

SITE DATA:
 LEGAL DESCRIPTION: TRACT 4B, UNIT A BLOCK 19, NORTH ALBUQUERQUE ACRES
 SITE AREA: 8.60 AC.
 PROPOSED LAND USE: SENIOR INDEPENDENT LIVING FACILITY WITH 130 UNITS, INCLUDING ONE MANAGER UNIT AND ONE GUEST UNIT.

BUILDING AREA: 180,000 S.F. TOTAL
 MAXIMUM TOTAL BUILDING HEIGHT: 52 FEET.
 PARKING: REQUIRED MINIMUM PARKING: 1 SPACE PER UNIT.
 TOTAL PARKING REQUIRED: 130
 TOTAL PROVIDED PARKING: 126 SURFACE; 42 GARAGES = 169 TOTAL
 HANDICAPPED REQUIRED: 8
 HANDICAPPED PROVIDED: 8
 MOTORCYCLE PARKING REQUIRED: 3
 MOTORCYCLE PARKING PROVIDED: 3
 BICYCLE REQUIRED: 7
 BICYCLE PROVIDED: 7

PROJECT NUMBER: 1010144
 Application Number: 14EPC-40045

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated August 14, 2014, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] 10-29-14 Date
 Engineering, Transportation Division

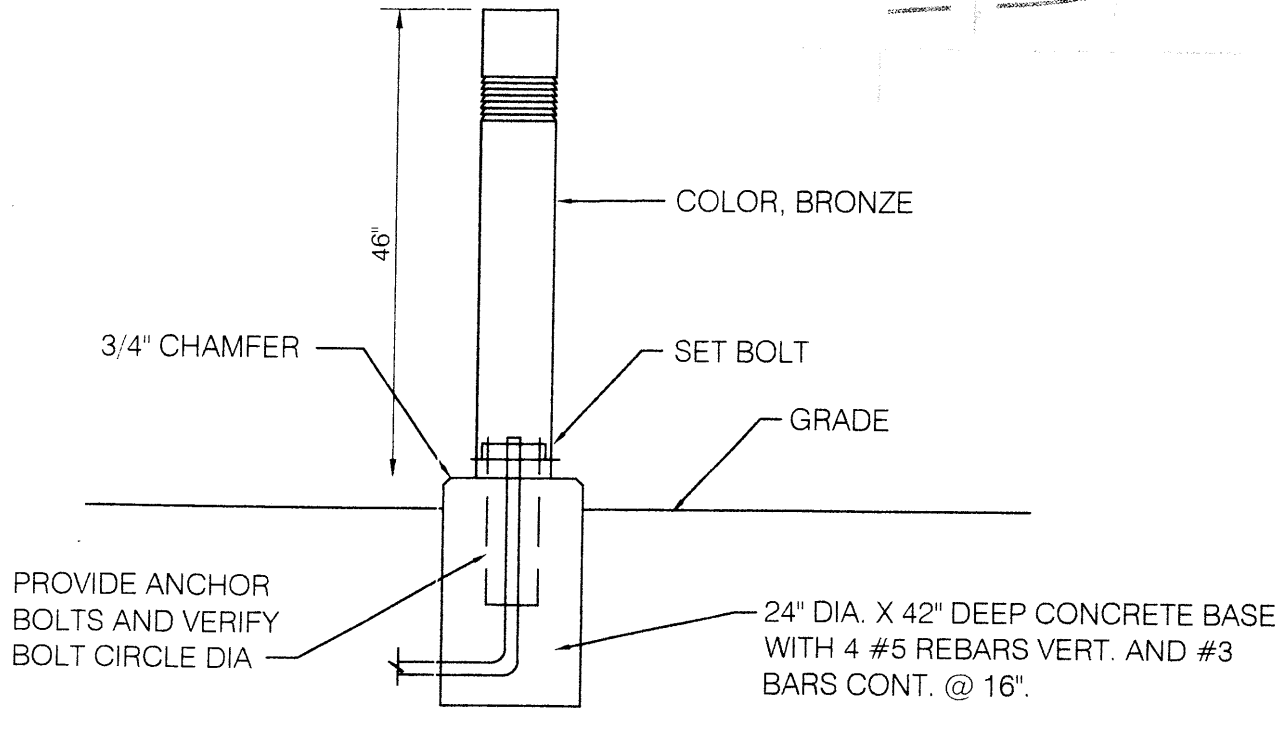
[Signature] 10/29/14 Date
 ABCWUA

[Signature] 10/29/14 Date
 Parks and Recreation Department

[Signature] 10-30-14 Date
 City Engineer

[Signature] 10-14-14 Date
 Solid Waste Management

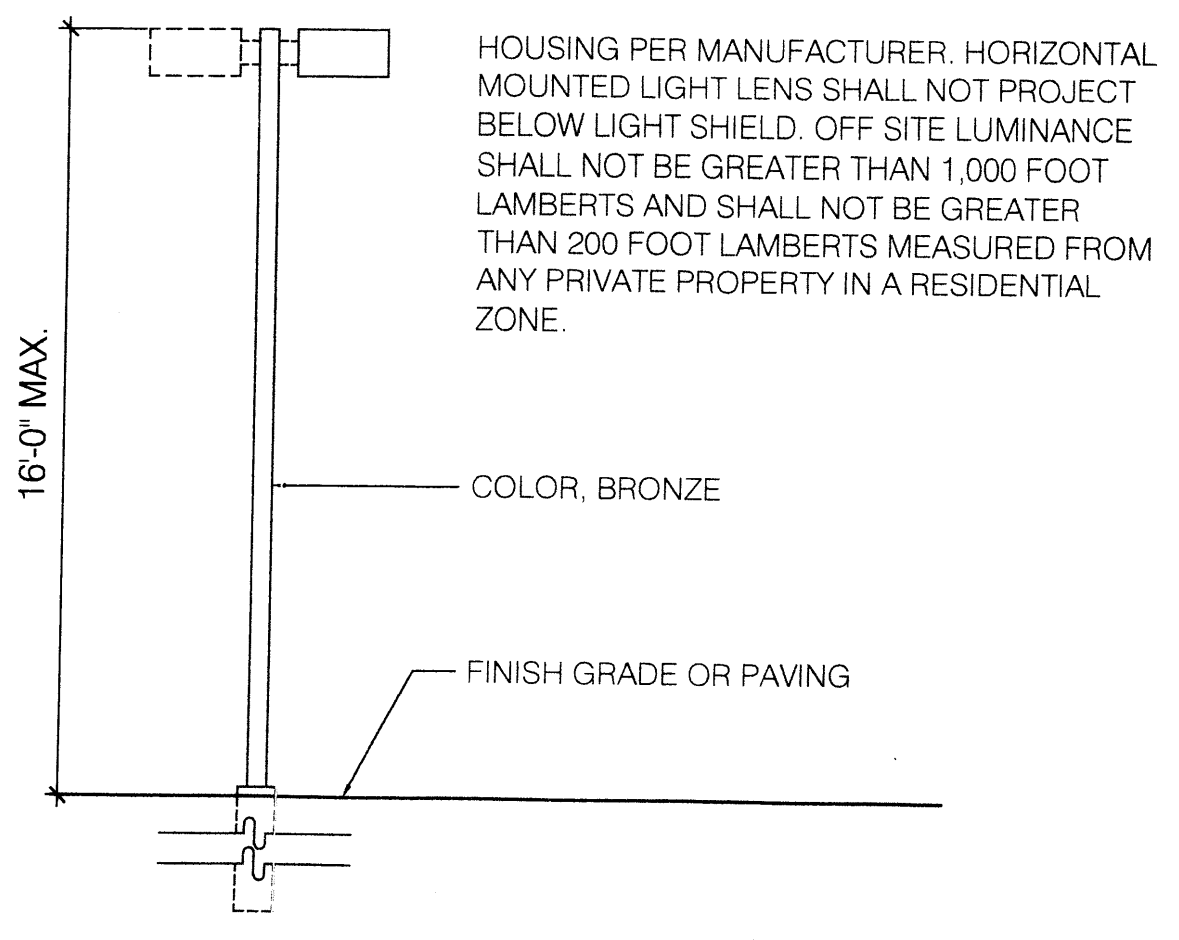
[Signature] 10-30-14 Date
 DRB Chairperson, Planning Department



BOLLARD LIGHT FIXTURE DETAIL Not to Scale

- KEY NOTES**
- PROPERTY LINE
 - RETAINING WALL (SEE GRADING/DRAINAGE SHEET)
 - TRASH ENCLOSURE
 - ADA ACCESSIBLE CONCRETE SIDEWALK-WIDTH VARIES (6' MINIMUM)
 - 6" CONCRETE SIDEWALK (NON-ADA)
 - 6" COLORED, TEXTURED PEDESTRIAN CROSSING, TYP.
 - HANDICAP SIGN, TYP. (12"x18" MOUNTED ON POLE)
 - PRECAST CONCRETE WHEEL STOPS
 - OUTDOOR PATIOS
 - SANTA MONICA MONUMENT SIGN (FOR INFORMATION ONLY, SEE SITE PLAN FOR SUBDIVISION)
 - BICYCLE RACK (3 SPACES)
 - GARAGES
 - FIRE HYDRANT
 - MOTORCYCLE PARKING W/SIGN
 - 4" PERIMETER FENCE/WALL (SEE SITE PLAN FOR SUBDIVISION)
 - LIGHT POLE, TYP.
 - PROJECT MONUMENT SIGN (SEE BUILDING ELEVATION SHEET)
 - DRIVEWAY TO BE REMOVED
 - BOLLARD LIGHTS
 - PROPOSED NEW 6" SIDEWALK
 - PROPOSED NEW 5" SIDEWALK
 - EXISTING SIDEWALK (TO BE REMOVED)
 - EXISTING BUS STOP

- GENERAL NOTES:**
- ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA REGULATIONS.
 - ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
 - RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE SHEET.
 - ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
 - PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
 - ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
 - CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).



LIGHT FIXTURE DETAIL Not to Scale

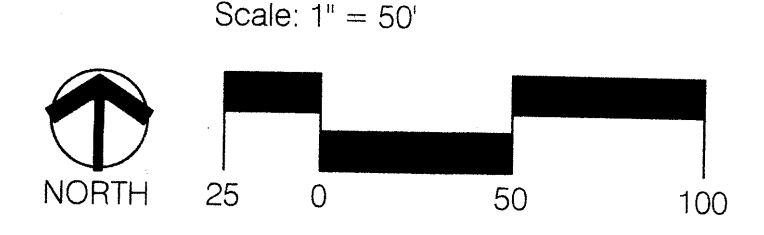
RESORT LIFESTYLE COMMUNITIES

@ SANTA MONICA PLACE

SITE PLAN FOR BUILDING PERMIT

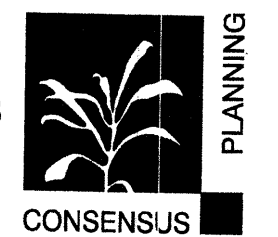
Prepared For:
 Resort Lifestyle Communities
 8040 Eiger Drive
 Lincoln, NE 68516

Prepared By:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102



OCTOBER 14, 2014

Isaacson & Arfman, P.A.
 128 Monroe Street NE
 Albuquerque, NM 87108

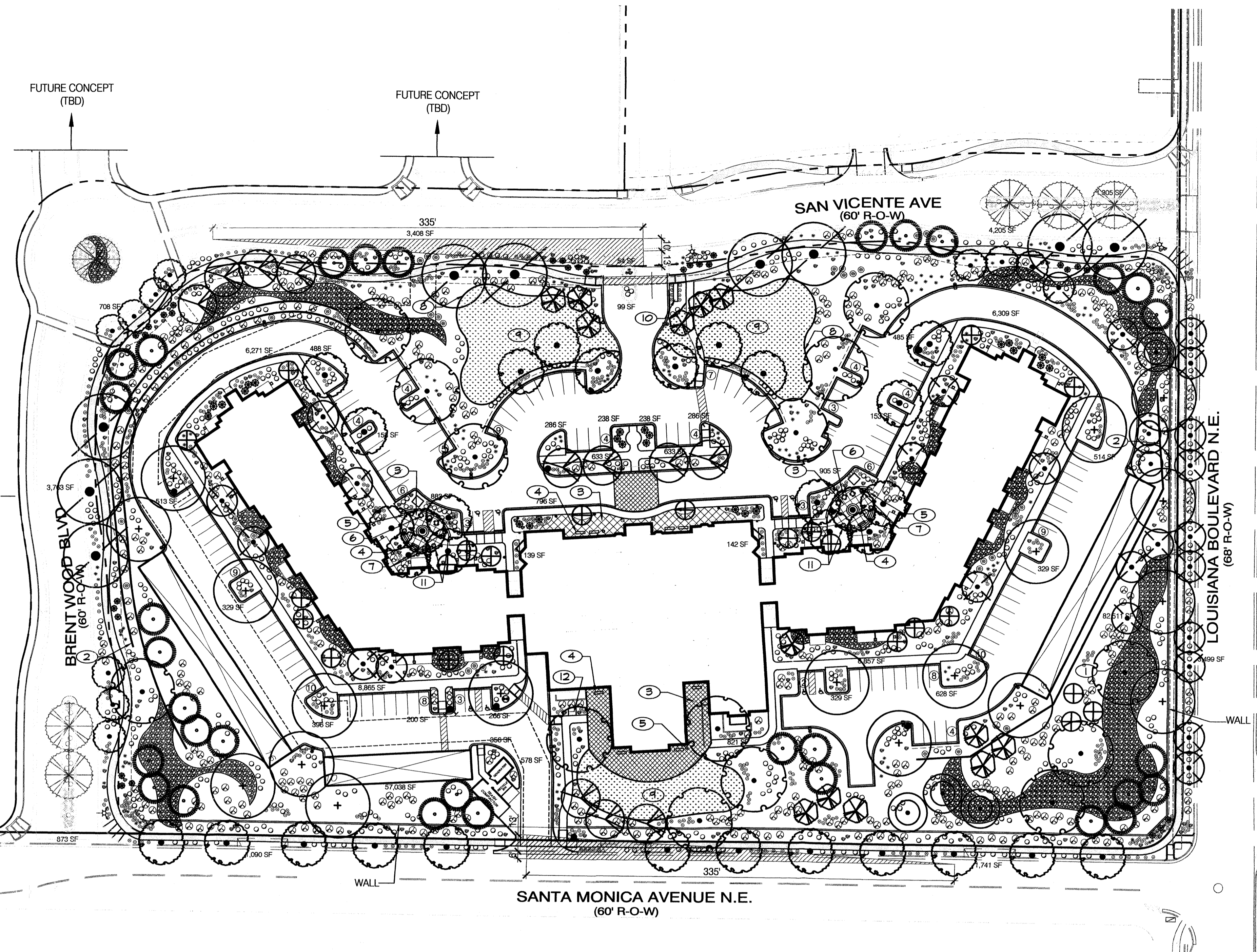


1010144

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
15		ACER TARTARICUM 'HOT WINGS' HOT WINGS MAPLE	2" B&B	10' HT. X 4' SPR. 20' HT. X 24' SPR.	MED
13		ALBIZIA JULIBRISSIN ROSEA MIMOSA	2" B&B	8' HT. X 4' SPR. 20' HT. X 20' SPR.	LOW
6		CATALPA SPECIOSA CATALPA	2" B&B	12' HT. X 5' SPR. 40' HT. X 40' SPR.	MED
24		FRAXINUS OXYCARPA RAYWOOD ASH	2.5" B&B	16' HT. X 6' SPR. 35' HT. X 35' SPR.	LOW
15		GLEDITSIA TRIANCANTHOS HONEY LOCUST	2" B&B	10' HT. X 4' SPR. 60' HT. X 50' SPR.	MED
42		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET ROCKY MTN. JUNIFER	B&B	10' MIN HT. 20' HT. X 5' SPR.	MED
6		KOELREUTERIA PANICULATA GOLDEN RAIN TREE	2" B&B	16' HT. X 6' SPR. 30' HT. X 30' SPR.	MED
23		LAGERSTROEMIA INDICA 'FAURIEI' CRAPE MYRTLE "ZUNI"	15-GAL.	8' HT. X 4' SPR. 15' HT. X 15' SPR.	MED
24		PINUS NIGRA AUSTRIAN PINE	B&B	6' MIN HT. 35' HT. X 25' SPR.	MED
24		PISTACHIA CHINENSIS CHINESE PISTACHE	2" B&B	10' HT. X 5' SPR. 50' HT. X 50' SPR.	MED+
10		PYRUS CALLERYANA 'CLEVELAND' FLOWERING PEAR	2.5" B&B	14' HT. X 5' SPR. 25' HT. X 20' SPR.	MED
4		PLATANUS A. BLOODGOOD LONDON PLANE TREE	2.5" B&B	16' HT. X 6' SPR. 60' HT. X 50' SPR.	MED
11		ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	2" B&B	14' HT. X 6' SPR. 45' HT. X 30' SPR.	MED
LARGE SHRUBS					
		BACCHARIS SAROTHOIDES DESERT BROOM	5-GAL.	6' O.C. 6' HT. X 6' SPR.	LOW
		ELAEAGNUS FUNGENS SILVERBERRY	5-GAL.	8' O.C. 6' HT. X 10' SPR.	MED.
		GARRYA WRIGHTII WRIGHT'S SILK TASSEL	5-GAL.	5' O.C. 5' HT. X 5' SPR.	LOW
		PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5-GAL.	6' O.C. 4' HT. X 5' SPR.	LOW
		SYRINGA SPP. LILAC	5-GAL.	6' O.C. 6' HT. X 5' SPR.	MED
MEDIUM SHRUBS					
		LAVANDULA ANGSTIFOLIA ENGLISH LAVENDER	1-GAL.	3' O.C. 3' HT. X 3' SPR.	MED
		SPOROBOLUS WRIGHTII GIANT SACATON	5-GAL.	6' O.C. 8' HT. X 6' SPR.	MED
		BUXUS SPP. BOXWOOD	5-GAL.	5' O.C. 4' HT. X 4' SPR.	MED
		CALAMAGROSTIS A. 'KARL FOERSTER' KARL FOERSTER REED GRASS	1-GAL.	2' O.C. 4' HT. X 2' SPR.	MED
		MULHBERGIA CAPILLARIS REGAL MIST	1-GAL.	3' O.C. 3' HT. X 3' SPR.	MED
		PANICUM VIRSATUM SWITCH GRASS	1-GAL.	3' O.C. 4' HT. X 3' SPR.	MED+
		POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 3' HT. X 3' SPR.	LOW+
		RHAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL.	5' O.C. 3' HT. X 3' SPR.	MED
SMALL SHRUBS & GROUNDCOVERS					
		VINCA MAJOR GIANT PERIWINKLE	1-GAL.	4' O.C. 2' HT. X 4' SPR.	MED
		ERYSIMUM 'BOULES MAUVE' BOULES MAUVE WALLFLOWER	1-GAL.	2' O.C. 2' HT. X 2' SPR.	MED+
		HELICHRYSUM AUGUSTIFOLIA CURRY PLANT	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
		NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA	1-GAL.	2' O.C. 2' HT. X 2' SPR.	MED
		RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC	1-GAL.	4' O.C. 2' HT. X 4' SPR.	LOW+
		SEDUM TELEPHIUM AUTUMN JOY SEDUM	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW+
		ZAUSCHNERIA CALIFORNICA HUMMINGBIRD PLANT	1-GAL.	3' O.C. 2' HT. X 3' SPR.	LOW
* DESERT ACCENTS					
		DASYLIRION WHEELERI SOTOL	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW
⊙ VINES					
		LONICERA SEMPERVIRENS CORAL HONEYSUCKLE	1-GAL.	5' O.C. 5-10' SPR.	LOW
		ROSA BANKSIAE LADY BANKS ROSE	5-GAL.	20' O.C. 10-15' SPR.	MED
BOULDERS, MULCHES, AND TURF					
		MOSS ROCK BOULDERS (3'X3' MIN)			
		3/8"-5/8" GRAVEL MULCH, INCLUDING COLORS: NEW MEXICO TRAVERTINE AMARETTO BROWN AND TULAROSA CRUSHED OR EQUIVALENT (3" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
		2"-4" COBBLE STONE, COLOR: NEW MEXICO TRAVERTINE AMARETTO BROWN RIP RAP (6" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
		PARKBLEND SOD (KENTUCKY BLUEGRASS/FESCUE MIX)			

- KEY NOTES**
- 1 WATER HARVESTING AREA (SEE GRADING/DRAINAGE SHEET).
 - 2 RETAINING WALL (SEE GRADING/DRAINAGE SHEET).
 - 3 PLAZA WITH PATTERNED/COLORED CONCRETE.
 - 4 6' BENCH WITH BACK (TYP).
 - 5 TRASH RECEPTACLE (TYP).
 - 6 PICNIC TABLE WITH SEATS (TYP).
 - 7 FLOWER POTS (TYP).
 - 8 COLORED CONCRETE MONSTRIP.
 - 9 TURF AREA.
 - 10 MONUMENT SIGN (SEE SITE PLAN).
 - 11 SEAT WALL (SEE SITE PLAN).
 - 12 BIKE RACK.



GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 3/8"-5/8" AMARETTO BROWN ROCK MULCH AND 2"-4" AMARETTO BROWN RIP RAP MULCH.

IRRIGATION
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. TURF VALVES WILL BE OPERATED TO PROVIDE 1/2" OF WATER PER CYCLE (PEAK SEASON).

WATER HARVESTING
 SEE GRADING AND DRAINAGE PLAN FOR WATER HARVESTING FEATURES.

RESPONSIBILITY OF MAINTENANCE
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO BACK OF CURB.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENINGS WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA:	374,616 SF (8.6 AC)
BUILDING AREA (BUILDING ENVELOPE):	- 80,188 SF
NET AREA:	293,828 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 44,074 SF

ON-SITE	163,024 SF (55%)
OFF-SITE (R.O.W.)	20,542 SF

LANDSCAPE LIVE VEGETATIVE COVERAGE
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE RLC PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE (OF THE 15%) IN THE LANDSCAPE AREAS.

LANDSCAPE TURF
 ONLY 20% OF LANDSCAPED AREAS MAY BE HIGH WATER-USE TURF.

TURF LIMIT: 32,605 SF
 TURF PROVIDED: 18,019 SF (8% OF LANDSCAPED AREA)

PARKING LOT TREES
 THE RLC AT SANTA MONICA PROJECT IS PROVIDING 171 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 17
 PARKING LOT TREES PROVIDED: 31

STREET TREES
 THE LOUISIANA BOULEVARD FRONTAGE IS 444'. DUE TO OVERHEAD POWER LINES AND PNM REQUIREMENTS, SMALLER ACCENT TREES ARE BEING USED UNDERNEATH THE LINES, WITH LARGER SHADE TREES SET BACK FROM THE LINES. THE AVERAGE SPACING OF THE TWO TREES USED IS 35' O.C.

STREET TREES REQUIRED: 13 TREES
 STREET TREES PROVIDED: 14 TREES

SITE TREES
 TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY TWO SECOND FLOOR UNITS. NO ADDITIONAL TREES ARE REQUIRED FOR UNITS ABOVE SECOND STORY. RLC AT SANTA MONICA IS PROVIDING 31 FIRST FLOOR UNITS AND 46 SECOND STORY UNITS.

SITE TREES REQUIRED: 60
 SITE TREES PROVIDED: 185

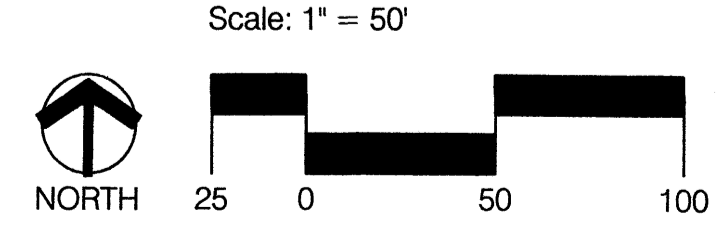
RESORT LIFESTYLE COMMUNITIES

@ SANTA MONICA PLACE

LANDSCAPE PLAN

Prepared For:
 Resort Lifestyle Communities
 8040 Eiger Drive
 Lincoln, NE 68516

Prepared By:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102



OCTOBER 14, 2014

Isaacson & Arfman, P.A.
 128 Monroe Street NE
 Albuquerque, NM 87108



DRAINAGE CONCEPT

THE DRAINAGE MASTER PLAN (DMP) BY ISAACSON & ARFMAN, P.A., DATED OCTOBER 9, 2014, OUTLINED DRAINAGE REQUIREMENTS FOR EACH TRACT WITHIN SANTA MONICA PLACE (TRACTS 3A, 3B, 4A & 4B). THIS PROPERTY IS TRACT 4B WITH LAND TREATMENTS ESTIMATED AT 15% AND 50% D.

PER THE DMP, TRACT 4B SHALL BE ALLOWED TO DISCHARGE 30.9 CFS INTO THE STORM DRAIN SYSTEM CONNECTING TO THE DERICKSON AVE. STORM DRAIN. THE ONSITE STORM DRAIN SHALL CONNECT TO AN 18" RCP STORM DRAIN THAT SHALL BE INSTALLED WITH THE PUBLIC WORK ORDER FOR THE CONSTRUCTION OF BRENTWOOD BLVD. AND SAN VICENTE AVE. A TEMPORARY STANDPIPE SHALL ALSO BE INSTALLED WITH THE WORK ORDER TO CAPTURE UNDEVELOPED FLOWS FROM TRACT 4B. THE FLOWS WILL DISCHARGE NORTH OF THE ROUNDABOUT TO AN EXISTING CHANNEL WHICH DIRECTS THE FLOW TO THE EXISTING POND AT THE NORTHWEST CORNER OF TRACT 3A WITH A STANDPIPE THAT WILL BE CONSTRUCTED WITH CPN 689984. EROSION PROTECTION AT THE OUTFALL NORTH OF THE ROUNDABOUT SHALL BE INSTALLED WITH THE PUBLIC WORK ORDER.

UPON DEVELOPMENT OF TRACT 4B, THE TEMPORARY STANDPIPE SHALL BE REMOVED AND THE ONSITE STORM DRAIN SHALL BE CONNECTED TO THE EXISTING 18" STORM DRAIN AT THE NORTHWEST CORNER OF THE SITE. THE FLOWS WILL CONTINUE TO BE DIRECTED TO THE EXISTING POND WITH STANDPIPE AT THE NORTHWEST CORNER OF TRACT 3.

THE PROPOSED ON-SITE PRIVATE STORM DRAIN SYSTEM WILL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL.

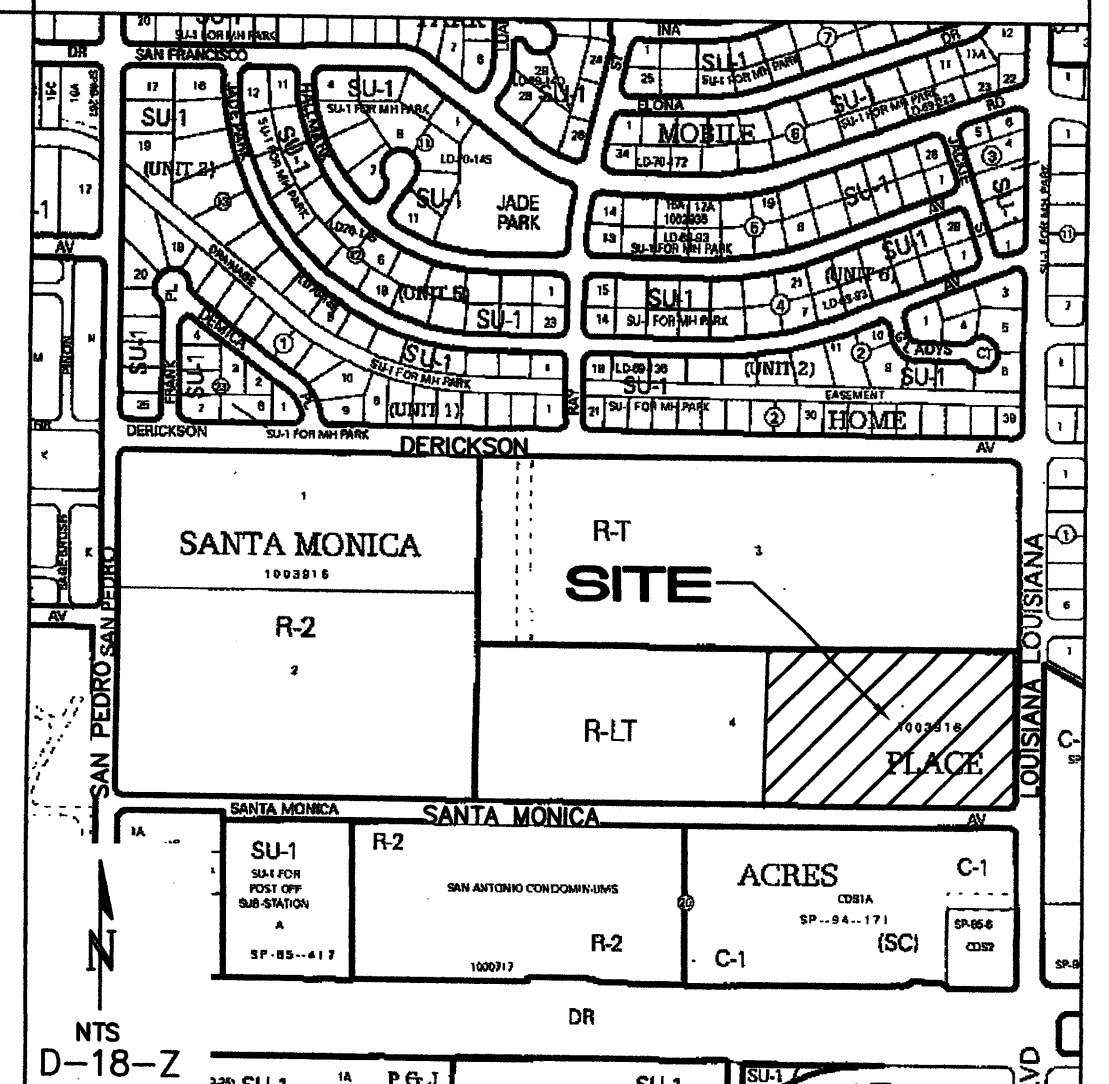
STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE PONDING VOLUME REQUIRED IS 0.34" * TYPE 'D' AREA: 0.34/12 * 5 * 8.62 AC * 43560 = 5,320 CF

THERE ARE 'FIRST FLUSH' RETENTION BASIN AREAS THROUGHOUT THE SITE (HATCHED AREAS). STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS (LABELED CO). INLETS THAT ARE PLACED IN THE BASINS SHALL BE RAISED AND HAVE THE TOP OF GRATE LOCATED AT THE 'FIRST FLUSH' WATER SURFACE ELEVATION.

THE 'FIRST FLUSH' BASIN VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL. CURB OPENING LOCATIONS ARE SHOWN CONCEPTUALLY AND SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.

VICINITY MAP



PROJECT DATA

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED MOBILE HOME PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY SANTA MONICA AVE. NE, TO THE WEST BY APARTMENTS (TRACT 1), TO THE EAST BY LOUISIANA BLVD. AND TO THE NORTH BY UNDEVELOPED PROPERTY (TRACT 3).

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 65,000 SF RETIREMENT COMMUNITY WITH THREE GARAGE PARKING BUILDINGS, ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

EXISTING LEGAL: THE EASTERN PORTION OF TRACT 4, SANTA MONICA PLACE, ALBUQUERQUE, NM

PROPOSED LEGAL: TRACT 4B, SANTA MONICA PLACE, ALBUQUERQUE, NM

AREA: 8.62± ACRES

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

LEGEND

- CONCEPTUAL STORM DRAIN
- PROPOSED FLOW DIRECTION
- F.F. = PROPOSED FINISH FLOOR ELEVATION
- ⊙ PROPOSED WATER HARVESTING BASIN (6" D)
- ⊙ PROPOSED CURB OPENING
- ▨ FIRST FLUSH RETENTION BASIN
- ▬ PROPOSED RETAINING WALL

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.isaacteam.com

2051 CG-101-CONCEPTUAL.dwg Oct 24, 2014

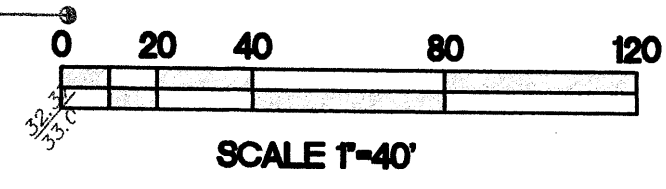
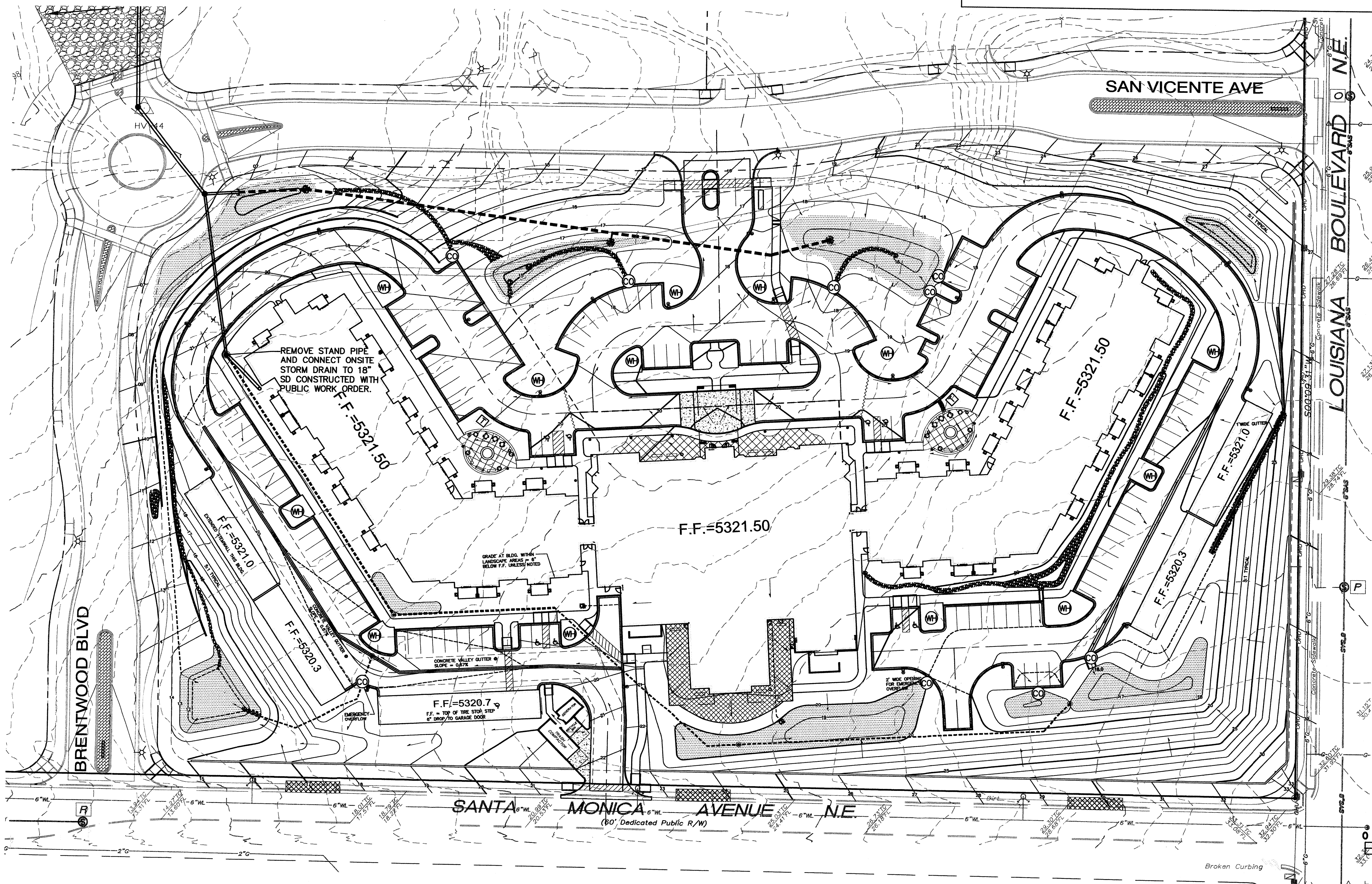
This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

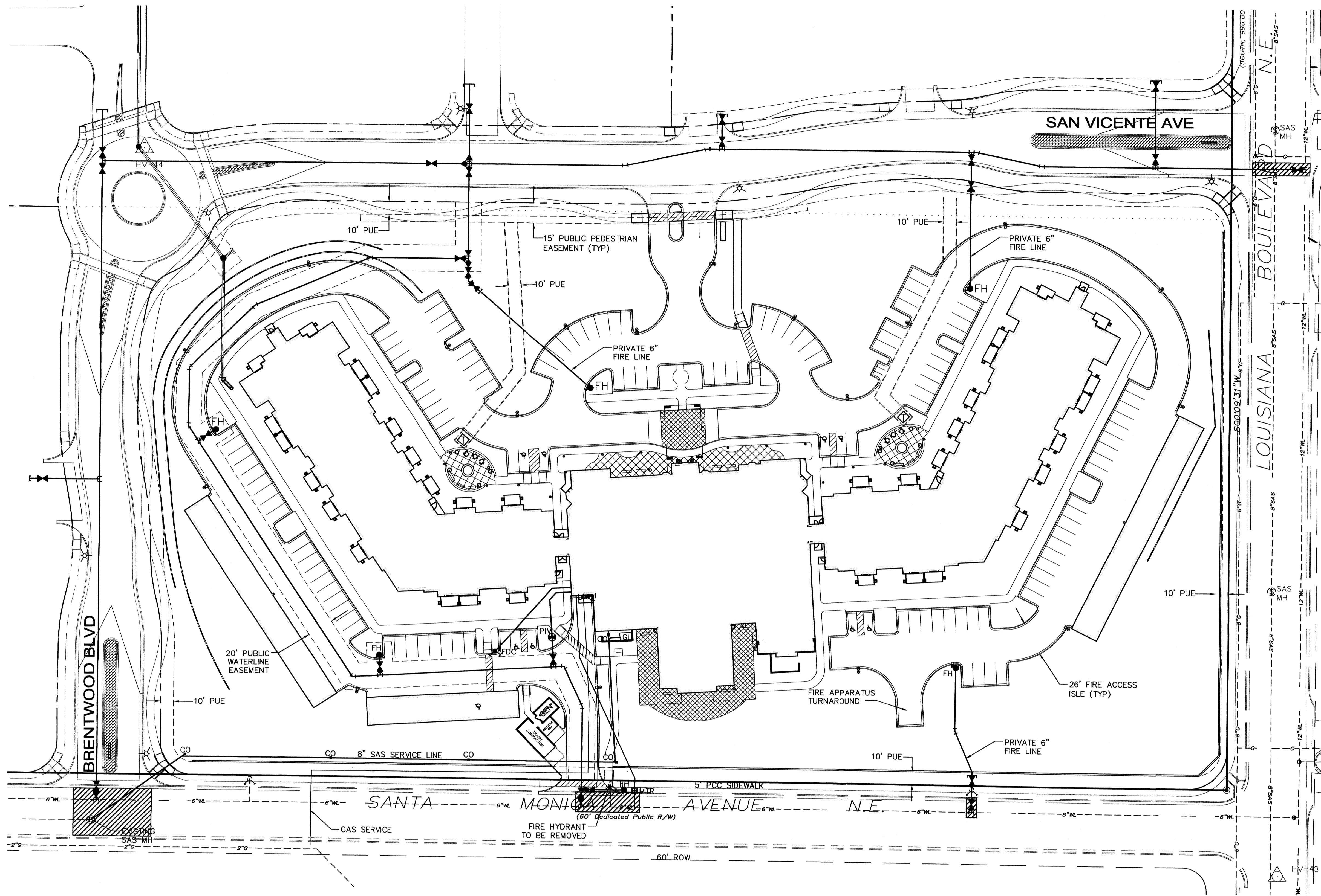
RESORT LIFESTYLES COMMUNITIES
 CAMERON GENERAL CONTRACTORS
 TRACT 4B, SANTA MONICA PLACE

CONCEPTUAL GRADING & DRAINAGE PLAN

Date: 9/22/14	No. Revision:	Date:	Job No. 2051
Drawn By:			CRAGE
Chk By: FCA			SH3 OF 10

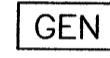






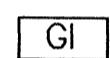
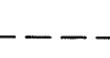
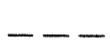
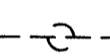
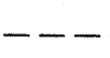
TO SURFACE SWALE TO EXISTING POND AND S.D. STANDPIPE (BY MASTER DEVELOPER)

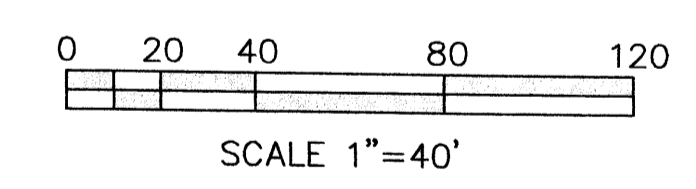
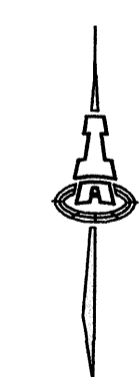




NOTES:
 1. ALL UTILITIES WITHIN THE SAN VICENTE AVE. ROW AND THE 20' PUBLIC WATERLINE EASEMENT SHALL BE CONSTRUCTED UNDER A CITY OF ALBUQUERQUE PUBLIC WORK ORDER.
 2. FIRE HYDRANT LOCATIONS HAVE BEEN APPROVED BY THE CITY OF ALBUQUERQUE FIRE DEPARTMENT ON MAY 19, 2014.

ABBREVIATIONS / LEDGEND

- GEN  GENERATOR
- T  TRANSFORMER
- FH  FIRE HYDRANT
- MTR  WATER METER
- PIV  POST INDICATOR VALVE
- FDC  FIRE DEPARTMENT CONNECTION
- CO  SEWER CLEANOUT
- GI  GREASE INTERCEPTOR
- 6"WL  EXISTING 6" WATERLINE
- 12"WL  EXISTING 12" WATERLINE
- 8"SAS  EXISTING 8" SEWER LINE
- 6"G  EXISTING 6" GAS LINE



ISACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.iactoil.com

2051 CU-101-Conceptual.dwg Oct 13, 2014

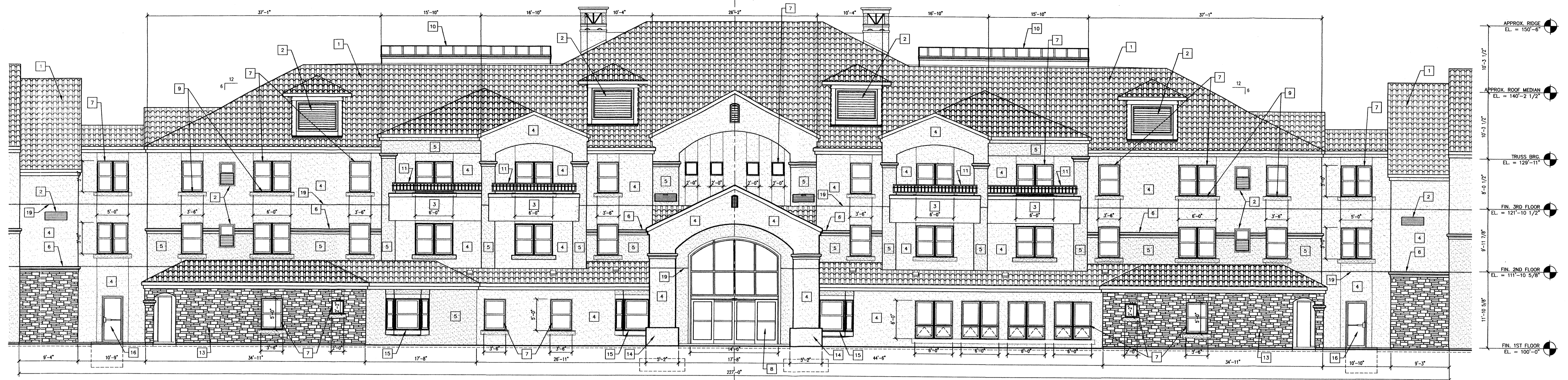
This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

RESORT LIFESTYLES COMMUNITIES
 CAMERON GENERAL CONTRACTORS
 TRACT 4A, SANTA MONICA PLACE

CONCEPTUAL UTILITY PLAN

Date:	No.	Revision:	Date:	Job No.
9/10/14				2051
Drawn By:				CU-101
DEC				
Ckd By:				
FCA				SH4 OF 10

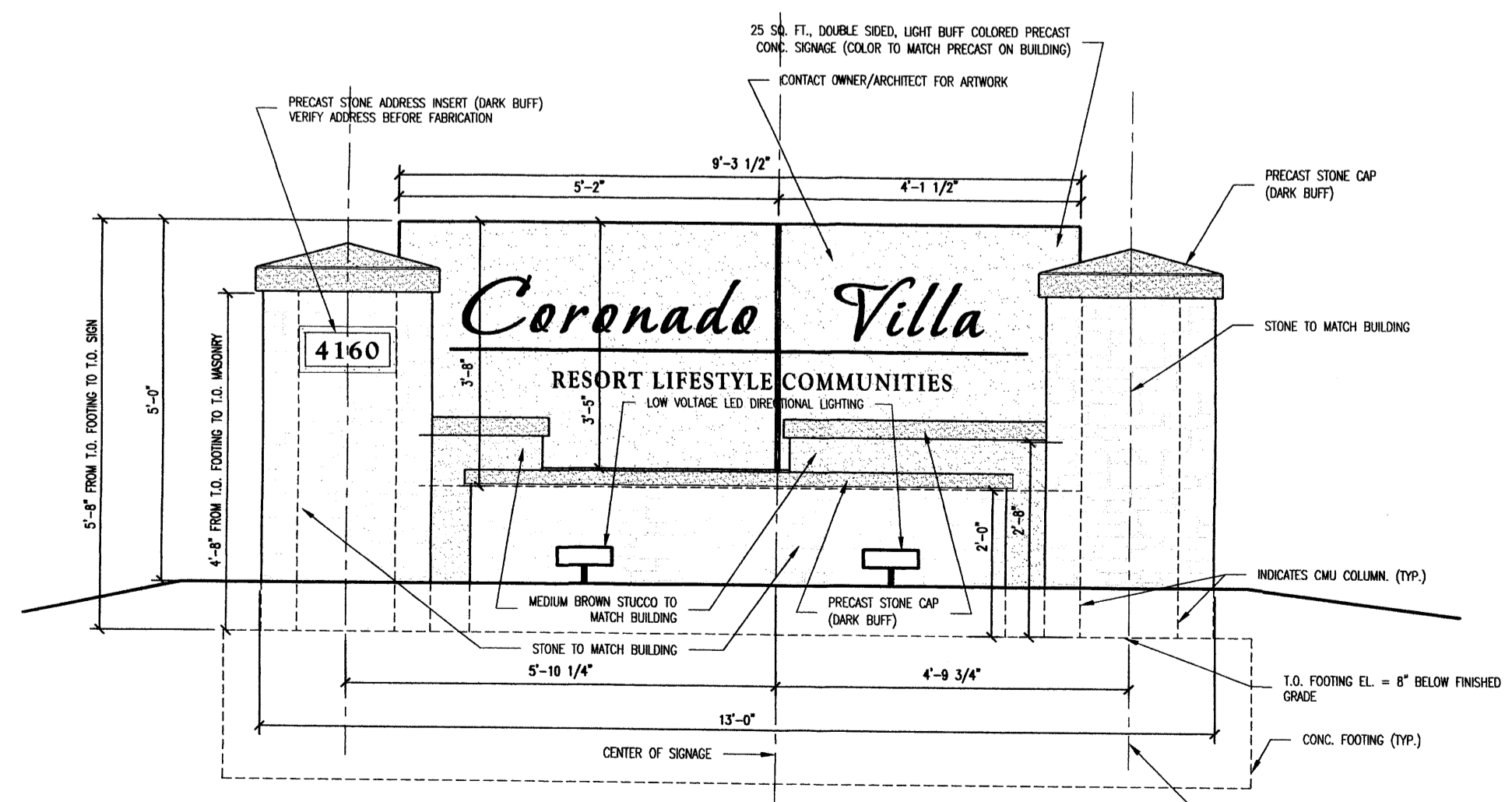
M:\PROJECTS\2000-2099\2051\DWG\2051_CU-101-Conceptual.dwg - 10/13/2014 3:57:26 PM - thor



2 Front Elevation - Core (North)
SCALE: 1/8" = 1'-0"



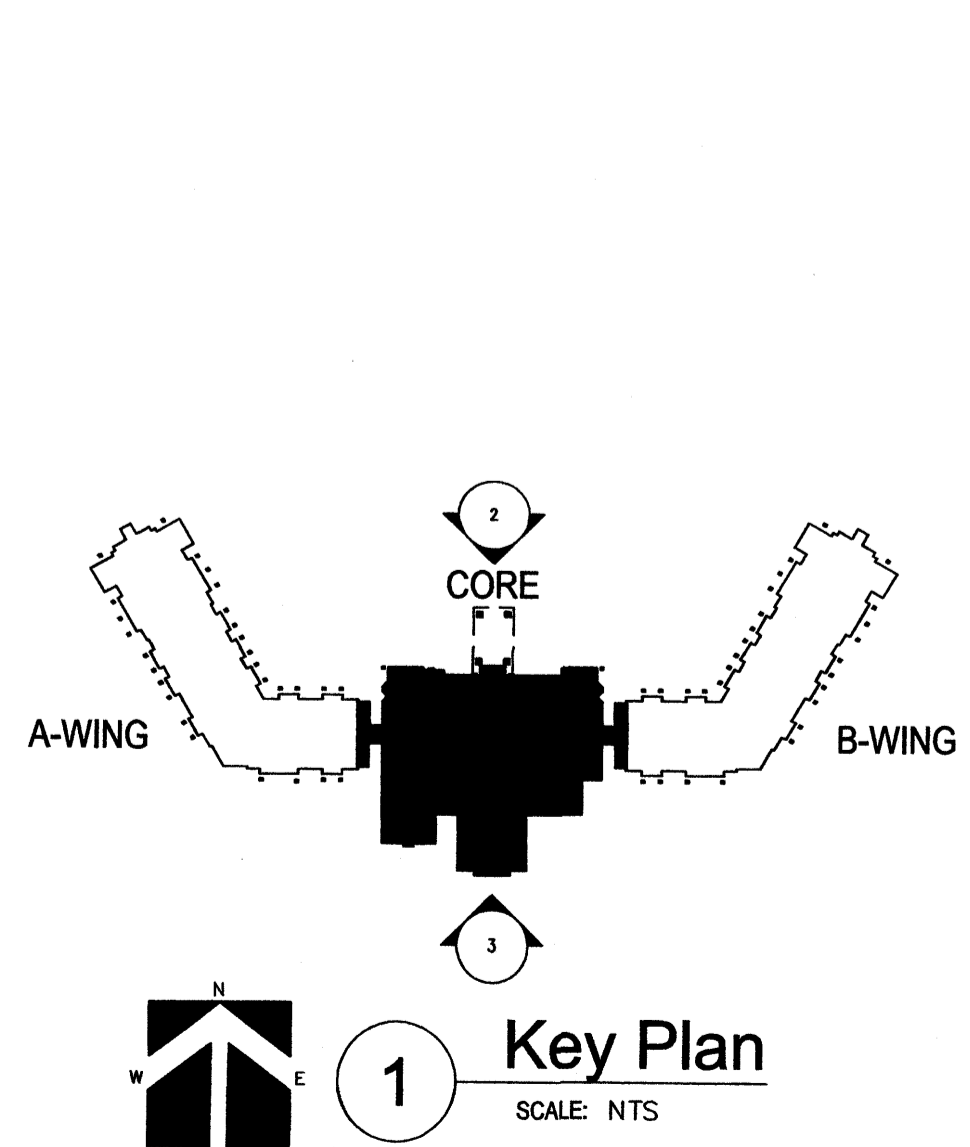
3 Rear Elevation - Core (South)
SCALE: 1/8" = 1'-0"



4 Sign Elevation
SCALE: 1/8" = 1'-0"

KEYED NOTES

- 1 CONCRETE 1/2" TILE ROOF - TERRA COTTA BLEND
- 2 NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
- 3 STUCCO 1 - ALMOND
- 4 STUCCO 2 - LIGHT BROWN
- 5 STUCCO 3 - MEDIUM BROWN
- 6 PROJECTED STUCCO FOAM TRIM - DARK BROWN
- 7 VINYL FRAME WINDOW - ALMOND
- 8 ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
- 9 PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
- 10 KALKWALL SKYLIGHT - TRANSLUCENT WHITE COLOR
- 11 METAL RAILING - BLACK
- 12 METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
- 13 STONE - BUFF/BROWN BLEND
- 14 STUCCO PIER - LIGHT BROWN
- 15 VINYL SKY WINDOW - ALMOND
- 16 ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
- 17 SCREEN MALL - STUCCO FINISH - ALMOND
- 18 VINYL SLIDING DOOR AND FRAME - ALMOND
- 19 DECORATIVE REVEAL IN STUCCO
- 20 OVERHEAD STEEL GARAGE DOOR - ALMOND
- 21 PPK BOLLARD - WHITE
- 22 PRECAST CONCRETE CAP - BUFF
- 23 STEEL GAZE - ALMOND
- 24 STAINED/SEALED WOOD PERGOLA



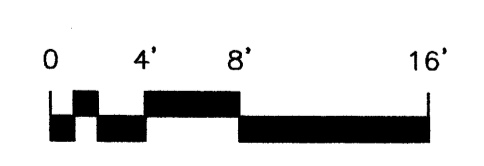
RESORT LIFESTYLE COMMUNITIES

@ SANTA MONICA PLACE

BUILDING ELEVATIONS

Prepared For:
Resort Lifestyle Communities
8040 Eiger Drive
Lincoln, NE 68516

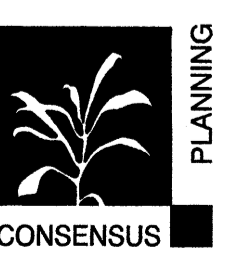
Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102



SCALE: 1/8" = 1'-0"

JUNE 26, 2014

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108





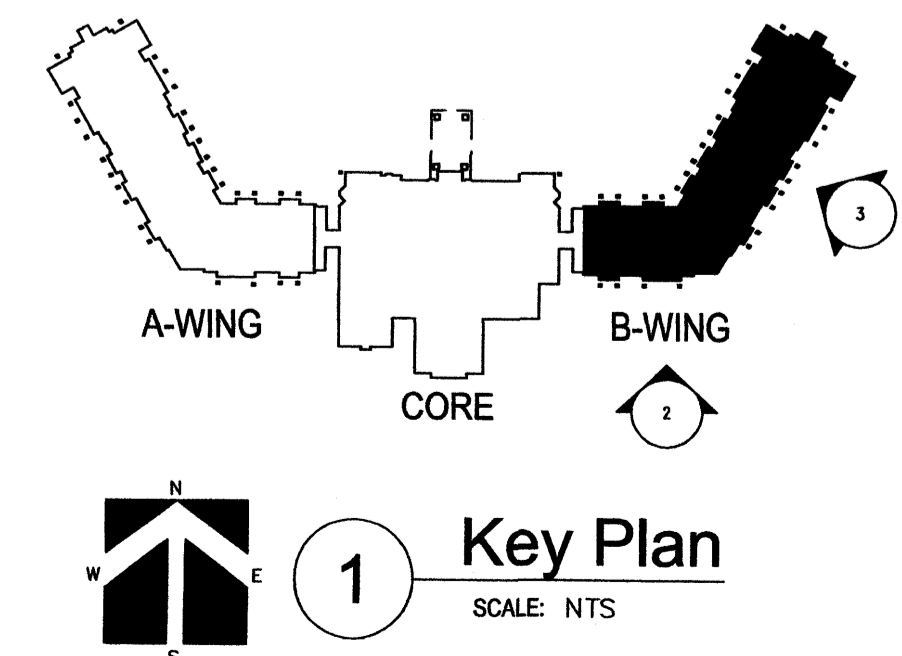
2 Rear Elevation - B Wing (South)
SCALE: 1/8" = 1'-0"



3 Rear Elevation - B Wing (Southeast)
SCALE: 1/8" = 1'-0"

KEYED NOTES

- 1 CONCRETE "S" TILE ROOF - TERRA COTTA BLEND
- 2 NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
- 3 STUCCO 1 - ALMOND
- 4 STUCCO 2 - LIGHT BROWN
- 5 STUCCO 3 - MEDIUM BROWN
- 6 PROJECTED STUCCO FOAM TRIM - DARK BROWN
- 7 VINYL FRAME WINDOW - ALMOND
- 8 ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
- 9 PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
- 10 WALNUT SKYLIGHT - TRANSLUCENT WHITE COLOR
- 11 METAL RAILING - BLACK
- 12 METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
- 13 STONE - BUFF/BROWN BLEND
- 14 STUCCO PIER - LIGHT BROWN
- 15 VINYL SUE WINDOW - ALMOND
- 16 ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
- 17 SCREEN WALL - STUCCO FINISH - ALMOND
- 18 VINYL SLIDING DOOR AND FRAME - ALMOND
- 19 DECORATIVE REVEAL IN STUCCO
- 20 OVERHEAD STEEL GARAGE DOOR - ALMOND
- 21 PIPE BOLLARD - WHITE
- 22 PRECAST CONCRETE CAP - BUFF
- 23 STEEL GATE - ALMOND
- 24 STAINED/SEALED WOOD PERGOLA



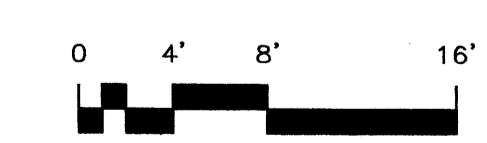
RESORT LIFESTYLE COMMUNITIES

@ SANTA MONICA PLACE

BUILDING ELEVATIONS

Prepared For:
Resort Lifestyle Communities
8040 Eiger Drive
Lincoln, NE 68516

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

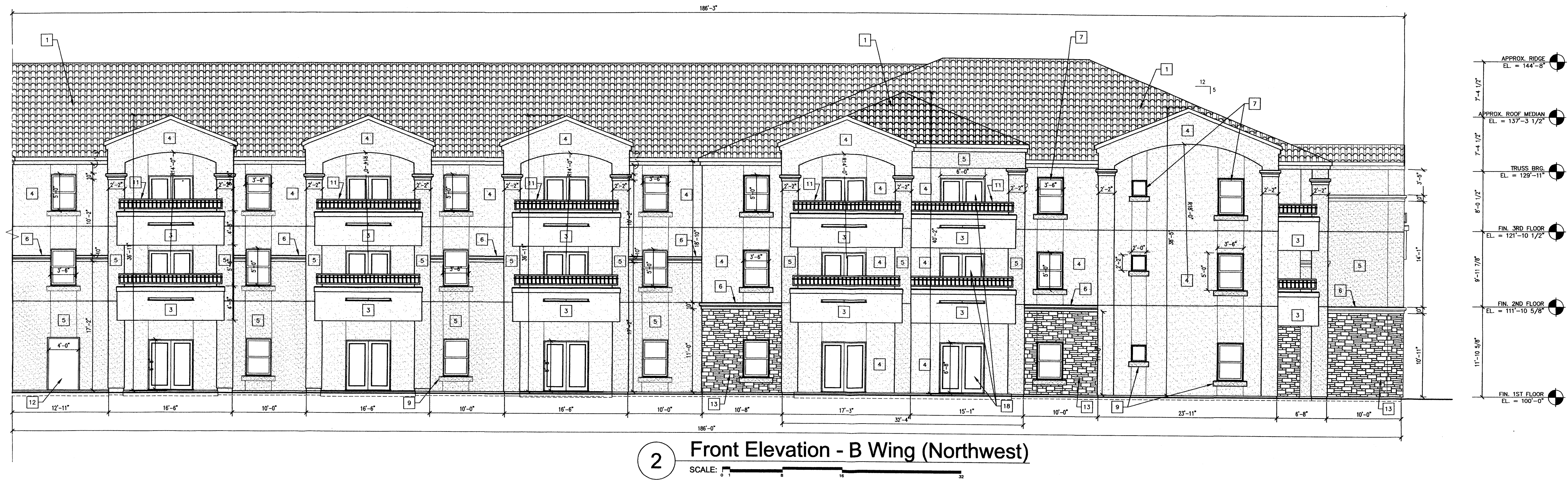


SCALE: 1/8" = 1'-0"

JUNE 26, 2014

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108





2 Front Elevation - B Wing (Northwest)
SCALE: 1/8" = 1'-0"



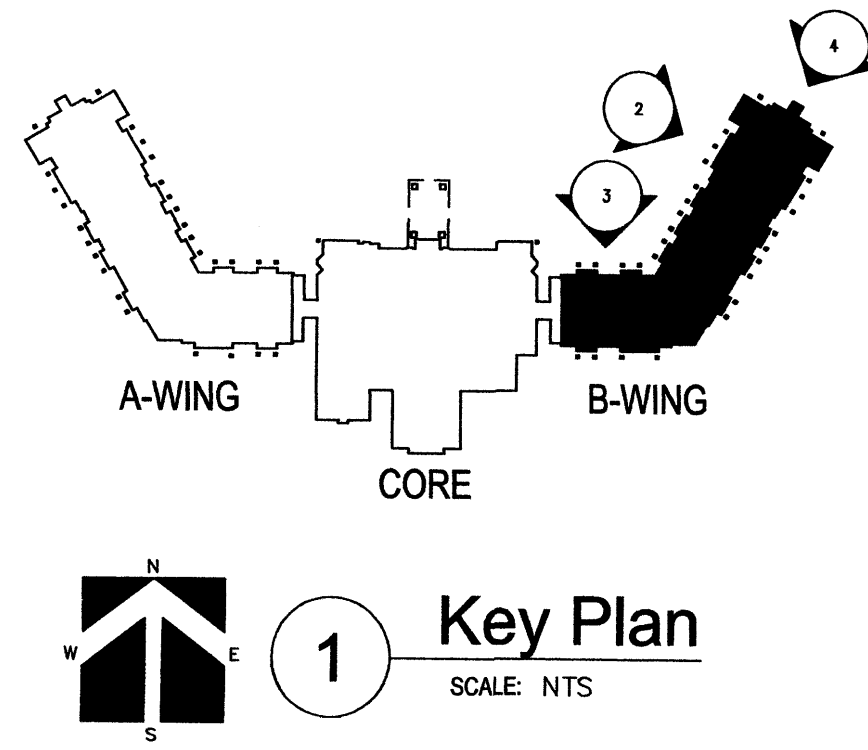
4 End Elevation - B Wing (Northeast)
SCALE: 1/8" = 1'-0"



3 Front Elevation - B Wing (North)
SCALE: 1/8" = 1'-0"

KEYED NOTES

- 1 CONCRETE 5" TILE ROOF - TERRA COTTA BLEND
- 2 NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
- 3 STUCCO 1 - ALMOND
- 4 STUCCO 2 - LIGHT BROWN
- 5 STUCCO 3 - MEDIUM BROWN
- 6 PROJECTED STUCCO FOAM TRIM - DARK BROWN
- 7 VINYL FRAME WINDOW - ALMOND
- 8 ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
- 9 PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
- 10 KUMMALL SKYLIGHT - TRANSLUCENT WHITE COLOR
- 11 METAL RAILING - BLACK
- 12 METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
- 13 STONE - BUFF/BROWN BLEND
- 14 STUCCO PIER - LIGHT BROWN
- 15 VINYL SKY WINDOW - ALMOND
- 16 ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
- 17 SCREEN WALL - STUCCO FINISH - ALMOND
- 18 VINYL SLIDING DOOR AND FRAME - ALMOND
- 19 DECORATIVE RECAL IN STUCCO
- 20 OVERHEAD STEEL GARAGE DOOR - ALMOND
- 21 PIPE BOLLARD - WHITE
- 22 PRECAST CONCRETE CAP - BUFF
- 23 STEEL GATE - ALMOND
- 24 STAINED/SEALED WOOD PERGOLA



RESORT LIFESTYLE COMMUNITIES

@ SANTA MONICA PLACE

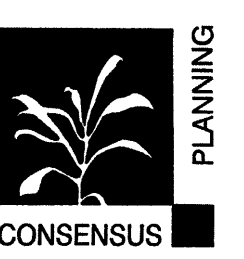
BUILDING ELEVATIONS

Prepared For:
Resort Lifestyle Communities
8040 Eiger Drive
Lincoln, NE 68516

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

0 4' 8' 16'
SCALE: 1/8" = 1'-0"
JUNE 26, 2014

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108





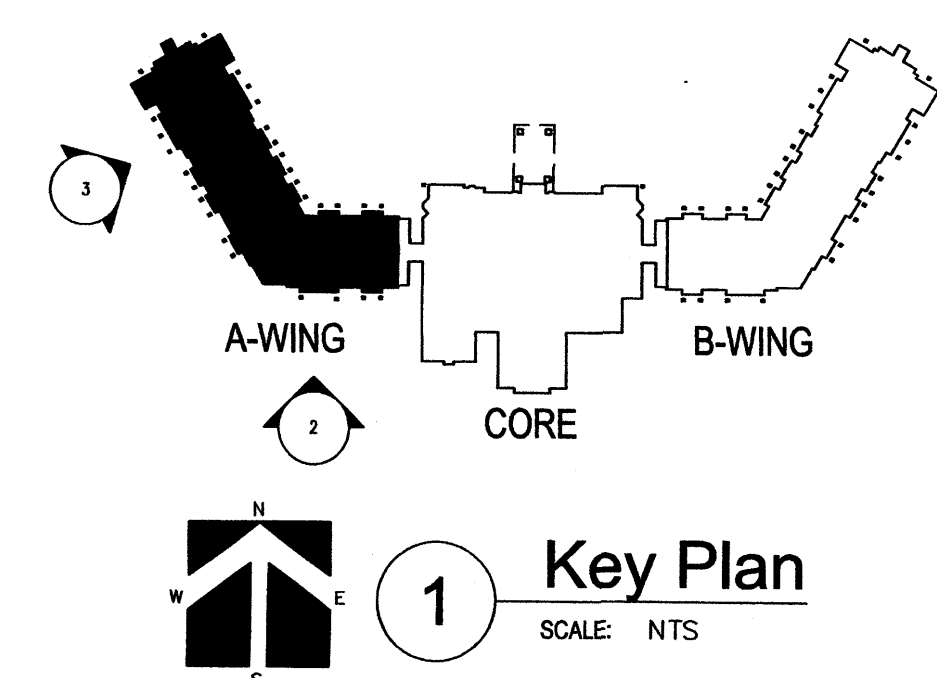
2 Rear Elevation - A Wing (South)
SCALE: 1/8" = 1'-0"



3 Rear Elevation - A Wing (Southwest)
SCALE: 1/8" = 1'-0"

KEYED NOTES

- 1 CONCRETE 12" TILE ROOF - TERRA COSTA BLEND
- 2 NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
- 3 STUCCO 1 - ALMOND
- 4 STUCCO 2 - LIGHT BROWN
- 5 STUCCO 3 - MEDIUM BROWN
- 6 PROJECTED STUCCO FOAM TRIM - DARK BROWN
- 7 VINYL FRAME WINDOW - ALMOND
- 8 ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
- 9 PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
- 10 KALMILL SKYLIGHT - TRANSLUCENT WHITE COLOR
- 11 METAL RAILING - BLACK
- 12 METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
- 13 STONE - BUFF/BROWN BLEND
- 14 STUCCO PIER - LIGHT BROWN
- 15 VINYL BAY WINDOW - ALMOND
- 16 ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
- 17 SCREEN WALL - STUCCO FINISH - ALMOND
- 18 VINYL SLIDING DOOR AND FRAME - ALMOND
- 19 DECORATIVE MESH IN STUCCO
- 20 OVERHEAD STEEL GARAGE DOOR - ALMOND
- 21 PIPE BOLLARD - WHITE
- 22 PRECAST CONCRETE CAP - BUFF
- 23 STEEL GATE - ALMOND
- 24 STAINED/SEALED WOOD PERGOLA



RESORT LIFESTYLE COMMUNITIES

@ SANTA MONICA PLACE

BUILDING ELEVATIONS

Prepared For:
Resort Lifestyle Communities
8040 Eiger Drive
Lincoln, NE 68516

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

0 4' 8' 16'
SCALE: 1/8" = 1'-0"
JUNE 26, 2014

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108





2 Front Elevation - A Wing (Northwest)
SCALE: 1/8" = 1'-0"



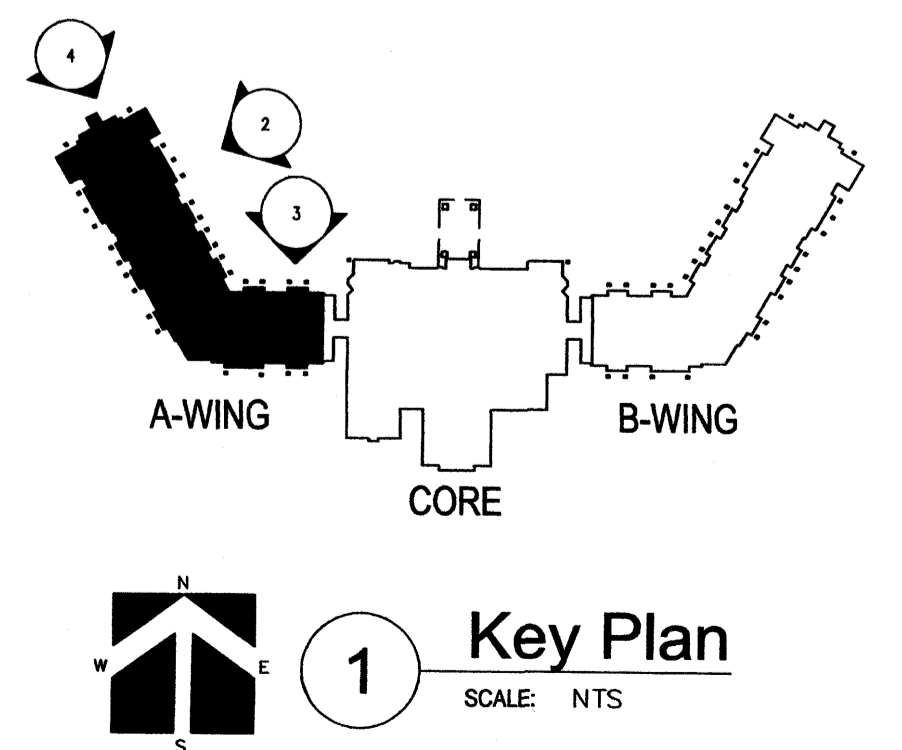
4 End Elevation - A Wing (Northeast)
SCALE: 1/8" = 1'-0"



3 Front Elevation - A Wing (North)
SCALE: 1/8" = 1'-0"

KEYED NOTES

- 1 CONCRETE "S" TILE ROOF - TERRA COTTA BLEND
- 2 NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
- 3 STUCCO 1 - ALMOND
- 4 STUCCO 2 - LIGHT BROWN
- 5 STUCCO 3 - MEDIUM BROWN
- 6 PROJECTED STUCCO FOAM TRIM - DARK BROWN
- 7 VINYL FRAME WINDOW - ALMOND
- 8 ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
- 9 PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
- 10 KAINMILL SKYLIGHT - TRANSLUCENT WHITE COLOR
- 11 METAL RAILING - BLACK
- 12 METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
- 13 STONE - BUFF/BROWN BLEND
- 14 STUCCO PIER - LIGHT BROWN
- 15 VINYL BAY WINDOW - ALMOND
- 16 ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
- 17 SCREEN WALL - STUCCO FINISH - ALMOND
- 18 VINYL SLIDING DOOR AND FRAME - ALMOND
- 19 DECORATIVE REVEAL IN STUCCO
- 20 OVERHEAD STEEL GARAGE DOOR - ALMOND
- 21 PIPE BOLLARD - WHITE
- 22 PRECAST CONCRETE CAP - BUFF
- 23 STEEL GATE - ALMOND
- 24 STAINED/SEALED WOOD PERGOLA



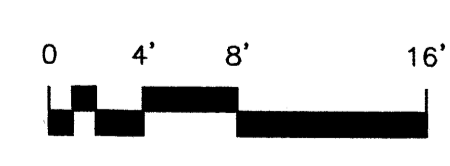
RESORT LIFESTYLE COMMUNITIES

@ SANTA MONICA PLACE

BUILDING ELEVATIONS

Prepared For:
Resort Lifestyle Communities
8040 Eiger Drive
Lincoln, NE 68516

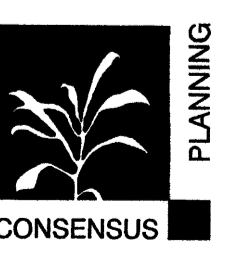
Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

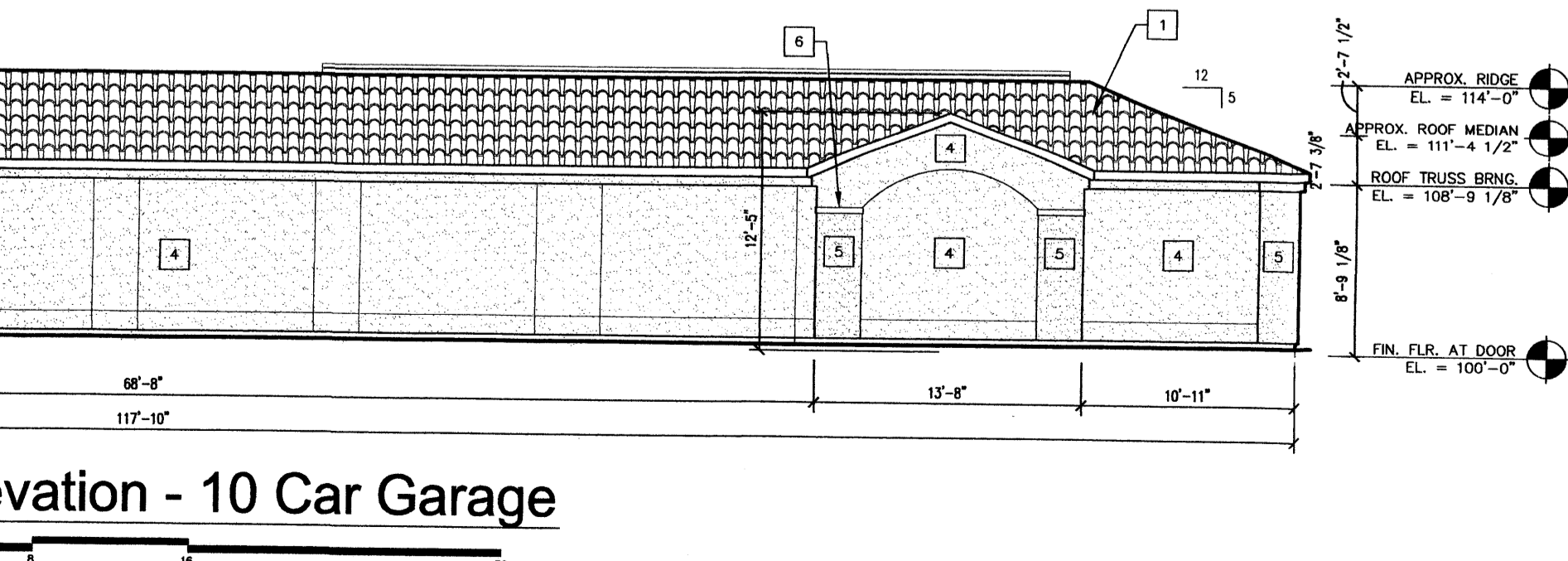
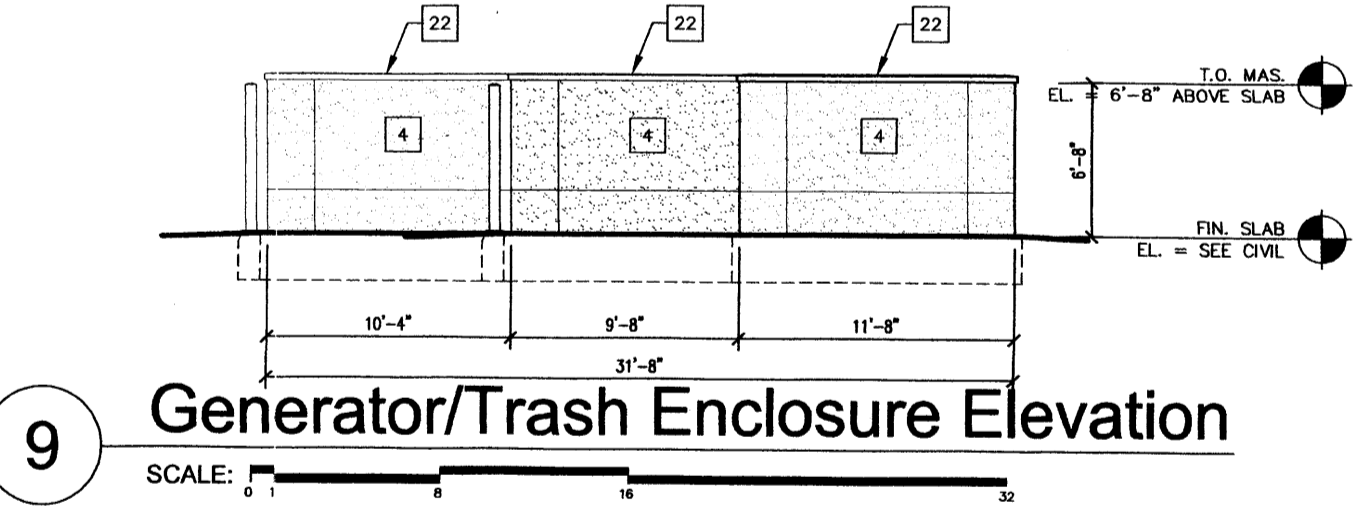
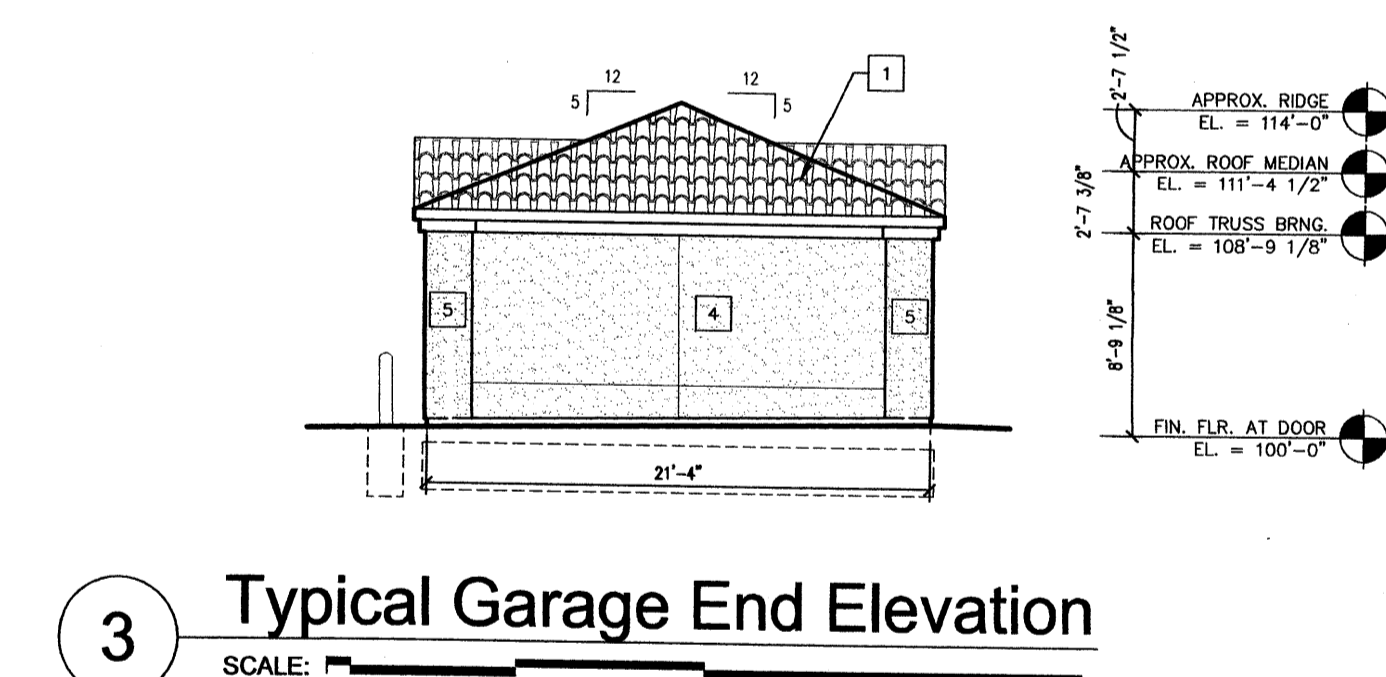
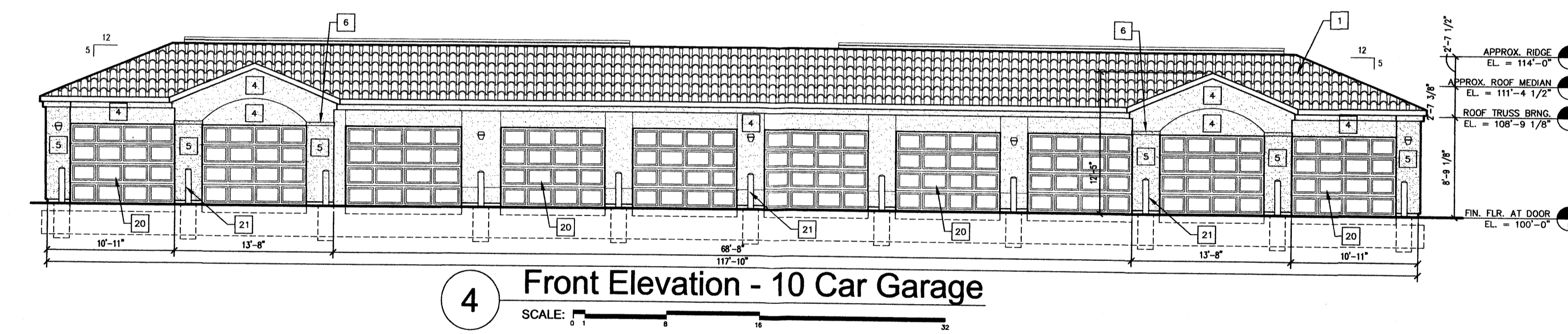
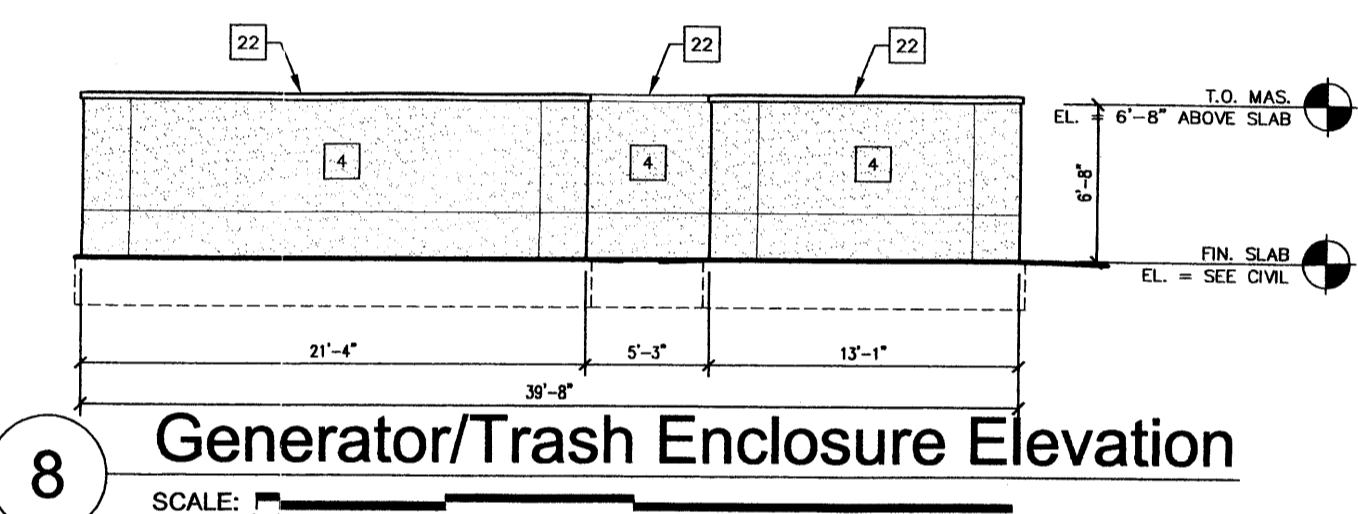
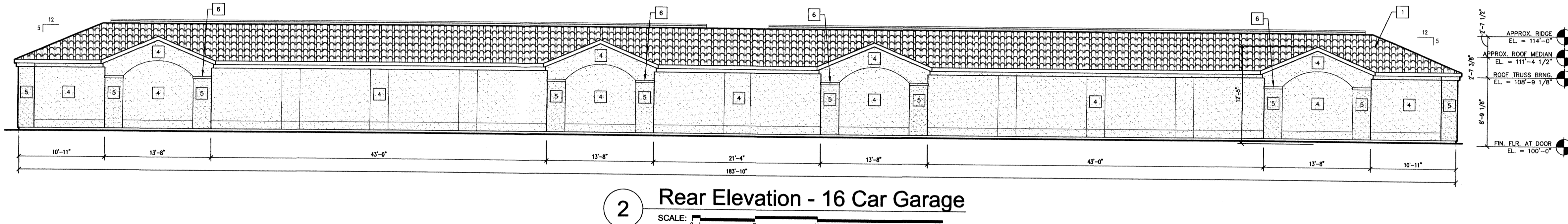
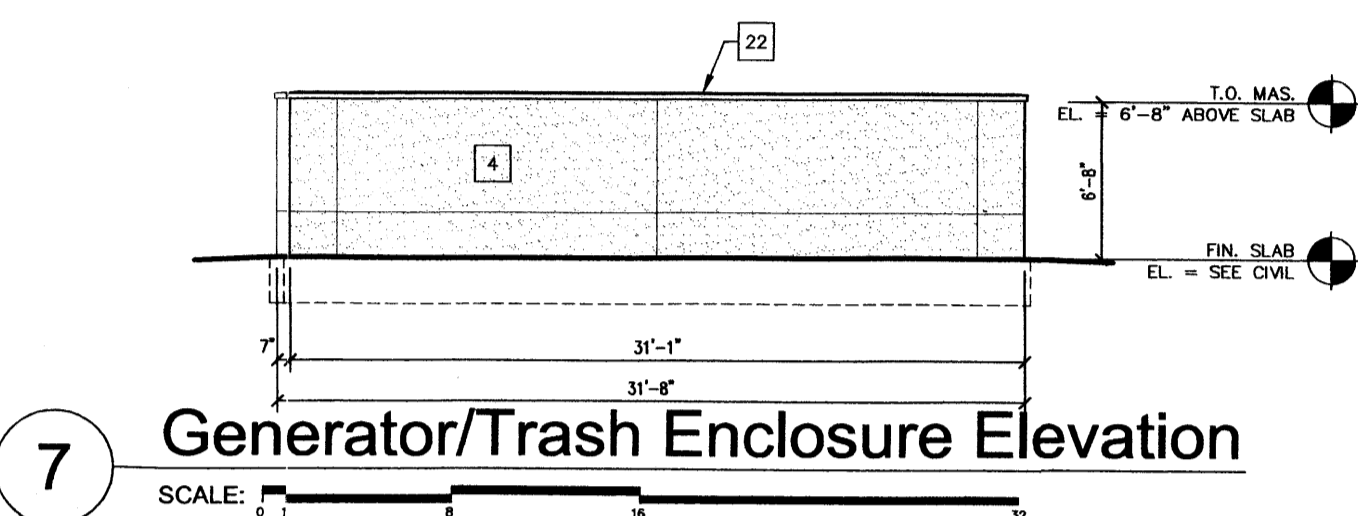
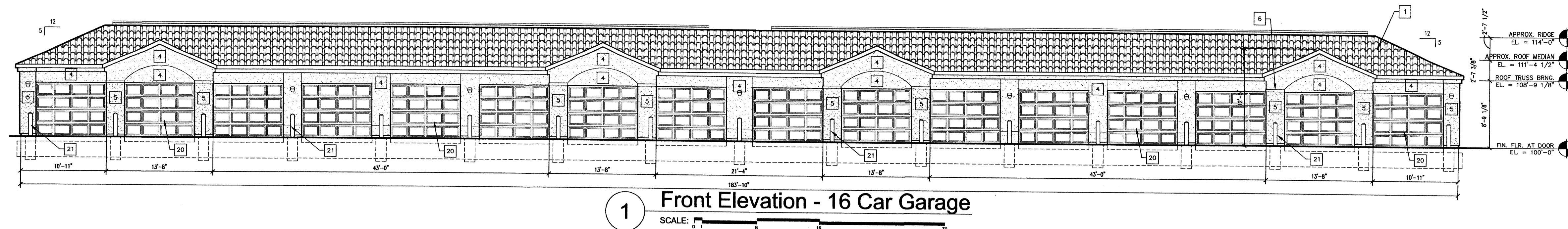
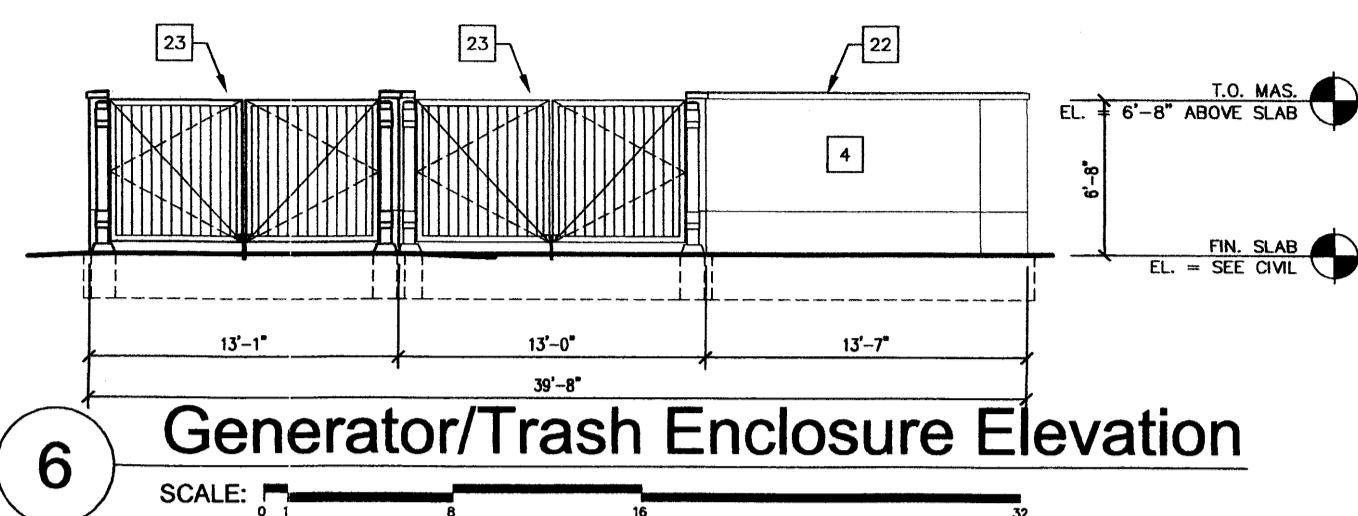


SCALE: 1/8" = 1'-0"

JUNE 26, 2014

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108





KEYED NOTES

- 1 CONCRETE 5" TILE ROOF - TERRA COTTA BLEND
- 2 NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
- 3 STUCCO 1 - ALMOND
- 4 STUCCO 2 - LIGHT BROWN
- 5 STUCCO 3 - MEDIUM BROWN
- 6 PROJECTED STUCCO FOAM TRIM - DARK BROWN
- 7 VINYL FRAME WINDOW - ALMOND
- 8 ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
- 9 PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
- 10 KUMMALL SKYLIGHT - TRANSLUCENT WHITE COLOR
- 11 METAL RAILING - BLACK
- 12 METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
- 13 STONE - BUFF/BROWN BLEND
- 14 STUCCO PIER - LIGHT BROWN
- 15 VINYL BAY WINDOW - ALMOND
- 16 ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
- 17 SCREEN WALL - STUCCO FINISH - ALMOND
- 18 VINYL SLIDING DOOR AND FRAME - ALMOND
- 19 DECORATIVE REVEAL IN STUCCO
- 20 OVERHEAD STEEL GARAGE DOOR - ALMOND
- 21 PIPE BOLLARD - WHITE
- 22 PRECAST CONCRETE CAP - BUFF
- 23 STEEL GATE - ALMOND
- 24 STAINED/SEALED WOOD PERGOLA

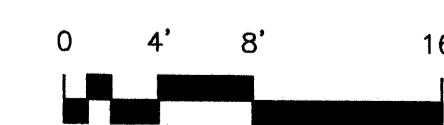
RESORT LIFESTYLE COMMUNITIES

@ SANTA MONICA PLACE

BUILDING ELEVATIONS

Prepared For:
Resort Lifestyle Communities
8040 Eiger Drive
Lincoln, NE 68516

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102



SCALE: 1/8" = 1'-0"

JUNE 26, 2014

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108



SHEET 10 OF 10