONED SU-2.
10. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE: _____

LEGAL DESCRIPTION

A parcel of land in the City of Albuquerque, Bernalillo County, New Mexico, within projected Section 17, Township 10 North, Range 3 East, N.M.P.M., being and comprising Lot 5-A-1, Block C, DURAN and ALEXANDER ADDITION, as the same is shown as designated on the Plat of Lots 5-A and 19, Block C of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico on October 11, 2007 in Book 2007C, page 294; AND the Northerly 60 feet of the Southerly 50 feet of Lots 4 and 5, Block C, DURAN and ALEXANDER ADDITION, filed September 10, 1884 in Volume C, page 141; AND All of Lots 1, 2, 3, 4 and the Northerly 10 feet of Lot 5 in Block C of HOMESTEAD GARDENS SPOT ADDITION, filed May 5, 1885 in Volume C, folio 144, said parcel being more particularly described as follows:

BEGINNING at the Southwest corner of Lot 5-A, Block C, DURAN and ALEXANDER ADDITION, being a point on the Easterly right-of-way line of Fourth Street, NW, from which point ACS Station 12_J13 bears S 85°15'24" W, a ground distance of 3673.78 feet and running from said beginning point thence; N 09° 17' 15" E along said Easterly right-of-way line, a distance of 130.95 feet to a point of curve; thence, 23.44 feet along the arc of a curve to the right having a radius of 15.00 feet, a central angle of 89°31'01", and having a chord bearing and distance of N 54°02'45" E, 21.12 feet to a point of tangency on the Southerly right-of-way line or Granite Avenue, NW; thence, following said right-of-way line, S 81°11'44" E, a distance of 284.46 feet to the Northeast corner of the herein described parcel, being a point on the Westerly right-of-way line of Third Street, NW; thence, following said right-of-way line, S 09°10'09" W, 110.00 feet to the Southeast corner of the herein described parcel; thence, N 81°11'44" W, a distance of 125.07 feet; thence, S 09°09'17" W, a distance of 36.48 feet; thence, N 80°58'38" W, a distance of 174.57 feet to the Southwest corner and POINT OF BEGINNING, containing 0.8999 acre, more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
C. Qwest Corporation d/b/a CenturyLink QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT. EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

GERALDINE SNOW, SNOW DAVIS HOLDINGS

BY: _____ DATE: _____

OWNER(S) PRINT NAME: _____

ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
)SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2014.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

**PLAT OF
 LOT 5-A-1, BLOCK C
 DURAN & ALEXANDER ADDITION
 PROJECTED SECTION 17, T. 10 N., R. 3 E., N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2014
 PAGE 1 OF 2**

PURPOSE OF PLAT

The purpose of this plat is to combine five (5) lots and portions of three (3) lots One (1) Lots, to grant additional easement(s) and to dedicate additional street right-of-way as shown hereon.

CITY APPROVALS: PROJECT NO.: 1010103 APPLICATION NO. _____

CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

SURVEYOR'S CERTIFICATION

I, Anthony L. Harris, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Anthony L. Harris
 New Mexico Professional Surveyor, 11463

Date _____

THE SURVEY OFFICE

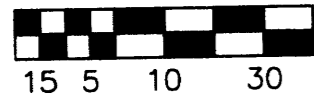
333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102

PHONE: (505) 998-0303
 FAX: (505) 998-0305

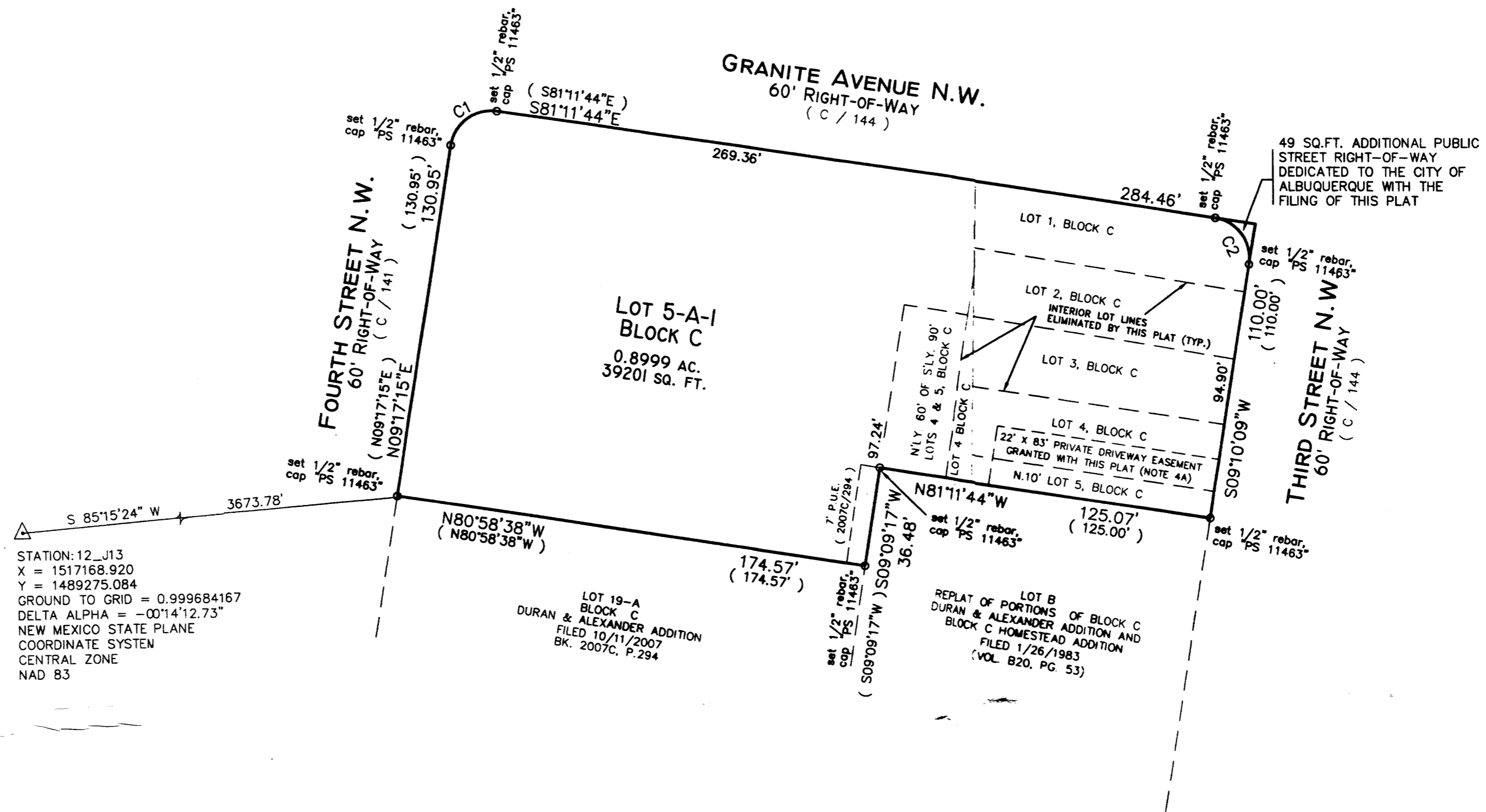
T10N R3E SEC. 17

PLAT OF
LOTS 5-A-1, BLOCK C
DURAN & ALEXANDER ADDITION
 PROJECTED SECTION 17, T. 10 N., R. 3 E., N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2014
 PAGE 2 OF 2

20 10 0 20 40



SCALE: 1" = 40'
 PROJECT NO. 0706EH06A
 DRAWN BY EWK
 ZONE ATLAS: J-14-Z



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. LENGTH	TANGENT
C1	15.00'	23.44'	89°31'01"	N 54°02'45" E	21.12'	14.87'
C2	15.00'	23.66'	90°21'54"	S 36°21'37" E	20.29'	15.10'

THE SURVEY OFFICE

333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102

PHONE: (505) 998-0303
 FAX: (505) 998-0305

T10N R3E SEC. 17



Vicinity Map

SUBDIVISION DATA, NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 83, AND ARE BASED ON ACS CONTROL MONUMENTS 12_J13 AND 13_J13, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
A. 22' x 83' PRIVATE DRIVEWAY EASEMENT GRANTED BY THIS PLAT IS FOR THE BENEFIT OF ADJOINING LOT B.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF DURAN & ALEXANDER ADDITION, FILED OCTOBER 11, 2007, BK. 2007C, P. 294, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. ORIGINAL PLATS OF DURAN AND ALEXANDER ADDITION FILED SEPTEMBER 18, 1884, VOL. C, FOLIO 141 AND HOMESTEAD GARDEN SPOT ADDITION FILED MAY 5, 1885, VOL. C, FOLIO 144 DO NOT INDICATE BEARINGS.
6. GROSS AREA: 0.8999 ACRES
7. NUMBER OF EXISTING LOTS: 5, PORTIONS OF 3 LOTS.
8. NUMBER OF LOTS CREATED: 1
9. PROPERTY IS ZONED SU-2.
10. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

LEGAL DESCRIPTION

A parcel of land in the City of Albuquerque, Bernalillo County, New Mexico, within projected Section 17, Township 10 North, Range 3 East, N.M.P.M., being and comprising Lot 5-A-1, Block C, DURAN and ALEXANDER ADDITION, as the same is shown an designated on the Plat of Lots 5-A and 19, Block C of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico on October 11, 2007 in Book 2007C, page 294;
AND
the Northerly 60 feet of the Southerly 50 feet of Lots 4 and 5, Block C, DURAN and ALEXANDER ADDITION, filed September 10, 1884 in Volume C, page 141;
AND
All of Lots 1, 2, 3, 4 and the Northerly 10 feet of Lot 5 in Block C of HOMESTEAD GARDENS SPOT ADDITION, filed May 5, 1885 in Volume C, folio 144, said parcel being more particularly described as follows:

BEGINNING at the Southwest corner of Lot 5-A, Block C, DURAN and ALEXANDER ADDITION, being a point on the Easterly right-of-way line of Fourth Street, NW, from which point ACS Station 12_J13 bears S 85°15'24" W a ground distance of 3673.78 feet and running from said beginning point thence:
N 09° 17' 15" E along said Easterly right-of-way line, a distance of 130.95 feet to a point of curve;
thence, 23.44 feet along the arc of a curve to the right having a radius of 15.00 feet, a central angle of 89°31'01", and having a chord bearing and distance of N 54°02'45" E, 21.12 feet to a point of tangency on the Southerly right-of-way line of Granite Avenue, NW; thence, following said right-of-way line, S 81°11'44" E, a distance of 284.46 feet to the Northeast corner of the herein described parcel, being a point on the Westerly right-of-way line of Third Street, NW;
thence, following said right-of-way line, S 09°10'09" W, 110.00 feet to the Southeast corner of the herein described parcel; thence, N 81°11'44" W, a distance of 125.07 feet; thence, S 09°09'17" W, a distance of 36.48 feet; thence, N 80°58'38" W, a distance of 174.57 feet to the Southwest corner and POINT OF BEGINNING, containing 0.8999 acre, more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF THE PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
C. Qwest Corporation d/b/a CenturyLink QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.
EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

GERALDINE SNOW, SNOW DAVIS HOLDINGS

BY: Geraldine Snow, Snow Davis Holdings DATE: July 15, 2014

OWNER(S) PRINT NAME: Geraldine Snow

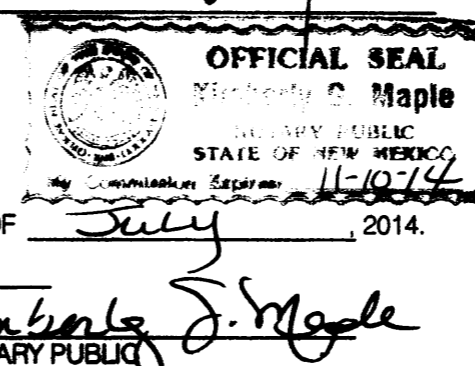
ACKNOWLEDGMENT
STATE OF NEW MEXICO)
)SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF July, 2014.

GERALDINE SNOW

MY COMMISSION EXPIRES:

11-10-14



PLAT OF
LOT 5-A-1, BLOCK C
DURAN & ALEXANDER ADDITION
PROJECTED SECTION 17, T. 10 N., R. 3 E., N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY 2014
PAGE 1 OF 2

DRB #
1010103
7-23-14

PURPOSE OF PLAT

The purpose of this plat is to combine five (5) lots and portions of three (3) lots into One (1) Lot, and to grant additional easement(s) and to dedicate additional street right-of-way as shown hereon.

CITY APPROVALS: PROJECT NO.: 1010103 APPLICATION NO.

Dail P. Larsta 7-15-14
CITY SURVEYOR DATE

TRAFFIC ENGINEERING DATE

PARKS & RECREATION DEPARTMENT DATE

A.B.C.W.U.A. DATE

A.M.A.F.C.A. DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

ENVIRONMENTAL HEALTH DEPARTMENT DATE

REAL PROPERTY DIVISION DATE

UTILITY APPROVALS:

PNM ELECTRIC SERVICES DATE

NEW MEXICO GAS COMPANY DATE

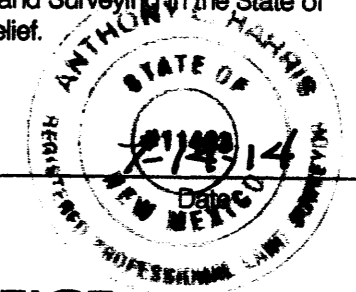
QWEST CORPORATION D / B / A CENTURYLINK QC DATE

COMCAST CABLE COMMUNICATION, INC. DATE

SURVEYOR'S CERTIFICATION

I, Anthony L. Harris, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Anthony L. Harris
Anthony L. Harris
New Mexico Professional Surveyor, 11463



THE SURVEY OFFICE

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO
87102

PHONE: (505) 998-0303
FAX: (505) 998-0305

T10N R3E SEC. 17

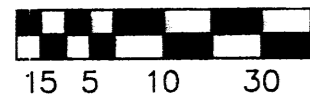
THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
UPC#:

PROPERTY OWNER OF RECORD:

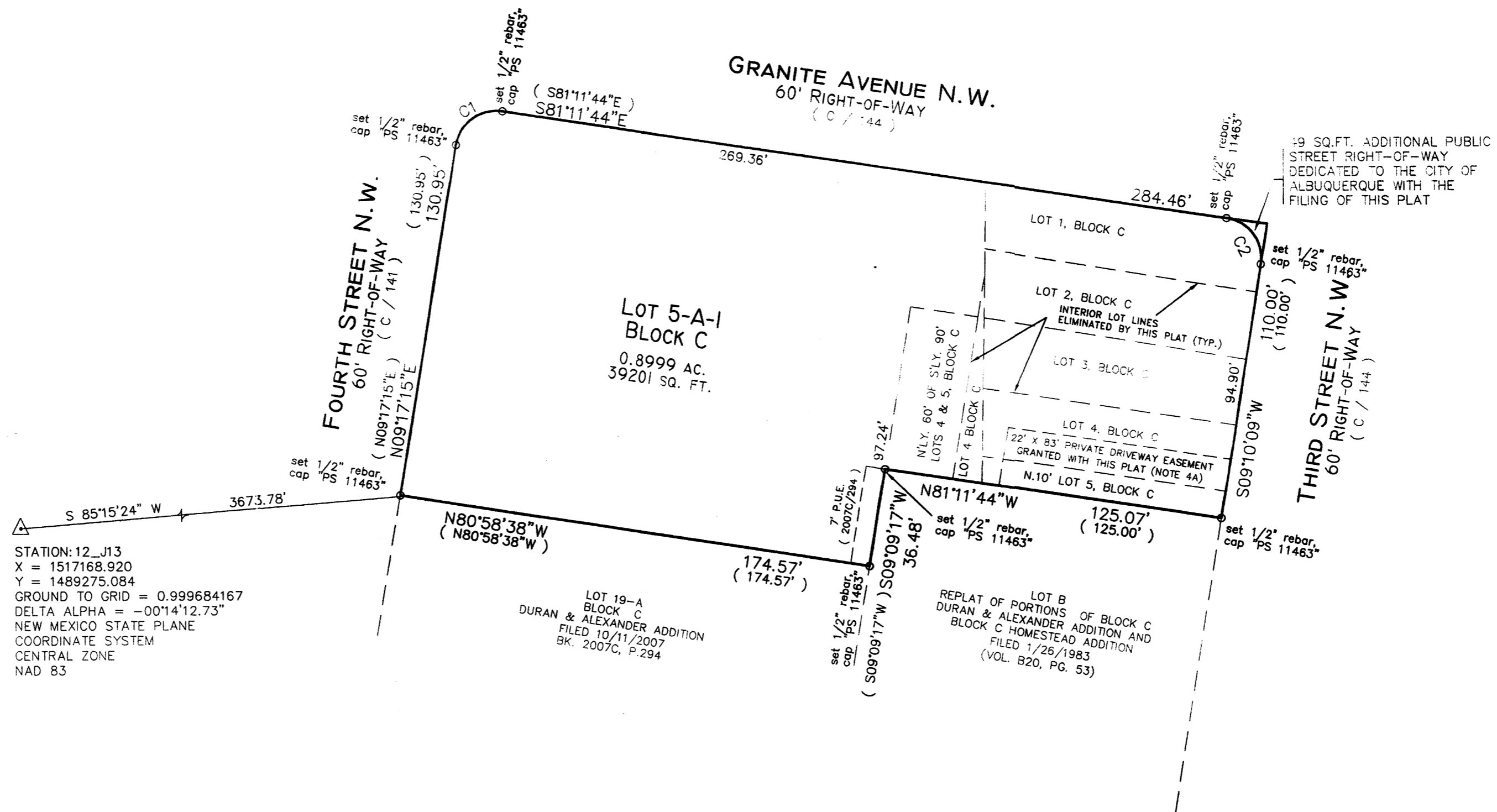
BERNALILLO COUNTY TREASURERS OFFICE:

PLAT OF
LOTS 5-A-1, BLOCK C
DURAN & ALEXANDER ADDITION
 PROJECTED SECTION 17, T. 10 N., R. 3 E., N.M.P.M.
 TOWN OF ALBUQUERQUE GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2014
 PAGE 2 OF 2

20 10 0 20 40



SCALE: 1" = 40'
 PROJECT NO. 0706EH06A
 DRAWN BY EWK
 ZONE ATLAS: J-14-Z



CURVE TABLE

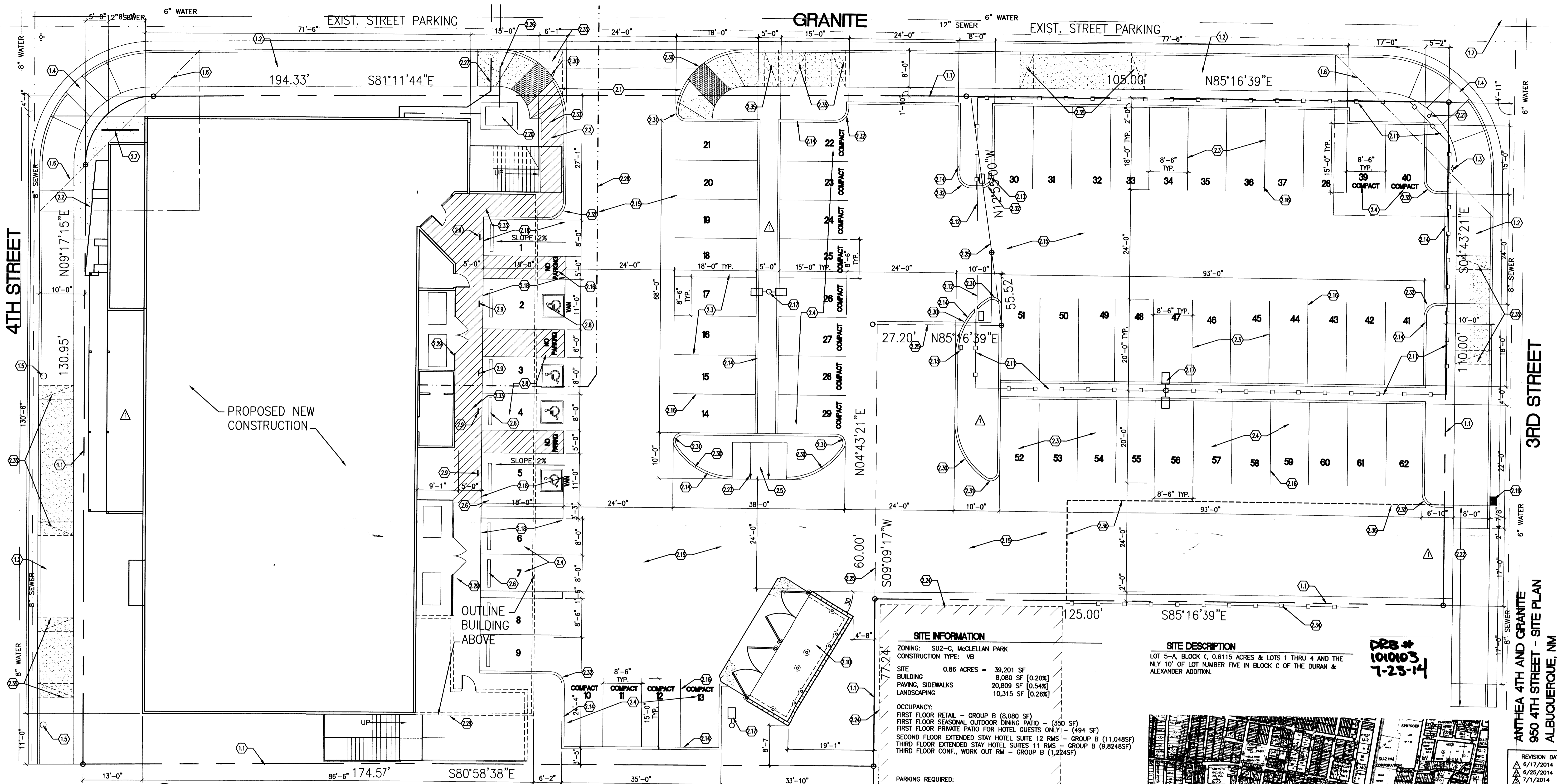
CURVE	RADIUS	LENGTH	DELTA	CHORD	CH. LENGTH	TANGENT
C1	15.00'	23.44'	89°31'01"	N 54°02'45" E	21.12'	14.87'
C2	15.00'	23.66'	90°21'54"	S 36°21'37" E	20.29'	15.10'

THE SURVEY OFFICE

333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102

PHONE: (505) 998-0303
 FAX: (505) 998-0305

T10N R3E SEC. 17



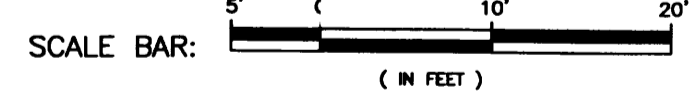
4TH STREET

GRANITE

3RD STREET

PROPOSED NEW CONSTRUCTION

1 SITE PLAN
1" = 10'-0"



- KEYED NOTES**
- DIVISION 1 - GENERAL**
- 1.1 PROPERTY LINE
 - 1.2 EXIST. PUBLIC CITY SIDEWALK
 - 1.3 EXIST. FIRE HYDRANT
 - 1.4 EXIST. HANDICAP RAMP
 - 1.5 EXIST. UTILITY POWER POLE
 - 1.6 LINE OF SIGHT
 - 1.7 EXISTING BUS STOP & SHELTER @ 3RD AND GRANITE
- DIVISION 2 - SITE**
- 2.1 NEW DRIVE WAY ENTRANCE W/HANDICAP RAMP & TRUNCATED DOMES - SEE CIVIL
 - 2.2 NEW CONCRETE SIDEWALK SEE DTLS. C/C1.2 & E/C1.2
 - 2.3 STANDARD CAR PARKING SPACE - STRIPPED PER CODE
 - 2.4 SMALL CAR PARKING SPACE - STRIPPED & WHITE LETTERED PER CODE
 - 2.5 MOTORCYCLE PARKING SPACES, 4" CONC. SLAB W/BOLLARDS - PAINT
 - 2.6 CONC. PARKING BARRIER, ANCHOR WITH 2-#4 REBAR
 - 2.7 BICYCLE WAVE RACK [7 BIKES] - SEE DTL. H/C1.2
 - 2.8 HANDICAP PARKING SPACE W/STRIPPED ACCESS ASILE SEE DTL. A/C1.2
 - 2.9 HANDICAP PARKING SIGNAGE - SEE DTL. B/C1.2
 - 2.10 DUMPSTER ENCLOSURE - SEE DTL. L/C1.2
 - 2.11 FENCED PRIVATE PARKING SPACES
 - 2.12 AUTOMATIC SLIDING GATES
 - 2.13 GATE KEY PAD OPERATOR

- DIVISION 2 - SITE**
- 2.14 HEADER CURB - SEE DETAIL D/C1.2
 - 2.15 ASPHALT PAVEMENT - SEE CIVIL
 - 2.16 PAINTED STRIPING PER CODE REQUIREMENTS
 - 2.17 30" TALL POLE LIGHTS - SEE DTL. F/C1.2 & ELECTRICAL
 - 2.18 PAVING TO BE SLOPED 2% TO FINISH FLOOR ELEVATION
 - 2.19 EXISTING DROP INLET TO REMAIN
 - 2.20 FIRE PROTECTION BACK FLOW PREVENTOR
 - 2.21 FIRE SPRINKLER STAND ALONE FIRE DEPARTMENT CONNECTION
 - 2.22 EXISTING SHARED DRIVE WAY ENTRANCE TO REMAIN
 - 2.23 6" DIA. BOLLARDS CONC. FILLED PAINT - SEE DTL. K/C1.2
 - 2.24 EXISTING ADJACENT BUILDING
 - 2.25 LOT LINE TO BE REMOVED
 - 2.26 4" FIRE LINE CONNECTION
 - 2.27 2-1/2" DOMESTIC WATER LINE CONNECTION
 - 2.28 SEWER LINE CONNECTION
 - 2.29 WROUGHT IRON FENCING
 - 2.30 R - 15' - SEE CIVIL
 - 2.31 R - 2' - SEE CIVIL
 - 2.32 R - 3' - SEE CIVIL
 - 2.33 ADA HANDICAP ACCESSIBLE ROUTE

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

SITE INFORMATION

ZONING: SU2-C, McCLELLAN PARK
 CONSTRUCTION TYPE: VB

SITE: 0.86 ACRES = 39,201 SF
 BUILDING: 8,080 SF [0.20%]
 PAVING, SIDEWALKS: 20,809 SF [0.54%]
 LANDSCAPING: 10,315 SF [0.26%]

OCCUPANCY:
 FIRST FLOOR RETAIL - GROUP B (8,080 SF)
 FIRST FLOOR SEASONAL OUTDOOR DINING PATIO - (350 SF)
 FIRST FLOOR PRIVATE PATIO FOR HOTEL GUESTS ONLY - (494 SF)
 SECOND FLOOR EXTENDED STAY HOTEL SUITE 12 RMS - GROUP B (11,048SF)
 THIRD FLOOR EXTENDED STAY HOTEL SUITES 11 RMS - GROUP B (9,8248SF)
 THIRD FLOOR CONF. WORK OUT RM - GROUP B (1,234SF)

PARKING REQUIRED:

RETAIL PARKING [8,080/200]	= 41 SPACES
SEASONAL DINING [1 PER 4 SEATS]	= 4 SPACES
EXTENDED HOTEL SUITES 23 - [1 SPACE/RM]	= 23 SPACES
	TOTAL 68 SPACES

BUS STOP REDUCTION 10% = 6 SPACES
 SUBTOTAL 62 SPACES

ON SITE PARKING PROVIDED - 39 STANDARD SPACES
 18 SMALL SPACES (19 ALLOWED)
 5 HANDICAP SPACES

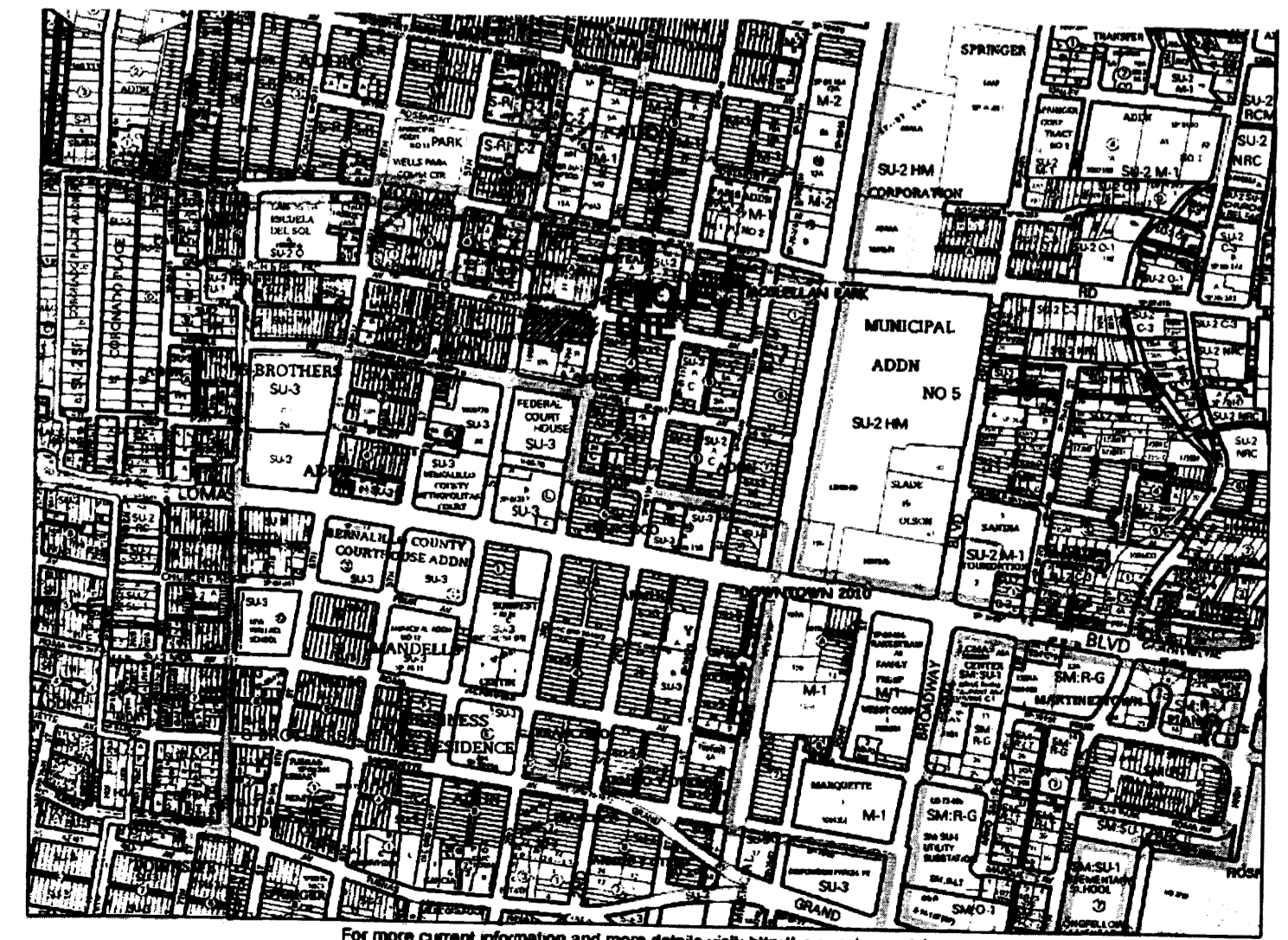
TOTAL SPACES PROVIDED 61 SPACES

MOTORCYCLE PARKING PROVIDED - 3 SPACES
 BICYCLE WAVE RACK PROVIDED - 7 BICYCLES CAPACITY

- KEYED NOTES (CONTINUED)**
- DIVISION 2 - SITE**
- 2.34 REMOVE EXISTING FENCE
 - 2.35 EXIST. CURB CUT TO BE REMOVED AND REPLACED WITH NEW CURB AND SIDEWALK MATCHING EXIST. CURB GRADE. PATCH & REPAIR EXIST. ASPHALT DAMAGED BY REMOVAL OF CURB CUT.
 - 2.36 EXISTING PRIVATE DRIVEWAY EASEMENT 22'x83'

SITE DESCRIPTION
 LOT 5-A, BLOCK C, 0.6115 ACRES & LOTS 1 THRU 4 AND THE NLY 10' OF LOT NUMBER FIVE IN BLOCK C OF THE DURAN & ALEXANDER ADDITION.

DRB # 101003 7-25-14



Zone Atlas Page: J-14-Z

AGIS
 Advanced Geographic Information System

Map amended through: 1/24/2011

Selected Symbols:
 SECTOR PLANS, Design Overlay Zones, City Historic Zones, 1/4-1 Buffer Zone, Pterophyllon Mon., Encroachment, 2 Mile Airport Zone, Airport Noise Contours, Wall Overlay Zone

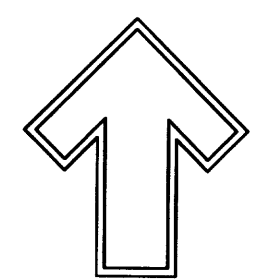
ANTHEA 4TH AND GRANITE
 950 4TH STREET - SITE PLAN
 ALBUQUERQUE, NM
 PROJECT #1988

REVISION DATE
 6/17/2014
 6/25/2014
 7/1/2014

STATE OF NEW MEXICO
 RICHARD P. BENNETT
 REGISTERED ARCHITECT
 No. 1240
 1/17/2014

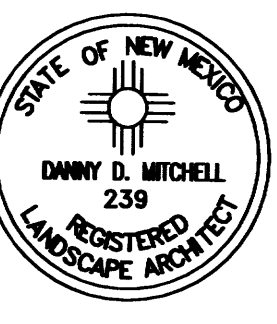
RBA
 REGISTERED ARCHITECT
 No. 1240

DATE: 06-3-2014
 SHEET NUMBER: C-10



Cont. Lic. #26458
7309 Edith Ave.
Albuquerque, NM 87184
Ph: (505) 898-9690
Fax: (505) 898-7737
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



ANTHEA GRANITE

LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscaping Architects and are hereby protected by copyright laws. This is an original design and no part of it may be copied unless applicable fees have been paid or job order placed.







DRAWN BY: dm
REVISION: 1 / 5-30-14, 2 / 6-18-14
DATE: 1-20-14

SHEET #
L1 OF L1

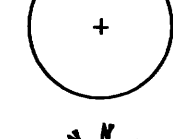






PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

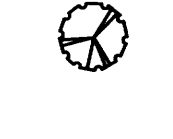

SHADE TREES

-  HONEYLOCUST 4
Gleditsia triacanthos
4" Cal., 12-14' Inst./60' x 60' maturity
Water (M) Allergy (H) Osf
-  JAPANESE PAGODA TREE 6
Sophora japonica
2" Cal., 12-14' Inst./35' x 35' maturity
Water (M) Allergy (L) Osf
-  EASTERN REDBUD 5
Cercis canadensis
2" Cal., 8-10' Inst./30' x 30' maturity
Water (M) Allergy (L) Osf
-  PURPLE-LEAF PLUM 2
Prunus cerasifera
1 1/2" Cal., 10-12' Inst./20' x 20' maturity
Water (M) Allergy (L) Osf

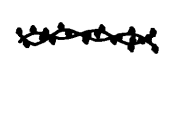
SHRUBS/ORNAMENTAL GRASSES

-  NEW MEXICO OLIVE 4
Forsytheria neomexicana
15 Gal., 4-10' Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf
-  ROSE OF SHARON 2
Hibiscus syriacus
5 Gal., 2-4' Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
-  MAIDEN GRASS 19
Miscanthus sinensis
5 Gal., 18"-3' Inst./3' x 5' maturity
Water (M+) Allergy (L) 25sf
-  SCOTCH BROOM 3
Cytisus scoparius
5 Gal., 18"-3' Inst./4' x 4' maturity
Water (M) Allergy (L) 16sf
-  RED YUCCA 24
Hesperaloe parviflora
5 Gal., 18"-3' Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
-  SKYROCKET JUNIPER 9
Juniperus scopulorum
5 Gal., 12"-3' Inst./20' x 3' maturity
Water (M) Allergy (L) 9sf
-  CATMINT 32
Nepeta mussini
1 Gal., 3"-15" Inst./1' x 2' maturity
Water (M) Allergy (L) 4sf

GROUNDCOVERS

-  WINTER JASMINE 15
Jasminum nudiflorum
5 Gal., 6"-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 144sf
-  BUFFALO JUNIPER 13
Juniperus sabina 'Buffalo'
5 Gal., 24"-4' Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf

VINES

-  BANK'S ROSE 19
Rosa banksiae
5 Gal., 6"-15" Inst./climbing to 20'
Water (M) Allergy (L)

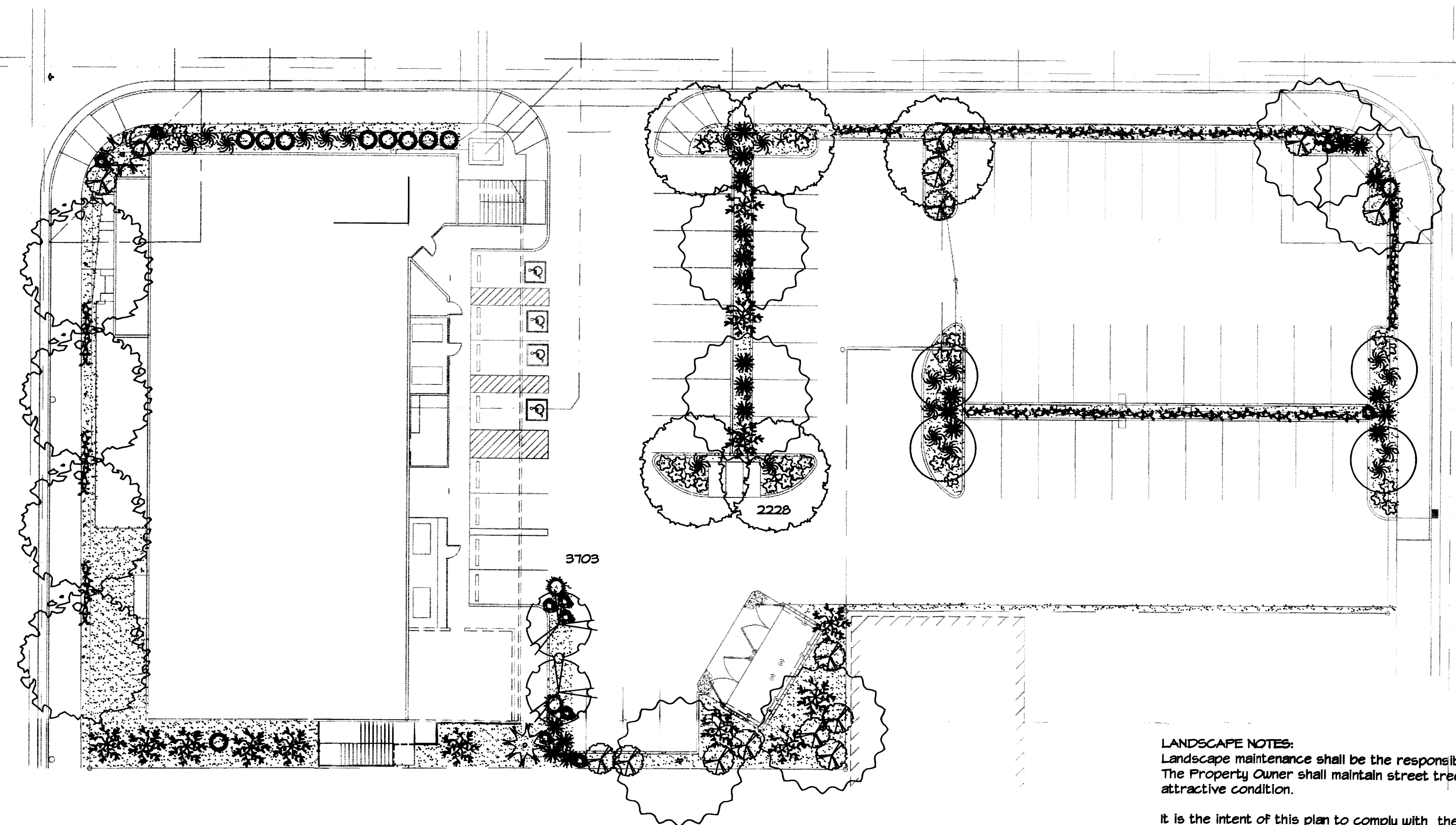
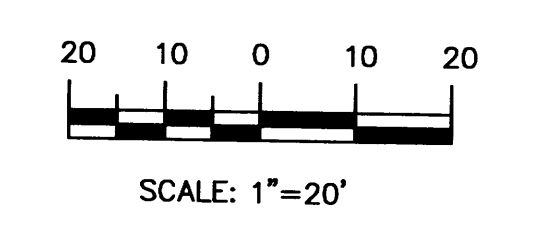
HARDSCAPES

-  SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
-  OVERSIZED GRAVEL & BOULDERS

* DENOTES EVERGREEN PLANT MATERIAL

Streetscape Agreement:
The Hilltop shall furnish a complete irrigation plan prior to construction per the City of Albuquerque, Streetscape Agreement, Exhibit B.

GRAPHIC SCALE



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

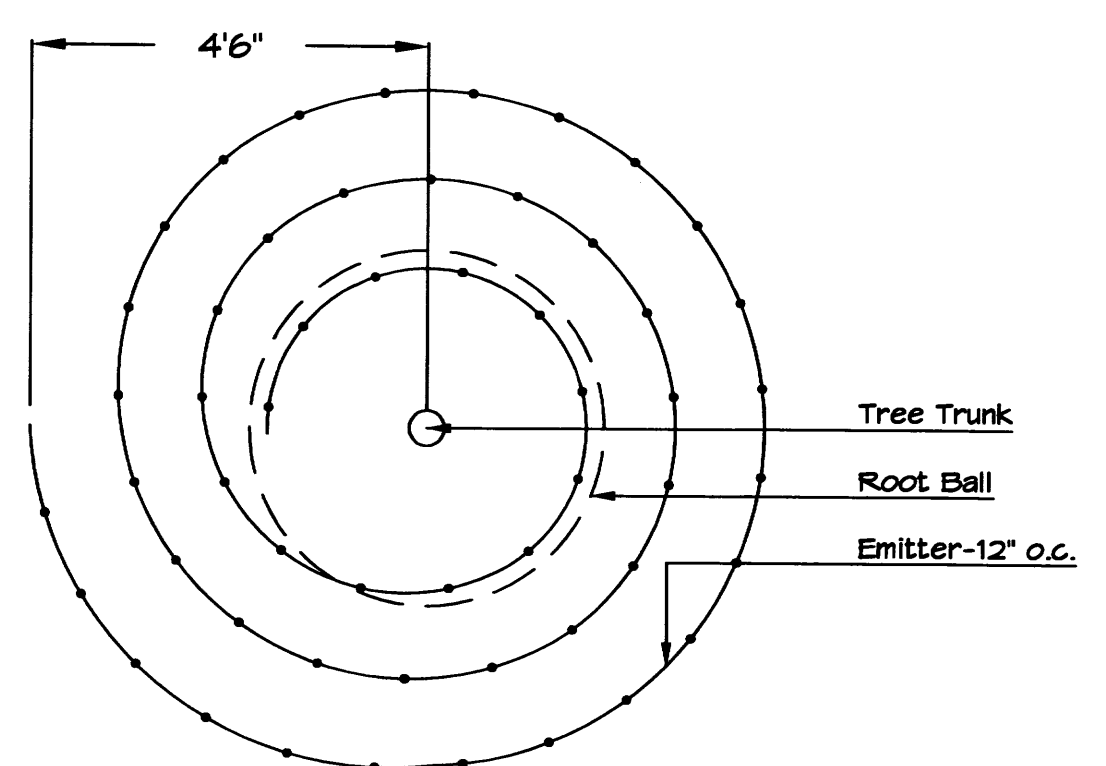
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

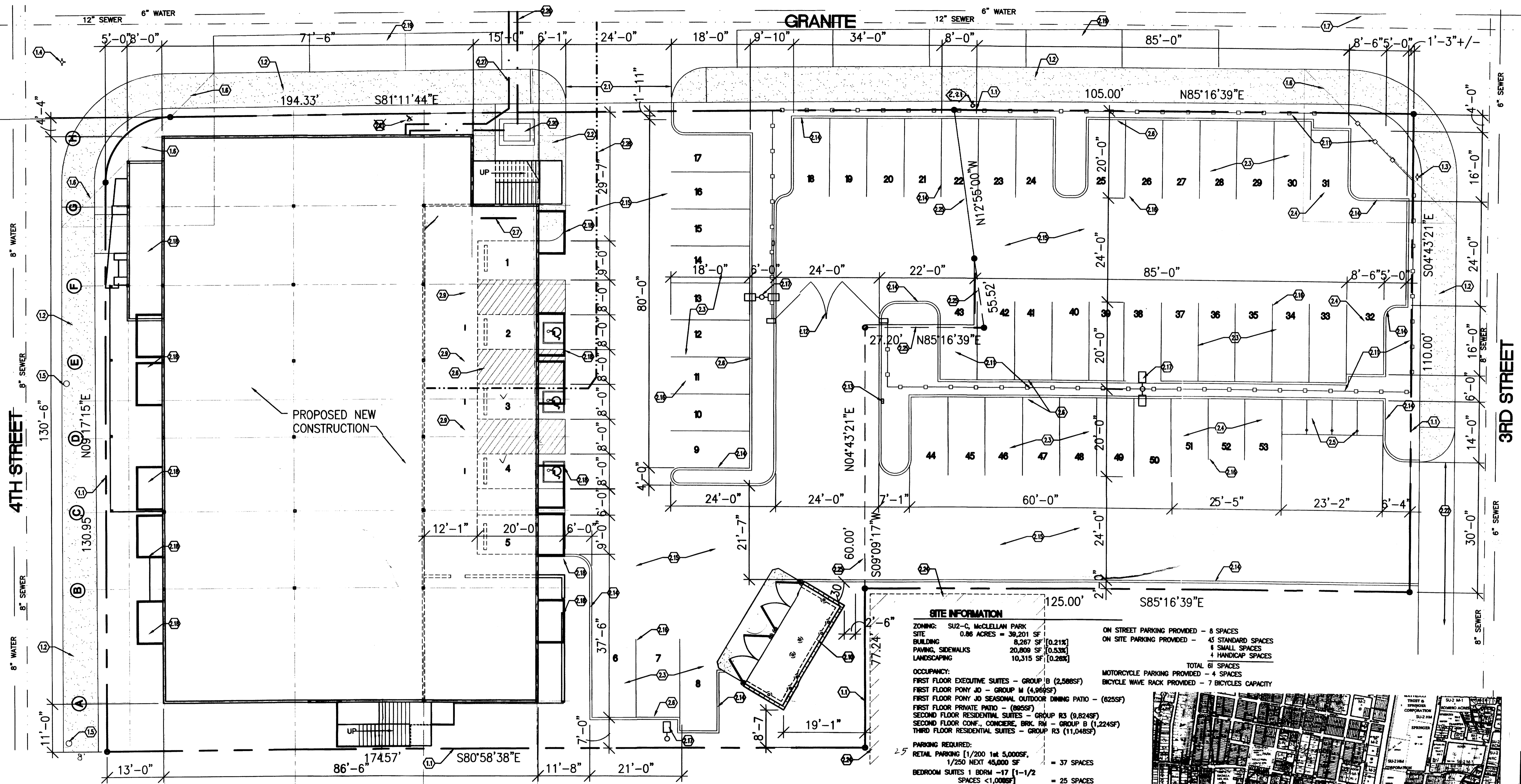
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	39201	square feet
TOTAL BUILDINGS AREA	8500	square feet
NET LOT AREA	30701	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4605	square feet
TOTAL BED PROVIDED	5431	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	4255	square feet
TOTAL GROUND COVER PROVIDED	5116	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	5431	square feet



Netafim Spiral Detail

PROJECT #: 1010103
 DATE: 6-11-14
 APP#: 14-70196(SB)



SITE INFORMATION

ZONING: SU2-C, McLELLAN PARK
 SITE: 0.86 ACRES = 39,201 SF
 BUILDING: 8,267 SF [0.21%]
 PAVING, SIDEWALKS: 20,809 SF [0.53%]
 LANDSCAPING: 10,315 SF [0.26%]

ON STREET PARKING PROVIDED - 8 SPACES
 ON SITE PARKING PROVIDED - 45 STANDARD SPACES
 6 SMALL SPACES
 4 HANDICAP SPACES
 TOTAL 61 SPACES
 MOTORCYCLE PARKING PROVIDED - 4 SPACES
 BICYCLE WAVE RACK PROVIDED - 7 BICYCLES CAPACITY

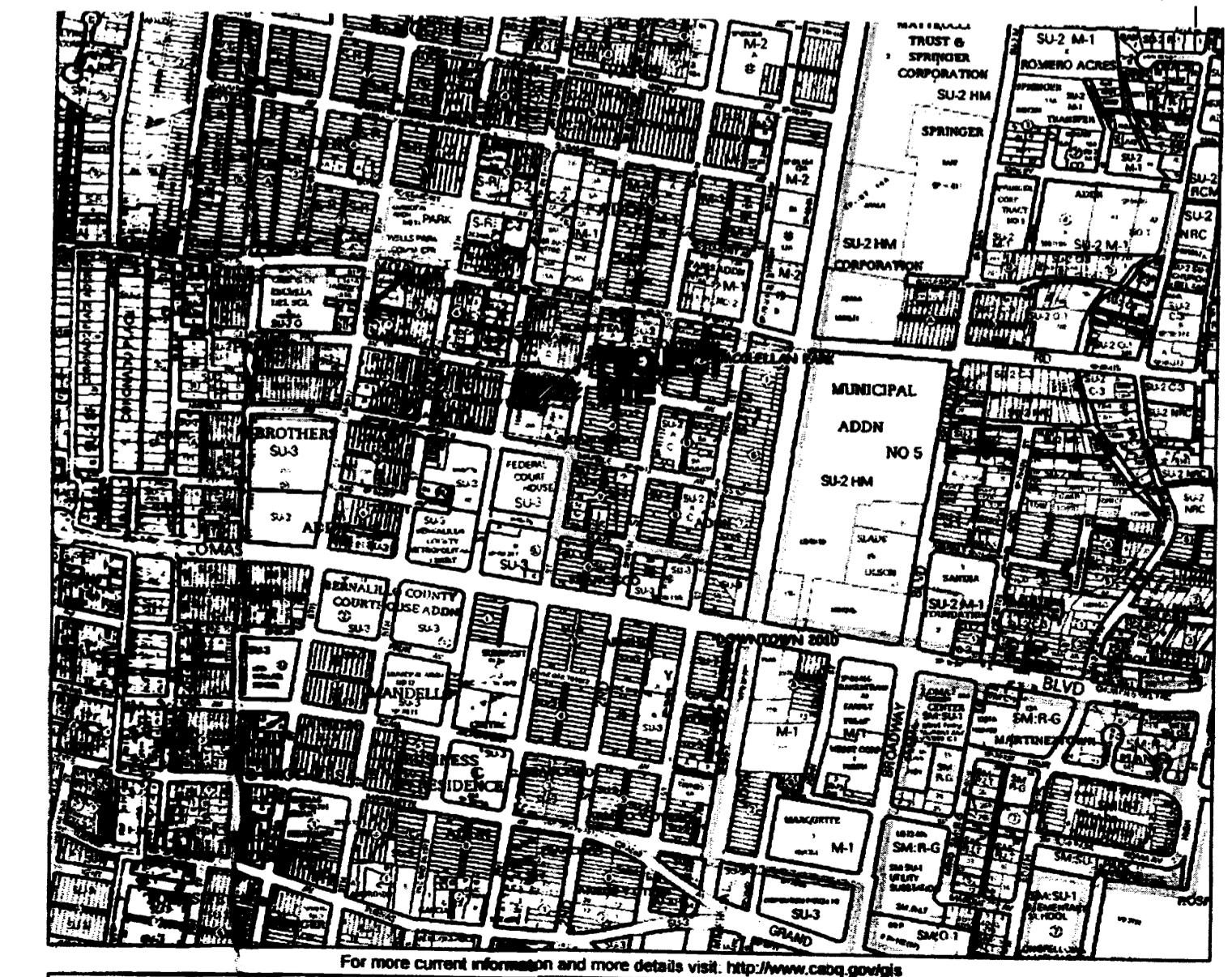
OCCUPANCY:
 FIRST FLOOR EXECUTIVE SUITES - GROUP B (2,586SF)
 FIRST FLOOR PONY JO - GROUP M (4,969SF)
 FIRST FLOOR PONY JO SEASONAL OUTDOOR DINING PATIO - (625SF)
 FIRST FLOOR PRIVATE PATIO - (895SF)
 SECOND FLOOR RESIDENTIAL SUITES - GROUP R3 (9,824SF)
 SECOND FLOOR CONF., CONCIERGE, BRK. RM - GROUP B (1,224SF)
 THIRD FLOOR RESIDENTIAL SUITES - GROUP R3 (11,048SF)

PARKING REQUIRED:
 RETAIL PARKING [1/200 1st 5,000SF, 1/250 NEXT 45,000 SF] = 37 SPACES
 BEDROOM SUITES 1 BDRM - 17 [1-1/2 SPACES <1,000SF] = 25 SPACES
 BEDROOM SUITES 2 BDRM - 4 [1-1/2 SPACES <1,000SF] = 6 SPACES
 BEDROOM SUITES 3 BDRM - 2 [2 SPACES] = 4 SPACES
 TOTAL 72 SPACES

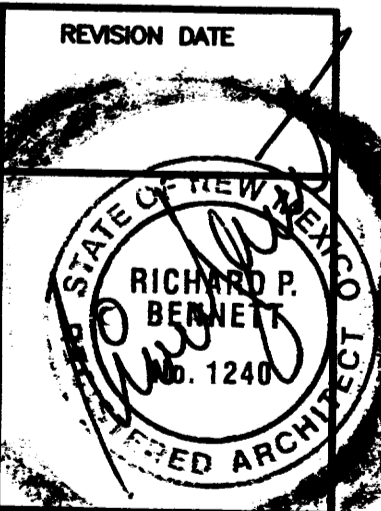
PARKING REDUCTIONS: 10% WITHIN 300' OF TRANSIT BUS AND 5% FOR SHELTER CONSTRUCTION = 15% REDUCTION = -11 SPACES
 TOTAL 61 SPACES

SITE DESCRIPTION

LOT 5-A, BLOCK C, 0.6115 ACRES & LOTS 1 THRU 4 AND THE NLY 10' OF LOT NUMBER FIVE IN BLOCK C OF THE DURMI & ALEXANDER ADDITION.



ANTHEA 4TH AND GRANITE
 950 4TH STREET - SITE PLAN
 ALBUQUERQUE, NM
 PROJECT #898



REVISION DATE	
DATE	06-3-2014
SHEET NUMBER	C-10

1 SITE PLAN
 3/32" = 1'-0"

KEYED NOTES

DIVISION 1 - GENERAL

- PROPERTY LINE
- EXIST. PUBLIC CITY SIDEWALK
- EXIST. FIRE HYDRANT
- EXIST. FIRE HYDRANT LOCATED ON NW CORNER OF 4TH & GRANITE
- EXIST. UTILITY POWER POLE
- LINE OF SIGHT
- EXISTING BUS STOP & SHELTER @ 3RD AND GRANITE

DIVISION 2 - SITE

- NEW DRIVE WAY ENTRANCE - SEE CIVIL
- NEW CONCRETE SIDEWALK SEE DTLS. C/C1.2 & E/C1.2
- STANDARD CAR PARKING SPACE - STRIPPED PER CODE
- SMALL CAR PARKING SPACE - STRIPPED PER CODE
- MOTORCYCLE PARKING SPACES, 4" CONC. SLAB W/BOLLARDS - PAINT
- CONC. PARKING BARRIER, ANCHOR WITH 2-#4 REBAR
- BICYCLE WAVE RACK [7 BIKES] - SEE DTL. H/C1.2
- HANDICAP PARKING SPACE W/STRIPPED ACCESS ASILE SEE DTL. A/C1.2
- HANDICAP PARKING SIGNAGE - SEE DTL. B/C1.2
- DUMPSTER ENCLOSURE - SEE DTL. J/C1.2
- FENCED PRIVATE PARKING SPACES
- AUTOMATIC SWING GATES
- GATE KEY PAD OPERATOR

DIVISION 2 - SITE

- HEADER CURB - SEE DETAIL D/C1.2
- ASPHALT PAVEMENT - SEE CIVIL
- PAINTED STRIPING PER CODE REQUIREMENTS
- 30' TALL POLE LIGHTS - SEE DTL. F/C1.2 & ELECTRICAL
- BALCONIES - SEE ELEVATIONS
- OFF STREET PARKING SPACES
- FIRE PROTECTION BACK FLOW PREVENTOR
- FIRE SPRINKLER STAND ALONE FIRE CONNECTION
- EXISTING SHARED DRIVE WAY ENTRANCE TO REMAIN
- 6" DIA. BOLLARDS CONC. FILLED PAINT - SEE DTL. G/C1.2
- EXISTING ADJACENT BUILDING
- LOT LINE TO BE REMOVED
- 4" FIRE LINE CONNECTION
- 2" DOMESTIC WATER LINE CONNECTION
- SEWER LINE CONNECTION

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

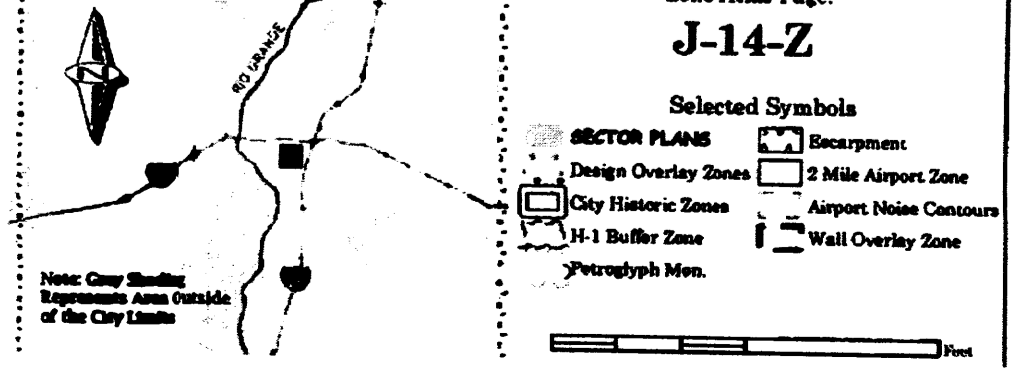
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

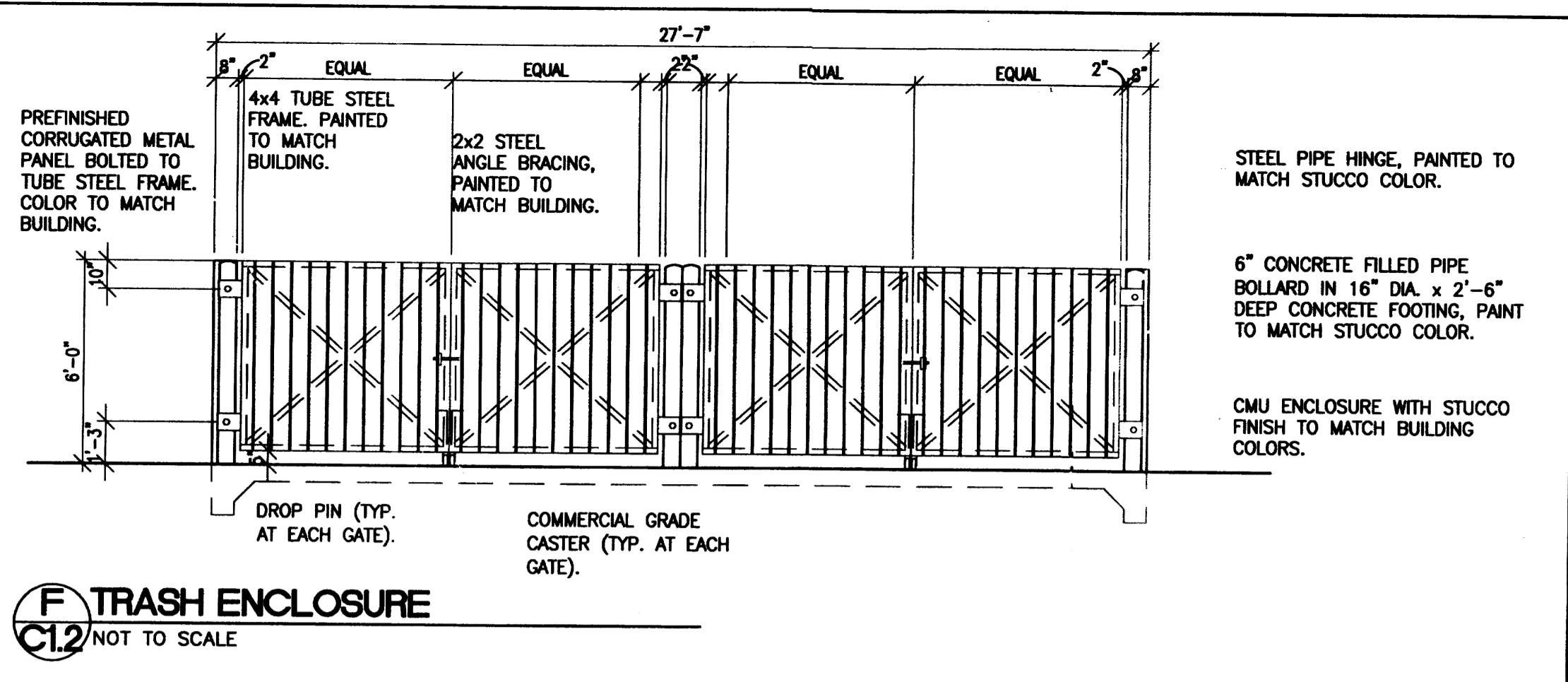
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

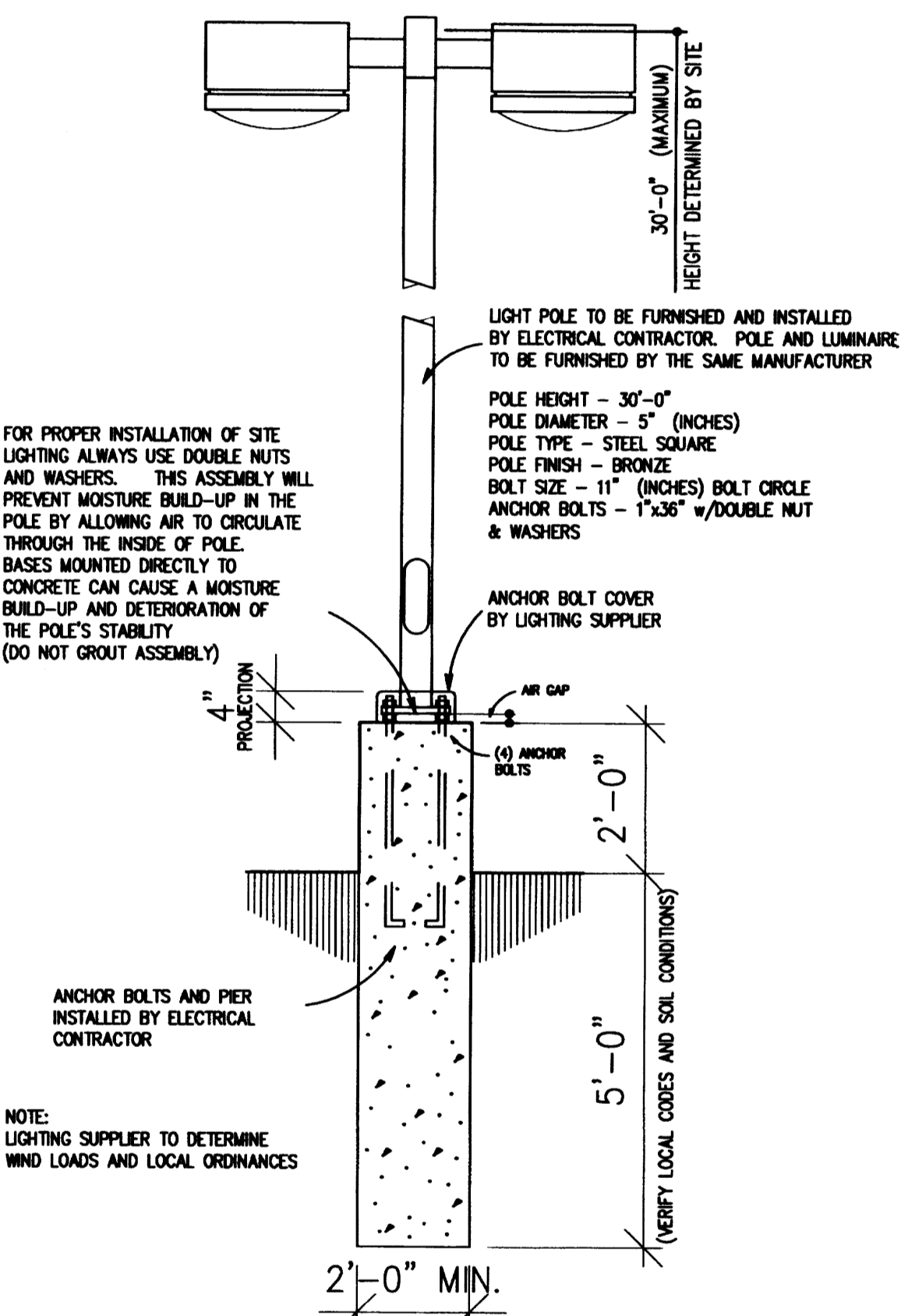
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

A/D PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 6/23/14

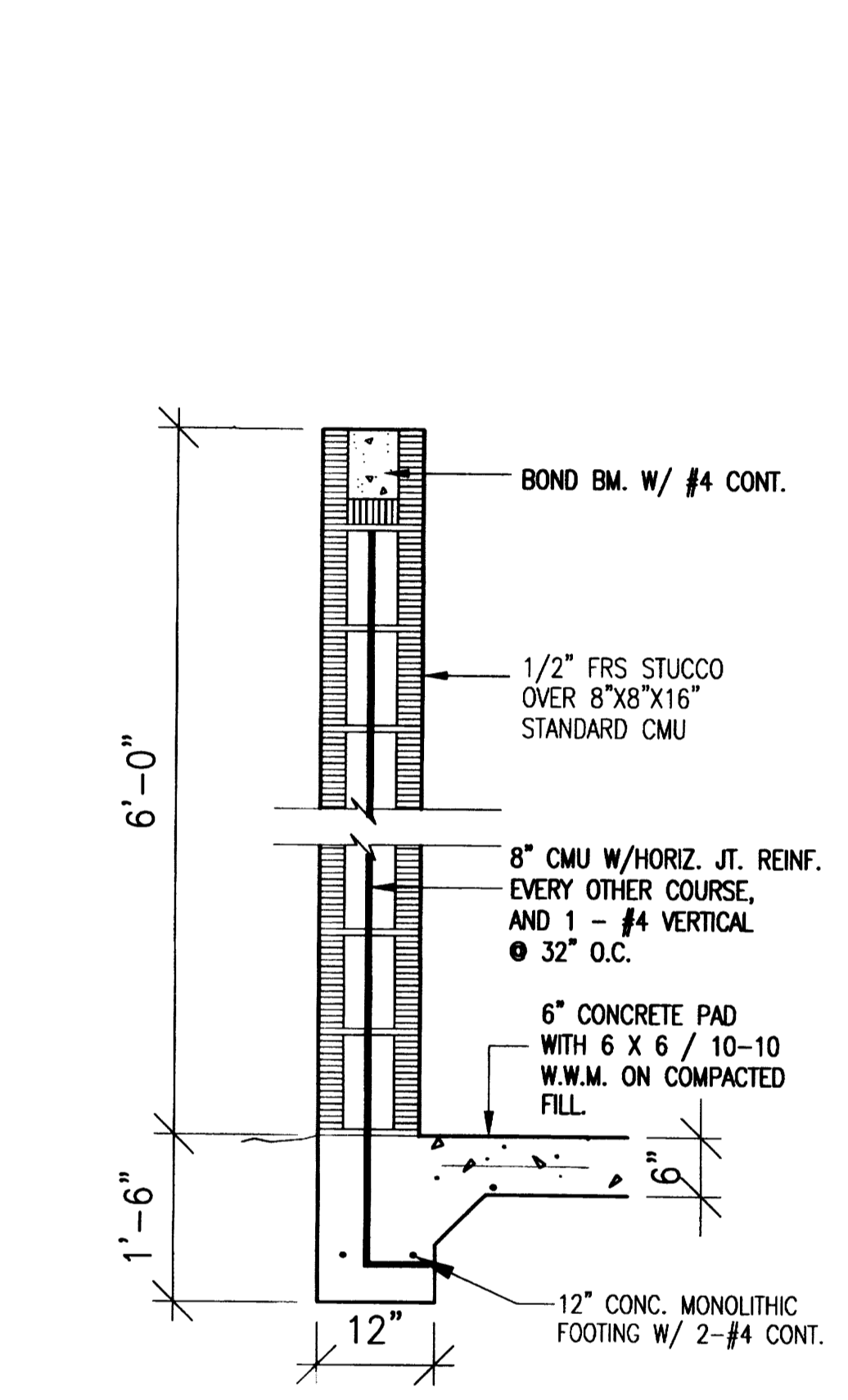




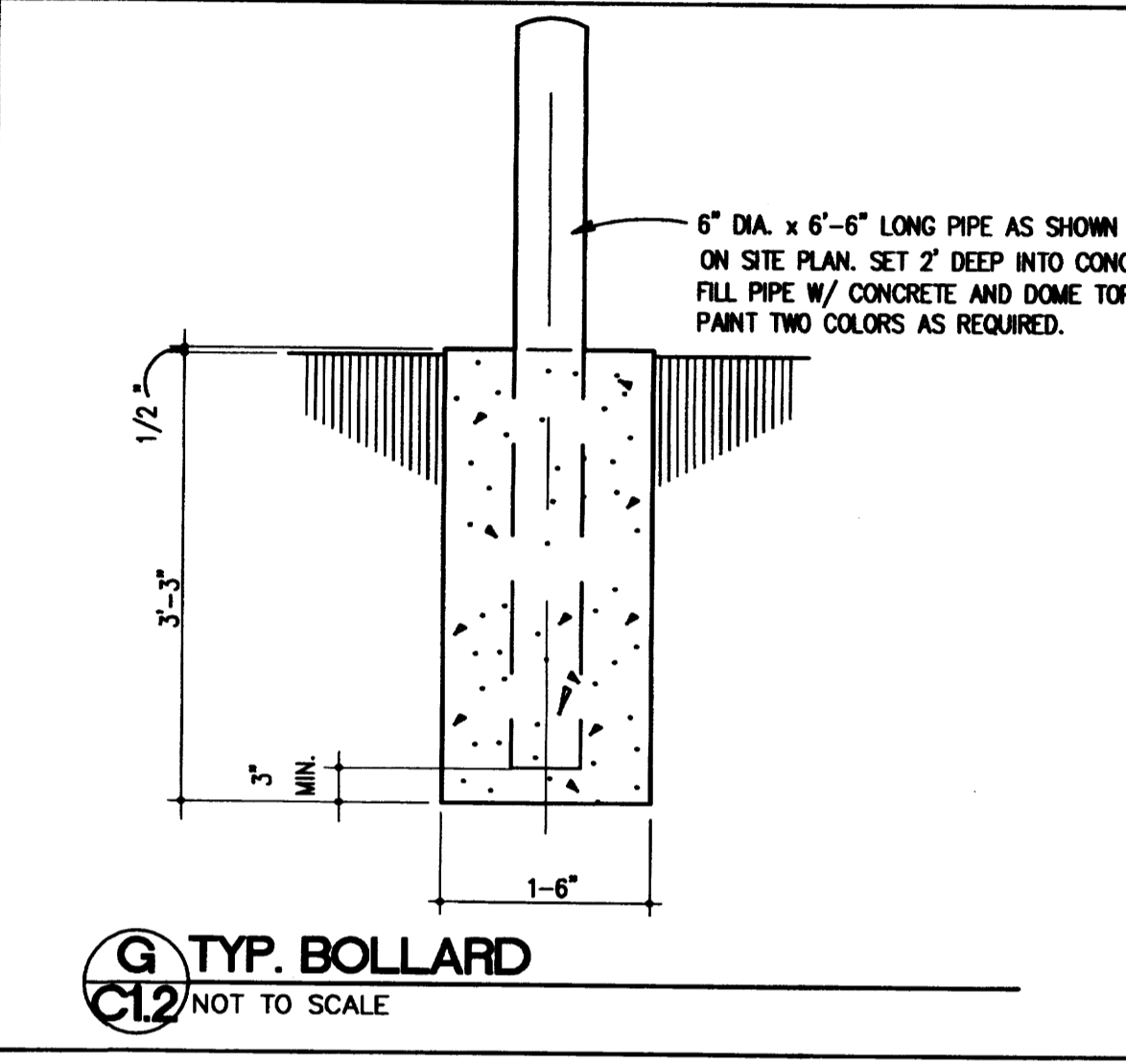
- LIGHTING NOTES**
1. SITE LIGHTING TO BE A 1000 WATT METAL HALIDE VERTICAL BURN FIXTURE
 2. LOT IS REQUIRED TO HAVE AN INTAL AVERAGE OF 10 FOOTCANDLES AND THEN BE REQUIRED TO MAINTAIN A MINIMUM OF 2 FOOTCANDLES
 3. LUMINAIRE FINISH TO BE BRONZE



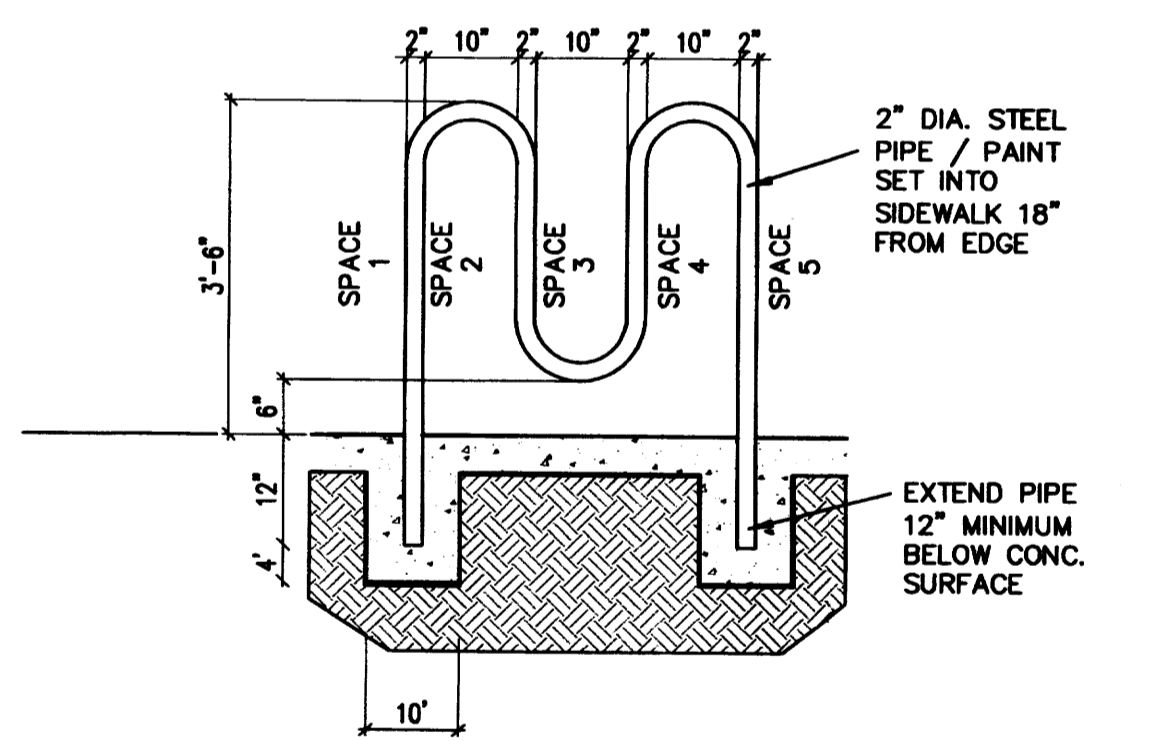
F EXTERIOR POLE LIGHTS
C12 NOT TO SCALE



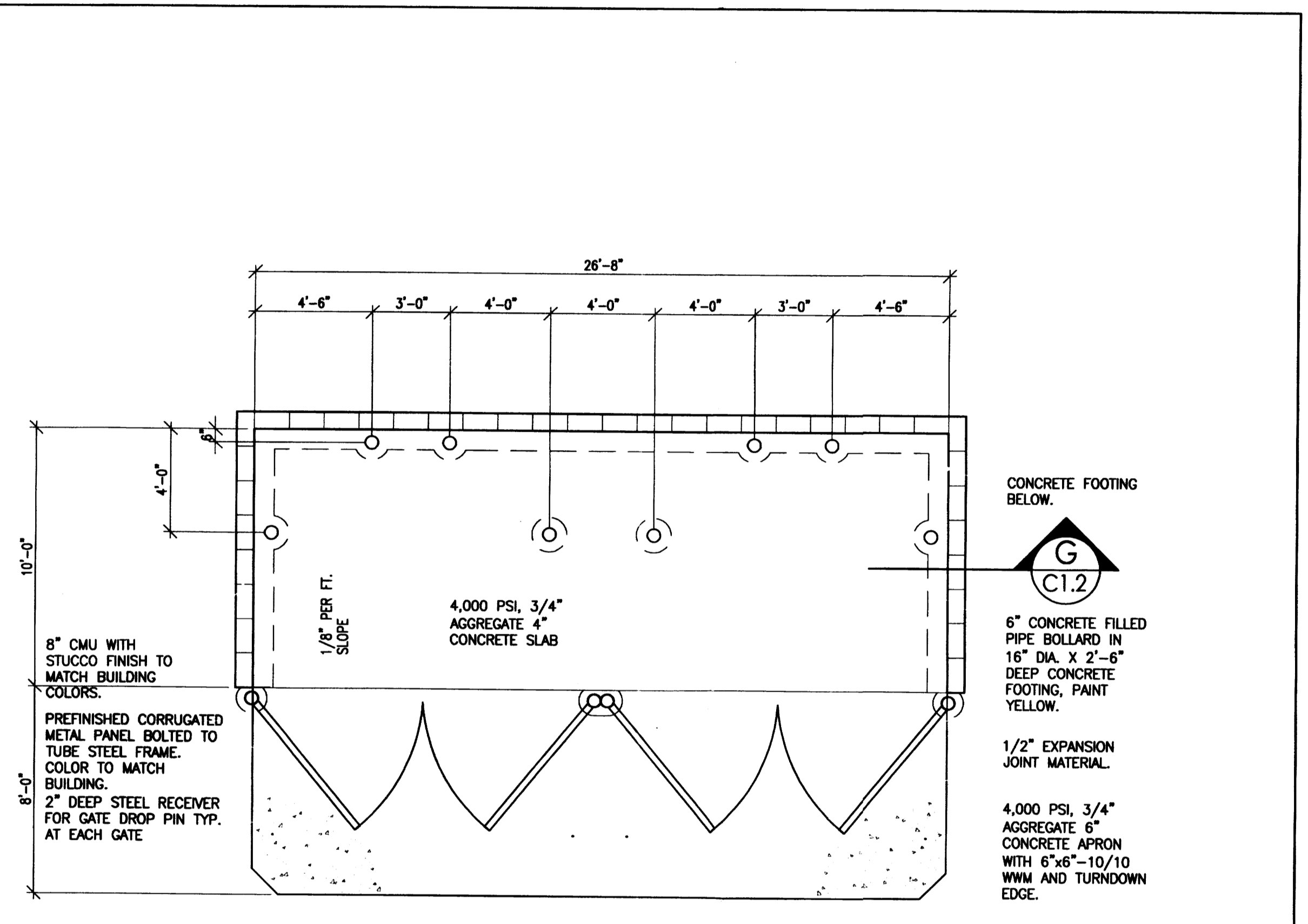
G CMU WALL DETAIL AT DUMPSTER
C12 NOT TO SCALE



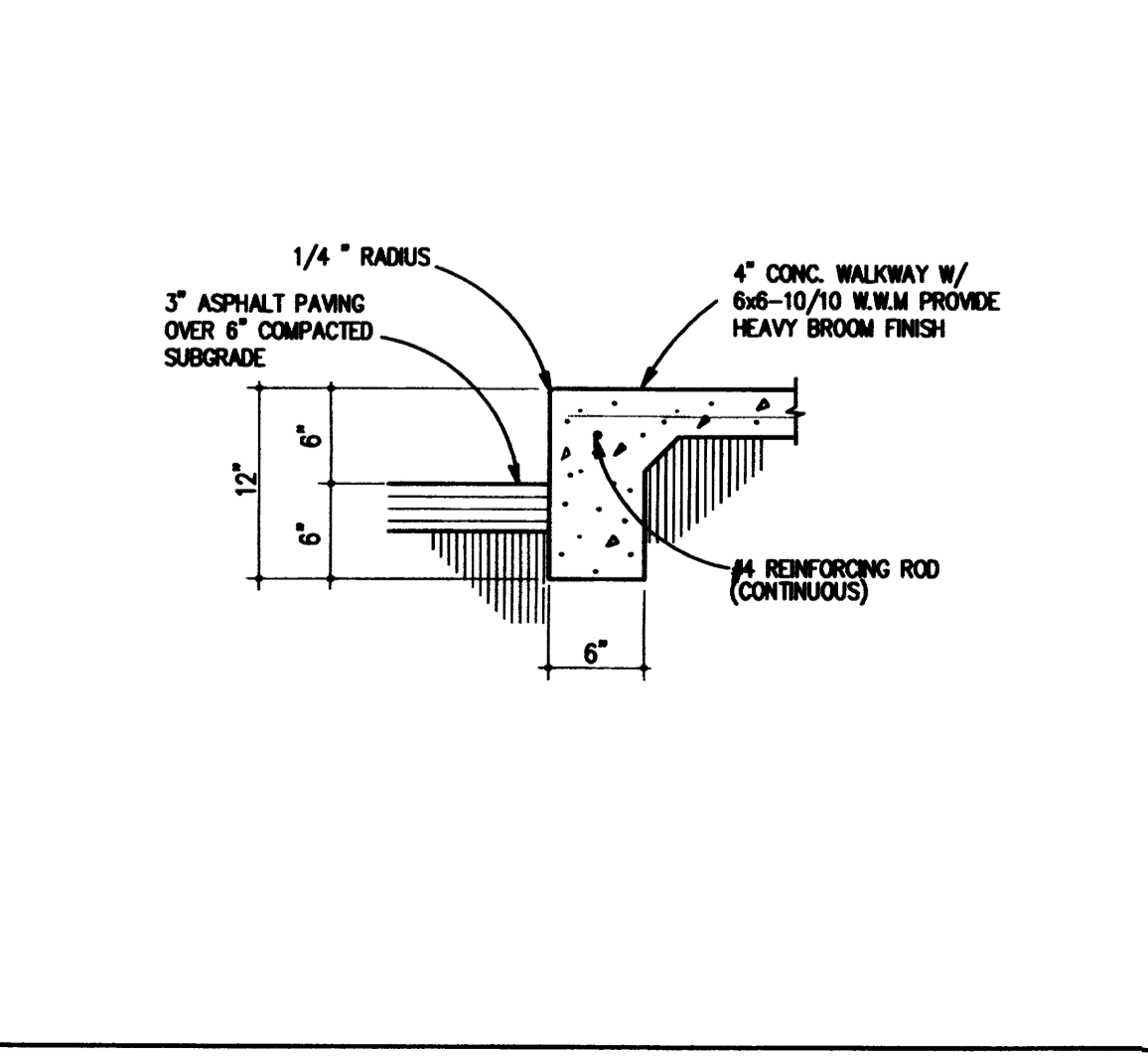
G TYP. BOLLARD
C12 NOT TO SCALE



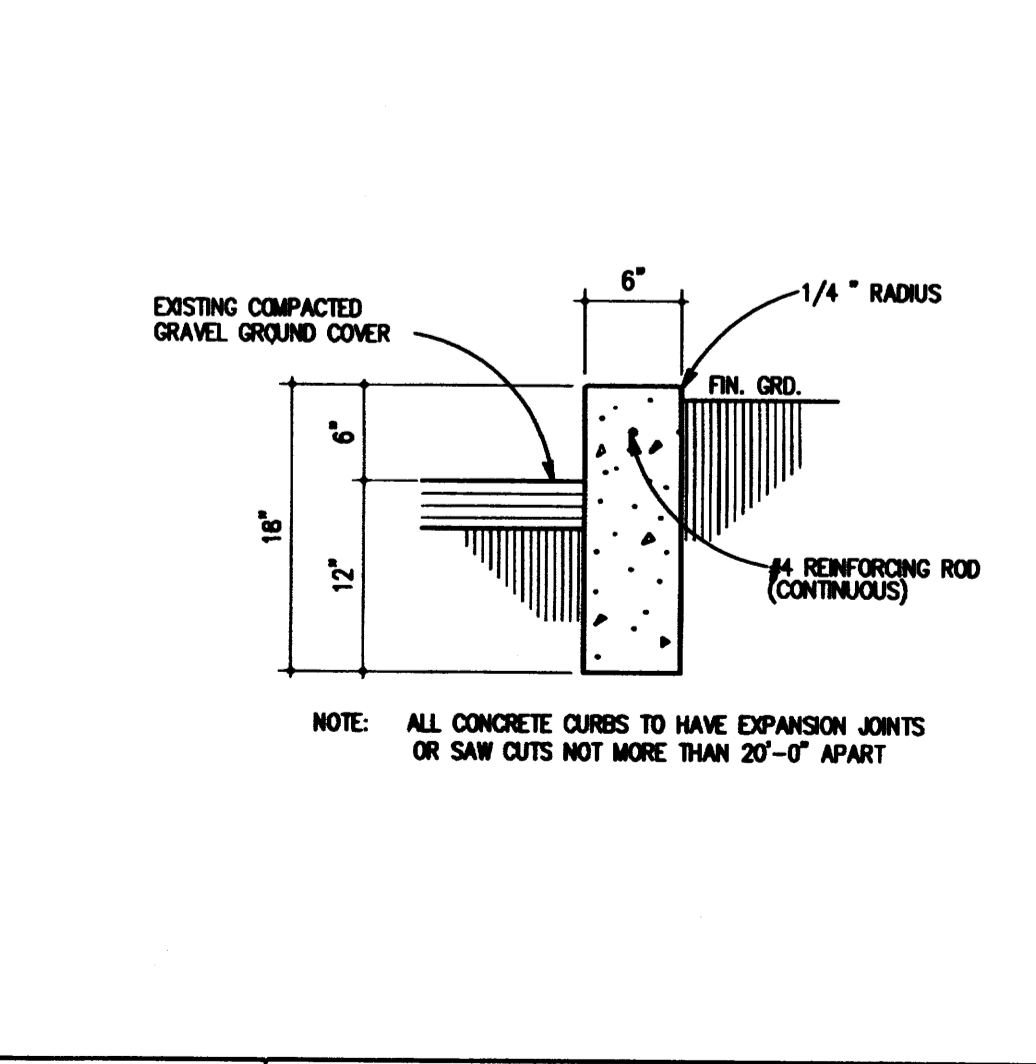
H BICYCLE RACK
C12 NOT TO SCALE



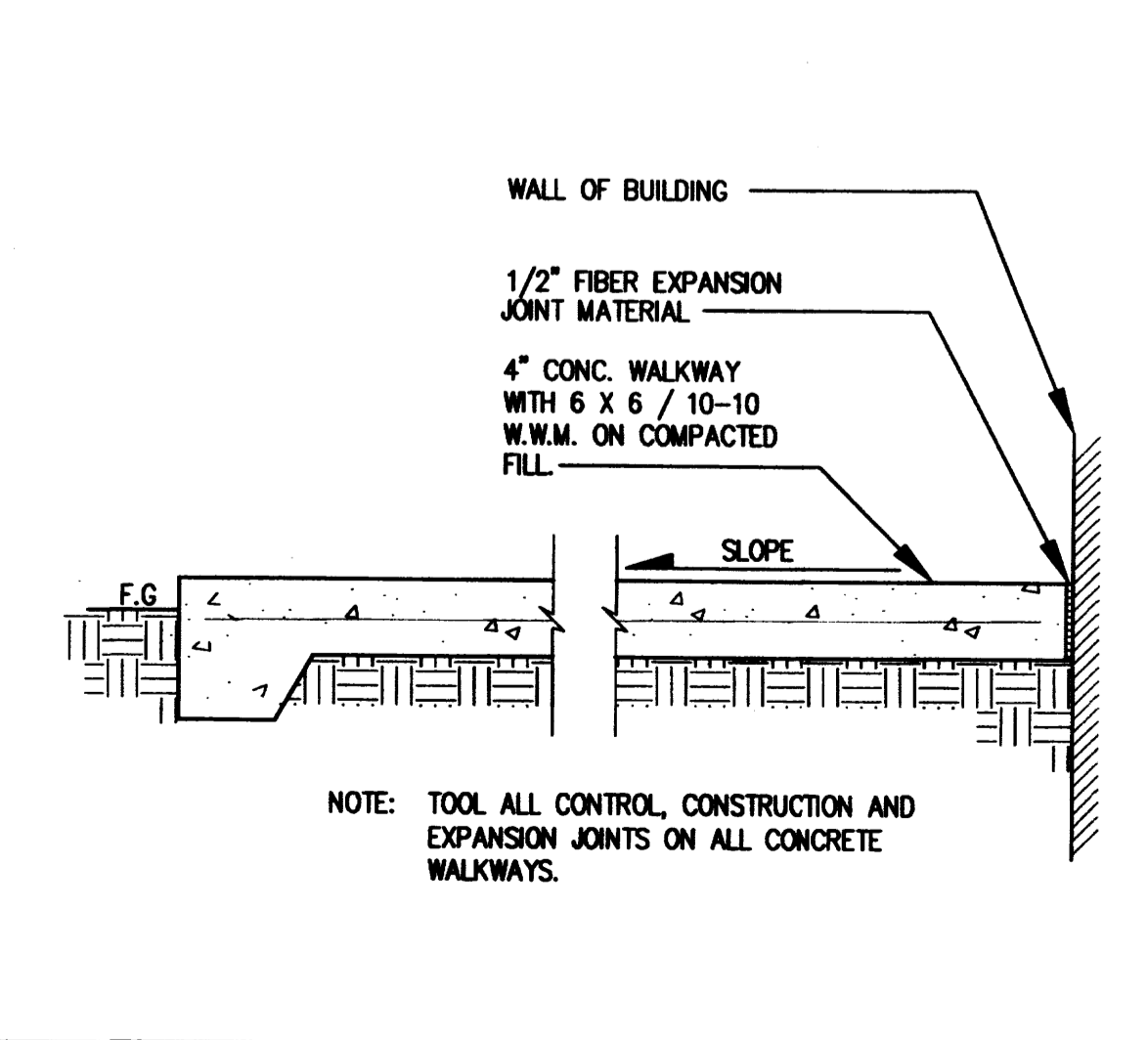
J TRASH ENCLOSURE
C12 NOT TO SCALE



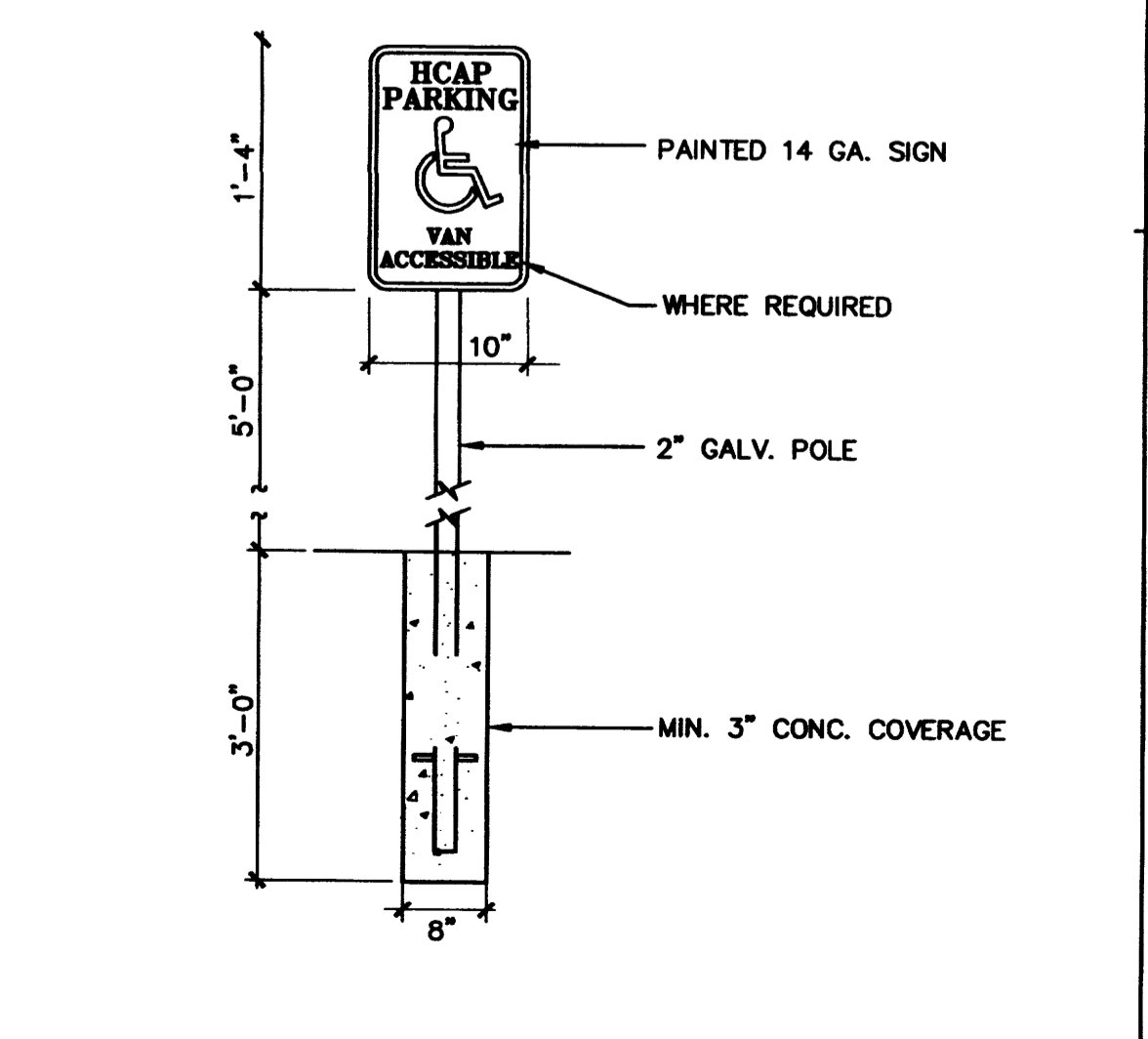
E TYP. CURB PAVING • SIDEWALK
C12 NOT TO SCALE



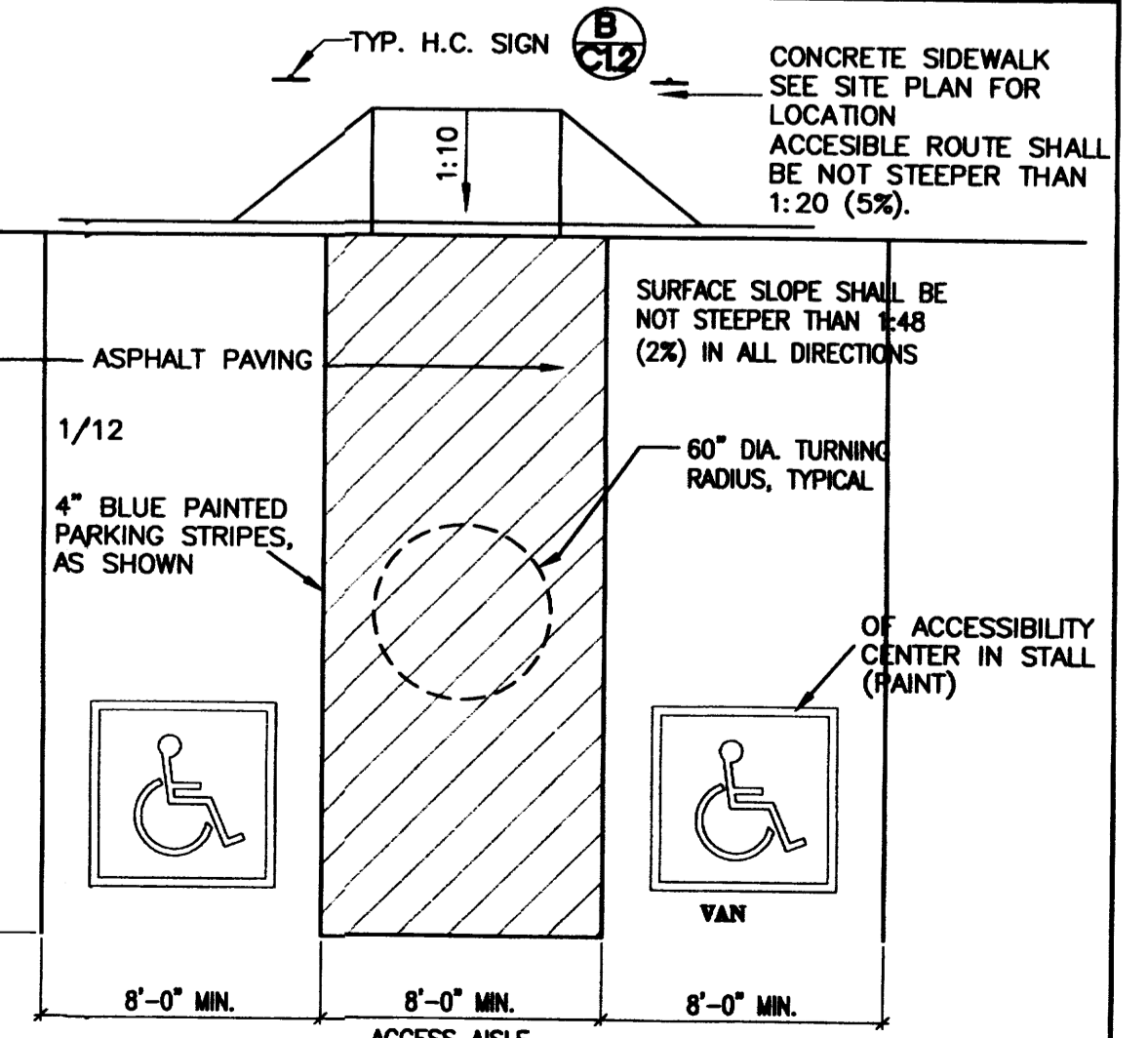
D TYP. HEADER CURB
C12 NOT TO SCALE



C CONC. SIDEWALK • BUILDING
C12 NOT TO SCALE



B TYP. H.C. SIGNAGE
C12 NOT TO SCALE



A TYP. HANDICAP PARKING
C12 NOT TO SCALE

ANTHEA 4TH AND GRANITE
SITE DETAILS
ALBUQUERQUE, NM
PROJECT #6388

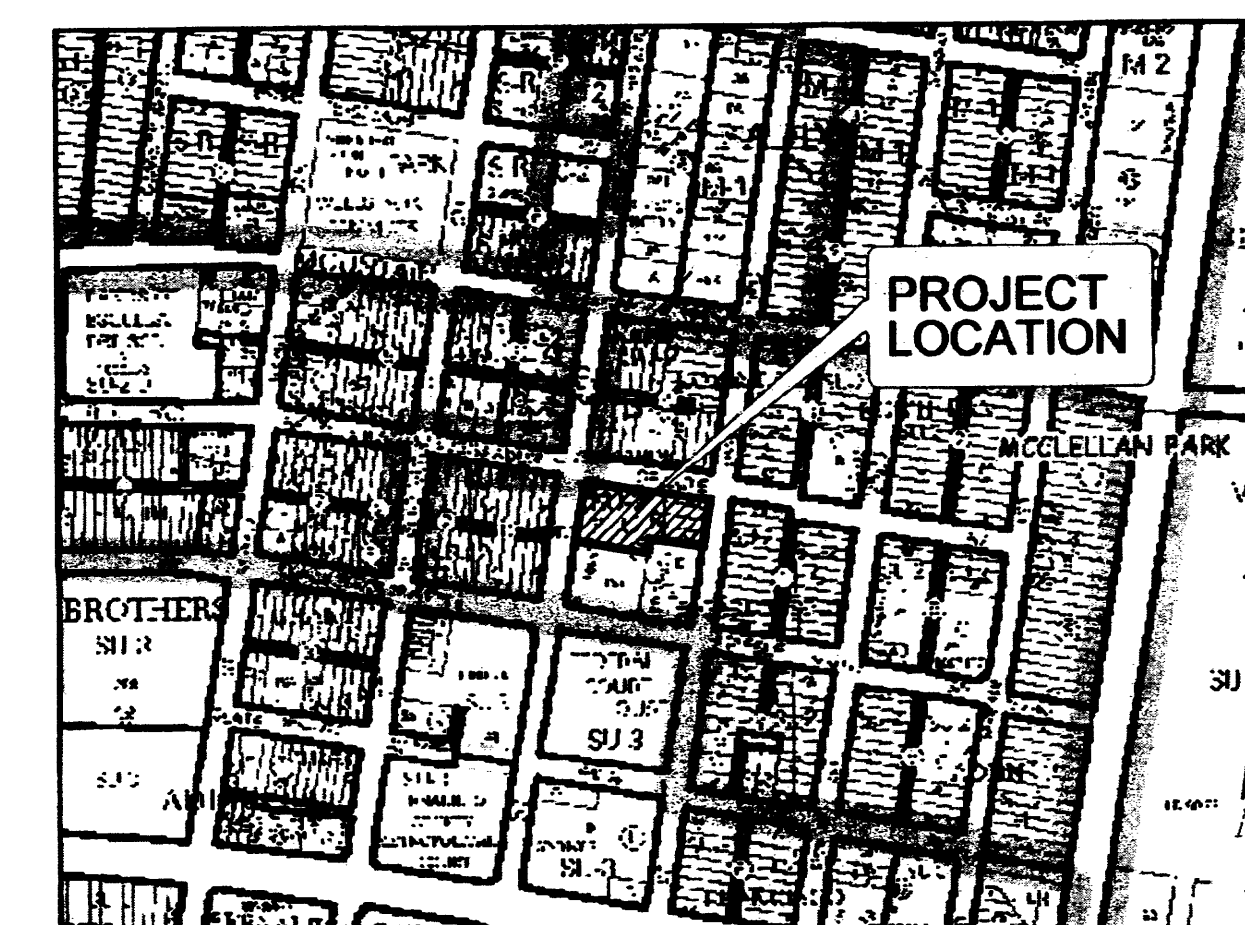
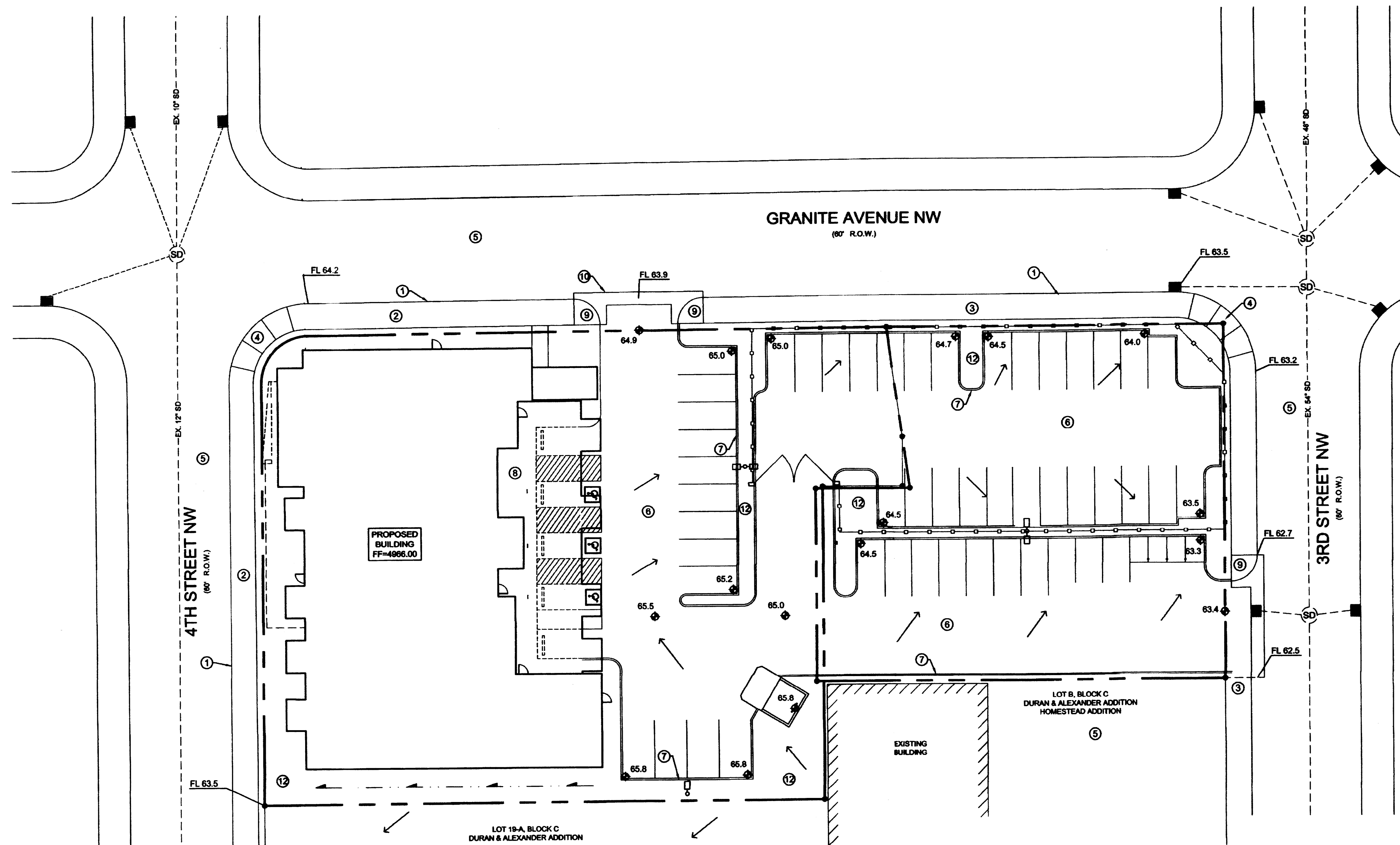
REVISION DATE

STATE OF NEW MEXICO
RICHARD BENNETT
MAY 2014
REGISTERED ARCHITECT

RBA
ARCHITECTURE
PLANNING
DESIGN
1000 W. 15TH ST. SUITE 200
ALBUQUERQUE, NM 87102
PHONE: 505.263.1111
WWW.RBAARCHITECT.COM

DATE
06-3-2014

SHEET NUMBER
C12



VICINITY MAP ZONE ATLAS J-14-Z



FIRM PANEL 35001C0332G & 35001C0334G

CONCEPTUAL GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE
Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Conceptual Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of an 8,077 square foot building with paving, landscaping, utility, grading, and drainage improvements to support the project. The purpose of this Plan is to support Site Plan Approval. The scope of this plan is to present conceptual grading and drainage criteria for the safe management of excess runoff impacting the site from upstream drainage basins, and controlling excess runoff from the project site in a well-managed, non-erosive manner. A Final Grading and Drainage Plan will be prepared to support Building Permit application.

EXISTING CONDITIONS
The property is located at 330 Granite Avenue NW, between Third and Fourth Streets NW. The site is presently utilized as a parking lot. Existing site improvements consist of gravel surfacing. No buildings or permanent structures exist on the property. The site is extremely flat, with very little positive drainage in any direction. Excess runoff generally flows to the perimeter streets. Public storm drains exist in Third and Fourth Streets. The site is surrounded on three sides by public roadways. A paved parking lot and commercial development are located adjacent to the property on the south. No significant off-site flows impact the site.

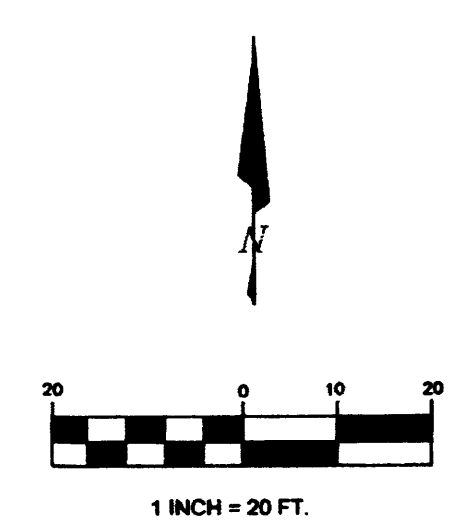
As shown by the attached FIRM Panel, the site does not lie within a mapped 100 year Flood Zone.

PROPOSED IMPROVEMENTS
As stated above, the project consists of the construction of an 8,077 square foot building with paving, landscaping, utility, grading, and drainage improvements. All developed runoff will be routed through landscaping to capture the first flush before release into the perimeter streets. All excess runoff will be collected by the existing public storm drain system located in Third and Fourth Streets.

Since the site will drain to the existing public storm drains, this development proposal will have minimal impact on downstream property.

Construction will disturb an area of less than 1.0 acres, therefore a Storm Water Pollution Prevention Plan should not be required.

CALCULATIONS
The calculations shown hereon define the 100-year/6 hour design storm falling within the project area under existing and proposed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol 2", dated June 1997.



- KEYED NOTES**
- EXISTING CONCRETE STANDARD CURB AND GUTTER.
 - EXISTING PUBLIC SIDEWALK.
 - EXISTING DRIVEPAD.
 - EXISTING HANDICAP RAMP.
 - EXISTING ASPHALT PAVEMENT.
 - NEW ASPHALT PAVEMENT.
 - NEW 6" CONCRETE CURB.
 - NEW CONCRETE SIDEWALK. SEE SITE PLAN.
 - NEW HANDICAP RAMP.
 - NEW CONCRETE VALLEY GUTTER DRIVEWAY.
 - NEW REFUSE ENCLOSURE. SEE SITE PLAN.
 - NEW LANDSCAPING.

LEGEND

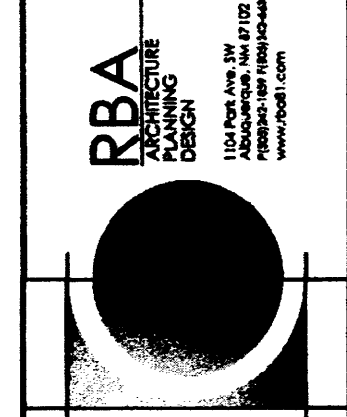
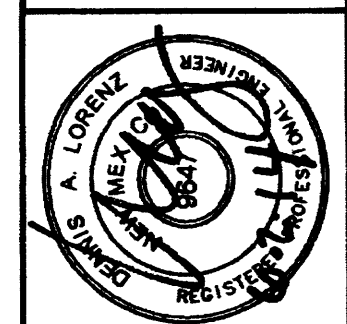
ITEM	EXISTING	PROPOSED
CURB AND GUTTER	—	—
HEADER CURB	—	—
CURB ELEVATIONS	—	—
SPOT ELEV.	—	◆ 16.7
RIGHT OF WAY	—	—
EASEMENT	—	—
CENTERLINE	—	—
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
JERSEY BARRIER	—	—
FLOWLINE ELEV	EX FL 16.2	FL 16.2
FUTURE CURB AND GUTTER (N.I.C.)	—	—
NEW PAVING	—	—
DRAINAGE SWALE	—	—
DIRECTION OF FLOW	—	—

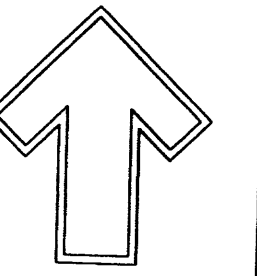
PROJECT HYDROLOGY
AHYMO

Anthea

ZONE:	2							
RAINOUR:	2.35							
P 10 DAY:	3.95							
SOFT PSE:	0.44							
EXISTING CONDITIONS								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac-ft)
SITE	0.86	0.00	0.00	0.86	0.00	1.13	2.70	0.081
PROPOSED CONDITIONS								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac-ft)
SITE	0.86	0.00	0.07	0.07	0.72	1.93	3.78	0.138

PROJECT DATA
PROPERTY ADDRESS:
330 GRANITE NW
ALBUQUERQUE, NM 87103
LEGAL DESCRIPTION:
LOT 5A, BLOCK C, DURAN & ALEXANDER ADDITION
LOTS 1 & 2, BLOCK C, HOMESTEAD GARDEN ADDITION





Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 886-9690
Fax (505) 896-7737
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

ANTHEA GRANITE

LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are to be used only for the project for which they were prepared. This is an original design and no part of it may be copied or reproduced in any form without the written consent of the author.





The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: CMD
REVISION # 1/3-30-14
DATE 1-20-14
SHEET # L1 OF L1

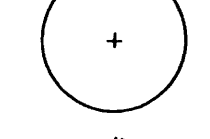






PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.



SHADE TREES

-  HONEYLOCUST 4
Gleditsia triacanthos
2" Cal., 12'-14" Inst./60' x 60' maturity
Water (M) Allergy (H) Osf
-  JAPANESE PAGODA TREE 6
Sophora japonica
2" Cal., 12'-14" Inst./35' x 35' maturity
Water (M) Allergy (L) Osf
-  EASTERN REDBUD 3
Cercis canadensis
2" Cal., 8'-10" Inst./30' x 30' maturity
Water (M) Allergy (L) Osf
-  PURPLE-LEAF PLUM 2
Prunus cerastifera
1 1/2" Cal., 10'-12" Inst./20' x 20x maturity
Water (M) Allergy (L) Osf

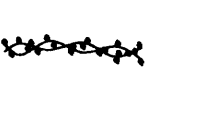
SHRUBS/ORNAMENTAL GRASSES

-  NEW MEXICO OLIVE 4
Forestiera neomexicana
15 Gal., 4'-10" Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf
-  ROSE OF SHARON 2
Hibiscus syriacus
5 Gal., 2'-4" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
-  MAIDEN GRASS 15
Miscanthus sinensis
5 Gal., 18"-3' Inst./3' x 5' maturity
Water (M+) Allergy (L) 25sf
-  SCOTCH BROOM 3
Cytisus scoparius
5 Gal., 18"-3' Inst./4' x 4' maturity
Water (M) Allergy (L) 16sf
-  RED YUCCA 21
Hesperaloe parviflora
5 Gal., 18"-3' Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
-  SKYROCKET JUNIPER 9
Juniperus scopulorum
5 Gal., 12'-3' Inst./20' x 3' maturity
Water (M) Allergy (L) 9sf
-  CATMINT 14
Nepeta mussini
1 Gal., 3'-15" Inst./1' x 2' maturity
Water (M) Allergy (L) 4sf

GROUNDCOVERS

-  WINTER JASMINE 15
Jasminum nudiflorum
5 Gal., 6'-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 144sf
-  BUFFALO JUNIPER 15
Juniperus sabinna 'Buffalo'
5 Gal., 24"-4' Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf

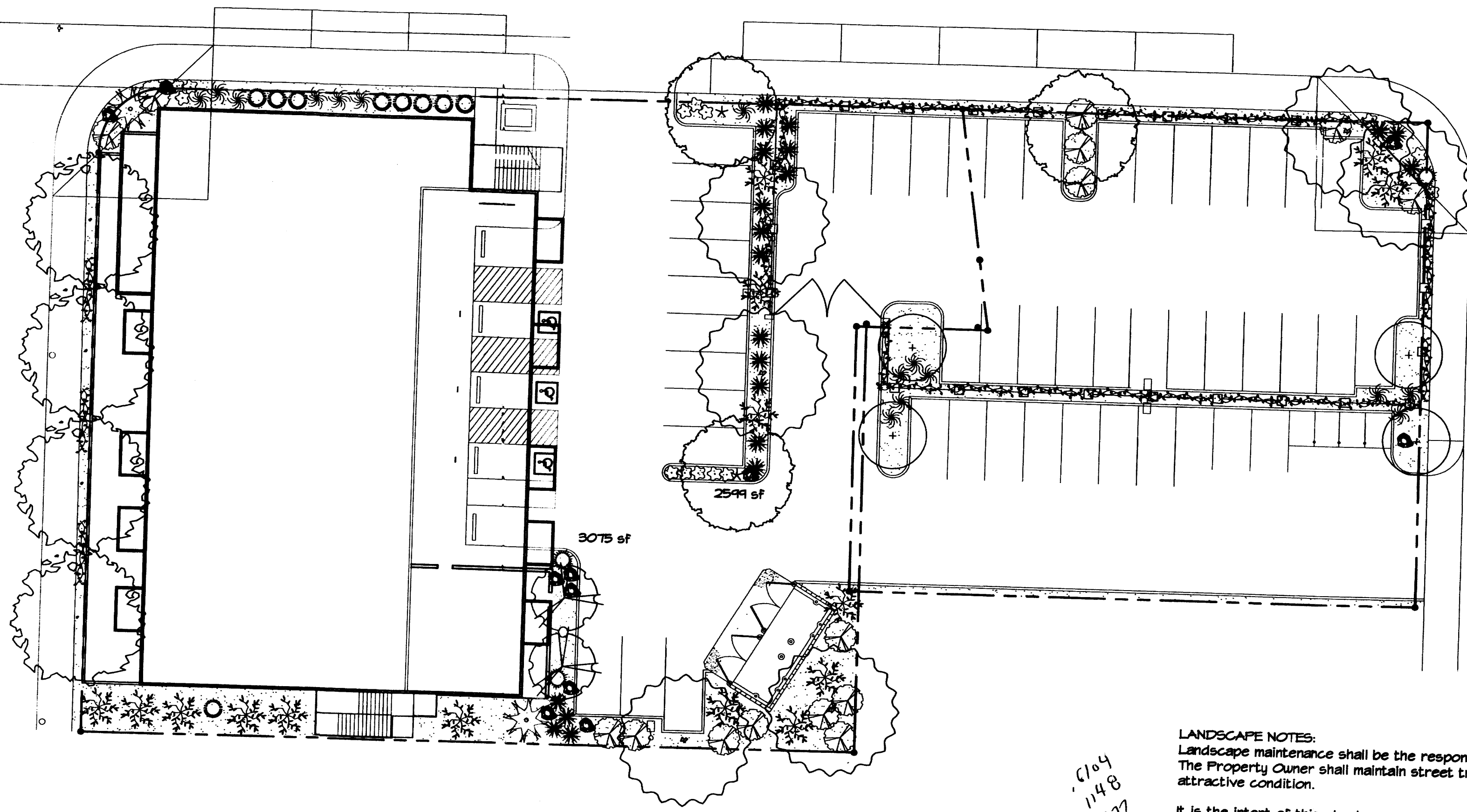
VINES

-  BANKS ROSE 25
Rosa banksiae
5 Gal., 6'-15" Inst./climbing to 20'
Water (M) Allergy (L)

HARDSCAPES

-  SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
-  OVERSIZED GRAVEL & BOULDERS

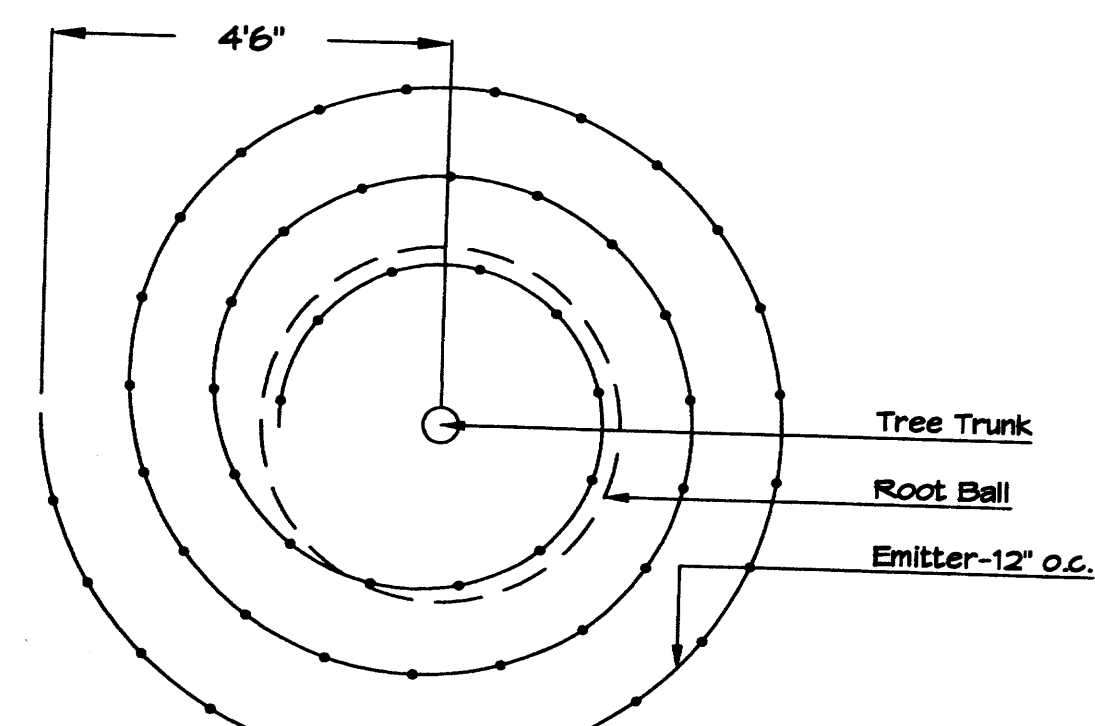
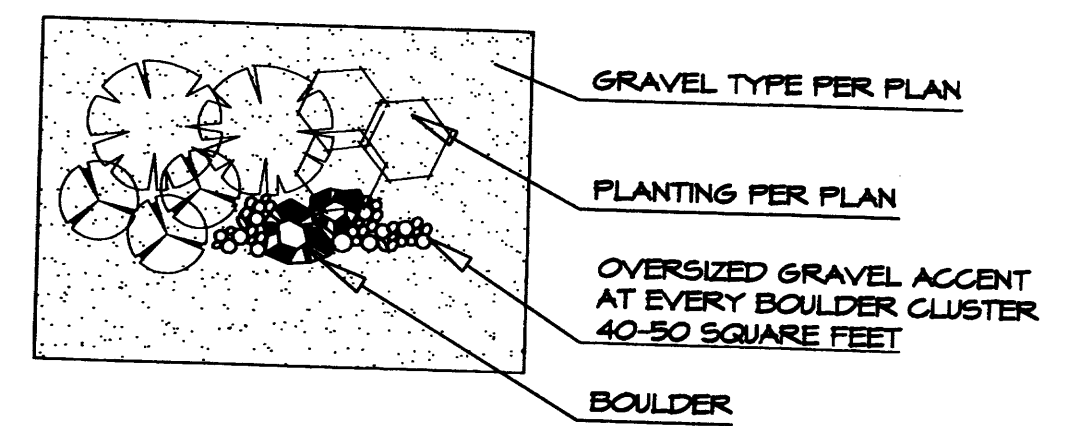
* DENOTES EVERGREEN PLANT MATERIAL



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	39205	square feet
TOTAL BUILDINGS AREA	11746	square feet
NET LOT AREA	27459	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4118	square feet
TOTAL BED PROVIDED	5674	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	4255	square feet
TOTAL GROUNDCOVER PROVIDED	5116	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	5674	square feet

GRAVEL ACCENT DETAIL



Netafim Spiral Detail

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

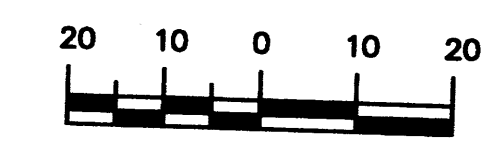
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

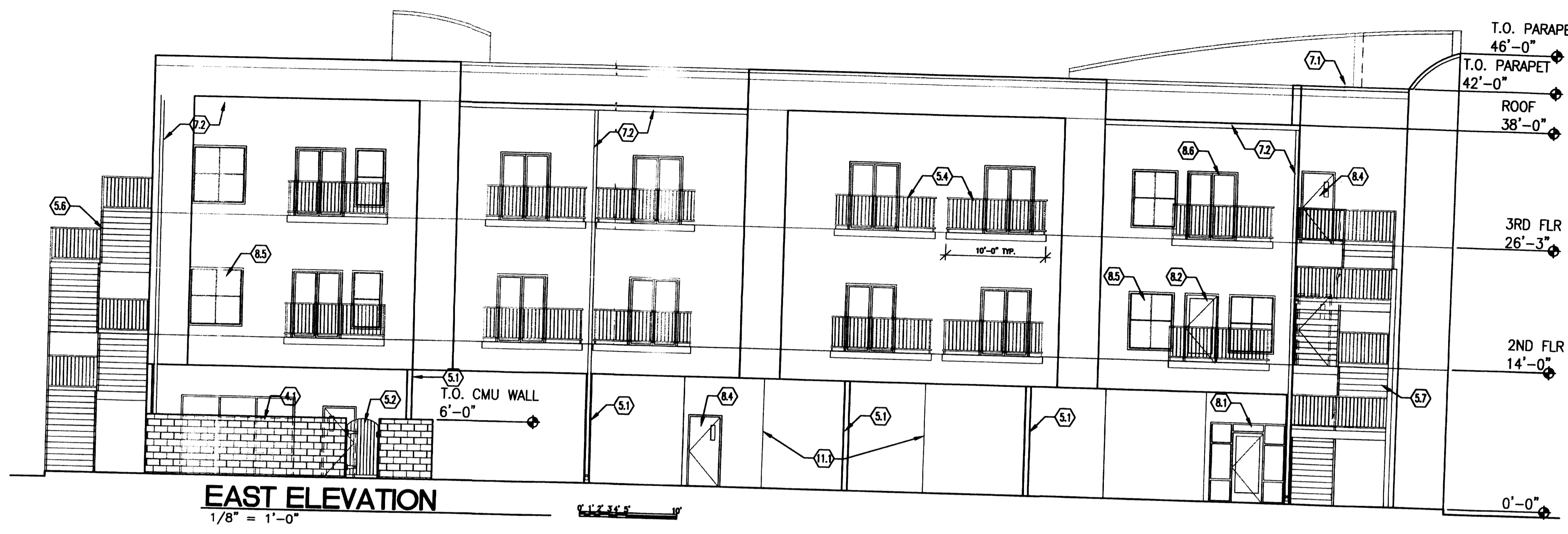
Water and Power source shall be the responsibility of the Developer/Builder.

7/04
1/14/8
11/3/77
8623

GRAPHIC SCALE



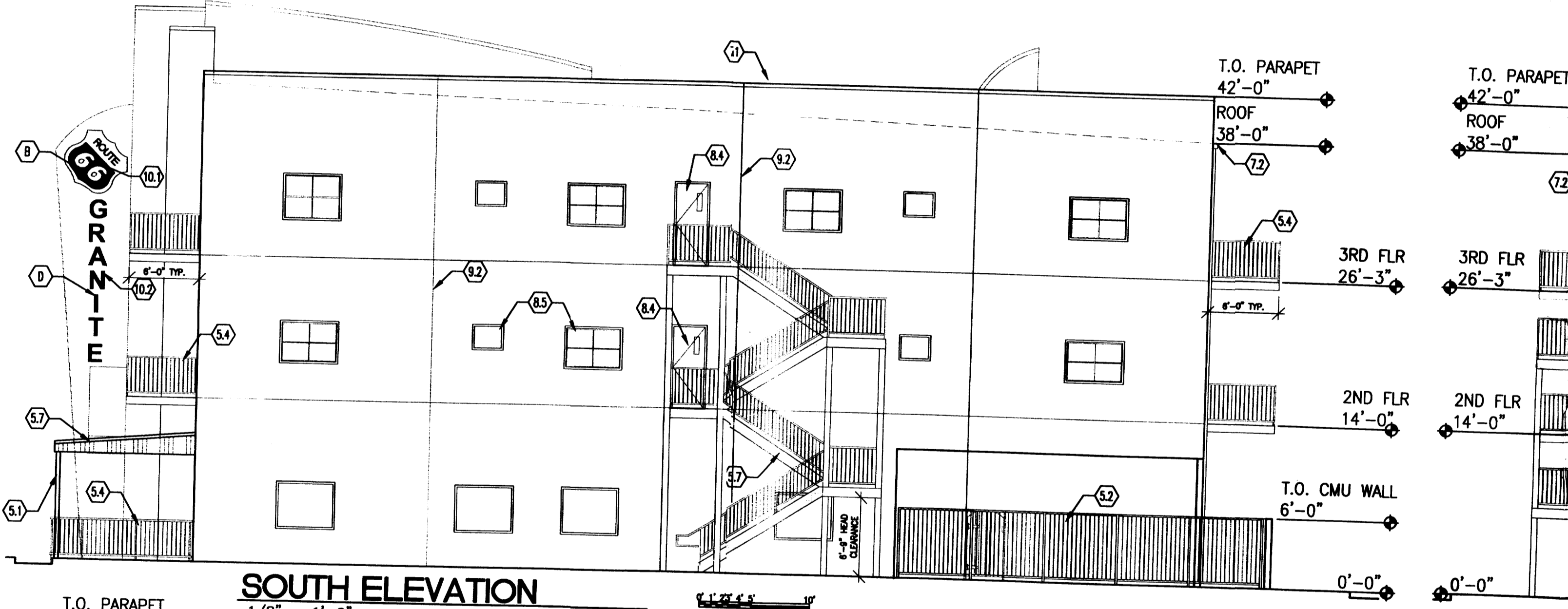
SCALE: 1"=20'



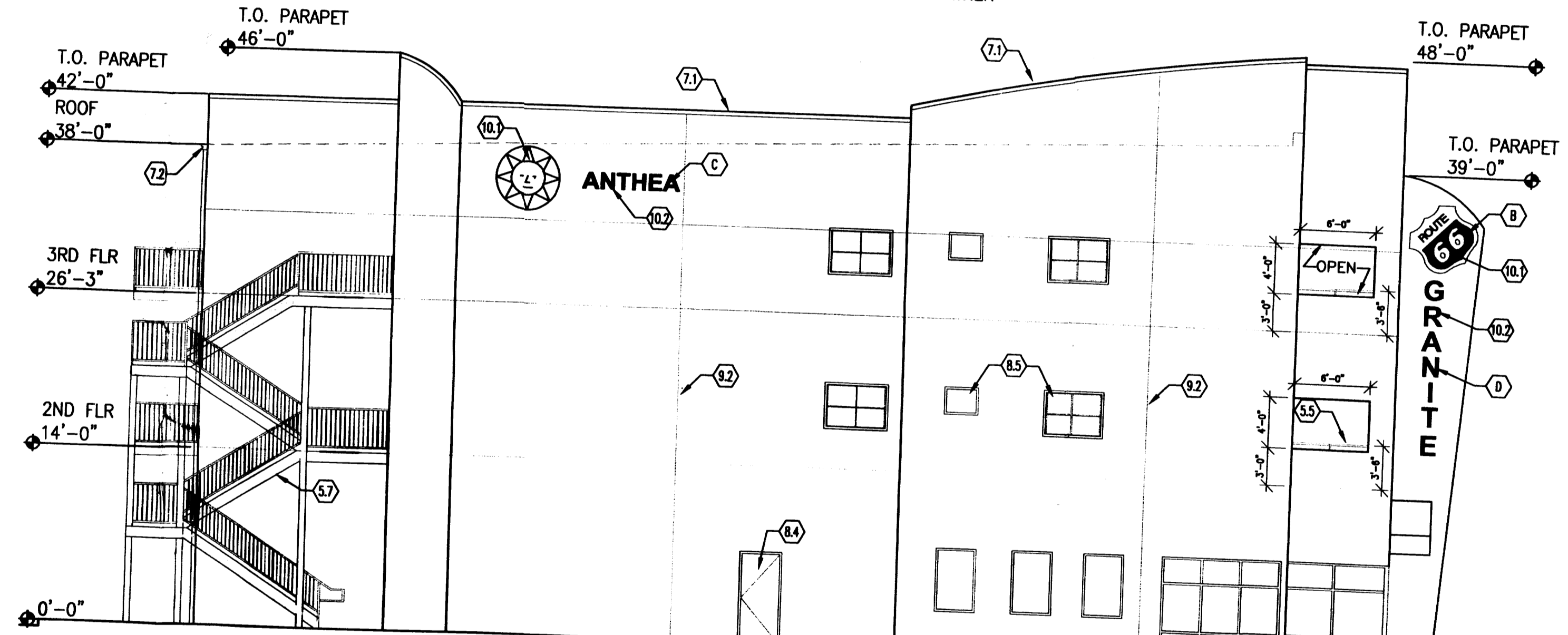
EAST ELEVATION
1/8" = 1'-0"

- KEYED NOTES**
- DIVISION 4 - MASONRY**
4.1 8" CMU SCREEN WALL PAINT TO MATCH STUCCO
- DIVISION 5 - METALS**
5.1 TS COLUMNS - SEE STRUCTURAL, PAINT
5.2 6' HIGH WROUGHT IRON DECORATIVE FENCE
5.3 METAL GATE
5.4 42" H. METAL HANDRAIL SYSTEM PER CODE, PAINT
5.5 METAL HANDRAIL - PAINT
5.6 METAL STAIRS W/CONC. FILLED PANS - PAINT
5.7 24 GA. PRE-FINISHED METAL CANOPY
5.8 3'-6" HIGH WROUGHT IRON DECORATIVE FENCE
- DIVISION 7 - THERMAL MOISTURE**
7.1 METAL CAP FLASHING - PAINT
7.2 24GA. METAL GUTTER & DOWNSPOUT - FINISH TO MATCH STUCCO
- DIVISION 8 - DOORS & WINDOWS**
8.1 INSULATED ALUM. STOREFRONT SYSTEM
8.2 ALUM. STOREFRONT DOOR
8.3 SECTIONAL OVERHEAD GLAZED DOOR
8.4 H.M. INSULATED DOOR W/VISION LITE - PAINT
8.5 VINYL INSULATED WINDOWS
8.6 SLIDING INSULATED GLASS DOOR
- DIVISION 9 - FINISHES**
9.1 3-COAT STUCCO FINISH SYSTEM
9.2 STUCCO EXPANSION JOINT
- DIVISION 10 - SPECIALTIES**
10.1 BACK LIGHTED LOGO
10.2 SURFACE MOUNTED LETTERS - COLOR BY OWNER

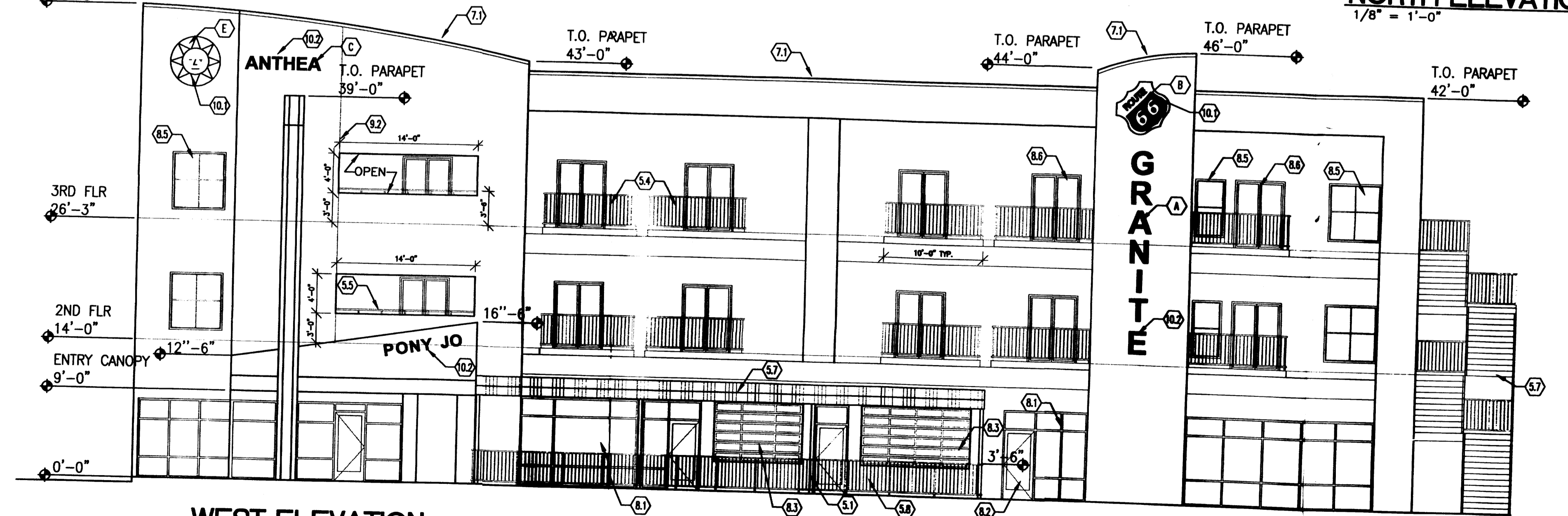
DIVISION 11 - EQUIPMENT
11.1 WALK-IN COOLER



SOUTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

- SIGNAGE SF**
- A. SIGNAGE - 46 SF
 - B. LOGO 66 SIGNAGE - 20 SF
 - C. SIGNAGE - 11 SF
 - D. SIGNAGE - 18 SF
 - E. LOGO SUN SIGNAGE - 18 SF
- WEST ELEVATION FACADE 5,674 SF - 95 SF SIGNAGE = 2%
NORTH ELEVATION FACADE 4,239 SF - 39 SF SIGNAGE = 1%
SOUTH ELEVATION FACADE 4,239 SF - 39 SF SIGNAGE = 1%

ANTHEA 4TH AND GRANITE
ELEVATIONS
ALBUQUERQUE, NM
PROJECT #1388

REVISION DATE

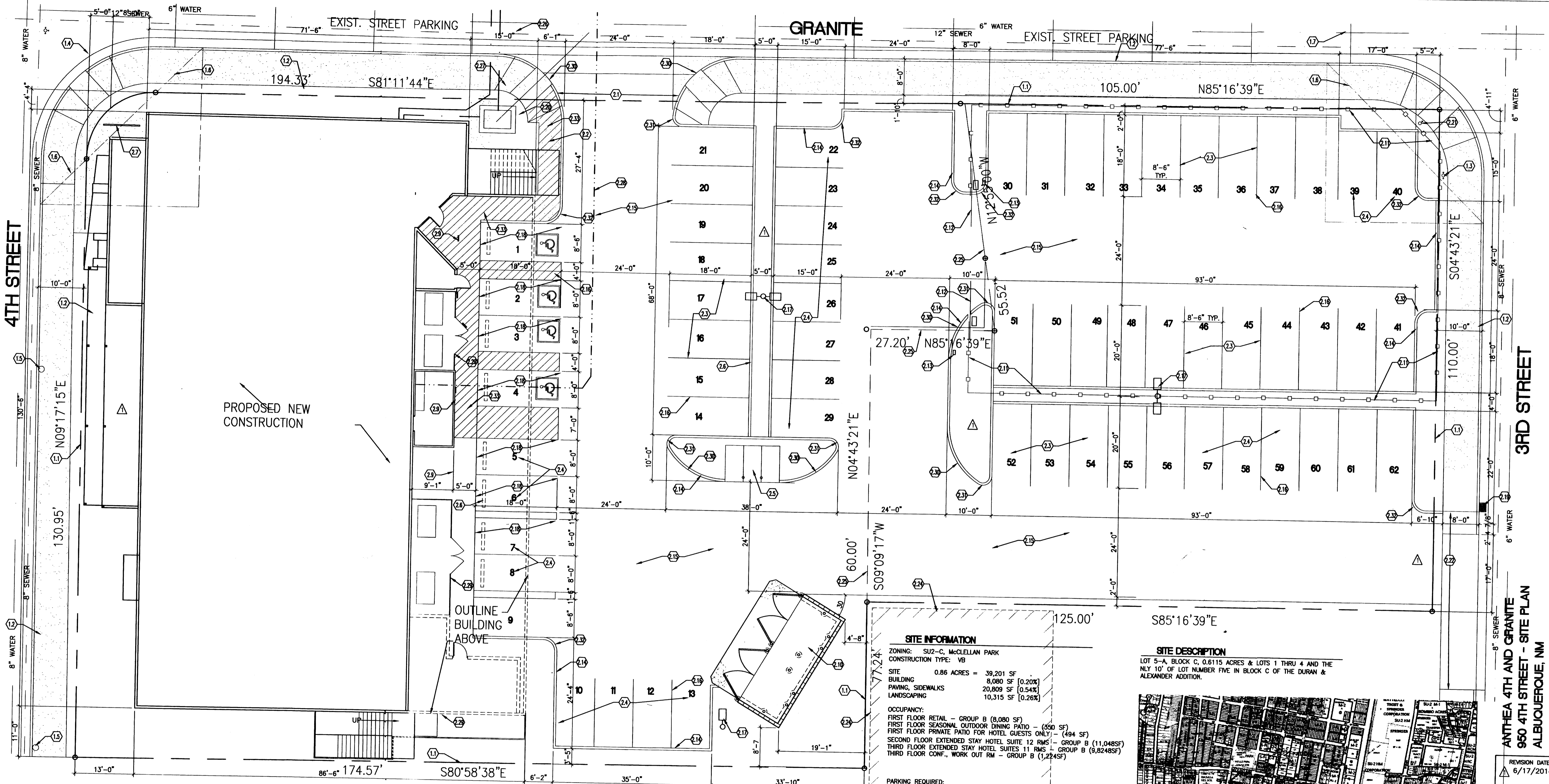
STATE OF NEW MEXICO
REGISTERED ARCHITECT

RICHARD P. BENNETT
1241
1120 PONY JO AVE. SW
ALBUQUERQUE, NM 87102
505.263.1241
www.rpbna.com

RBA
ARCHITECTURE
INTERIOR DESIGN

DATE
06-3-2014

SHEET NUMBER
A-50



- KEYED NOTES**
 DIVISION 1 - GENERAL
 1.1 PROPERTY LINE
 1.2 EXIST. PUBLIC CITY SIDEWALK
 1.3 EXIST. FIRE HYDRANT
 1.4 N/A
 1.5 EXIST. UTILITY POWER POLE
 1.6 LINE OF SIGHT
 1.7 EXISTING BUS STOP & SHELTER @ 3RD AND GRANITE
- DIVISION 2 - SITE**
 2.1 NEW DRIVE WAY ENTRANCE - SEE CIVIL
 2.2 NEW CONCRETE SIDEWALK SEE DTLS. C/C1.2 & E/C1.2
 2.3 STANDARD CAR PARKING SPACE - STRIPPED PER CODE
 2.4 SMALL CAR PARKING SPACE - STRIPPED PER CODE
 2.5 MOTORCYCLE PARKING SPACES, 4" CONC. SLAB W/BOLLARDS - PAINT
 2.6 CONC. PARKING BARRIER, ANCHOR WITH 2-#4 REBAR
 2.7 BICYCLE WAVE RACK [7 BIKES] - SEE DTL. H/C1.2
 2.8 HANDICAP PARKING SPACE W/STRIPPED ACCESS ASILE SEE DTL. A/C1.2
 2.9 HANDICAP PARKING SIGNAGE - SEE DTL. B/C1.2
 2.10 DUMPSTER ENCLOSURE - SEE DTL. J/C1.2
 2.11 FENCED PRIVATE PARKING SPACES
 2.12 AUTOMATIC SLIDING GATES
 2.13 GATE KEY PAD OPERATOR

- DIVISION 2 - SITE**
 2.14 HEADER CURB - SEE DETAIL D/C1.2
 2.15 ASPHALT PAVEMENT - SEE CIVIL
 2.16 PAINTED STRIPING PER CODE REQUIREMENTS
 2.17 30' TALL POLE LIGHTS - SEE DTL. F/C1.2 & ELECTRICAL
 2.18 PAVING TO BE SLOPED TO FINISH FLOOR ELEVATION
 2.19 EXISTING DROP INLET TO REMAIN
 2.20 FIRE PROTECTION BACK FLOW PREVENTOR
 2.21 FIRE SPRINKLER STAND ALONE FIRE DEPARTMENT CONNECTION
 2.22 EXISTING SHARED DRIVE WAY ENTRANCE TO REMAIN
 2.23 6" DIA. BOLLARDS CONC. FILLED PAINT - SEE DTL. G/C1.2
 2.24 EXISTING ADJACENT BUILDING
 2.25 LOT LINE TO BE REMOVED
 2.26 4" FIRE LINE CONNECTION
 2.27 2-1/2" DOMESTIC WATER LINE CONNECTION
 2.28 SEWER LINE CONNECTION
 2.29 WROUGHT IRON FENCING
 2.30 R - 15' - SEE CIVIL
 2.31 R - 2' - SEE CIVIL
 2.32 R - 3' - SEE CIVIL
 2.33 ADA HANDICAP ACCESSIBLE ROUTE

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	6-17-2014
DRB Chairperson, Planning Department	Date

SITE INFORMATION
 ZONING: SU2-C, McLELLAN PARK
 CONSTRUCTION TYPE: VB
 SITE 0.86 ACRES = 39,201 SF
 BUILDING 8,080 SF [0.20%]
 PAVING, SIDEWALKS 20,809 SF [0.54%]
 LANDSCAPING 10,315 SF [0.26%]

OCCUPANCY:
 FIRST FLOOR RETAIL - GROUP B (8,080 SF)
 FIRST FLOOR SEASONAL OUTDOOR DINING PATIO - (350 SF)
 FIRST FLOOR PRIVATE PATIO FOR HOTEL GUESTS ONLY - (494 SF)
 SECOND FLOOR EXTENDED STAY HOTEL SUITE 12 RMS - GROUP B (11,048SF)
 THIRD FLOOR EXTENDED STAY HOTEL SUITES 11 RMS - GROUP B (9,824SF)
 THIRD FLOOR CONF., WORK OUT RM - GROUP B (1,224SF)

PARKING REQUIRED:
 RETAIL PARKING [8,080/200] = 41 SPACES
 SEASONAL DINING [1 PER 4 SEATS] = 4 SPACES
 EXTENDED HOTEL SUITES 23 - [1 SPACE/RM] = 23 SPACES
TOTAL 68 SPACES

BUS STOP REDUCTION 10% = 6 SPACES
SUBTOTAL 62 SPACES

ON SITE PARKING PROVIDED -
 40 STANDARD SPACES
 18 SMALL SPACES (19 ALLOWED)
 4 HANDICAP SPACES
TOTAL SPACES PROVIDED 62 SPACES

MOTORCYCLE PARKING PROVIDED - 3 SPACES
BICYCLE WAVE RACK PROVIDED - 7 BICYCLES CAPACITY

SITE DESCRIPTION
 LOT 5-A, BLOCK C, 0.6115 ACRES & LOTS 1 THRU 4 AND THE NLY 10' OF LOT NUMBER FIVE IN BLOCK C OF THE DURAN & ALEXANDER ADDITION.



AGIS
 Map amended through: 1/24/2011

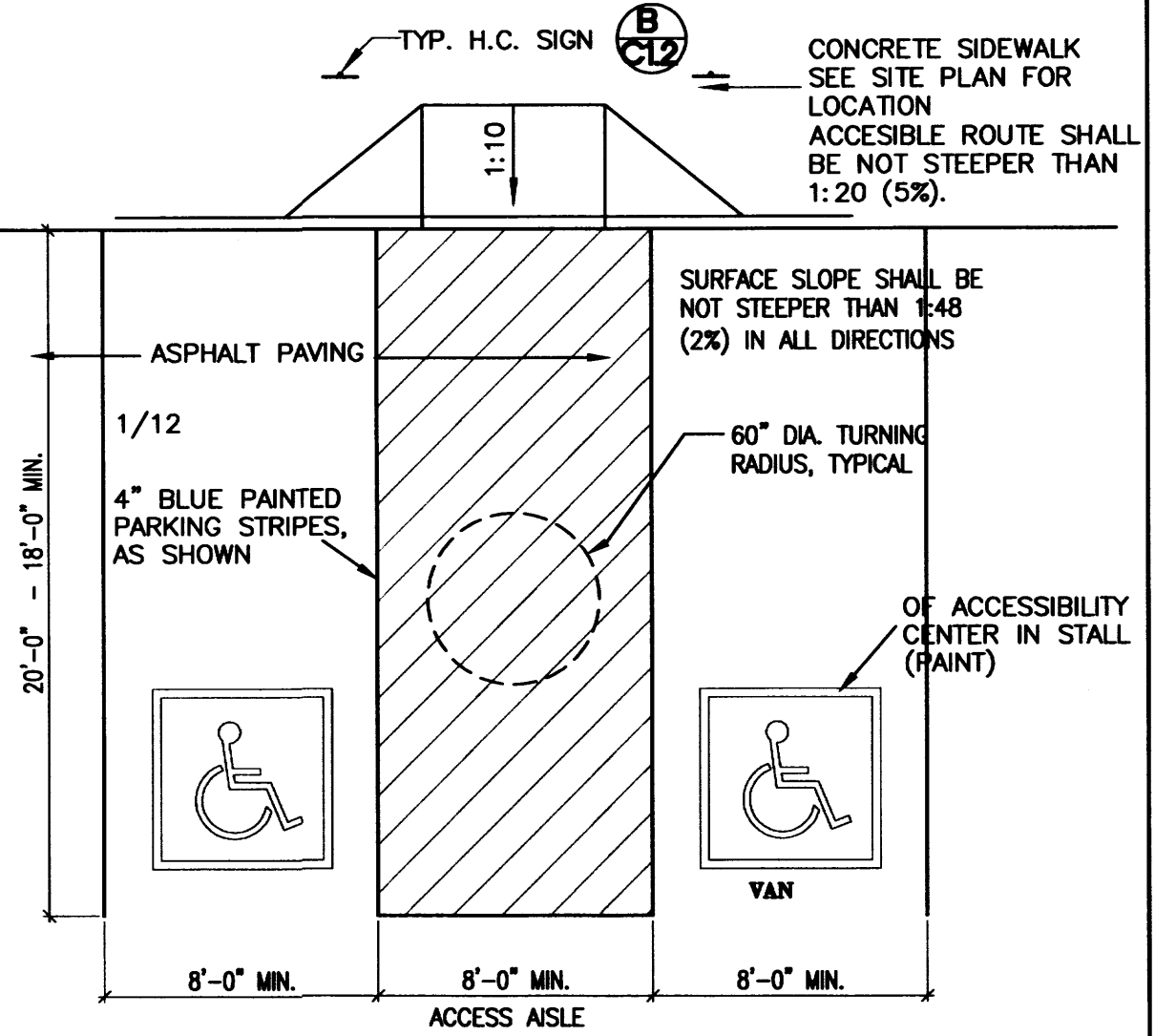
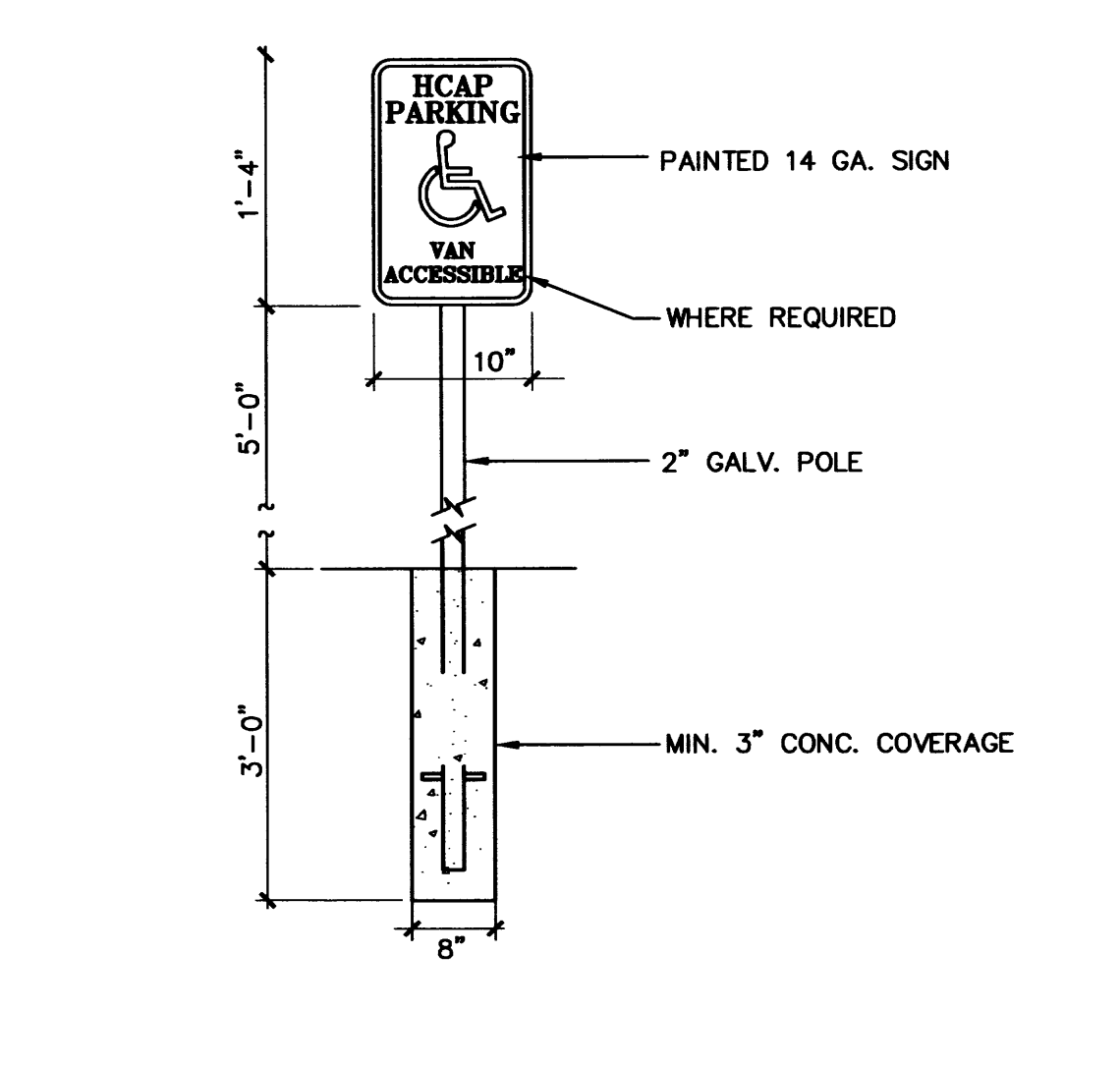
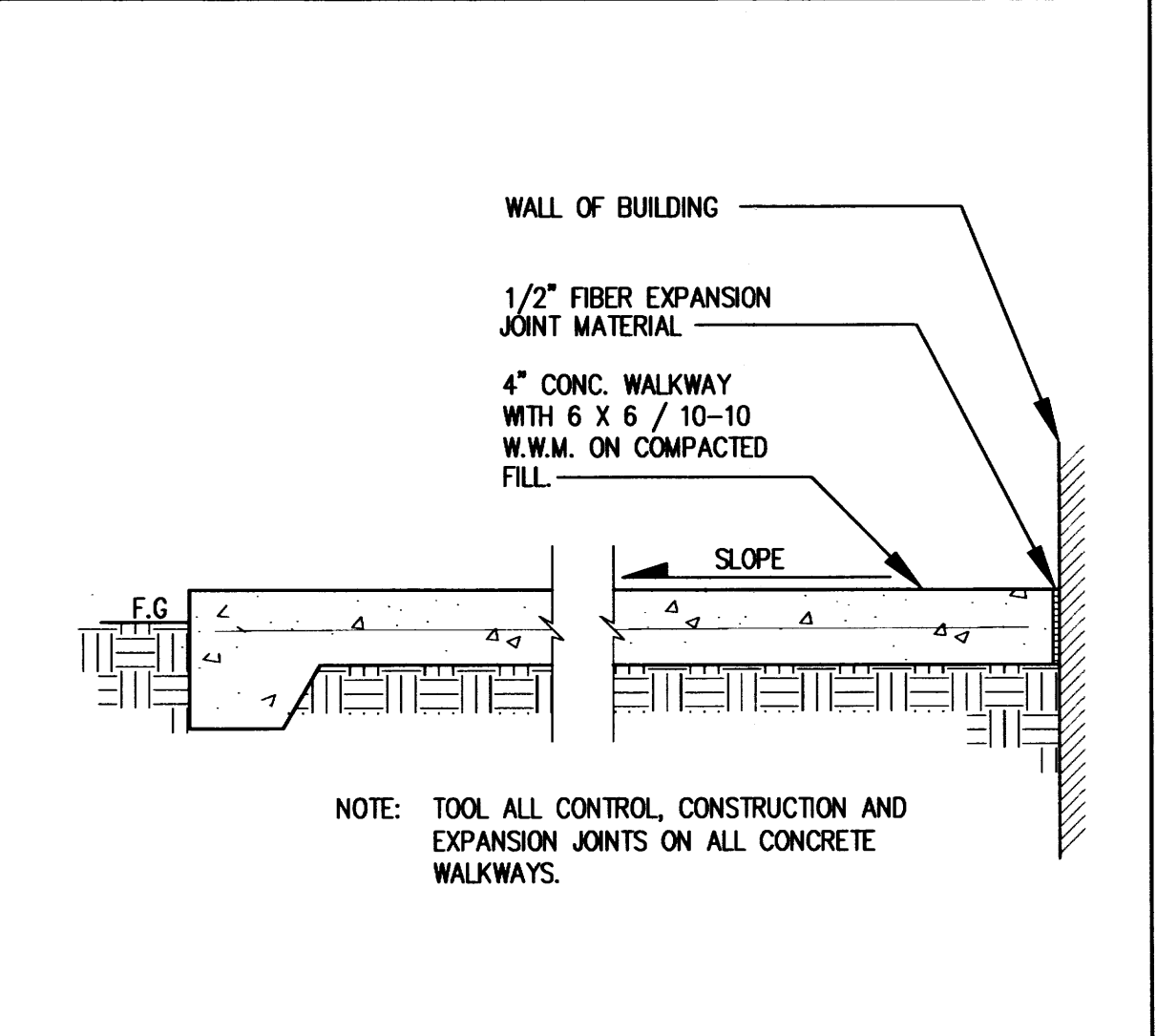
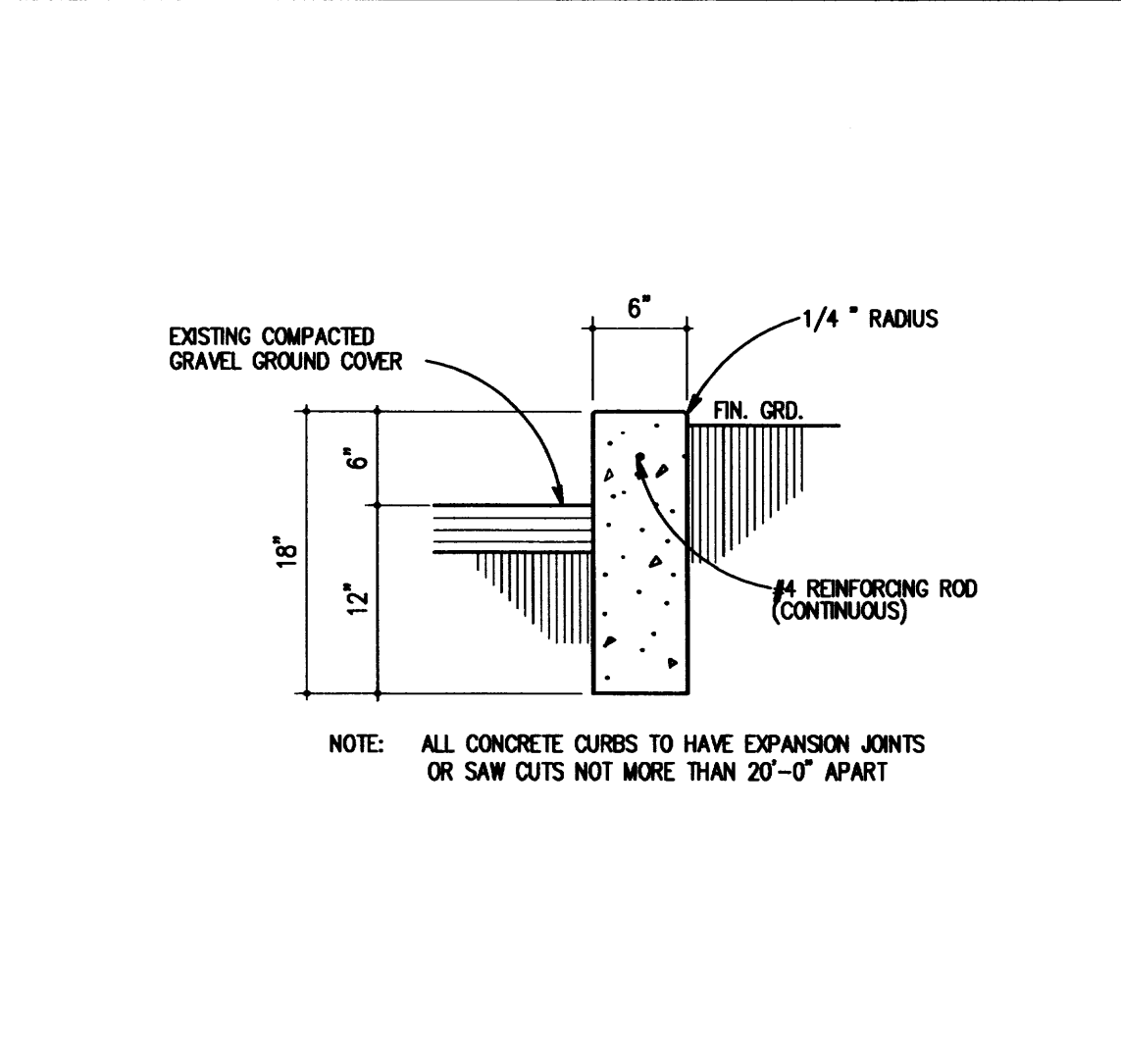
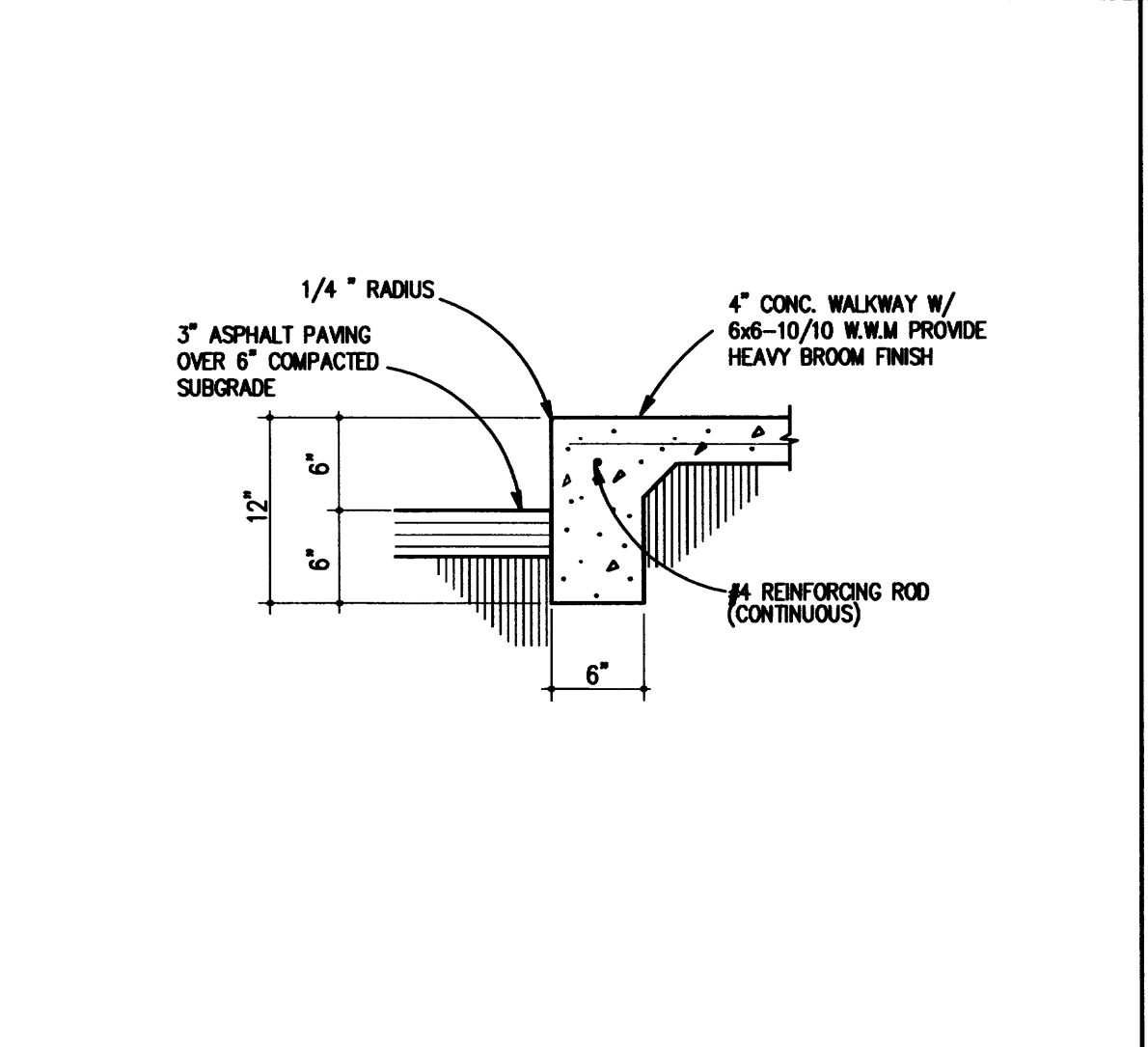
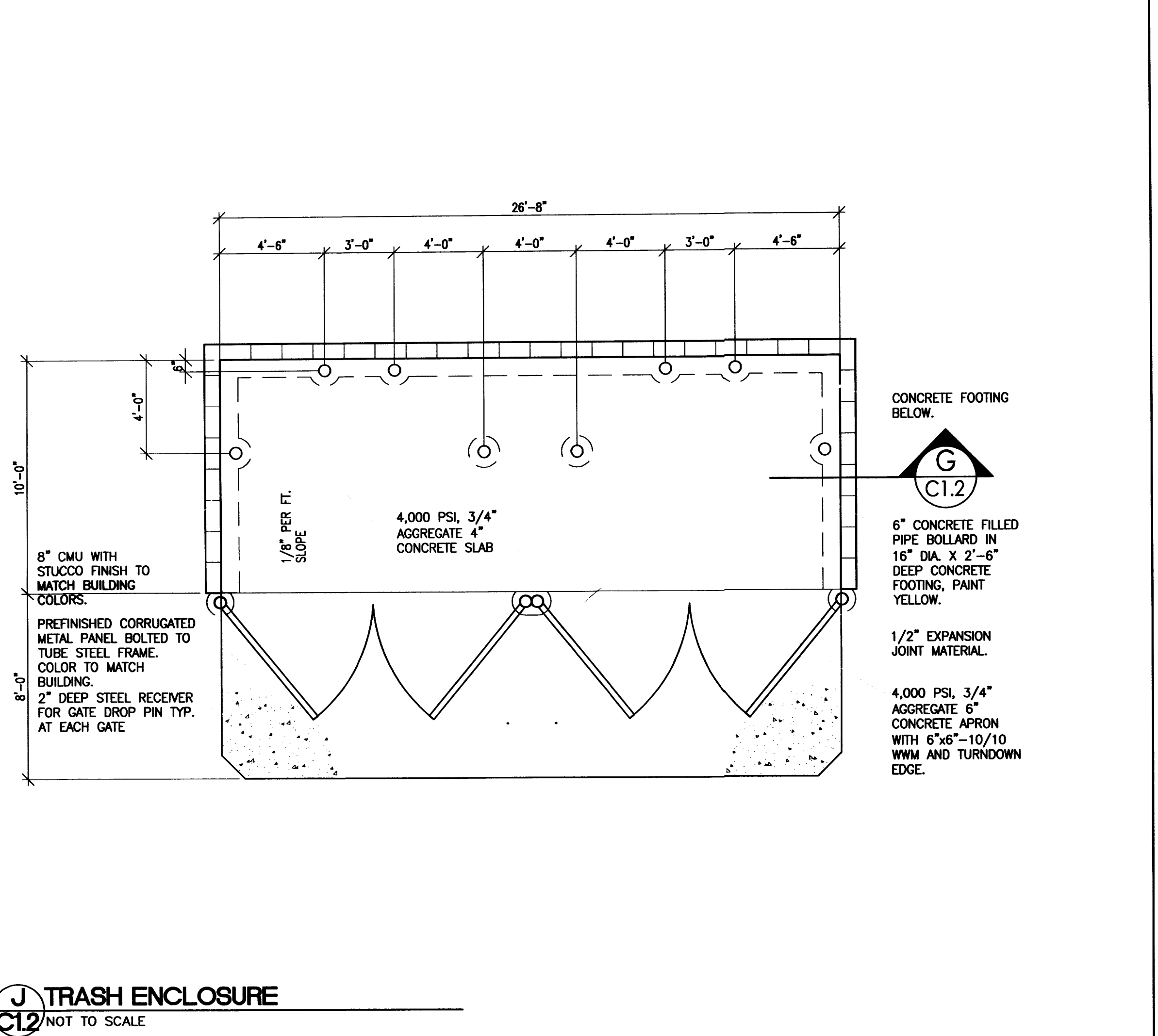
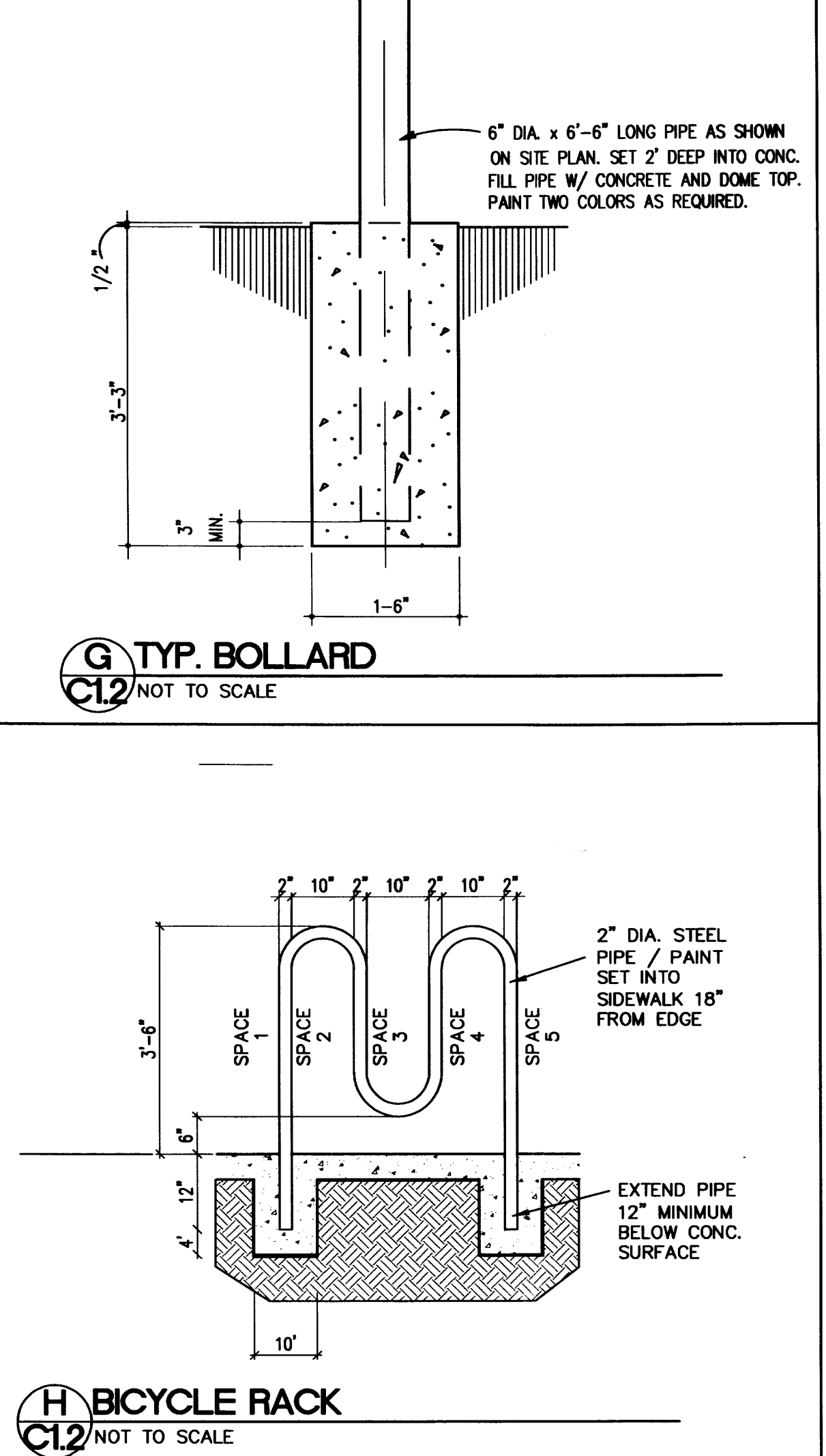
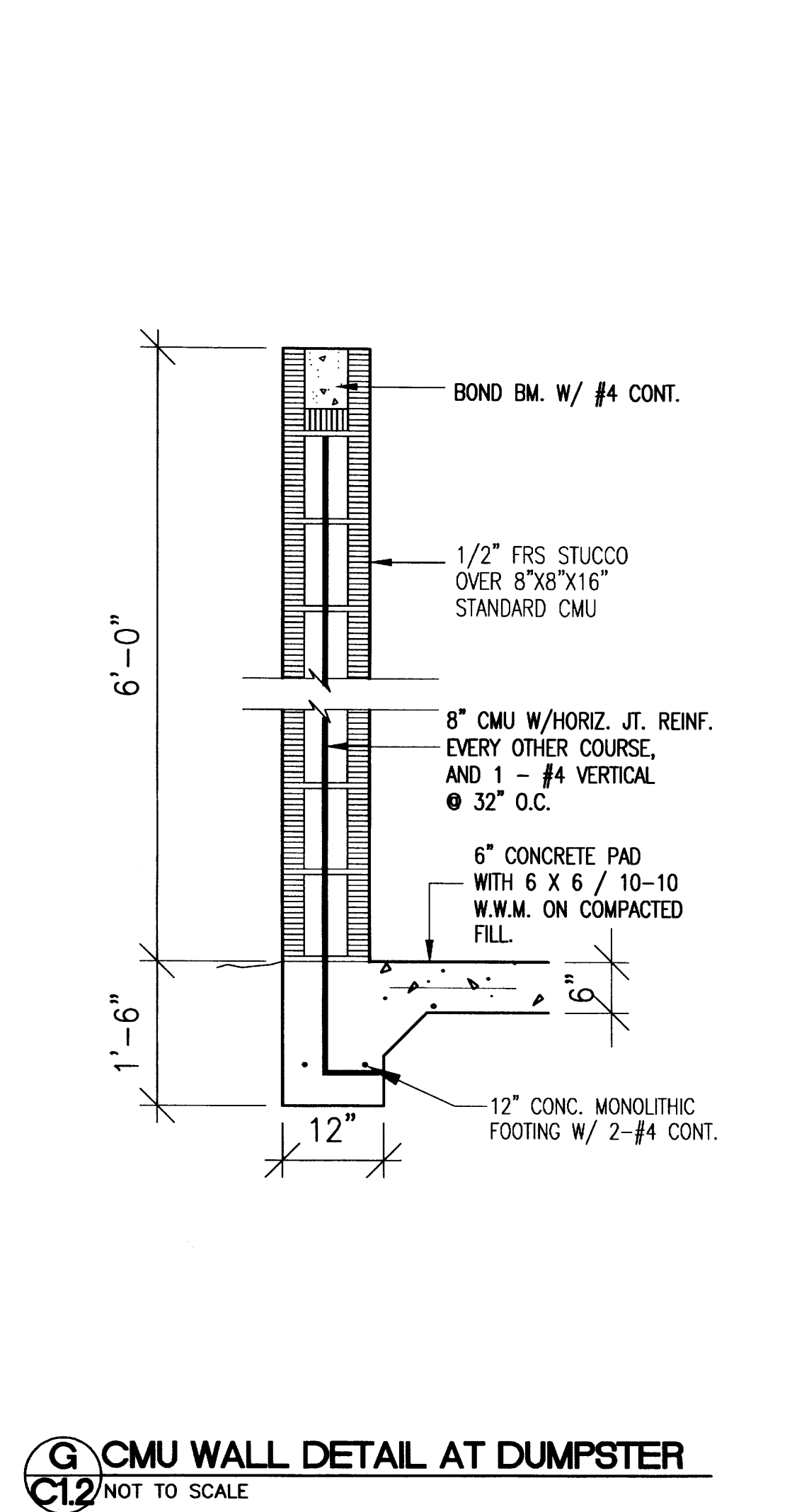
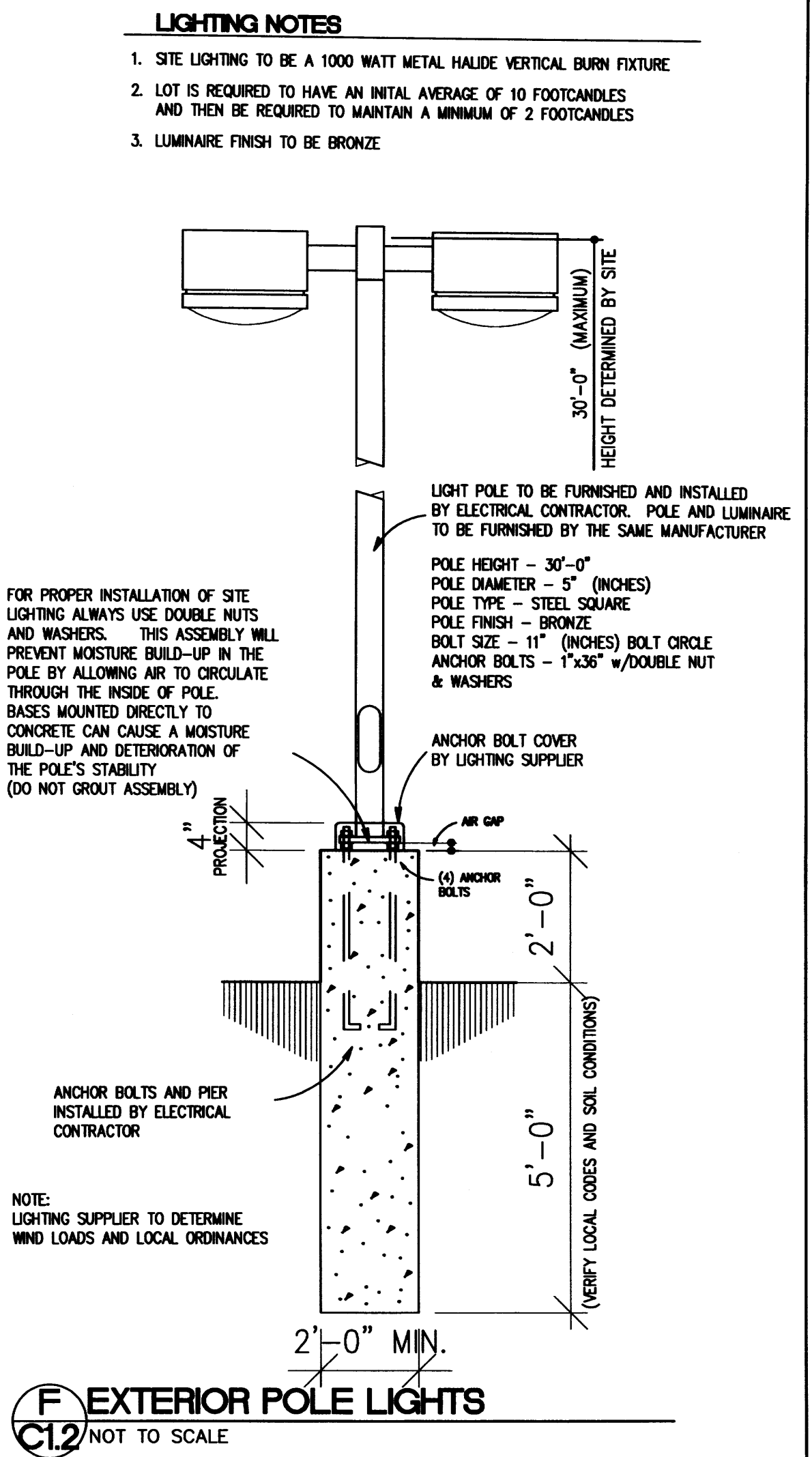
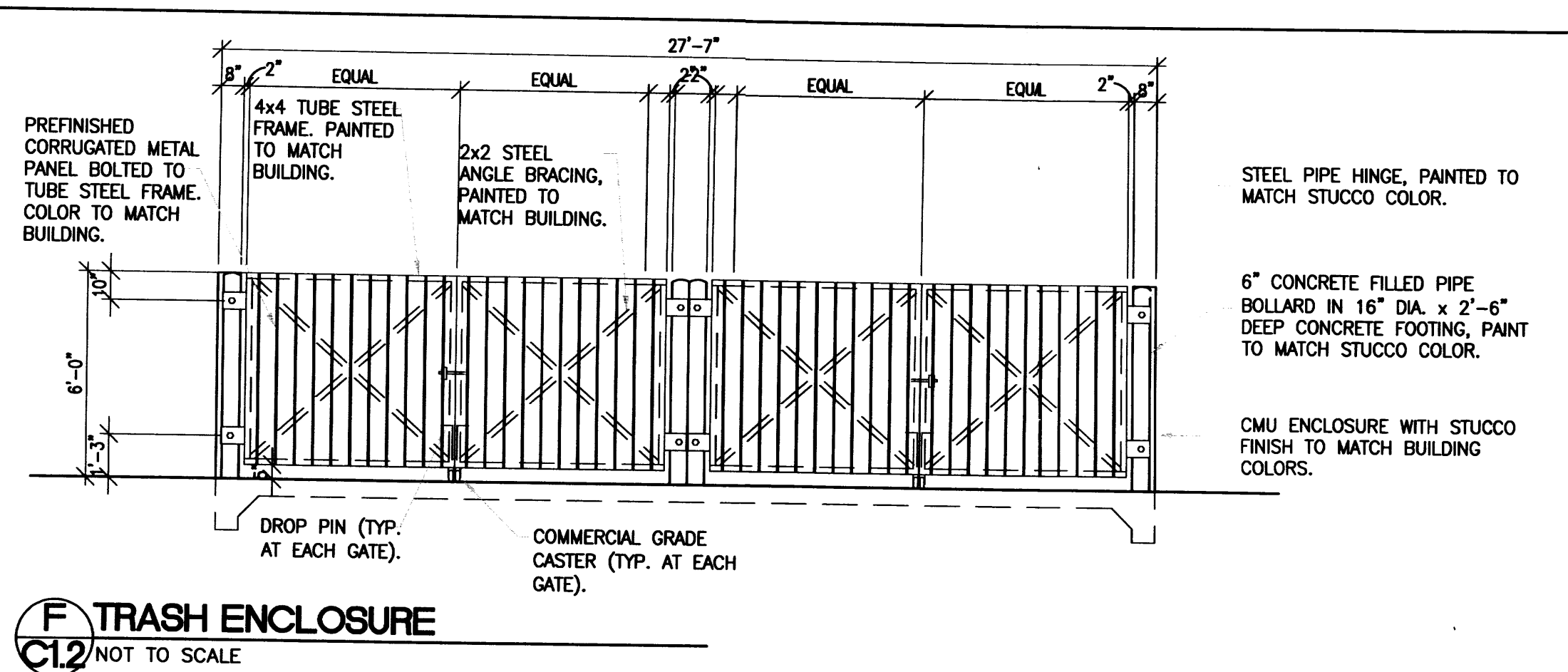
J-14-Z
 Selected Symbols:
 Design Overlay Zone, City Historic Zone, 1/4-1/2 Buffer Zone, Boundary, 2 Mile Airport Zone, Airport Noise Contour, Wall Overlay Zone

ANTHEA 4TH AND GRANITE
950 4TH STREET - SITE PLAN
ALBUQUERQUE, NM
PROJECT #688

REVISION DATE: 6/17/2014

RBA
 BE
 6/17/14

DATE: 06-3-2014
 SHEET NUMBER: C-10



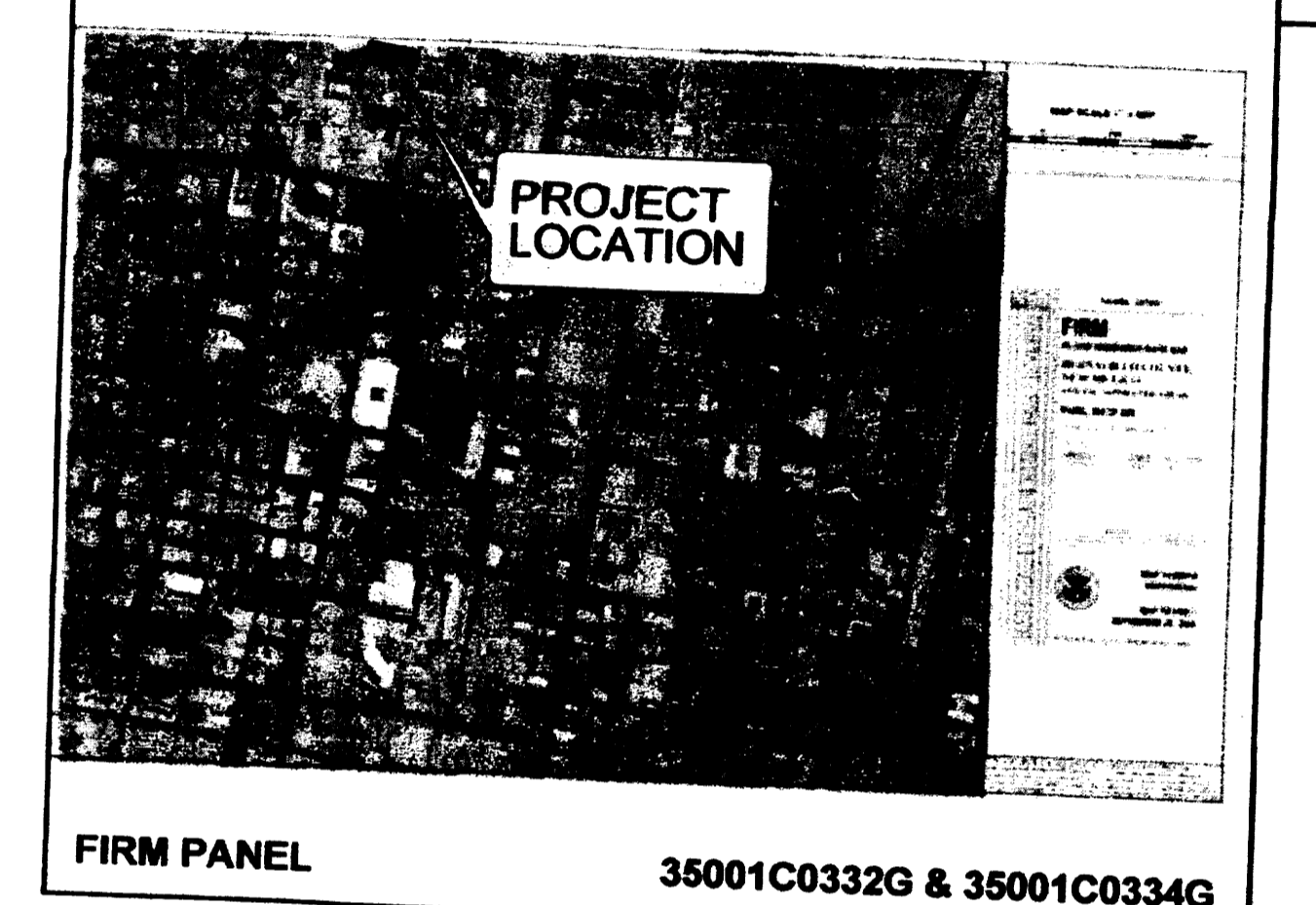
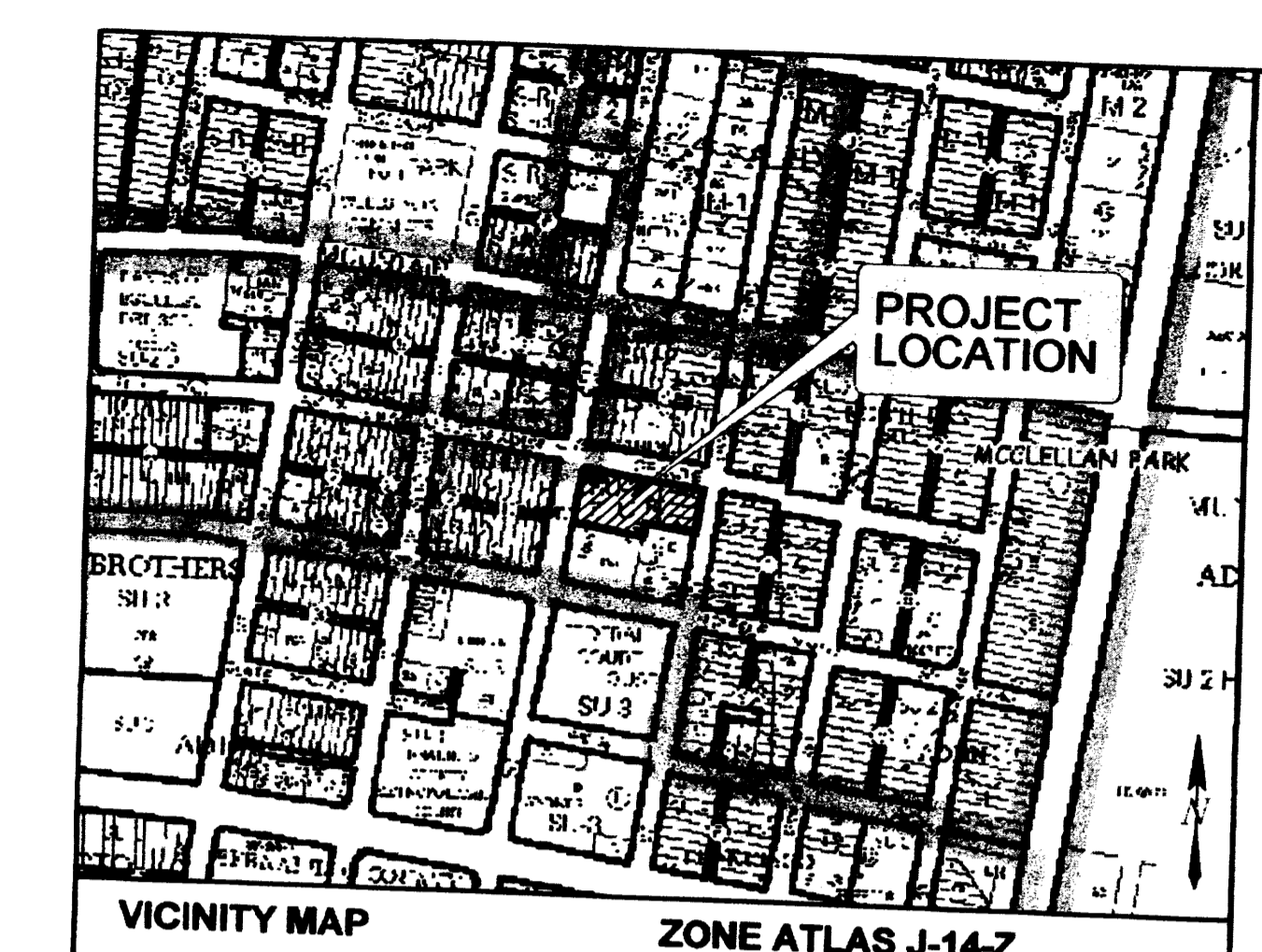
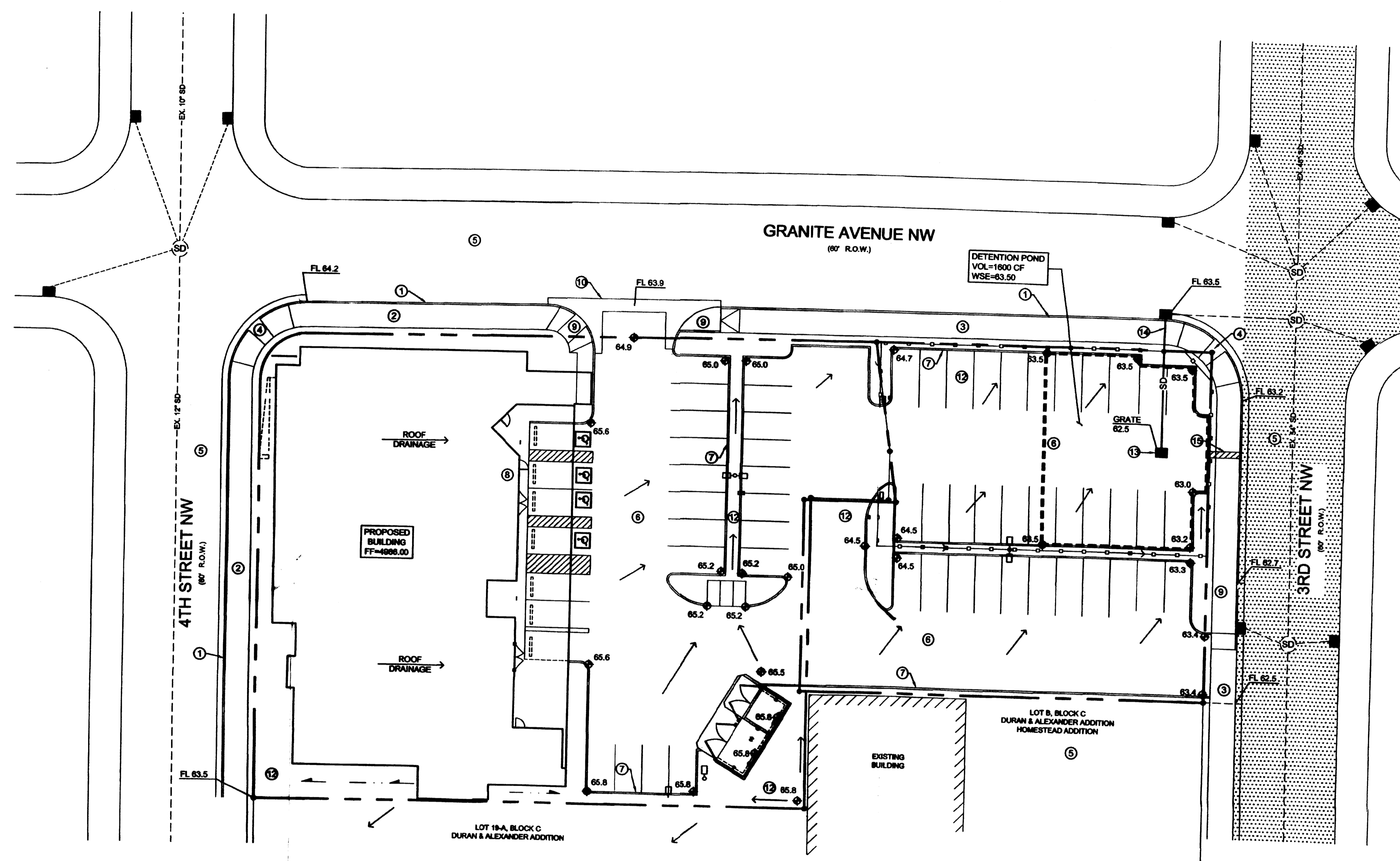
ANTHEA 4TH AND GRANITE
SITE DETAILS
ALBUQUERQUE, NM
PROJECT #988

REVISION DATE

DATE: 06-3-2014

SHEET NUMBER: C12

RBA ARCHITECTURE PLANNING ENGINEERING



LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering Construction Management

2501 Rio Grande Blvd. NW, Suite A
Albuquerque, New Mexico 87104
Ph: 505-888-6038 Fax: 505-242-6855

ANTHEA 4TH AND GRANITE
CONCEPTUAL GRADING & DRAINAGE PLAN
ALBUQUERQUE, NM
PROJECT #14-009

CONCEPTUAL GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE
Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Conceptual Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of an 8,077 square foot building with paving, landscaping, utility, grading, and drainage improvements to support the project. The purpose of this plan is to support Site Plan Approval. The scope of this plan is to present conceptual grading and drainage criteria for the safe management of excess runoff impacting the site from upstream drainage basins, and controlling excess runoff from the project site in a well-managed, non-erosive manner. A Final Grading and Drainage Plan will be prepared to support Building Permit application.

EXISTING CONDITIONS
The property is located at 330 Granite Avenue NW, between Third and Fourth Streets NW. The site is presently utilized as a parking lot. Existing site improvements consist of gravel surfacing. No buildings or permanent structures exist on the property. The site is extremely flat, with very little positive drainage in any direction. Excess runoff generally flows to the perimeter streets. Public storm drains exist in Third and Fourth Streets. The site is surrounded on three sides by public roadways. A paved parking lot and commercial development are located adjacent to the property on the south. No significant off-site flows impact the site.

As shown by the attached FIRM Panel, the site does not lie within a mapped 100 year Flood Zone. Portions of Third Street adjacent to the site are mapped as a Zone AO depth 1' Floodzone.

PROPOSED IMPROVEMENTS
As stated above, the project consists of the construction of an 8,077 square foot building with paving, landscaping, utility, grading, and drainage improvements. All developed runoff will be routed through landscaping to capture the first flush before release into the perimeter streets. All excess runoff will be collected by the existing public storm drain system located in Third and Fourth Streets.

Due to limited capacity of the existing public storm drainage system the City Hydrology Department has established a 2.75 cfs per acre maximum discharge rate for this site. Therefore, the site will implement detention ponding to limit developed discharge to 2.36 cfs for the project. This will be accomplished by utilizing a Type 'D' inlet in the parking lot near the northeast corner of the site. The inlet will drain to an existing public inlet located in Granite Avenue. An 8-inch drainline will be connected to the existing public inlet, restricting discharge to 2.36 cfs. The northeast corner of the proposed parking lot will serve as a detention pond for during heavy rains. A sidewalk culvert will be provided as a spillway should the pond overflow. Construction will disturb an area of less than 1.0 acres, therefore a Storm Water Pollution Prevention Plan should not be required.

CALCULATIONS
The calculations shown hereon define the 100-year/6 hour design storm falling within the project area under existing and proposed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol 2", dated June 1997.

KEYED NOTES

- EXISTING CONCRETE STANDARD CURB AND GUTTER.
- EXISTING PUBLIC SIDEWALK.
- EXISTING DRIVEPAD.
- EXISTING HANDICAP RAMP.
- EXISTING ASPHALT PAVEMENT.
- NEW ASPHALT PAVEMENT.
- NEW 6" CONCRETE CURB.
- NEW CONCRETE SIDEWALK. SEE SITE PLAN.
- NEW HANDICAP RAMP.
- NEW CONCRETE VALLEY GUTTER DRIVEWAY.
- NEW REFUSE ENCLOSURE. SEE SITE PLAN.
- NEW LANDSCAPING.
- NEW TYPE 'D' INLET PER COA STD DWG 2208.
- NEW 8 INCH STORM DRAIN CONNECT TO EXISTING INLET PER COA STD DWG 2237.
- NEW 24 INCH SIDEWALK CULVERT PER COA STD DWG 2238 TO FUNCTION AS OVERFLOW SPILLWAY.

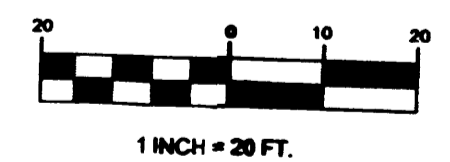
PROJECT DATA

PROPERTY ADDRESS:
330 GRANITE NW
ALBUQUERQUE, NM 87103
LEGAL DESCRIPTION:
LOT 5A, BLOCK C, DURAN & ALEXANDER ADDITION
LOTS 1 & 2, BLOCK C, HOMESTEAD GARDEN ADDITION

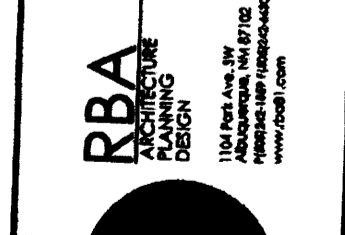
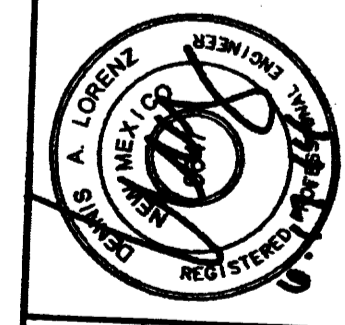
LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER	---	---
HEADER CURB	---	---
CURB ELEVATIONS	---	---
SPOT ELEV.	---	16.7
RIGHT OF WAY	---	---
EASEMENT	---	---
CENTERLINE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
JERSEY BARRIER	---	---
FLOWLINE ELEV	EX FL 16.2	FL 16.2
FUTURE CURB AND GUTTER (N.I.C.)	---	---
NEW PAVING	---	---
DRAINAGE SWALE	---	---
DIRECTION OF FLOW	---	---
100 YEAR FLOOD HAZARD ZONE	---	---

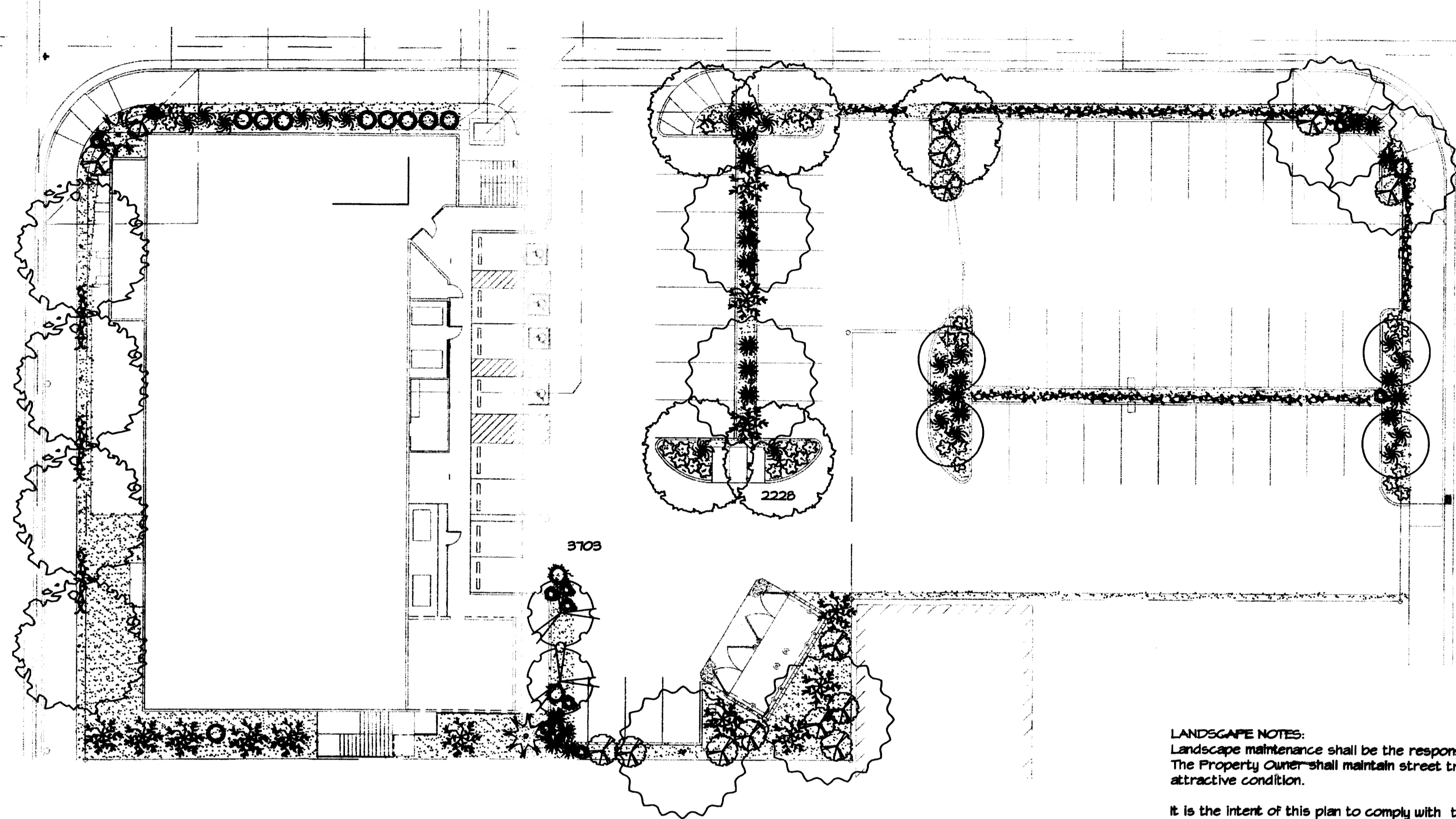
PROJECT HYDROLOGY							
A-HYMO							
ZONE:	2						
P ₁₀ HOUR	2.35						
P ₁₀ DAY	3.95						
SOUTH PSE	0.44						
EXISTING CONDITIONS							
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	VOL (ac ft)
SITE	0.86	0.00	0.00	0.86	0.00	1.13	2.70
							0.081
PROPOSED CONDITIONS							
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	VOL (ac ft)
SITE	0.86	0.00	0.07	0.07	0.72	1.93	3.76
							0.138



REVISION DATE

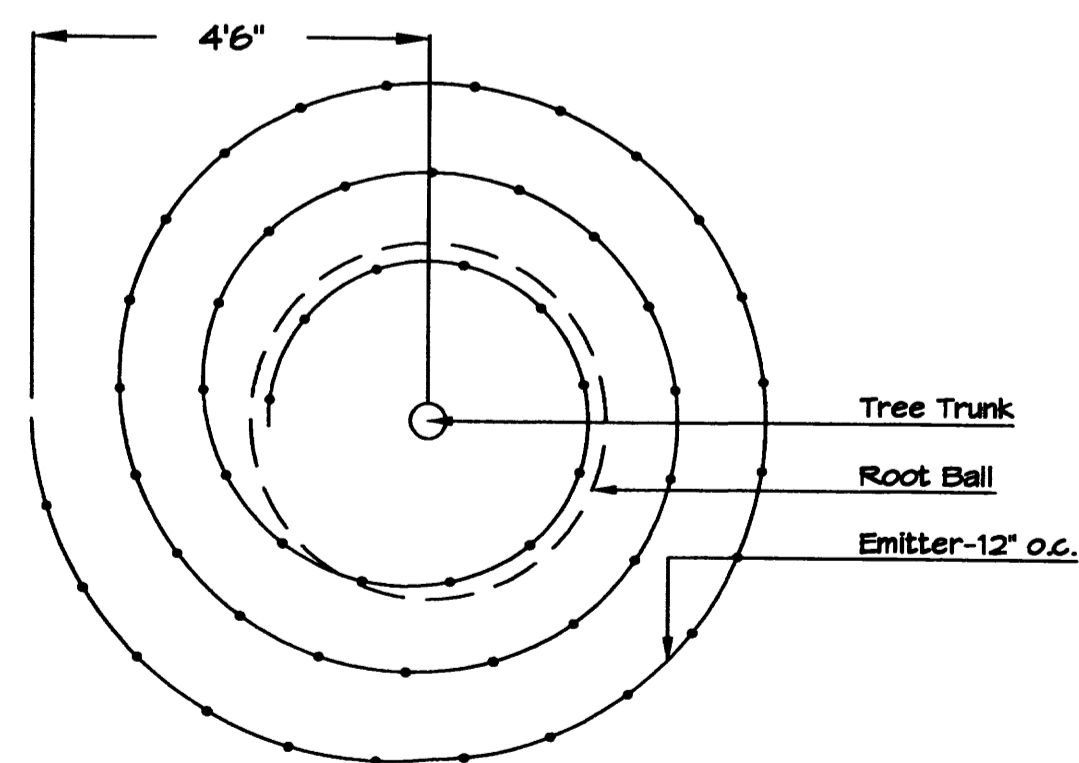


DATE
06/02/2014
SHEET NUMBER
C-2.0



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	39201	square feet
TOTAL BUILDINGS AREA	8500	square feet
NET LOT AREA	30701	square feet
LANDSCAPE REQUIREMENT	19%	
TOTAL LANDSCAPE REQUIREMENT	4605	square feet
TOTAL BED PROVIDED	5431	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	4255	square feet
TOTAL GROUNDCOVER PROVIDED	5116	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	5431	square feet



Netafim Spiral Detail

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.





Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

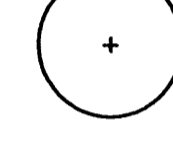






PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.



SHADE TREES

-  HONEYLOCUST 4
Gleditsia triacanthos
4" Cal., 12-14' Inst./60" x 60" maturity
Water (M) Allergy (H) Osf
-  JAPANESE PAGODA TREE 6
Sophora japonica
2" Cal., 12-14' Inst./35" x 35" maturity
Water (M) Allergy (L) Osf
-  EASTERN REDBUD 5
Cercis canadensis
2" Cal., 8-10' Inst./30" x 30" maturity
Water (M) Allergy (L) Osf
-  PURPLE-LEAF PLUM 2
Prunus cerasifera
1 1/2" Cal., 10-12' Inst./20" x 20" maturity
Water (M) Allergy (L) Osf

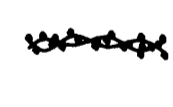
SHRUBS/ORNAMENTAL GRASSES

-  NEW MEXICO OLIVE 4
Forestiera neomexicana
15 Gal., 4-10' Inst./15" x 15" maturity
Water (M) Allergy (L) 225sf
-  ROSE OF SHARON 2
Hibiscus syriacus
5 Gal., 2-4' Inst./10" x 10" maturity
Water (M) Allergy (L) 100sf
-  MAIDEN GRASS 19
Miscanthus sinensis
5 Gal., 18-3' Inst./3" x 5" maturity
Water (M+) Allergy (L) 25sf
-  SCOTCH BROOM 3
Cytisus scoparius
5 Gal., 18-3' Inst./4" x 4" maturity
Water (M) Allergy (L) 16sf
-  RED YUCCA 24
Hesperaloe parviflora
5 Gal., 18-3' Inst./3" x 4" maturity
Water (L+) Allergy (L) 16sf
-  SKYROCKET JUNIPER 9
Juniperus scopulorum
5 Gal., 12-3' Inst./20" x 3" maturity
Water (M) Allergy (L) 4sf
-  CATMINT 32
Nepeta mussini
1 Gal., 3"-15" Inst./1" x 2" maturity
Water (M) Allergy (L) 4sf

GROUNDCOVERS

-  WINTER JASMINE 15
Jasminum nudiflorum
5 Gal., 6"-15" Inst./4" x 12" maturity
Water (L+) Allergy (L) 144sf
-  BUFFALO JUNIPER 13
Juniperus sabina 'Buffalo'
5 Gal., 24"-4' Inst./2" x 8" maturity
Water (L+) Allergy (L) 64sf

VINES

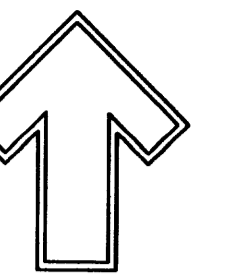
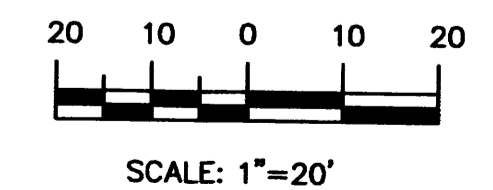
-  BANKS ROSE 19
Rosa banksiae
5 Gal., 6"-15" Inst./climbing to 20'
Water (M) Allergy (L)

HARDSCAPES

-  SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
-  OVERSIZED GRAVEL
-  BOULDERS

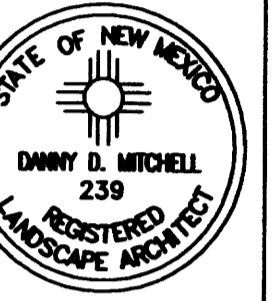
* DENOTES EVERGREEN PLANT MATERIAL

GRAPHIC SCALE



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 888-9690
Fax (505) 888-7737
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



ANTHEA GRANITE

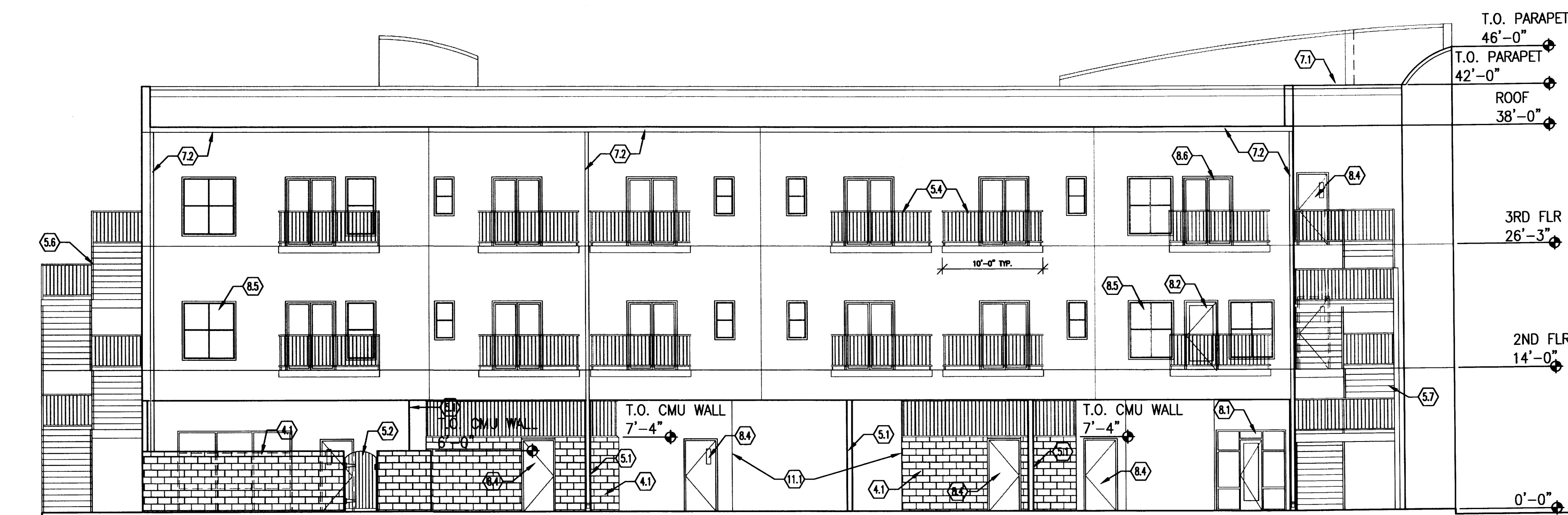
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. No part of this document may be reproduced or copied in any form without the prior written permission of the author.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: dm
REVISION: 1/ 5-20-14
2/ 6-15-14
DATE: 1-20-14

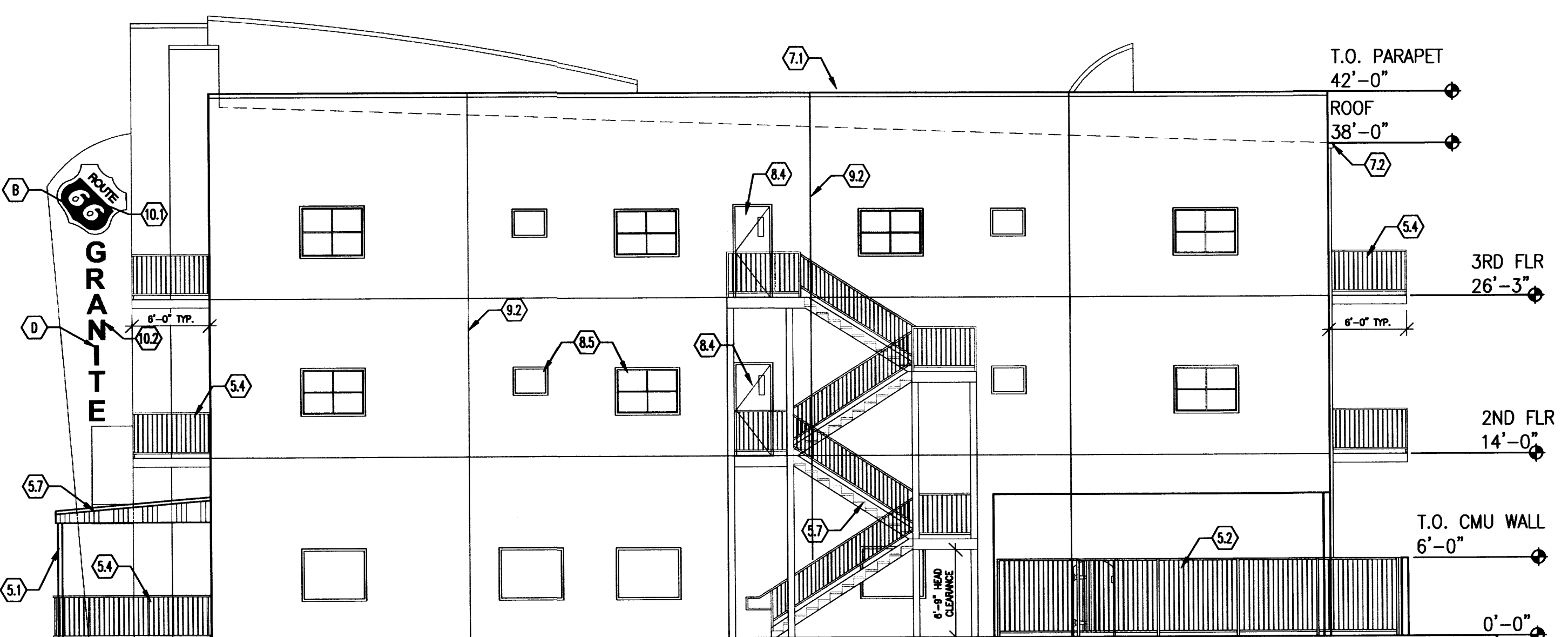
SHEET #
L1 OF L1



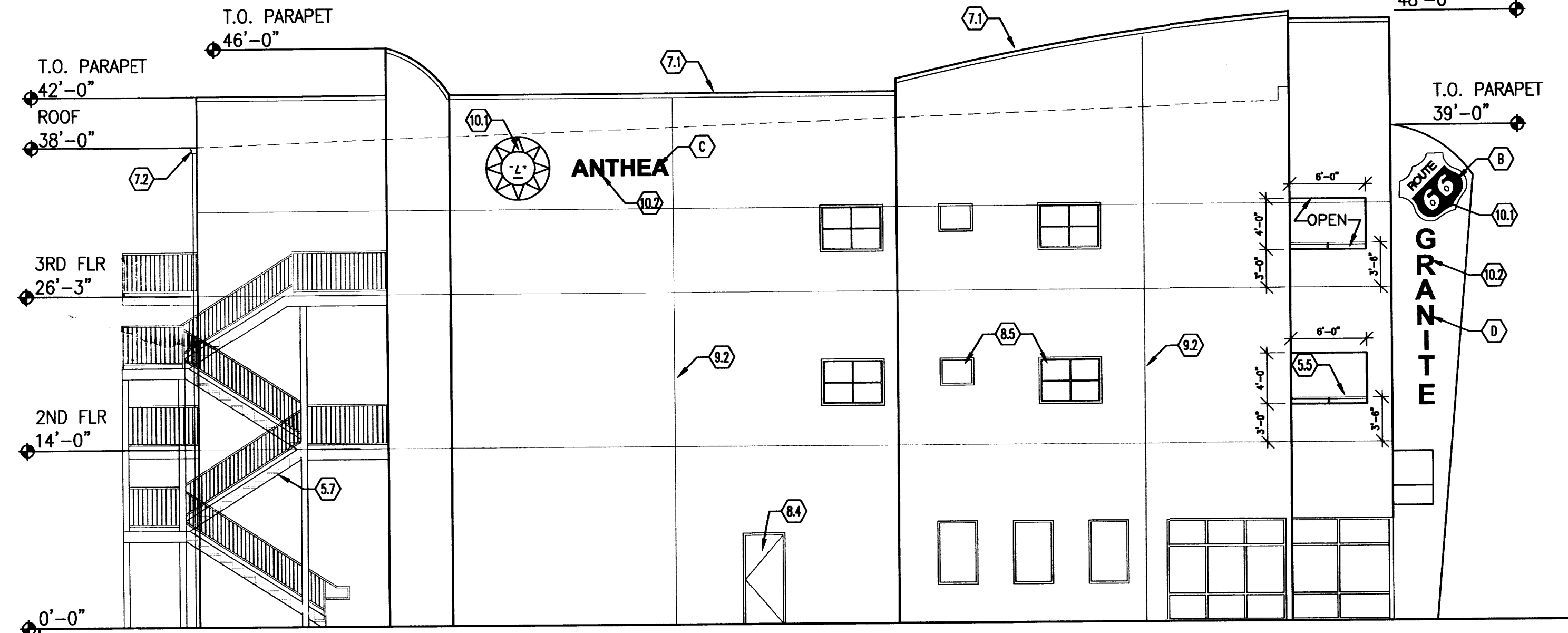
EAST ELEVATION
1/8" = 1'-0"

- KEYED NOTES**
- DIVISION 4 - MASONRY**
4.1 8" CMU SCREEN WALL WITH STUCCO FINISH
- DIVISION 5 - METALS**
5.1 TS COLUMNS - SEE STRUCTURAL, PAINT
5.2 6' HIGH WROUGHT IRON DECORATIVE FENCE
5.3 METAL GATE
5.4 42" H. METAL HANDRAIL SYSTEM PER CODE, PAINT
5.5 METAL HANDRAIL - PAINT
5.6 METAL STAIRS W/CONC. FILLED PANS - PAINT
5.7 24 GA. PRE-FINISHED METAL CANOPY
5.8 WROUGHT IRON DECORATIVE FENCE
- DIVISION 7 - THERMAL MOISTURE**
7.1 METAL CAP FLASHING - PAINT
7.2 24GA. METAL GUTTER & DOWNSPOUT - FINISH TO MATCH STUCCO
- DIVISION 8 - DOORS & WINDOWS**
8.1 INSULATED ALUM. STOREFRONT SYSTEM
8.2 ALUM. STOREFRONT DOOR
8.3 FOLDING GLAZED BI-PARTING DOORS
8.4 H.M. INSULATED DOOR W/VISION LITE - PAINT
8.5 VINYL INSULATED WINDOWS
8.6 SLIDING INSULATED GLASS DOOR
- DIVISION 9 - FINISHES**
9.1 3-COAT STUCCO FINISH SYSTEM
9.2 STUCCO EXPANSION JOINT
- DIVISION 10 - SPECIALTIES**
10.1 BACK LIGHTED LOGO
10.2 SURFACE MOUNTED LETTERS - COLOR BY OWNER

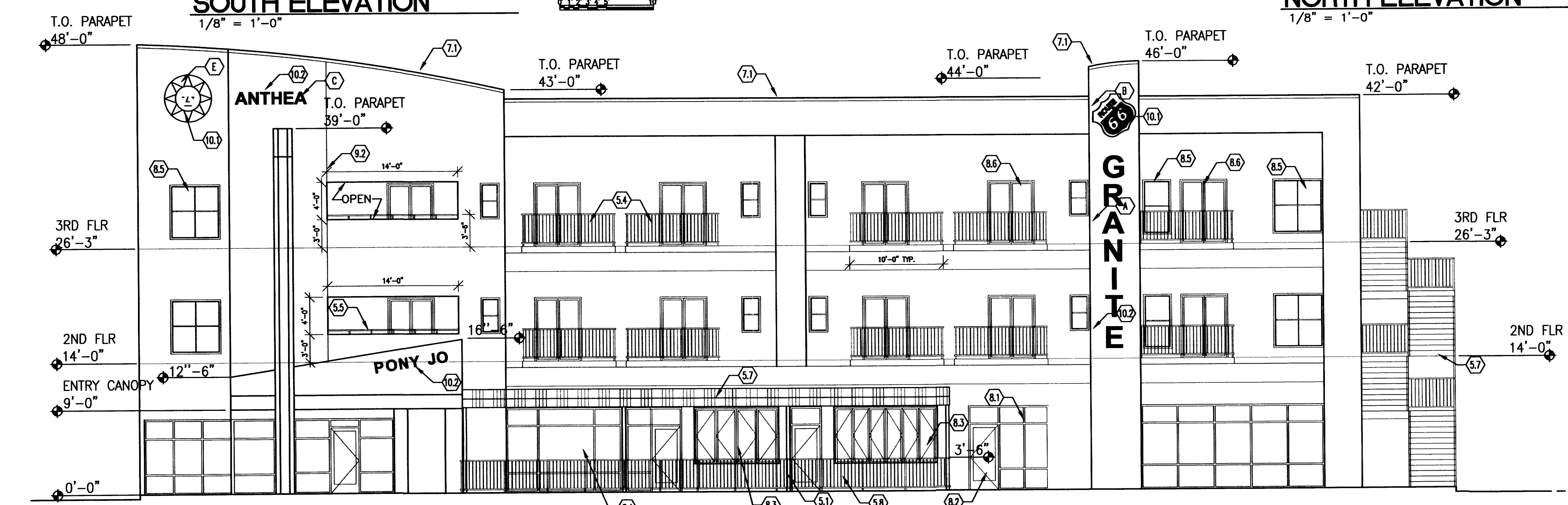
DIVISION 11 - EQUIPMENT
11.1 WALK-IN COOLER BY VENDOR



SOUTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

- SIGNAGE SF**
- A. SIGNAGE - 46 SF
 - B. LOGO 66 SIGNAGE - 20 SF
 - C. SIGNAGE - 11 SF
 - D. SIGNAGE - 18 SF
 - E. LOGO SUN SIGNAGE - 18 SF
- WEST ELEVATION FACADE 5,674 SF - 95 SF SIGNAGE = 2%
NORTH ELEVATION FACADE 4,239 SF - 39 SF SIGNAGE = 1%
SOUTH ELEVATION FACADE 4,239 SF - 39 SF SIGNAGE = 1%

ANTHEA 4TH AND GRANITE
ELEVATIONS
ALBUQUERQUE, NM
PROJECT #1388

REVISION DATE

STATE OF NEW MEXICO
RICHARD J. BENNETT
REGISTERED ARCHITECT

RBA
ARCHITECTURE
DESIGN
1100 PIMA AVE. SW
ALBUQUERQUE, NM 87102
505.263.1111
www.rbaarch.com

DATE
06-5-2014

SHEET NUMBER
A-5.0