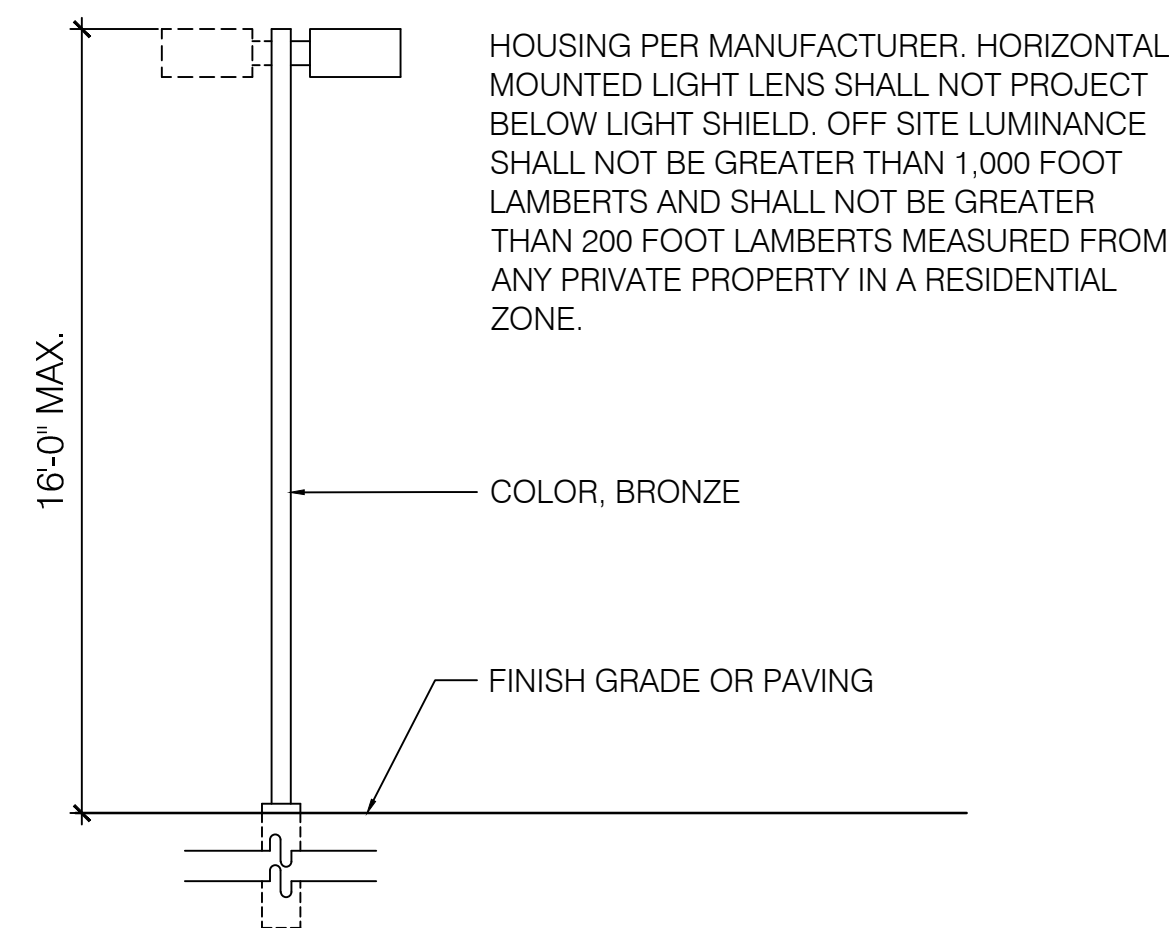


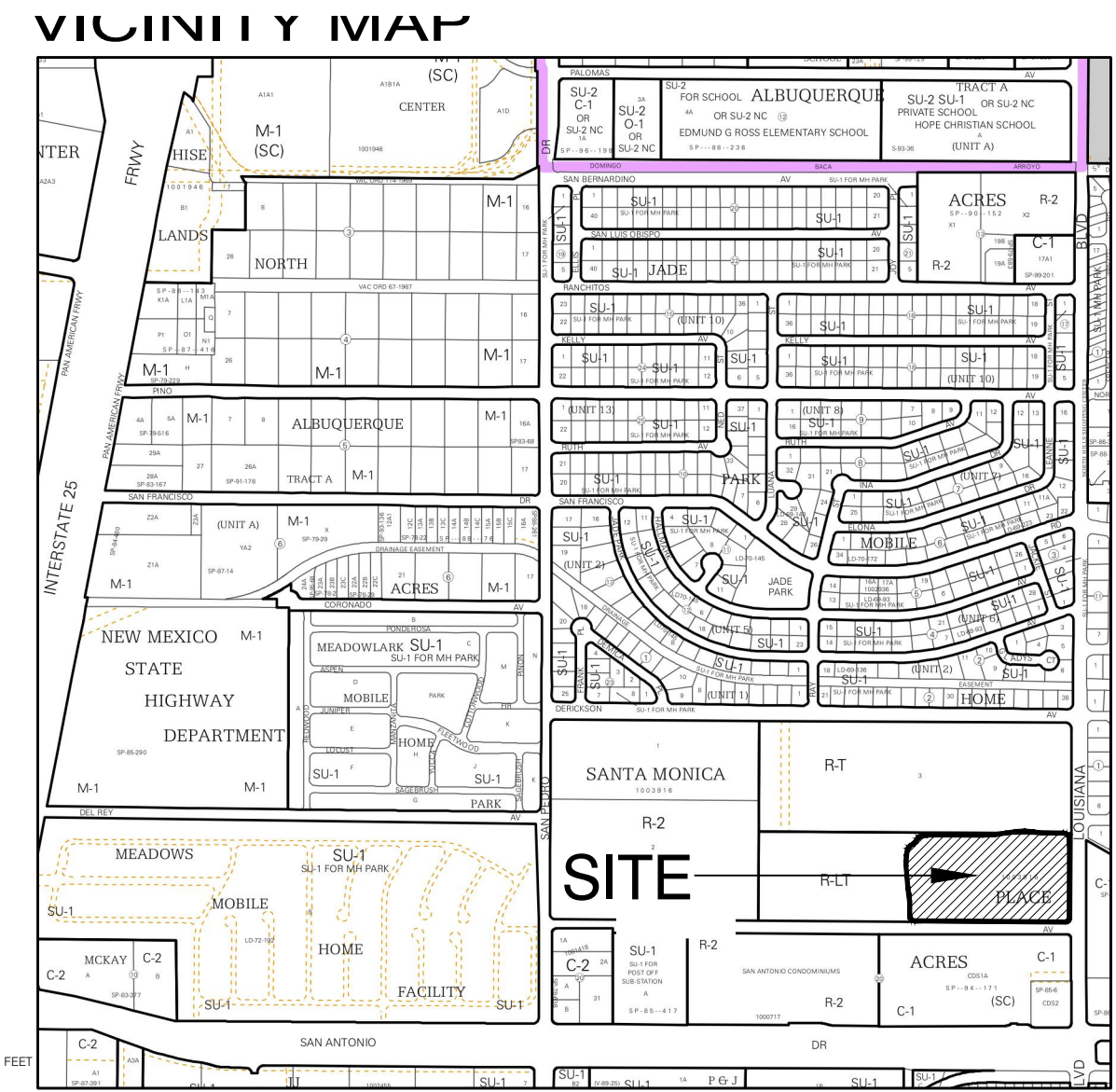
BOLLARD LIGHT FIXTURE DETAIL Not to Scale



LIGHT FIXTURE DETAIL Not to Scale

- KEY NOTES**
- 1 PROPERTY LINE
  - 2 RETAINING WALL (SEE GRADING/DRAINAGE SHEET)
  - 3 TRASH ENCLOSURE
  - 4 ADA ACCESSIBLE CONCRETE SIDEWALK-WIDTH VARIES
  - 5 6' CONCRETE SIDEWALK (NON-ADA)
  - 6 6' COLORED, TEXTURED PEDESTRIAN CROSSING, TYP.
  - 7 HANDICAP SIGN, TYP. (12"X18" MOUNTED ON POLE)
  - 8 PRECAST CONCRETE WHEEL STOPS
  - 9 OUTDOOR PATIOS
  - 10 SANTA MONICA MONUMENT SIGN (FOR INFORMATION ONLY, SEE SITE PLAN FOR SUBDIVISION)
  - 11 BICYCLE RACK (3 SPACES)
  - 12 GARAGES
  - 13 FIRE HYDRANT
  - 14 MOTORCYCLE PARKING W/SIGN
  - 15 4' PERIMETER FENCE/WALL (SEE SITE PLAN FOR SUBDIVISION)
  - 16 LIGHT POLE, TYP.
  - 17 PROJECT MONUMENT SIGN (SEE BUILDING ELEVATION SHEET)
  - 18 DRIVEWAY TO BE REMOVED
  - 19 BOLLARD LIGHTS
  - 20 PROPOSED NEW 6' SIDEWALK
  - 21 PROPOSED NEW 5' SIDEWALK
  - 22 EXISTING SIDEWALK (TO BE REMOVED)
  - 23 EXISTING BUS STOP

- GENERAL NOTES:**
1. ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA REGULATIONS.
  2. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
  3. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE SHEET.
  4. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
  5. PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
  6. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
  7. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).



SITE DATA:  
LEGAL DESCRIPTION: TRACT 4B, UNIT A BLOCK 19, NORTH ALBUQUERQUE ACRES  
SITE AREA: 8.60 AC.  
PROPOSED LAND USE: SENIOR INDEPENDENT LIVING FACILITY WITH 130 UNITS, INCLUDING ONE MANAGER UNIT AND ONE GUEST UNIT.

BUILDING AREA: 180,000 S.F. TOTAL  
MAXIMUM TOTAL BUILDING HEIGHT: 52 FEET.  
PARKING: REQUIRED MINIMUM PARKING: 1 SPACE PER UNIT.  
TOTAL PARKING REQUIRED: 130  
TOTAL PROVIDED PARKING: 126 SURFACE; 42 GARAGES = 169 TOTAL  
HANDICAPPED REQUIRED: 8  
HANDICAPPED PROVIDED: 8  
MOTORCYCLE PARKING REQUIRED: 3  
MOTORCYCLE PARKING PROVIDED: 3  
BICYCLE REQUIRED: 7  
BICYCLE PROVIDED: 7

PROJECT NUMBER: 1010144  
Application Number: 14EPC-40045

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	Date
Traffic Engineering, Transportation Division	
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

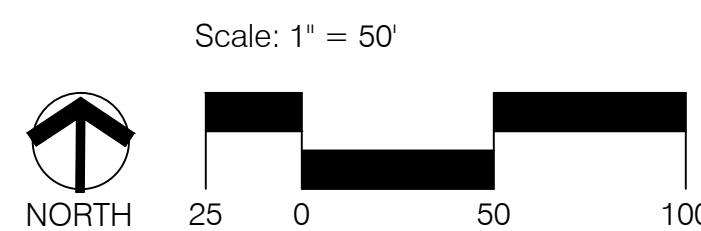
## RESORT LIFESTYLE COMMUNITIES

### @ SANTA MONICA PLACE

#### SITE PLAN FOR BUILDING PERMIT

Prepared For:  
Resort Lifestyle Communities  
8040 Eiger Drive  
Lincoln, NE 68516

Prepared By:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102



OCTOBER 14, 2014

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108



SHEET 1 OF 10



PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
15		ACER TARTARICUM 'HOT WINGS' HOT WINGS MAPLE	2" B&B	10' HT. X 4' SPR. 20' HT. X 24' SFR.	MED
13		ALBIZIA JULIBRISSIN ROSEA MIMOSA	2" B&B	8' HT. X 4' SPR. 20' HT. X 20' SFR.	LOW
6		CATALPA SPECIOSA CATALPA	2" B&B	12' HT. X 5' SPR. 40' HT. X 40' SFR.	MED
24		FRAXINUS OXYCARPA RAYWOOD ASH	2.5" B&B	16' HT. X 6' SPR. 35' HT. X 35' SFR.	LOW
15		GLEDITSIA TRIANCANTHOS HONEY LOCUST	2" B&B	10' HT. X 4' SPR. 60' HT. X 50' SFR.	MED
42		JUNIFERUS SCOPULORUM 'SKYROCKET' SKYROCKET ROCKY MTN. JUNIFER	B&B	10' MIN HT. 20' HT. X 5' SFR.	MED
6		KOELREUTERIA PANICULATA GOLDEN RAIN TREE	2" B&B	16' HT. X 6' SPR. 30' HT. X 30' SFR.	MED
23		LAGERSTROEMIA INDICA 'FAURIEI' GRAPE MYRTLE 'ZUNI'	15-GAL.	8' HT. X 4' SPR. 15' HT. X 15' SFR.	MED
24		PINUS NIGRA AUSTRIAN PINE	B&B	6' MIN HT. 35' HT. X 25' SFR.	MED
24		PISTACHIA CHINENSIS CHINESE PISTACHE	2" B&B	10' HT. X 5' SPR. 50' HT. X 50' SFR.	MED+
10		PYRUS CALLERYANA 'CLEVELAND' FLOWERING PEAR	2.5" B&B	14' HT. X 5' SPR. 25' HT. X 20' SFR.	MED
9		PLATANUS A. BLOODGOOD LONDON PLANE TREE	2.5" B&B	16' HT. X 6' SPR. 60' HT. X 50' SFR.	MED
11		ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	2" B&B	14' HT. X 6' SPR. 45' HT. X 30' SFR.	MED
LARGE SHRUBS					
		BACCHARIS SAROTHRIDES DESERT BROOM	5-GAL.	6' O.C. 6' HT. X 6' SFR.	LOW
		ELAEAGNUS PUNGENS SILVERBERRY	5-GAL.	8' O.C. 6' HT. X 10' SFR.	MED.
		GARRYA WRIGHTII WRIGHT'S SILK TASSEL	5-GAL.	5' O.C. 5' HT. X 5' SFR.	LOW
		PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5-GAL.	6' O.C. 4' HT. X 5' SFR.	LOW
		SYRINGA SPP. LILAC	5-GAL.	6' O.C. 6' HT. X 5' SFR.	MED
MEDIUM SHRUBS					
		LAVANDULA ANGUSTIFOLIA ENGLISH LAVENDER	1-GAL.	3' O.C. 3' HT. X 3' SFR.	MED
		SPOROBOLUS WRIGHTII GIANT SACATON	5-GAL.	6' O.C. 8' HT. X 6' SFR.	MED
		BUXUS SPP. BOXWOOD	5-GAL.	5' O.C. 4' HT. X 4' SFR.	MED
		CALAMAGROSTIS A. 'KARL FOERSTER' KARL FOERSTER REED GRASS	1-GAL.	2' O.C. 4' HT. X 2' SFR.	MED
		MULHENBERGIA CAPILLARIS REGAL MIST	1-GAL.	3' O.C. 3' HT. X 3' SFR.	MED
		PANICUM VIRGATUM SWITCH GRASS	1-GAL.	3' O.C. 4' HT. X 3' SFR.	MED+
		POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 3' HT. X 3' SFR.	LOW+
		RHAPHIOLEPIS INDICA INDIA HANTHORN	5-GAL.	5' O.C. 3' HT. X 3 SFR.	MED
SMALL SHRUBS & GROUNDCOVERS					
		VINCA MAJOR GIANT PERIWINKLE	1-GAL.	4' O.C. 2' HT. X 4' SFR.	MED
		ERYSIMUM 'BONLES MAUVE' BONLES MAUVE WALLFLOWER	1-GAL.	2' O.C. 2' HT. X 2' SFR.	MED+
		HELICHRYSUM AUGUSTIFOLIA CURRY PLANT	1-GAL.	2' O.C. 2' HT. X 2' SFR.	LOW
		NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA	1-GAL.	2' O.C. 2' HT. X 2' SFR.	MED
		RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC	1-GAL.	4' O.C. 2' HT. X 4' SFR.	LOW+
		SEDUM TELEPHIUM AUTUMN JOY SEDUM	1-GAL.	2' O.C. 2' HT. X 2' SFR.	LOW+
		ZAUSCHNERIA CALIFORNICA HUMMINGBIRD PLANT	1-GAL.	3' O.C. 2' HT. X 3' SFR.	LOW
DESERT ACCENTS					
		DASYLIRON WHEELERI SOTOL	5-GAL.	4' O.C. 4' HT. X 4' SFR.	LOW
VINES					
		LONICERA SEMPERVIRENS CORAL HONEYSUCKLE	1-GAL.	5' O.C. 5-10' SFR.	LOW
		ROSA BANKSIAE LADY BANKS ROSE	5-GAL.	20' O.C. 10-15' SFR.	MED
BOULDERS, MULCHES, AND TURF					
		MOSS ROCK BOULDERS (3'X3' MIN)			
		3/8"-5/8" GRAVEL MULCH, INCLUDING COLORS: NEW MEXICO TRAVERTINE AMARETTO BROWN AND TULAROSA CRUSHED OR EQUIVALENT (3" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
		2"-4" COBBLE STONE, COLOR: NEW MEXICO TRAVERTINE AMARETTO BROWN RIP RAP (6" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
		PARKBLEND SOD (KENTUCKY BLUEGRASS/FESCUE MIX)			

- KEY NOTES
- 1

WATER HARVESTING AREA (SEE GRADING/DRAINAGE SHEET).
- 2

RETAINING WALL (SEE GRADING/DRAINAGE SHEET).
- 3

PLAZA WITH PATTERNED/COLORED CONCRETE.
- 4

6' BENCH WITH BACK (TYP).
- 5

TRASH RECEPTACLE (TYP).
- 6

PICNIC TABLE WITH SEATS (TYP).
- 7

FLOWER POTS (TYP).
- 8

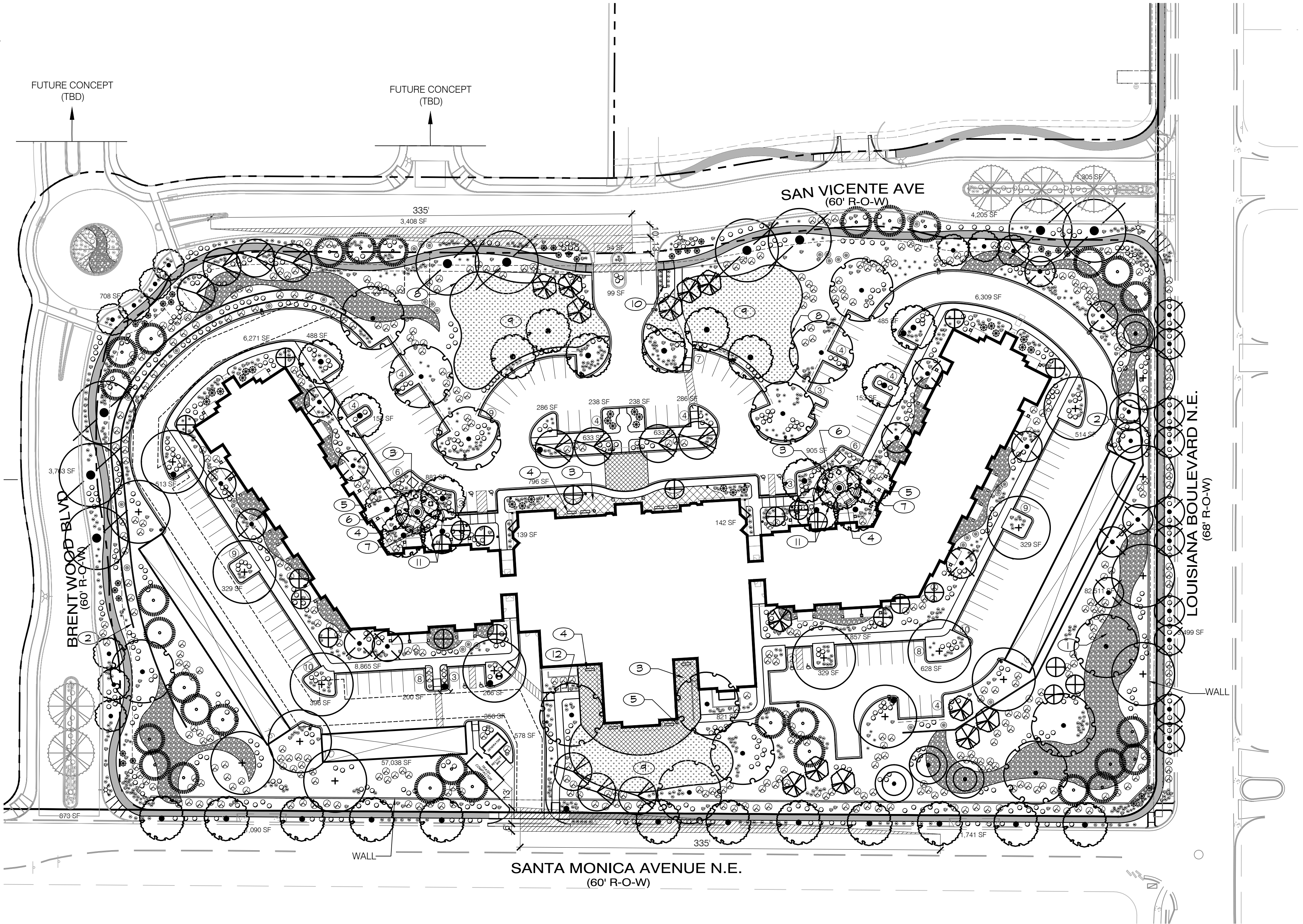
COLORLED CONCRETE MONSTRIP.
- 9

TURF AREA.
- 10

MONUMENT SIGN (SEE SITE PLAN).
- 11

SEAT WALL (SEE SITE PLAN).
- 12

BIKE RACK.



GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 3/8"-5/8" AMARETTO BROWN ROCK MULCH AND 2"-4" AMARETTO BROWN RIP RAP MULCH.

IRRIGATION

IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. TURF VALVES WILL BE OPERATED TO PROVIDE ½" OF WATER PER CYCLE (PEAK SEASON).

WATER HARVESTING

SEE GRADING AND DRAINAGE PLAN FOR WATER HARVESTING FEATURES.

RESPONSIBILITY OF MAINTENANCE

MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO BACK OF CURB.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE

THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION

COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA: 374,616 SF (8.6 AC)  
BUILDING AREA (BUILDING ENVELOPE): - 80,788 SF  
NET AREA: 293,828 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 44,074 SF  
PROVIDED LANDSCAPE AREA  
ON-SITE 163,021 SF (55%)  
OFF-SITE (R.O.W.) 20,542 SF

LANDSCAPE LIVE VEGETATIVE COVERAGE

LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE RLC PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE (OF THE 15%) IN THE LANDSCAPE AREAS.

LANDSCAPE TURF

ONLY 20% OF LANDSCAPED AREAS MAY BE HIGH WATER-USE TURF.

TURF LIMIT: 32,605 SF

TURF PROVIDED: 18,019 SF (8% OF LANDSCAPED AREA)

PARKING LOT TREES

THE RLC AT SANTA MONICA PROJECT IS PROVIDING 171 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 17  
PARKING LOT TREES PROVIDED: 31

STREET TREES

THE LOUISIANA BOULEVARD FRONTAGE IS 444'. DUE TO OVERHEAD POWER LINES AND PNM REQUIREMENTS, SMALLER ACCENT TREES ARE BEING USED UNDERNEATH THE LINES, WITH LARGER SHADE TREES SET BACK FROM THE LINES. THE AVERAGE SPACING OF THE TWO TREES USED IS 35' O.C.

STREET TREES REQUIRED: 13 TREES  
STREET TREES PROVIDED: 14 TREES

SITE TREES

TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY TWO SECOND FLOOR UNITS. NO ADDITIONAL TREES ARE REQUIRED FOR UNITS ABOVE SECOND STORY. RLC AT SANTA MONICA IS PROVIDING 37 FIRST FLOOR UNITS AND 46 SECOND STORY UNITS.

SITE TREES REQUIRED: 60  
SITE TREES PROVIDED: 185

# RESORT LIFESTYLE COMMUNITIES

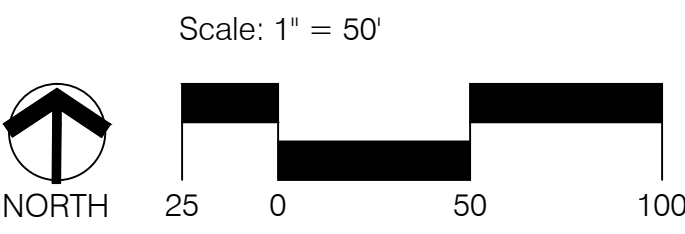
## @ SANTA MONICA PLACE

### LANDSCAPE PLAN

Prepared For:  
Resort Lifestyle Communities  
8040 Eiger Drive  
Lincoln, NE 68516

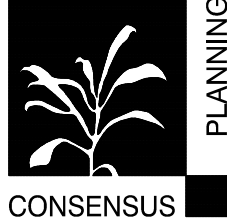
Prepared By:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108



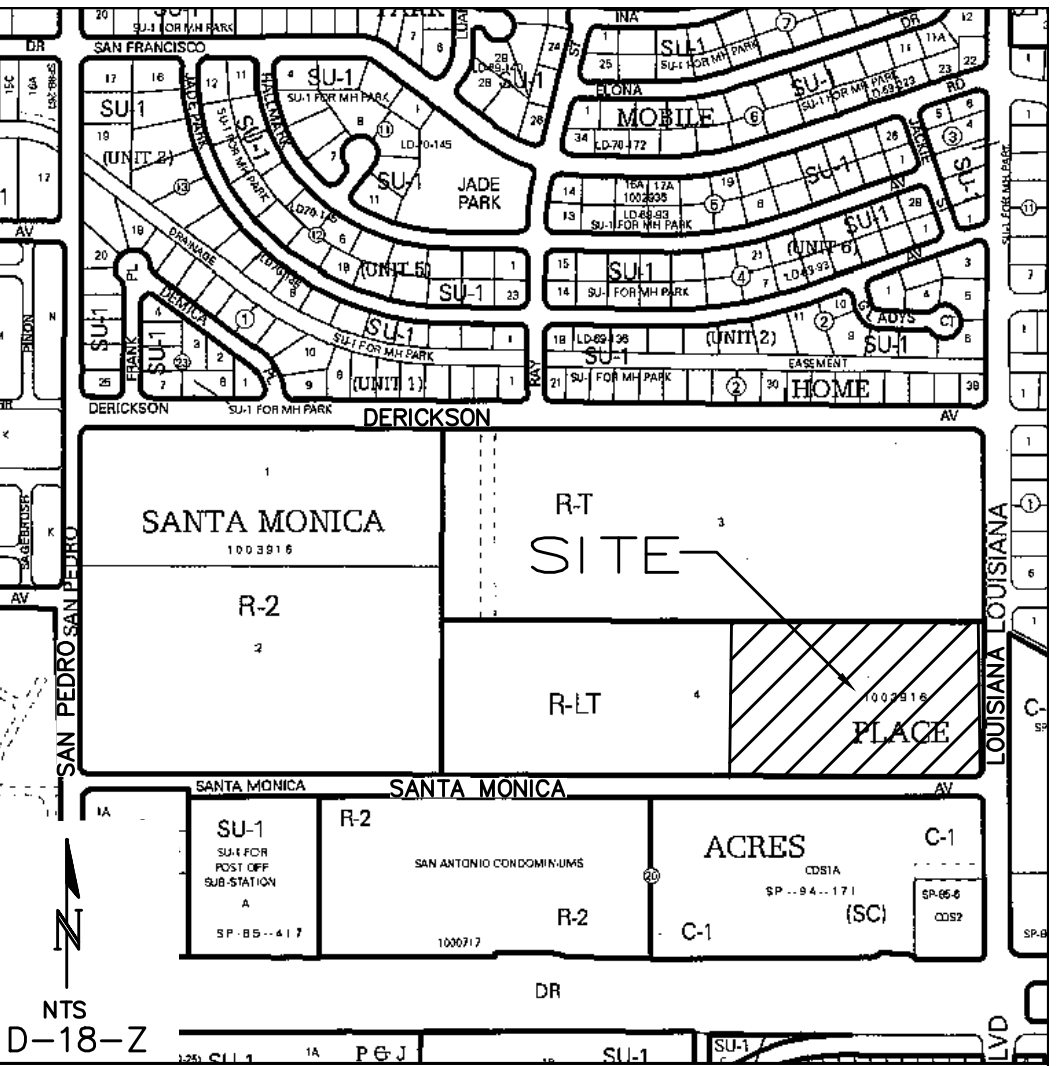
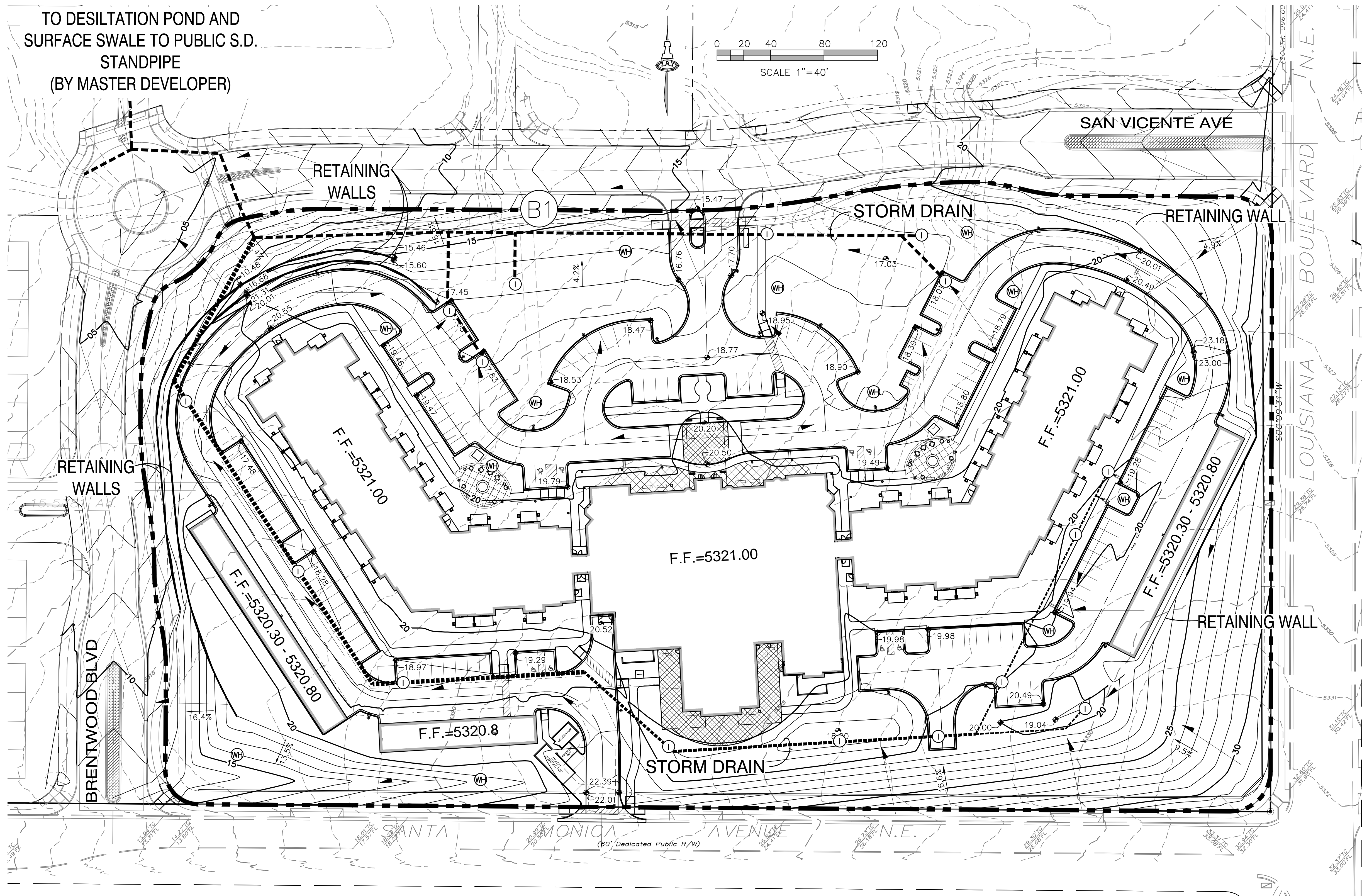
OCTOBER 14, 2014

SHEET 2 OF 10





TO DESILTATION POND AND  
SURFACE SWALE TO PUBLIC S.D.  
STANDPIPE  
(BY MASTER DEVELOPER)



### DRAINAGE CONCEPT

THE DRAINAGE MASTER PLAN (DMP) BY ISAACSON & ARFMAN, P.A., DATED FEBRUARY 21, 2012, OUTLINED DRAINAGE REQUIREMENTS FOR EACH TRACT WITHIN SANTA MONICA PLACE (TRACTS 1 - 4). THIS PROPERTY IS A PORTION OF TRACT 4 WHICH WAS CALCULATED AS 15.58 ACRES WITH LAND TREATMENTS ESTIMATED AT 20%B, 20%C AND 60% D.

PER THE DMP, "TRACT 4 SHALL BE ALLOWED TO DISCHARGE 63.7 CFS INTO THE STORM DRAIN SYSTEM CONNECTING TO THE DERICKSON AVE. STORM DRAIN. IF FEASIBLE WITH GRADES, A PORTION MAY BE DISCHARGED TO SANTA MONICA AVE. AND ROUTED TO SAN PEDRO SINCE THERE IS EXCESS STREET CAPACITY AVAILABLE."

THE PROPOSED COMMUNITY (8.5 AC) SITE CONSISTS OF APPROXIMATELY 55% OF THE OVERALL AREA OF TRACT 3. THUS, THIS PORTION OF TRACT 3 MAY RELEASE AT A MAX OF APPROXIMATELY 55% X 63.7 = 35 CFS WITH ADDITIONAL DISCHARGE TO SANTA MONICA AVE. IF POSSIBLE.

FOR CONCEPTUAL G&D, THE SITE HAS BEEN CALCULATED AS A SINGLE BASIN AS DRAINAGE TO SANTA MONICA AVE. IS UNACHIEVABLE. ALL DISCHARGE WILL BE DIRECTED EITHER TO THE PROPOSED INTERNAL PUBLIC STREETS OR TO AN ON-SITE PRIVATE STORM DRAIN SYSTEM. BOTH SURFACE AND STORM DRAIN FLOW WILL BE DIRECTED TO THE NORTHWEST PROPERTY CORNER TO ENTER TRACT 3. A TEMPORARY DESILTATION POND WITH A TEMPORARY SWALE WITH EROSION PROTECTION WILL PASS DISCHARGE TO THE PUBLIC STORM DRAIN STANDPIPE AT THE NORTHWEST CORNER OF TRACT 3 (TO BE CONSTRUCTED AS PART OF THE DEVELOPMENT OF TRACT 2, CURRENTLY IN DESIGN).

THE PROPOSED ON-SITE PRIVATE STORM DRAIN SYSTEM WILL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT SUBMITTAL PLANS AND REPORT. THE FUTURE EXTENSION THROUGH TRACT 3 WILL BE ANALYZED AND SIZED AS PART OF THE ASSOCIATED FUTURE DEVELOPMENT.

TEMPORARY PONDS AND EARTH SWALES WITH EROSION PROTECTION AS NEEDED WILL BE CONSTRUCTED TO PASS THE CONCENTRATED FLOW TO THE EXISTING POND TO ENTER THE PUBLIC STORM DRAIN SYSTEM AT THE PROVIDED STANDPIPE (TO BE CONSTRUCTED AS PART OF CPN 689984).

THE STORMWATER CALCULATIONS DO NOT ACCOUNT FOR ANY ON-SITE WATER HARVESTING OR DETENTION BASINS WHICH MAY REDUCE THE DISCHARGE RATES.

ALL LANDSCAPE AREAS, OTHER THAN THOSE ADJACENT TO THE BUILDING, WILL BE DEPRESSED FOR WATER HARVESTING.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.44" OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

CALCULATIONS: Resort Lifestyle Community : May 27, 2014			
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993			
ON-SITE			
AREA OF SITE:	375360	SF	= 8.6
100-year, 6-hour			
DEVELOPED FLOWS:		EXCESS PRECIP:	
	Treatment SF	%	Precip. Zone 3
Area A	= 0	0%	E <sub>A</sub> = 0.66
Area B	= 112608	30%	E <sub>B</sub> = 0.92
Area C	= 75072	20%	E <sub>C</sub> = 1.29
Area D	= 187680	50%	E <sub>D</sub> = 2.36
Total Area	= 375360	100%	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$		
	Developed E = 1.71 in.		
On-Site Volume of Runoff: V <sub>360</sub> =			
	$\frac{E \cdot A}{12}$		
	Developed V <sub>360</sub> = 53614 CF		
On-Site Peak Discharge Rate: Q <sub>p</sub> = Q <sub>pA</sub> A <sub>A</sub> + Q <sub>pB</sub> A <sub>B</sub> + Q <sub>pC</sub> A <sub>C</sub> + Q <sub>pD</sub> A <sub>D</sub> / 43,560			
For Precipitation Zone 3			
Q <sub>pA</sub>	= 1.87	Q <sub>pC</sub>	= 3.45
Q <sub>pB</sub>	= 2.60	Q <sub>pD</sub>	= 5.02
	Developed Q <sub>p</sub> = 34.3 CFS		

### LEGEND

- B1** DRAINAGE BASIN
- CONCEPTUAL STORM DRAIN
- STORM DRAIN INLET LOCATION
- PROPOSED FLOW DIRECTION
- F.F.= PROPOSED FINISH FLOOR ELEVATION
- PROPOSED WATER HARVESTING BASIN (6" DEPRESSED)
- PROPOSED RETAINING WALL

### PROJECT DATA

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED MOBILE HOME PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY SANTA MONICA AVE. NE, TO THE WEST BY APARTMENTS (TRACT 1), TO THE EAST BY LOUISIANA BLVD. AND TO THE NORTH BY UNDEVELOPED PROPERTY (TRACT 3).

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 65,000 SF RETIREMENT COMMUNITY WITH THREE GARAGE PARKING BUILDINGS, ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

LEGAL: THE EASTERN PORTION OF TRACT 4, SANTA MONICA PLACE, ALBUQUERQUE. NM

AREA: 8.6± ACRES

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isaacson.com

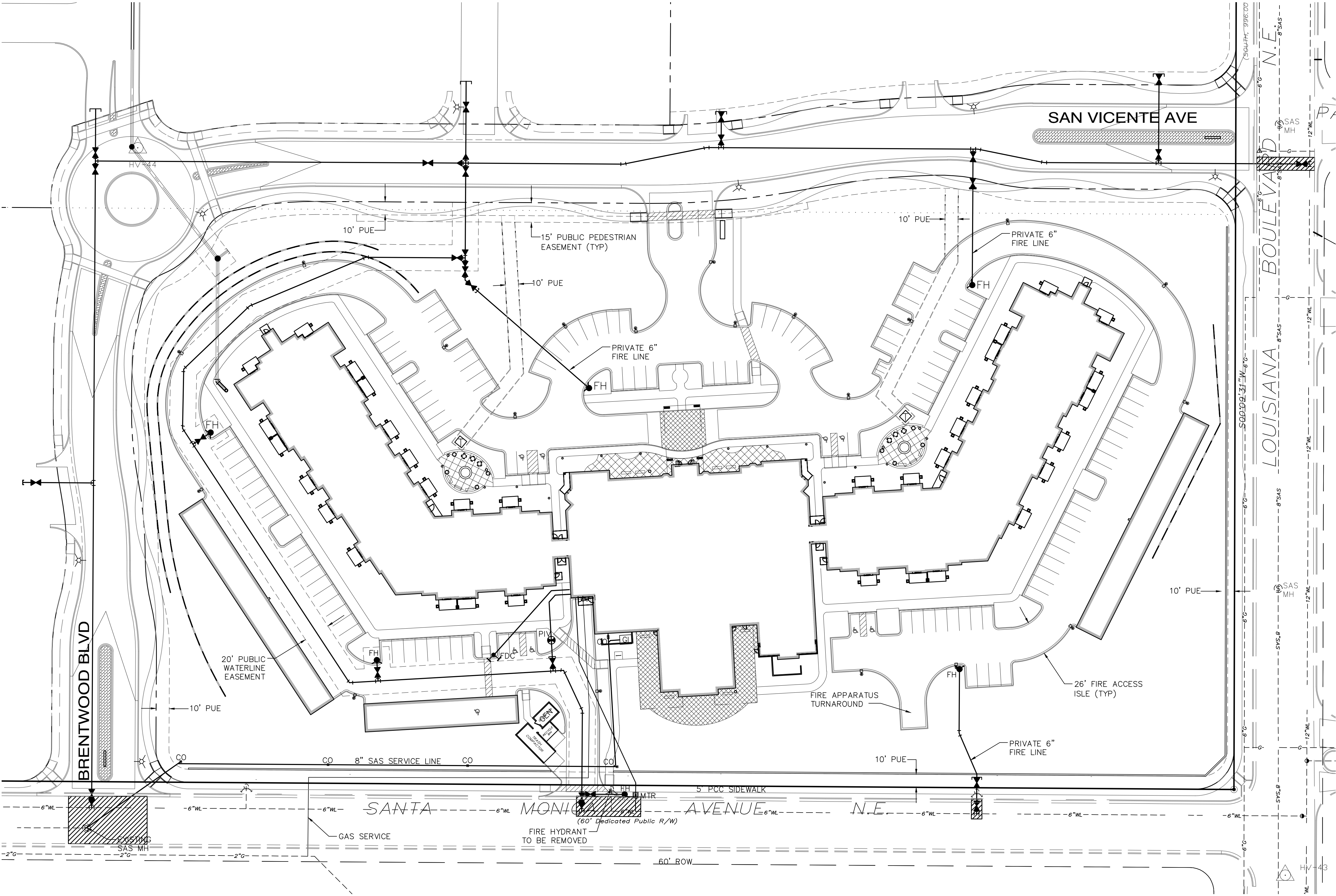
2051 CG-101 - Conceptual.dwg Oct 13, 2014

**RESORT LIFESTYLES COMMUNITIES**  
CAMERON GENERAL CONTRACTORS  
TRACT 4A, SANTA MONICA PLACE

### CONCEPTUAL GRADING & DRAINAGE PLAN

Date:	No.	Revision:	Date:	Job No.
9/10/14				2051
Drawn By:				CG-101
BJB				
Ckd By:				SH. OF
FCA				

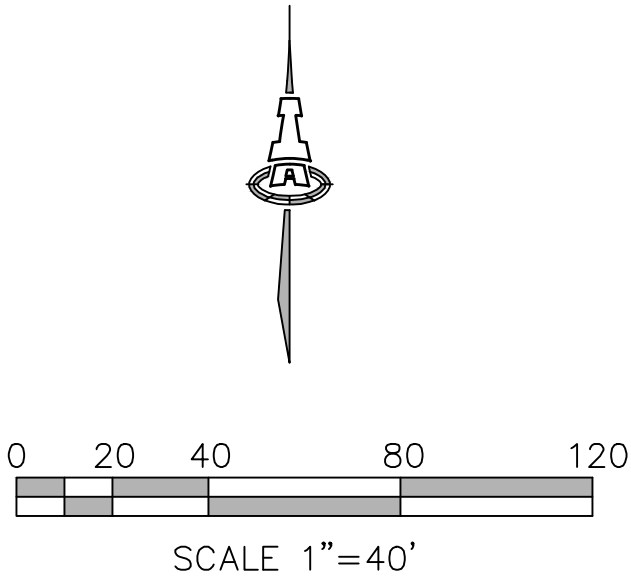




- NOTES:
1. ALL UTILITIES WITHIN THE SAN VICENTE AVE. ROW AND THE 20' PUBLIC WATERLINE EASEMENT SHALL BE CONSTRUCTED UNDER A CITY OF ALBUQUERQUE PUBLIC WORK ORDER.
2. FIRE HYDRANT LOCATIONS HAVE BEEN APPROVED BY THE CITY OF ALBUQUERQUE FIRE DEPARTMENT ON MAY 19, 2014.

ABBREVIATIONS / LEDGEND

GEN	GEN	GENERATOR
T	T	TRANSFORMER
FH		FIRE HYDRANT
MTR		WATER METER
PIV		POST INDICATOR VALVE
FDC		FIRE DEPARTMENT CONNECTION
CO		SEWER CLEANOUT
GI	GI	GREASE INTERCEPTOR
6"WL		EXISTING 6" WATERLINE
12"WL		EXISTING 12" WATERLINE
8"SAS		EXISTING 8" SEWER LIME
6"G		EXISTING 6" GAS LINE



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828    [www.iactel.com](http://www.iactel.com)

2051 CU-101-Conceptual.dwg    Oct 13, 2014

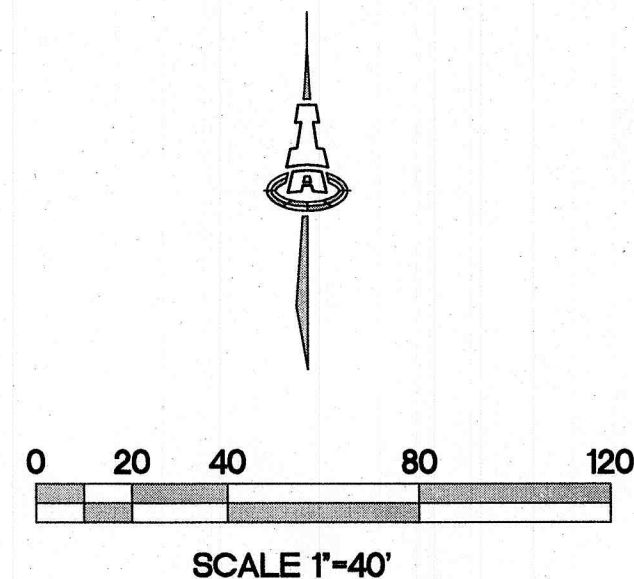
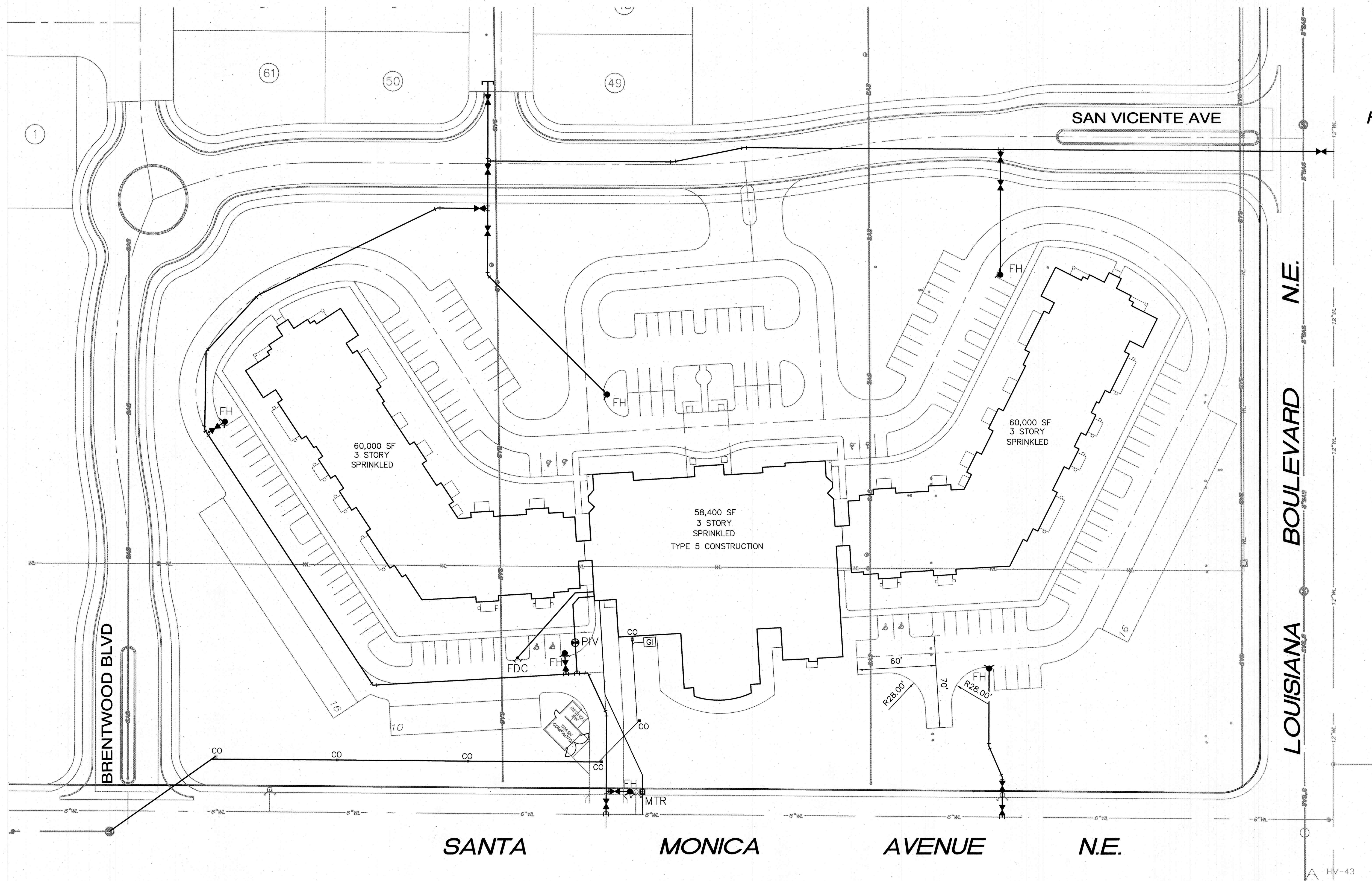
This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

**RESORT LIFESTYLES COMMUNITIES**  
CAMERON GENERAL CONTRACTORS  
TRACT 4A, SANTA MONICA PLACE

**CONCEPTUAL UTILITY PLAN**

Date:	9/10/14	No.:	Revision:	Date:	Job No.
Drawn By:	DEC				2051
Ckd By:	FCA				CU-101
					SH. OF





AFD PLANS CHECKING OFFICE  
624-3511  
**APPROVED**  
SIGNATURE & DATE 05.20.14

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isaacson.com

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©			
CAMERON RETIREMENT COMMUNITY			
TRACT 4A, SANTA MONICA PLACE			
MASTER UTILITY PLAN			
Date:	No.	Revision:	Date:
Drawn By:			
Ckd By:			
			Job No. 2051
			PAGE
			SH. OF

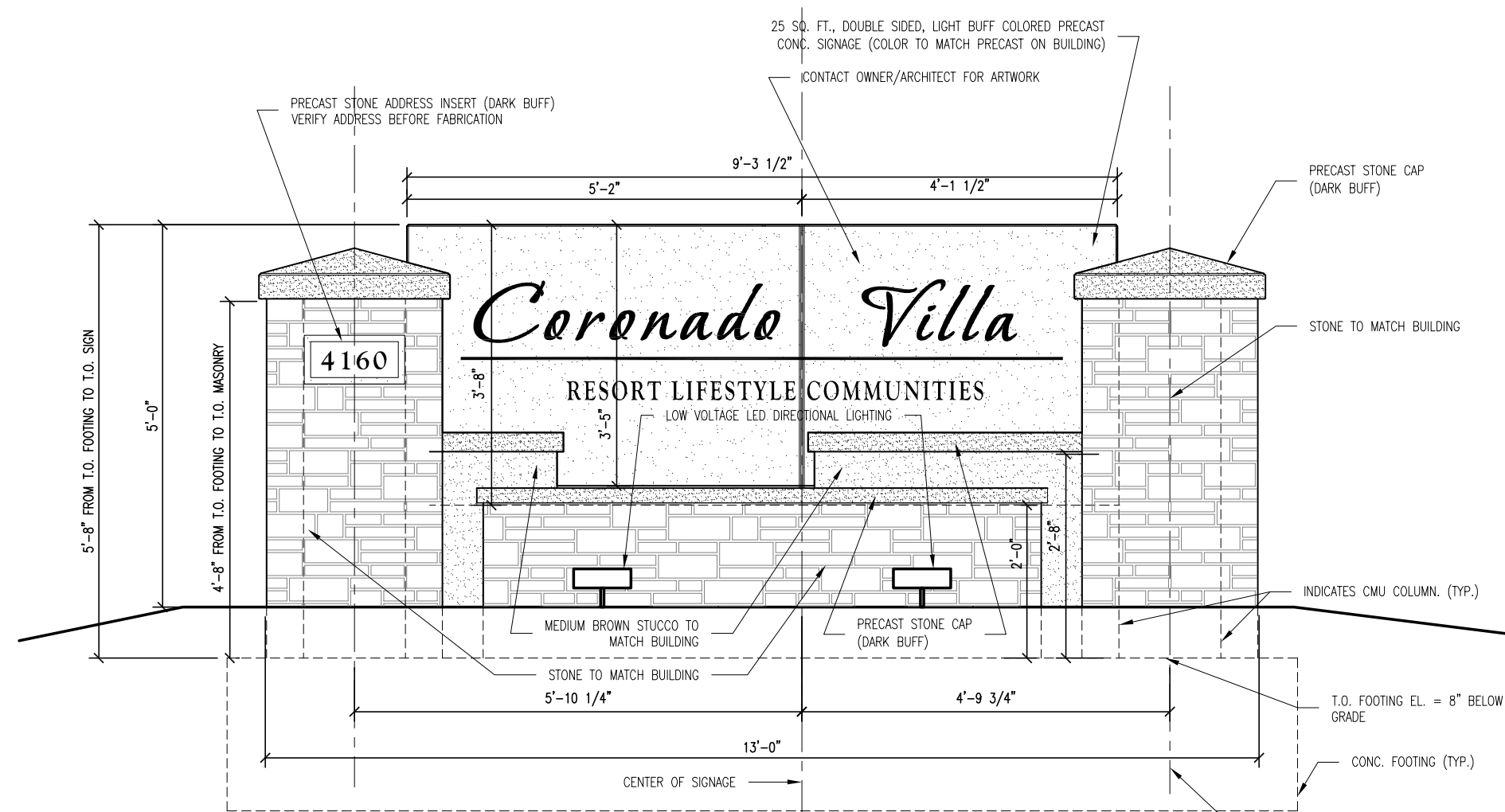




2 Front Elevation - Core (North)  
SCALE: 1/8" = 1'-0"

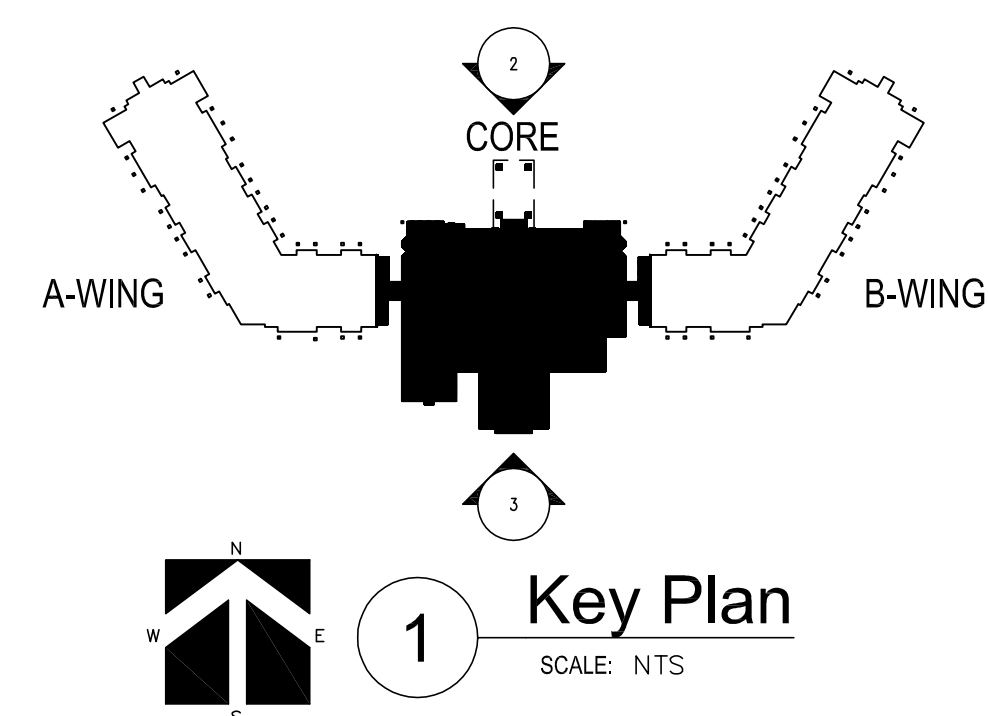


3 Rear Elevation - Core (South)  
SCALE: 1/8" = 1'-0"



4 Sign Elevation  
SCALE: 1/8" = 1'-0"

KEYED NOTES	
1	CONCRETE "S" TILE ROOF - TERRA COTTA BLEND
2	NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
3	STUCCO 1 - ALMOND
4	STUCCO 2 - LIGHT BROWN
5	STUCCO 3 - MEDIUM BROWN
6	PROJECTED STUCCO FOAM TRIM - DARK BROWN
7	VINYL FRAME WINDOW - ALMOND
8	ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
9	PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
10	RAILWALL SKYLIGHT - TRANSLUCENT WHITE COLOR
11	METAL RAILING - BLACK
12	METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
13	STONE - BUFF/BROWN BLEND
14	STUCCO PIER - LIGHT BROWN
15	VINYL BAY WINDOW - ALMOND
16	ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
17	SCREEN WALL - STUCCO FINISH - ALMOND
18	VINYL SLIDING DOOR AND FRAME - ALMOND
19	DECORATIVE REVEAL IN STUCCO
20	OVERHEAD STEEL GARAGE DOOR - ALMOND
21	PIPE BOLLARD - WHITE
22	PRECAST CONCRETE CAP - BUFF
23	STEEL GATE - ALMOND
24	STAINED/SEALED WOOD PERGOLA



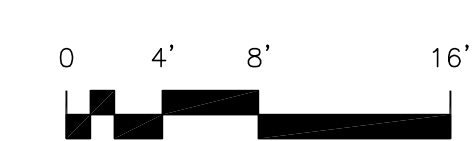
# RESORT LIFESTYLE COMMUNITIES @ SANTA MONICA PLACE

## BUILDING ELEVATIONS

Prepared For:  
Resort Lifestyle Communities  
8040 Eiger Drive  
Lincoln, NE 68516

Prepared By:  
Consensus Planning, Inc.  
302 Eighth St. NW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108



SCALE: 1/8" = 1'-0"

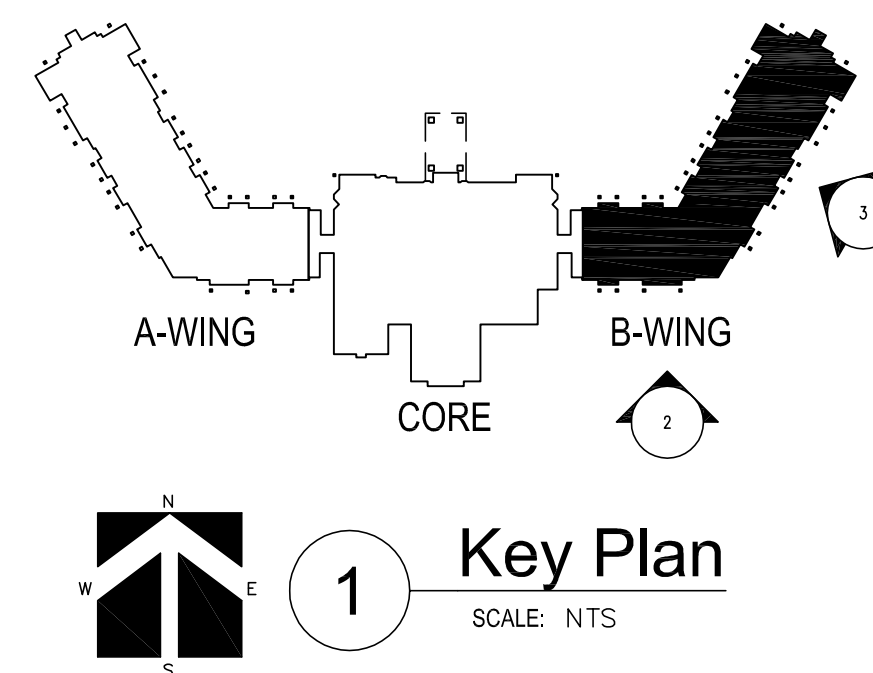
JUNE 26, 2014

SHEET 5 OF 10





- KEYED NOTES
- 1 CONCRETE "S" TILE ROOF - TERRA COTTA BLEND
  - 2 NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
  - 3 STUCCO 1 - ALMOND
  - 4 STUCCO 2 - LIGHT BROWN
  - 5 STUCCO 3 - MEDIUM BROWN
  - 6 PROJECTED STUCCO FOAM TRIM - DARK BROWN
  - 7 VINYL FRAME WINDOW - ALMOND
  - 8 ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
  - 9 PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
  - 10 RAILWALL SKYLIGHT - TRANSLUCENT WHITE COLOR
  - 11 METAL RAILING - BLACK
  - 12 METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
  - 13 STONE - BUFF/BROWN BLEND
  - 14 STUCCO PIER - LIGHT BROWN
  - 15 VINYL BAY WINDOW - ALMOND
  - 16 ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
  - 17 SCREEN WALL - STUCCO FINISH - ALMOND
  - 18 VINYL SLIDING DOOR AND FRAME - ALMOND
  - 19 DECORATIVE FENESTRA IN STUCCO
  - 20 OVERHEAD STEEL GARAGE DOOR - ALMOND
  - 21 PIPE BOLLARD - WHITE
  - 22 PRECAST CONCRETE CAP - BUFF
  - 23 STEEL GATE - ALMOND
  - 24 STAINED/SEALED WOOD PERGOLA



# RESORT LIFESTYLE COMMUNITIES

## @ SANTA MONICA PLACE

### BUILDING ELEVATIONS

Prepared For:  
Resort Lifestyle Communities  
8040 Eiger Drive  
Lincoln, NE 68516

Prepared By:  
Consensus Planning, Inc.  
302 Eighth St. NW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108



0 4' 8' 16'

SCALE: 1/8" = 1'-0"

JUNE 26, 2014





2 Front Elevation - B Wing (Northwest)  
SCALE: 1/8" = 1'-0"

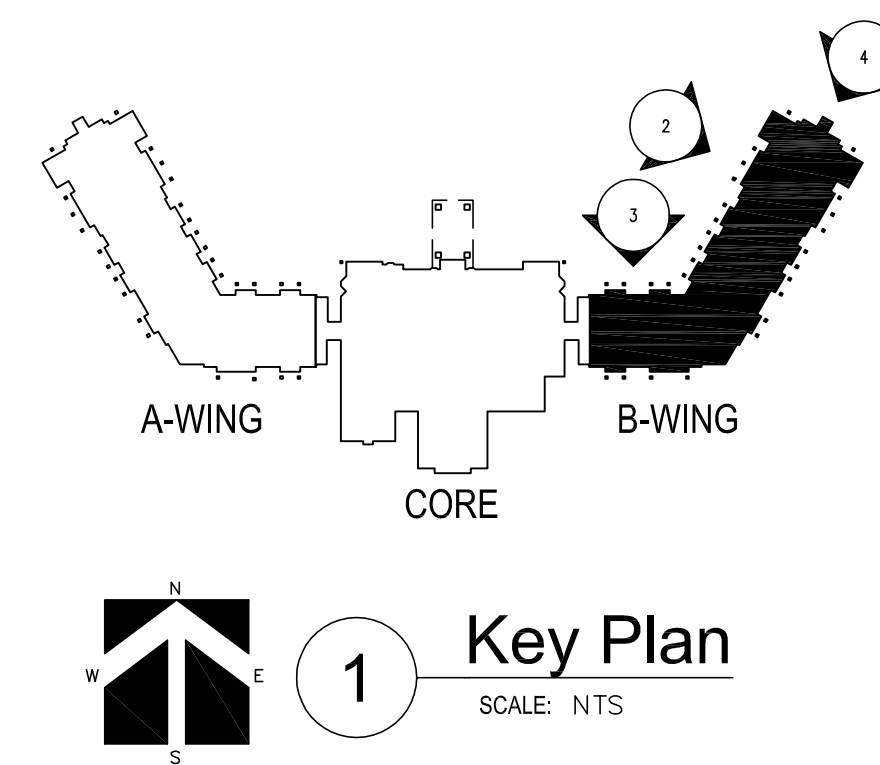


4 End Elevation - B Wing (Northeast)  
SCALE: 1/8" = 1'-0"



3 Front Elevation - B Wing (North)  
SCALE: 1/8" = 1'-0"

KEYED NOTES	
1	CONCRETE "S" TILE ROOF - TERRA COTTA BLEND
2	NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
3	STUCCO 1 - ALMOND
4	STUCCO 2 - LIGHT BROWN
5	STUCCO 3 - MEDIUM BROWN
6	PROJECTED STUCCO FOAM TRIM - DARK BROWN
7	VINYL FRAME WINDOW - ALMOND
8	ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
9	PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
10	RAILWALL SKYLIGHT - TRANSLUCENT WHITE COLOR
11	METAL RAILING - BLACK
12	METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
13	STONE - BUFF/BROWN BLEND
14	STUCCO PIER - LIGHT BROWN
15	VINYL BAY WINDOW - ALMOND
16	ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
17	SCREEN WALL - STUCCO FINISH - ALMOND
18	VINYL SLIDING DOOR AND FRAME - ALMOND
19	DECORATIVE FENCIAL IN STUCCO
20	OVERHEAD STEEL GARAGE DOOR - ALMOND
21	PIPE BOLLARD - WHITE
22	PRECAST CONCRETE CAP - BUFF
23	STEEL GATE - ALMOND
24	STAINED/SEALED WOOD PERGOLA



# RESORT LIFESTYLE COMMUNITIES

## @ SANTA MONICA PLACE

### BUILDING ELEVATIONS

Prepared For:  
Resort Lifestyle Communities  
8040 Eiger Drive  
Lincoln, NE 68516

Prepared By:  
Consensus Planning, Inc.  
302 Eighth St. NW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108



SCALE: 1/8" = 1'-0"

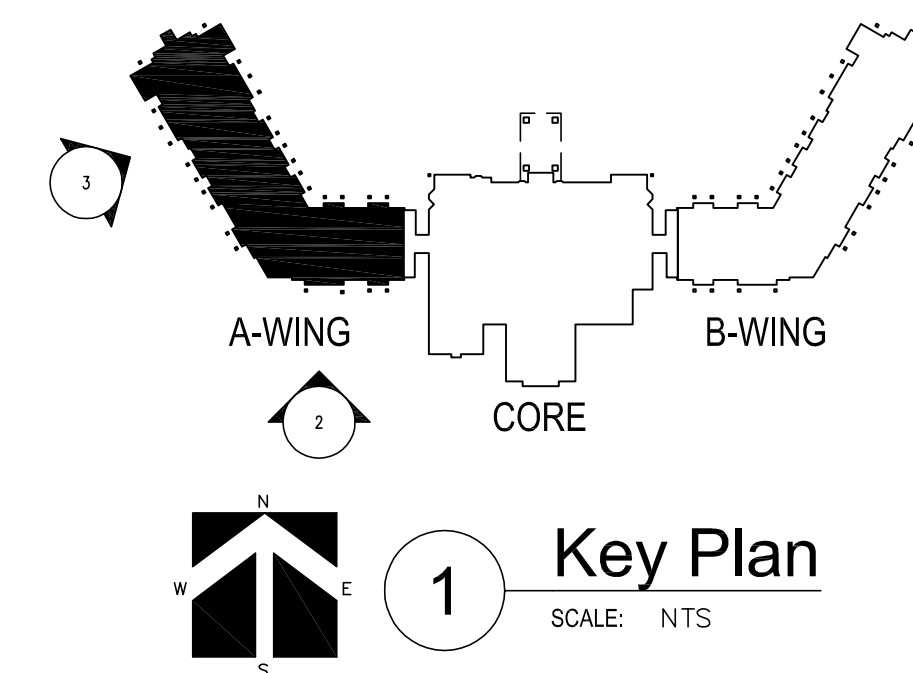
JUNE 26, 2014

SHEET 7 OF 10





- KEYED NOTES
- 1 CONCRETE "S" TILE ROOF - TERRA COTTA BLEND
  - 2 NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
  - 3 STUCCO 1 - ALMOND
  - 4 STUCCO 2 - LIGHT BROWN
  - 5 STUCCO 3 - MEDIUM BROWN
  - 6 PROJECTED STUCCO FOAM TRIM - DARK BROWN
  - 7 VINYL FRAME WINDOW - ALMOND
  - 8 ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
  - 9 PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
  - 10 RAINWALL SKYLIGHT - TRANSLUCENT WHITE COLOR
  - 11 METAL RAILING - BLACK
  - 12 METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
  - 13 STONE - BUFF/BROWN BLEND
  - 14 STUCCO PIER - LIGHT BROWN
  - 15 VINYL BAY WINDOW - ALMOND
  - 16 ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
  - 17 SCREEN WALL - STUCCO FINISH - ALMOND
  - 18 VINYL SLIDING DOOR AND FRAME - ALMOND
  - 19 DECORATIVE REVEAL IN STUCCO
  - 20 OVERHEAD STEEL GARAGE DOOR - ALMOND
  - 21 PIPE BOLLARD - WHITE
  - 22 PRECAST CONCRETE CAP - BUFF
  - 23 STEEL GATE - ALMOND
  - 24 STAINED/SEALED WOOD PERGOLA



# RESORT LIFESTYLE COMMUNITIES

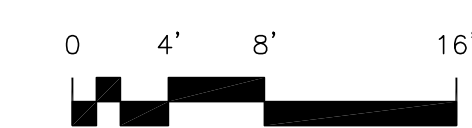
@ SANTA MONICA PLACE

## BUILDING ELEVATIONS

Prepared For:  
Resort Lifestyle Communities  
8040 Eiger Drive  
Lincoln, NE 68516

Prepared By:  
Consensus Planning, Inc.  
302 Eighth St. NW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108



SCALE: 1/8" = 1'-0"

JUNE 26, 2014

SHEET 8 OF 10





2 Front Elevation - A Wing (Northwest)  
SCALE: 1/8" = 1'-0"

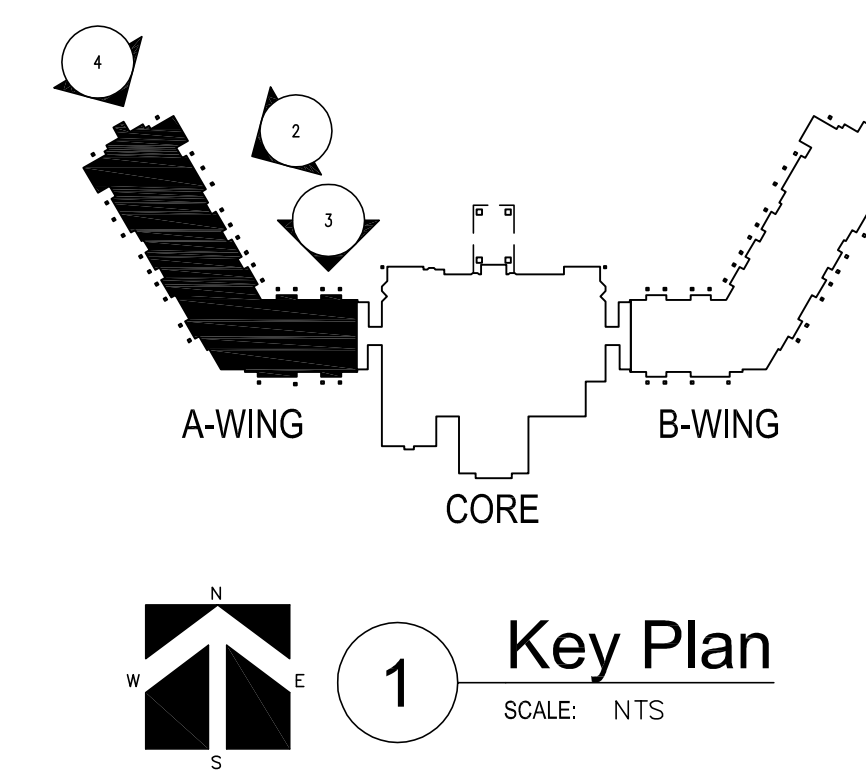


4 End Elevation - A Wing (Northeast)  
SCALE: 1/8" = 1'-0"



3 Front Elevation - A Wing (North)  
SCALE: 1/8" = 1'-0"

KEYED NOTES	
1	CONCRETE "S" TILE ROOF - TERRA COTTA BLEND
2	NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
3	STUCCO 1 - ALMOND
4	STUCCO 2 - LIGHT BROWN
5	STUCCO 3 - MEDIUM BROWN
6	PROJECTED STUCCO FOAM TRIM - DARK BROWN
7	VINYL FRAME WINDOW - ALMOND
8	ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
9	PROJECTED STUCCO FOAM SILL - MEDIUM BROWN
10	RAILWALL SKYLIGHT - TRANSLUCENT WHITE COLOR
11	METAL RAILING - BLACK
12	METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
13	STONE - BUFF/BROWN BLEND
14	STUCCO PIER - LIGHT BROWN
15	VINYL BAY WINDOW - ALMOND
16	ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
17	SCREEN WALL - STUCCO FINISH - ALMOND
18	VINYL SLIDING DOOR AND FRAME - ALMOND
19	DECORATIVE FENCIAL IN STUCCO
20	OVERHEAD STEEL GARAGE DOOR - ALMOND
21	PIPE BOLLARD - WHITE
22	PRECAST CONCRETE CAP - BUFF
23	STEEL GATE - ALMOND
24	STAINED/SEALED WOOD PERGOLA



# RESORT LIFESTYLE COMMUNITIES @ SANTA MONICA PLACE

## BUILDING ELEVATIONS

Prepared For:  
Resort Lifestyle Communities  
8040 Eiger Drive  
Lincoln, NE 68516

Prepared By:  
Consensus Planning, Inc.  
302 Eighth St. NW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108

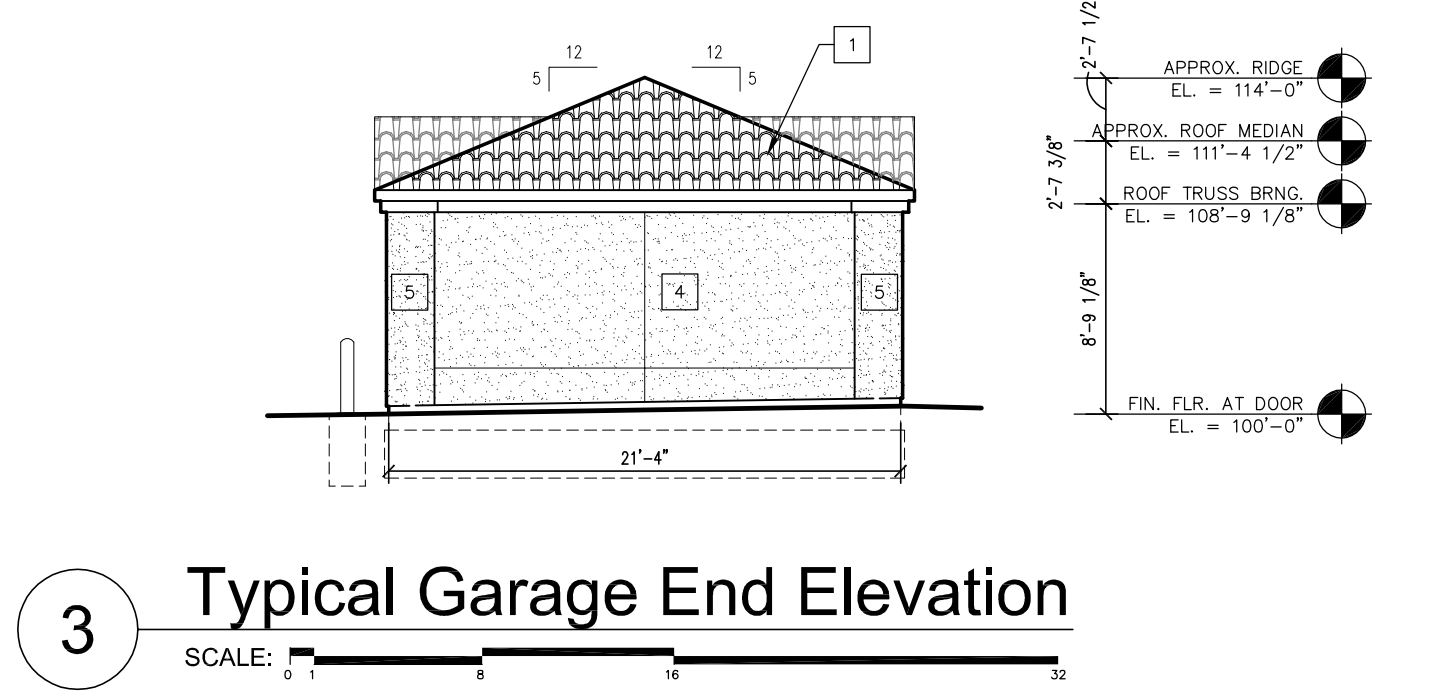
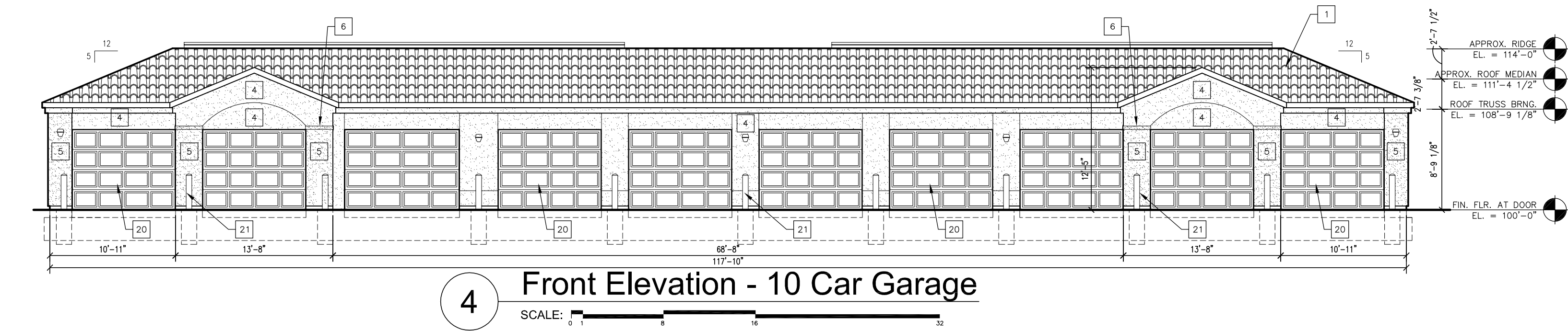
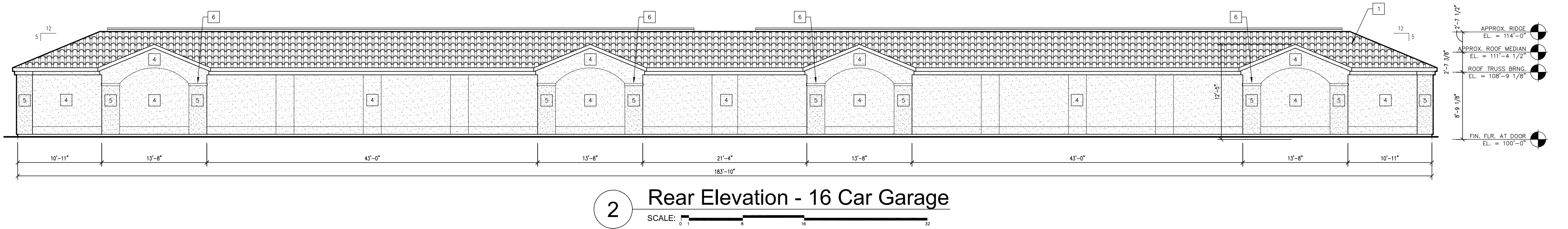
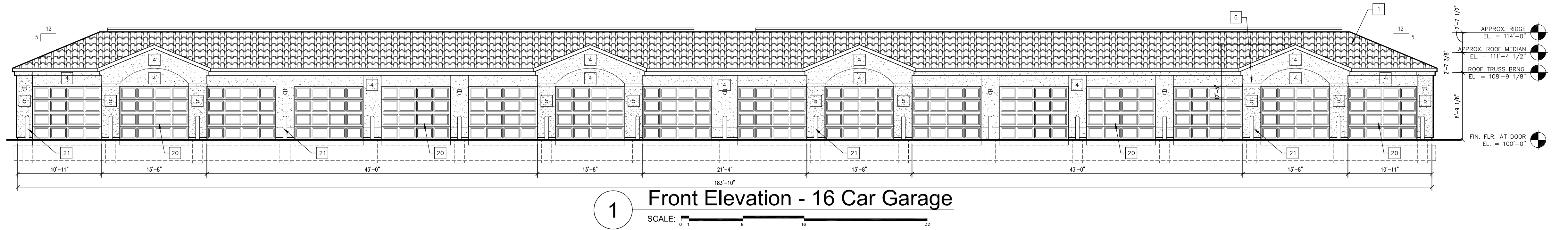
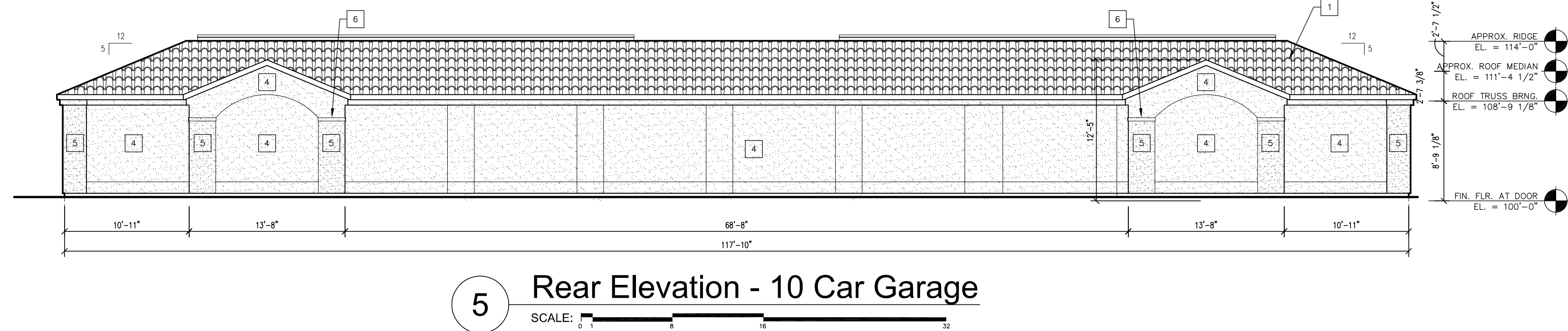
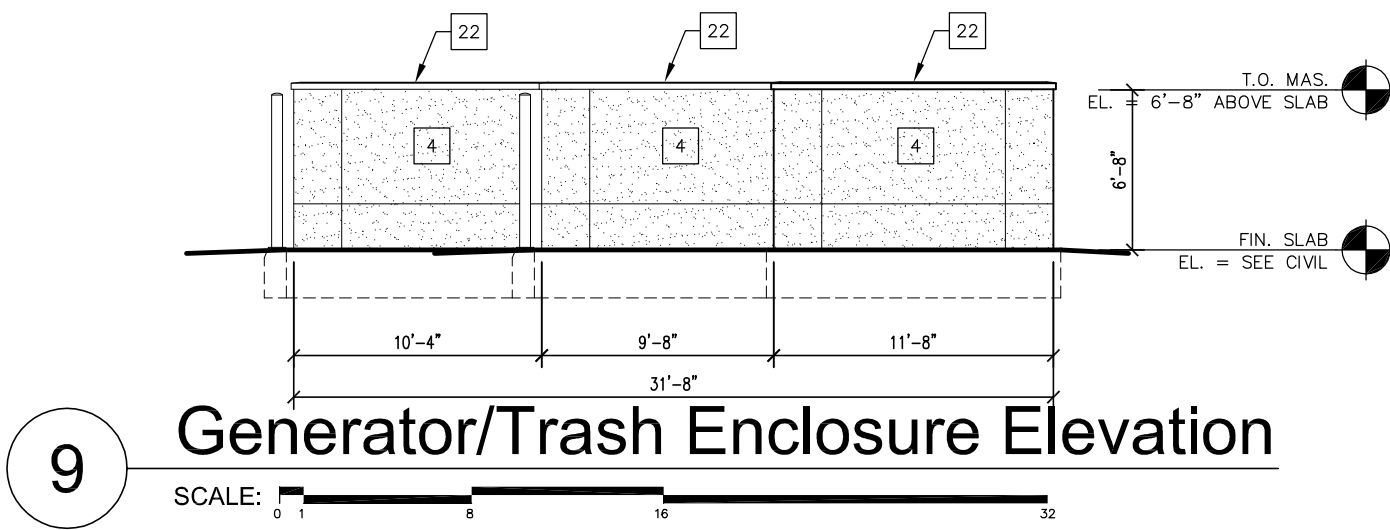
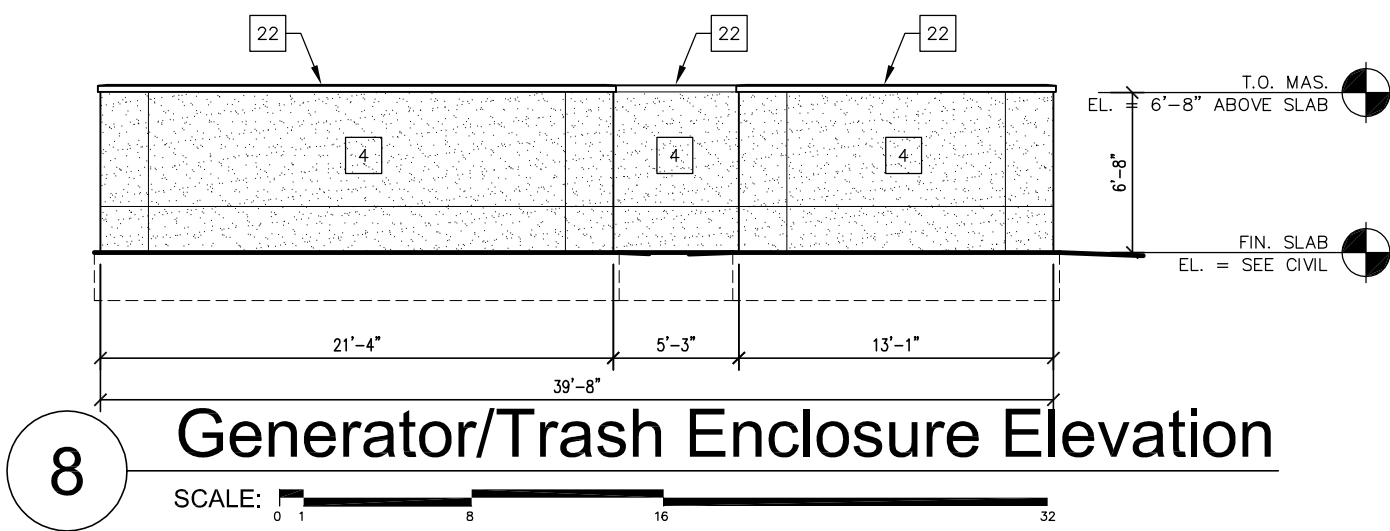
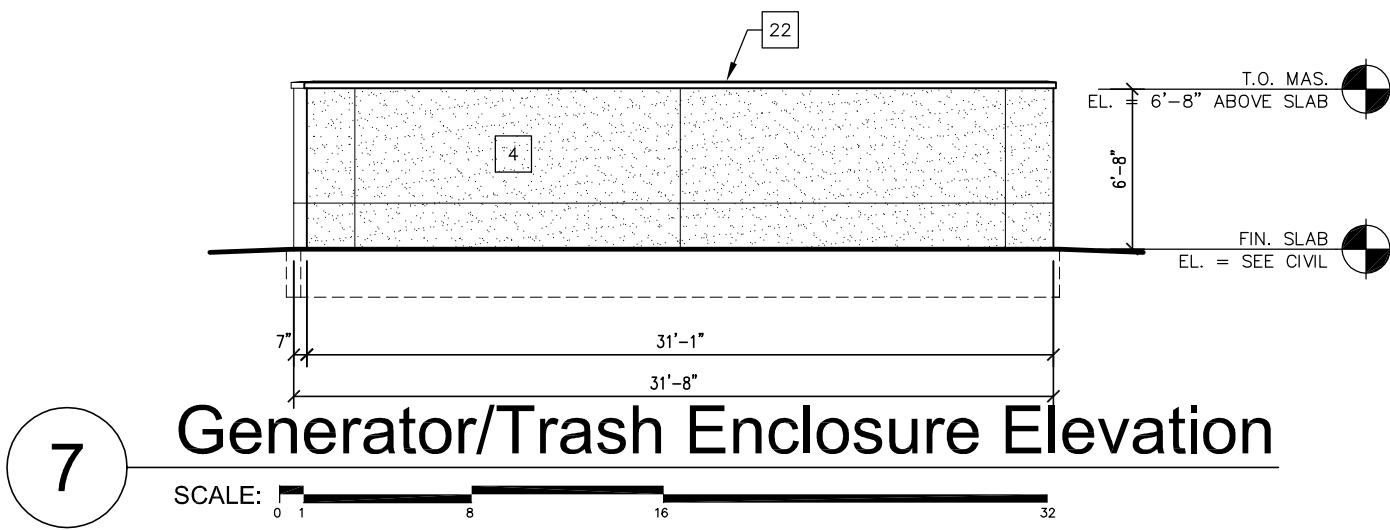
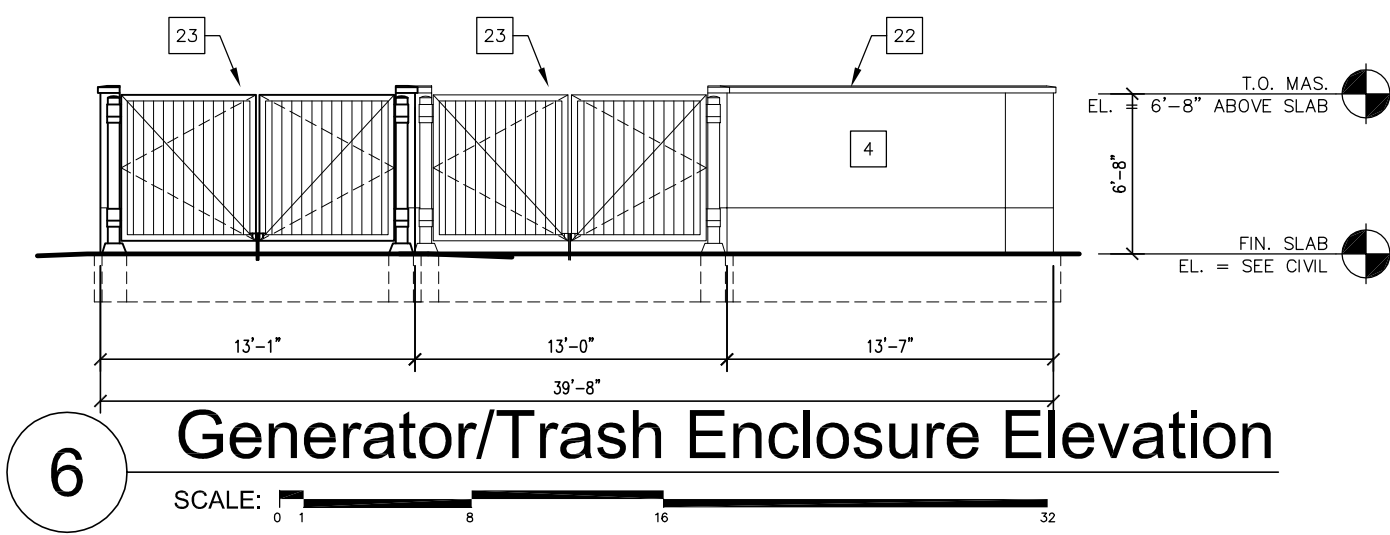


SCALE: 1/8" = 1'-0"

JUNE 26, 2014

SHEET 9 OF 10





KEYED NOTES	
1	CONCRETE "S" TILE ROOF - TERRA COTTA BLEND
2	NON-REFLECTIVE METAL LOUVER - MATCH ADJACENT STUCCO COLOR
3	STUCCO 1 - ALMOND
4	STUCCO 2 - LIGHT BROWN
5	STUCCO 3 - MEDIUM BROWN
6	PROJECTED STUCCO FOAM TRIM - DARK BROWN
7	VINYL FRAME WINDOW - ALMOND
8	ALUMINUM STOREFRONT WITH SOLAR SHIELD GLASS
9	PROJECTED STUCCO FOAM TRIM - MEDIUM BROWN
10	KARNAL SKYLIGHT - TRANSLUCENT WHITE COLOR
11	METAL RAILING - BLACK
12	METAL DOOR - PAINTED TO MATCH ADJACENT STUCCO
13	STONE - BUFF/BROWN BLEND
14	STUCCO PIER - LIGHT BROWN
15	VINYL BAY WINDOW - ALMOND
16	ALUMINUM ENTRANCE DOOR AND FRAME - ALMOND
17	SCREEN WALL - STUCCO FINISH - ALMOND
18	VINYL SLIDING DOOR AND FRAME - ALMOND
19	DECORATIVE REVEAL IN STUCCO
20	OVERHEAD STEEL GARAGE DOOR - ALMOND
21	PIPE BOLLARD - WHITE
22	PRECAST CONCRETE CAP - BUFF
23	STEEL GATE - ALMOND
24	STAINED/SEALED WOOD PERGOLA

# RESORT LIFESTYLE COMMUNITIES

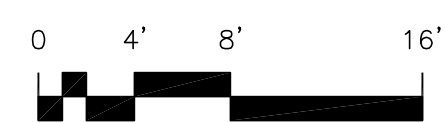
## @ SANTA MONICA PLACE

### BUILDING ELEVATIONS

Prepared For:  
Resort Lifestyle Communities  
8040 Eiger Drive  
Lincoln, NE 68516

Prepared By:  
Consensus Planning, Inc.  
302 Eighth St. NW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108



SCALE: 1/8" = 1'-0"

JUNE 26, 2014

SHEET 10 OF 10