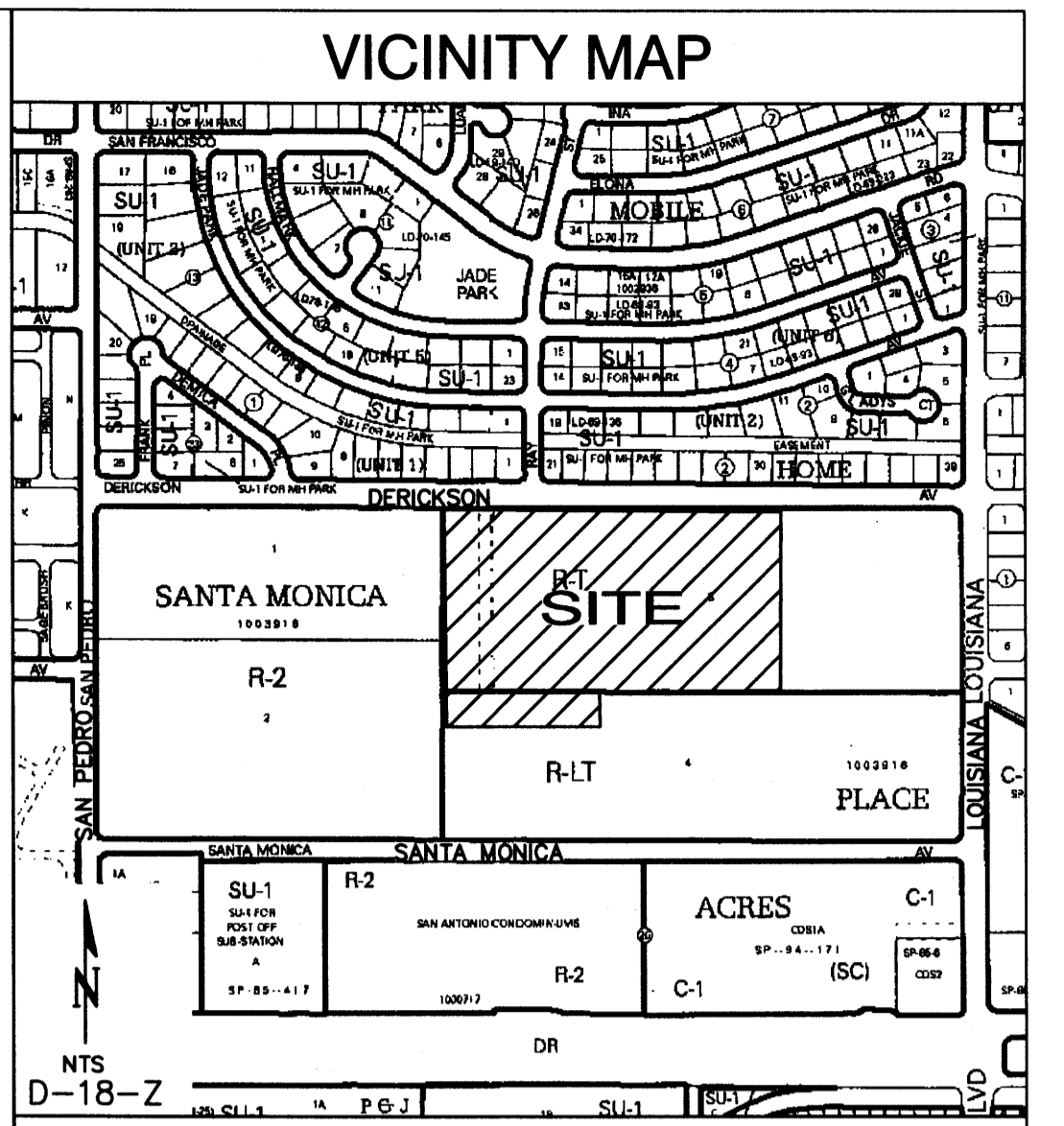


EXISTING DERICKSON AVE-60' STREET SECTION
1"=10'
MAJOR LOCAL
LOOKING EAST



PROJECT DATA

LEGAL DESCRIPTION: TRACT 3A1, SANTA MONICA PLACE
 PROPOSED DEVELOPMENT: 24 TOWN HOME LOTS
 64 DETACHED HOME LOTS
 88 LOTS TOTAL
 DEVELOPER: DEL REY INVESTMENTS, LLC
 C/O TITAN DEVELOPMENT

PROJECT: 1010144
 DATE: 7-22-15
 APP: 15-70247(SK)

- COMMENTS:**
- ALL SIDEWALKS ARE 4' WIDE.
 - SIDEWALK WAIVER WILL BE REQUESTED AT ONE SIDE OF STUB STREETS (NO LOTS FRONTING).
 - SIDEWALK DEFERRAL WILL BE REQUESTED WHERE LOTS ARE FRONTING.

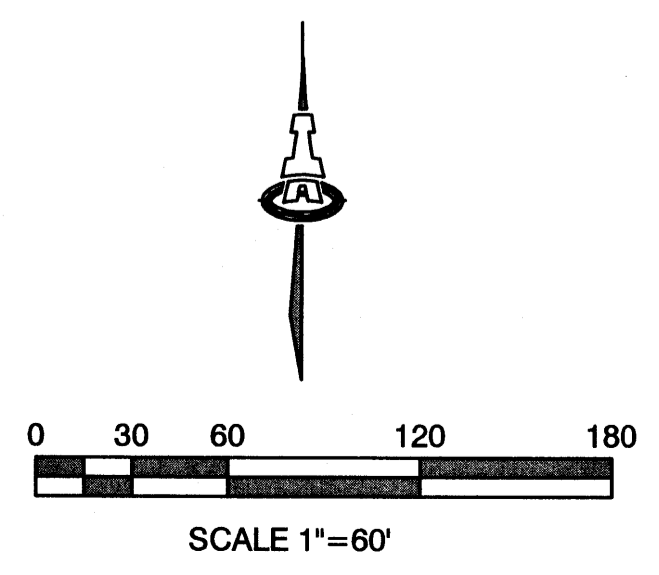
ISAACSON & ARMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
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 Ph. 505-268-8828 www.isaacson.com
 2109 C-701 SKETCH PLAT.dwg Jul 13, 2015

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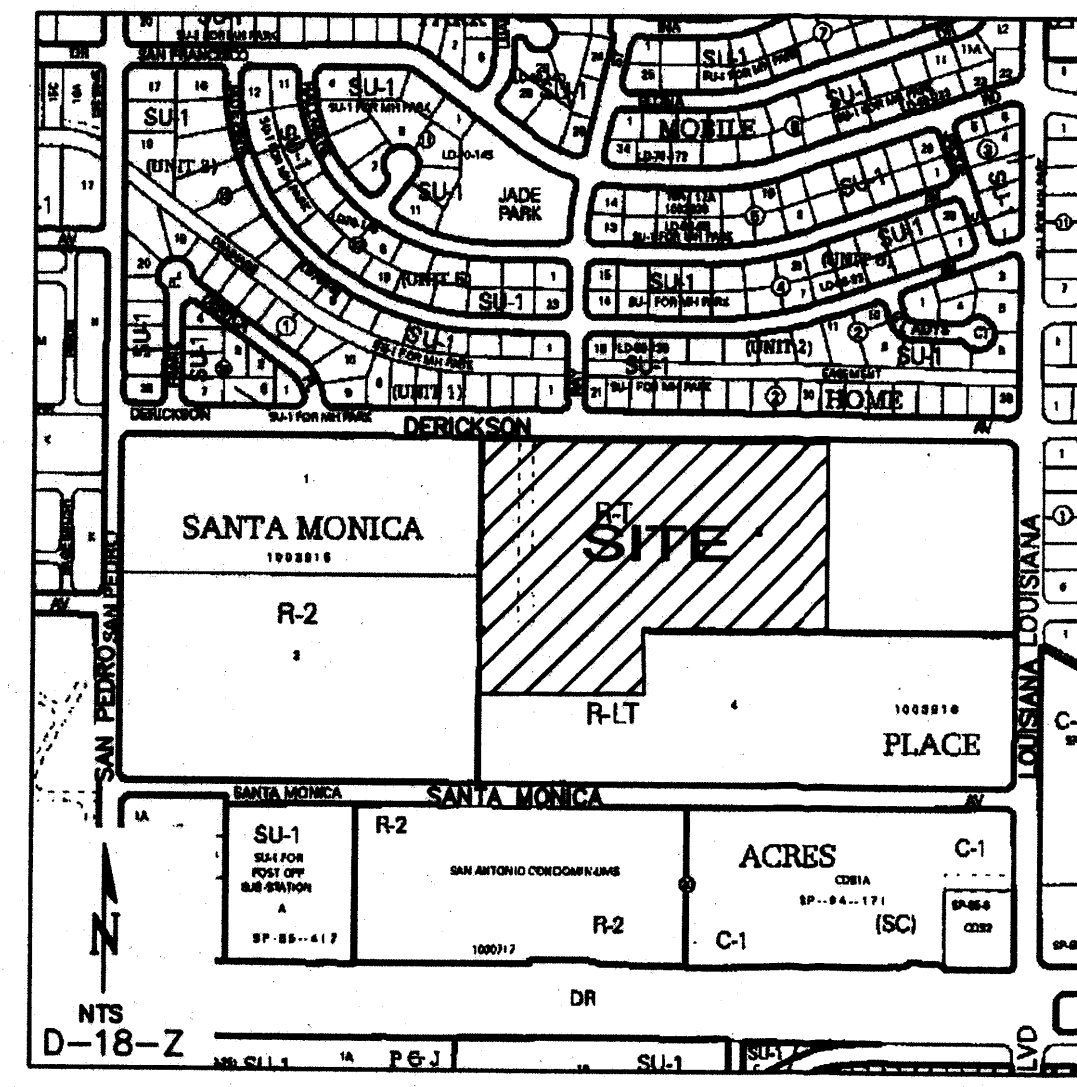
**SANTA MONICA PLACE
 SUBDIVISION
 DEL REY INVESTMENTS, LLC**

SKETCH PLAT

Date:	No. Revision:	Date:	Job No.
07/2015			2109
Drawn By:			1
ANW			
Clk By:			SH OF
ANW			



PRELIMINARY
 PLAT FOR
 Projected Section 24, T-11N, R-3E, Elena Gallegos Grant
SANTA MONICA ESTATES
 BEING A REPLAT OF
 TRACT 3-A-1, SANTA MONICA PLACE
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2015



VICINITY MAP

LEGAL DESCRIPTION
 Elena Gallegos
 That certain parcel of land situate within the Town of Arroyo Grant in Projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract 3-A-1, Santa Monica Place, as the same is shown and designated on the plat entitled "PLAT OF TRACTS 3-A-1 AND 4-A-1 (BEING A REPLAT OF TRACTS 3-A AND 4-A, SANTA MONICA PLACE), SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF, ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 20, 2015 in Plat Book 2015C, Page 81.
 Said parcel contains 15.0415 acres more or less.

ACS BENCHMARK
 ACS MONUMENT 49-818-BM 25-E10
 ELEVATION: 5321.79 (NGVD 1988)
 5339.106

- SITE DATA**
- NUMBER OF EXISTING TRACTS IS 1.
 - TOTAL ACREAGE = 15.0415 AC.
 - NUMBER OF PROPOSED TRACTS = 4.
 - NUMBER OF PROPOSED RESIDENTIAL LOTS:
 TOWNHOMES = 24 LOTS (LOTS 65-88)
 SINGLE DETACHED = 64 LOTS (LOTS 1-64)
 TOTAL NUMBER OF LOTS = 88 LOTS
 - PROPOSED DENSITY: = 5.85 DU/ACRE
 - LOT SETBACKS SHALL CONFORM TO R-LT AND R-T ZONE REGULATIONS.
 - STREETS WILL BE PUBLIC BY PLAT DEDICATION AND BE MAINTAINED BY THE CITY OF ALBUQUERQUE.
 - OPEN SPACE TRACTS A-D SHALL BE PRIVATE AND DEEDED TO AND MAINTAINED BY THE FUTURE HOMEOWNERS' ASSOCIATION.
 - ALL STREETS HAVE RIGHT-OF-WAY/EASEMENT AND PAVING WIDTHS PER DPM STANDARDS, EXCEPT WHERE DESIGN VARIANCES ARE APPROVED.
 - CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH ABCWUA.
 - NO LOTS SHALL HAVE DIRECT ACCESS TO DERICKSON AVE.
 - MILEAGE OF STREETS CREATED = 0.595

FLOOD ZONE DETERMINATION
 THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 35001C0137H, MAP REVISED AUGUST 16, 2012.

- NOTES**
- ALL STREET CENTERLINE POINTS SHOWN THUS Δ WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CENTERLINE MONUMENT-DO NOT DISTURB, PS #9750"
 - BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARINGS WILL BE NMSP GRID BEARINGS.
 - DISTANCES WILL BE GROUND DISTANCES.
 - POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED

Ben F. Spencer, P.E. 8/27/15
 CITY SURVEYOR DATE

OWNER
 SANTA MONICA PLACE DEVELOPMENT, LLC

Ben F. Spencer 8/27/15
 BY: BEN F. SPENCER, MANAGER DATE
 SANTA MONICA PLACE DEVELOPMENT, LLC

ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
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BLANKET DRAINAGE EASEMENT NOTE:
 AN EXISTING PUBLIC AND PRIVATE INTERIM DRAINAGE EASEMENT FILED JULY 20, 2015 IN PLAT BOOK 2015C PAGE 81 OVER TRACT 3-A-1 TO BE VACATED.

KEYED EASEMENTS

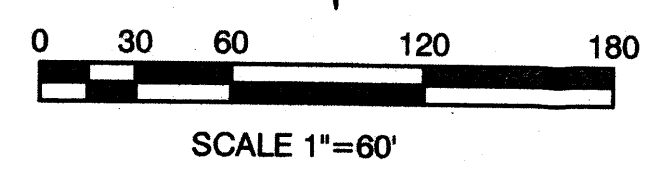
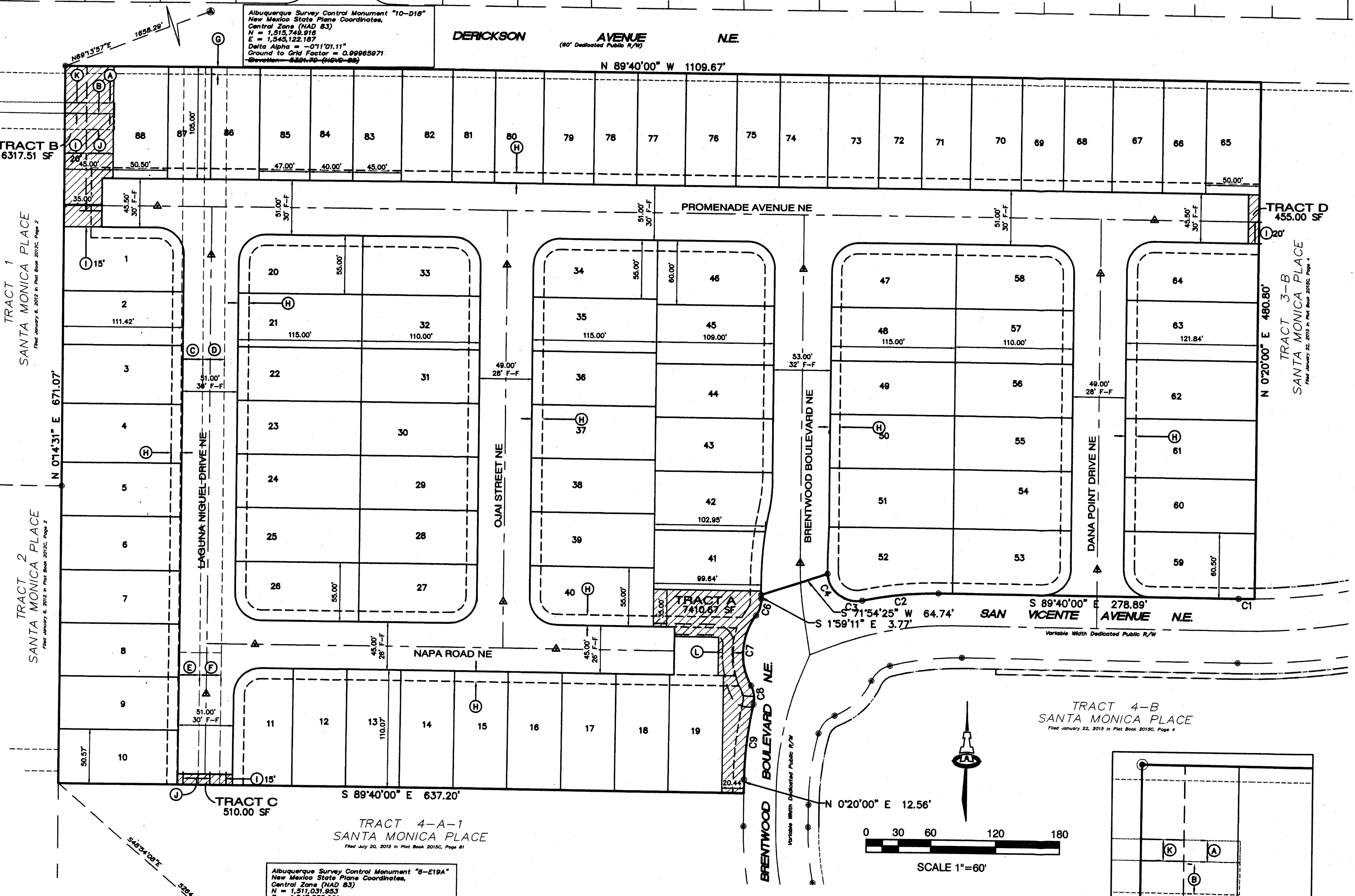
- EXISTING EASEMENTS ALL TO BE VACATED:
- 10' Water Authority Waterline Easement granted to A.B.C.W.U.A., surface easement granted to the City of Albuquerque by Document filed July 17, 2014 as Document No. 2014056270 to be vacated.
 - 15' City Storm Drain Easement granted to the City of Albuquerque, surface easement granted to A.B.C.W.U.A. by Document filed July 17, 2014 as Document No. 2014056270 to be vacated.
 - 20' Public Water and Sanitary Sewer Easement granted to the ABCWUA by plat filed January 6, 2012 in Plat Book 2012C, page 2 to be vacated.
 - 20' Public Drainage Easement granted to the City of Albuquerque by plat filed January 6, 2012 in Plat Book 2012C, Page 2 to be vacated.
 - 20' Public Water and Sanitary Sewer Easement granted to the ABCWUA by plat filed July 20, 2015 in Plat Book 2015C, page 81 to be vacated.
 - 20' Public Drainage Easement granted to the City of Albuquerque by plat filed July 20, 2015 in Plat Book 2015C, page 81 to be vacated.
 - Existing 7' Mountain States Telephone and Telegraph Company Easement per Document Filed 11-27-72, in Bk. Misc. 287, Page 584 to be vacated.

PROPOSED EASEMENT TO BE GRANTED BY FINAL PLAT:

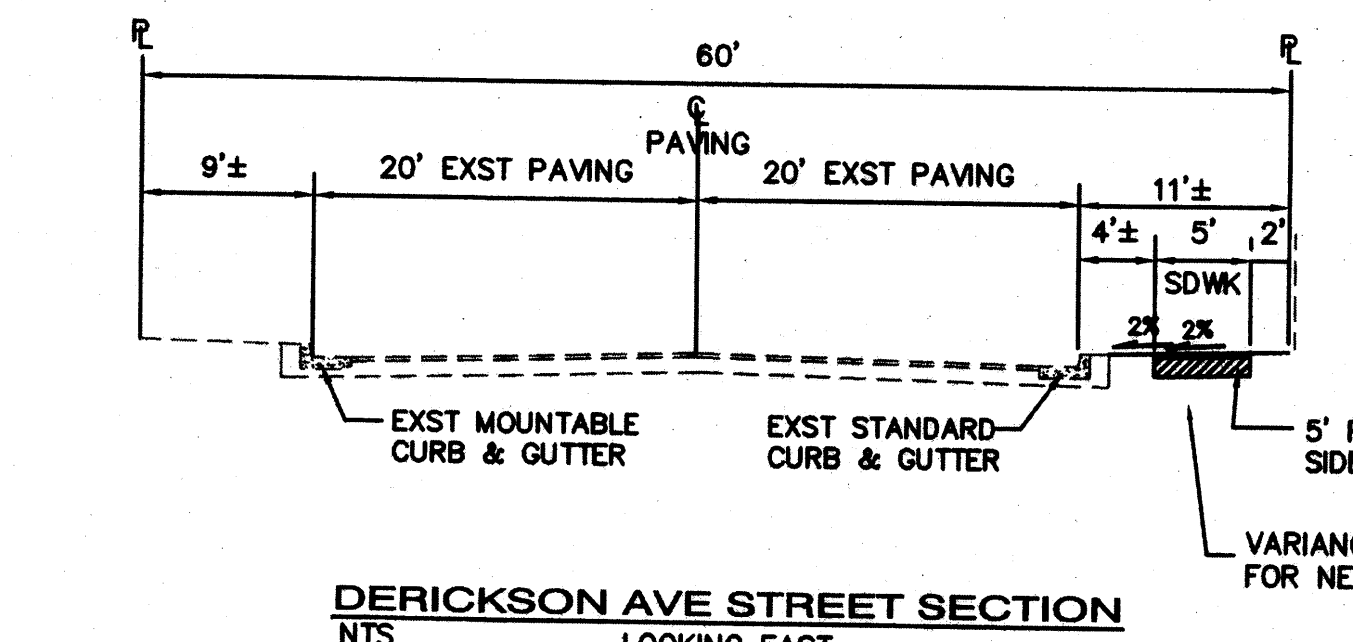
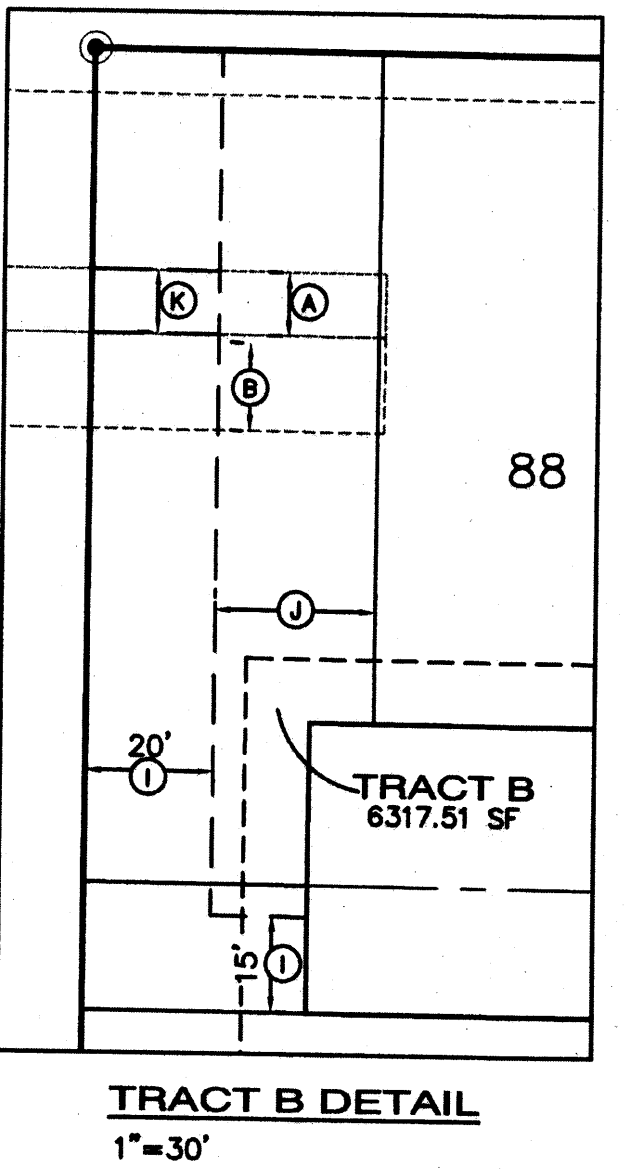
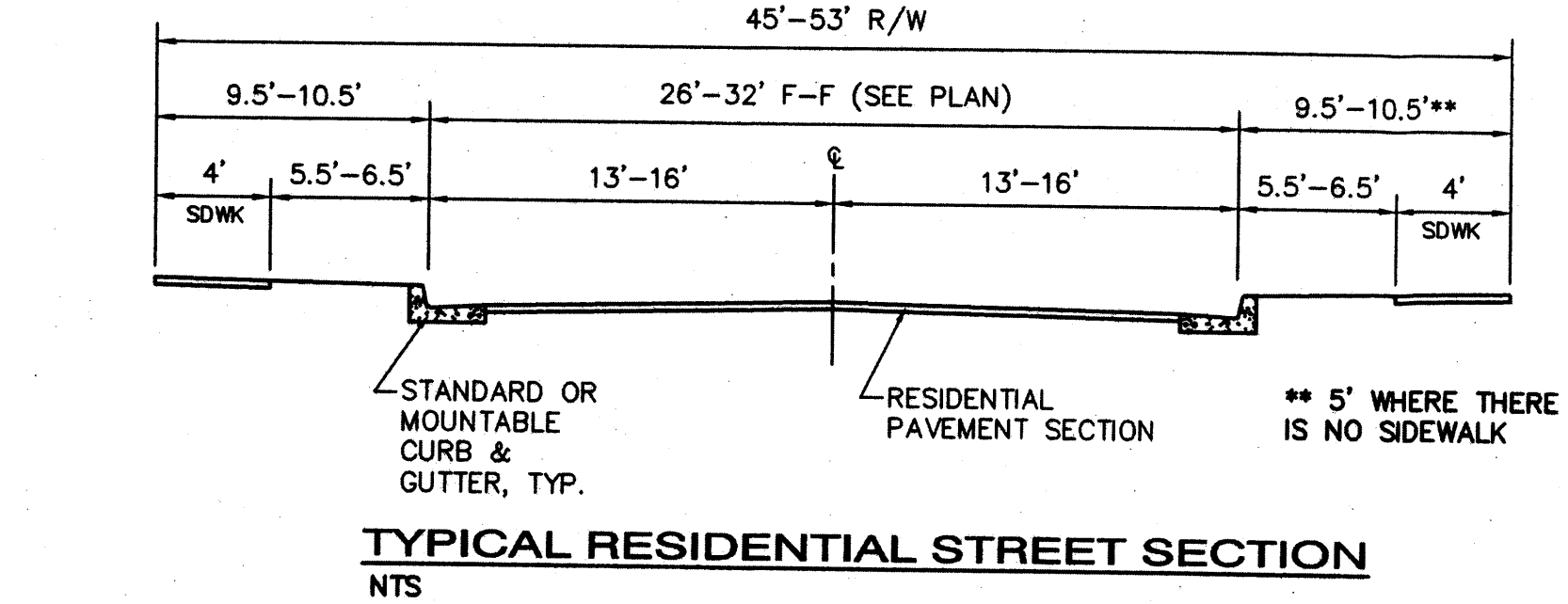
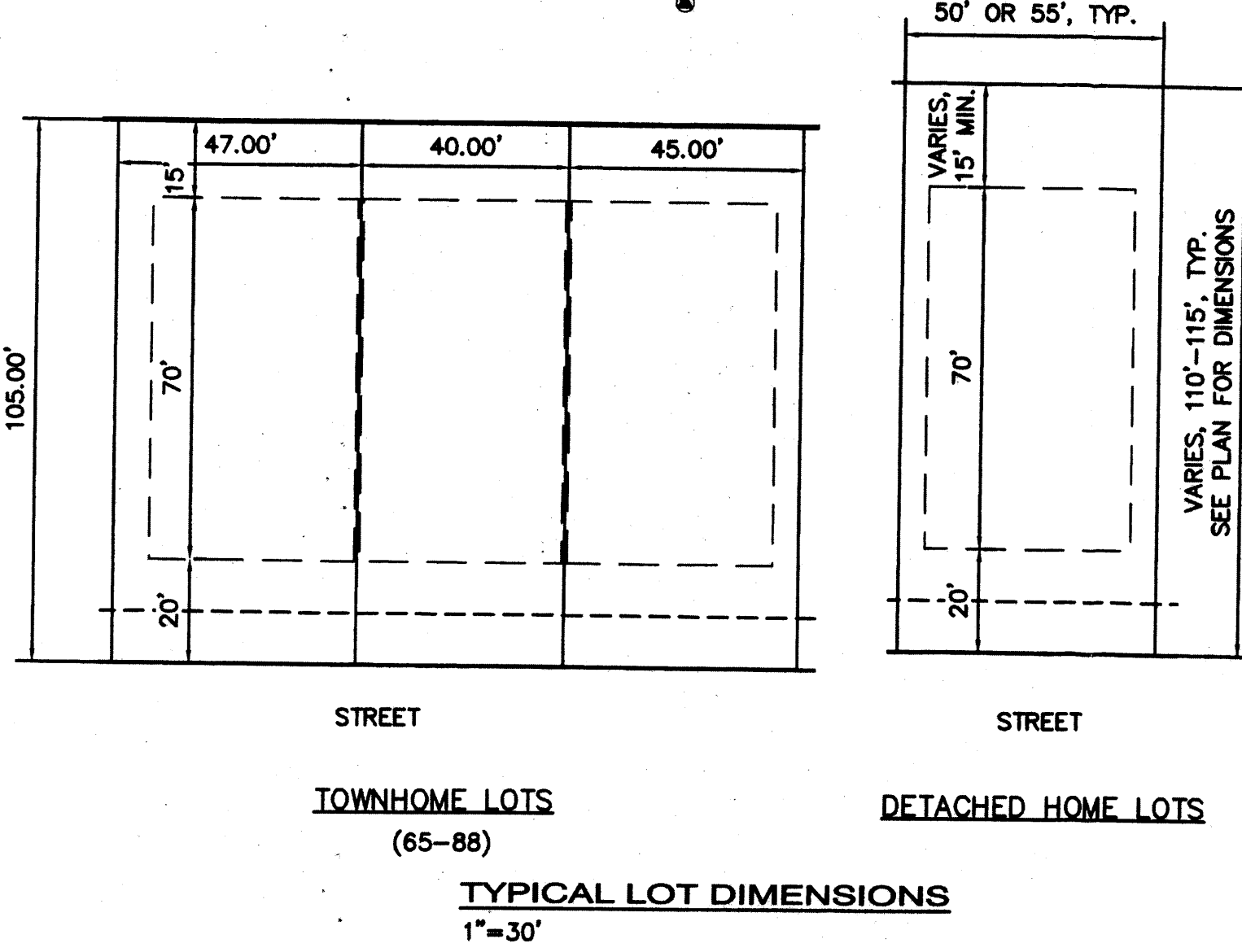
- 10' PUE SHALL BE GRANTED WITH FINAL PLAT.
- STORM DRAIN EASEMENT SHALL BE GRANTED TO THE CITY OF ALBUQUERQUE (WIDTH PER PLAN) WITH FINAL PLAT.
- 25' WATERLINE AND SANITARY SEWER EASEMENT SHALL BE GRANTED TO ABCWUA WITH FINAL PLAT.
- 10' WATERLINE EASEMENT SHALL BE GRANTED TO ABCWUA WITH FINAL PLAT.
- 10' PUBLIC PEDESTRIAN EASEMENT SHALL BE GRANTED WITH FINAL PLAT.

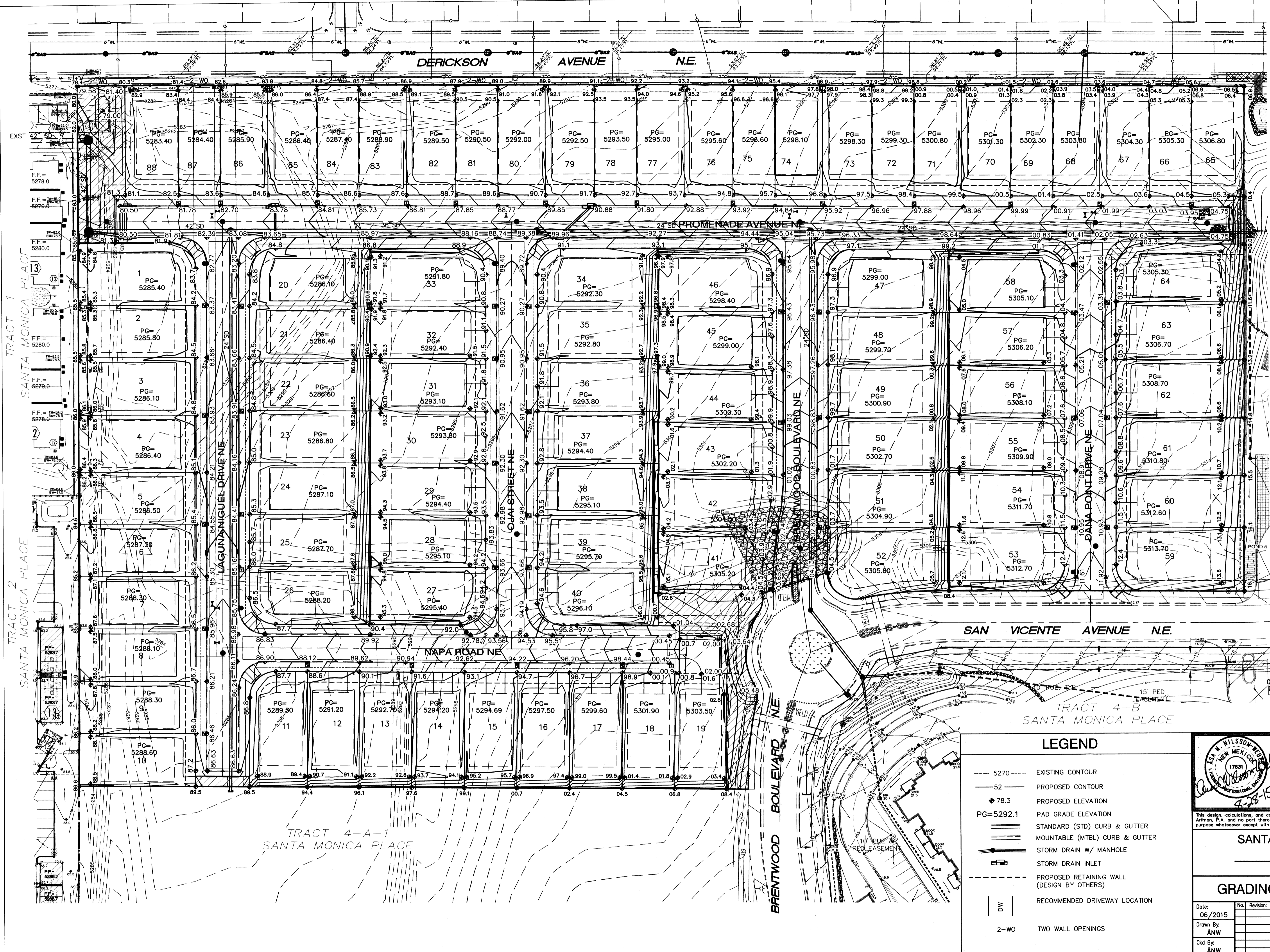
LEGEND

- 5/8" REBAR WITH CAP "HUGG L.S. 9750" (TYP.)
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT



CURVE	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH	TANGENT
C1	15.00'	570.00'	1'30'29"	N 89'34'46" E	15.00'	7.50'
C2	71.13'	330.00'	12'20'59"	S 84'09'31" W	70.99'	35.70'
C3	18.11'	25.00'	41'30'53"	S 81'15'33" E	17.72'	9.48'
C4	26.27'	25.00'	60'12'01"	S 31'47'57" E	25.08'	14.49'
C6	16.71'	25.00'	38'17'50"	N 16'49'59" E	16.40'	8.68'
C7	70.13'	62.00'	64'48'47"	S 3'34'30" W	66.45'	39.36'
C8	18.11'	25.00'	41'30'53"	N 8'04'27" W	17.72'	9.48'
C9	71.13'	330.00'	12'20'59"	S 6'30'29" W	70.99'	35.70'

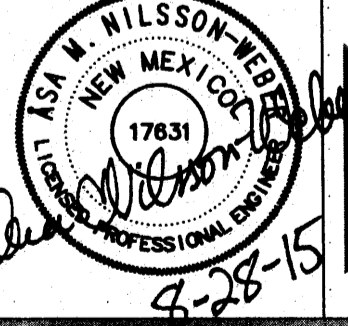




SEE SHEET 4 FOR WATER HARVESTING DETAIL - GRADE 6" DEPRESSION FOR FIRST FLUSH RETENTION.

LEGEND

- 5270 --- EXISTING CONTOUR
- 52 --- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED ELEVATION
- PG=5292.1 PAD GRADE ELEVATION
- ==== STANDARD (STD) CURB & GUTTER
- ==== MOUNTABLE (MTBL) CURB & GUTTER
- STORM DRAIN W/ MANHOLE
- STORM DRAIN INLET
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- DW RECOMMENDED DRIVEWAY LOCATION
- 2-WO TWO WALL OPENINGS



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2109 CG-101.dwg Aug 28, 2015

SANTA MONICA ESTATES SUBDIVISION

GRADING & DRAINAGE PLAN

Date:	No.:	Revision:	Date:	Job No.:
06/2015				2109
Drawn By:	ANW			2
Chk By:	ANW			SH OF

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DERICKSON AVENUE NE

TRACT 1
SANTA MONICA PLACE

TRACT 3-B
SANTA MONICA PLACE

RETAINING WALL TO BE CONSTRUCTED WITH TRACT 1 DEVELOPMENT

RETAINING WALL TO BE CONSTRUCTED WITH TRACT 3-B DEVELOPMENT

TRACT 2
SANTA MONICA PLACE

SAN VICENTE AVENUE NE

TRACT 4-B
SANTA MONICA PLACE

TRACT 4-A-1
SANTA MONICA PLACE

LEGEND

- PROPOSED RETAINING WALL
- TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
- BW=
- 2-WO TWO WALL OPENINGS

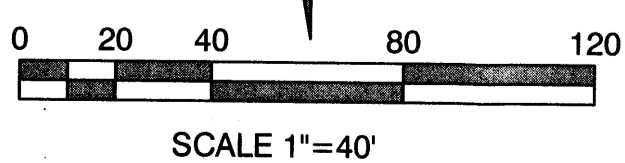
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2109 CG-201.dwg Aug 28, 2015

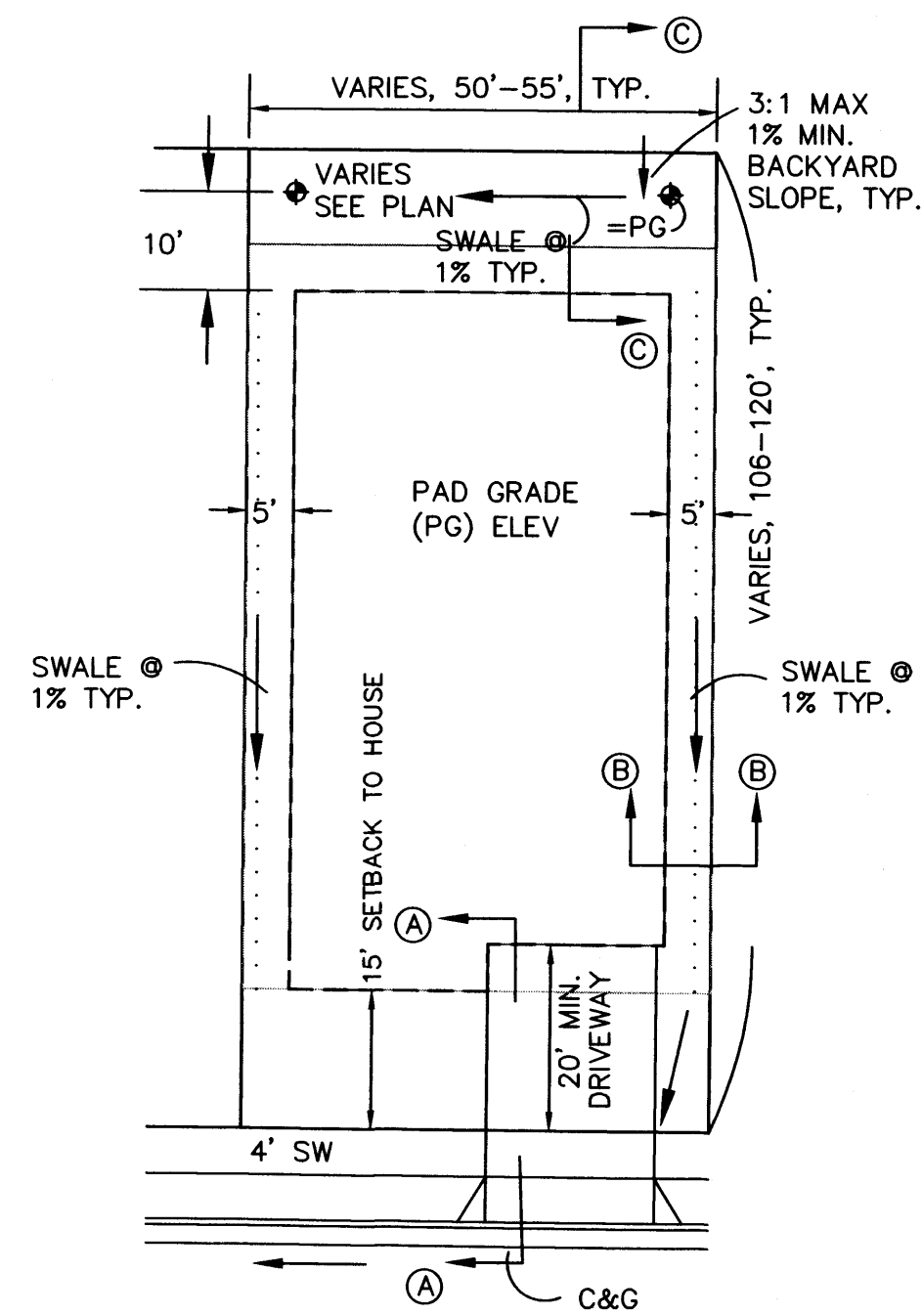
SANTA MONICA ESTATES SUBDIVISION

RETAINING WALL PLAN

Date:	No. Revision:	Date:	Job No.
06/2015			2109
Drawn By:			3
ANW			
Ckd By:			SH OF
ANW			

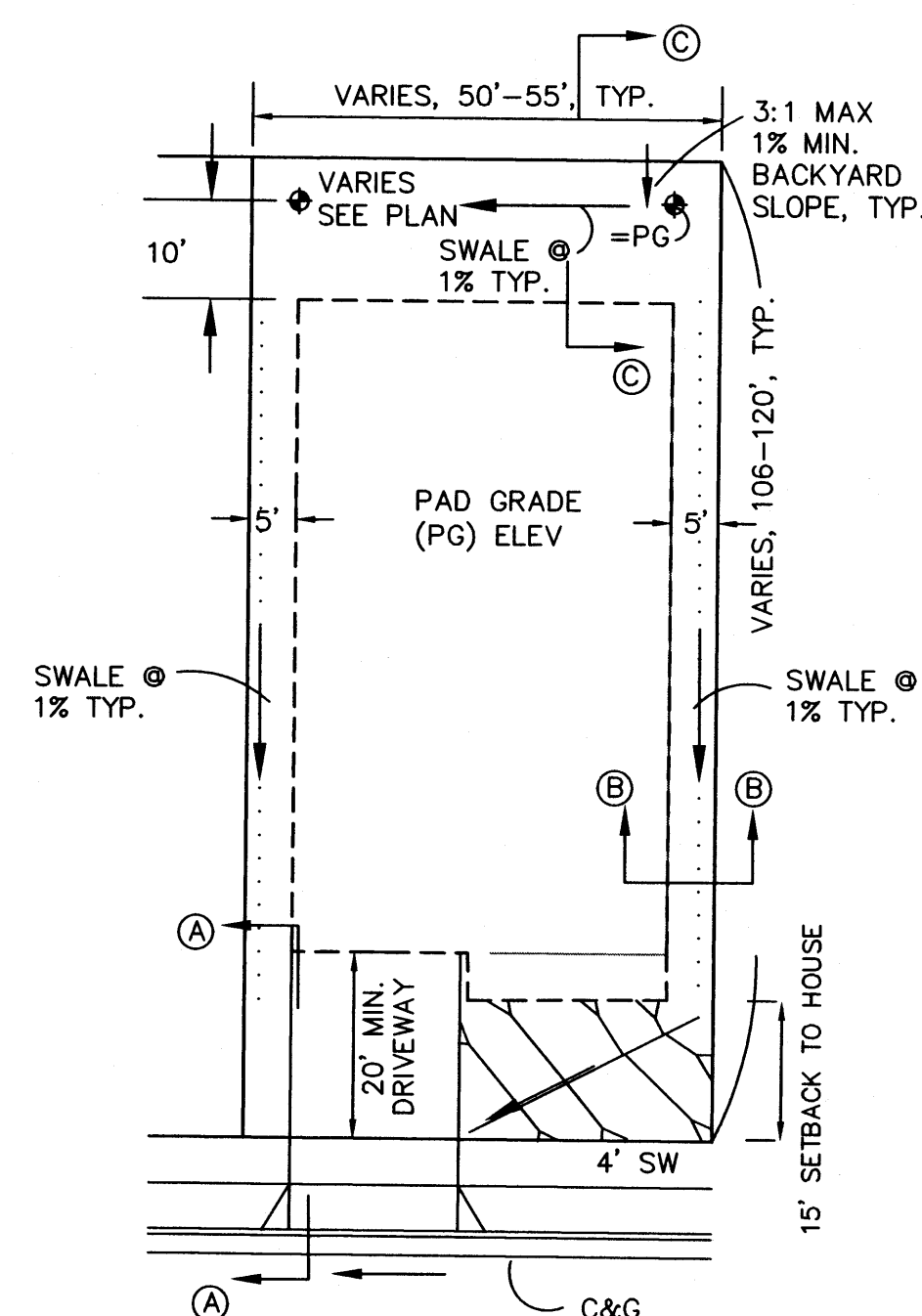


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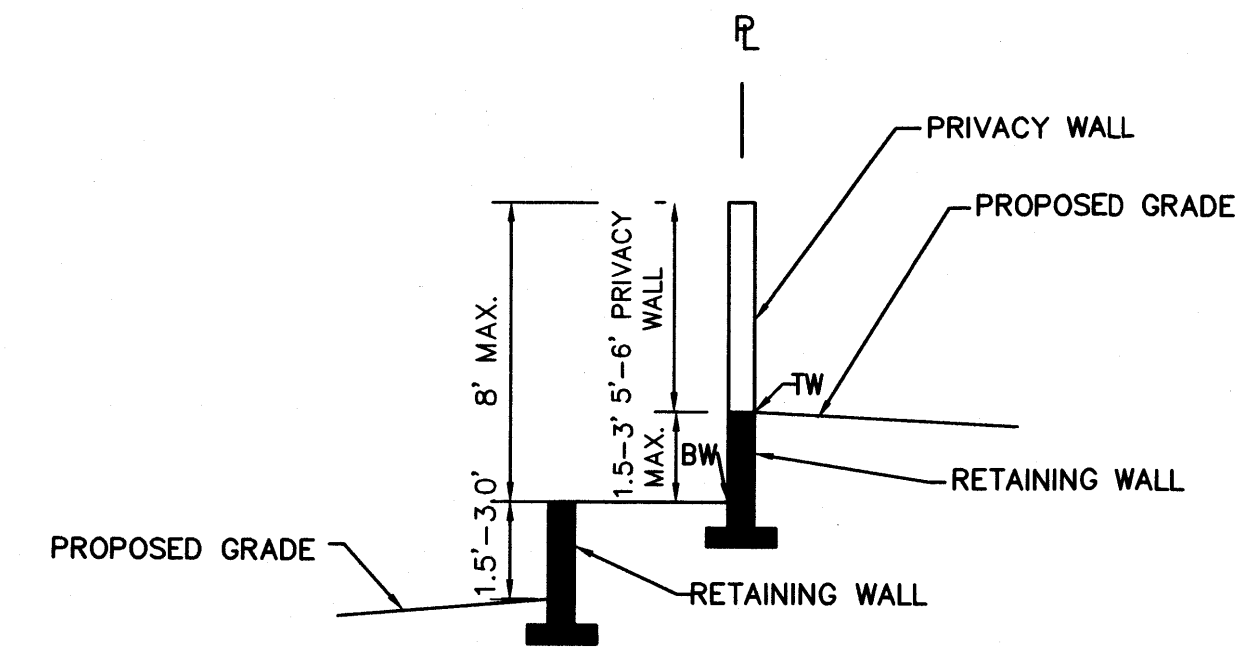
TYPICAL LOT GRADING DETAIL

SCALE: 1"=20' NOTE: 10' SIDEYARD SETBACK ADJACENT TO STREETS



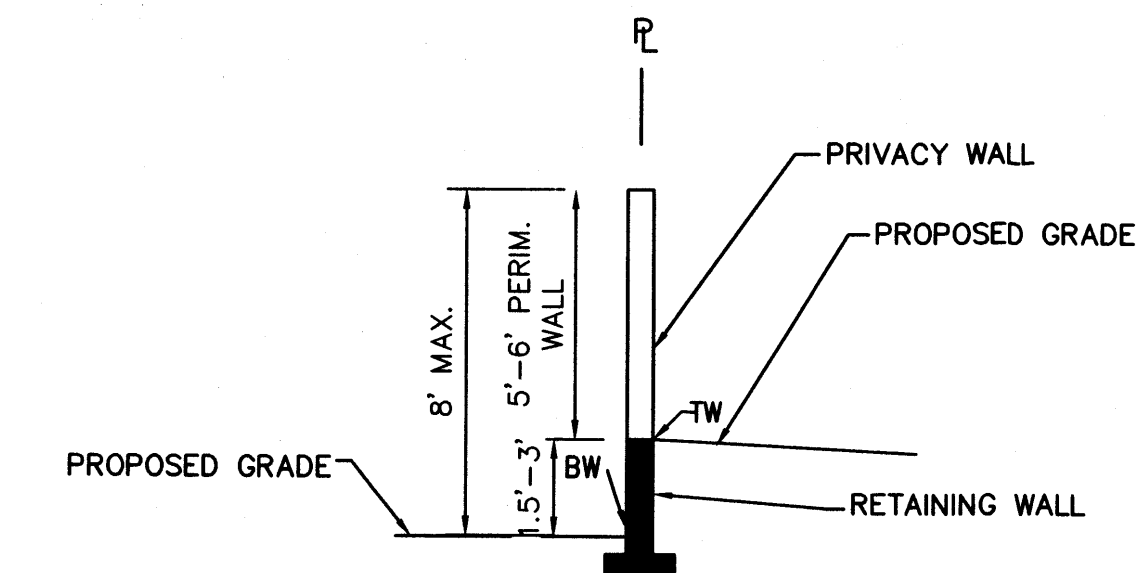
**TYPICAL LOT GRADING DETAIL
DRIVEWAY ON LOW SIDE**

SCALE: 1"=20' NOTE: 10' SIDEYARD SETBACK ADJACENT TO STREETS.



DOUBLE RETAINING WALL

NTS

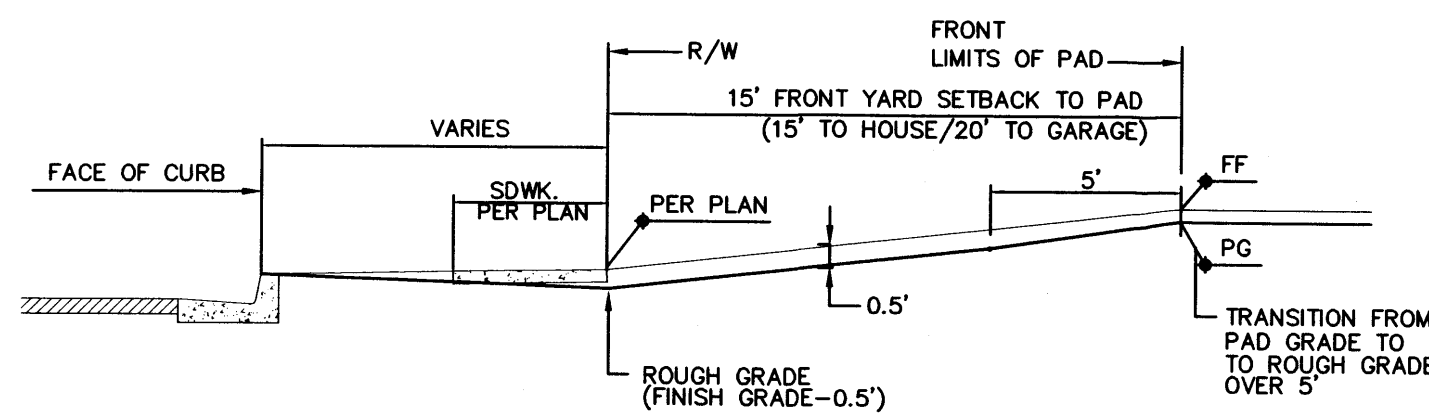


SINGLE RETAINING WALL

NTS

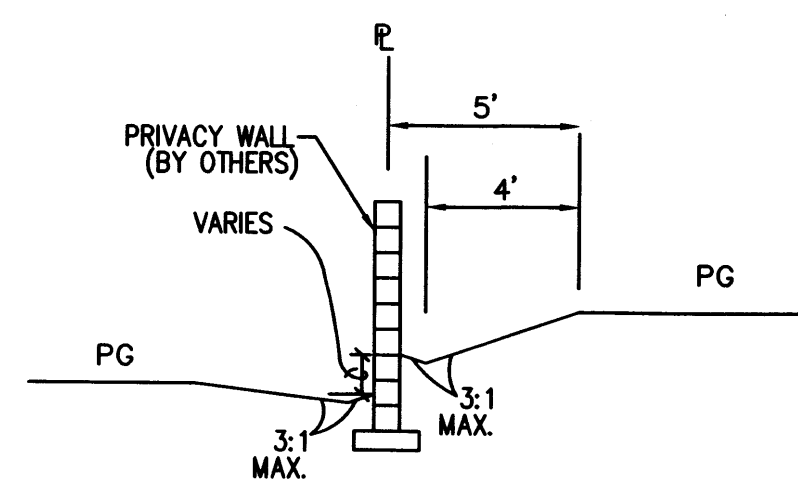
NOTES:

- A. GARDEN PRIVACY WALL CAN RETAIN UP TO 1.5'.
- B. RETAINING WALLS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.



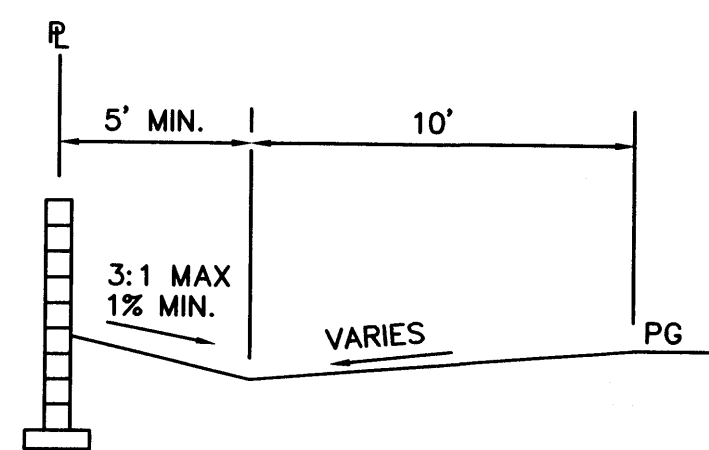
**SECTION A-A
FRONT YARD GRADING**

SCALE: 1"=5'-0"



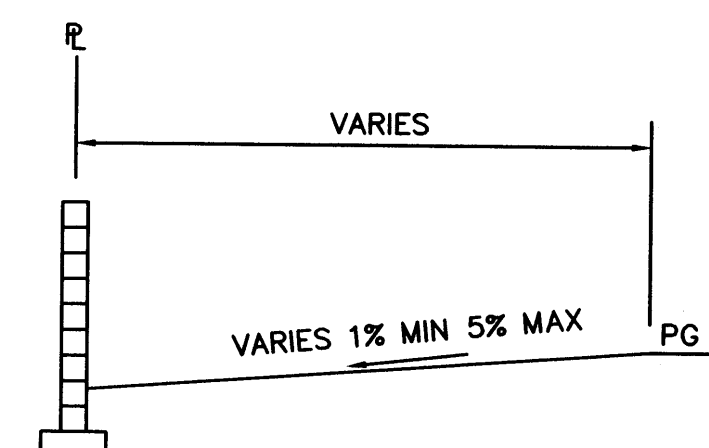
**SECTION B-B
TYPICAL SIDEYARD GRADING**

SCALE: 1"=5'



**SECTION C-C
TYPICAL BACKYARD GRADING**

SCALE: 1"=5'



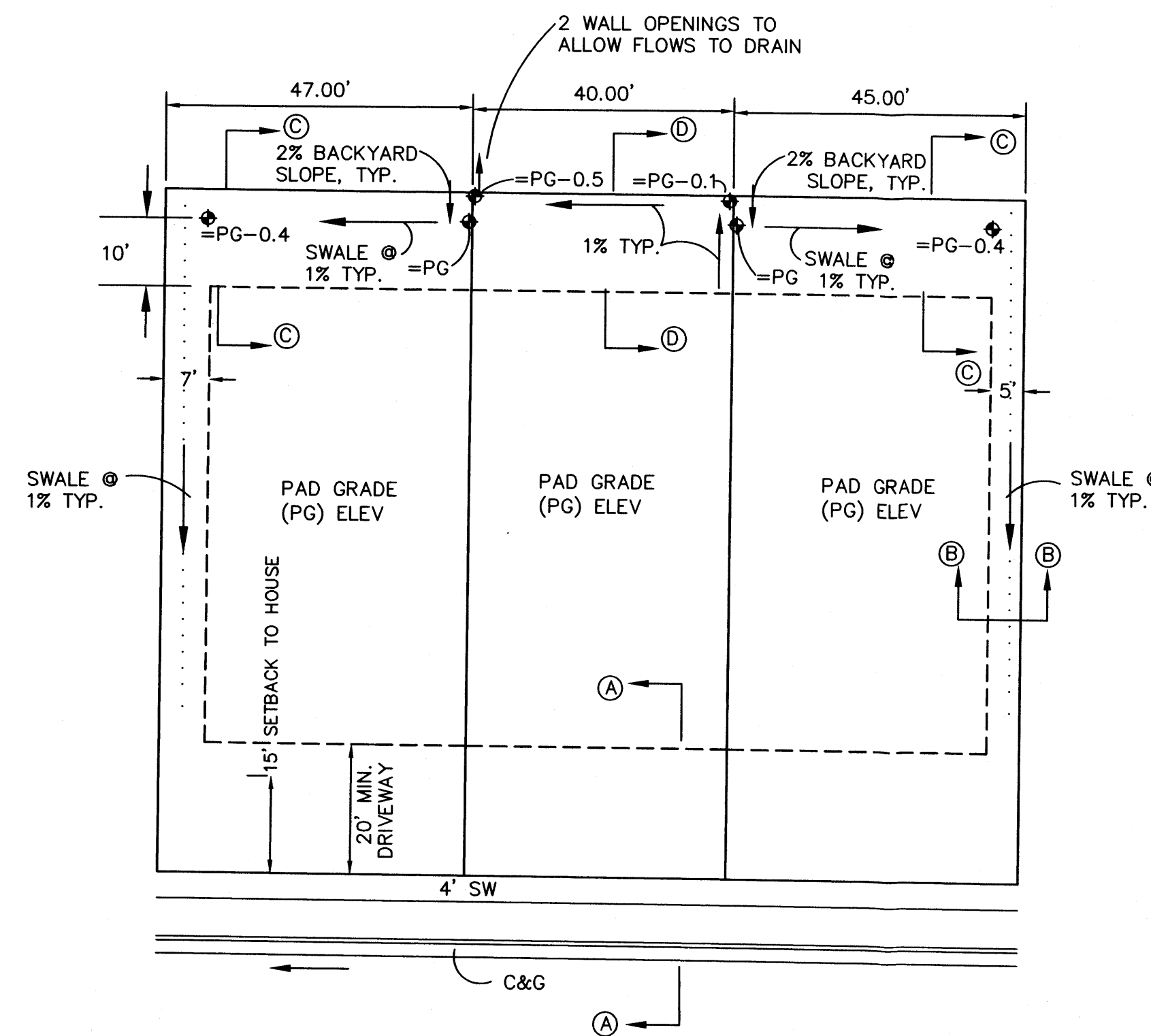
**SECTION D-D
TYPICAL BACKYARD GRADING**

SCALE: 1"=5'

DRIVEWAY NOTE:

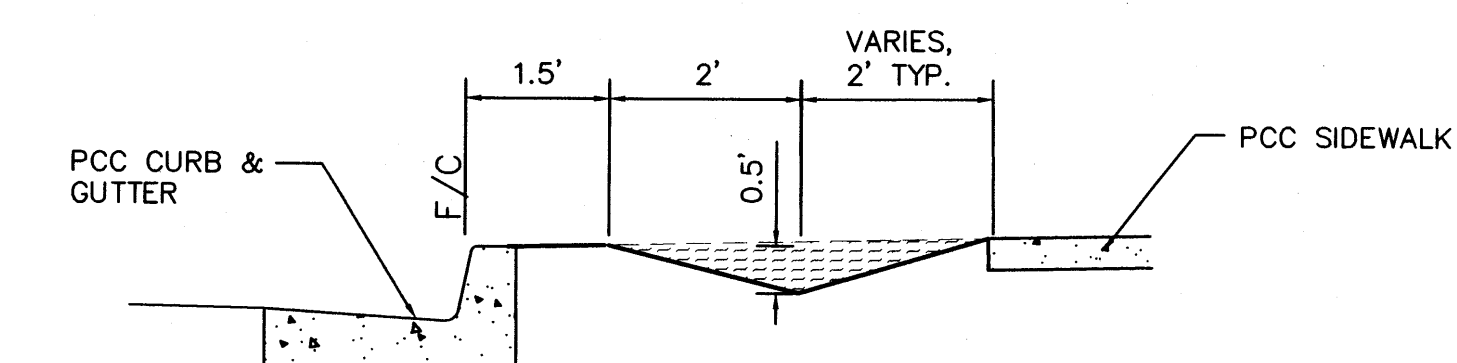
RECOMMENDED DRIVEWAY LOCATIONS ARE SHOWN ON PLANS WHERE STEEP STREET SLOPES OCCUR TO MINIMIZE DRIVEWAY SLOPES AND TO MINIMIZE RETAINING WALL HEIGHTS. WHERE DRIVEWAYS ARE SHOWN ON LOW SIDE, DRIVEWAYS SHALL BE CONSTRUCTED IN THIS LOCATION TO ENSURE A MIN. 1% SIDEYARD SWALE SLOPE.

DRIVEWAYS SHALL NOT INTERFERE WITH IMPROVEMENTS SHOWN ON PUBLIC PLANS, SUCH AS STORM DRAIN INLETS AND ADA RAMPS.



TYPICAL TOWNHOME LOT GRADING DETAIL

SCALE: 1"=20'



WATER HARVESTING DETAIL

SCALE: 1"=2'

A 6" DEEP WATER HARVESTING AREA SHALL BE GRADED BETWEEN SIDEWALK AND CURB TO CAPTURE "FIRST FLUSH" WATER. GRADING SHALL TRANSITION TO ENSURE WATER METERS, LIGHT POLE BASES AND INLET BOXES ARE NOT LOCATED IN THE WATER HARVESTING AREAS. (NOT PART OF GRADING CERTIFICATION)

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2109 CG-501.dwg Aug 28, 2015

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**SANTA MONICA ESTATES
SUBDIVISION**

GRADING & RETAINING WALL DETAILS

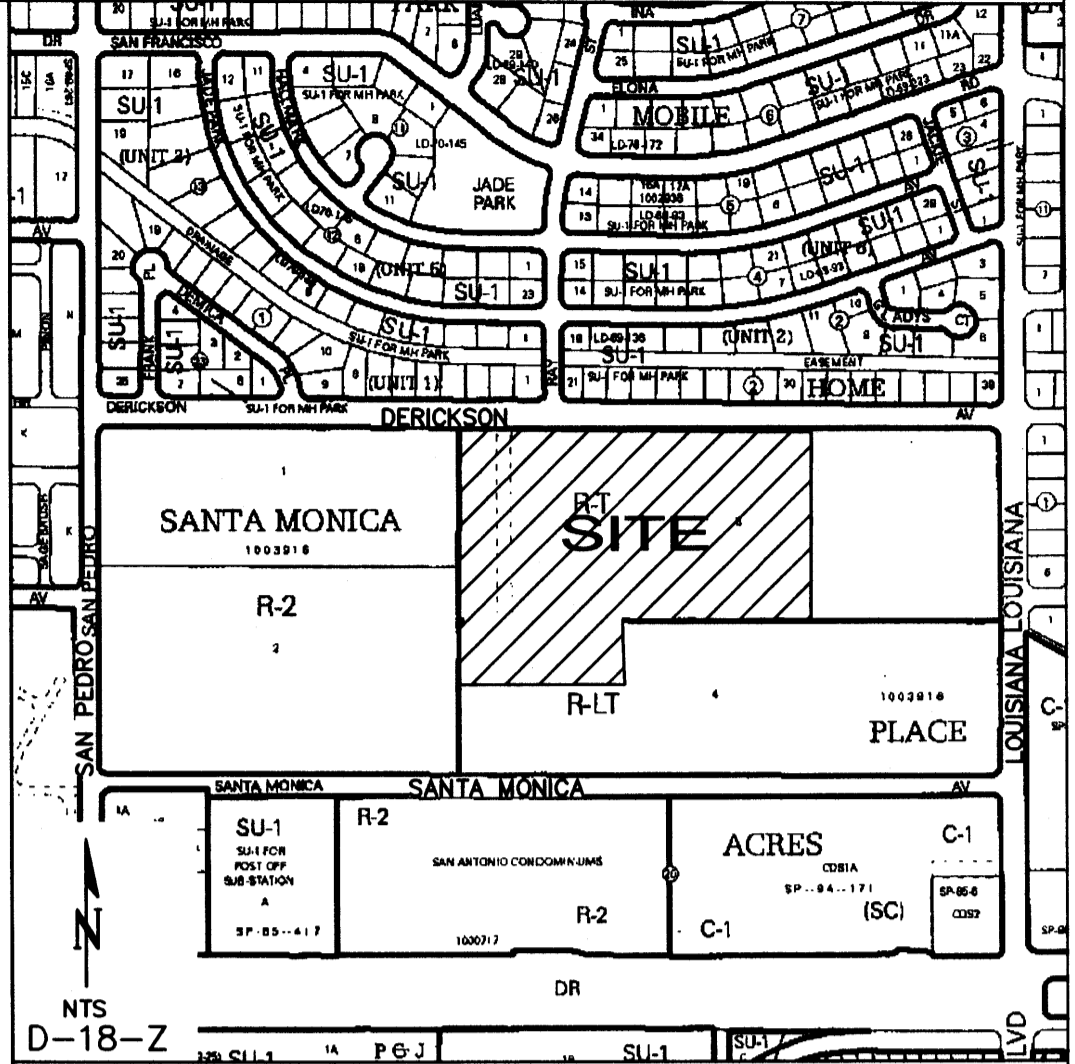
Date:	No.	Revision:	Date:	Job No.
06/2015				2109
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Ckd By:				SH OF
ANW				

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GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE AND CITY OF ALBUQUERQUE SPECIFICATIONS APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.
3. ALL SUBGRADE, OVEREXCAVATION, BACKFILL, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- 4.
5. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.
8. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.
9. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.
10. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
11. CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.
12. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
13. THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
15. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
16. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
17. MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
18. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
19. SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
20. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.
21. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDDES PERMIT, AND ESC PLAN BY OTHERS.) A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
22. A CURRENT STORMWATER CONTROL PERMIT, INCLUDING AN EROSION SEDIMENT CONTROL PLAN (E.S.C.) FOR EROSION AND SEDIMENT CONTROL IS REQUIRED FOR ALL CONSTRUCTION, DEMOLITION CLEARING, AND GRADING OPERATIONS THAT DISTURB THE SOIL ON ONE ACRE OR MORE OF LAND. OWNER WILL COORDINATE.
23. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.
24. STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" (DEFINED AS THE 90TH PERCENTILE STORM EVENT. PER THE CITY DRAINAGE ORDINANCE, THE 90TH PERCENTILE STORM EVENT, WHICH IS 44 INCHES, IS TO BE MANAGED. REDUCE 0.44 INCH BY THE 0.1 INCH FOR THE INITIAL IMPERVIOUS ABSTRACTION IN TABLE A-6 OF SECTION 22 OF THE DPM. MULTIPLY THE REMAINING 0.34 INCH BY YOUR IMPERVIOUS AREA. THIS IS THE PORTION TO RETAIN.
25. ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
26. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.05' FROM PLAN ELEVATION.
27. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
28. NEW PAVEMENT SLOPE SHALL BE A MINIMUM OF 1.0% FOR CONCRETE AND 1.5% FOR ASPHALT UNLESS NOTED OTHERWISE.
29. SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
30. CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.
31. POND DESIGN PARAMETERS (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
32. ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
33. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
34. MEASURES REQUIRED FOR EROSION AND SEDIMENT CONTROL SHALL BE INCIDENTAL TO THE PROJECT COST.
35. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION (FIRST PRIORITY), AND/OR NMDOT STANDARD SPECIFICATIONS FOR PUBLIC WORK (SECOND PRIORITY.)
36. EARTH SLOPES SHALL NOT EXCEED 3:1 UNLESS SHOWN OTHERWISE.
37. FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (811) FOR LOCATION OF EXISTING UTILITIES.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: Tract 3-A-1, Santa Monica Place
SITE AREA: 15.0415 AC.
FLOOD ZONE: THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 35001C0137H, MAP REVISED AUGUST 16, 2012.
ENGINEER: Asa Nilsson-Weber
 ISAACSON & ARFMAN, P.A.
 128 MONROE ST NE, ABQ. NM 87108
 PHONE: (505) 268-8828
SURVEYOR: RUSS HUGG
 SURV-TEK, INC.
 9384 VALLEY VIEW DRIVE, ABQ. NM 87114
 PHONE: (505) 897-3366
BENCHMARK: ACS MONUMENT BM 25_E18
 ELEVATION: 5339.186 (NGVD 1988)

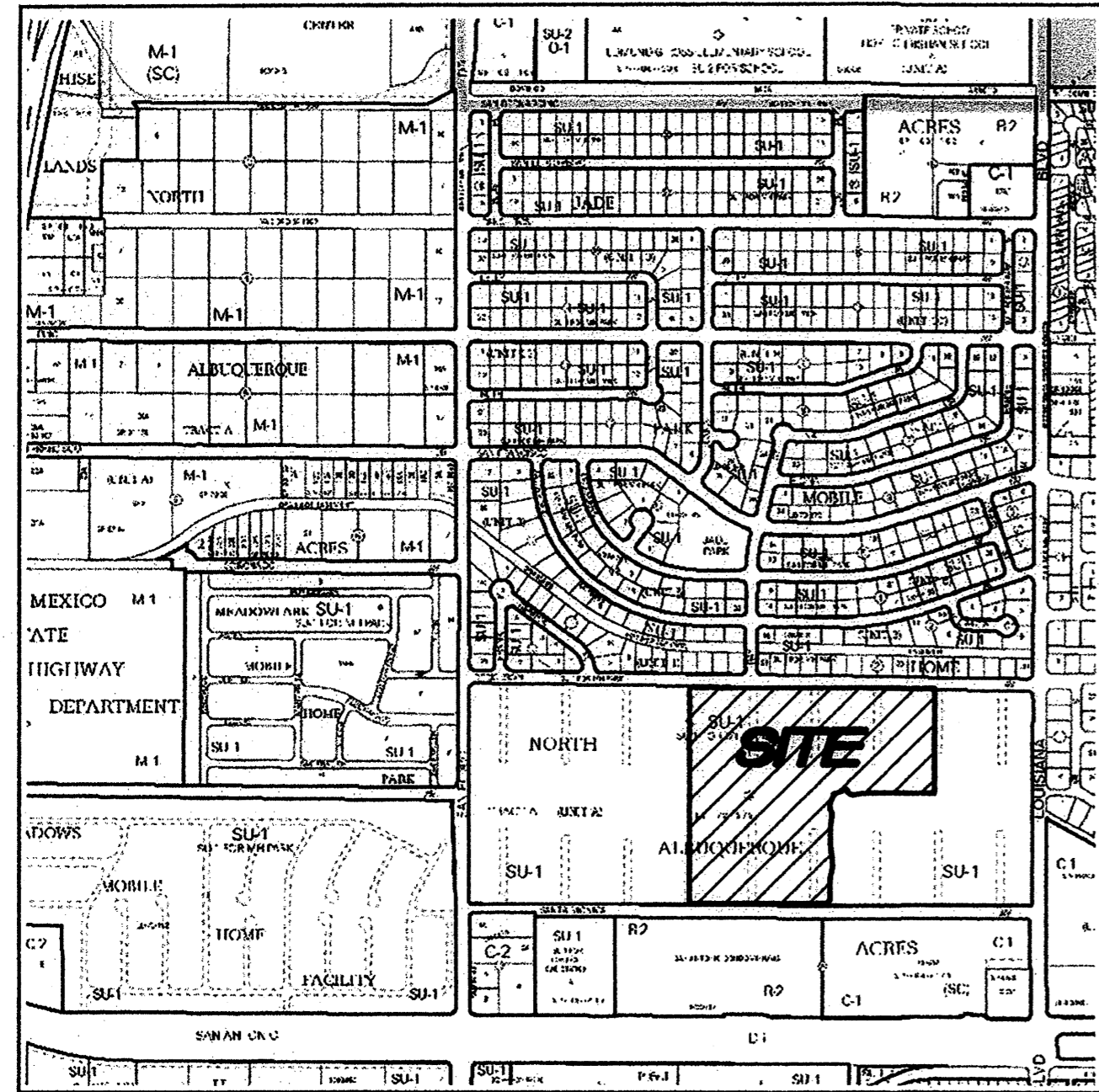
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.iaacivil.com
 2109 CG-101.dwg Aug 28, 2015

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

**SANTA MONICA ESTATES
 SUBDIVISION**

GRADING & DRAINAGE NOTES

Date:	No.:	Revision:	Date:	Job No.:
06/2015				2109
Drawn By:				1
ANW				
Ckd By:				SH OF
ANW				



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are grid based on the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Distances shown along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, do not differ from those established by this field survey.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page: D-18-Z

SUBDIVISION DATA

Total number of existing Tracts: 2
 Total number of new Tracts created: 2
 Gross Subdivision acreage: 19.6715 acres

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

61806344807440202
 101806344811940203
 Del Ray Investments LLC
 7-20-15
 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT:

The Purpose of this plat is to:

- Adjust the existing tract line between Tracts 3-A and 4-A as shown hereon.
- Grant the Additional Public Drainage Easement and Public Water and Sanitary Sewer Easement as shown hereon.

PLAT OF
 TRACTS 3-A-1 AND 4-A-1
 SANTA MONICA PLACE
 (BEING A REPLAT OF TRACTS 3-A AND 4-A, SANTA MONICA PLACE)
 SITUATE WITHIN
 THE ELENA GALLEGOS GRANT
 IN
 PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2015

PROJECT NUMBER: 1010144

PLAT APPROVAL

UTILITY APPROVALS:

6-30-15
 Public Service Company of New Mexico Date
 6-30-15
 New Mexico Gas Company Date
 7-14-15
 QWest Corporation d/b/a CenturyLink QC Date
 6/30/15
 Comcast Date

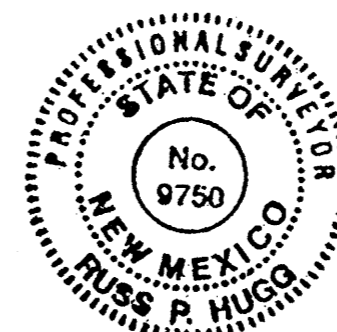
CITY APPROVALS:

6/29/15
 City Surveyor Date
 Department of Municipal Development
 N/A
 Real Property Division Date
 7/20/15
 N/A
 Environmental Health Department Date
 7/15/15
 Traffic Engineering, Transportation Division Date
 07/15/15
 ABCWUA Date
 7-15-15
 Parks and Recreation Department Date
 7-15-15
 AMAFCA Date
 7-15-15
 City Engineer Date
 7-20-15
 DRB Chairperson, Planning Department Date

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 June 26, 2015



SHEET 1 OF 3

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3366
 9364 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

DOCH 2015061973

07/20/2015 12:32 PM Page: 1 of 3

PLAT R: \$25.00 B: 2015C P: 0081 N: Toulouse Oliver, Bernalillo Cour



PLAT OF
TRACTS 3-A-1 AND 4-A-1
SANTA MONICA PLACE
 (BEING A REPLAT OF TRACTS 3-A AND 4-A, SANTA MONICA PLACE)
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 JUNE , 2015

LEGAL DESCRIPTION

That certain parcel of land situate within the Elena Gallegos Grant in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tracts 3-A and 4-A, Santa Monica Place, as the same are shown and designated on the plat entitled "PLAT OF TRACTS 3-A, 3-B, 4-A and 4-B, SANTA MONICA PLACE (BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE), SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 22, 2015 in Plat Book 2015C, Page 4.

Said parcel contains 19.6715 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS 3-A-1 AND 4-A-1, SANTA MONICA PLACE (BEING A REPLAT OF TRACTS 3-A AND 4-A, SANTA MONICA PLACE) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietors(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER


DEL REY INVESTMENTS, LLC
 A New Mexico limited liability company

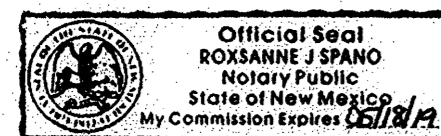
By: 
 Ben F. Spencer, Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 29
 day of June, 2015, by Ben F. Spencer, Manager


 Notary Public My commission expires 05/18/2019



DRAINAGE EASEMENT NOTES

A. There is an existing interim Cross Lot Drainage Easement granted by plat filed January 6, 2012 in Plat Book 2012C, Page 2 for the mutual benefit of the owners of Tracts 1 thru 4 until future development occurs. Tracts 1 thru 4 will discharge drainage to the existing drainage facilities/outfalls located at the intersection of Derickson and San Pedro as outlined in the Conceptual Drainage Report prepared by Isaacson & Arfman, P.A. dated 12-2-11. Owners/Developers of any of the tracts are allowed to grade interim drainage facilities such as grading, berming, ponding or outfall structures on adjacent undeveloped property and will be maintained by the benefiting tract owner until such time that future development (TBD) of the undeveloped property is complete and applicable interim facilities are no longer required. Notwithstanding anything herein to the contrary, the interim Cross Lot Drainage Easement may not be terminated without the approval of the City Engineer.

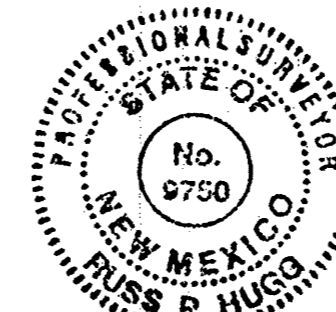
Said Easement within Tracts 3 and 4, Santa Monica Place is VACATED by 14DRB-70355.

B. A Public and Private Interim Drainage Easement has been granted by plat filed January 22, 2015 in Plat Book 2015C, page 4 over Tract 3-A, for the benefit of Tracts 3-B and 4-A. Owners of said Tracts 3-B and 4-A shall be allowed to grade Interim Drainage Facilities on Tract 3-A. Said Interim Drainage Facilities shall be maintained by the owner of Tract 3-A until such time that future development (TBD) of Tract 3-A is complete and applicable Interim Facilities are no longer required.

LINE TABLE		
LINE	LENGTH	BEARING
L1	64.74	S71°54'25"W
L2	3.77	S01°59'11"E
L3	43.38	S00°20'00"W
L4	74.97	S00°20'00"W
L5	30.82	N00°20'00"E
L6	12.56	N00°20'00"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	15.00'	570.00'	7.50'	15.00'	N89°34'46"E	1°30'29"
C2	71.13'	330.00'	35.70'	70.99'	S84°09'31"W	12°20'59"
C3	18.11'	25.00'	9.48'	17.72'	S81°15'33"E	41°30'53"
C4	1.51'	62.00'	0.76'	1.51'	N61°12'02"W	1°23'52"
C5	26.27'	25.00'	14.49'	25.08'	S31°47'57"E	60°12'01"
C6	16.71'	25.00'	8.68'	16.40'	N16°49'59"E	38°17'50"
C7	70.13'	62.00'	39.36'	66.45'	S03°34'30"W	64°48'47"
C8	18.11'	25.00'	9.48'	17.72'	N08°04'27"W	41°30'53"
C9	71.13'	330.00'	35.70'	70.99'	S06°30'29"W	12°20'59"
C10	63.78'	330.00'	31.99'	63.68'	S05°12'12"E	11°04'23"
C11	31.04'	270.00'	15.54'	31.02'	N07°26'46"W	6°35'14"
C12	51.80'	150.00'	26.16'	51.54'	N05°44'25"E	19°47'09"
C13	39.90'	150.00'	20.07'	39.78'	S08°00'48"W	15°14'22"
C14	39.27'	25.00'	25.00'	35.36'	N45°19'59"E	89°59'57"

DOCH 2015061973
 07/20/2015 12:32 PM Page: 2 of 3
 PLAT R: \$25.00 B: 2015C P: 0081 M: Toulouse Oliver, Bernalillo Cou



SURV TEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

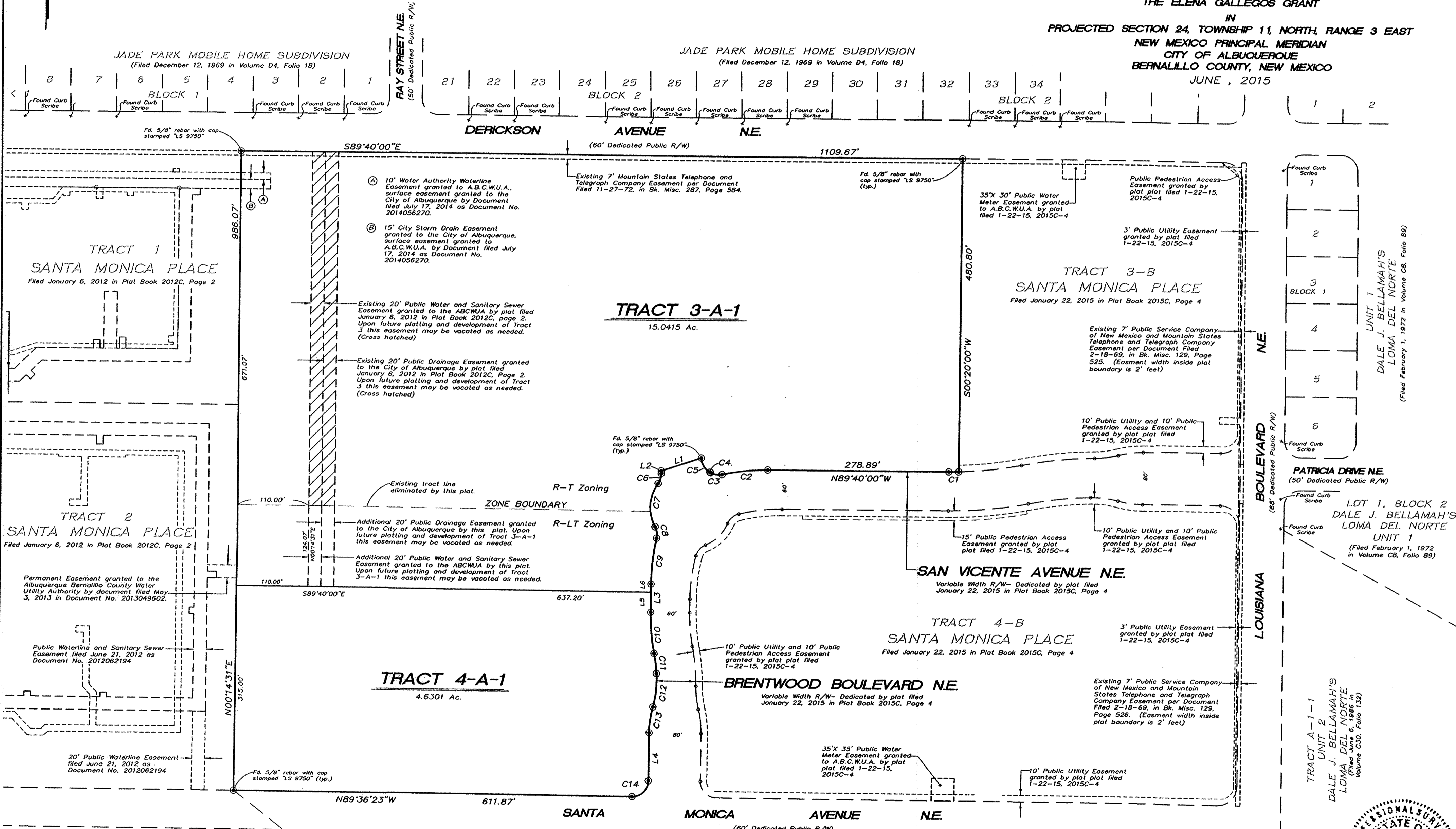
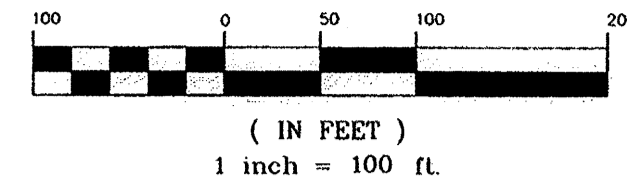
PLAT OF
TRACTS 3-A-1 AND 4-A-1
SANTA MONICA PLACE

(BEING A REPLAT OF TRACTS 3-A AND 4-A, SANTA MONICA PLACE)

SITUATE WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE, 2015



JADE PARK MOBILE HOME SUBDIVISION
(Filed December 12, 1969 in Volume D4, Folio 18)

JADE PARK MOBILE HOME SUBDIVISION
(Filed December 12, 1969 in Volume D4, Folio 18)

BLOCK 1
Found Curb Scribe

BLOCK 2
Found Curb Scribe

BLOCK 2
Found Curb Scribe

1 2

TRACT 1
SANTA MONICA PLACE
Filed January 6, 2012 in Plat Book 2012C, Page 2

TRACT 3-A-1
15.0415 Ac.

TRACT 3-B
SANTA MONICA PLACE
Filed January 22, 2015 in Plat Book 2015C, Page 4

TRACT 2
SANTA MONICA PLACE
Filed January 6, 2012 in Plat Book 2012C, Page 2

TRACT 4-B
SANTA MONICA PLACE
Filed January 22, 2015 in Plat Book 2015C, Page 4

TRACT 4-A-1
4.6301 Ac.

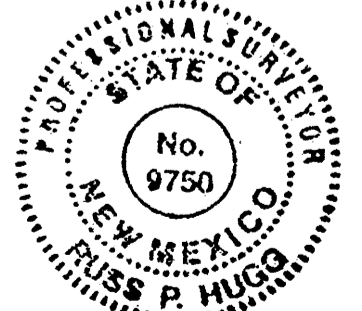
PATRICIA DRIVE NE
(50' Dedicated Public R/W)
LOT 1, BLOCK 2
DALE J. BELLAMAH'S
LOMA DEL NORTE
UNIT 1
(Filed February 1, 1972 in Volume C8, Folio 89)

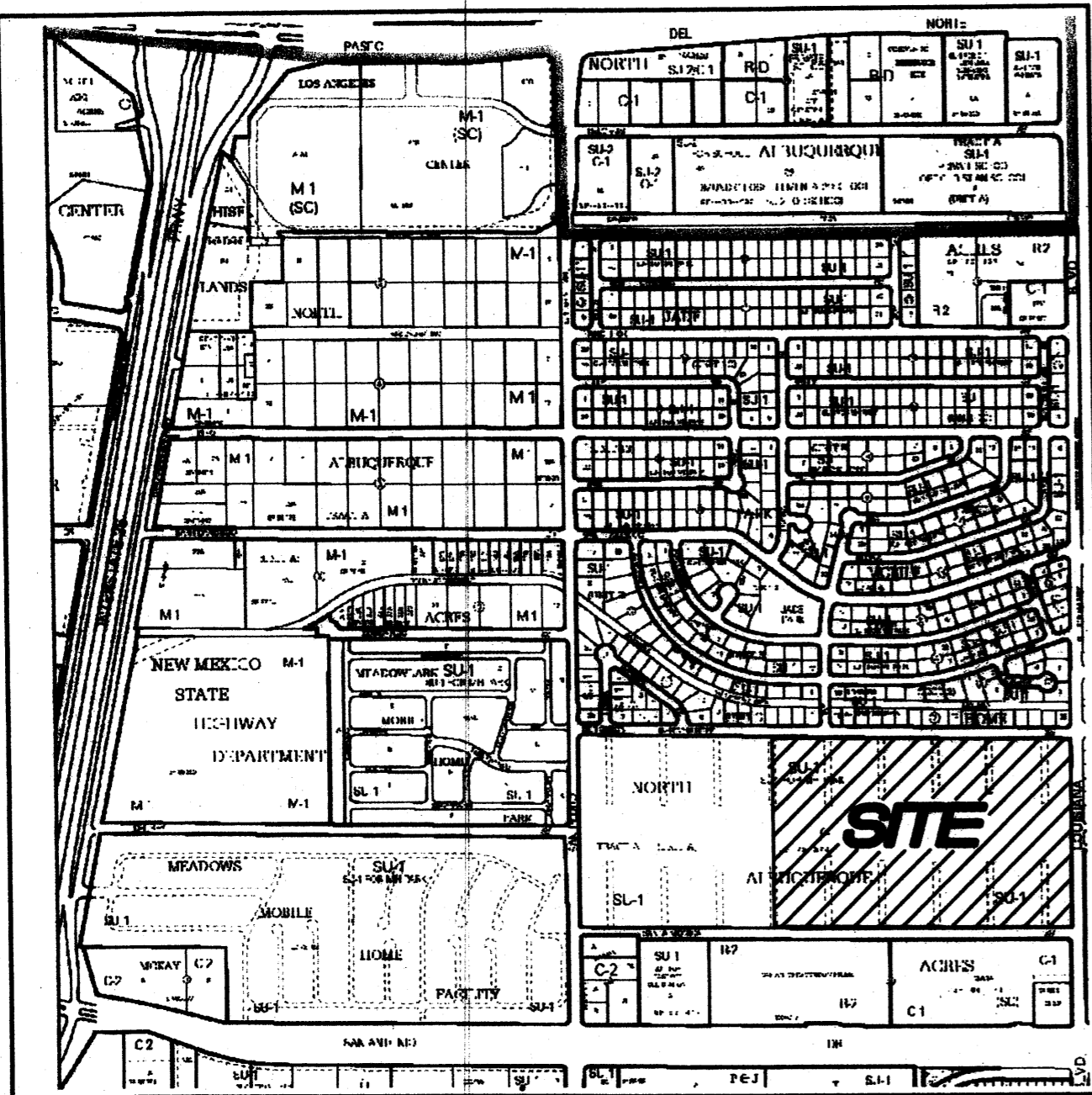
TRACT A-1-1
UNIT 2
DALE J. BELLAMAH'S
LOMA DEL NORTE
Volume C10, Folio 132

SAN ANTONIO CONDOMINIUMS
BLOCK 20, TRACT A, UNIT A
NORTH ALBUQUERQUE ACRES
(Filed November 8, 2000 in Volume 2000C, Folio 288)

TRACT CDS-1A
BLOCK 20, TRACT A, UNIT A
NORTH ALBUQUERQUE ACRES
(Filed October 4, 1994 in Volume 94C, Folio 333)

Albuquerque Survey Control Monument "6-E19A"
New Mexico State Plane Coordinates,
Central Zone (NAD 83)
N = 1,511,031.953
E = 1,547,535.201
Delta Alpha = -0'10"44.06"
Ground to Grid Factor = 0.999655024





VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are grid based on the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Distances shown along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are in parenthesis ().
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- City of Albuquerque Zone Atlas Page: D-18-Z

SUBDIVISION DATA

Total number of existing Tracts: 2
 Total number of new Tracts created: 4
 Public street right of way dedicated: 2.1003 acres
 Gross Subdivision acreage: 34.9419 acres
 Mileage of full width streets created: 0.25 mile

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

10180634480740202, 101806344811940203

Del Rey Investments LLC

[Signature]
Bernalillo County Treasurer

1/22/15
Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) and Qwest Corporation d/b/a CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT:

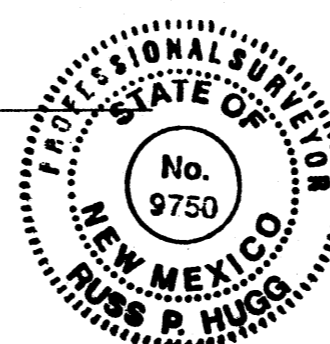
The Purpose of this plat is to:

- Divide two (2) existing tracts into four (4) new tracts as shown hereon.
- Grant the Public Utility Easements as shown hereon.
- Dedicate the additional street right of way to the City of Albuquerque as shown hereon.
- Acknowledge the Vacation of a portion of an existing Interim Drainage Easement VACATED by 14DRB-10155

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPA No. 9750
September 25, 2014



PLAT OF
TRACTS 3-A, 3-B, 4-A AND 4-B
SANTA MONICA PLACE
(BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE)

SITUATE WITHIN
THE ELINA GALLEGOS GRANT
IN
PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2014

DOCH 2015004957
01/22/2015 01:59 PM Page: 1 of 4
PLAT R. 925 00 B 2015C P. 0004 M. Toulous Olivera, Bernalillo Cou

PROJECT NUMBER: 1010144

Application Number: 14506-70356

PLAT APPROVAL

UTILITY APPROVALS:

<i>[Signature]</i> Public Service Company of New Mexico	10-9-14 Date
<i>[Signature]</i> New Mexico Gas Company	10/9/14 Date
<i>[Signature]</i> Qwest Corporation d/b/a CenturyLink QC	10/10/14 Date
<i>[Signature]</i> Comcast	10/10/14 Date

CITY APPROVALS:

<i>[Signature]</i> Acting City Surveyor Department of Municipal Development	10/2/14 Date
<i>[Signature]</i> Real Property Division	1-22-15 Date
<i>[Signature]</i> Environmental Health Department	1-22-15 Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	01-07-15 Date
<i>[Signature]</i> ABCWJA	01/07/15 Date
<i>[Signature]</i> Parks and Recreation Department	1-7-15 Date
<i>[Signature]</i> AMAFCA	1-7-15 Date
<i>[Signature]</i> City Engineer	1-7-15 Date
<i>[Signature]</i> DRP Chairperson, Planning Department	1-22-15 Date



**PLAT OF
TRACTS 3-A, 3-B, 4-A AND 4-B
SANTA MONICA PLACE**
(BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE)
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2014

LEGAL DESCRIPTION

That certain parcel of land situate within the Elena Gallegos Grant in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tracts 3 and 4, Santa Monica Place, as the same is shown and designated on the plat entitled "BULK LAND PLAT OF TRACTS 1 THRU 4, SANTA MONICA PLACE (BEING A REPLAT OF BLOCKS 18 AND 19, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AND A VACATED PORTION OF DEL REY AVENUE N.E.), SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 6, 2012 in Plat Book 2012C, Page 2.

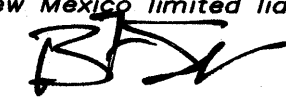
Said parcel contains 34.9419 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS 3-A, 3-B, 4-A AND 4-B, SANTA MONICA PLACE (BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way, as shown hereon, to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER


DEL REY INVESTMENTS, LLC
A New Mexico limited liability company

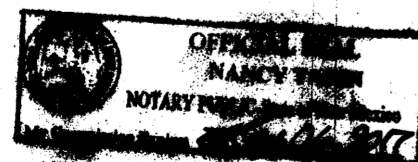
By: 
Ben F. Spencer, Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 10th day of October, 2014, by Ben F. Spencer, Manager


Notary Public My commission expires 21st Oct 2017



DRAINAGE EASEMENT NOTES

A. There is an existing Interim Cross Lot Drainage Easement granted by plat filed January 6, 2012 in Plat Book 2012C, Page 2 for the mutual benefit of the owners of Tracts 1 thru 4 until future development occurs. Tracts 1 thru 4 will discharge drainage to the existing drainage facilities/outfalls located at the intersection of Derickson and San Pedro as outlined in the Conceptual Drainage Report prepared by Isaacson & Arfman, P.A. dated 12-2-11. Owners/Developers of any of the tracts are allowed to grade interim drainage facilities such as grading, berming, ponding or outfall structures on adjacent undeveloped property and will be maintained by the benefiting tract owner until such time that future development (TBD) of the undeveloped property is complete and applicable interim facilities are no longer required. Notwithstanding anything herein to the contrary, the Interim Cross Lot Drainage Easement may not be terminated without the approval of the City Engineer.

Said Easement within Tracts 3 and 4, Santa Monica Place is VACATED by 14DRB-70355.

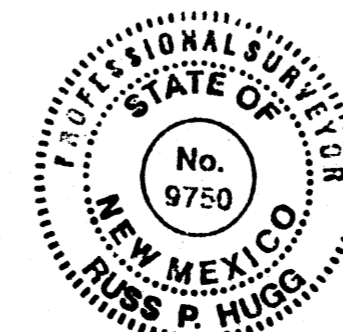
B. A New Public and Private Interim Drainage Easement shall be granted by this plat over Tract 3-A, for the benefit of Tracts 3-B and 4-A. Owners of said Tracts 3-B and 4-A shall be allowed to grade Interim Drainage Facilities on Tract 3-A. Said Interim Drainage Facilities shall be maintained by the owner of Tract 3-A until such time that future development (TBD) of Tract 3-A is complete and applicable Interim Facilities are no longer required.

DOCR 2015004957

01/22/2015 01:59 PM Page 2 of 4
PLAT R:525 00 B: 2015C P: 0004 M: Toulouse Olivere, Bernalillo Cou

LINE TABLE		
LINE	LENGTH	BEARING
L1	75.03	S00°20'00"W
L2	20.82	N00°20'00"E
L3	256.33	N89°40'00"W
L4	120.09	N89°40'00"W
L5	214.63	N89°40'00"W
L6	266.87	S89°40'00"E
L7	18.13	N68°05'29"E
L8	18.13	S22°34'31"W
L9	31.36	N00°20'00"E
L10	169.66	N00°20'00"E
L11	74.97	N00°20'00"E
L12	43.38	N00°20'00"E
L13	278.89	S89°40'00"E
L14	119.66	N89°40'00"W
L15	3.77	N01°59'11"W
L16	64.74	N71°54'25"E
L17	31.61	S89°40'00"E
L18	2.84	S89°40'00"E
L19	42.97	S49°20'31"E
L20	153.78	S89°40'00"E
L21	30.00	S00°20'00"W
L22	35.00	S89°40'00"E
L23	30.00	N00°20'00"E
L24	330.86	S89°36'23"E
L25	35.00	N00°23'37"E
L26	35.00	S89°36'23"E
L27	35.00	S00°23'37"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	47.03'	30.00'	29.91'	42.36'	N44°45'15"W	89°49'31"
C2	47.25'	30.00'	30.12'	42.51'	N45°16'34"E	90°14'06"
C3	39.24'	25.00'	24.97'	35.34'	S44°38'11"E	89°56'23"
C4	37.02'	150.00'	18.60'	36.92'	N06°40'35"W	14°08'24"
C5	35.79'	150.00'	17.98'	35.70'	S06°54'42"E	13°40'10"
C6	61.41'	330.00'	30.80'	61.32'	N05°24'30"W	10°39'46"
C7	52.18'	270.00'	26.17'	52.10'	S05°12'12"E	11°04'23"
C8	67.43'	270.00'	33.89'	67.25'	S07°29'15"W	14°18'31"
C9	23.17'	25.00'	12.49'	22.35'	S41°11'39"W	53°06'16"
C10	48.51'	62.00'	25.57'	47.28'	N45°20'00"E	44°49'34"
C11	23.17'	25.00'	12.49'	22.35'	S49°28'21"W	53°06'16"
C12	67.43'	270.00'	33.89'	67.25'	S83°10'44"W	14°18'31"
C13	123.73'	630.00'	62.07'	123.54'	N84°42'24"E	11°15'11"
C14	96.38'	570.00'	48.31'	96.27'	S83°55'28"W	9°41'18"
C15	42.63'	150.00'	21.46'	42.48'	N83°05'25"W	16°16'52"
C16	38.53'	150.00'	19.37'	38.43'	S82°18'28"E	14°43'04"
C17	47.03'	30.00'	29.91'	42.36'	N44°45'15"W	89°49'31"
C18	117.84'	600.00'	59.11'	117.65'	S84°42'24"E	11°15'11"
C19	117.84'	600.00'	59.11'	117.65'	N84°42'24"E	11°15'11"
C20	116.46'	300.00'	58.97'	115.73'	S79°12'44"W	22°14'31"
C21	116.46'	300.00'	58.97'	115.73'	S11°27'16"W	22°14'31"
C22	57.98'	300.00'	29.08'	57.89'	S05°12'12"E	11°04'23"
C23	57.98'	300.00'	29.08'	57.89'	N05°12'12"W	11°04'23"
C24	39.30'	25.00'	25.03'	35.37'	N45°21'48"E	90°03'37"
C25	39.90'	150.00'	20.07'	39.78'	S08°00'48"W	15°14'22"
C26	51.80'	150.00'	26.16'	51.54'	N05°44'25"E	19°47'08"
C27	31.04'	270.00'	15.54'	31.02'	N07°26'45"W	6°35'14"
C28	63.78'	330.00'	31.99'	63.68'	S05°12'11"E	11°04'23"
C29	71.13'	330.00'	35.70'	70.99'	S06°30'30"W	12°20'59"
C30	18.11'	25.00'	9.48'	17.72'	N08°04'28"W	41°30'53"
C31	26.27'	25.00'	14.49'	25.07'	S31°47'57"E	60°12'02"
C32	18.11'	25.00'	9.48'	17.72'	S81°15'32"E	41°30'53"
C33	71.13'	330.00'	35.70'	70.99'	S84°09'30"W	12°20'59"
C34	111.95'	570.00'	56.16'	111.77'	N84°42'24"E	11°15'11"
C35	113.69'	630.00'	57.00'	113.54'	S84°15'00"W	10°20'23"
C36	36.64'	150.00'	18.41'	36.55'	N82°25'20"E	13°59'43"
C37	39.03'	150.00'	19.63'	38.92'	S82°52'44"W	14°54'32"
C38	47.22'	30.00'	30.09'	42.49'	N45°14'46"E	90°10'29"
C39	15.00'	570.00'	7.50'	15.00'	N89°34'46"E	1°30'29"
C40	96.95'	570.00'	48.59'	96.83'	N83°57'10"E	9°44'43"
C41	24.73'	62.00'	12.53'	24.57'	S17°24'17"E	22°51'15"
C42	16.71'	25.00'	8.68'	16.40'	N16°49'58"E	38°17'50"
C43	45.40'	62.00'	23.77'	44.40'	S15°00'07"W	41°50'33"
C44	1.51'	62.00'	0.76'	1.51'	N61°12'11"W	1°23'52"
C45	122.13'	645.00'	61.25'	121.95'	N84°54'31"E	10°50'57"

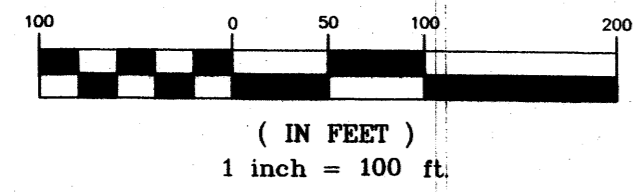


PLAT OF
TRACTS 3-A, 3-B, 4-A AND 4-B
SANTA MONICA PLACE
 (BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE)

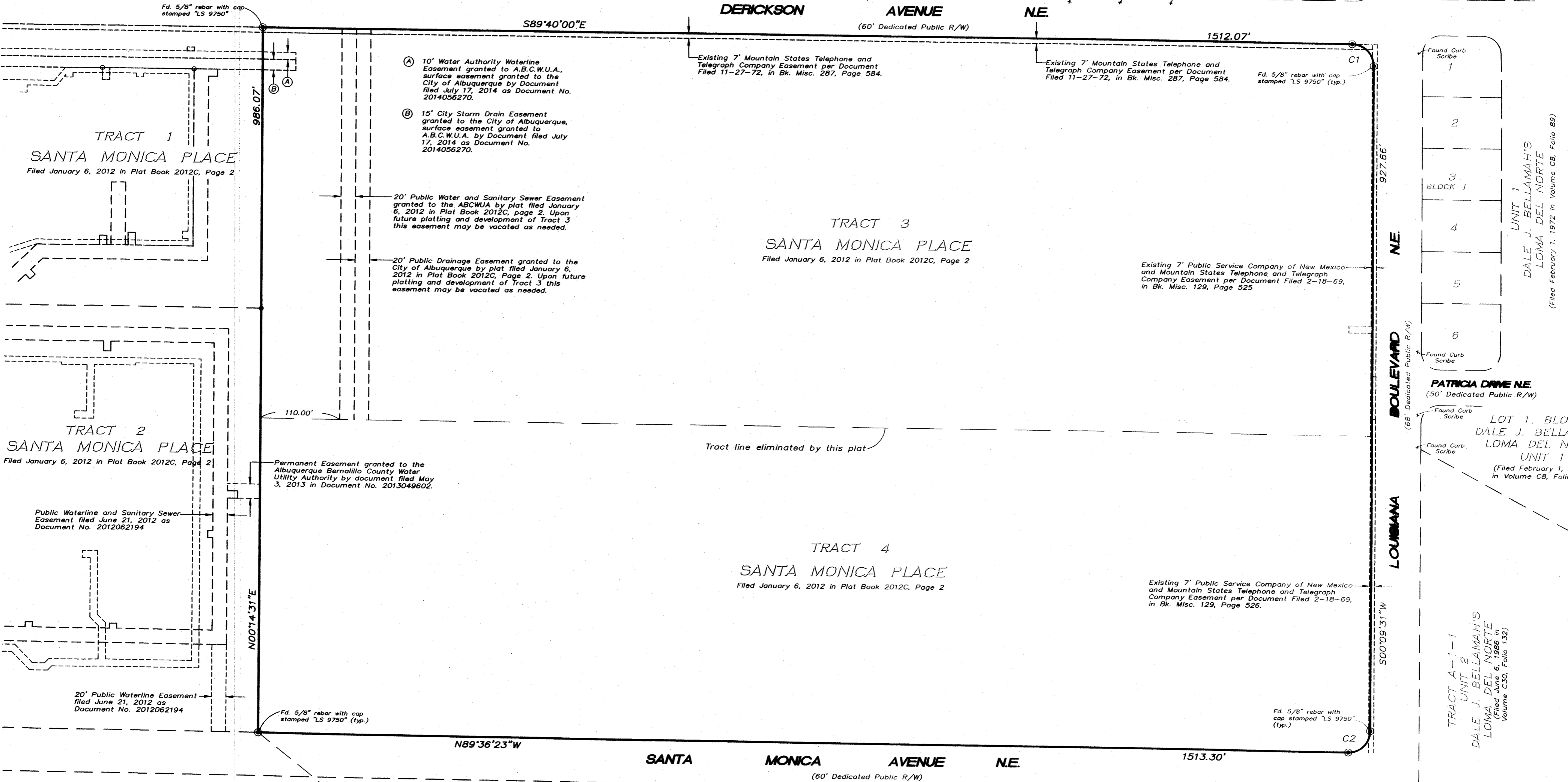
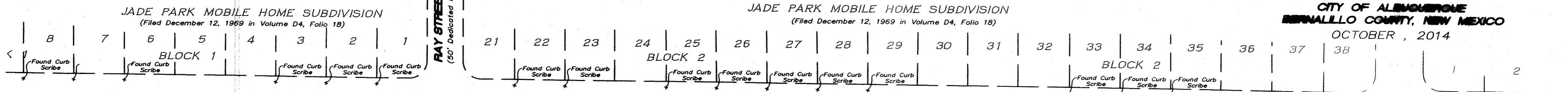
SITUATE WITHIN
 THE ELINA GALLEGOS GRANT

IN
 PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2014



CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	47.03'	30.00'	29.91'	42.36'	N44°45'15"W	89°49'31"
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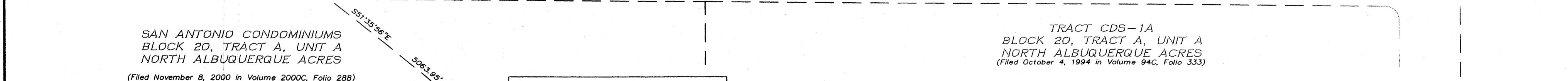
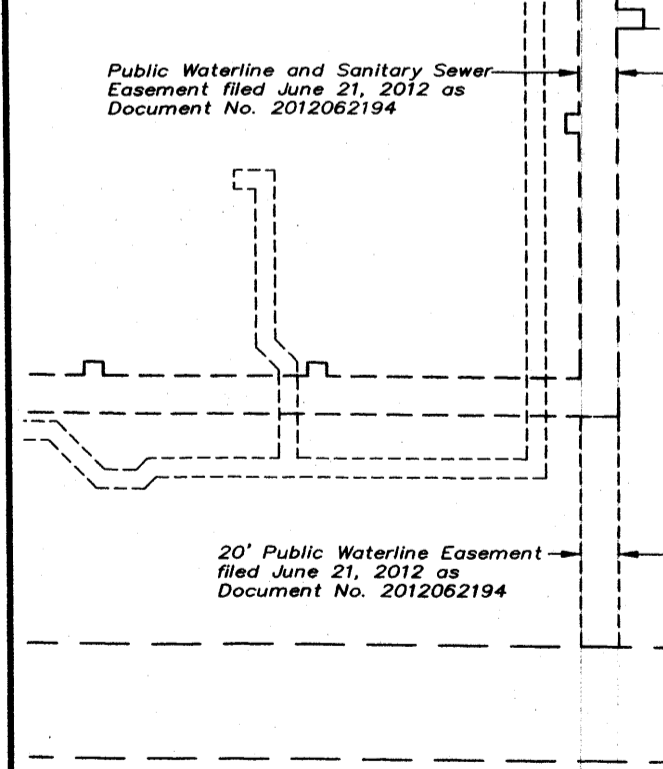
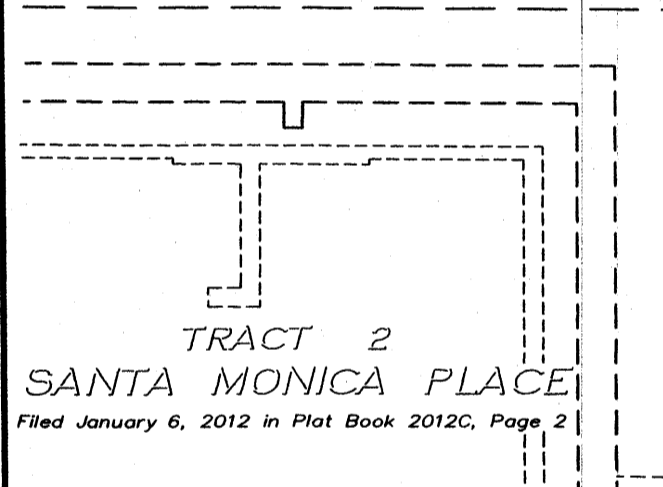
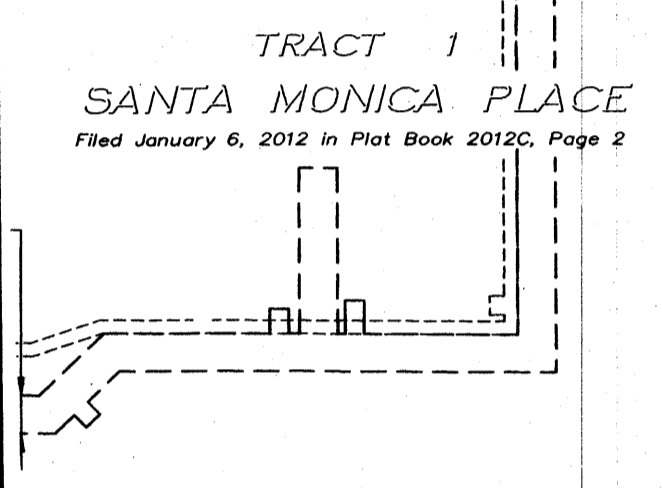
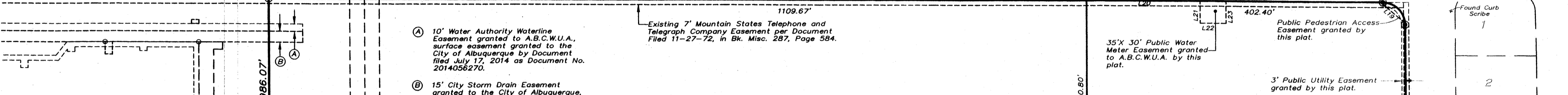
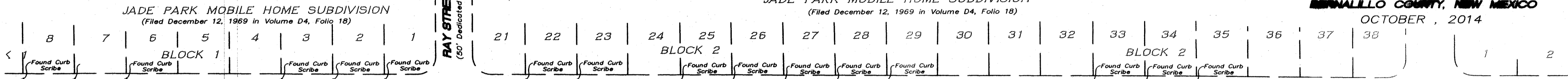
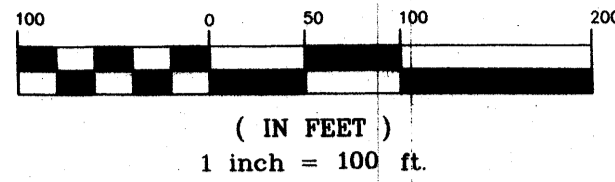
Albuquerque Survey Control Monument "6-E19A"
 New Mexico State Plane Coordinates,
 Central Zone (NAD 83)
 N = 1,511,031.953
 E = 1,547,535.201
 Delta Alpha = -0°10'44.06"
 Ground to Grid Factor = 0.999655024

DOCH 2015004957
 01/22/2015 01:59 PM Page: 3 of 4
 s:\PLAT R 325.00 B: 2015C P: 0004 M: Toulous Olivere, Bernalillo Co.

SURVOR, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

**PLAT OF
TRACTS 3-A, 3-B, 4-A AND 4-B
SANTA MONICA PLACE**
(BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE)
SITUATE WITHIN
THE ELENA GALLEGOS GRANT

IN
PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2014



Albuquerque Survey Control Monument "6-E19A"
New Mexico State Plane Coordinates,
Central Zone (NAD 83)
N = 1,511,031.853
E = 1,547,535.201
Delta Alpha = -0'0"44.06"
Ground to Grid Factor = 0.999655024

UNIT 1
DALE J. BELLAMAH'S
LOMA DEL NORTE
(Filed February 1, 1972 in Volume 08, Folio 89)

PATRICIA DAVE NE
(50' Dedicated Public R/W)
Found Curb Scribe
Found Curb Scribe
LOT 1, BLOCK 2
DALE J. BELLAMAH'S
LOMA DEL NORTE
UNIT 1
(Filed February 1, 1972 in Volume 08, Folio 89)

TRACT A-1-1
UNIT 2
DALE J. BELLAMAH'S
LOMA DEL NORTE
(Filed June 6, 1986 in Volume 030, Folio 132)

FLOOD ZONE DETERMINATION

The subject property (as shown hereon) lies within Zone "X" (areas determined to be outside 0.2% annual chance flood plain) as shown on National Flood Insurance Program Flood Insurance Rate Map No. 35001C0137H, Map Revised August 16, 2012.

UTILITY DISCLAIMER

SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. THESE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED. THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. THE RETAINING OF A PRIVATE UTILITY LINE-SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE-SPOTTING OF A SUBJECT PROPERTY.

TOPOGRAPHIC AND BOUNDARY SURVEY OF TRACTS 3-A, 3-B, 4-A AND 4-B SANTA MONICA PLACE

SITUATE WITHIN THE ELANA GALLEGOS GRANT IN PROJECTED SECTION 24 TOWNSHIP 11 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MARCH, 2015

JADE PARK MOBILE HOME SUBDIVISION
(Filed December 12, 1969 in Volume D4, Folio 18)

UNIT
DALE J. BEL
LOMA DEL

PROJECT: 1010144
DATE: 7/15/15
APP: 15-70237(P;F)

LEGAL DESCRIPTION

Plot of Tracts 3-A, 3-B, 4-A and 4-B, SANTA MONICA PLACE, (Being a replat of Tracts 3 and 4, Santa Monica Place) Situate within the Elena Gallegos Grant in Projected Section 24, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the replat of said Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 22, 2015 in Plot Book 2015C, folio 4, as Document No. 2015004557.

GENERAL NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD83) originated at the Albuquerque Control Survey Monument 10-D18.
 - 2. Distances are ground.
 - 3. Distances along curved lines are arc lengths.
 - 4. Record Plot or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ().
 - 5. All corners found in place and held were tagged with a brass disk stamped "HUGO L.S. 9750" unless otherwise indicated hereon.
 - 6. All corners that were set are either a 5/8" rebar with cap stamped "HUGO L.S. 9750" or a concrete nail with brass disk stamped "HUGO L.S. 9750" unless otherwise indicated hereon.
 - 7. City of Albuquerque Zone Atlas Page: D-18-2.
 - 8. Field surveys were performed during the month of February, 2015.
 - 9. Source information from Plans and markings have been combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- The City of Albuquerque, Time Warner Telecom, Comcast Cable - Albuquerque, PNM - Albuquerque, and Qwest Local Network Central were notified by New Mexico One Call for linemaking. Construction/assault plans for water and sanitary sewer utilities were provided by Albuquerque Bernalillo County Water Utility Authority and the City of Albuquerque. Partial schematic prints for gas and electric utilities were provided by New Mexico Gas Company - Albuquerque, and PNM - Albuquerque. These plans plus any linemaking found were used in developing the view of the underground features shown hereon.

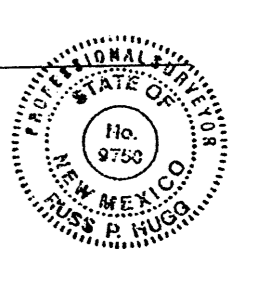
DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:

- a. Plot entitled "BULK LAND PLAT OF TRACTS 1 THRU 4, SANTA MONICA PLACE (BEING A REPLAT OF BLOCKS 18 AND 19, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AND A VACTED PORTION OF DEL REY AVENUE, N.E.) SITUATE WITHIN THE ELANA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 6, 2012 in Plot Book 2012C, Page 2, as Document No. 2012001338.
- b. Plot entitled "PLAT OF TRACTS 3-A, 3-B, 4-A AND 4-B, SANTA MONICA PLACE (BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE) SITUATE WITHIN THE ELANA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 22, 2015 in Plot Book 2015C, Page 4, as Document No. 2015004557.
- c. Title Commitment prepared for this property by Old Republic National Title Insurance Company, Commitment No. 1402071, Effective Date: January 22, 2015.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this Topographic and Boundary Survey Plot was prepared from and actual ground survey performed by me or that this survey is true and correct to the best of my knowledge and belief, and that this Topographic and Boundary Survey Plot and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico, and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a Topographic and Boundary Survey Plot of existing tract.

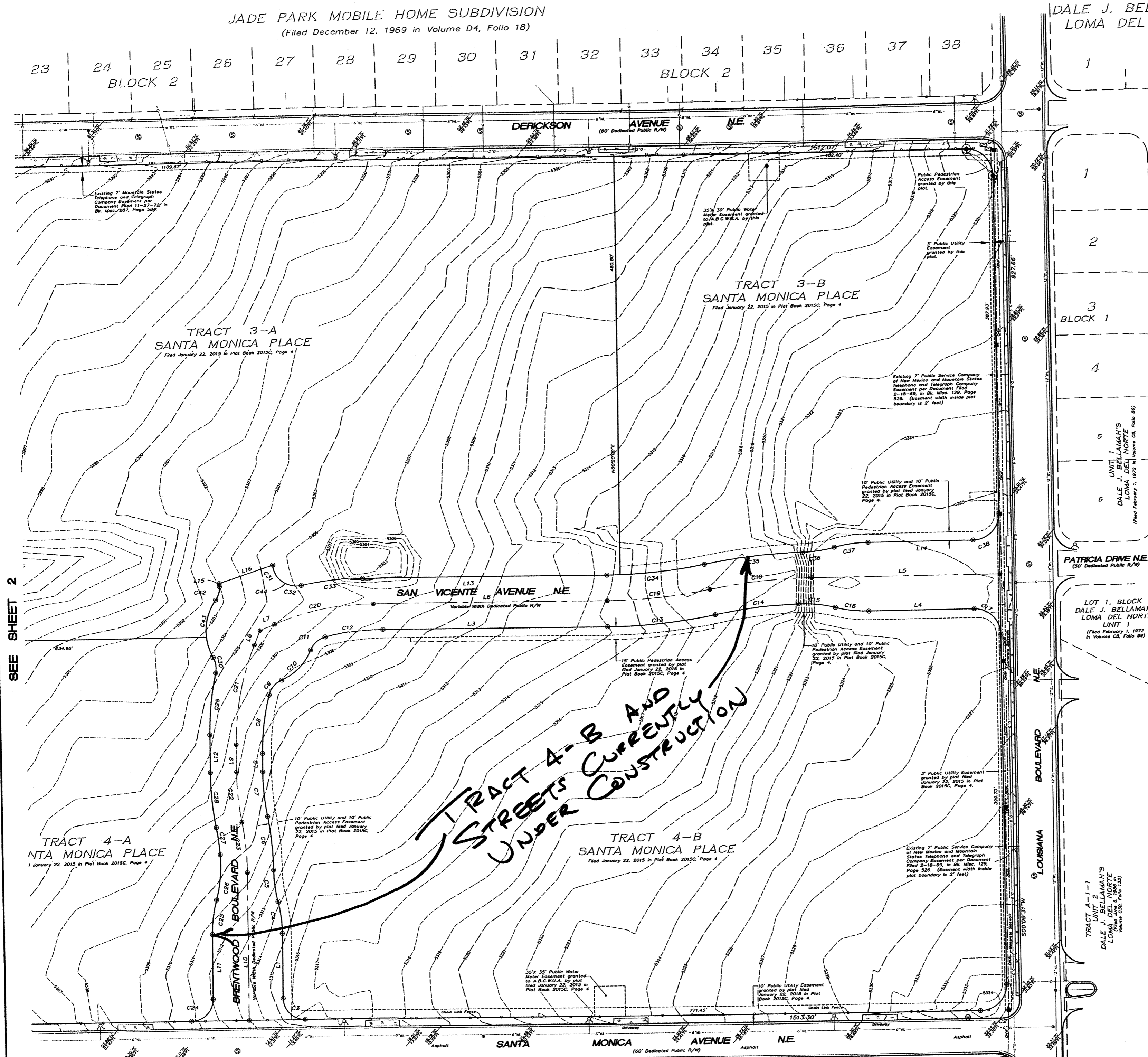
Russ P. Hugg
N.M.P.S. No. 9750
March 24, 2015



SHEET 1 OF 2

SURVTEK, INC.
Consulting Surveyors
6364 Valley New Drive, N.E. Albuquerque, New Mexico 87114 Phone: 505-897-3366 Fax: 505-897-3377

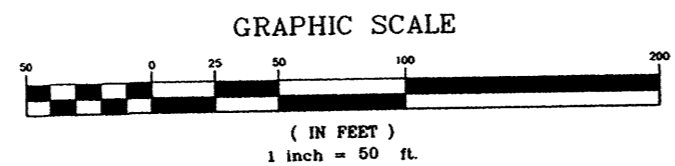
150181.dwg



SEE SHEET 2

LEGEND

- Storm Drain Manhole
- Sanitary Sewer Manhole
- Sanitary Sewer Line
- Storm Drain Line
- Storm Drain Inlet
- Power Pole
- Overhead Wires
- Underground Electric Line
- Underground Communications Line
- Underground Gas Line
- Underground Water Line
- Water Valve
- Hydrant
- Electric Pedestal
- Telephone Pedestal
- Utility Box
- Chain Link Fence
- Light Pole
- Concrete Symbol
- Gas Meter
- Gas Valve
- Manhole
- Monitoring Well



DRAINAGE EASEMENT NOTES

- A. There is an existing Interim Cross Lot Drainage Easement granted by plot filed January 6, 2012 in Plot Book 2012C, Page 2 for the mutual benefit of the owners of Tracts 1 thru 4 until further development of Tracts 1 thru 4 and discharge drainage to the existing 4 unit facilities/outfalls located at the intersection of Derickson and San Pedro as indicated in the Conceptual Drainage Report prepared by Isaacson & Arfman, P.A. dated 12-2-11. Owners/Developers of any of the tracts are allowed to grade interim drainage facilities such as grading, retaining, paving or outlet structures on adjacent undeveloped property and as mentioned by the benefiting tract owner until such time that future development (TBD) of the undeveloped property is complete and applicable interim easement (TBD) of the undeveloped property is complete and applicable interim facilities are no longer required. Notwithstanding anything herein to the contrary, the Interim Cross Lot Drainage Easement may not be terminated without the approval of the City Engineer.
- Said Easement within Tracts 3 and 4, Santa Monica Place is VACATED by 14DRB-70355.
- B. A New Public and Private Interim Drainage Easement shall be granted by this plot over Tract 3-A, for the benefit of Tracts 3-B and 4-A. Owners of said Tracts 3-B and 4-A shall be allowed to grade Interim Drainage Facilities on Tract 3-A. Said Interim Drainage Facilities shall be maintained by the owner of Tract 3-A until such time that future development (TBD) of Tract 3-A is complete and applicable interim facilities are no longer required.

TOPOGRAPHIC AND BOUNDARY SURVEY OF
TRACTS 3-A, 3-B, 4-A AND 4-B
SANTA MONICA PLACE

SITUATE WITHIN
THE ELANA GALLEGOS GRANT
IN
PROJECTED SECTION 24
TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2015

KEYED EASEMENTS

- ① 10' Water Authority Waterline Easement granted to A.B.C.W.U.A. surface easement granted to the City of Albuquerque by Document filed July 17, 2014 as Document No. 2014056270.
- ② 15' City Storm Drain Easement granted to the City of Albuquerque, surface easement granted to A.B.C.W.U.A. by Document filed July 17, 2014 as Document No. 2014056270.

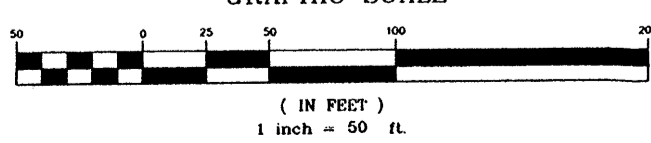
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	47.03	30.00	29.91	42.36	N44°45'15"W	69°49'31"
C2	47.25	30.00	30.12	42.51	N45°16'34"E	90°14'08"
C3	38.24	25.00	24.97	33.34	S44°38'11"E	89°56'21"
C4	37.02	150.00	18.60	36.82	N08°40'35"W	14°08'24"
C5	35.79	150.00	17.98	35.70	S08°54'42"E	13°40'16"
C6	61.41	330.00	30.80	61.32	N05°24'30"W	10°39'46"
C7	52.18	270.00	26.17	52.10	S05°12'12"E	11°04'23"
C8	67.43	270.00	33.89	67.25	S07°29'13"W	14°18'31"
C9	23.17	25.00	12.49	23.35	S91°11'39"W	53°06'16"
C10	46.91	62.00	25.57	47.28	N45°20'00"E	44°49'34"
C11	23.17	25.00	12.49	23.35	S49°28'21"W	53°06'16"
C12	67.43	270.00	33.89	67.25	S93°04'44"W	14°18'31"
C13	153.73	630.00	62.07	153.54	N84°42'24"E	11°15'11"
C14	96.38	570.00	48.31	96.27	S83°55'28"W	9°41'18"
C15	46.85	150.00	21.46	42.48	N13°05'25"W	16°16'52"
C16	38.53	150.00	19.37	38.43	S82°18'28"E	14°34'04"
C17	47.03	30.00	29.91	42.36	N44°45'15"W	89°49'31"
C18	117.84	600.00	59.11	117.65	S84°42'24"W	11°15'11"
C19	117.84	600.00	59.11	117.65	N84°42'24"E	11°15'11"
C20	116.46	300.00	58.57	116.23	S79°12'44"W	22°14'31"
C21	116.46	300.00	58.57	116.23	S05°12'12"E	11°04'23"
C22	57.98	300.00	29.08	57.89	N05°12'12"W	11°04'23"
C23	57.98	300.00	29.08	57.89	S05°12'12"E	11°04'23"
C24	39.30	25.00	25.03	35.77	N07°28'45"W	6°35'14"
C25	39.30	150.00	20.07	39.28	S08°00'48"W	15°14'22"
C26	51.80	150.00	26.16	51.54	N05°44'25"E	19°47'08"
C27	31.04	270.00	15.54	31.02	N07°28'45"W	6°35'14"
C28	63.78	330.00	31.89	63.64	S05°12'11"E	11°04'23"
C29	71.13	330.00	35.70	70.89	S06°30'30"W	12°20'59"
C30	18.11	25.00	9.48	17.72	N08°04'08"W	41°30'53"
C31	28.27	25.00	14.48	28.07	S43°15'27"E	60°12'02"
C32	18.11	25.00	9.48	17.72	S81°15'32"E	41°30'53"
C33	71.13	330.00	35.70	70.89	S84°09'30"W	12°20'59"
C34	111.95	570.00	56.16	111.77	S84°42'24"E	11°15'11"
C35	113.69	630.00	57.00	113.54	S84°15'00"W	10°20'23"
C36	36.64	150.00	18.41	36.55	N82°25'20"E	13°38'43"
C37	39.03	150.00	18.63	38.92	S82°52'44"W	14°54'32"
C38	42.22	30.00	30.09	42.49	N45°14'46"E	90°10'29"
C39	16.00	570.00	7.90	15.90	S89°14'48"E	13°02'29"
C40	96.95	570.00	48.98	96.83	S83°57'10"E	9°44'43"
C41	24.73	62.00	12.53	24.57	S17°24'17"E	22°21'15"
C42	16.71	25.00	8.68	16.40	N16°49'58"E	38°12'59"
C43	45.40	62.00	44.40	45.00	S16°00'07"W	41°52'33"
C44	1.51	62.00	0.76	1.51	N61°12'11"W	1°23'52"
C45	122.13	645.00	61.25	121.85	N84°54'31"E	10°50'53"
C46	31.00	62.00	15.84	30.87	S53°19'53"E	28°49'49"

LINE	LENGTH	BEARING
L1	75.03	S00°20'00"W
L2	20.82	N00°20'00"E
L3	256.33	N89°40'00"W
L4	120.09	N89°40'00"W
L5	214.63	N89°40'00"W
L6	268.87	S89°40'00"E
L7	18.13	S89°28'29"E
L8	18.13	S22°34'31"W
L9	31.36	N00°20'00"E
L10	74.87	N00°20'00"E
L11	74.87	N00°20'00"E
L12	43.38	N00°20'00"E
L13	278.09	S89°40'00"E
L14	119.86	N89°40'00"W
L15	3.77	N01°59'11"W
L16	44.74	N71°54'29"E
L17	31.61	S89°40'00"E
L18	2.94	S89°40'00"E
L19	349.20	S11°21'11"E
L20	153.78	S89°40'00"E
L21	30.00	S00°20'00"W
L22	65.00	S89°40'00"E
L23	30.00	N00°20'00"E

LEGEND

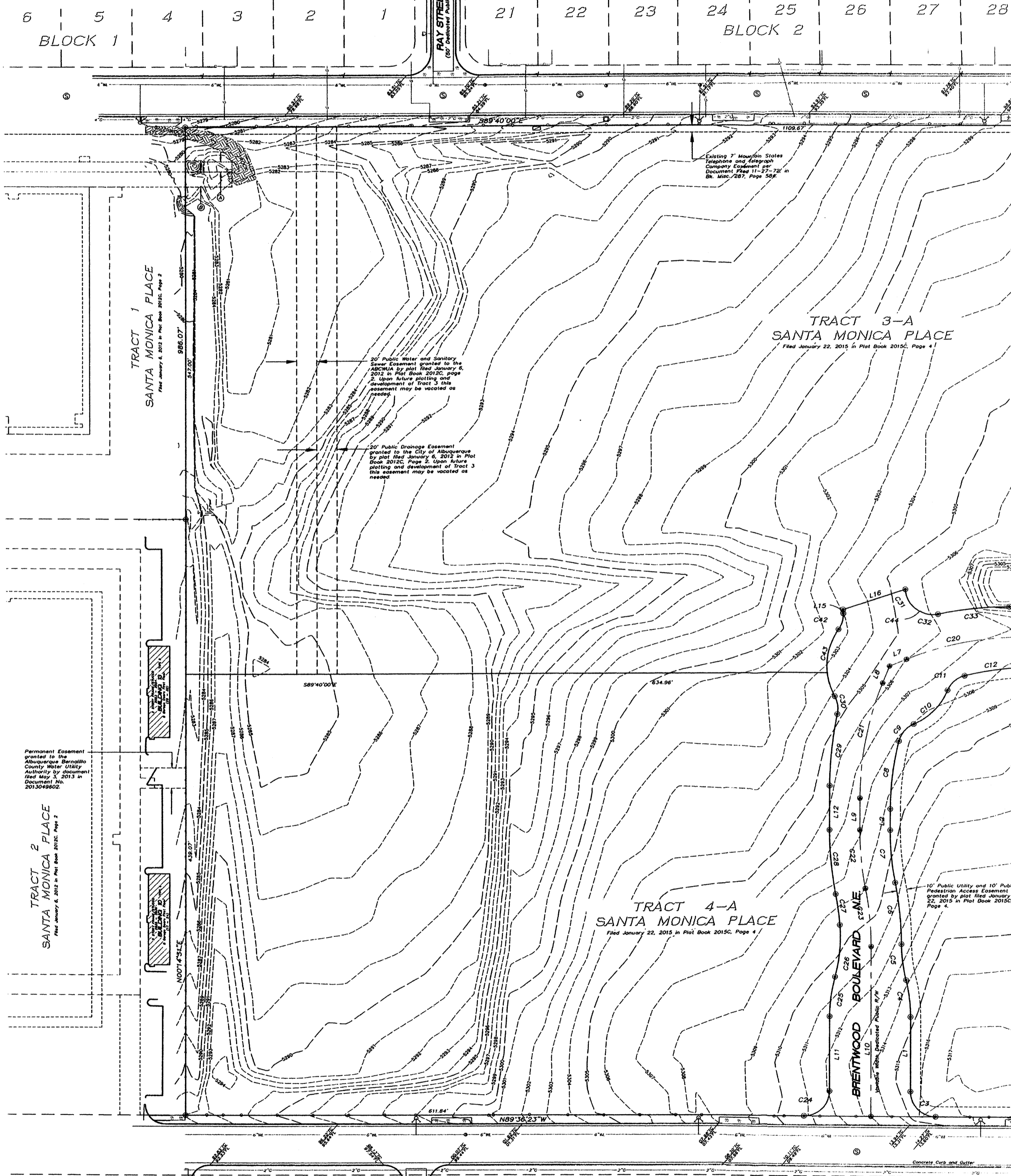
- ⊙ Storm Drain Manhole
- ⊙ Sanitary Sewer Manhole
- S— Sanitary Sewer Line
- SD— Storm Drain Line
- SDM— Storm Drain inlet
- Power Pole w/Underground feed
- OW— Overhead Wire
- E— Underground Electric Line
- CU— Underground Communications Line
- G— Underground Gas Line
- U— Underground Water Line
- Water Valve
- ⊕ Hydrant
- ⊕ Electric Pedestal
- ⊕ Telephone Pedestal
- ⊕ Utility Box
- Chain Link Fence
- Light Pole
- ⊕ Concrete Symbol
- ⊕ Gas Meter
- ⊕ Gas Valve
- ⊕ Well
- ⊕ Monitoring Well

GRAPHIC SCALE



JADE PARK MOBILE HOME SUBDIVISION
(Filed December 12, 1969 in Volume D4, Folio 18)

JADE PARK MOB.
(Filed December)



Permanent Easement granted to the Albuquerque Bernalillo County Water Utility Authority by document filed May 13, 2013 in Document No. 2013048402.

TRACT 2
SANTA MONICA PLACE
Filed January 6, 2015 in Plat Book 2015C, Page 1

TRACT 4-A
SANTA MONICA PLACE
Filed January 22, 2015 in Plat Book 2015C, Page 4

SAN ANTONIO CONDOMINIUMS
BLOCK 20, TRACT A, UNIT A
NORTH ALBUQUERQUE ACRES
(Filed November 8, 2000 in Volume 2000C, Folio 288)

UTILITY DISCLAIMER

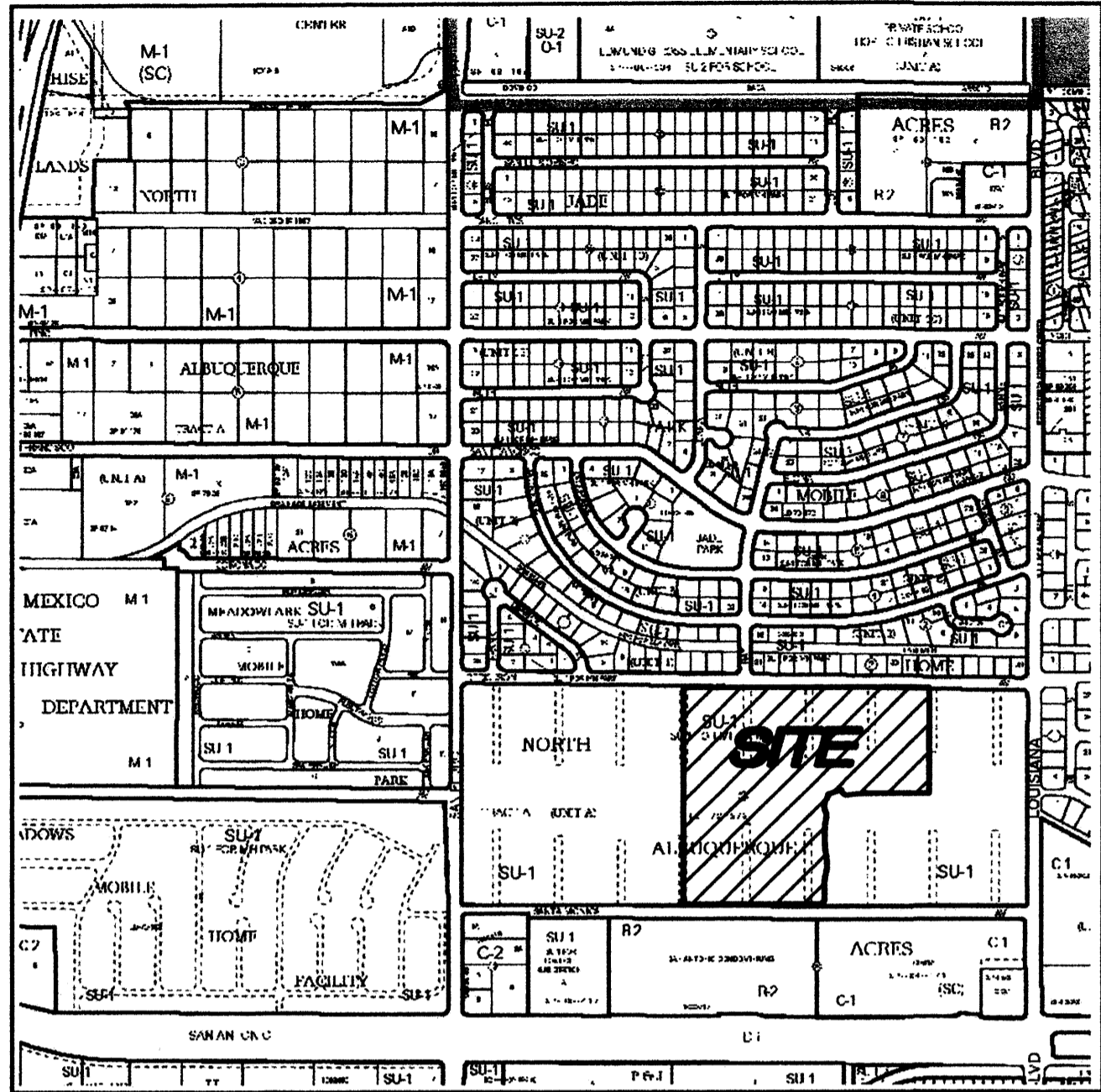
SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. THE RETAINING OF A PRIVATE UTILITY LINE-SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE-SPOTTING OF A SUBJECT PROPERTY.



SHEET 2 OF 2

SURVOTEK, INC.
Consulting Surveyors

SEE SHEET 1



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are grid based on the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Distances shown along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, do not differ from those established by this field survey.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page: D-18-Z

SUBDIVISION DATA

Total number of existing Tracts: 2
 Total number of new Tracts created: 2
 Gross Subdivision acreage: 19.6715 acres

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT:

- The Purpose of this plat is to:
- Adjust the existing tract line between Tracts 3-A and 4-A as shown hereon.
 - Grant the Additional Public Drainage Easement and Public Water and Sanitary Sewer Easement as shown hereon.

PROJECT: 1010144
 DATE: 7-15-15
 APP: 15-70237(P,F)

PLAT OF
TRACTS 3-A-1 AND 4-A-1
SANTA MONICA PLACE
 (BEING A REPLAT OF TRACTS 3-A AND 4-A, SANTA MONICA PLACE)
 SITUATE WITHIN
 THE ELENA GALLEGOS GRANT
 IN
 PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2015

PROJECT NUMBER: _____

PLAT APPROVAL

UTILITY APPROVALS:

Public Service Company of New Mexico	_____	Date
New Mexico Gas Company	_____	Date
QWest Corporation d/b/a CenturyLink QC	_____	Date
Comcast	_____	Date

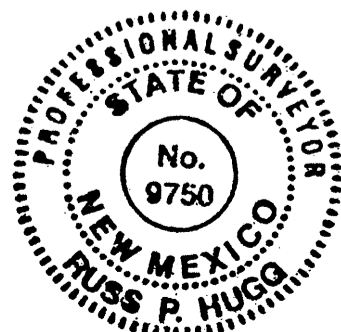
CITY APPROVALS:

City Surveyor <i>Russ P. Hugg</i> P.S. Department of Municipal Development	_____	6/29/15 Date
Real Property Division	_____	Date
Environmental Health Department	_____	Date
Traffic Engineering, Transportation Division	_____	Date
ABCWUA	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

 Russ P. Hugg
 NMPS No. 9750
 June 26, 2015



SHEET 1 OF 3

SURVOTEK, INC.

Consulting Surveyors

9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366 Fax: 505-897-3377

**PLAT OF
TRACTS 3-A-1 AND 4-A-1
SANTA MONICA PLACE**
(BEING A REPLAT OF TRACTS 3-A AND 4-A, SANTA MONICA PLACE)
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE , 2015

LEGAL DESCRIPTION

That certain parcel of land situate within the Elena Gallegos Grant in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tracts 3-A and 4-A, Santa Monica Place, as the same are shown and designated on the plat entitled "PLAT OF TRACTS 3-A, 3-B, 4-A and 4-B, SANTA MONICA PLACE (BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE), SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 22, 2015 in Plat Book 2015C, Page 4.

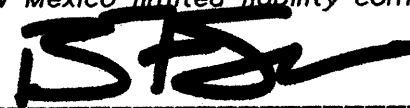
Said parcel contains 19.6715 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS 3-A-1 AND 4-A-1, SANTA MONICA PLACE (BEING A REPLAT OF TRACTS 3-A AND 4-A, SANTA MONICA PLACE) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER


DEL REY INVESTMENTS, LLC
A New Mexico limited liability company

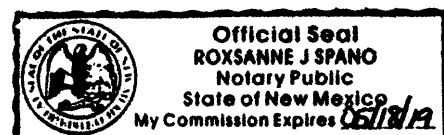
By: 
Ben F. Spencer, Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 29
day of June, 2015, by Ben F. Spencer, Manager


Notary Public My commission expires 05/18/2019

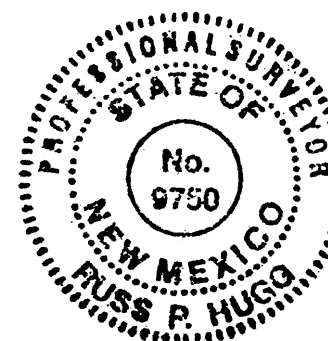


DRAINAGE EASEMENT NOTES

- A. There is an existing interim Cross Lot Drainage Easement granted by plat filed January 6, 2012 in Plat Book 2012C, Page 2 for the mutual benefit of the owners of Tracts 1 thru 4 until future development occurs. Tracts 1 thru 4 will discharge drainage to the existing drainage facilities/outfalls located at the intersection of Derickson and San Pedro as outlined in the Conceptual Drainage Report prepared by Isaacson & Arrman, P.A. dated 12-2-11. Owners/Developers of any of the tracts are allowed to grade interim drainage facilities such as grading, berming, ponding or outfall structures on adjacent undeveloped property and will be maintained by the benefiting tract owner until such time that future development (TBD) of the undeveloped property is complete and applicable interim facilities are no longer required. Notwithstanding anything herein to the contrary, the interim Cross Lot Drainage Easement may not be terminated without the approval of the City Engineer.
- Said Easement within Tracts 3 and 4, Santa Monica Place is VACATED by 14DRB-70355.
- B. A Public and Private Interim Drainage Easement has been granted by plat filed January 22, 2015 in Plat Book 2015C, page 4 over Tract 3-A, for the benefit of Tracts 3-B and 4-A. Owners of said Tracts 3-B and 4-A shall be allowed to grade Interim Drainage Facilities on Tract 3-A. Said Interim Drainage Facilities shall be maintained by the owner of Tract 3-A until such time that future development (TBD) of Tract 3-A is complete and applicable Interim Facilities are no longer required.

LINE TABLE		
LINE	LENGTH	BEARING
L1	64.74	S71°54'25"W
L2	3.77	S01°59'11"E
L3	43.38	S00°20'00"W
L4	74.97	S00°20'00"W
L5	30.82	N00°20'00"E
L6	12.56	N00°20'00"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	15.00'	570.00'	7.50'	15.00'	N89°34'46"E	1°30'29"
C2	71.13'	330.00'	35.70'	70.99'	S84°09'31"W	12°20'59"
C3	18.11'	25.00'	9.48'	17.72'	S81°15'33"E	41°30'53"
C4	1.51'	62.00'	0.76'	1.51'	N61°12'02"W	1°23'52"
C5	26.27'	25.00'	14.49'	25.08'	S31°47'57"E	60°12'01"
C6	16.71'	25.00'	8.68'	16.40'	N16°49'59"E	38°17'50"
C7	70.13'	62.00'	39.36'	66.45'	S03°34'30"W	64°48'47"
C8	18.11'	25.00'	9.48'	17.72'	N08°04'27"W	41°30'53"
C9	71.13'	330.00'	35.70'	70.99'	S06°30'29"W	12°20'59"
C10	63.78'	330.00'	31.99'	63.68'	S05°12'12"E	11°04'23"
C11	31.04'	270.00'	15.54'	31.02'	N07°26'46"W	6°35'14"
C12	51.80'	150.00'	26.16'	51.54'	N05°44'25"E	19°47'08"
C13	39.90'	150.00'	20.07'	39.78'	S08°00'48"W	15°14'22"
C14	39.27'	25.00'	25.00'	35.36'	N45°19'59"E	89°59'57"



PLAT OF
TRACTS 3-A-1 AND 4-A-1
SANTA MONICA PLACE

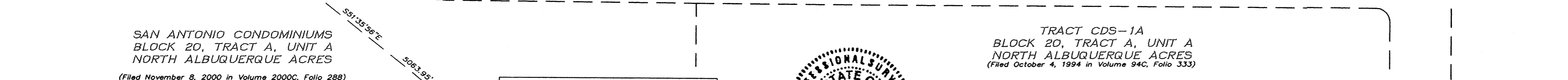
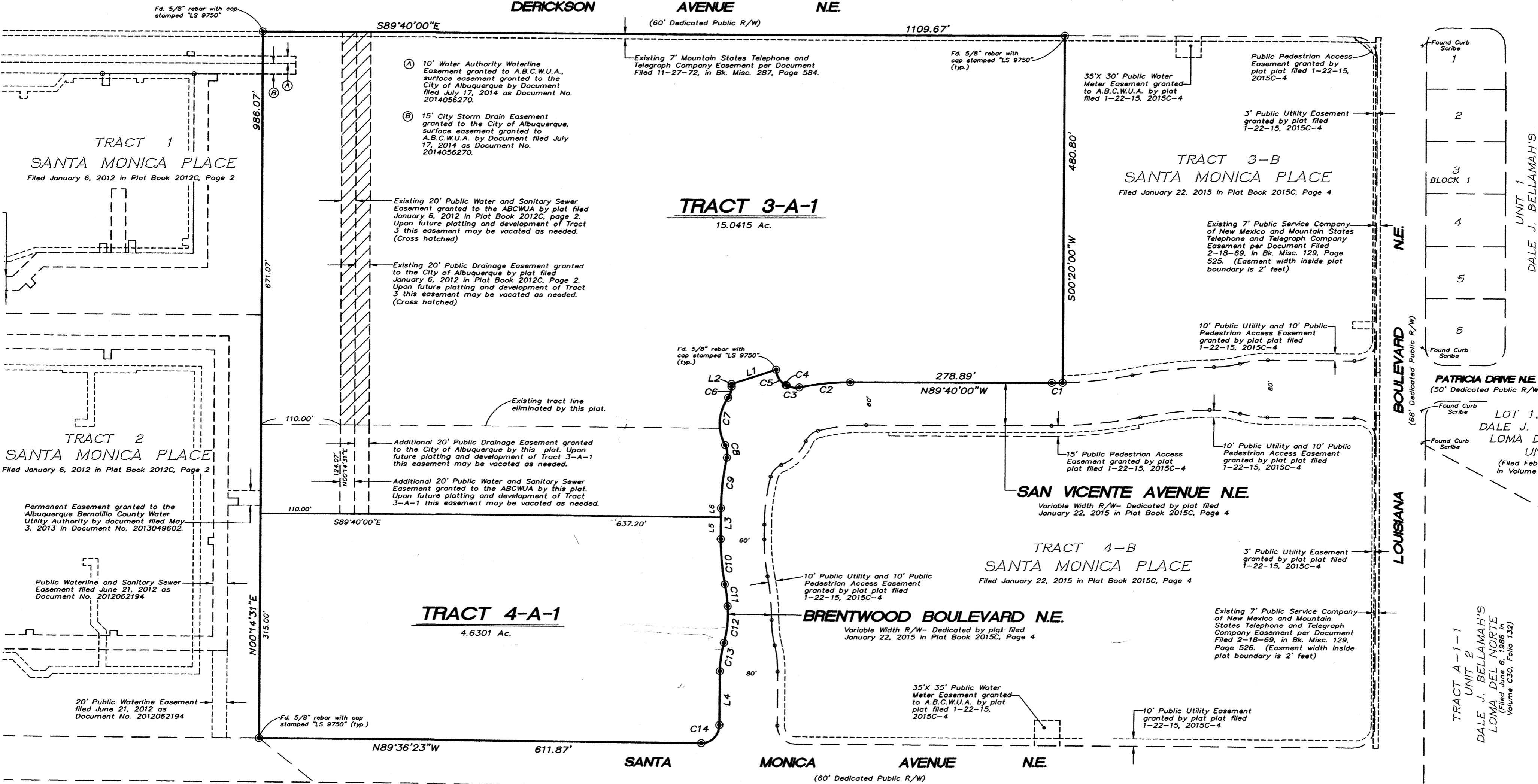
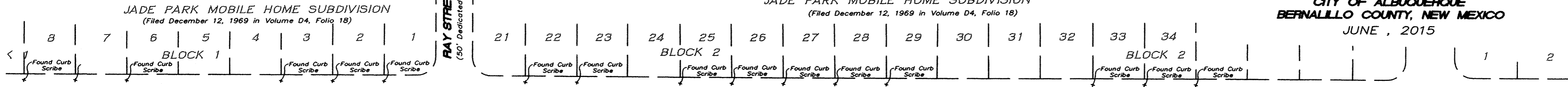
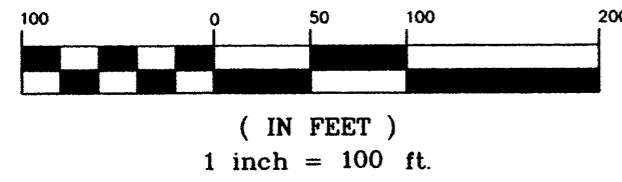
(BEING A REPLAT OF TRACTS 3-A AND 4-A, SANTA MONICA PLACE)

SITUATE WITHIN
THE ELENA GALLEGOS GRANT

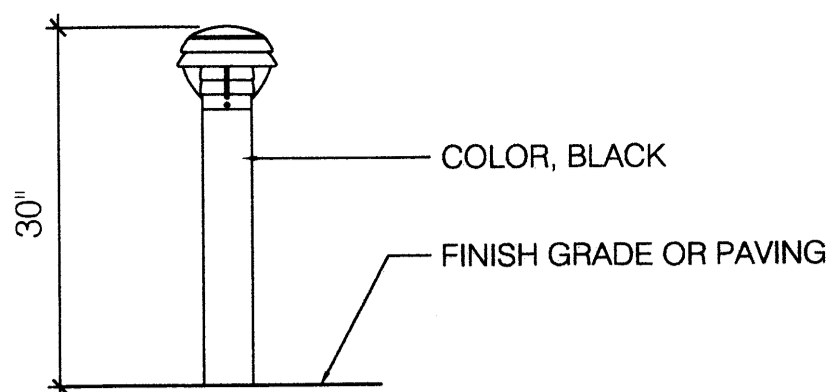
IN
PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

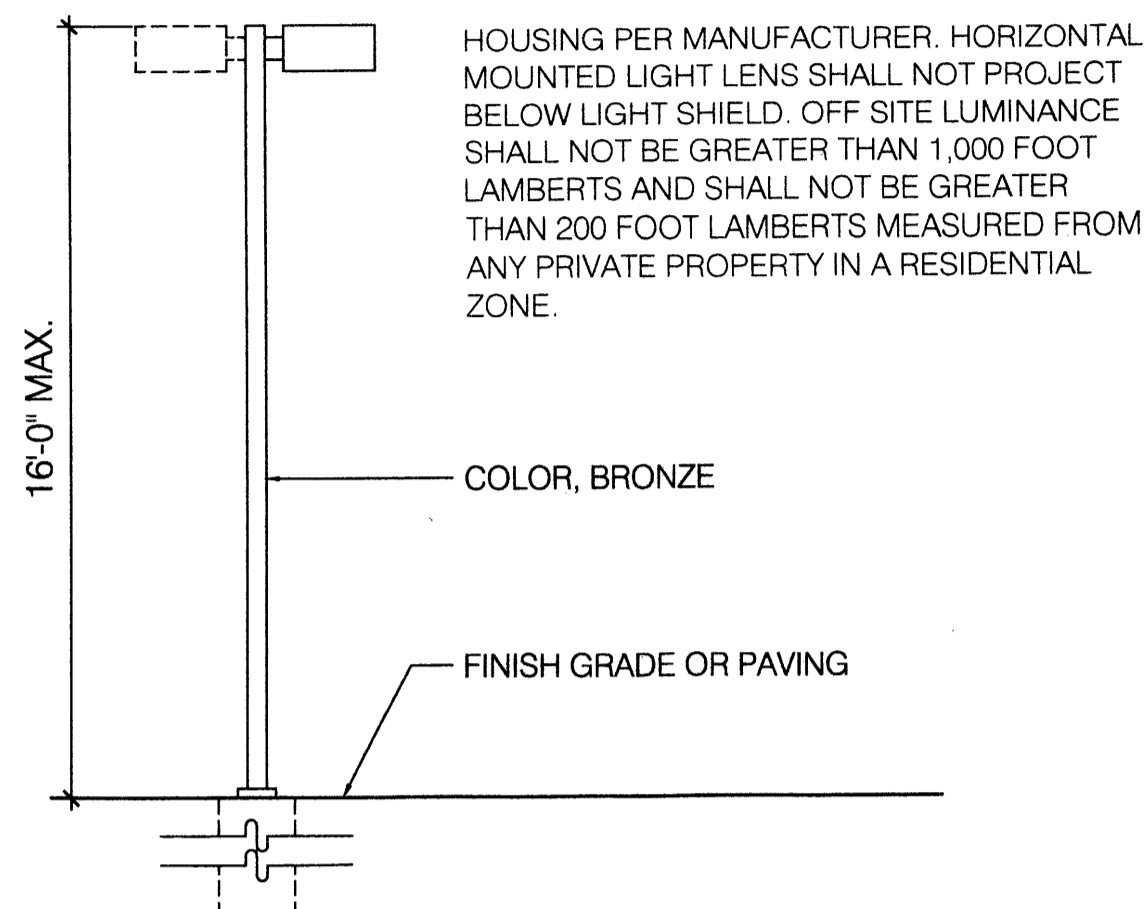
JUNE, 2015



Albuquerque Survey Control Monument "6-E19A"
New Mexico State Plane Coordinates,
Central Zone (NAD 83)
N = 1,511,031.953
E = 1,547,535.201
Delta Alpha = -0°10'44.06"
Ground to Grid Factor = 0.999655024



BOLLARD LIGHT FIXTURE DETAIL Not to Scale



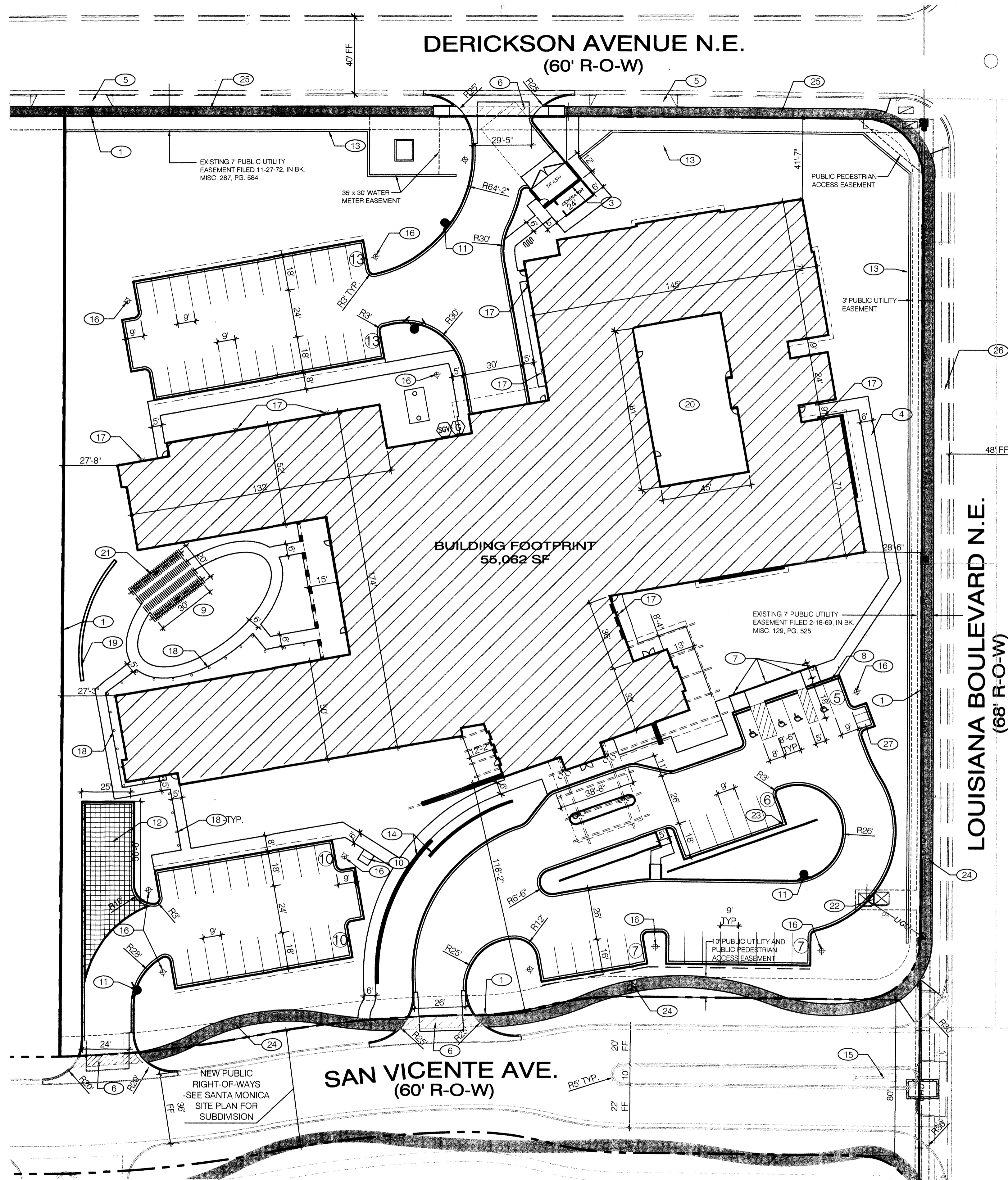
LIGHT FIXTURE DETAIL Not to Scale

KEY NOTES

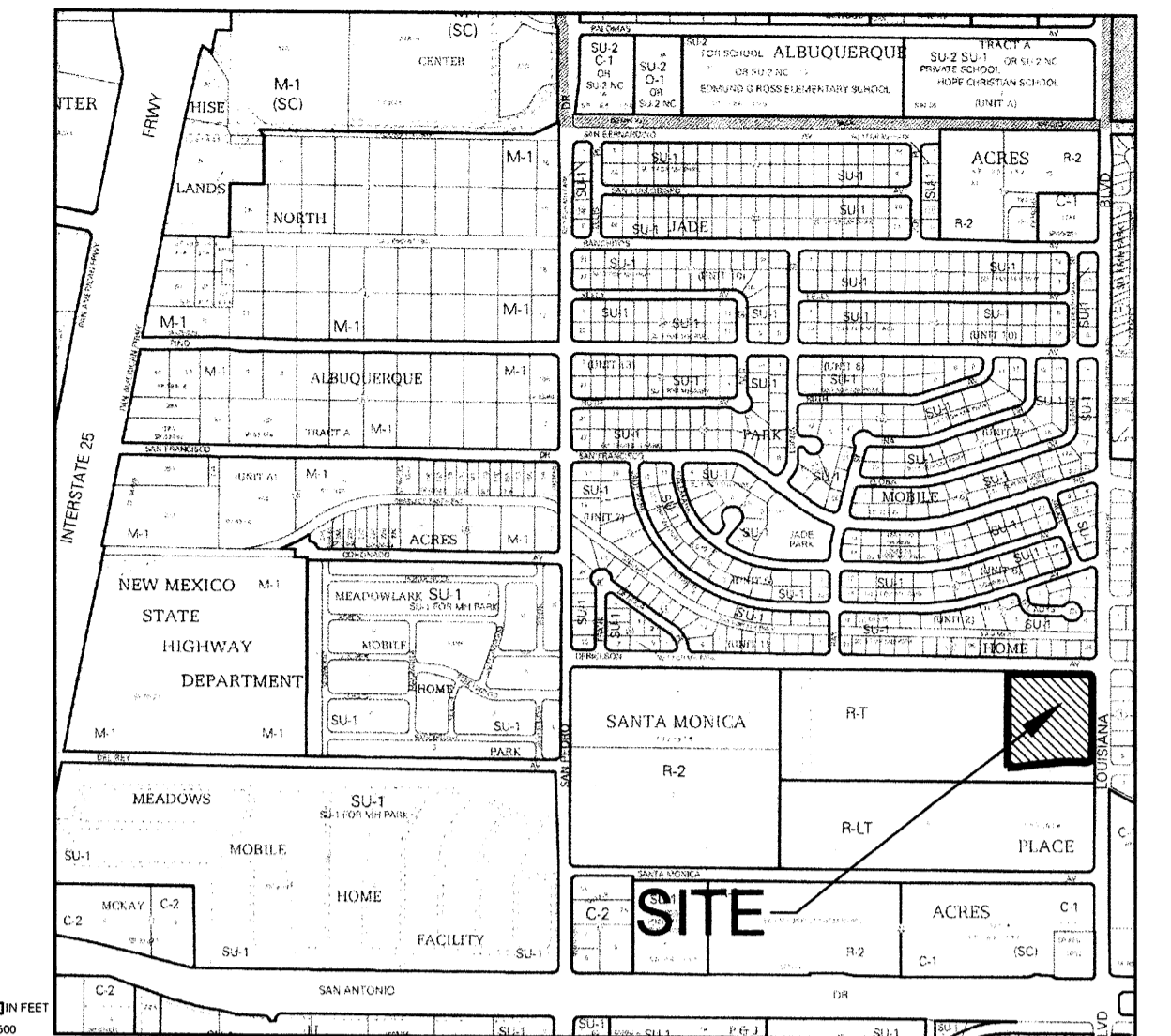
- 1 PROPERTY LINE
- 2 RETAINING WALL (SEE GRADING/DRAINAGE SHEET)
- 3 TRASH ENCLOSURE
- 4 ADA ACCESSIBLE CONCRETE SIDEWALK
- 5 DRIVEWAY TO BE REMOVED
- 6 6' COLORED, TEXTURED PEDESTRIAN CROSSING, TYP
- 7 HANDICAP SIGN, TYP. (12"x18" MOUNTED ON POLE)
- 8 PRECAST CONCRETE WHEEL STOPS
- 9 OUTDOOR PATIO (600 SF)
- 10 BICYCLE RACK
- 11 FIRE HYDRANT
- 12 FIRE ACCESS, WITH THE PERMEABLE PAVEMENT
- 13 4' PERIMETER FENCE/WALL (SEE SITE PLAN FOR SUBDIVISION)
- 14 DECORATIVE WINGWALL WITH PROJECT SIGNAGE (SEE BUILDING ELEVATION SHEET 9)
- 15 SANTA MONICA PLACE MONUMENT SIGN (SEE SITE PLAN FOR SUBDIVISION)
- 16 POLE MOUNTED LIGHT. (LOCATION IS CONCEPTUAL AND SUBJECT TO CHANGE DEPENDING ON PHOTOMETRIC PLAN)
- 17 WALL MOUNTED LIGHT
- 18 BOLLARD LIGHT
- 19 DECORATIVE WINGWALL
- 20 INTERIOR COURTYARD
- 21 TRELLIS SHADE STRUCTURE
- 22 TRANSFORMERS MAY BE REPLACED, RELOCATED, OR ABANDONED
- 23 CURB OPENING FOR WATER HARVESTING PURPOSES
- 24 PROPOSED NEW 6' SIDEWALK
- 25 PROPOSED NEW 5' SIDEWALK
- 26 EXISTING SIDEWALK (TO BE REMOVED)
- 27 MOTORCYCLE PARKING W/SIGN

GENERAL NOTES:

1. ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA REGULATIONS.
2. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
3. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE SHEET.
4. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
5. PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
6. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
7. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).



VICINITY MAP



SITE DATA:
 LEGAL DESCRIPTION: A PORTION OF TRACT 3, UNIT A BLOCK 18, NORTH ALBUQUERQUE ACRES.
 SITE AREA: 4.60 AC.
 PROPOSED LAND USE: ASSISTED LIVING AND MEMORY CARE FACILITY, INCLUDING 78 ASSISTED LIVING ROOMS AND 36 MEMORY CARE ROOMS, TOTAL OF 124 BEDS.

BUILDING AREA: 89,000 S.F.
 MAXIMUM BUILDING HEIGHT: 40 FEET.
 PARKING: REQUIRED MINIMUM PARKING: 1 SPACE PER 2 BEDS

TOTAL PARKING REQUIRED:	62
TOTAL PROVIDED PARKING:	72
HANDICAPPED REQUIRED:	4
HANDICAPPED PROVIDED:	4
MOTORCYCLE PARKING REQUIRED:	3
MOTORCYCLE PARKING PROVIDED:	3
BICYCLE REQUIRED:	4
BICYCLE PROVIDED:	4

PROJECT: 1010144
 DATE: 11-19-14
 APP: 14-70384 (APP)

PROJECT NUMBER: 1010144
 Application Number: 14EPC-40042

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	10-14-14 Date
DRB Chairperson, Planning Department	Date

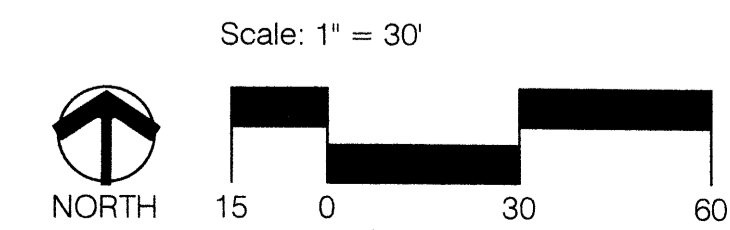
ÉLAN-SANTA MONICA PLACE (Senior Assisted Living/Memory Care)

SITE PLAN FOR BUILDING PERMIT

Prepared For:
 Titan Senior Living - Santa Monica
 6300 Riverside Plaza Lane NW Suite 200
 Albuquerque, NM 87120

Prepared By:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102

Isaacson & Arfman, P.A.
 128 Monroe Street NE
 Albuquerque, NM 87108



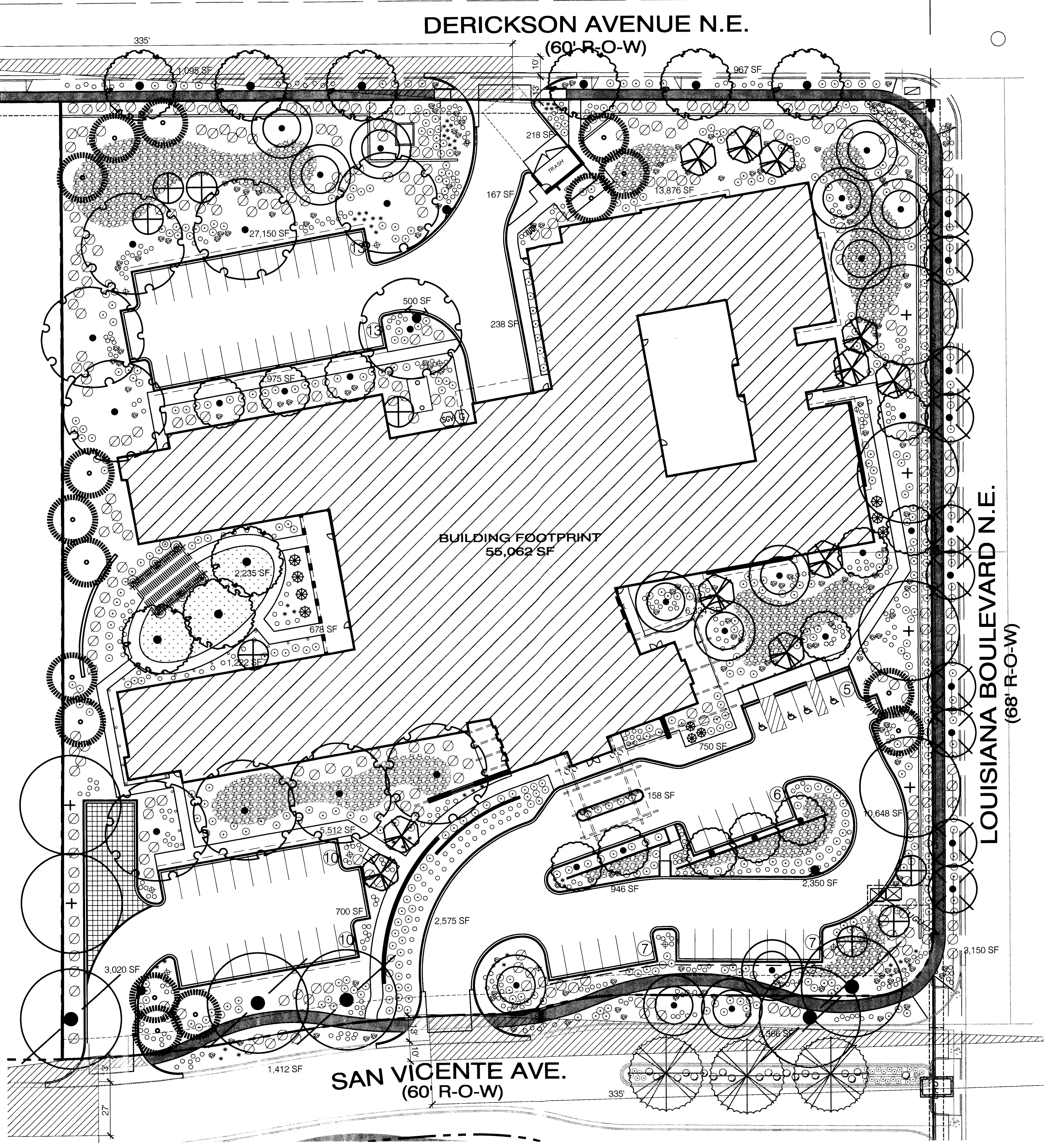
OCTOBER 14, 2014

D2 Architecture
 2001 North Lamar Street
 Suite 450
 Dallas, TX 75202



SITE PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
10	(Symbol)	ACER TARTARICUM 'HOT WINGS' HOT WINGS MAPLE	2" B&B	10' HT. X 4" SPR. 20' HT. X 24" SPR.	MED
4	(Symbol)	FRAXINUS OXYCARPA RAYWOOD ASH	2.5" B&B	16' HT. X 6" SPR. 35' HT. X 35" SPR.	MED
10	(Symbol)	GLEDITSIA TRIANCANTHOS HONEY LOCUST	2" B&B	10' HT. X 4" SPR. 60' HT. X 50' SPR.	MED
10	(Symbol)	JUNIFERUS SCOPULORUM 'SKYROCKET' SKYROCKET ROCKY MTN. JUNIPER	B&B	10' MIN HT. 20' HT. X 5' SPR.	MED
14	(Symbol)	KOELREUTERIA PANICULATA GOLDEN RAIN TREE	2" B&B	16' HT. X 6" SPR. 30' HT. X 30" SPR.	MED
8	(Symbol)	ROBINIA NEOMEXICANA NEA MEXICO LOCUST	15-GAL.	8' HT. X 4" SPR. 15' HT. X 15" SPR.	MED
5	(Symbol)	PLATANUS A. BLOODGOOD LONDON PLANE TREE	2.5" B&B	16' HT. X 6" SPR. 60' HT. X 50' SPR.	MED
16	(Symbol)	PINUS LEUCODERMIS BOSNIAN PINE	B&B	6' MIN HT. 35' HT. X 10" SPR.	MED
6	(Symbol)	PISTACHIA CHINENSIS CHINESE PISTACHE	2" B&B	10' HT. X 5" SPR. 50' HT. X 50" SPR.	MED+
12	(Symbol)	PYRUS CALLERYANA 'CLEVELAND' FLOWERING PEAR	2.5" B&B	12' HT. X 5" SPR. 20' HT. X 25" SPR.	MED
11	(Symbol)	VITEX AGNUS-CASTUS VITEX	2" B&B	8' HT. X 4" SPR. 20' HT. X 20" SPR.	MED
SHRUBS/GROUNDCOVERS					
LARGE SHRUBS					
	(Symbol)	BACCHARIS SAROTHOIDES DESERT BROOM	5-GAL.	8' O.C. 8' HT. X 8" SPR.	LOW
	(Symbol)	ROSMARINUS OFFICINALIS UPRIGHT ROSEMARY	5-GAL.	8' O.C. 6' HT. X 6" SPR.	MED
	(Symbol)	ANISACANTHUS THURBERI DESERT HONEY SUCKLE	5-GAL.	4' O.C. 5' HT. X 4" SPR.	LOW
MEDIUM SHRUBS					
	(Symbol)	LAVANDULA ANGSTIFOLIA ENGLISH LAVENDER	1-GAL.	3' O.C. 3' HT. X 3" SPR.	MED
	(Symbol)	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5-GAL.	6' O.C. 4' HT. X 5" SPR.	LOW
	(Symbol)	PINUS MUGO MUGO PINE	5-GAL.	5' O.C. 4' HT. X 5" SPR.	MED
	(Symbol)	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 3' HT. X 3" SPR.	LOW+
	(Symbol)	RHAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL.	5' O.C. 3' HT. X 3" SPR.	MED
	(Symbol)	CALAMAGROSTIS A. KARL FOERSTER' KARL FOERSTER REED GRASS	1-GAL.	2' O.C. 4' HT. X 2" SPR.	MED
	(Symbol)	MILHENERGIA CAPILLARIS REGAL MIST	1-GAL.	3' O.C. 3' HT. X 3" SPR.	MED
	(Symbol)	NOLINA NELSONI BEAR GRASS	1-GAL.	3' O.C. 4' HT. X 3" SPR.	LOW
	(Symbol)	MISCANTHUS SPP. MAIDEN GRASS	5-GAL.	5' O.C. 4' HT. X 5" SPR.	MED+
SMALL SHRUBS					
	(Symbol)	VINCA MAJOR GIANT PERIWINKLE	1-GAL.	4' O.C. 2' HT. X 4" SPR.	MED
	(Symbol)	ERYSIMUM 'BOWLES MAUVE' BOWLES MAUVE WALLFLOWER	1-GAL.	2' O.C. 2' HT. X 2" SPR.	MED+
	(Symbol)	PARTHENIUM INCANUM MARIOLA	1-GAL.	2' O.C. 2' HT. X 2" SPR.	LOW
	(Symbol)	NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA	1-GAL.	2' O.C. 2' HT. X 2" SPR.	MED
	(Symbol)	RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC	1-GAL.	4' O.C. 2' HT. X 4" SPR.	LOW+
	(Symbol)	SEDUM TELEPHIUM AUTUMN JOY SEDUM	1-GAL.	2' O.C. 2' HT. X 2" SPR.	LOW+
	(Symbol)	ZAUSCHNERIA CALIFORNICA HUMMINGBIRD PLANT	1-GAL.	3' O.C. 2' HT. X 3" SPR.	LOW
* DESERT ACCENTS					
	(Symbol)	AGAVE PARRYI PARRY'S AGAVE	5-GAL.	2' O.C. 2' HT. X 2" SPR.	LOW
© VINES					
	(Symbol)	LONICERA SEMPERVIRENS CORAL HONEYSUCKLE	1-GAL.	5' O.C. 5-10' SPR.	LOW
BOULDERS, MULCHES, AND TURF					
	(Symbol)	MOSS ROCK BOULDERS (3'X3' MIN.)			
	(Symbol)	3/8"-5/8" GRAVEL MULCH, INCLUDING COLORS: NEA MEXICO TRAVERTINE AMARETTO BROWN AND TULAROSA CRUSHED OR EQUIVALENT (3" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
	(Symbol)	2"-4" COBBLE STONE, COLOR: AMARETTO BROWN RIP RAP (6" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
	(Symbol)	PARKBLEND SOD (KENTUCKY BLUEGRASS/FESCUE MIX)			



GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 3/8"-5/8" AMARETTO BROWN ROCK MULCH AND 2"-4" AMARETTO BROWN RIP RAP MULCH.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. TURF VALVES WILL BE OPERATED TO PROVIDE 1/2" OF WATER PER CYCLE (PEAK SEASON).

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING
WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA:	200,376 SF (4.6 AC)
BUILDING AREA (BUILDING ENVELOPE):	- 55,062 SF
NET AREA:	145,314 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	21,797 SF
PROVIDED LANDSCAPE AREA	
ON-SITE	82,620 SF (57%)
OFF-SITE	8,990 SF

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE ELAN AT SANTA MONICA PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE (OF THE 15%) IN THE LANDSCAPE AREAS.

LANDSCAPE TURF
ONLY 20% OF LANDSCAPED AREAS CAN BE HIGH WATER-USE TURF.

TURF LIMIT: 16,324 SF
TURF PROVIDED: 2,235 SF (3% OF LANDSCAPED AREA)

PARKING LOT TREES
THE ELAN AT SANTA MONICA PROJECT IS PROVIDING 12 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 1
PARKING LOT TREES PROVIDED: 18

STREET TREES
THE LOUISIANA BOULEVARD FRONTAGE IS 448'. DUE TO OVERHEAD POWER LINES AND PNM REQUIREMENTS, SMALLER ACCENT TREES ARE BEING USED UNDERNEATH THE LINES, WITH LARGER SHADE TREES SET BACK FROM THE LINES. THE AVERAGE SPACING OF THE TWO TREES USED IS 35' O.C.

STREET TREES REQUIRED: 14 TREES
STREET TREES PROVIDED: 14 TREES

SITE TREES
TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY TWO SECOND FLOOR UNITS. NO ADDITIONAL TREES ARE REQUIRED FOR UNITS ABOVE SECOND STORY. ELAN AT SANTA MONICA IS PROVIDING 35 FIRST FLOOR UNITS AND 21 SECOND STORY UNITS.

SITE TREES REQUIRED: 69
SITE TREES PROVIDED: 78

ÉLAN-SANTA MONICA PLACE

(Senior Assisted Living/Memory Care)

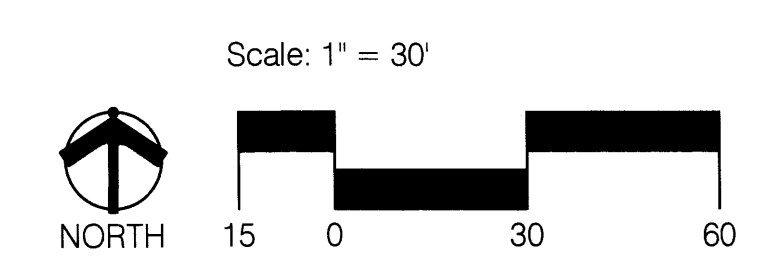
LANDSCAPE PLAN

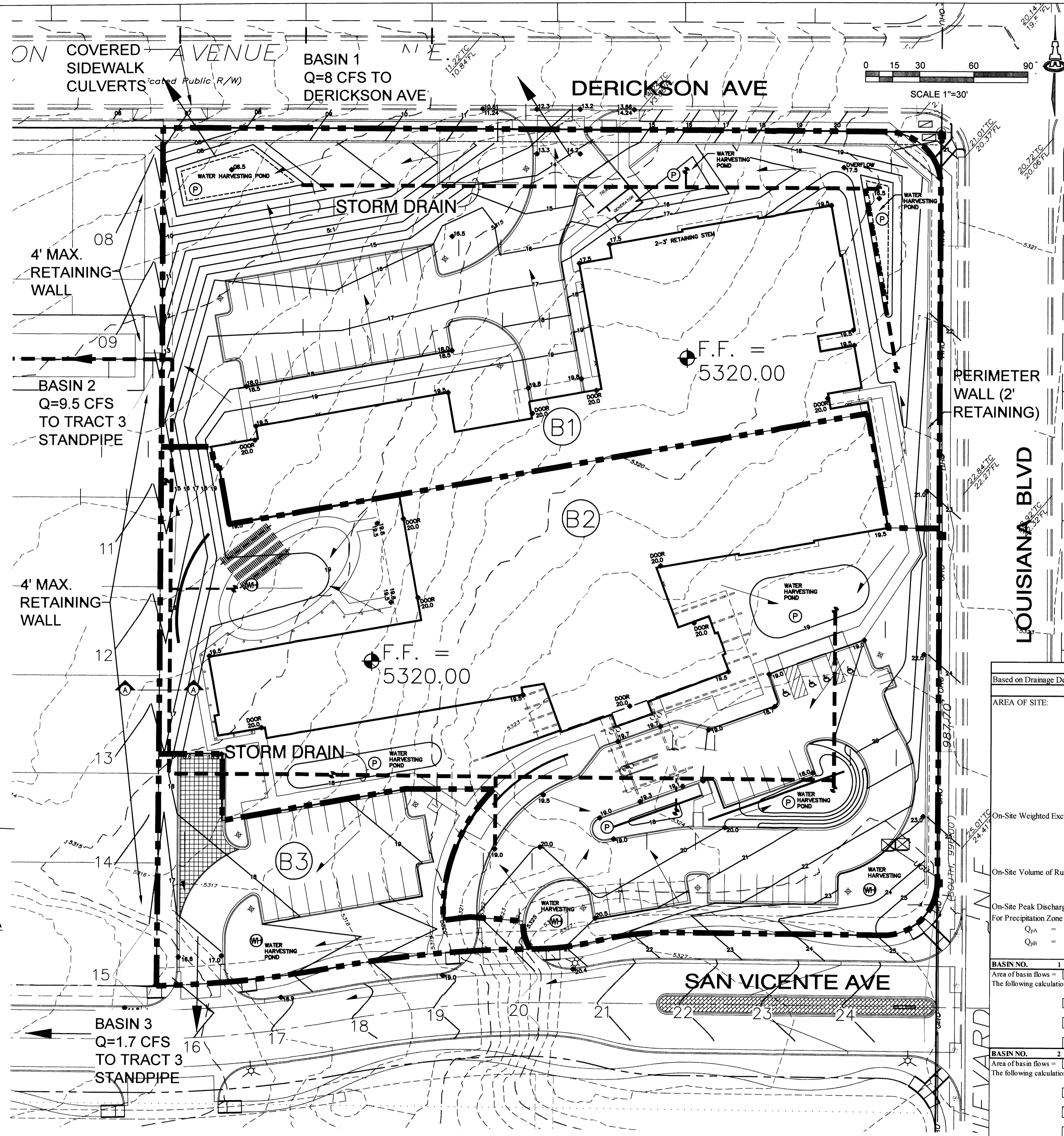
Prepared For:
Titan Senior Living -Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

D2 Architecture
2001 North Lamar Street
Suite 450
Dallas, TX 75202





DRAINAGE CONCEPT

THE MASTER DRAINAGE REPORT (DMR) BY ISAACSON & ARFMAN, P.A., DATED FEBRUARY 21, 2012, OUTLINED DRAINAGE REQUIREMENTS FOR EACH TRACT WITHIN SANTA MONICA PLACE (TRACTS 1 - 4). THIS PROPERTY IS A PORTION OF TRACT 3 (15.5781 ACRES) WITH LAND TREATMENTS ESTIMATED AT 20% B, 20% C AND 60% D.

PER THE DMR, "TRACT 3 SHALL BE ALLOWED TO SURFACE DISCHARGE MAX. 10 CFS TO DERICKSON AVE. AND THE REMAINDER OF 69.2 CFS INTO THE STORM DRAIN SYSTEM CONNECTION TO THE DERICKSON AVE. STORM DRAIN."

THE PROPOSED CONSTRUCTION SITE CONSISTS OF APPROXIMATELY 30% OF THE OVERALL AREA OF TRACT 3. THUS, THIS PORTION OF TRACT 3 SHOULD RELEASE APPROXIMATELY 30% X (10+69.2) = 23.8 CFS.

THE SITE HAS BEEN DIVIDED INTO TWO BASINS: DISCHARGE TO DERICKSON (SUB-BASIN 1) AND DISCHARGE WEST TO ENTER THE STORM DRAIN STANDPIPE (SUB-BASINS 2 AND 3).

BASIN 1: CONSISTS OF THE NORTHERN 40% OF THE PROPERTY WHICH WILL DISCHARGE APPROXIMATELY 8 CFS TO DERICKSON AVE. VIA SIDEWALK CULVERTS

WITH AN ALLOWABLE OF 10 CFS FROM THE TOTAL TRACT, THIS WILL LEAVE APPROXIMATELY 2 CFS FOR THE REMAINDER OF TRACT 3 WHICH IS PLANNED FOR SINGLE FAMILY RESIDENTIAL AND IS EXPECTED TO DRAIN ALMOST ENTIRELY TO THE INTERNAL FUTURE PUBLIC STORM DRAIN EXTENSION. NOTE THAT PER THE APPROVED DRAINAGE REPORT FOR TRACT 1, ONLY 7.8 OF THE ALLOWABLE 10 CFS FROM THAT TRACT WILL BE DISCHARGED TO DERICKSON AVE. LEAVING AN ADDITIONAL 2.2 CFS AVAILABLE.

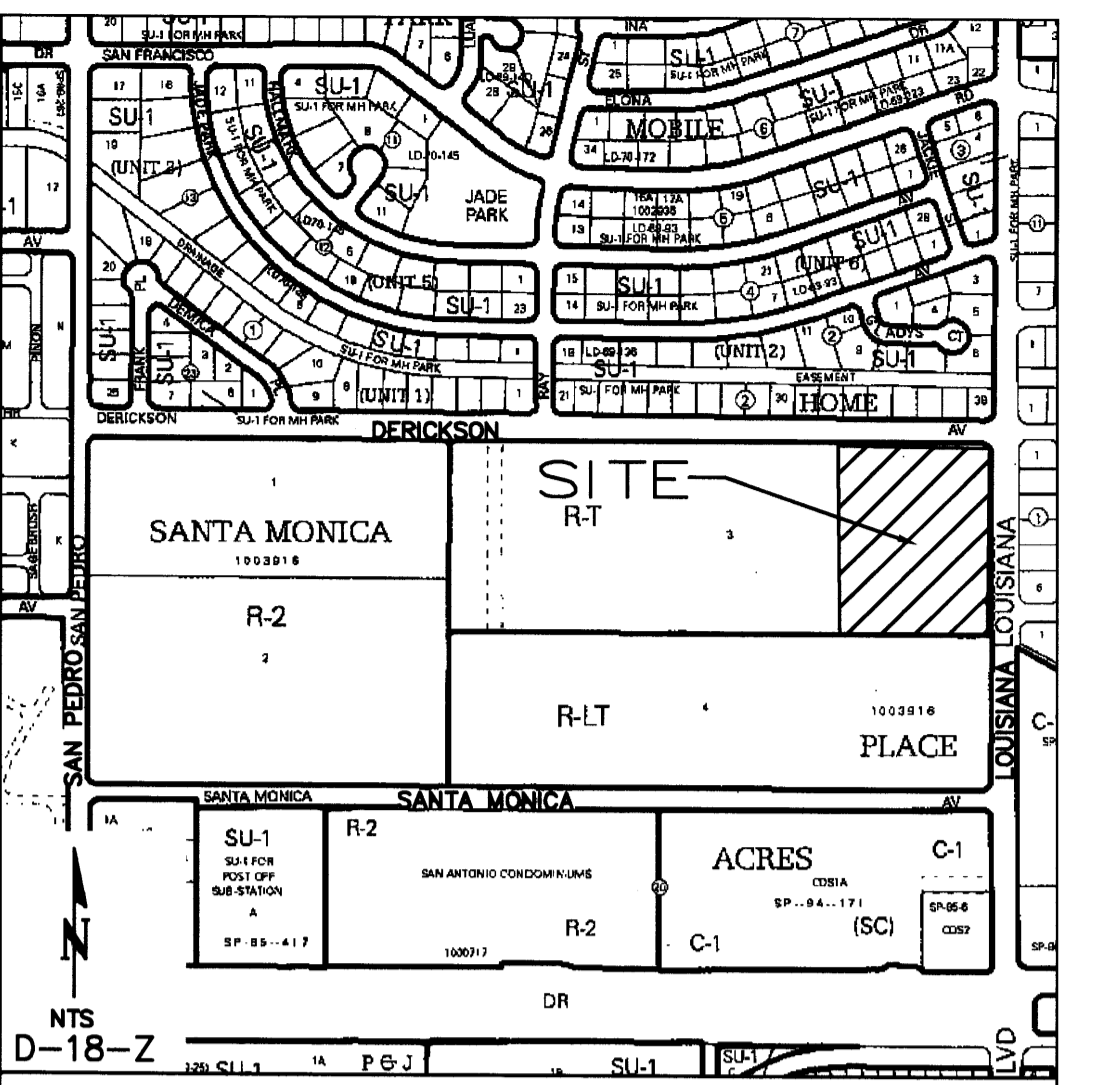
BASINS 2 AND 3: CONSISTS OF THE SOUTHERN 60% OF THE PROPERTY WHICH WILL DISCHARGE APPROXIMATELY 10.9 CFS TO THE UNDEVELOPED PORTION OF TRACT 3 EITHER VIA STORM DRAIN (BASIN 2) OR AS SURFACE DISCHARGE TO THE PROPOSED SOUTH PUBLIC STREET (BASIN 3). TEMPORARY PONDS AND EARTH SWALES WITH EROSION PROTECTION AS NEEDED WILL BE CONSTRUCTED TO PASS THE CONCENTRATED FLOW TO THE EXISTING POND TO ENTER THE PUBLIC STORM DRAIN SYSTEM AT THE PROVIDED STANDPIPE (TO BE CONSTRUCTED AS PART OF CPN 689984).

THESE BASIN CALCULATIONS DO NOT ACCOUNT FOR ANY WATER HARVESTING OR DETENTION BASINS WHICH MAY REDUCE THE TOTAL DISCHARGE RATES.

ALL LANDSCAPE AREAS, OTHER THAN THOSE ADJACENT TO THE BUILDING, WILL BE DEPRESSED FOR WATER HARVESTING.

18" DEEP DETENTION PONDS WITHIN EACH OF THE BASIN AREAS WILL BE UTILIZED TO DETAIN DISCHARGE, UTILIZE FOR LANDSCAPING / INFILTRATION AND RELEASE EXCESS.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.44" OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).



PROJECT DATA

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED (MOBILE HOME) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY UNDEVELOPED PROPERTY, TO THE WEST BY APARTMENTS, TO THE EAST BY LOUISIANA BLVD. AND TO THE NORTH BY DERICKSON AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 59,500 SF SENIOR LIVING FACILITY WITH ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

LEGAL: THE EASTERN PORTION OF TRACT 3, SANTA MONICA PLACE, ALBUQUERQUE, NM

AREA: 4.6 ACRES

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

CALCULATIONS: Elan Senior Living Facility : May 23, 2014
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE			
AREA OF SITE:	198332	SF	= 4.6
100-year, 6-hour DEVELOPED FLOWS:		Treatment SF	% Precip Zone
Area A	=	0	0%
Area B	=	35700	18%
Area C	=	59500	30%
Area D	=	103133	52%
Total Area	=	198332	100%
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$		
Developed E =	1.78 in.		
On-Site Volume of Runoff: V ₃₆₀ =	$E^* A / 12$		
Developed V ₃₆₀ =	29416 CF		
On-Site Peak Discharge Rate: Q _p = Q _{pA} A _A + Q _{pB} A _B + Q _{pC} A _C + Q _{pD} A _D / 43,560			
For Precipitation Zone 3			
Q _{pA} = 1.87	Q _{pC} = 3.45		
Q _{pB} = 2.60	Q _{pD} = 5.02		
Developed Q _p =	18.7 CFS		

LEGEND

- B2 DRAINAGE BASIN
- CONCEPTUAL STORM DRAIN
- ⊙ PROPOSED DETENTION POND / STORM DRAIN INLET LOCATION (18" DEEP)
- PROPOSED FLOW DIRECTION
- F.F. = PROPOSED FINISH FLOOR ELEVATION
- ⊙ PROPOSED WATER HARVESTING BASIN (6" DEPRESSED)

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com

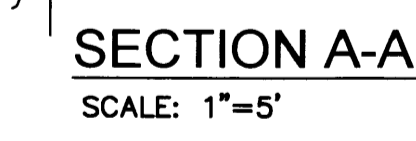
2047 CG-101 - Conceptual.dwg Aug 01, 2014

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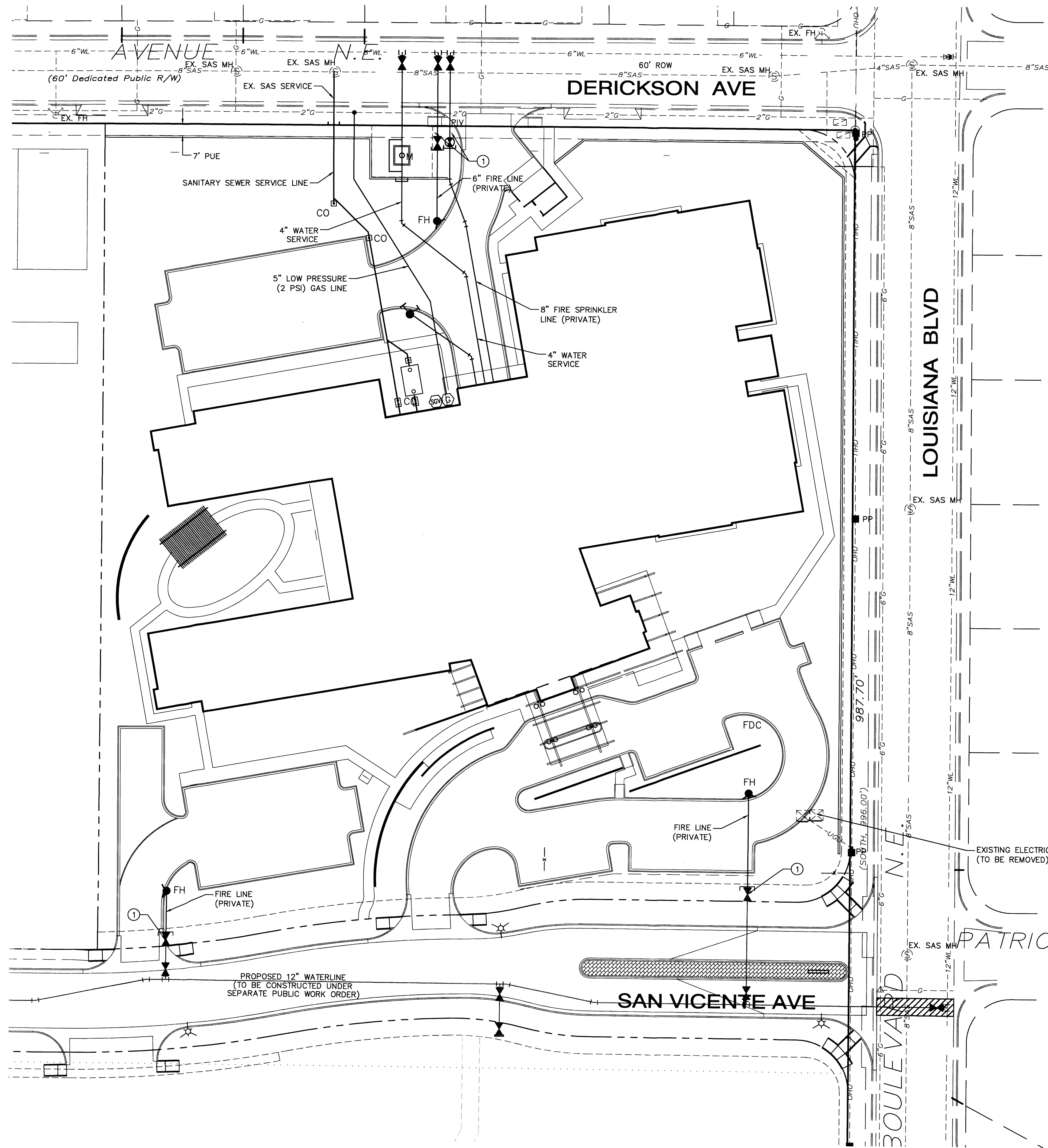
ELAN - Santa Monica Place
(Senior Assisted Living/Memory Care)

CONCEPTUAL GRADING & DRAINAGE PLAN

Date:	No.:	Revision:	Date:	Job No.:
9/10/14				2047
Drawn By:	BJB			CG-101
Ckd By:	FCA			SH OF



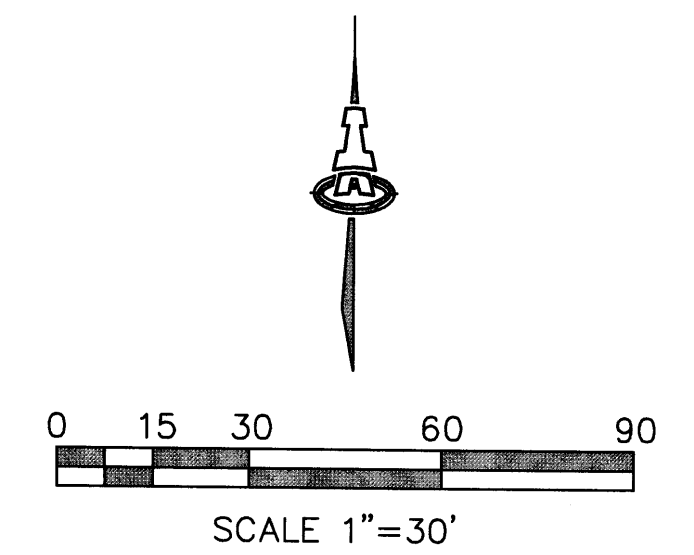
SECTION A-A
SCALE: 1"=5'



NOTES:
 1. ALL UTILITIES WITHIN THE SAN VICENTE AVE. ROW SHALL BE CONSTRUCTED UNDER A CITY OF ALBUQUERQUE PUBLIC WORK ORDER.
 2. ALL ONSITE FIRE LINES ARE PRIVATE. ① PRIVATE VALVES AT END OF PUBLIC WATER LINE STUBS TO BE INSTALLED AS PART OF THE PUBLIC WORK ORDER.

ABBREVIATIONS / LEDGEND

GEN		GENERATOR
T		TRANSFORMER
FH		FIRE HYDRANT
MTR		WATER METER
PIV		POST INDICATOR VALVE
FDC		FIRE DEPARTMENT CONNECTION
CO		SEWER CLEANOUTS
GI		GREASE INTERCEPTOR
M		WATER METER/VAULT
PP		POWER POLE
EB		ELECTRIC BOX
WL V		EXIST. WL VALVE
SAS MH		SAS MANHOLE
SAS		SANITARY SEWER
WL		WATERLINE
NPW		NON POTABLE WATER
		PROPOSED STREET LIGHT
		GAS METER



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 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.iactool.com
 2047 CU-101-Conceptual.dwg Oct 13, 2014

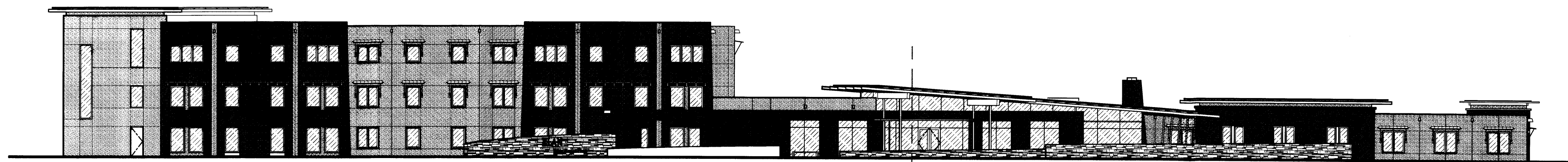
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ELAN - Santa Monica Place
 (Senior Assisted Living/Memory Care)

CONCEPTUAL UTILITY PLAN

Date:	No. Revision:	Date:	Job No.
9/10/14			2047
Drawn By:			CU-101
DEC			
Clk By:			SH OF
FCA			

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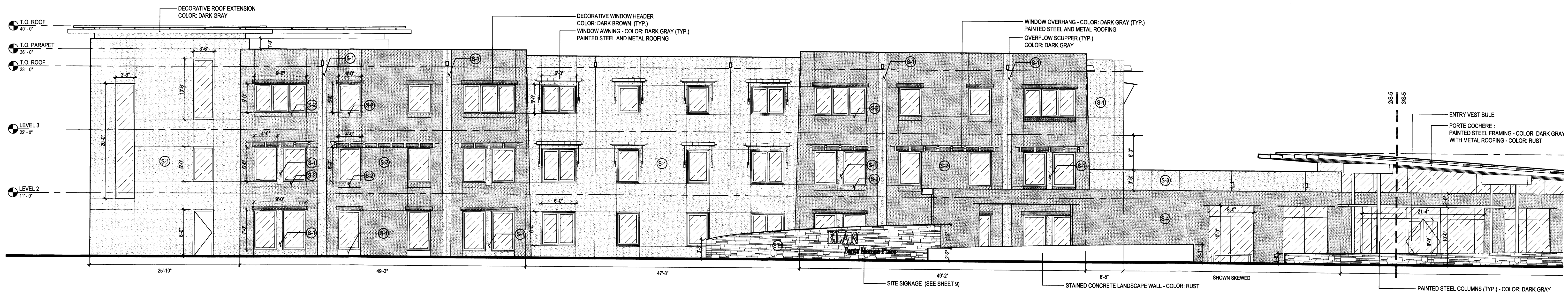


FINISHES	
	(S-1) EXTERIOR STUCCO FINISH - LIGHT BROWN COLOR
	(S-2) EXTERIOR STUCCO FINISH - MEDIUM ORANGE COLOR
	(S-3) EXTERIOR STUCCO FINISH - MEDIUM BROWN COLOR
	(S-4) EXTERIOR STUCCO FINISH - DARK BROWN COLOR
	(ST1) EXTERIOR STONE FINISH - MEDIUM BROWN LEDGESTONE
	(G) EXTERIOR GLAZING

NOTE: ALL OTHER MATERIALS AND BUILDING ELEMENTS ARE AS NOTED ON DRAWINGS.

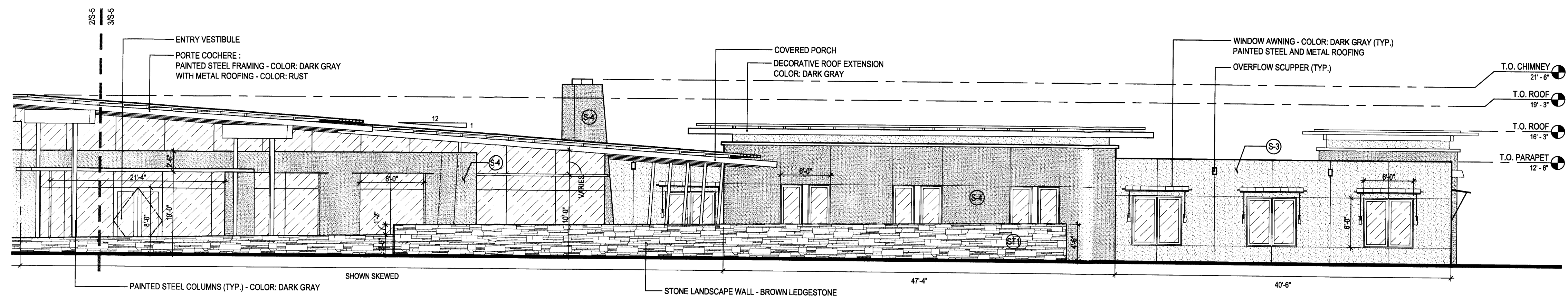
1 | EXTERIOR ELEVATION - SOUTH (OVERALL)

Scale: 1" = 20'



2 | EXTERIOR ELEVATION - SOUTH

Scale: 1/8" = 1'-0"



3 | EXTERIOR ELEVATION - SOUTH

Scale: 1/8" = 1'-0"

ÉLAN-SANTA MONICA PLACE (Senior Assisted Living/Memory Care)

BUILDING ELEVATIONS

Prepared For:
Titan Senior Living -Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

D2 Architecture
2001 North Lamar Street
Suite 450
Dallas, TX 75202



JUNE 26, 2014

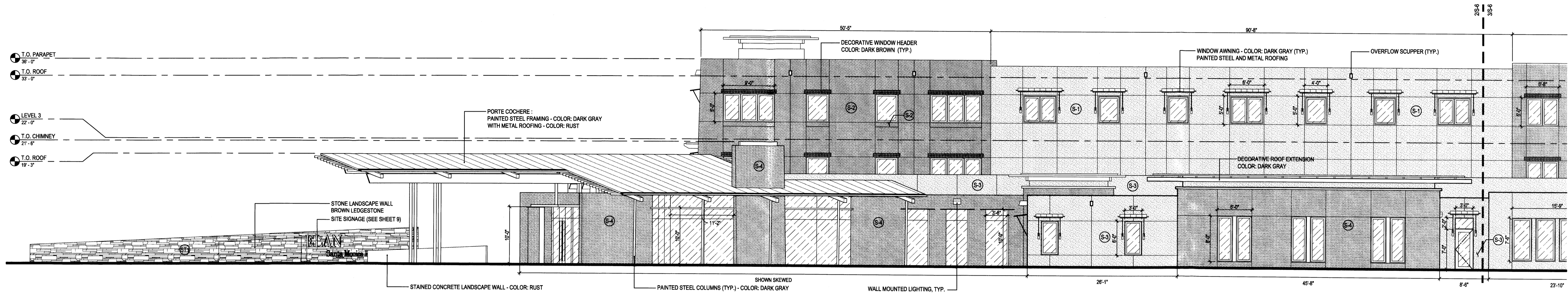


1 | EXTERIOR ELEVATION - EAST (OVERALL)

Scale: 1" = 20'

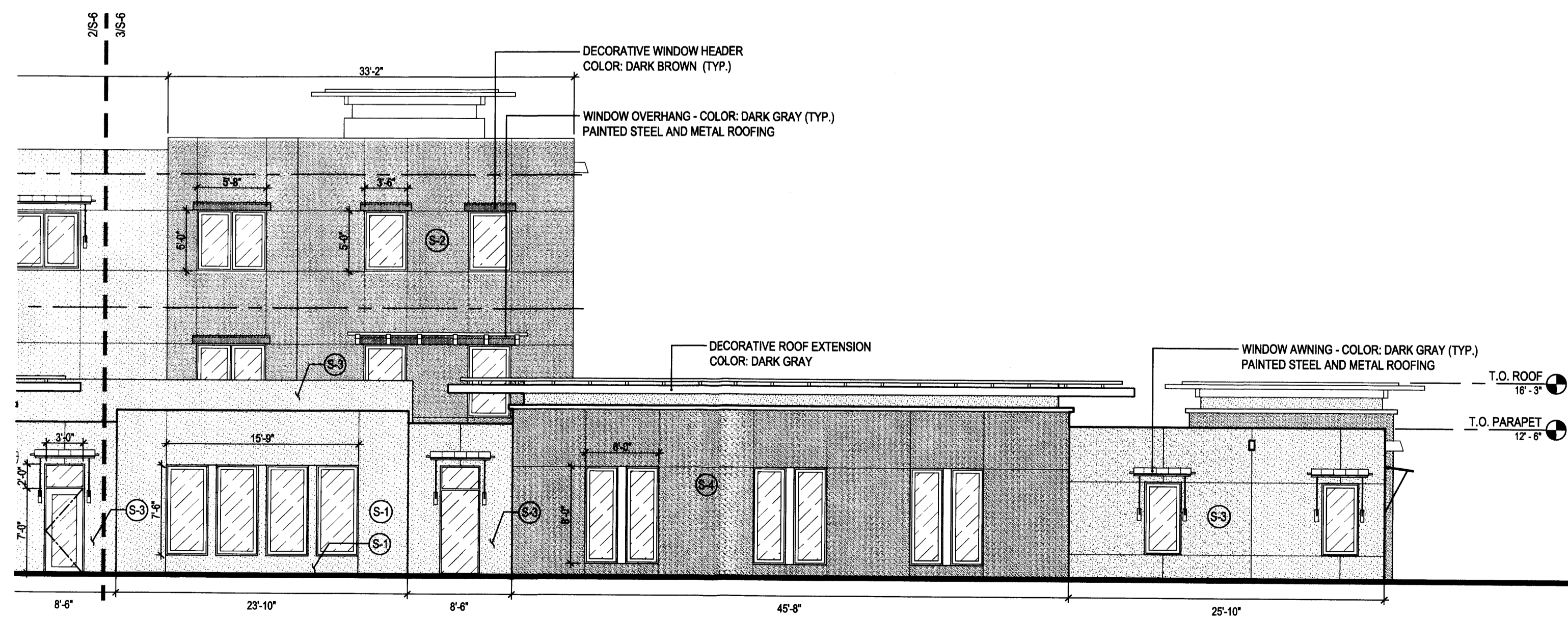
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	S-2	EXTERIOR STUCCO FINISH - MEDIUM ORANGE COLOR
	S-3	EXTERIOR STUCCO FINISH - MEDIUM BROWN COLOR
	S-4	EXTERIOR STUCCO FINISH - DARK BROWN COLOR
	ST1	EXTERIOR STONE FINISH - MEDIUM BROWN LEDGESTONE
	G	EXTERIOR GLAZING

NOTE: ALL OTHER MATERIALS AND BUILDING ELEMENTS ARE AS NOTED ON DRAWINGS.



2 | EXTERIOR ELEVATION - EAST

Scale: 1/8" = 1'-0"



3 | EXTERIOR ELEVATION - EAST

Scale: 1/8" = 1'-0"

ÉLAN-SANTA MONICA PLACE (Senior Assisted Living/Memory Care)

BUILDING ELEVATIONS

Prepared For:
Titan Senior Living - Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

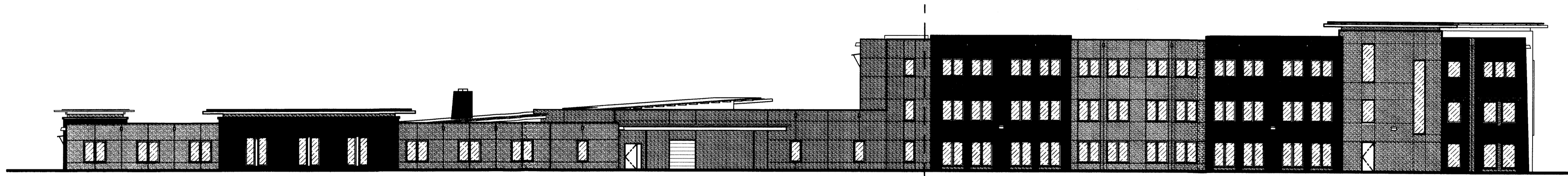
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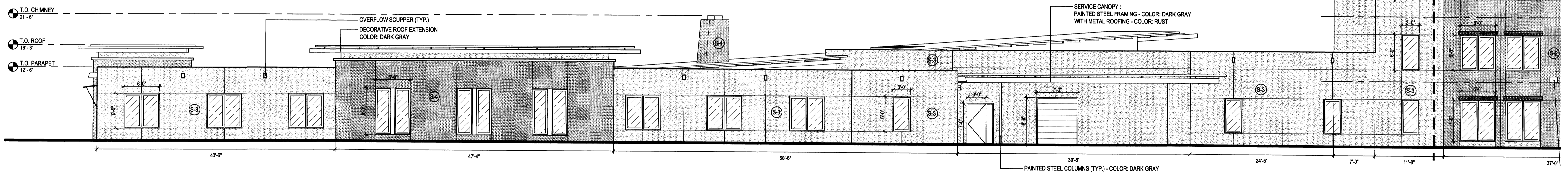


1 EXTERIOR ELEVATION - NORTH (OVERALL)

Scale: 1" = 20'

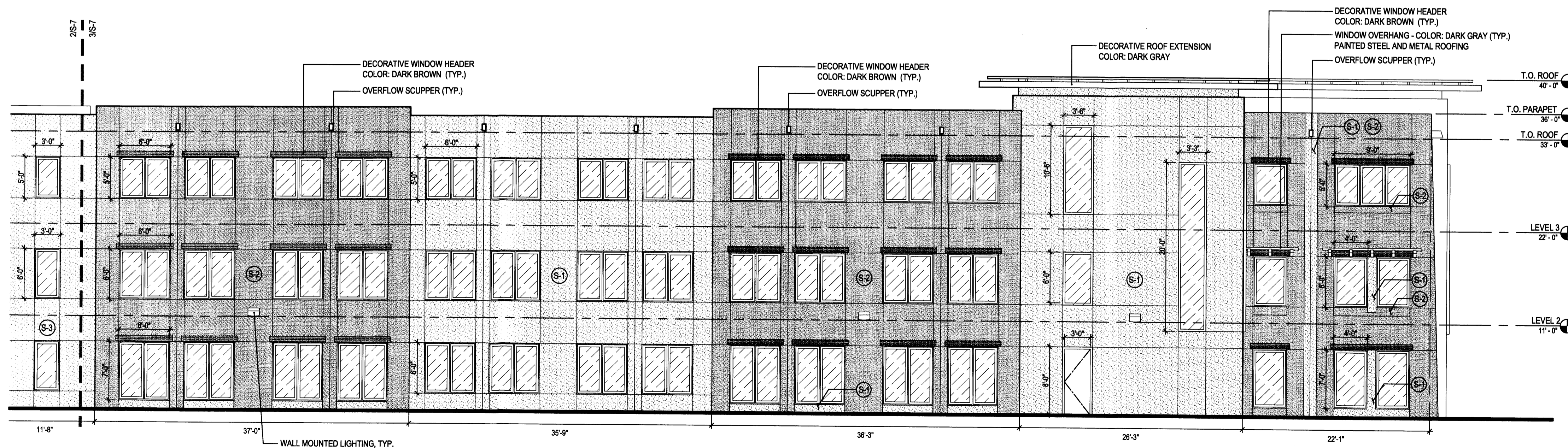
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	S-2 EXTERIOR STUCCO FINISH - MEDIUM ORANGE COLOR
	S-3 EXTERIOR STUCCO FINISH - MEDIUM BROWN COLOR
	S-4 EXTERIOR STUCCO FINISH - DARK BROWN COLOR
	ST1 EXTERIOR STONE FINISH - MEDIUM BROWN LEDGESTONE
	G EXTERIOR GLAZING

NOTE: ALL OTHER MATERIALS AND BUILDING ELEMENTS ARE AS NOTED ON DRAWINGS.



2 EXTERIOR ELEVATION - NORTH

Scale: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - NORTH

Scale: 1/8" = 1'-0"

ÉLAN-SANTA MONICA PLACE

(Senior Assisted Living/Memory Care)

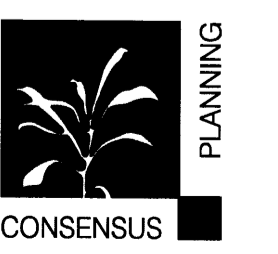
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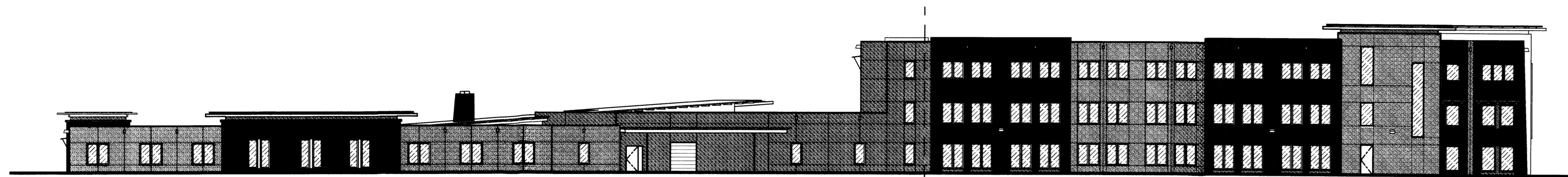
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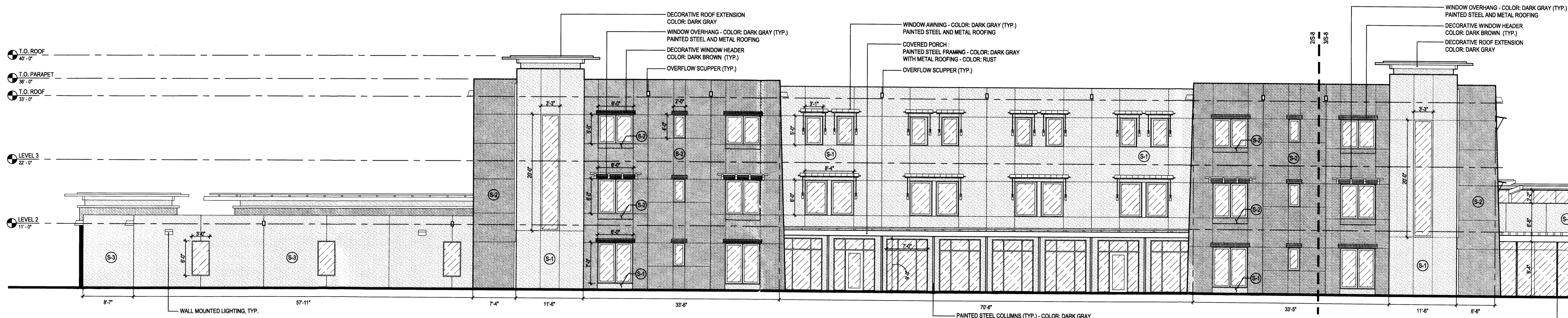




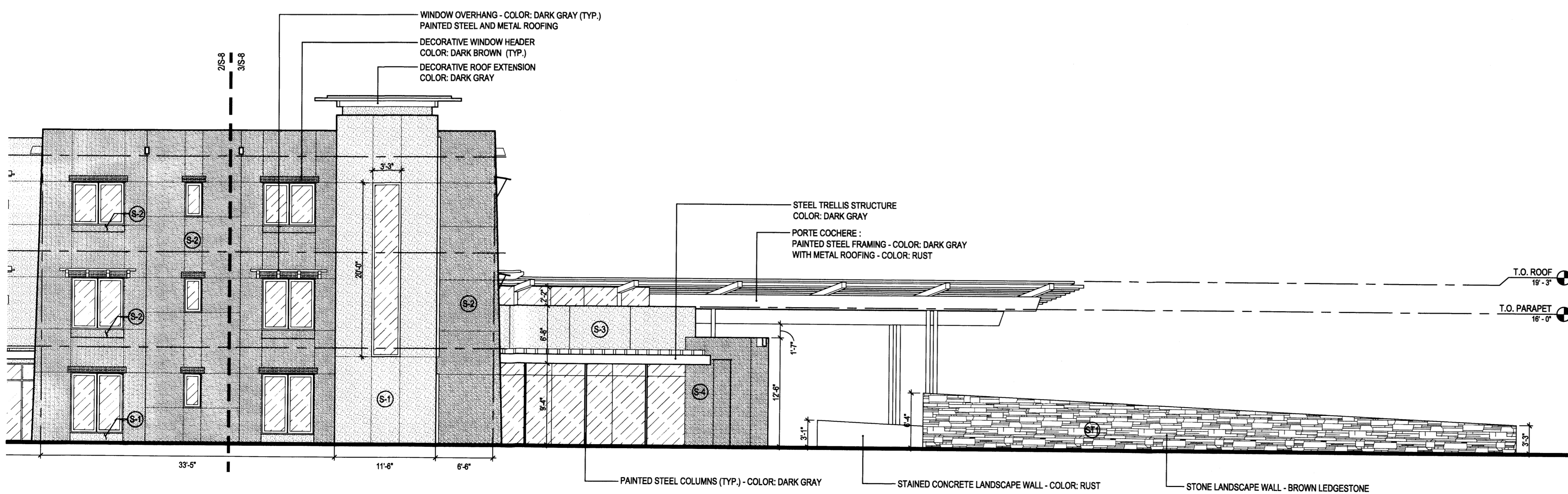
1 | EXTERIOR ELEVATION - NORTH (OVERALL)
Scale: 1" = 20'

	S-1 EXTERIOR STUCCO FINISH - LIGHT BROWN COLOR
	S-2 EXTERIOR STUCCO FINISH - MEDIUM ORANGE COLOR
	S-3 EXTERIOR STUCCO FINISH - MEDIUM BROWN COLOR
	S-4 EXTERIOR STUCCO FINISH - DARK BROWN COLOR
	ST1 EXTERIOR STONE FINISH - MEDIUM BROWN LEDGESTONE
	G EXTERIOR GLAZING

NOTE: ALL OTHER MATERIALS AND BUILDING ELEMENTS ARE AS NOTED ON DRAWINGS.



2 | EXTERIOR ELEVATION - WEST
Scale: 1/8" = 1'-0"



3 | EXTERIOR ELEVATION - WEST
Scale: 1/8" = 1'-0"

ÉLAN-SANTA MONICA PLACE (Senior Assisted Living/Memory Care)

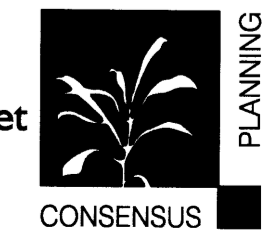
BUILDING ELEVATIONS

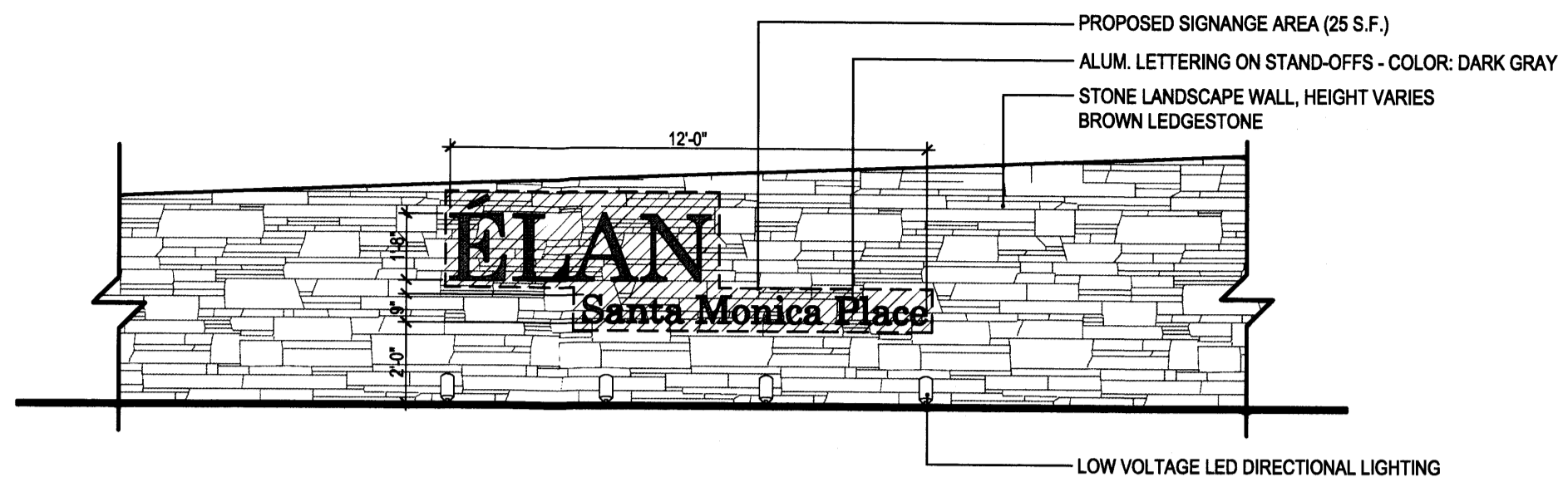
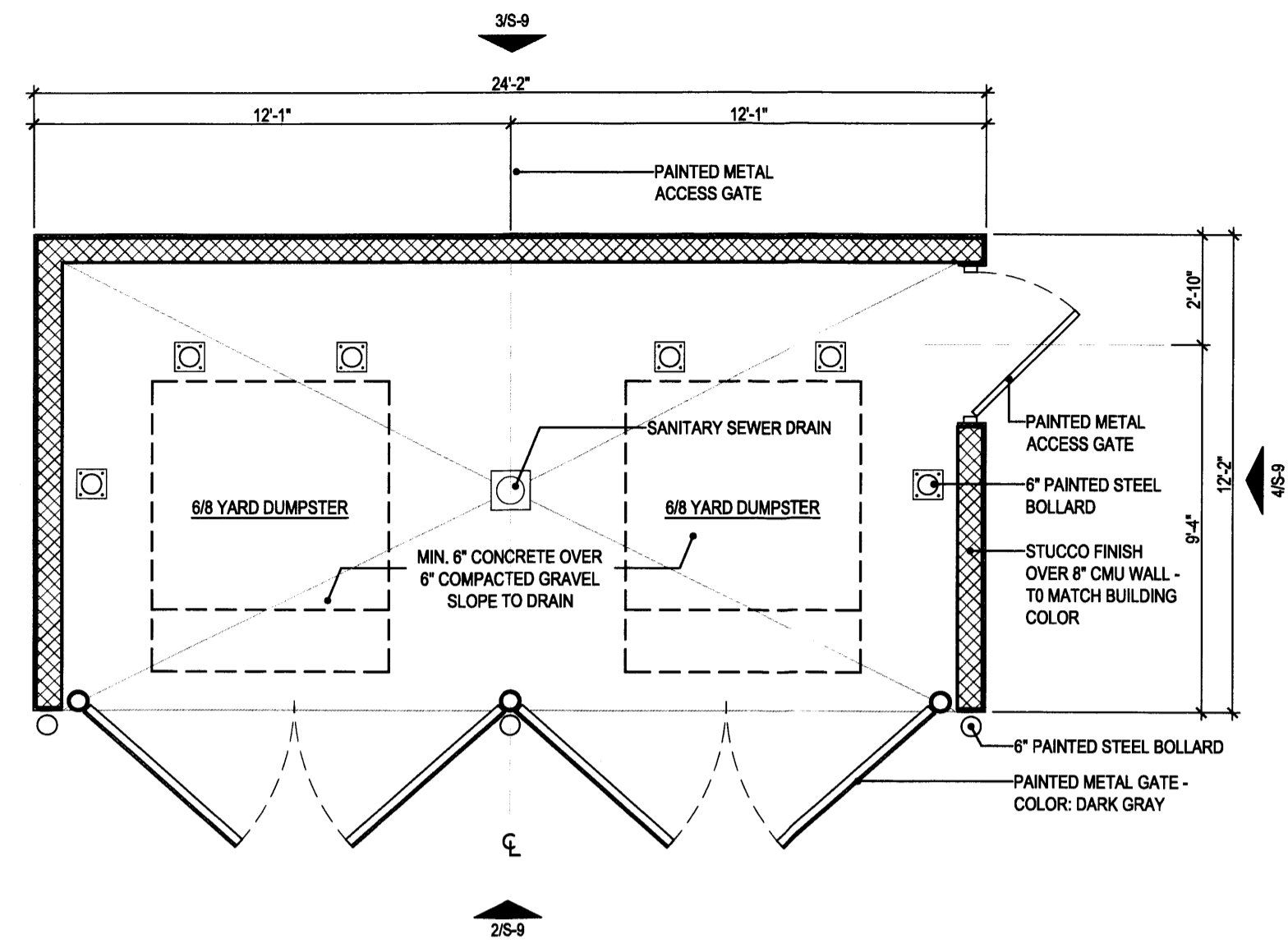
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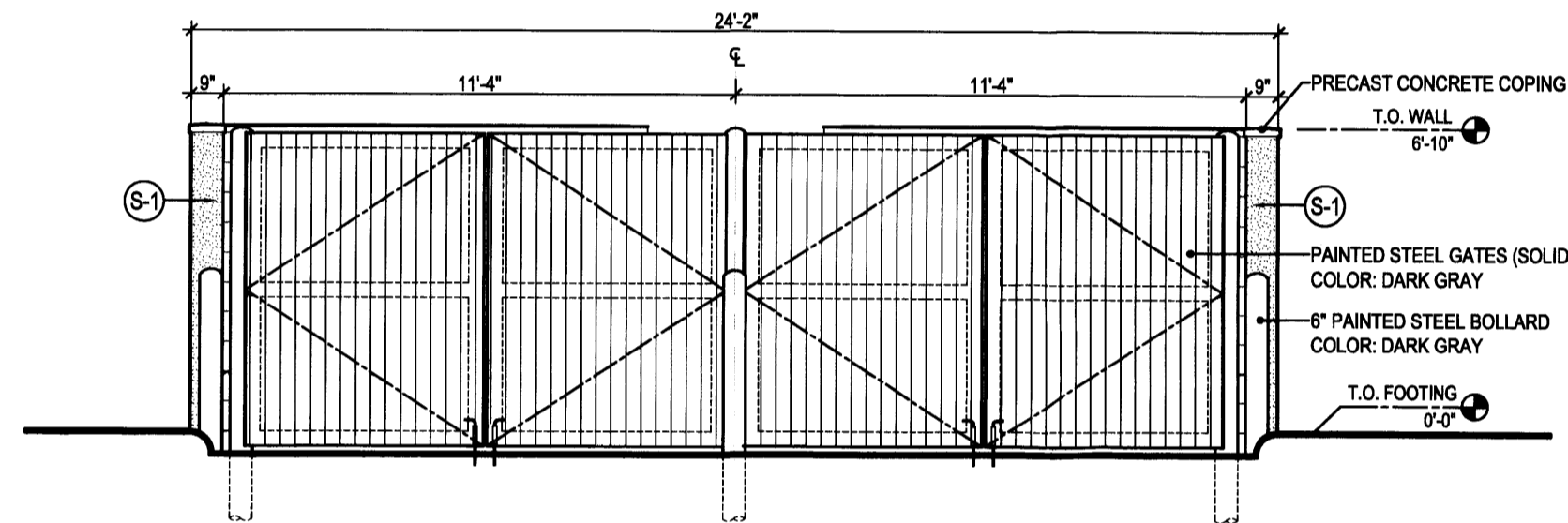


5 SITE SIGNAGE ELEVATION
Scale: 1/4"=1'-0"

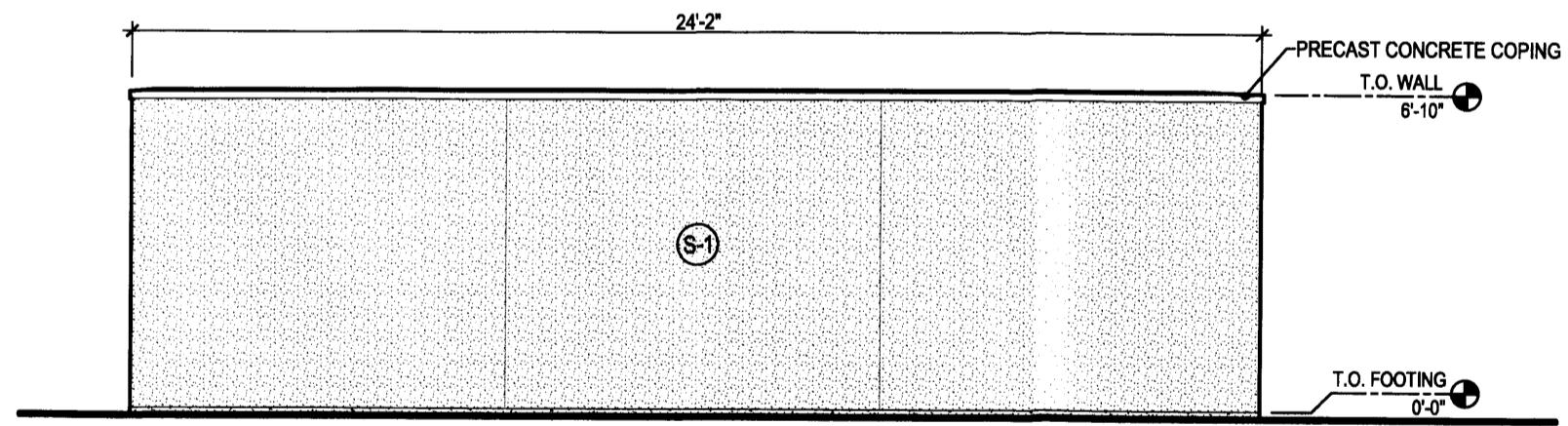
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	S-2 EXTERIOR STUCCO FINISH - MEDIUM ORANGE COLOR
	S-3 EXTERIOR STUCCO FINISH - MEDIUM BROWN COLOR
	S-4 EXTERIOR STUCCO FINISH - DARK BROWN COLOR
	ST1 EXTERIOR STONE FINISH - MEDIUM BROWN LEDGESTONE
	G EXTERIOR GLAZING

NOTE: ALL OTHER MATERIALS AND BUILDING ELEMENTS ARE AS NOTED ON DRAWINGS.

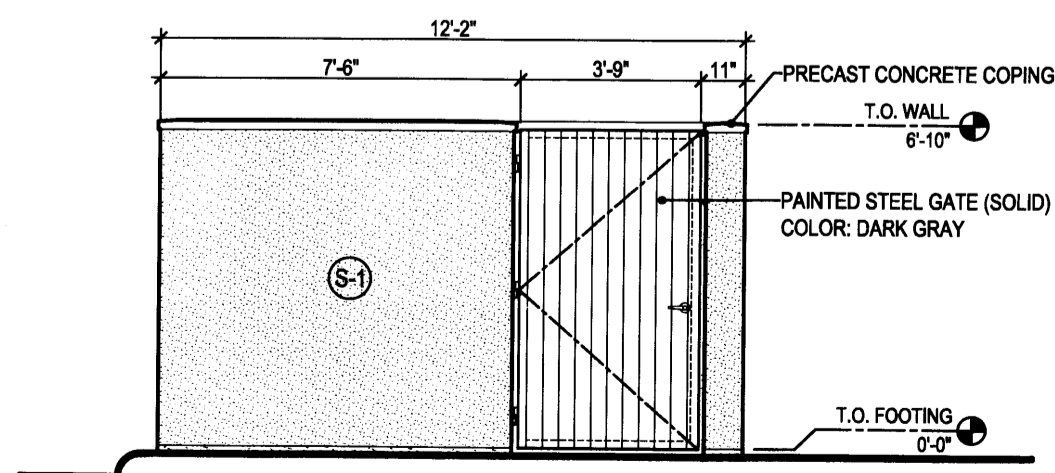
1 REFUSE ENCLOSURE PLAN
Scale: 1/4"=1'-0"



2 REFUSE ENCLOSURE FRONT ELEVATION
Scale: 1/4"=1'-0"



3 REFUSE ENCLOSURE FRONT ELEVATION
Scale: 1/4"=1'-0"



4 REFUSE ENCLOSURE FRONT ELEVATION
Scale: 1/4"=1'-0"

ÉLAN-SANTA MONICA PLACE (Senior Assisted Living/Memory Care)

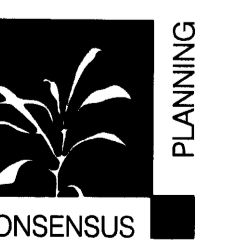
BUILDING ELEVATIONS

Prepared For:
Titan Senior Living -Santa Monica
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Albuquerque, NM 87120

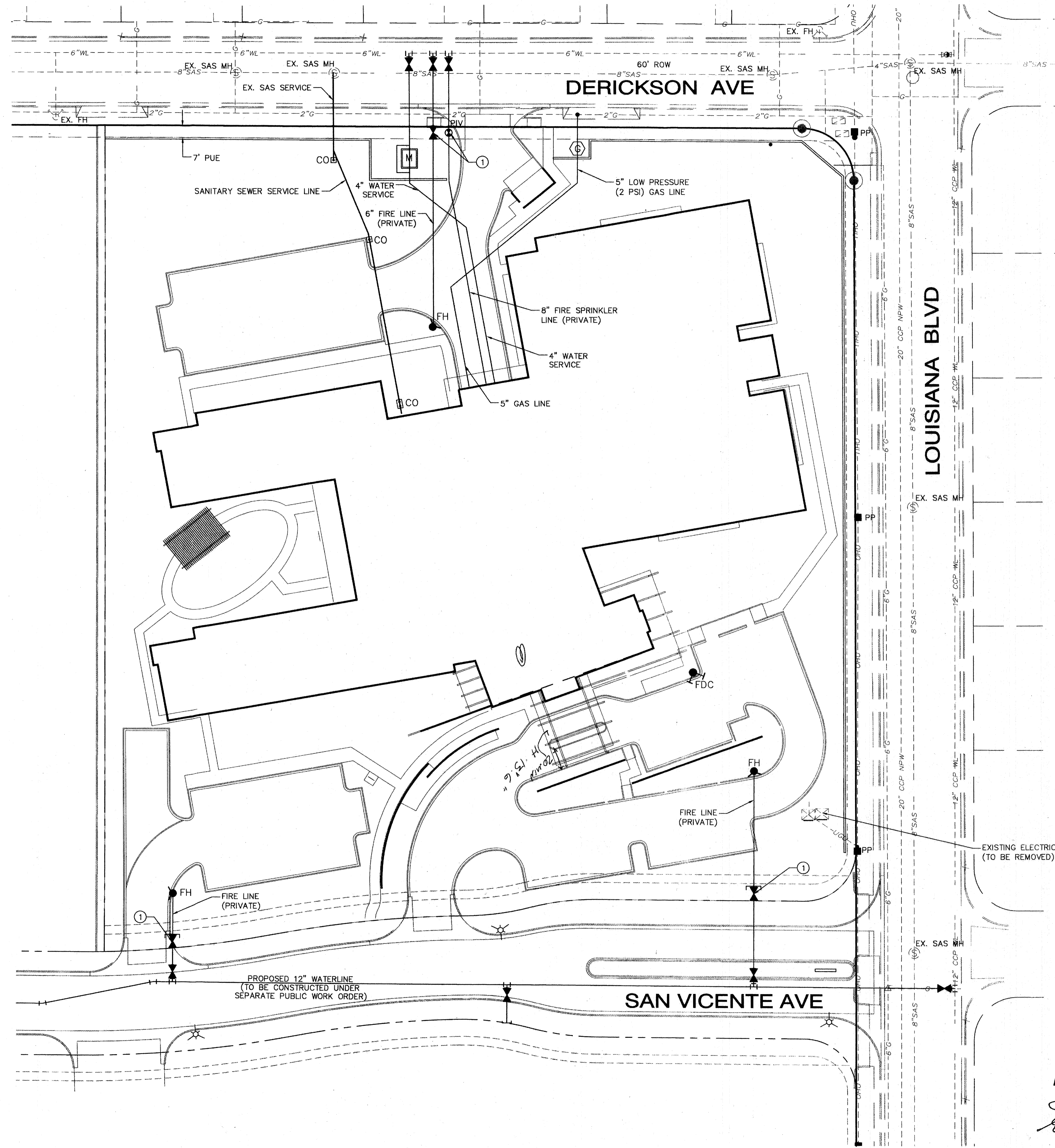
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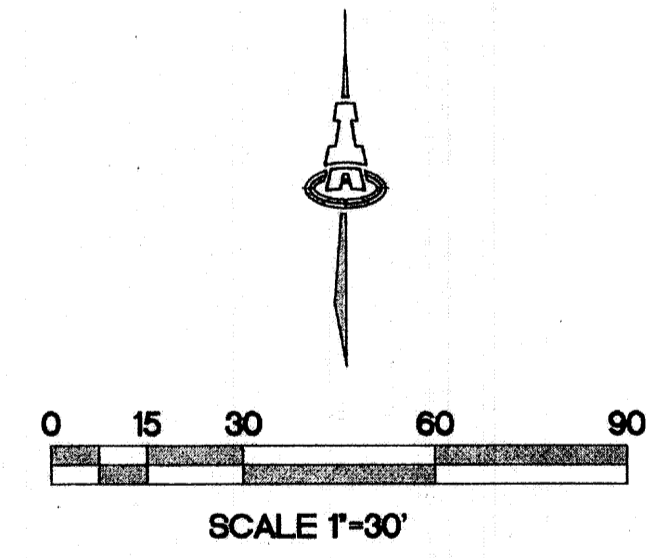
JUNE 26, 2014



NOTES:
 1. ALL UTILITIES WITHIN THE SAN VICENTE AVE. ROW SHALL BE CONSTRUCTED UNDER A CITY OF ALBUQUERQUE PUBLIC WORK ORDER.
 2. ALL ONSITE FIRE LINES ARE PRIVATE. ① PRIVATE VALVES AT END OF PUBLIC WATER LINE STUBS TO BE INSTALLED AS PART OF THE PUBLIC WORK ORDER.

ABBREVIATIONS / LEGEND

GEN		GENERATOR
T		TRANSFORMER
FH		FIRE HYDRANT
MTR		WATER METER
PIV		POST INDICATOR VALVE
FDC		FIRE DEPARTMENT CONNECTION
CO		SEWER CLEANOUTS
GI		GREASE INTERCEPTOR
M		WATER METER/VAULT
PP		POWER POLE
EB		ELECTRIC BOX
WL V		EXIST. WL VALVE
SAS MH		SAS MANHOLE
SAS		SANITARY SEWER
WL		WATERLINE
NPW		NON POTABLE WATER
		PROPOSED STREET LIGHT
		GAS METER



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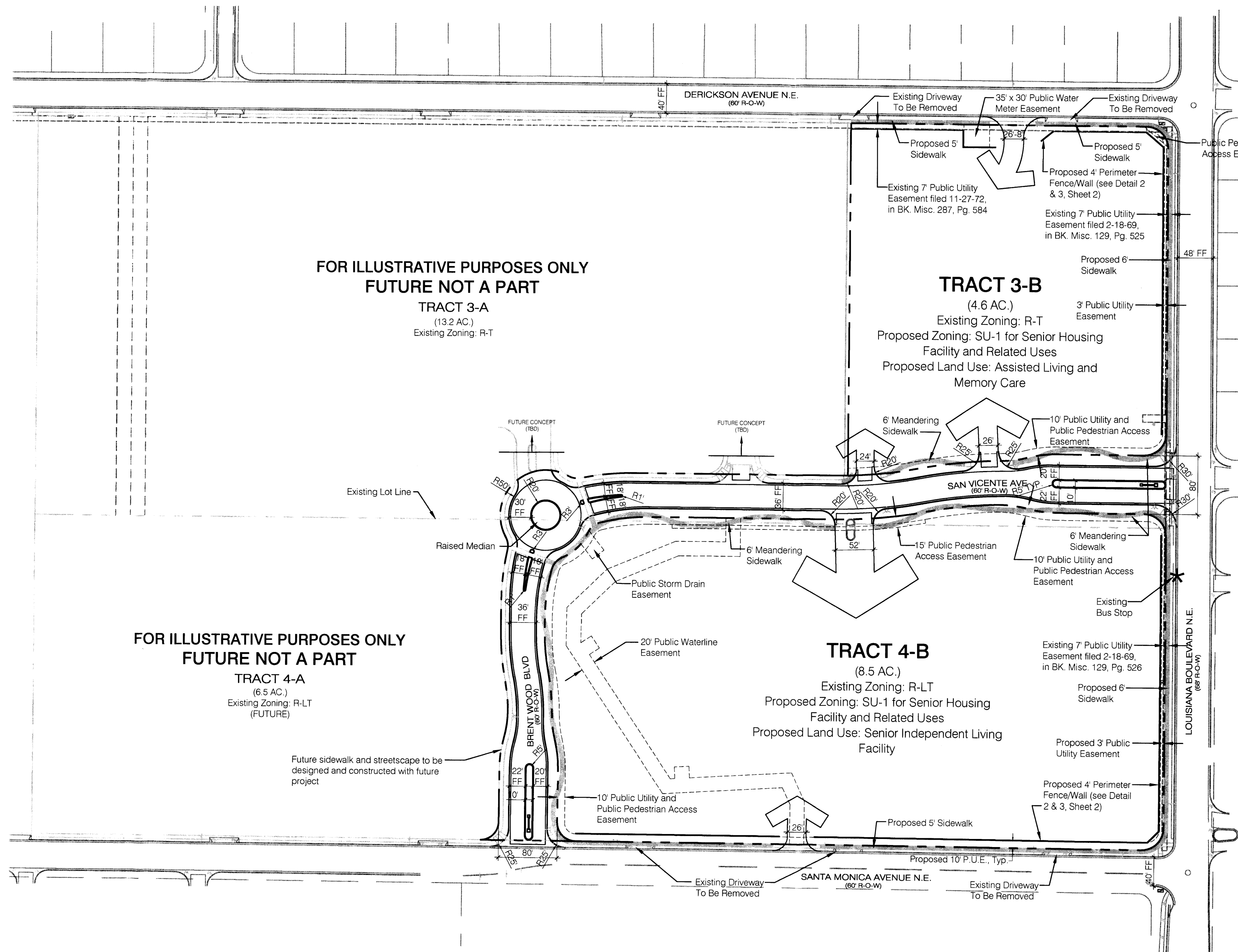
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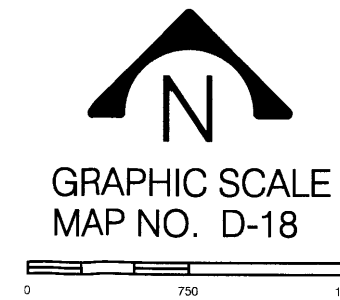
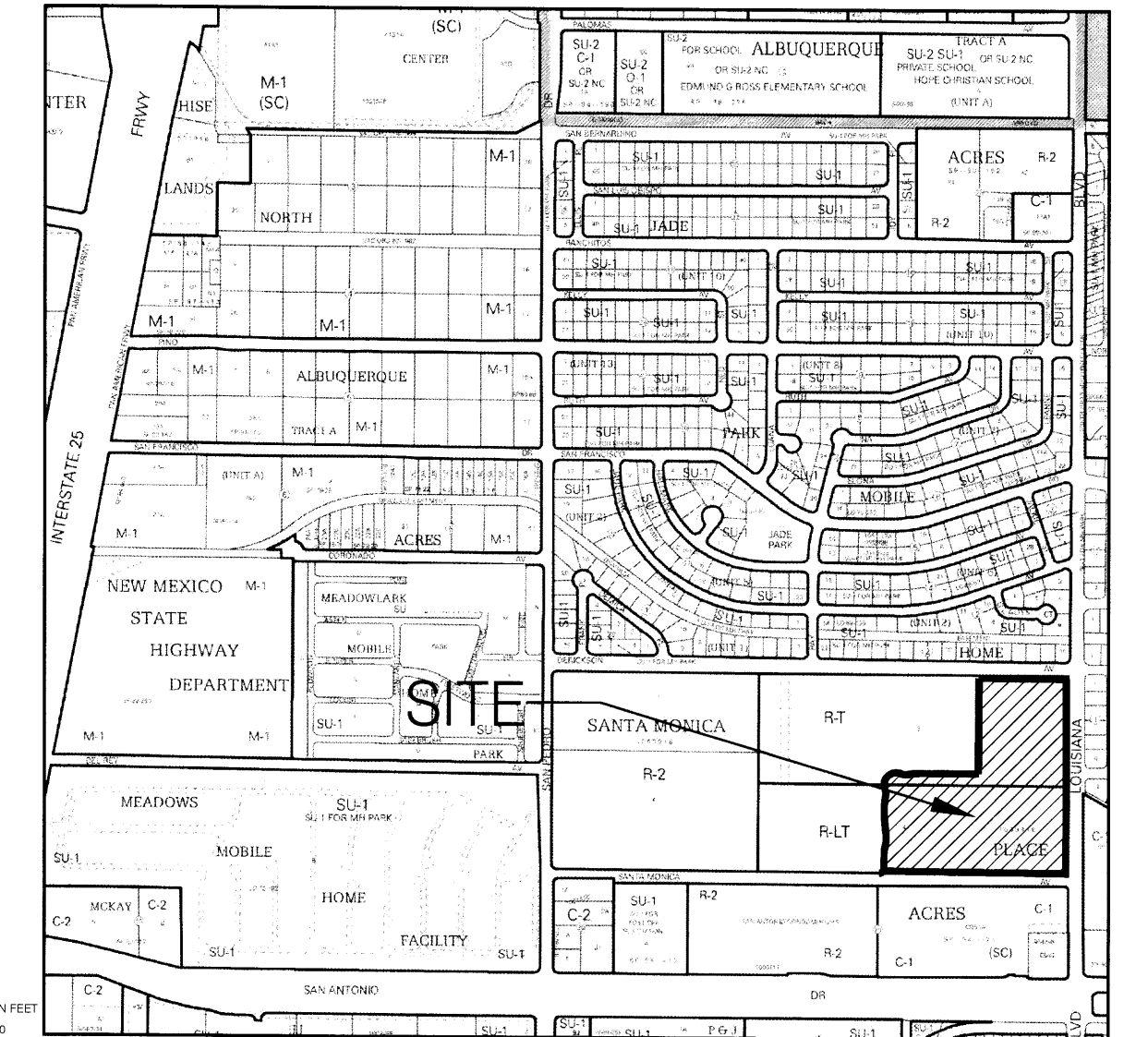
CONCEPTUAL UTILITY PLAN

Date:	6/26/14	No. Revision:		Date:		Job No.	2047
Drawn By:	DEC						CU-101
Ckd By:	FCA						SH OF

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 [Signature]
 SIGNATURE & DATE



VICINITY MAP



SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

THE SITE:

The site covered by this Site Plan for Subdivision is comprised of a portion of Tracts 3 and 4, Bulk Land Plat of Tracts 1 thru 4, Santa Monica Place. The site consists of 2 separate parcels (3B and 4B with Right-Of-Way) to be created by plat totaling 13.2 acres. The property is bounded on the north by Derickson Avenue, to the south by Santa Monica Avenue, and to the east by Louisiana Boulevard.

ZONING AND PROPOSED USE:

The site is currently zoned R-T (Tract 3B) and R-LT (Tract 4B). These two tracts (Tracts 3-B and 4-B) will be rezoned to SU-1 for Senior Housing Facility and Related Uses. The remainder of Tracts 3 and 4 will retain the existing zoning of R-T and R-LT and are not part of this Site Plan for Subdivision. The land use for Tract 3B will be Assisted Living and Memory Care Facility. The land use for Tract 4B will be Senior Independent Living Facility.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:

Vehicular Access and Circulation - Louisiana Boulevard is designated as an Urban Collector. It provides primary access to the site. Secondary access is from Santa Monica and Derickson, Local Streets. Access to Tracts 3-B and 4-A is from the new interior local streets created for this project (Brentwood Boulevard and San Vicente Avenue).

Transit - The property is currently served by Bus Route 34 (San Pedro Commuter), which runs along Louisiana Boulevard. An existing bus stop is located adjacent to the site.

Bicycle Facilities - The multi-use Pino Trail runs along South Pino Arroyo Channel, to the south of this site. Bike lanes are currently on Louisiana Boulevard, as well as on San Pedro Boulevard to the west.

Pedestrian Facilities - The primary pedestrian access to the site will be from Louisiana Boulevard and Santa Monica Avenue via Brentwood Boulevard and San Vicente Avenue.

BUILDING HEIGHTS AND SETBACKS:

Buildings shall not exceed three stories and 52 feet in height as measured to the average height between the plate and the ridge of a gable, hip, or gambrel roof. Setbacks shall be per the O-1 zone as provided in the Comprehensive City Zoning Code.

MAXIMUM FLOOR AREA RATIO (FAR):

The maximum FAR for both tracts individually shall be .50.

LANDSCAPE PLAN:

Landscape plans shall be submitted as part of the Site Plan for Building Permit and shall be consistent with the Comprehensive City Zoning Code, Water Conservation Landscaping and Water Waste Ordinance, and the Pollen Control Ordinance. Street trees shall be provided in accordance with the Street Tree Ordinance. A landscape plan for the common areas (Roundabout and Medians) is provided on sheet 2.

HYDROLOGY:

Site Plans for Building Permit shall state how the site will manage the first flush.

PROJECT NUMBER: 1010144
Application Number: 14EPC-40041

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

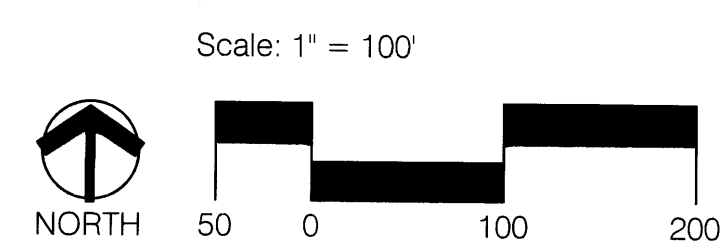
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

SANTA MONICA PLACE

SITE PLAN FOR SUBDIVISION

Prepared For:
Titan Senior Living -Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

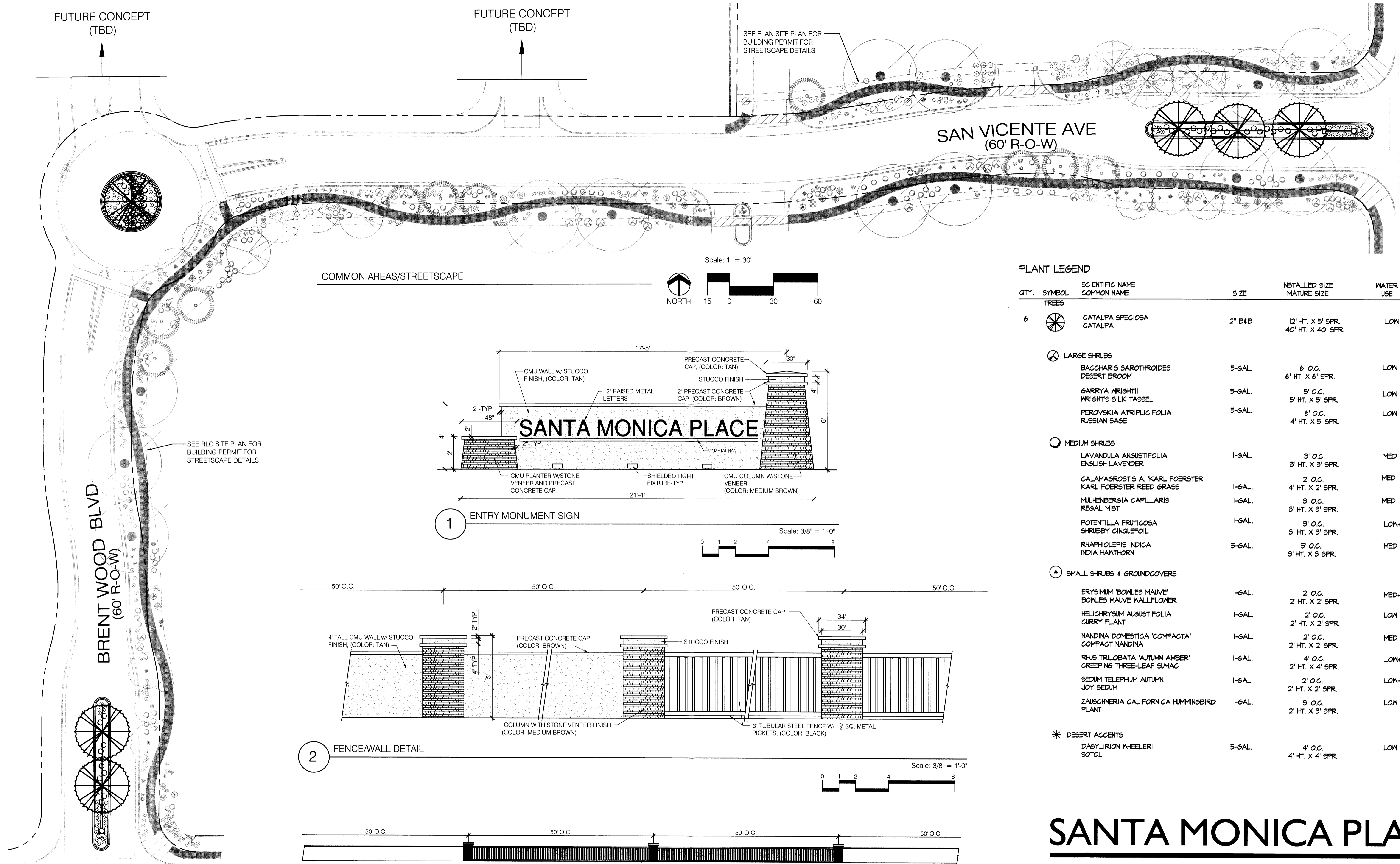
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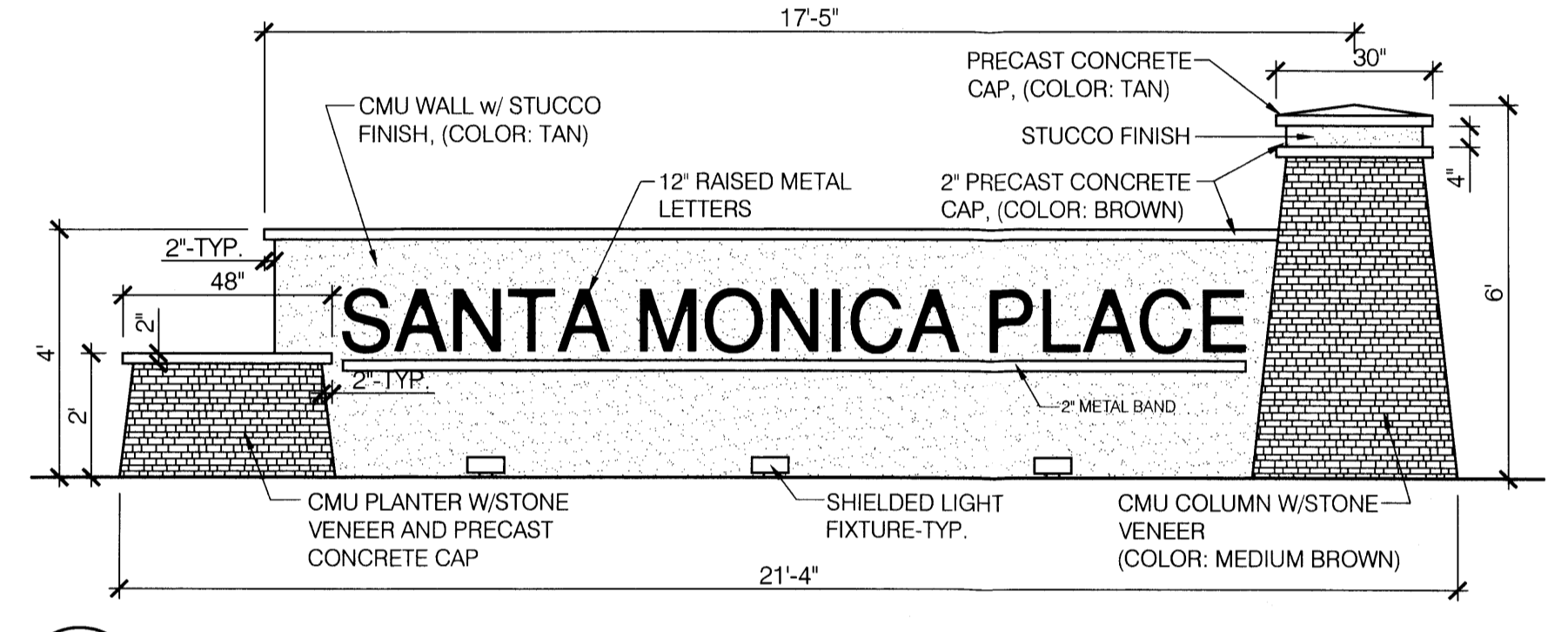
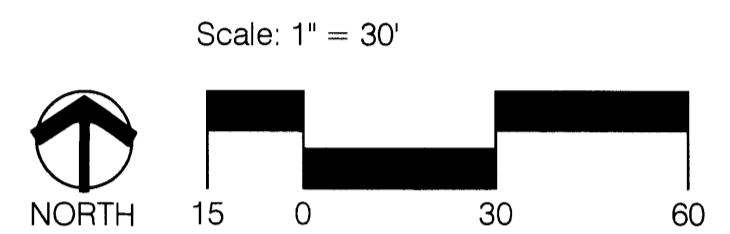
OCTOBER 14, 2014

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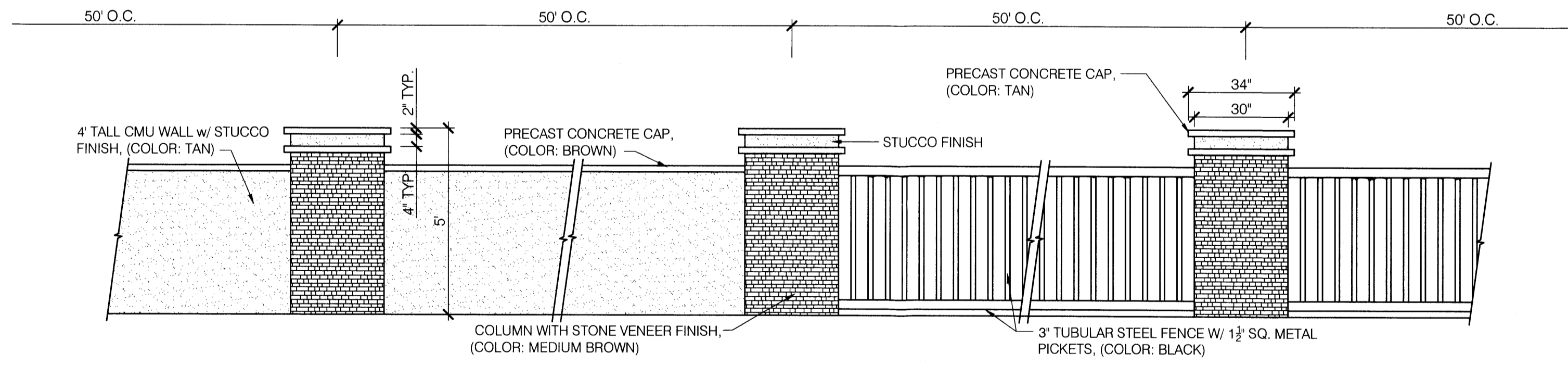




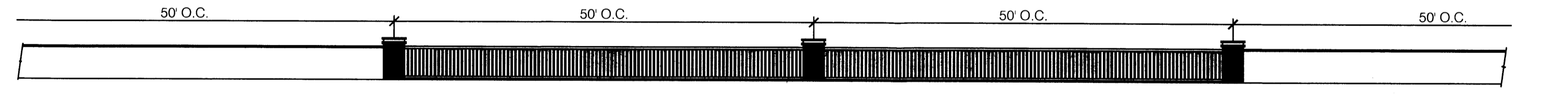
COMMON AREAS/STREETScape



1 ENTRY MONUMENT SIGN
Scale: 3/8" = 1'-0"



2 FENCE/WALL DETAIL
Scale: 3/8" = 1'-0"



3 CONCEPTUAL PERIMETER FENCE/WALL (LOUISIANA BOULEVARD, SANTA MONICA AVENUE, AND DERICKSON AVENUE)
Not to Scale

- NOTES:
1. PILASTERS SPACED APPROXIMATELY EVERY 50 FEET, TO BE DETERMINED DURING CONSTRUCTION PHASE.
 2. SPECIFIC PATTERN OF SOLID WALL SECTIONS AND TUBULAR STEEL FENCING SHALL BE DETERMINED DURING CONSTRUCTION PHASE.

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
6		CATALPA SPECIOSA CATALPA	2" B&B	12' HT. X 5' SPR. 40' HT. X 40' SPR.	LOW
LARGE SHRUBS					
		BACCHARIS SAROTROIDES DESERT BROOM	5-GAL.	6' O.C. 6' HT. X 6' SPR.	LOW
		GARRYA WRIGHTII WRIGHT'S SILK TASSEL	5-GAL.	5' O.C. 5' HT. X 5' SPR.	LOW
		PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5-GAL.	6' O.C. 4' HT. X 5' SPR.	LOW
MEDIUM SHRUBS					
		LAVANDULA ANGUSTIFOLIA ENGLISH LAVENDER	1-GAL.	3' O.C. 3' HT. X 3' SPR.	MED
		CALAMAGROSTIS A. KARL FOERSTER' KARL FOERSTER REED GRASS	1-GAL.	2' O.C. 4' HT. X 2' SPR.	MED
		MILHENERGIA CAPILLARIS REGAL MIST	1-GAL.	3' O.C. 3' HT. X 3' SPR.	MED
		POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 3' HT. X 3' SPR.	LOW+
		RHAPHIOLEPIS INDICA INDIA HANTHORN	5-GAL.	5' O.C. 3' HT. X 3' SPR.	MED
SMALL SHRUBS & GROUNDCOVERS					
		ERYSIMUM 'BOWLES MAUVE' BOWLES MAUVE WALLFLOWER	1-GAL.	2' O.C. 2' HT. X 2' SPR.	MED+
		HELICHRYSUM AUGUSTIFOLIA CURRY PLANT	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
		NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA	1-GAL.	2' O.C. 2' HT. X 2' SPR.	MED
		RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC	1-GAL.	4' O.C. 2' HT. X 4' SPR.	LOW+
		SEDUM TELEPHIUM AUTUMN JOY SEDUM	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW+
		ZAUSCHNERIA CALIFORNICA HUMMINGBIRD PLANT	1-GAL.	3' O.C. 2' HT. X 3' SPR.	LOW
DESERT ACCENTS					
		DASYLIRON WHEELERI SOTOL	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW

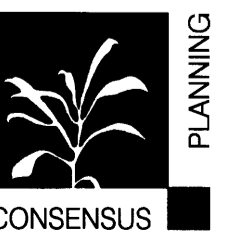
SANTA MONICA PLACE

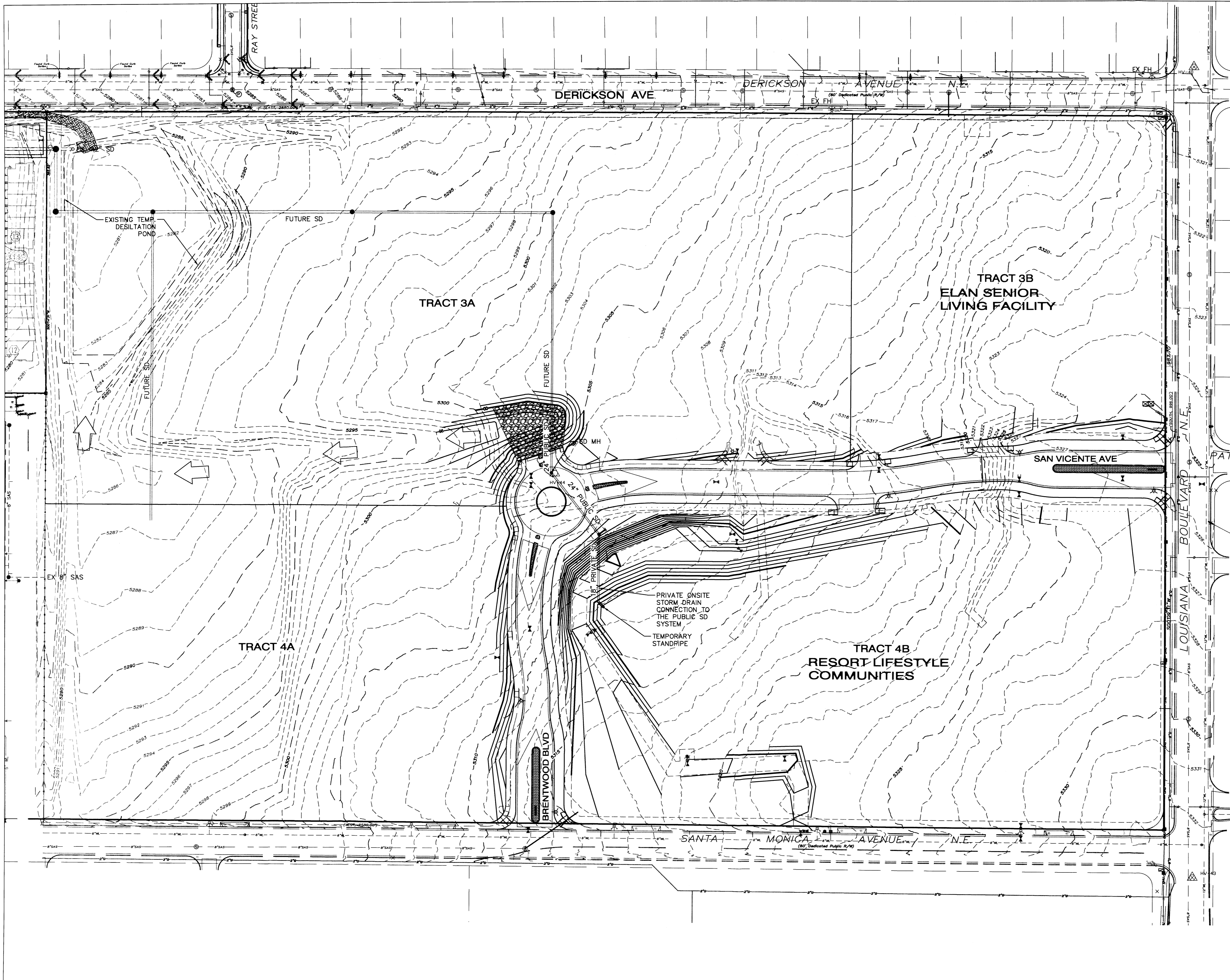
COMMONS AREAS / STREETScape

Prepared For:
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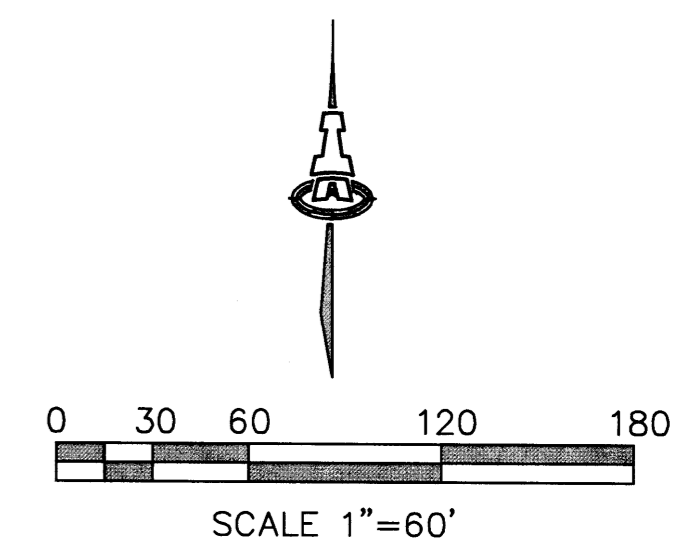
Prepared By:
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Albuquerque, NM 87108





LEGEND



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 Ph. 505-268-8828 www.iaacivil.com
 2048 CO-101.dwg Jun 24, 2014

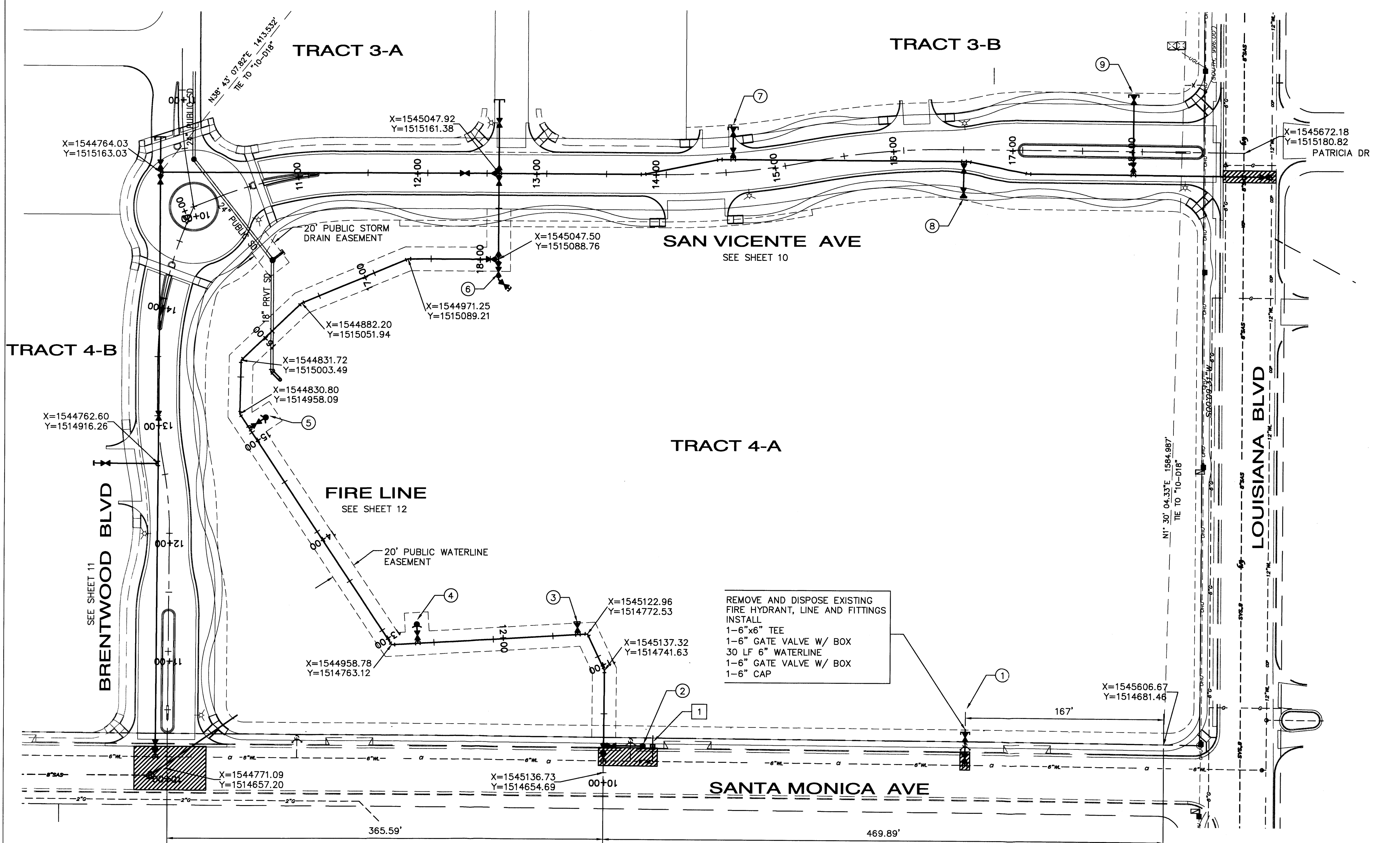
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SANTA MONICA PLACE
 TRACTS 3-A, 3-B, & 4-A INFRASTRUCTURE
 DEL REY INVESTMENT, LLC

INTERIM DRAINAGE PLAN

Date:	No. Revision:	Date:	Job No.
5/20/14			2048
Drawn By:			PAGE
DEC			SH OF
Chk By:			
FCA			

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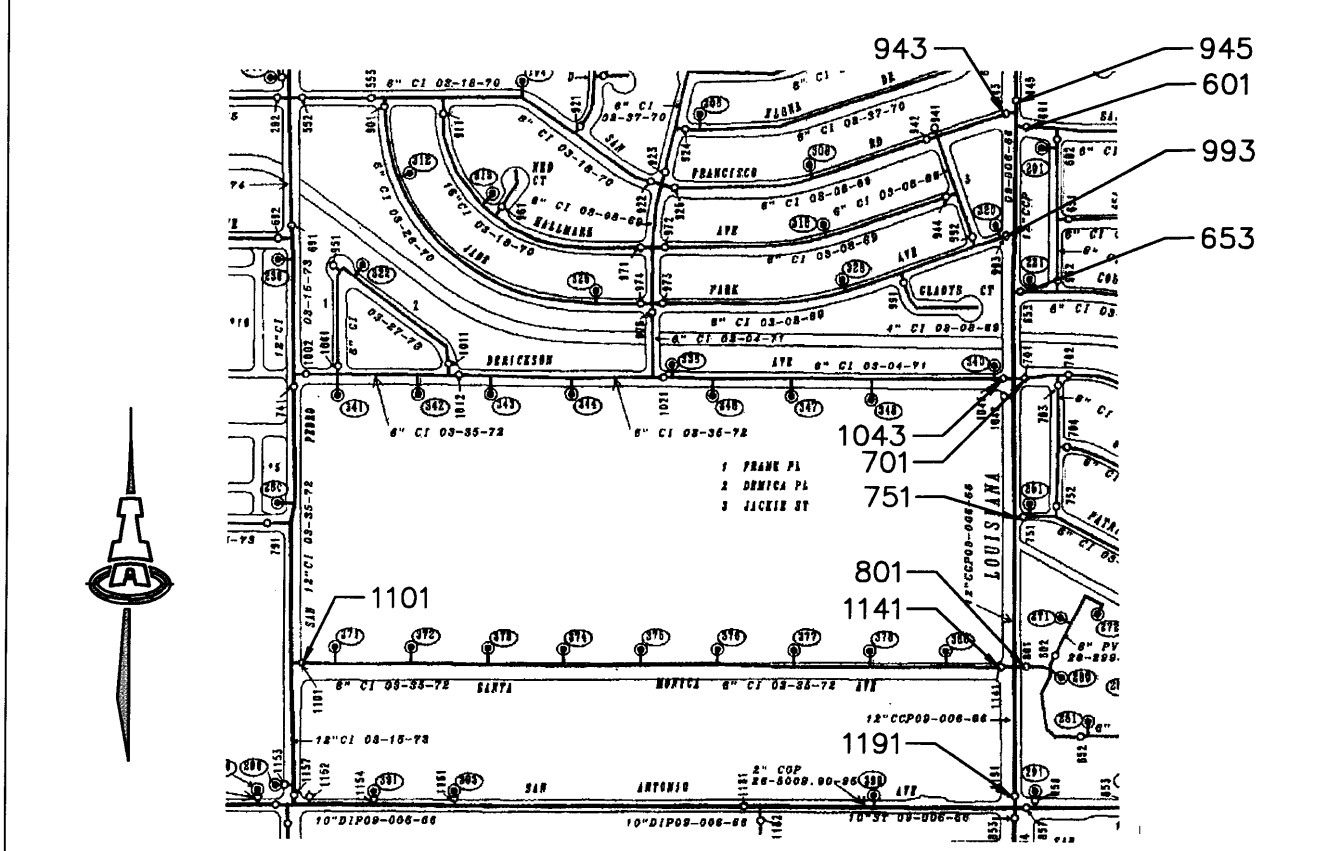


GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- CENTERLINES OF CONSTRUCTION IS ALONG CENTERLINE OF ROAD ROW AND FIRE LINE CENTERLINE.
- PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS (6"-12").
- ALL SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS PER TABLE THIS SHEET.
- SUPPLEMENTAL SPECIFICATION: ALL SEWER BACKFILL FOR WATER LINE AND SANITARY LINE TRENCHES SHALL BE COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY PER ASTM D-1557.
- ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.

LEGEND

- NEW GATE VALVE W/ VALVE BOX
- NEW WATER LINE W/ FITTING
- NEW WATER SERVICE METERS
- NEW SAS LINE & MH
- 6" SEWER SERVICE
- EXISTING SAS LINE & MH
- EXISTING WL & GV
- REMOVE AND REPLACE EXISTING PAVEMENT



SHUT-OFF VALVES 943, 945, 601, 993, 653, 1043, 701, 751, 801, 1141, 1191, 1101 TO PROVIDE NON-PRESSURE CONNECTIONS.

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE.

WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT:
http://www.abcwua.org/Water_Shut_off_and_Turn_on_Procedures.aspx

WATER SHUT-OFF PLAN

RESTRAINED JOINT LENGTHS, L_r, FOR REDUCERS, (FT.)
 MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH: RESTRAIN LARGE PIPE.

SIZE	LARGE SIDE	SIZE	LARGE SIDE
12x10	30	10x6	53
12x8	54	10x4	71
12x6	74	8x6	31
12x4	89	8x4	52
10x8	29	6x4	29

THESE TABLES ARE BASED UPON THE FOLLOWING CRITERIA:

DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.50
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

RESTRAINED JOINT LENGTHS, L_r, FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT.)

SIZE	HORZ. BENDS				VALVES & DEAD ENDS
	90'	45'	22 1/2'	11 1/4'	
12	37	15	8	4	102
10	31	13	7	4	87
8	27	11	6	3	72
6	20	9	4	2	55
4	15	6	3	2	39

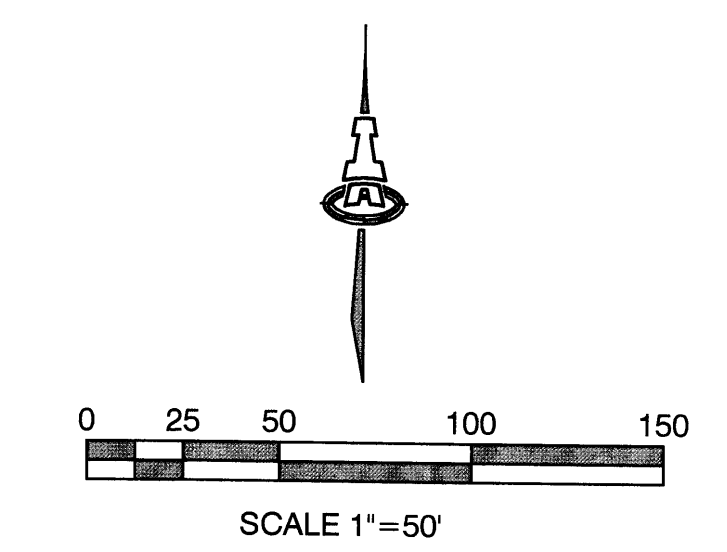
- NOTES:**
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
 - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

RESTRAINED JOINT LENGTHS FOR WATERLINE FITTINGS

WATER METER AND FIRE LINE SUMMARY FOR COMMERCIAL DEVELOPMENT

WATER METERS			
#	SIZE	LOCATION (STATION/OFFSET)	USE (DOMESTIC/IRRIGATION) No. UNITS SERVED
1	2"	10+10.09, 41.8' RT (FIRE LINE)	DOMESTIC 1

FIRE LINES			
#	SIZE	LOCATION (STATION/OFFSET)	STREET/ALIGNMENT
1	6"	10+23.00, 300.0' RT	FIRE LINE
2	6"	10+23.00, 33.6' RT	FIRE LINE
3	6"	11+29.00	FIRE LINE
4	6"	12+63.53	FIRE LINE
5	6"	15+04.15	FIRE LINE
6	6"	18+06.86, 12.5' RT	FIRE LINE
7	6"	14+56.87, 10.6' LT	SAN VICENTE AVE
8	6"	16+50.52, 10.0' RT	SAN VICENTE AVE
9	6"	17+92.70, 10.0' RT	SAN VICENTE AVE



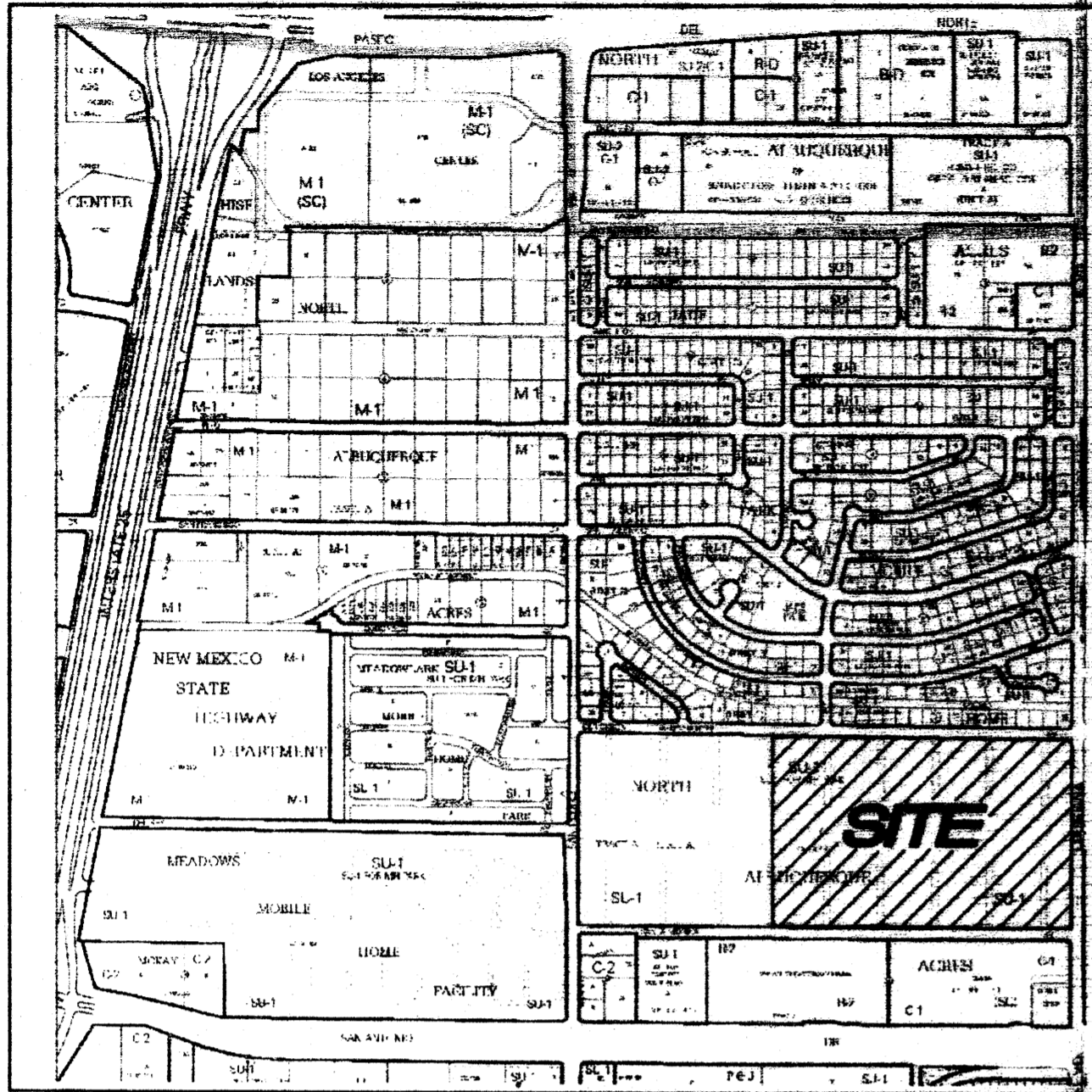
ISAACSON & AREMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.iaciivil.com
 2048 CU-101.dwg Oct 06, 2014

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

TITLE: **SANTA MONICA PLACE MASTER UTILITY PLAN**

Design Review Committee	City Engineer Approval	Ms./Day/Ti.	Ms./Day/Ti.
Last Design Update			
City Project No. 689985	Zone Map No. D-18-Z	Sheet 13 Of 16	

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ALBUQUERQUE CONTROL SURVEY MONUMENT	FIELD NOTES	NO.	DATE	REVISIONS	BY
STAKED BY	DATE	"10-D18" (NAD 83)				DESIGN	
ACCEPTANCE BY	DATE	N= 1,515,749.916					
REVISION BY	DATE	E= 1,545,122.187					
DATE	DATE	DELTA ALPHA = -00'11.01.11"					
		G-G = 0.999659710					
		ELEV. = 5321.79 (NGVD 88)					
		ACS BRASS TABLET AT N.E. CORNER OF LOUISIANA					
		BLVD AND JADE PARK AVE NE					



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are grid based on the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Distances shown along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are in parenthesis ().
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus Δ . All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument— Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- City of Albuquerque Zone Atlas Page: D-18-Z

SUBDIVISION DATA

Total number of existing Tracts: 2
 Total number of new Tracts created: 4
 Public street right of way dedicated: 2.1003 acres
 Gross Subdivision acreage: 34.9419 acres
 Mileage of full width streets created: 0.25 mile

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer

Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) and Qwest Corporation d/b/a CenturyLink (QWEST) did not conduct a Title Search of the Certificates shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT:

The Purpose of this plat is to:

- Divide two (2) existing tracts into four (4) new tracts as shown hereon.
- Grant the Public Utility Easements as shown hereon.
- Dedicate the additional street right of way to the City of Albuquerque as shown hereon.
- Acknowledge the Vacation of a portion of an existing Interim Drainage Easement VACATED by 14DRB-

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 September 25, 2014



PLAT OF TRACTS 3-A, 3-B, 4-A AND 4-B SANTA MONICA PLACE
 (BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE)

SITUATE WITHIN
 THE ELENA GALLEGOS GRANT
 IN
 PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2014

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

<i>Fornerd</i> Public Service Company of New Mexico	10/9/14 Date
<i>[Signature]</i> New Mexico Gas Company	10/9/14 Date
<i>[Signature]</i> Qwest Corporation, d/b/a CenturyLink QC	10/10/14 Date
<i>[Signature]</i> Carcast	10/10/14 Date

CITY APPROVALS:

<i>[Signature]</i> Assistant City Surveyor Department of Municipal Development	10/21/14 Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
AMAFA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SHEET 1 OF 4

SURV TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

**PLAT OF
TRACTS 3-A, 3-B, 4-A AND 4-B
SANTA MONICA PLACE**
(BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE)
SITUATE WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2014

LEGAL DESCRIPTION

That certain parcel of land situate within the Elena Gallegos Grant in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tracts 3 and 4, Santa Monica Place, as the same is shown and designated on the plat entitled "BULK LAND PLAT OF TRACTS 1 THRU 4, SANTA MONICA PLACE (BEING A REPLAT OF BLOCKS 18 AND 19, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AND A VACATED PORTION OF DEL REY AVENUE N.E.), SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 6, 2012 in Plat Book 2012C, Page 2.

Said parcel contains 34.9419 acres, more or less.

DRAINAGE EASEMENT NOTES

A. There is an existing Interim Cross Lot Drainage Easement granted by plat filed January 6, 2012 in Plat Book 2012C, Page 2 for the mutual benefit of the owners of Tracts 1 thru 4 until future development occurs. Tracts 1 thru 4 will discharge drainage to the existing drainage facilities/outfalls located at the intersection of Derickson and San Pedro as outlined in the Conceptual Drainage Report prepared by Isaacson & Arfman, P.A. dated 12-2-11. Owners/Developers of any of the tracts are allowed to grade interim drainage facilities such as grading, berming, ponding or outfall structures on adjacent undeveloped property and will be maintained by the benefiting tract owner until such time that future development (TBD) of the undeveloped property is complete and applicable interim facilities are no longer required. Notwithstanding anything herein to the contrary, the Interim Cross Lot Drainage Easement may not be terminated without the approval of the City Engineer.

Said Easement within Tracts 3 and 4, Santa Monica Place is VACATED by 14DRB-_____

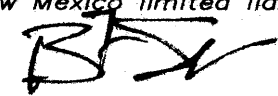
B. A New Public and Private Interim Drainage Easement shall be granted by this plat over Tract 3-A, for the benefit of Tracts 3-B, 4-A and 4-B. Owners of said Tracts 3-B, 4-A and 4-B shall be allowed to grade Interim Drainage Facilities on Tract 3-A. Said Interim Drainage Facilities shall be maintained by the owner of Tract 3-A until such time that future development (TBD) of Tract 3-B is complete and applicable Interim Facilities are no longer required.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS 3-A, 3-B, 4-A AND 4-B, SANTA MONICA PLACE (BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE) SITUATE WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 24, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby grant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way, as shown hereon, to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER

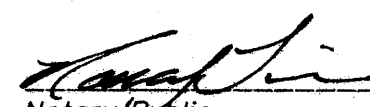
DEL REY INVESTMENTS, LLC
A New Mexico limited liability company

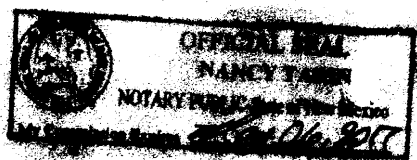
By: 
Ben F. Spencer, Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

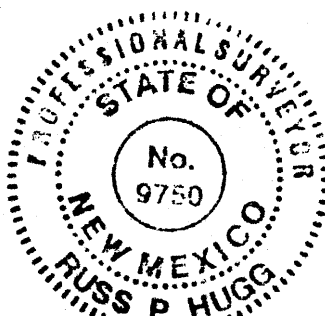
The foregoing instrument was acknowledged before me this 10th day of October, 2014, by Ben F. Spencer, Manager


Notary Public My commission expires July 06, 2017



LINE	LENGTH	BEARING
L1	75.03	S00°20'00"W
L2	20.82	N00°20'00"E
L3	256.33	N89°40'00"W
L4	120.09	N89°40'00"W
L5	214.63	N89°40'00"W
L6	266.87	S89°40'00"E
L7	18.13	N68°05'29"E
L8	18.13	S22°34'31"W
L9	31.36	N00°20'00"E
L10	169.66	N00°20'00"E
L11	74.97	N00°20'00"E
L12	43.38	N00°20'00"E
L13	278.89	S89°40'00"E
L14	119.66	N89°40'00"W
L15	3.77	N01°59'11"W
L16	64.74	N71°54'25"E
L17	31.61	S89°40'00"E
L18	105.00	S89°40'00"E
L19	20.00	S89°40'00"E
L20	52.62	S00°20'00"W
L21	84.21	N89°40'00"W
L22	92.64	S67°17'30"W
L23	63.96	S46°10'40"W
L24	39.93	S01°09'55"W
L25	17.27	N56°43'06"E
L26	20.00	S33°16'54"E
L27	16.28	S56°43'06"W
L28	202.90	S33°16'54"E
L29	6.17	N86°43'06"E
L30	16.08	N03°16'54"W
L31	20.00	N86°43'06"E
L32	16.08	S03°16'54"E
L33	139.30	N86°43'06"E
L34	43.11	S24°55'39"E
L35	59.19	S00°23'37"W
L36	20.00	N89°36'23"W
L37	291.70	N89°36'23"W
L38	54.70	N00°23'37"E
L39	25.04	N24°55'39"W
L40	163.43	S86°43'06"W
L41	242.10	N33°16'54"W
L42	52.66	N01°09'55"E
L43	75.97	N46°10'40"E
L44	100.44	N67°17'30"E
L45	68.28	S89°40'00"E
L46	32.62	N00°20'00"E
L47	2.84	S89°40'00"E
L48	42.97	S49°20'31"E
L49	153.78	S89°40'00"E
L50	30.00	S00°20'00"W
L51	35.00	S89°40'00"E
L52	30.00	N00°20'00"E
L53	25.89	S37°29'42"E
L54	20.00	N52°30'18"E
L55	34.05	N37°29'42"W

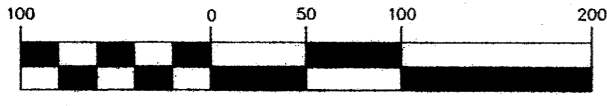
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	47.03'	30.00'	29.91'	42.36'	N44°45'15"W	89°49'31"
C2	47.25'	30.00'	30.12'	42.51'	N45°16'34"E	90°14'06"
C3	39.24'	25.00'	24.97'	35.34'	S44°38'11"E	89°56'23"
C4	37.02'	150.00'	18.60'	36.92'	N06°40'35"W	14°08'24"
C5	35.79'	150.00'	17.98'	35.70'	S06°54'42"E	13°40'10"
C6	61.41'	330.00'	30.80'	61.32'	N05°24'30"W	10°39'46"
C7	52.18'	270.00'	26.17'	52.10'	S05°12'12"E	11°04'23"
C8	67.43'	270.00'	33.89'	67.25'	S07°29'15"W	14°18'31"
C9	23.17'	25.00'	12.49'	22.35'	S41°11'39"W	53°06'16"
C10	48.51'	62.00'	25.57'	47.28'	N45°20'00"E	44°49'34"
C11	23.17'	25.00'	12.49'	22.35'	S49°28'21"W	53°06'16"
C12	67.43'	270.00'	33.89'	67.25'	S83°10'44"W	14°18'31"
C13	123.73'	630.00'	62.07'	123.54'	N84°42'24"E	11°15'11"
C14	96.38'	570.00'	48.31'	96.27'	S83°55'28"W	9°41'18"
C15	42.63'	150.00'	21.46'	42.48'	N83°05'25"W	16°16'57"
C16	38.53'	150.00'	19.37'	38.43'	S82°18'28"E	14°43'04"
C17	47.03'	30.00'	29.91'	42.36'	N44°45'15"W	89°49'31"
C18	117.84'	600.00'	59.11'	117.65'	S84°42'24"W	11°15'11"
C19	117.84'	600.00'	59.11'	117.65'	N84°42'24"E	11°15'11"
C20	116.46'	300.00'	58.97'	115.73'	S79°12'44"W	22°14'31"
C21	116.46'	300.00'	58.97'	115.73'	S11°27'16"W	22°14'31"
C22	57.98'	300.00'	29.08'	57.89'	S05°12'12"E	11°04'23"
C23	57.98'	300.00'	29.08'	57.89'	N05°12'12"W	11°04'23"
C24	39.30'	25.00'	25.03'	35.37'	N45°21'48"E	90°03'37"
C25	39.90'	150.00'	20.07'	39.78'	S08°00'48"W	15°14'22"
C26	51.80'	150.00'	26.16'	51.54'	N05°44'25"E	19°47'08"
C27	31.04'	270.00'	15.54'	31.02'	N07°26'45"W	6°35'14"
C28	63.78'	330.00'	31.99'	63.68'	S05°12'11"E	11°04'23"
C29	71.13'	330.00'	35.70'	70.99'	S06°30'30"W	12°20'59"
C30	18.11'	25.00'	9.48'	17.72'	N08°04'28"W	41°30'53"
C31	26.27'	25.00'	14.49'	25.07'	S31°47'57"E	60°12'02"
C32	18.11'	25.00'	9.48'	17.72'	S81°15'32"E	41°30'53"
C33	71.13'	330.00'	35.70'	70.99'	S84°09'30"W	12°20'59"
C34	111.95'	570.00'	56.16'	111.77'	N84°42'24"E	11°15'11"
C35	113.69'	630.00'	57.00'	113.54'	S84°15'00"W	10°20'23"
C36	36.64'	150.00'	18.41'	36.55'	N82°25'20"E	13°59'43"
C37	39.03'	150.00'	19.63'	38.92'	S82°52'44"W	14°54'32"
C38	47.22'	30.00'	30.09'	42.49'	N45°14'46"E	90°10'29"
C39	15.00'	570.00'	7.50'	15.00'	N89°34'46"E	1°30'29"
C40	96.95'	570.00'	48.59'	96.83'	N83°57'10"E	9°44'43"
C41	24.73'	62.00'	12.53'	24.57'	S17°24'17"E	22°51'15"
C42	16.71'	25.00'	8.68'	16.40'	N16°49'58"E	38°17'50"
C43	45.40'	62.00'	23.77'	44.40'	S15°00'07"W	41°57'33"
C44	1.51'	62.00'	0.76'	1.51'	N61°12'11"W	1°23'52"
C45	122.13'	645.00'	61.25'	121.95'	N84°54'31"E	10°50'57"
C46	31.20'	62.00'	15.94'	30.87'	N53°19'53"E	28°49'49"



SURV●TEK, INC.
Consulting Surveyors Phone: 505-897-3368
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

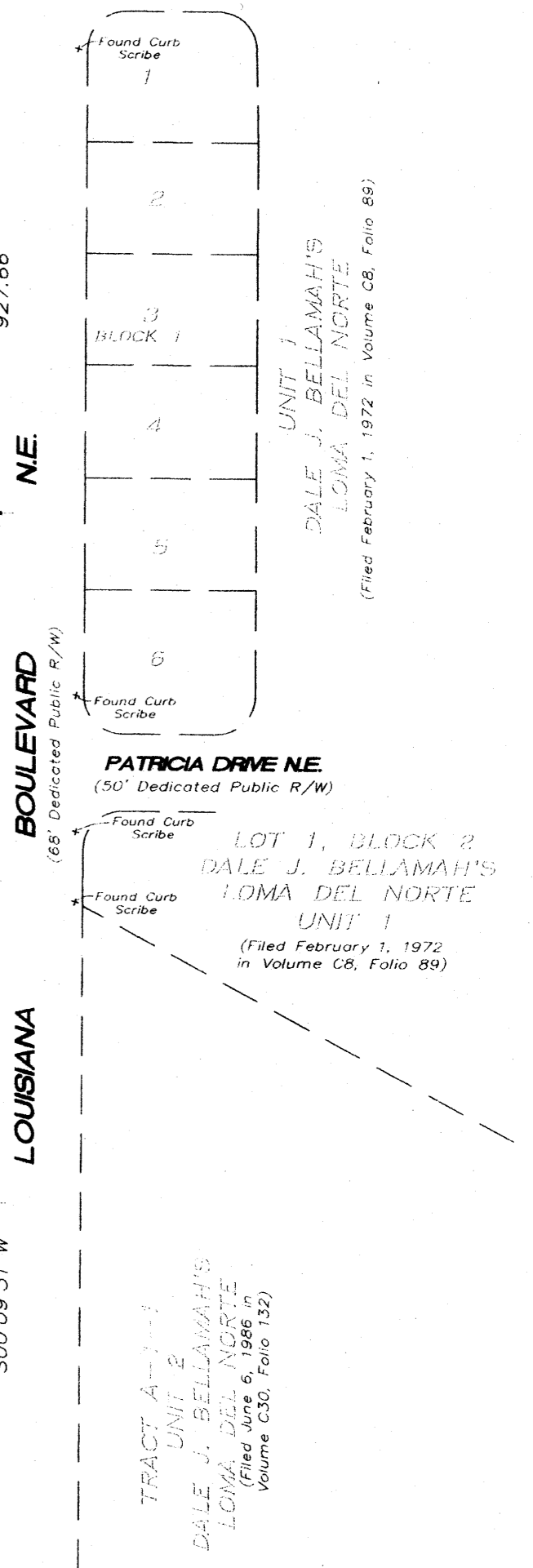
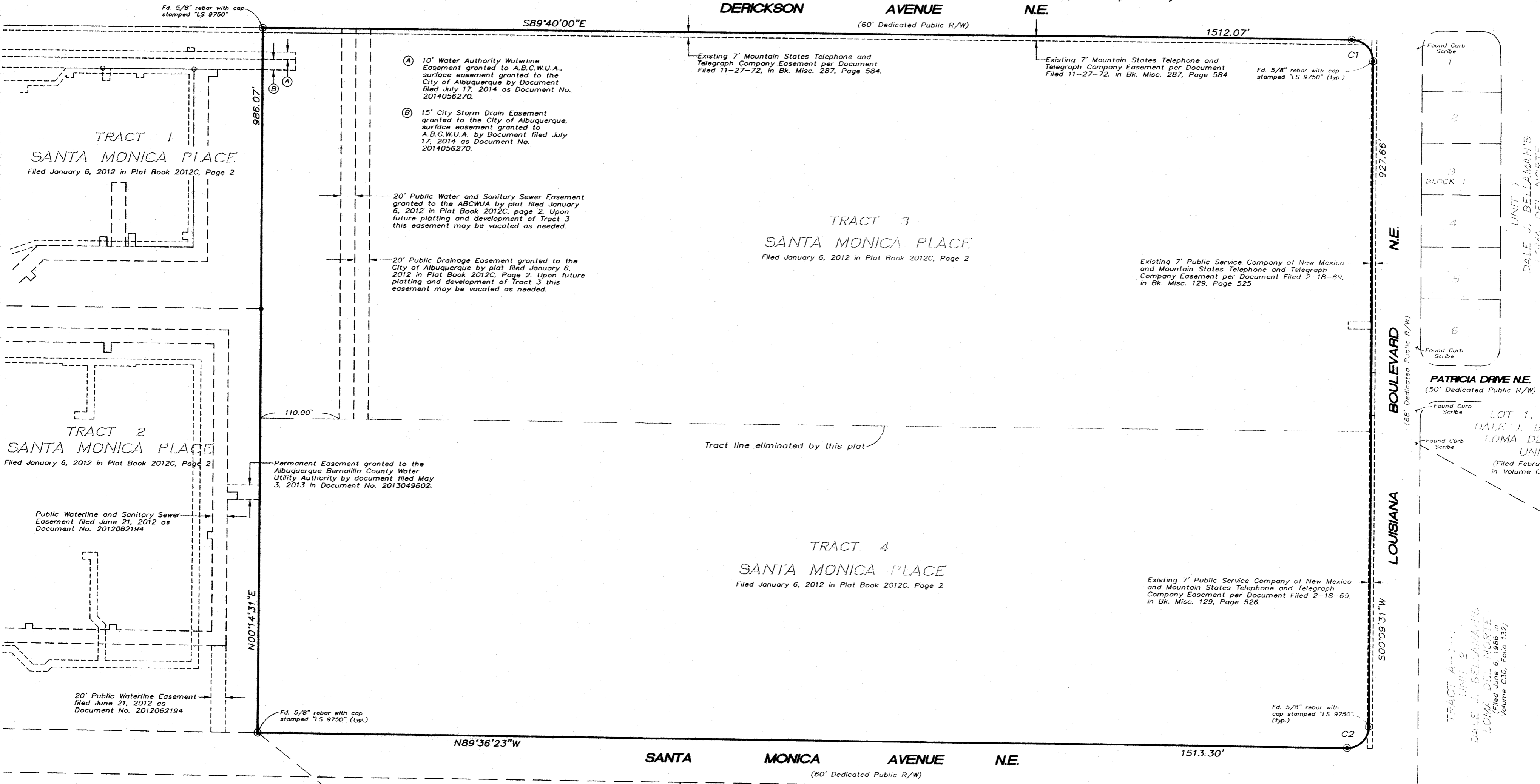
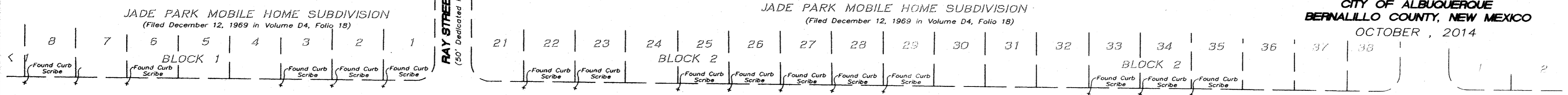
**PLAT OF
TRACTS 3-A, 3-B, 4-A AND 4-B
SANTA MONICA PLACE**
(BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE)

SITUATE WITHIN
THE ELENA GALLEGOS GRANT
IN
**PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**
OCTOBER, 2014



(IN FEET)
1 inch = 100 ft.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	47.03'	30.00'	29.91'	42.36'	N44°45'15"W	89°49'31"
C2	47.25'	30.00'	30.12'	42.51'	N45°16'34"E	90°14'06"



Albuquerque Survey Control Monument "6-E19A"
New Mexico State Plane Coordinates,
Central Zone (NAD 83)
N = 1,511,031.953
E = 1,547,535.201
Delta Alpha = -0°10'44.06"
Ground to Grid Factor = 0.999655024

SURVOTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

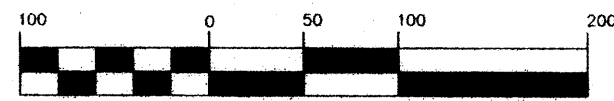
PLAT OF
TRACTS 3-A, 3-B, 4-A AND 4-B
SANTA MONICA PLACE

(BEING A REPLAT OF TRACTS 3 AND 4, SANTA MONICA PLACE)

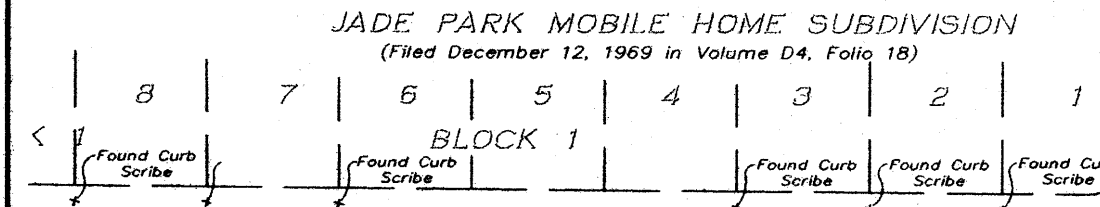
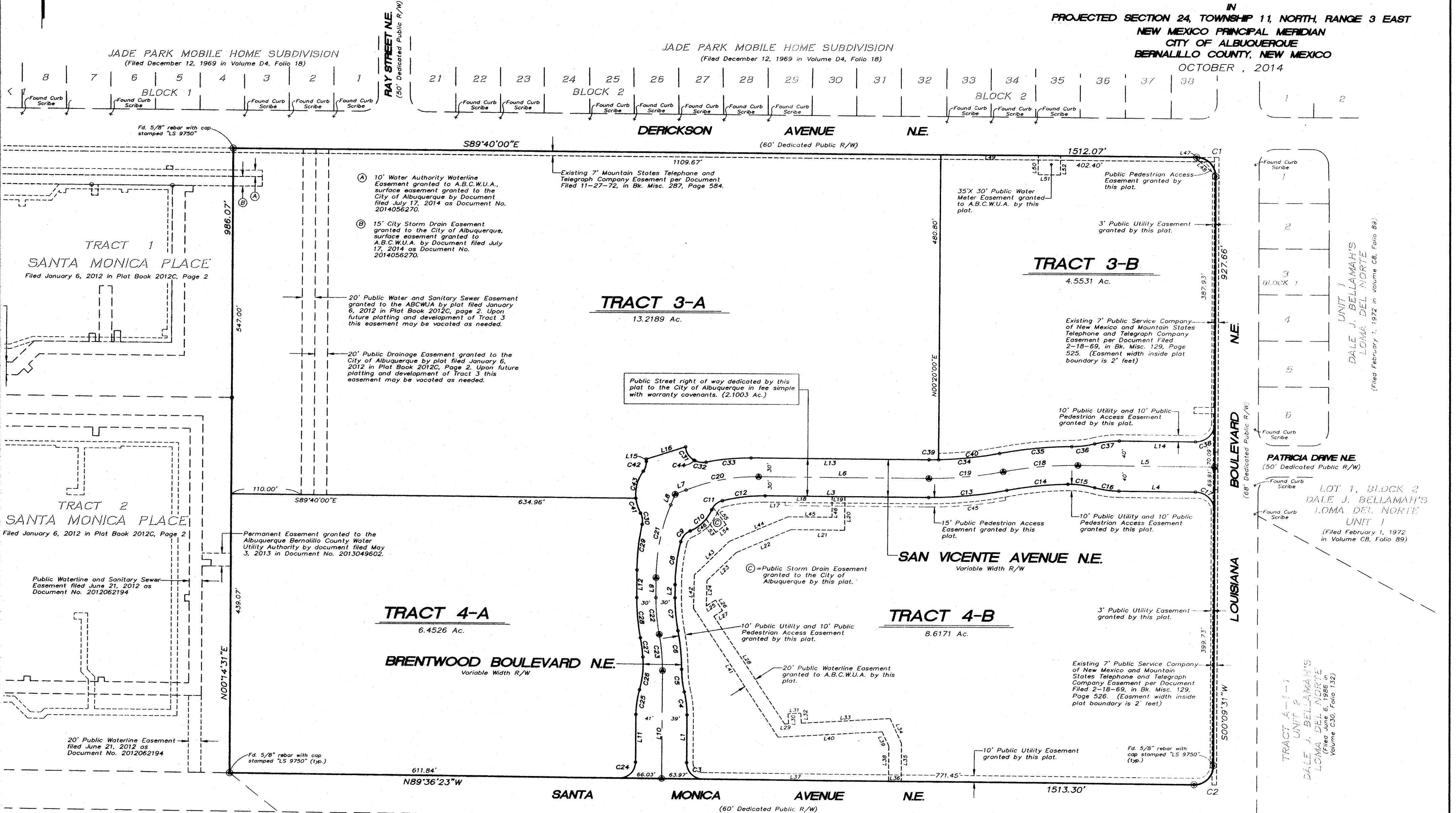
SITUATE WITHIN
THE ELENA GALLEGOS GRANT

IN
PROJECTED SECTION 24, TOWNSHIP 11, NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

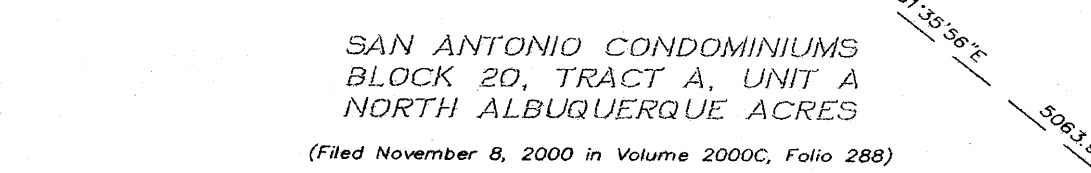
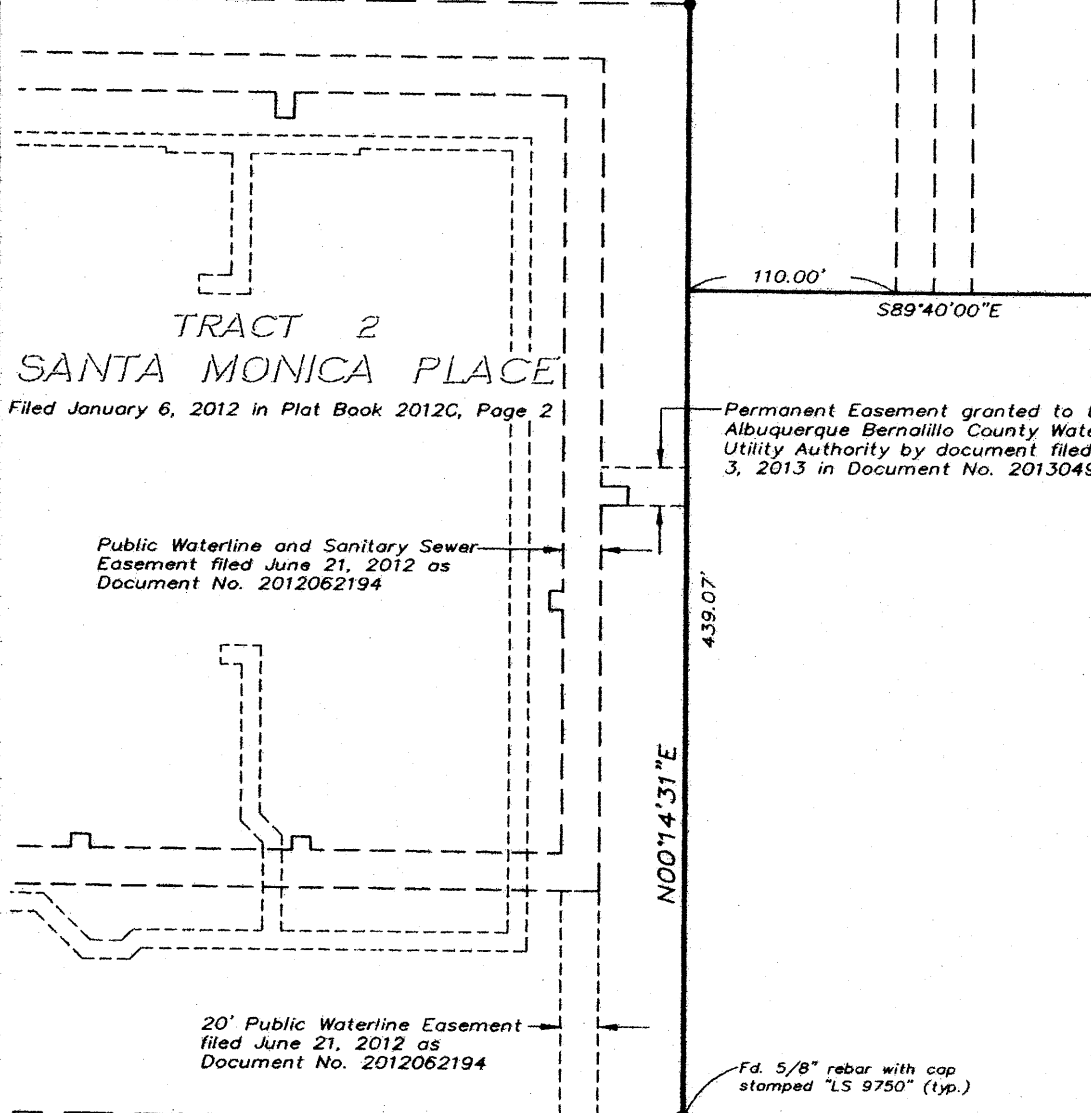
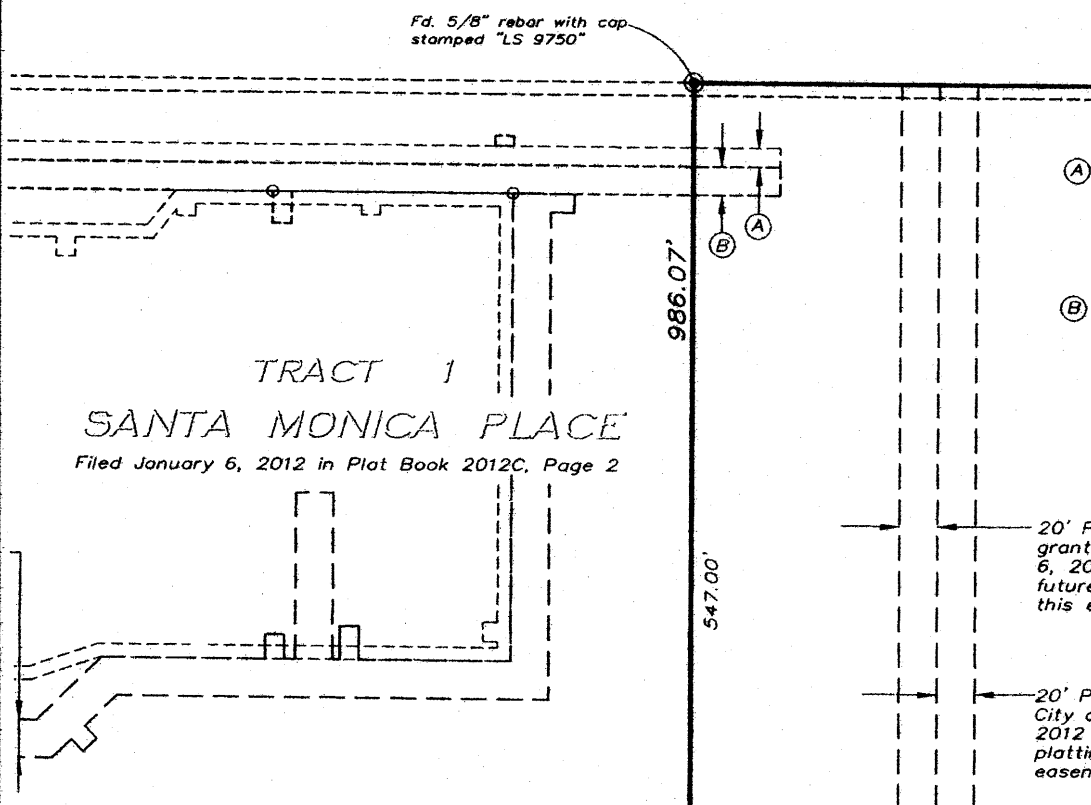
OCTOBER, 2014



(IN FEET)
1 inch = 100 ft.

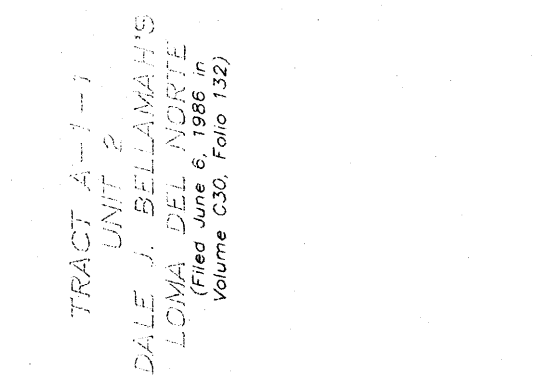
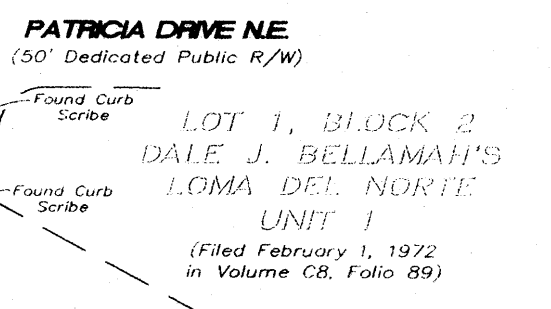
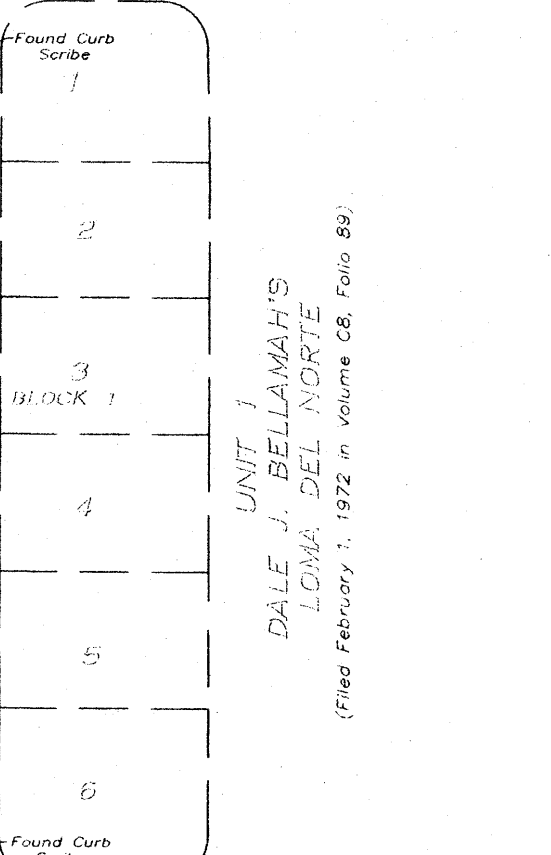
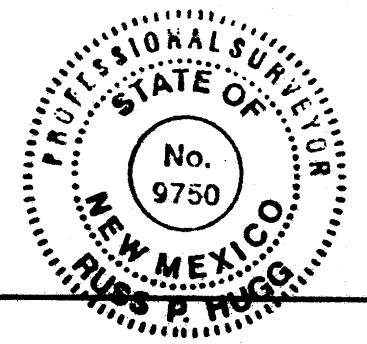


RAY STREET NE
(50' Dedicated Public R/W)



140147_10-6-14.dwg

Albuquerque Survey Control Monument "6-E19A"
New Mexico State Plane Coordinates,
Central Zone (NAD 83)
N = 1,511,031.953
E = 1,547,535.201
Delta Alpha = -0.71044.06"
Ground to Grid Factor = 0.999655024



SHEET 4 OF 4

SURVOTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
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