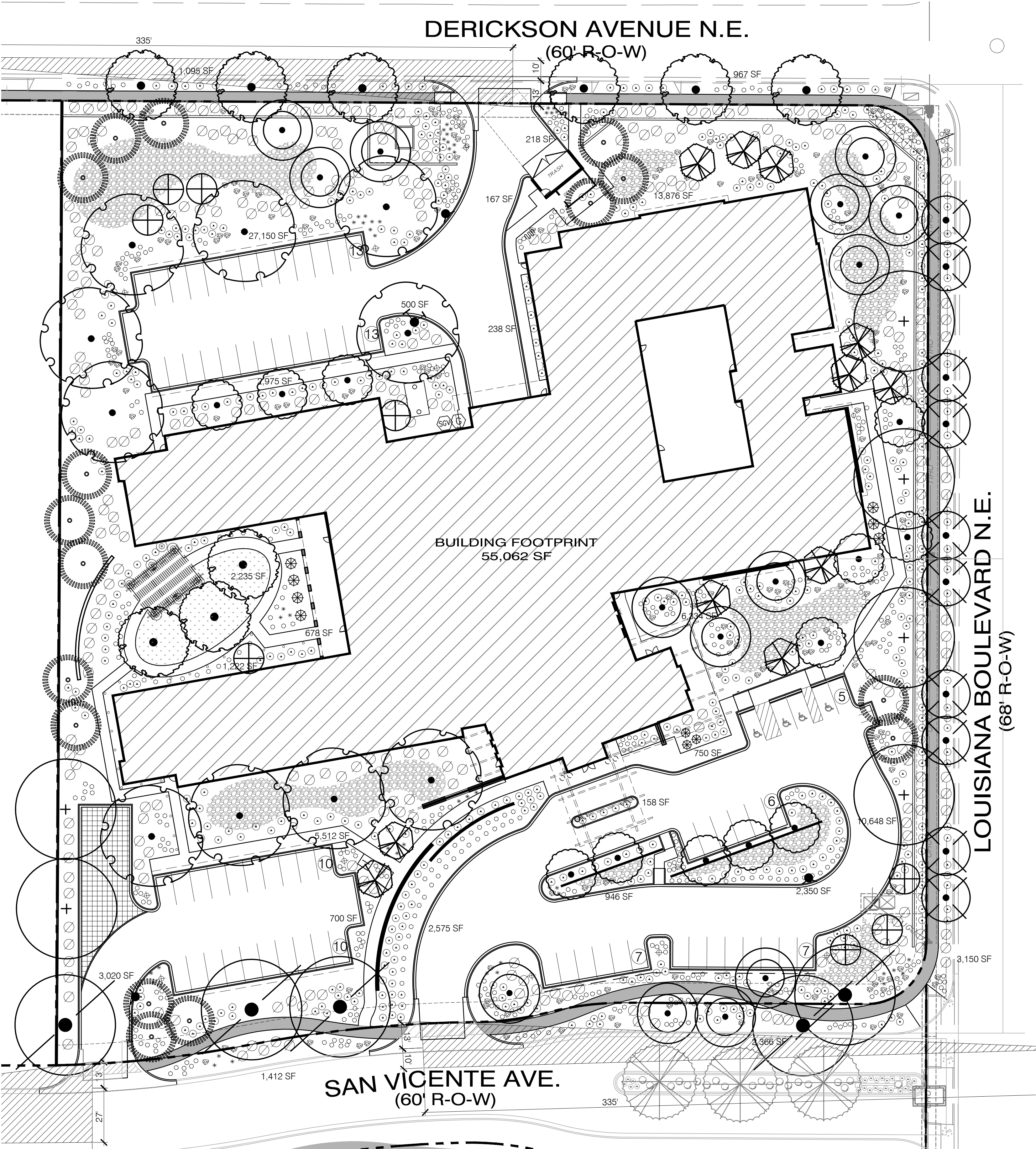


SITE PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
10		ACER TARTARICUM 'HOT WINGS' HOT WINGS MAPLE	2" B&B	10' HT. X 4' SPR. 20' HT. X 24' SPR.	MED
9		FRAXINUS OXYCARPA REDWOOD ASH	2.5" B&B	16' HT. X 6' SPR. 35' HT. X 35' SPR.	MED
10		GLEDITSIA TRIANCANTHOS HONEY LOCUST	2" B&B	10' HT. X 4' SPR. 60' HT. X 50' SPR.	MED
10		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET ROCKY MTN. JUNIPER	B&B	10' MIN HT. 20' HT. X 5' SPR.	MED
14		KOELREUTERIA PANICULATA GOLDEN RAIN TREE	2" B&B	16' HT. X 6' SPR. 30' HT. X 30' SPR.	MED
8		ROBINIA NEOMEXICANA NEW MEXICO LOCUST	1.5-GAL.	8' HT. X 4' SPR. 15' HT. X 15' SPR.	MED
5		PLATANUS A. BLOODGOOD LONDON PLANE TREE	2.5" B&B	16' HT. X 6' SPR. 60' HT. X 50' SPR.	MED
16		PINUS LEUGODERMIS BOSNIAN PINE	B&B	6' MIN HT. 35' HT. X 10' SPR.	MED
6		PISTACHIA CHINENSIS CHINESE PISTACHE	2" B&B	10' HT. X 5' SPR. 50' HT. X 50' SPR.	MED+
12		PYRUS CALLERYANA 'CLEVELAND' FLOWERING PEAR	2.5" B&B	12' HT. X 5' SPR. 20' HT. X 25' SPR.	MED
11		VITEX AGNUS-CASTUS VITEX	2" B&B	8' HT. X 4' SPR. 20' HT. X 20' SPR.	MED
SHRUBS/GROUNDCOVERS					
○ LARGE SHRUBS					
		BACCHARIS SAROTHOIDES DESERT BROOM	5-GAL.	8' O.C. 8' HT. X 8' SPR.	LOW
		ROSMARINUS OFFICINALIS UPRIGHT ROSEMARY	5-GAL.	8' O.C. 6' HT. X 6' SPR.	MED
		ANISACANTHUS THURBERI DESERT HONEY SUCKLE	5-GAL.	4' O.C. 5' HT. X 4' SPR.	LOW
○ MEDIUM SHRUBS					
		LAVANDULA ANGUSTIFOLIA ENGLISH LAVENDER	1-GAL.	3' O.C. 3' HT. X 3' SPR.	MED
		PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5-GAL.	6' O.C. 4' HT. X 5' SPR.	LOW
		FINUS MUGO MUGO PINE	5-GAL.	5' O.C. 4' HT. X 5' SPR.	MED
		POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 3' HT. X 3' SPR.	LOW+
		RHAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL.	5' O.C. 3' HT. X 3 SPR.	MED
		CALAMAGROSTIS A. 'KARL FOERSTER' KARL FOERSTER REED GRASS	1-GAL.	2' O.C. 4' HT. X 2' SPR.	MED
		MULHENBERGIA CAPILLARIS REGAL MIST	1-GAL.	3' O.C. 3' HT. X 3' SPR.	MED
		NOLINA NELSONI BEAR GRASS	1-GAL.	3' O.C. 4' HT. X 3' SPR.	LOW
		MISCANTHUS SPP. MAIDEN GRASS	5-GAL.	5' O.C. 4' HT. X 5' SPR.	MED+
○ SMALL SHRUBS					
		VINCA MAJOR GIANT PERIWINKLE	1-GAL.	4' O.C. 2' HT. X 4' SPR.	MED
		ERYSIMUM 'BOULES MAUVE' BOULES MAUVE WALLFLOWER	1-GAL.	2' O.C. 2' HT. X 2' SPR.	MED+
		PARTHENIUM INCANUM MARIOLA	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
		NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA	1-GAL.	2' O.C. 2' HT. X 2' SPR.	MED
		RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC	1-GAL.	4' O.C. 2' HT. X 4' SPR.	LOW+
		SEDUM TELEPHIUM AUTUMN JOY SEDUM	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW+
		ZAUSCHNERIA CALIFORNICA HUMMINGBIRD PLANT	1-GAL.	3' O.C. 2' HT. X 3' SPR.	LOW
* DESERT ACCENTS					
		AGAVE PARRYI PARRY'S AGAVE	5-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
◎ VINES					
		LONICERA SEMPERVIRENS CORAL HONEYSUCKLE	1-GAL.	5' O.C. 5-10' SPR.	LOW
BOULDERS, MULCHES, AND TURF					
		MOSS ROCK BOULDERS (3'X3' MIN.)			
		3/8"-5/8" GRAVEL MULCH, INCLUDING COLORS: NEW MEXICO TRAVERTINE AMARETTO BROWN AND TULAROSA CRUSHED OR EQUIVALENT (3" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
		2"-4" COBBLE STONE, COLOR: AMARETTO BROWN RIP RAP (6" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
		PARKBLEND SOD (KENTUCKY BLUEGRASS/FESCUE MIX)			



GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 3/8"-5/8" AMARETTO BROWN ROCK MULCH AND 2"-4" AMARETTO BROWN RIP RAP MULCH.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPOED ON THE SAME VALVE. TURF VALVES WILL BE OPERATED TO PROVIDE 1/2" OF WATER PER CYCLE (PEAK SEASON).

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE
TOTAL SITE AREA: 200,376 SF (4.6 AC)
BUILDING AREA (BUILDING ENVELOPE): 55,062 SF
NET AREA: 145,314 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 21,797 SF
PROVIDED LANDSCAPE AREA
ON-SITE: 82,620 SF (57%)
OFF-SITE: 8,990 SF

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE ELAN AT SANTA MONICA PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE (OF THE 15%) IN THE LANDSCAPE AREAS.

LANDSCAPE TURF
ONLY 20% OF LANDSCAPED AREAS CAN BE HIGH WATER-USE TURF.

TURF LIMIT: 16,324 SF
TURF PROVIDED: 2,235 SF (3% OF LANDSCAPED AREA)

PARKING LOT TREES
THE ELAN AT SANTA MONICA PROJECT IS PROVIDING 12 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 1
PARKING LOT TREES PROVIDED: 18

STREET TREES
THE LOUISIANA BOULEVARD FRONTAGE IS 448'. DUE TO OVERHEAD POWER LINES AND PNM REQUIREMENTS, SMALLER ACCENT TREES ARE BEING USED UNDERNEATH THE LINES, WITH LARGER SHADE TREES SET BACK FROM THE LINES. THE AVERAGE SPACING OF THE TWO TREES USED IS 35' O.C.

STREET TREES REQUIRED: 14 TREES
STREET TREES PROVIDED: 14 TREES

SITE TREES
TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY TWO SECOND FLOOR UNITS. NO ADDITIONAL TREES ARE REQUIRED FOR UNITS ABOVE SECOND STORY. ELAN AT SANTA MONICA IS PROVIDING 55 FIRST FLOOR UNITS AND 27 SECOND STORY UNITS.

SITE TREES REQUIRED: 69
SITE TREES PROVIDED: 78

ÉLAN-SANTA MONICA PLACE
(Senior Assisted Living/Memory Care)

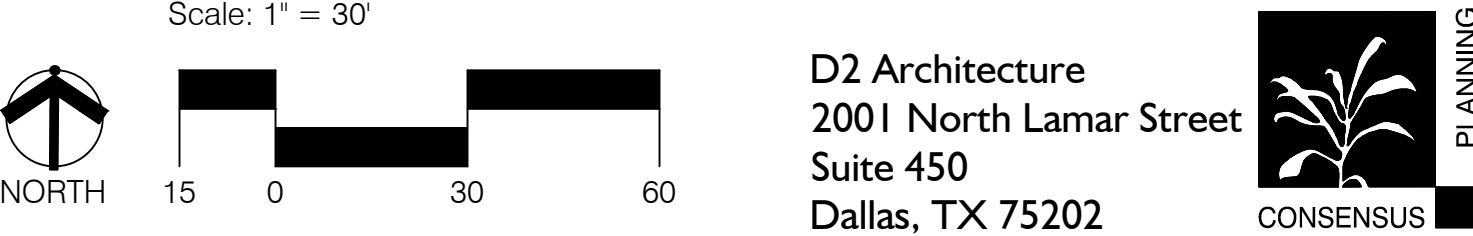
LANDSCAPE PLAN

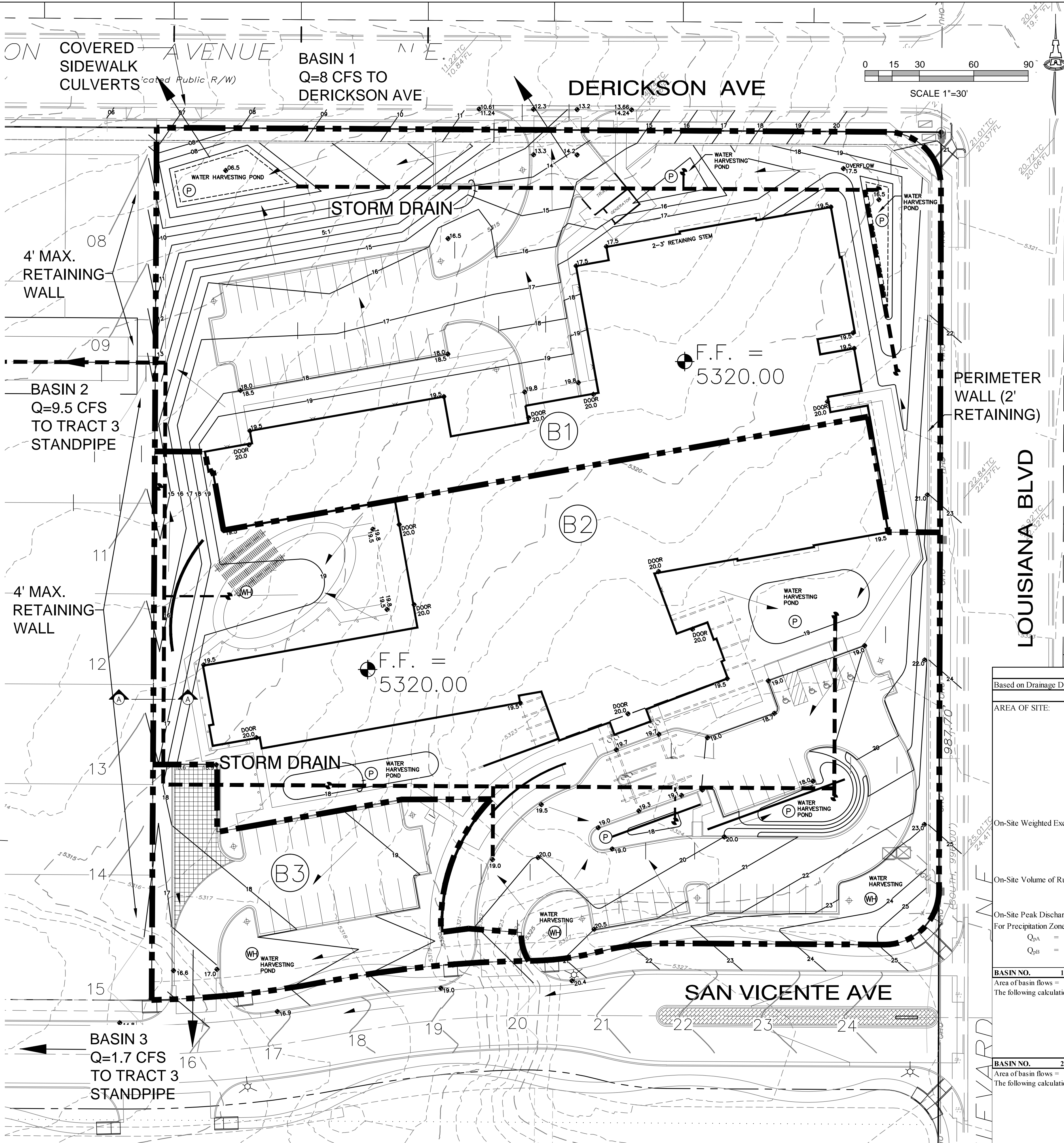
Prepared For:
Titan Senior Living -Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

D2 Architecture
2001 North Lamar Street
Suite 450
Dallas, TX 75202





DRAINAGE CONCEPT

THE MASTER DRAINAGE REPORT (DMR) BY ISAACSON & ARFMAN, P.A., DATED FEBRUARY 21, 2012, OUTLINED DRAINAGE REQUIREMENTS FOR EACH TRACT WITHIN SANTA MONICA PLACE (TRACTS 1 - 4). THIS PROPERTY IS A PORTION OF TRACT 3 (15.5781 ACRES) WITH LAND TREATMENTS ESTIMATED AT 20%B, 20%C AND 60% D.

PER THE DMR, "TRACT 3 SHALL BE ALLOWED TO SURFACE DISCHARGE MAX. 10 CFS TO DERICKSON AVE. AND THE REMAINDER OF 69.2 CFS INTO THE STORM DRAIN SYSTEM CONNECTION TO THE DERICKSON AVE. STORM DRAIN."

THE PROPOSED CONSTRUCTION SITE CONSISTS OF APPROXIMATELY 30% OF THE OVERALL AREA OF TRACT 3. THUS, THIS PORTION OF TRACT 3 SHOULD RELEASE APPROXIMATELY 30% X (10+69.2) = 23.8 CFS.

THE SITE HAS BEEN DIVIDED INTO TWO BASINS: DISCHARGE TO DERICKSON (SUB-BASIN 1) AND DISCHARGE WEST TO ENTER THE STORM DRAIN STANDPIPE (SUB-BASINS 2 AND 3).

BASIN 1: CONSISTS OF THE NORTHERN 40% OF THE PROPERTY WHICH WILL DISCHARGE APPROXIMATELY 8 CFS TO DERICKSON AVE. VIA SIDEWALK CULVERTS

WITH AN ALLOWABLE OF 10 CFS FROM THE TOTAL TRACT, THIS WILL LEAVE APPROXIMATELY 2 CFS FOR THE REMAINDER OF TRACT 3 WHICH IS PLANNED FOR SINGLE FAMILY RESIDENTIAL AND IS EXPECTED TO DRAIN ALMOST ENTIRELY TO THE INTERNAL FUTURE PUBLIC STORM DRAIN EXTENSION. NOTE THAT PER THE APPROVED DRAINAGE REPORT FOR TRACT 1, ONLY 7.8 OF THE ALLOWABLE 10 CFS FROM THAT TRACT WILL BE DISCHARGED TO DERICKSON AVE. LEAVING AN ADDITIONAL 2.2 CFS AVAILABLE.

BASINS 2 AND 3: CONSISTS OF THE SOUTHERN 60% OF THE PROPERTY WHICH WILL DISCHARGE APPROXIMATELY 10.9 CFS TO THE UNDEVELOPED PORTION OF TRACT 3 EITHER VIA STORM DRAIN (BASIN 2) OR AS SURFACE DISCHARGE TO THE PROPOSED SOUTH PUBLIC STREET (BASIN 3). TEMPORARY PONDS AND EARTH SWALES WITH EROSION PROTECTION AS NEEDED WILL BE CONSTRUCTED TO PASS THE CONCENTRATED FLOW TO THE EXISTING POND TO ENTER THE PUBLIC STORM DRAIN SYSTEM AT THE PROVIDED STANDPIPE (TO BE CONSTRUCTED AS PART OF CPN 689984).

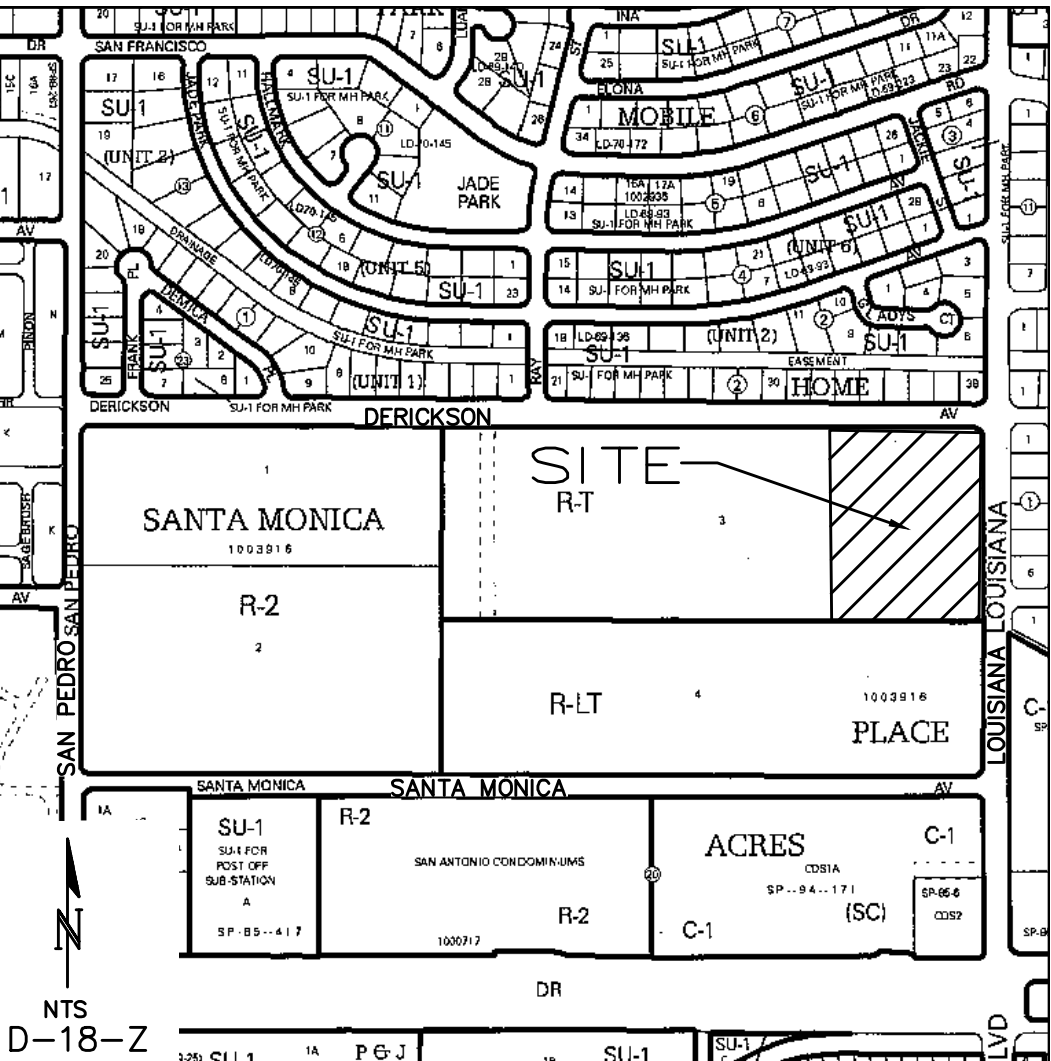
THESE BASIN CALCULATIONS DO NOT ACCOUNT FOR ANY WATER HARVESTING OR DETENTION BASINS WHICH MAY REDUCE THE TOTAL DISCHARGE RATES.

ALL LANDSCAPE AREAS, OTHER THAN ADJACENT TO THE BUILDING, WILL BE DEPRESSED FOR WATER HARVESTING.

18" DEEP DETENTION PONDS WITHIN EACH OF THE BASIN AREAS WILL BE UTILIZED TO DETAIN DISCHARGE, UTILIZE FOR LANDSCAPING / INFILTRATION AND RELEASE EXCESS.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.44" OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

CALCULATIONS: Elan Senior Living Facility : May 23, 2014						
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993						
ON-SITE						
AREA OF SITE:	198332	SF	=	4.6		
100-year, 6-hour						
DEVELOPED FLOWS:				EXCESS PRECIP:		
	Treatment	SF	%	Precip. Zone	3	
Area A	=	0	0%	E _A	= 0.66	
Area B	=	35700	18%	E _B	= 0.92	
Area C	=	59500	30%	E _C	= 1.29	
Area D	=	103133	52%	E _D	= 2.36	
Total Area	=	198332	100%			
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)						
Weighted E =	$E_A A_A + E_B A_B + E_C A_C + E_D A_D$					
	$A_A + A_B + A_C + A_D$					
Developed E	= 1.78 in.					
On-Site Volume of Runoff: V ₃₆₀ =	E* A / 12					
Developed V ₃₆₀	= 29416 CF					
On-Site Peak Discharge Rate: Q _p = Q _{pA} A _A + Q _{pB} A _B + Q _{pC} A _C + Q _{pD} A _D / 43,560						
For Precipitation Zone	3					
Q _{pA}	= 1.87		Q _{pC}	= 3.45		
Q _{pB}	= 2.60		Q _{pD}	= 5.02		
	Developed Q _p		= 18.7 CFS			
BASIN NO.	1	DESCRIPTION			DRAINING TO DERICKSON AVE.	
Area of basin flows =	82379	SF	=	1.9	Ac.	
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)				LAND TREATMENT		
Weighted E =				A = 0%		
Sub-basin Volume of Runoff (see formula above)				B = 18%		
V ₃₆₀ =				C = 30%		
Sub-basin Peak Discharge Rate: (see formula above)				D = 52%		
Q _p =				7.8 cfs		
BASIN NO.	2	DESCRIPTION			DRAINING WEST TO PUBLIC STORM DRAIN STANDPIPE	
Area of basin flows =	98526	SF	=	2.3	Ac.	
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)				LAND TREATMENT		
Weighted E =				A = 0%		
Sub-basin Volume of Runoff (see formula above)				B = 18%		
V ₃₆₀ =				C = 30%		
Sub-basin Peak Discharge Rate: (see formula above)				D = 52%		
Q _p =				9.3 cfs		
BASIN NO.	3	DESCRIPTION			DRAINING SOUTH TO PUBLIC STORM DRAIN STANDPIPE	
Area of basin flows =	17426	SF	=	0.4	Ac.	
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)				LAND TREATMENT		
Weighted E =				A = 0%		
Sub-basin Volume of Runoff (see formula above)				B = 18%		
V ₃₆₀ =				C = 30%		
Sub-basin Peak Discharge Rate: (see formula above)				D = 52%		
Q _p =				1.6 cfs		



PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED (MOBILE HOME) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY UNDEVELOPED PROPERTY, TO THE WEST BY APARTMENTS, TO THE EAST BY LOUISIANA BLVD. AND TO THE NORTH BY DERICKSON AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 59,500 SF SENIOR LIVING FACILITY WITH ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

LEGAL: THE EASTERN PORTION OF TRACT 3, SANTA MONICA PLACE, ALBUQUERQUE. NM

AREA: 4.6 ACRES

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

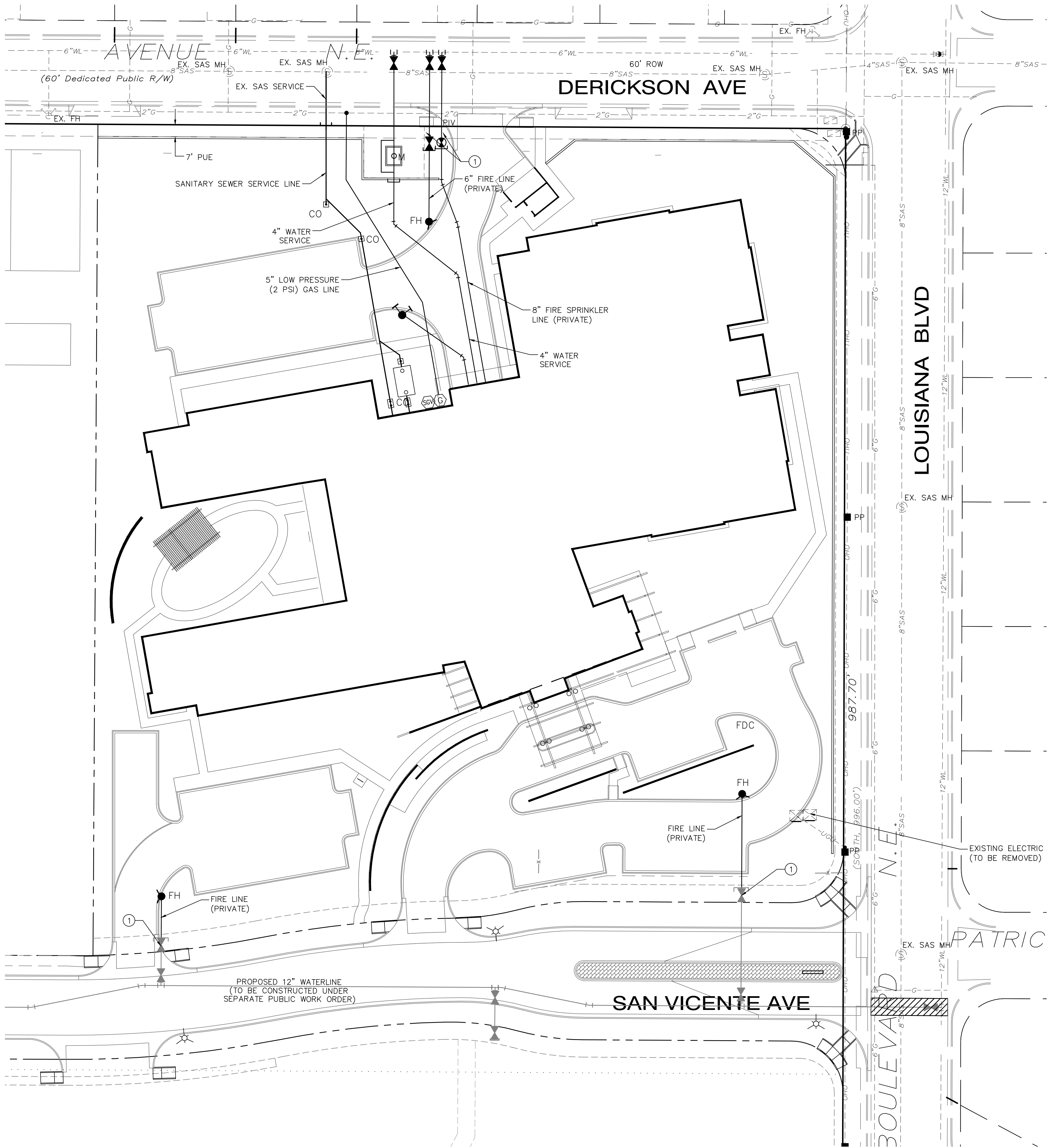
LEGEND	
	DRAINAGE BASIN
	CONCEPTUAL STORM DRAIN
	PROPOSED DETENTION POND / STORM DRAIN INLET LOCATION (18" DEEP)
	PROPOSED FLOW DIRECTION
	PROPOSED FINISH FLOOR ELEVATION
	PROPOSED WATER HARVESTING BASIN (6" DEPRESSED)

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isacarl.com

2047 CG-101 - Conceptual.dwg Aug 01,2014

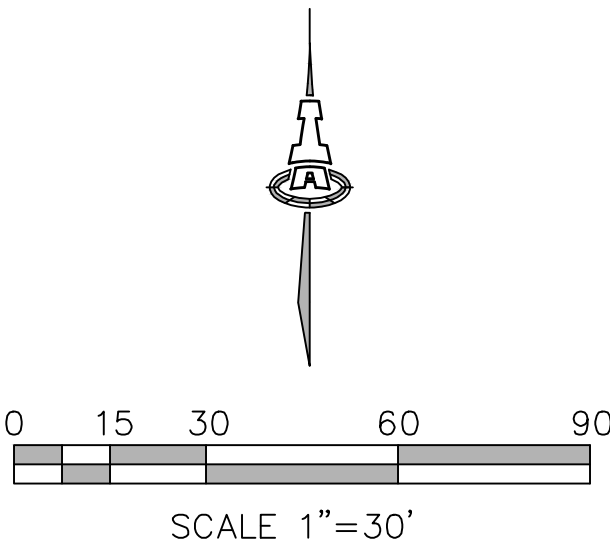
This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

ELAN - Santa Monica Place (Senior Assisted Living/Memory Care)			
CONCEPTUAL GRADING & DRAINAGE PLAN			
Date:	No.	Revision:	Date:
9/10/14			2047
Drawn By:			CG-101
BJB			
Ckd By:			SH OF
FCA			



- NOTES:
1. ALL UTILITIES WITHIN THE SAN VICENTE AVE. ROW SHALL BE CONSTRUCTED UNDER A CITY OF ALBUQUERQUE PUBLIC WORK ORDER.
 2. ALL ONSITE FIRE LINES ARE PRIVATE. ① PRIVATE VALVES AT END OF PUBLIC WATER LINE STUBS TO BE INSTALLED AS PART OF THE PUBLIC WORK ORDER.

ABBREVIATIONS / LEDGEND		
GEN		GENERATOR
T		TRANSFORMER
FH		FIRE HYDRANT
MTR		WATER METER
PIV		POST INDICATOR VALVE
FDC		FIRE DEPARTMENT CONNECTION
CO		SEWER CLEANOUTS
GI		GREASE INTERCEPTOR
M		WATER METER/VAULT
PP		POWER POLE
EB		ELECTRIC BOX
WL V		EXIST. WL VALVE
SAS MH		SAS MANHOLE
SAS		SANITARY SEWER
WL		WATERLINE
NPW		NON POTABLE WATER
		PROPOSED STREET LIGHT
		GAS METER



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isactel.com

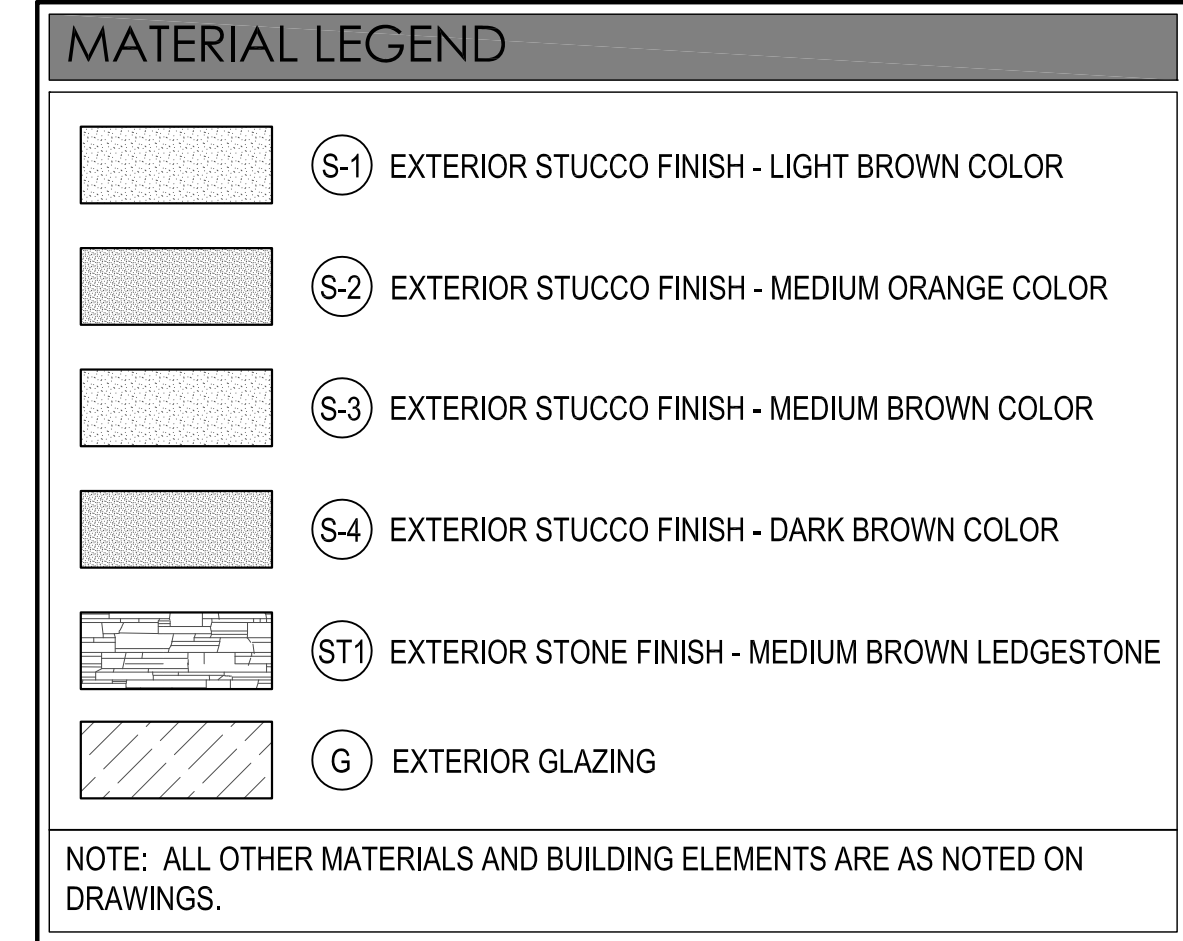
2047 CU-101-Conceptual.dwg Oct 13, 2014

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

ELAN - Santa Monica Place
(Senior Assisted Living/Memory Care)

CONCEPTUAL UTILITY PLAN

Date:	9/10/14	No.:	Revision:	Date:	Job No.
Drawn By:	DEC				2047
Ckd By:	FCA				CU-101
					SH. OF



Architectural elevation drawing of the exterior of a building, showing multiple levels, windows, doors, and roof details. The drawing includes dimensions and material specifications.

Dimensions and Levels:

- T.O. ROOF: 40'-0"
- T.O. PARAPET: 36'-0"
- T.O. ROOF: 33'-0"
- LEVEL 3: 22'-0"
- LEVEL 2: 11'-0"

Material and Color Specifications:

- DECORATIVE ROOF EXTENSION: COLOR: DARK GRAY
- DECORATIVE WINDOW HEADER: COLOR: DARK BROWN (TYP.)
- WINDOW AWNING - COLOR: DARK GRAY (TYP.)
- PAINTED STEEL AND METAL ROOFING
- WINDOW OVERHANG - COLOR: DARK GRAY (TYP.)
- PAINTED STEEL AND METAL ROOFING
- OVERFLOW SCUPPER (TYP.)
- COLOR: DARK GRAY
- ENTRY VESTIBULE
- PORTE COCHERE: PAINTED STEEL FRAMING - COLOR: DARK GRAY WITH METAL ROOFING - COLOR: RUST
- PAINTED STEEL COLUMNS (TYP.) - COLOR: DARK GRAY
- STAINED CONCRETE LANDSCAPE WALL - COLOR: RUST
- SITE SIGNAGE (SEE SHEET 9)

Other Details:

- SHOWN SKEWED
- PLAN
- Santa Monica Place

[illegible]

ÉLAN-SANTA MONICA PLACE
(Senior Assisted Living/Memory Care)

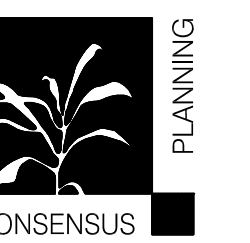
BUILDING ELEVATIONS

Prepared For:
Titan Senior Living -Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

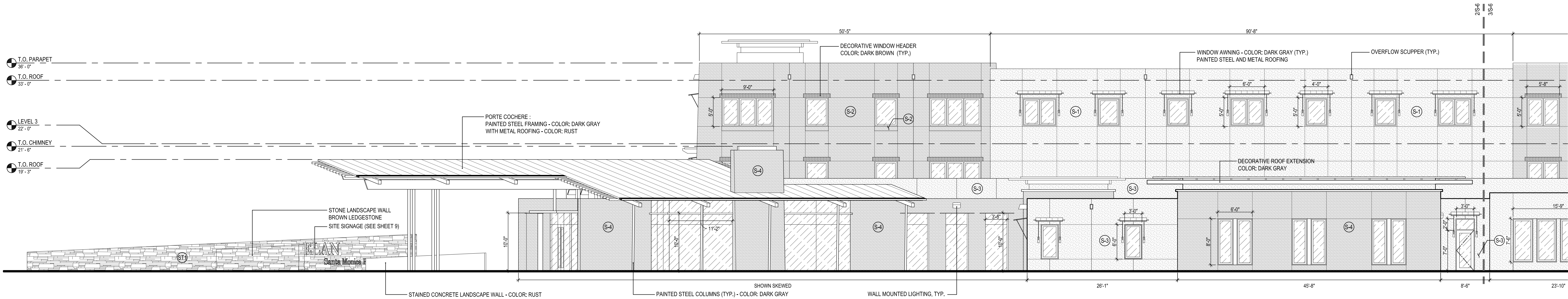
D2 Architecture
2001 North Lamar Street
Suite 450
Dallas, TX 75202



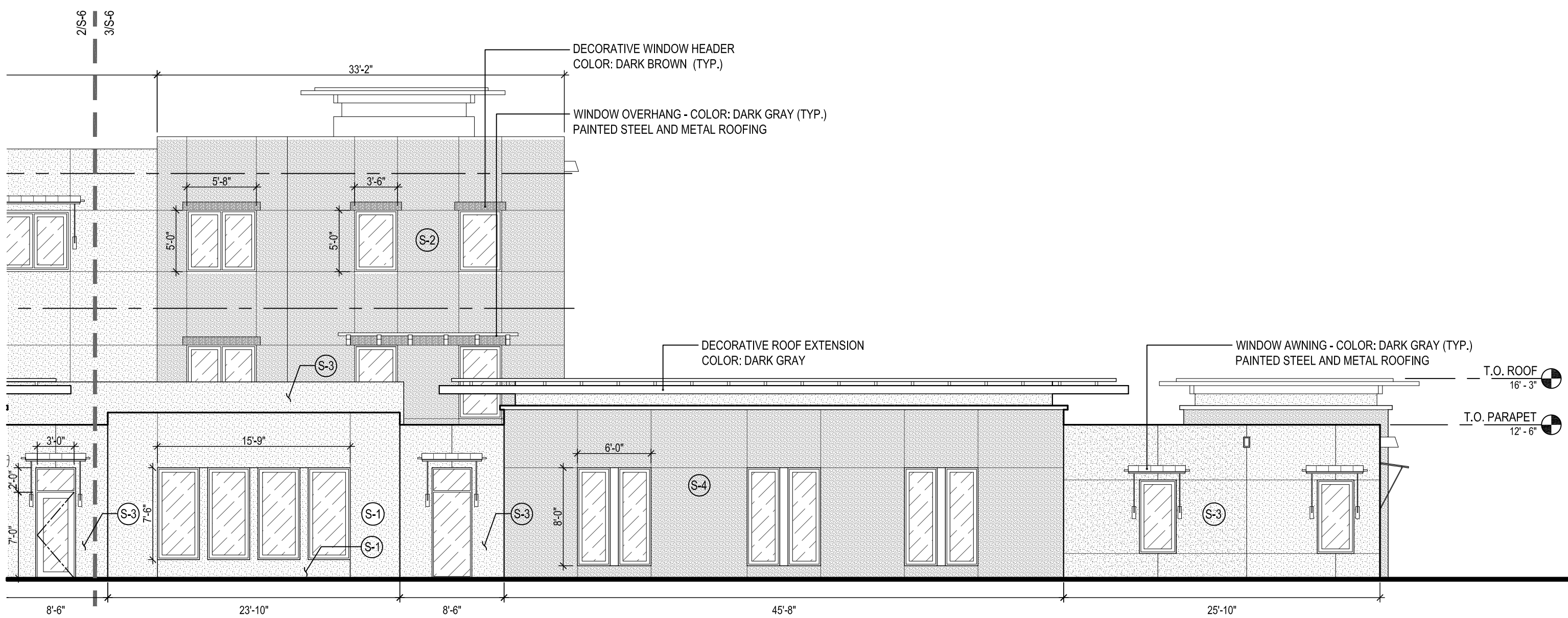


1 | EXTERIOR ELEVATION - EAST (OVERALL)
Scale: 1" = 20'

MATERIAL LEGEND	
	(S-1) EXTERIOR STUCCO FINISH - LIGHT BROWN COLOR
	(S-2) EXTERIOR STUCCO FINISH - MEDIUM ORANGE COLOR
	(S-3) EXTERIOR STUCCO FINISH - MEDIUM BROWN COLOR
	(S-4) EXTERIOR STUCCO FINISH - DARK BROWN COLOR
	(ST1) EXTERIOR STONE FINISH - MEDIUM BROWN LEDGESTONE
	(G) EXTERIOR GLAZING
NOTE: ALL OTHER MATERIALS AND BUILDING ELEMENTS ARE AS NOTED ON DRAWINGS.	



2 | EXTERIOR ELEVATION - EAST
Scale: 1/8" = 1'-0"



3 | EXTERIOR ELEVATION - EAST
Scale: 1/8" = 1'-0"

ÉLAN-SANTA MONICA PLACE (Senior Assisted Living/Memory Care)

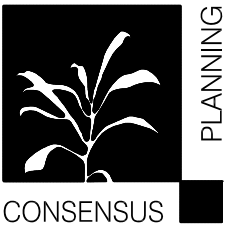
BUILDING ELEVATIONS

Prepared For:
Titan Senior Living -Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

D2 Architecture
2001 North Lamar Street
Suite 450
Dallas, TX 75202



JUNE 26, 2014

SHEET 6 OF 9

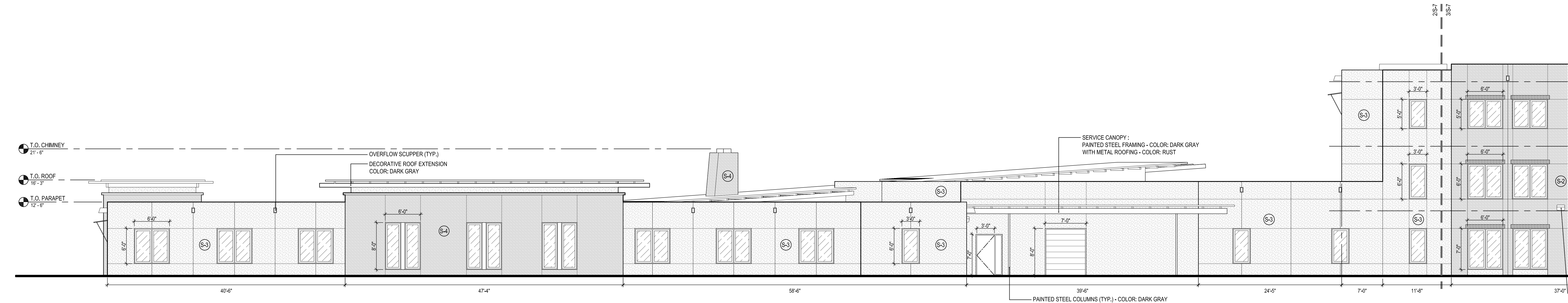
MATERIAL LEGEND

- (S-1) EXTERIOR STUCCO FINISH - LIGHT BROWN COLOR
- (S-2) EXTERIOR STUCCO FINISH - MEDIUM ORANGE COLOR
- (S-3) EXTERIOR STUCCO FINISH - MEDIUM BROWN COLOR
- (S-4) EXTERIOR STUCCO FINISH - DARK BROWN COLOR
- (ST1) EXTERIOR STONE FINISH - MEDIUM BROWN LEDGESTONE
- (G) EXTERIOR GLAZING

NOTE: ALL OTHER MATERIALS AND BUILDING ELEMENTS ARE AS NOTED ON DRAWINGS.

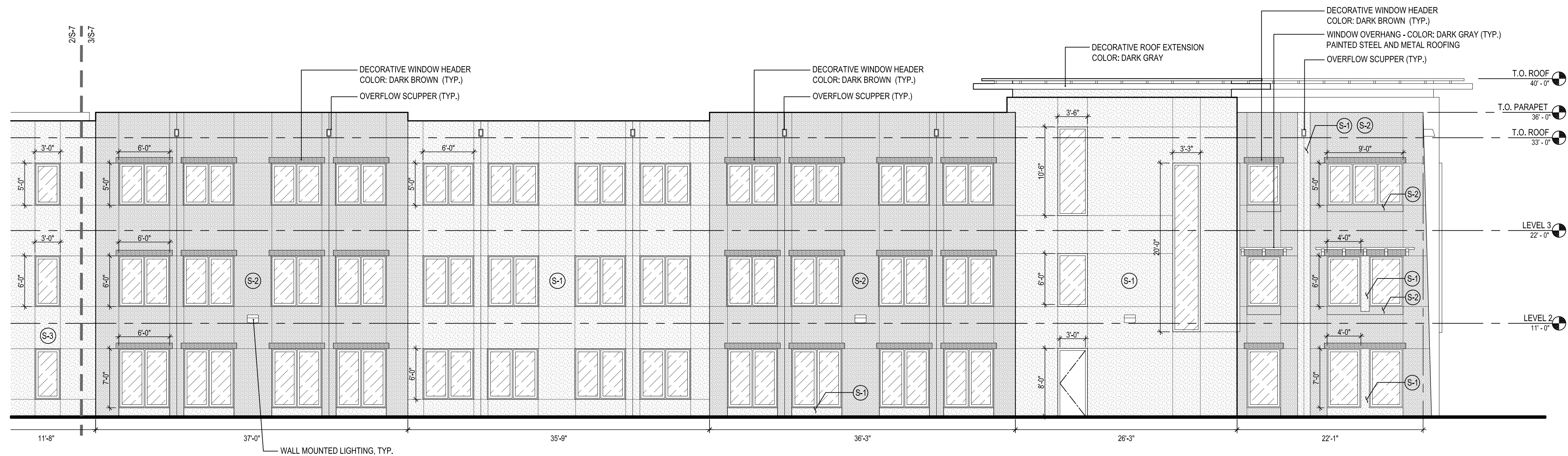
1 | EXTERIOR ELEVATION - NORTH (OVERALL)

Scale: 1" = 20'



2 | EXTERIOR ELEVATION - NORTH

Scale: 1/8" = 1'-0"



3 | EXTERIOR ELEVATION - NORTH

Scale: 1/8" = 1'-0"

ÉLAN-SANTA MONICA PLACE (Senior Assisted Living/Memory Care)

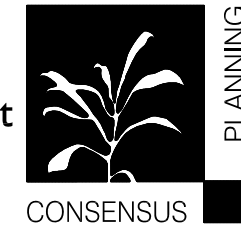
BUILDING ELEVATIONS

Prepared For:
Titan Senior Living -Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

Isacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

D2 Architecture
2001 North Lamar Street
Suite 450
Dallas, TX 75202



JUNE 26, 2014

SHEET 7 OF 9

MATERIAL LEGEND

S-1

EXTERIOR STUCCO FINISH - LIGHT BROWN COLOR

S-2

EXTERIOR STUCCO FINISH - MEDIUM ORANGE COLOR

S-3

EXTERIOR STUCCO FINISH - MEDIUM BROWN COLOR

S-4

EXTERIOR STUCCO FINISH - DARK BROWN COLOR

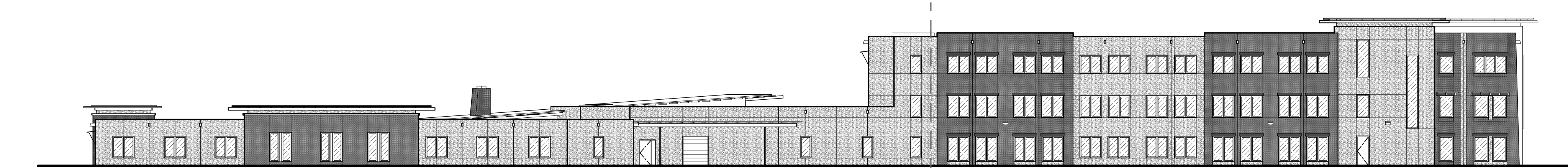
ST1

EXTERIOR STONE FINISH - MEDIUM BROWN LEDGESTONE

G

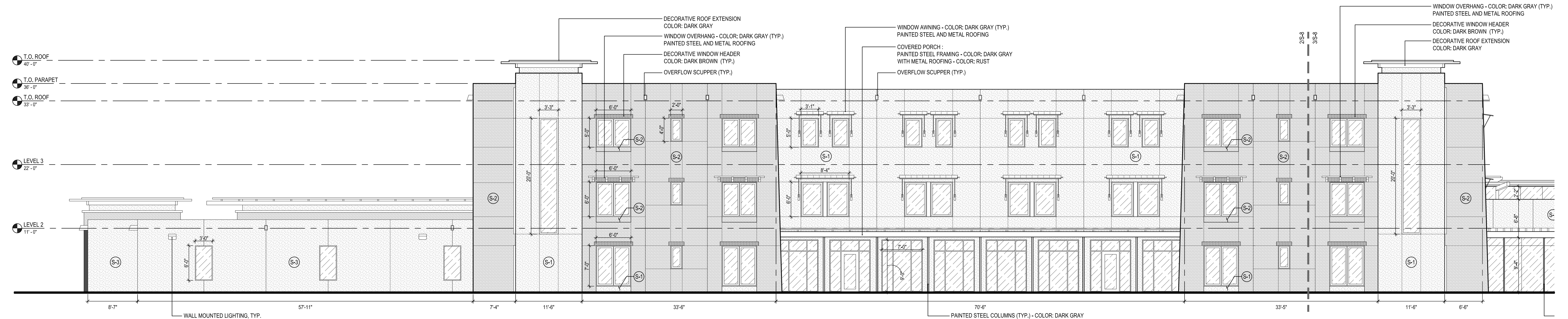
EXTERIOR GLAZING

NOTE: ALL OTHER MATERIALS AND BUILDING ELEMENTS ARE AS NOTED ON DRAWINGS.



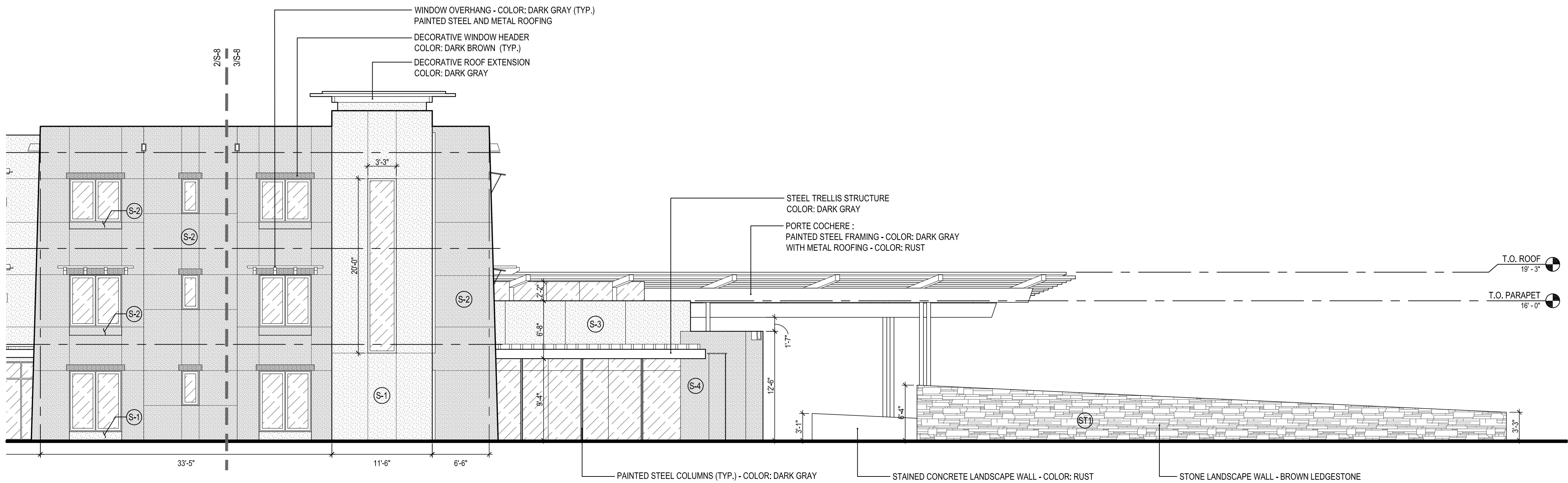
1 | EXTERIOR ELEVATION - NORTH (OVERALL)

Scale: 1" = 20'



2 | EXTERIOR ELEVATION - WEST

Scale: 1/8" = 1'-0"



3 | EXTERIOR ELEVATION - WEST

Scale: 1/8" = 1'-0"

ÉLAN-SANTA MONICA PLACE

(Senior Assisted Living/Memory Care)

BUILDING ELEVATIONS

Prepared For:
Titan Senior Living - Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

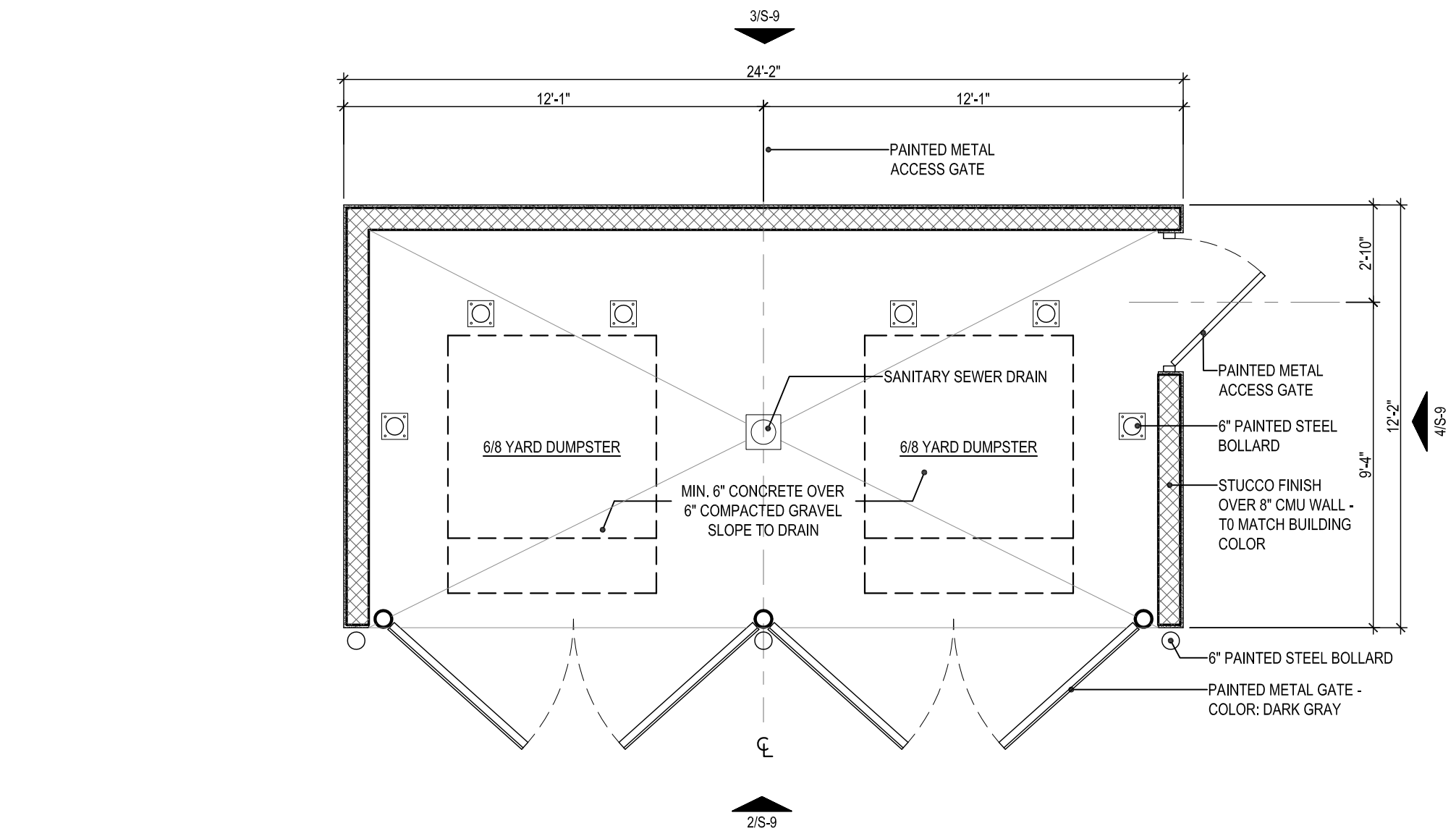
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

D2 Architecture
2001 North Lamar Street
Suite 450
Dallas, TX 75202

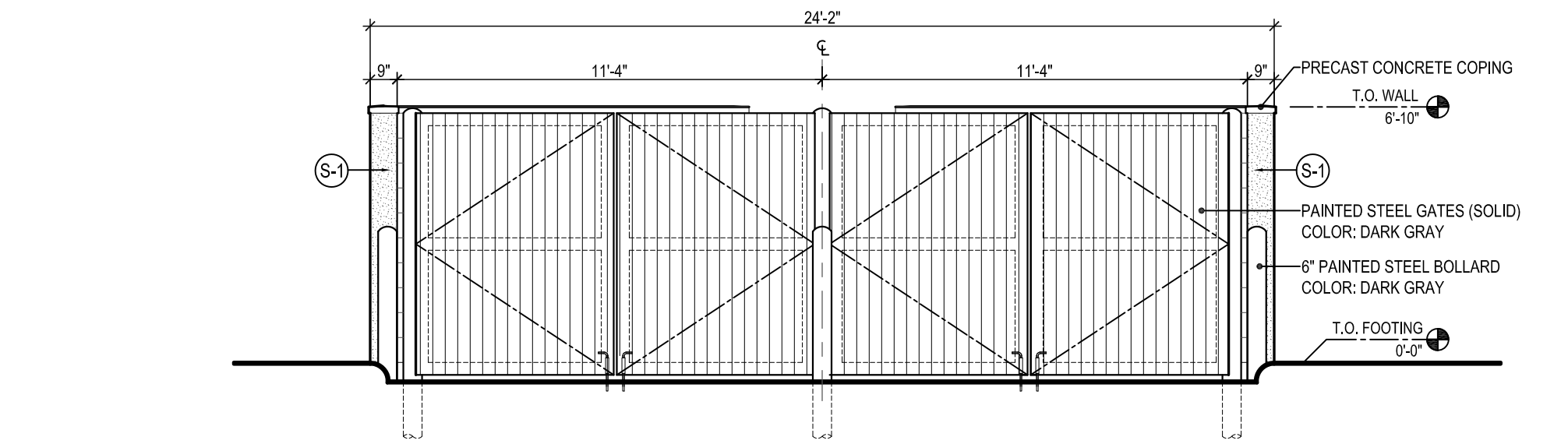


JUNE 26, 2014

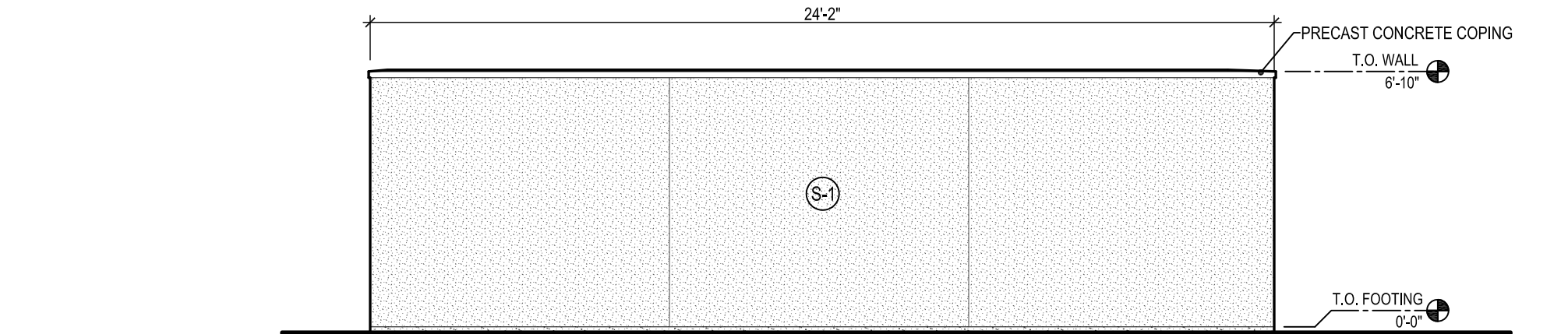
SHEET 8 OF 9



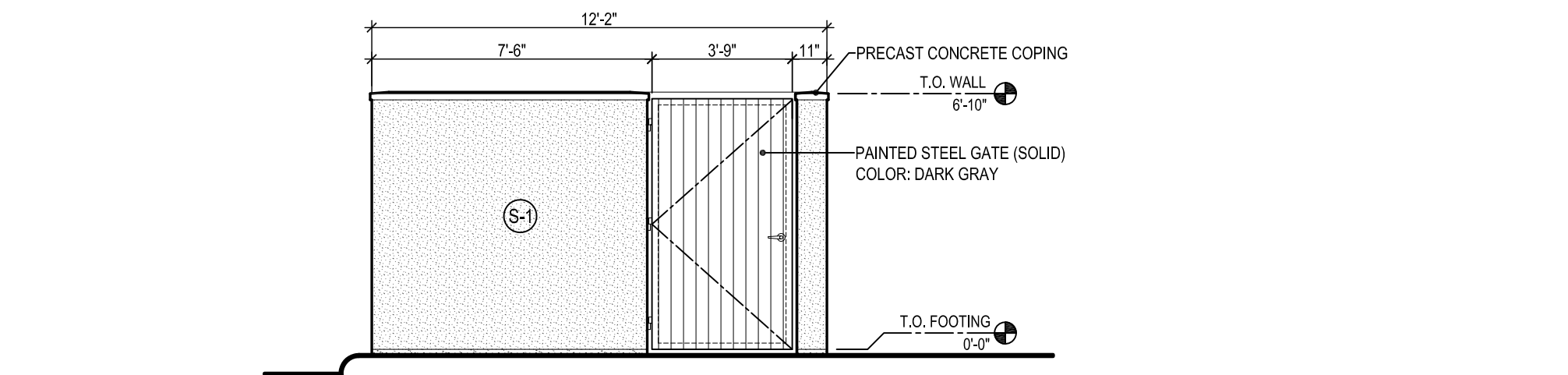
1 REFUSE ENCLOSURE PLAN
Scale: 1/4" = 1'-0"



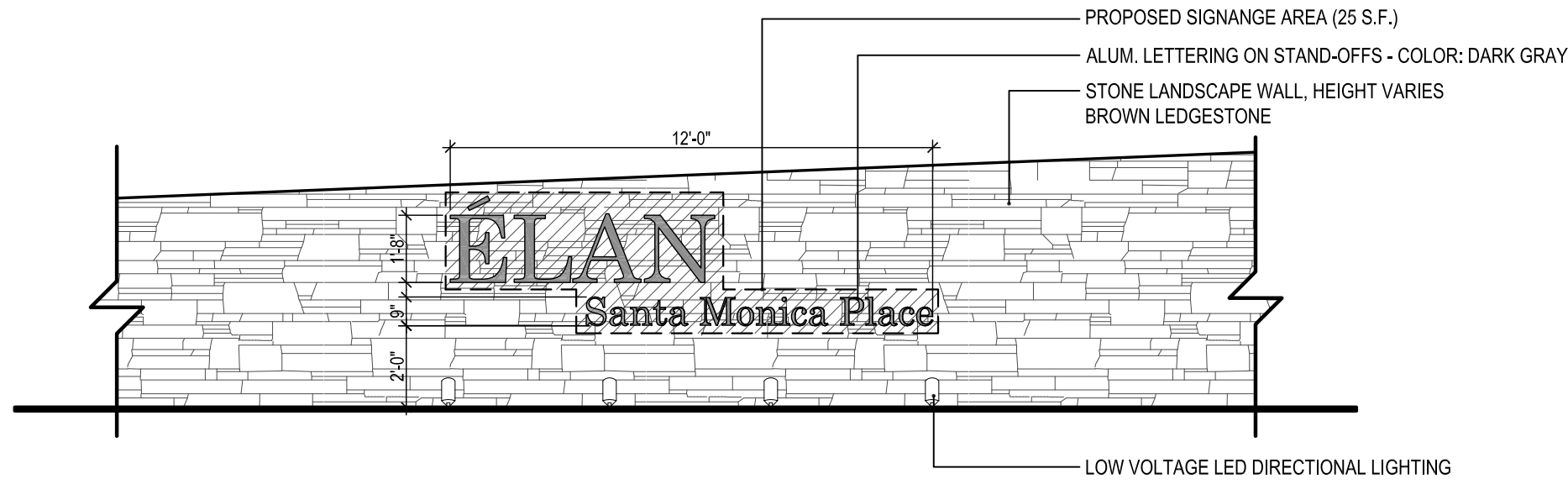
2 REFUSE ENCLOSURE FRONT ELEVATION
Scale: 1/4" = 1'-0"



3 REFUSE ENCLOSURE FRONT ELEVATION
Scale: 1/4" = 1'-0"



4 REFUSE ENCLOSURE FRONT ELEVATION
Scale: 1/4" = 1'-0"



5 SITE SIGNAGE ELEVATION
Scale: 1/4" = 1'-0"

MATERIAL LEGEND	
	(S-1) EXTERIOR STUCCO FINISH - LIGHT BROWN COLOR
	(S-2) EXTERIOR STUCCO FINISH - MEDIUM ORANGE COLOR
	(S-3) EXTERIOR STUCCO FINISH - MEDIUM BROWN COLOR
	(S-4) EXTERIOR STUCCO FINISH - DARK BROWN COLOR
	(ST1) EXTERIOR STONE FINISH - MEDIUM BROWN LEDGESTONE
	(G) EXTERIOR GLAZING
NOTE: ALL OTHER MATERIALS AND BUILDING ELEMENTS ARE AS NOTED ON DRAWINGS.	

ÉLAN-SANTA MONICA PLACE (Senior Assisted Living/Memory Care)

BUILDING ELEVATIONS

Prepared For:
Titan Senior Living -Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

D2 Architecture
2001 North Lamar Street
Suite 450
Dallas, TX 75202



JUNE 26, 2014

SHEET 9 OF 9