

**DRB CASE ACTION LOG - BLUE SHEET**

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

*Site Plans:* It is the responsibility of the **applicant/agent/developer/owner** to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the **applicant/agent/developer/owner** to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: ~~1001523~~ <sup>(010180)</sup> Application #: 14DRB-70343

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Project Name: SEC. 9 & 10, 710 N, R2E TOWN OF ATRISCO GRANT

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Agent: PNM Phone #:

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**\*\*Your request was approved on 8-8-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\***

- TRANSPORTATION: \_\_\_\_\_
- ABCWUA: \_\_\_\_\_
- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- PARKS / CIP: \_\_\_\_\_
- PLANNING (Last to sign): \_\_\_\_\_

**PLATS:**




- Planning must record this plat. Please submit the following items:
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
  - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

**ALL SITE PLANS:**



**3 copies of the approved site plan. Include all pages.**



**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

6. **Project# 1001178**  
14DRB-70342 EPC APPROVED SDP  
FOR BUILD PERMIT   MCCLAIN ARCHITECTURE AND DESIGN SERVICES agent(s) for ROY SOLOMON request(s) the above action(s) for all or a portion of Tract(s) A-1-B-1, **ACME ACRES** zoned C-3/SC, located on 3600 CUTLER AVE NE containing approximately 1.49 acre(s). (H-17) **DEFERRED TO 10/15/14.**
7. **Project# 1001523 (1010180)**  
14DRB-70343 EPC APPROVED SDP  
FOR BUILD PERMIT  PNM request(s) the above action(s) for all or a portion of Lot(s) 26 LADERA BUSINESS PARK, **SEC. 9 & 10, 710 N, R2E TOWN OF ATRISCO GRANT** zoned SU-1 FOR INDUSTRIAL, located on VISTA ORIENTE AND LA MORADA EAST OF UNSER NW containing approximately 3.12 acre(s). (H-10) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED. NOTE PROJECT # CHANGE TO #1010180.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

8. **Project# 1000809**  
14DRB-70340 EXT OF SIA FOR TEMP  
DEFR SDWK CONST  RICHARD SANCHEZ request(s) the above action(s) for all or a portion of **SUNSET FARM SUBD UNIT I & II** zoned R-1, located on SUNSET RD AND SUNSET FARMS (K-12) **A TWO YEAR EXTENSION TO THE 4-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
9. **Project# 1005403**  
14DRB-70339 EXT OF PRELIMINARY  
PLAT  APPLIED ENGINEERING AND SURVEYING INC. agent(s) for ROADRUNNER REAL ESTATE request(s) the above action(s) for all or a portion of Tract(s) 12-A1-A & 12A-1B, MRGCD MAP #35 (tbka **HACIENDA DON VILLEGAS**) zoned R-1, located on RIO GRANDE BETWEEN INDIAN SCHOOL CONTRERAS containing approximately 1.2084 acre(s). (H-13) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

#7

## INTER-OFFICE MEMO

DATE: October 6, 2014  
TO: Jack Cloud, DRB Chair  
FROM: Catalina Lehner, Senior Planner *CL*  
RE: Project #1010180, PNM La Morada Substation  
Site Development Plan for Building Permit

---

On September 11, 2014, the EPC voted to approve a site development plan for building permit for an approx. 3.2 acre site located on Vista Oriente Rd. NW, east of Unser Blvd. NW and north of Ladera Dr. NW.

Staff met with the agent, Judy Suiter, on September 25, 2014 to discuss how the Conditions of Approval are being met.

Staff reviewed the September 30, 2014 version of the site development plan for building permit and notes the following, minor issues:

Condition 5A: Add an A and a B to the wall detail to specify materials and colors (A & B correspond to the legend).


Condition 5B (explanation): The agent explained that the smooth-faced block and the split-face block will appear as different colors when the wall is built. OK.

Condition 7C: Add a different symbol for the textured, colored concrete as is crosses drive-aisles. It should not look the same as the symbol for plain sidewalk.

Note: Current Planning Staff did not check Condition #8 (Transportation Development Staff's).

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Thank you.

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Project #: ~~14DRB-70343~~ <sup>1010180</sup> Application #: 14DRB-70343

---

Project Name: SEC. 9 & 10, 710 N, R2E TOWN OF ATRISCO GRANT

---

Agent: PNM Phone #:

**\*\*Your request was approved on 10-8-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\***

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- Property Management's signature must be obtained prior to Planning Department's signature.
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**ALL SITE PLANS:**

**3** copies of the approved site plan. Include all pages.



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): LAURIE MOYE PHONE: 241-2792  
 ADDRESS: PNM - 2401 AZTEC NE, MAIL STOP Z-200 FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: Laurie.Moye@pnm.com

APPLICANT: PNM PHONE: 241-2792  
 ADDRESS: 2401 AZTEC NE, MAIL STOP Z-200 FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: Laurie.Moye@pnm.com

Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: NEW ELECTRIC SUBSTATION

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 26 LADERA BUSINESS PARK Block: \_\_\_\_\_ Unit: 1  
 Subdiv/Addn/TBKA: SEC. 9 & 10, T10 N, R2E TOWN OF ATRISCO GRANT  
 Existing Zoning: SU-1 FORT. INDUSTRIAL Proposed zoning: N/A MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): H-10-Z UPC Code: 101005905531120602

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1001523

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: N/A No. of proposed lots: N/A Total site area (acres): 3.12  
 LOCATION OF PROPERTY BY STREETS: On or Near: INTERSECTION OF VISTA ORIENTE NW & LA MORADA PL. NW  
 Between: EAST OF UNSER BLVD. NW and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 6-17-14

SIGNATURE Laurie Moye DATE \_\_\_\_\_  
 (Print Name) LAURIE MOYE Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

| Application case numbers | Action     | S.F.  | Fees            |
|--------------------------|------------|-------|-----------------|
| <u>14DRB-70343</u>       | <u>SBP</u> | _____ | \$ <u>0</u>     |
| _____                    | <u>CMF</u> | _____ | \$ <u>20.00</u> |
| _____                    | _____      | _____ | \$ _____        |
| _____                    | _____      | _____ | \$ _____        |
| _____                    | _____      | _____ | \$ _____        |
| _____                    | _____      | _____ | \$ _____        |
| Total                    |            |       | \$ <u>20.00</u> |

Hearing date Oct. 8, 2014

9-30-14  
Staff signature & Date

Project # 1001523 1010180



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAT REVIEW AND COMMENT (DRB22)**

**Maximum Size: 24" x 36"**

- \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)**

**Maximum Size: 24" x 36"**

- \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ Copy of the document delegating approval authority to the DRB
- \_\_\_ Completed Site Plan for Subdivision Checklist
- \_\_\_ Infrastructure List, if relevant to the site plan
- \_\_\_ Fee (see schedule)
- \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)**

**Maximum Size: 24" x 36"**

- \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
- \_\_\_ Solid Waste Management Department signature on Site Plan
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ Copy of the document delegating approval authority to the DRB
- \_\_\_ Infrastructure List, if relevant to the site plan
- \_\_\_ Completed Site Plan for Building Permit Checklist
- \_\_\_ Copy of Site Plan with Fire Marshal's stamp
- \_\_\_ Fee (see schedule)
- \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)**

**Maximum Size: 24" x 36"**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)**

**Maximum Size: 24" x 36"**

- \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
- \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
- \_\_\_ Letter briefly describing, explaining, and justifying the request
- \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ Infrastructure List, if relevant to the site plan
- \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- \_\_\_ Fee (see schedule)
- \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print) Jaime Moya  
 Applicant signature [Signature] date 9/30/14



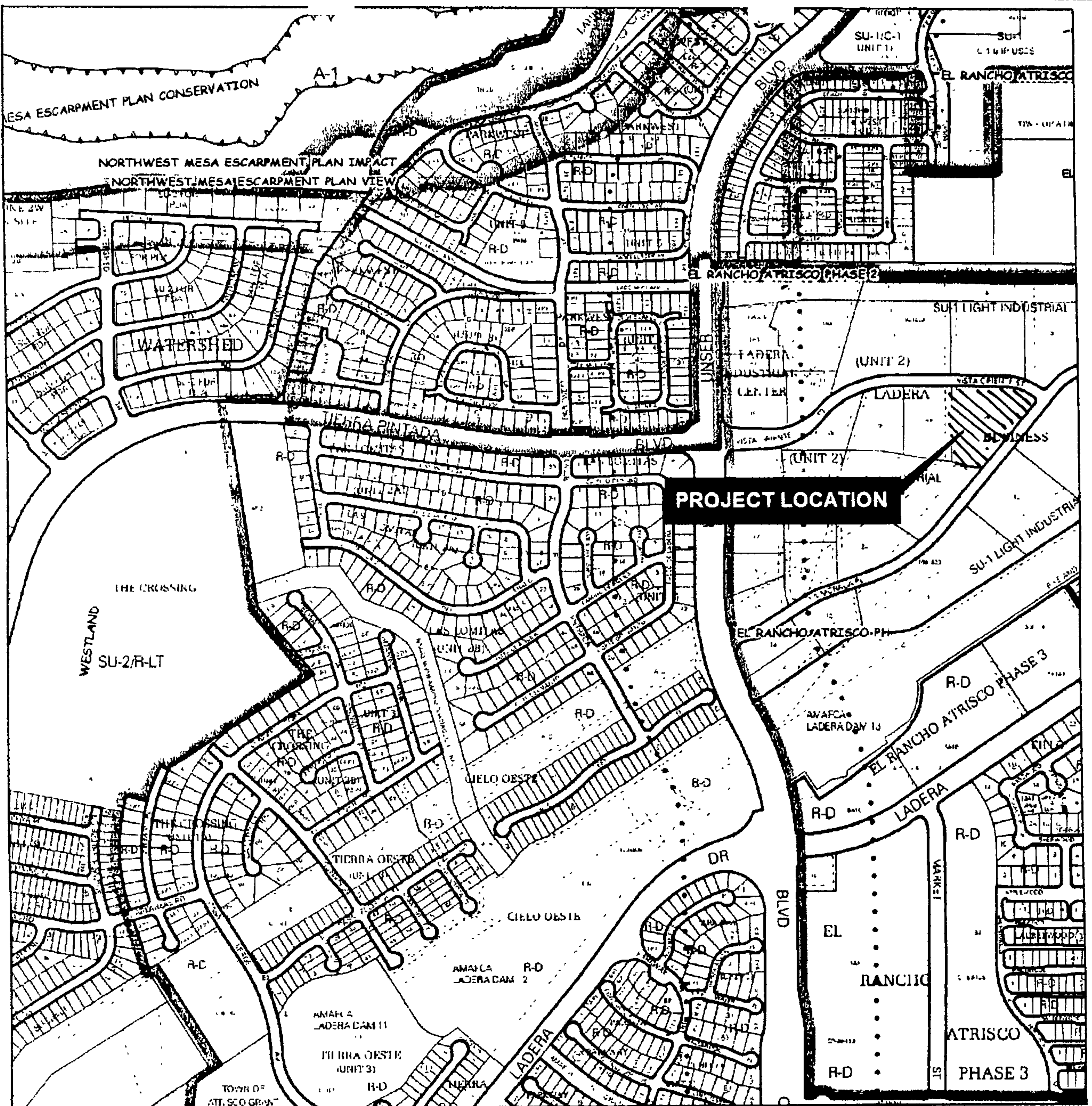
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
14 - DRB - 70343  
 \_\_\_\_\_  
 \_\_\_\_\_

Planner signature / date [Signature] 9-30-14  
 Project # 1001523





For more current information and details visit: <http://www.cabq.gov/gis>

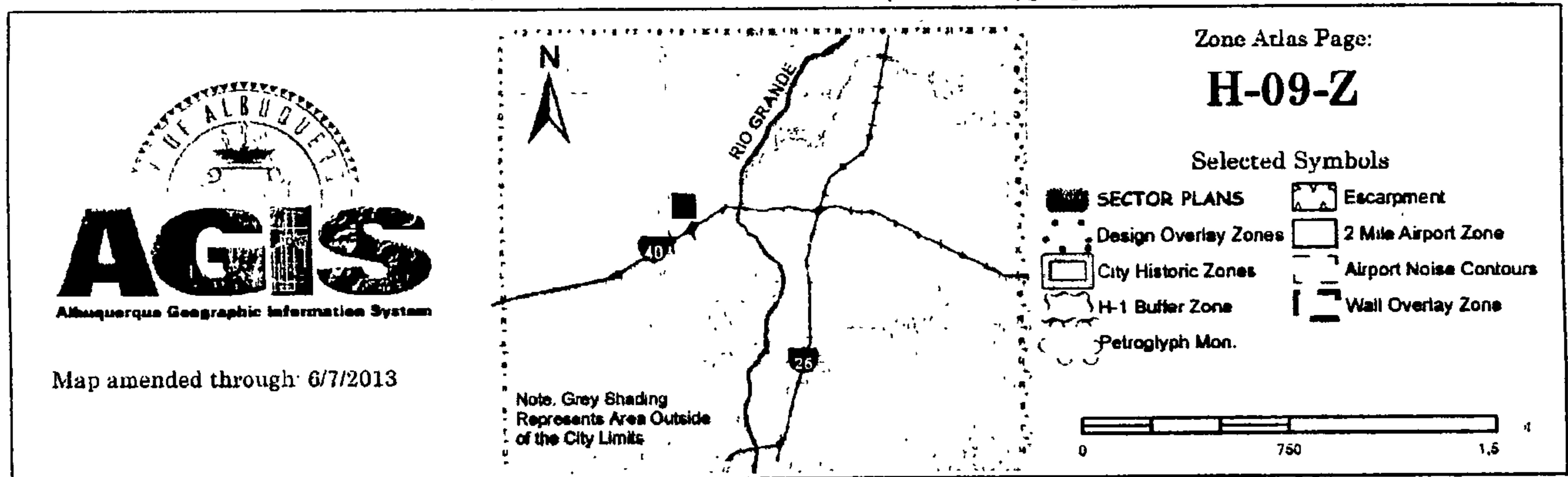


Figure 15

Zone Atlas Map







September 29, 2014

Mr. Jack Cloud  
DRB Chairman  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: DRB – Project #1010180 -14EPC-40049– La Morada Substation

Dear Mr. Cloud,

In response to EPC Conditions of Approval at the July 12, 2012 hearing, PNM's responses are below.

Condition 1:

The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

PNM Response:

*This serves as the letter from PNM specifying all modifications that have been made to the site plan since the EPC hearing including how the site plan has been modified to meet each of the EPC conditions.*

Condition 2:

Prior to application submittal to DRB, the applicant shall meet with the Staff planner to ensure that all conditions of approval are met.

PNM Response:

*A meeting with Catalina Lehner occurred September 25, 2014 to demonstrate that all conditions of approval are met.*

Condition 3:

2010 Electric Systems Facility Plan – Design Standards:

- A. A note shall be added to state that the substation will comply with NEMA noise guidelines (Design Standard #11).
- B. A note shall be added to state that the substation will be maintained graffiti free (Design Standard #15).

PNM Response:

*The following notes have been added on Version 3 Sheet 5 of 6 and Sheet 6 of 6:*

- *SUBSTATION WILL COMPLY WITH NEMA GUIDELINES.*
- *SUBSTATION WILL BE MAINTAINED GRAFFITI FREE.*

Condition 4:

Landscaping:

- A. Chitalpa shall be used instead of Desert Willow along Vista Oriente St. NW.
- B. Additional plant material shall be added to two areas along Vista Orietne St. NW: the area just east of the entry and the area about 80 feet east of the entry.
- C. Juniper shall be noted as female only allowed.

PNM Response:

- A. *The plant list in the Landscape Plan has been modified deleting Desert Willow trees and replacing them noted in the plant list as "CHITALPA TASHKENTENSIS".*
- B. *Additional plant material has been added on the Landscape Plan Version 3 in two locations: 1) immediately east of the Vista Oriente NW entry and, 2) about 80 feet east of the Vista Oriente NW entry.*
- C. *The plant list in the Landscape Plan has been modified as "JUNIPERUS SCOPULORUM, ROCKY MOUNTAIN JUNIPER (FEMALE)."*

Condition 5:

Screening & Design:

- A. A wall detail, in plan view, shall be added to the detail sheet and specify dimensions, material(s) and colors.
- B. The split-faced and smooth-faced block shall be noted as different colors so they match the color rendering.
- C. The continuous wall cap shall protrude a minimum of 2 inches [ref: 14-16-3-19(B)(2)(b)(1)(d)].

PNM Response:

- A. *A wall detail has been added to Version 3 Sheet 5 of 6 and Sheet 6 of 6 specifying wall dimensions, materials and colors.*
- B. *Photos of Pecos Gold #250 split-face and smooth-face block have been added to Version 3 Sheet 5 of 6 and Sheet 6 of 6 illustrating matching colors in the color rendering. A note has been added to Version 3 Sheets 5 and 6 that says: (SMOOTH-FACE READS AS LIGHTER COLOR)*
- C. *A note has been added to the Version 3 Sheet 5 of 6 and Sheet 6 of 6 that states, "THE CONTINUOUS WALL CAP SHALL PROTRUDE 2 INCHES."*



Condition 6:

Signage:

A note shall be added to the elevation sheets to explain that the signage is for safety purposes (though it doesn't comply with the design standards in the Ladera Business Park).

PNM Response:

*The safety sign label on Version 3 Sheet 5 of 6 and Sheet 6 of 6 has been modified as "SAFETY WARNING SIGN" and a note has been added below the safety warning sign illustration as follows: "FOR SAFETY PURPOSES AS REQUIRED BY NESC."*

Condition 7:

Minor Clarifications:

- A. Add date to the site development plan.
- B. Add a keyed note to state that the substation will connect to existing power lines.
- C. The symbol for textured, colored concrete shall be different from the symbol for standard sidewalk.
- D. Common name colors shall be specified.

PNM Response:

- A. *Current date was added to the Version 3 Site Plan. In addition, the Site Plan, Landscape Plan, and Elevation Sheets 5 of 6 and 6 of 6 have been revised and now reflect the third version in the title block as "V.3" with the current date.*
- B. *Keyed Note #13 has been modified as "PROPOSED TRANSMISSION POLE WILL CONNECT SUBSTATION TO EXISTING TRANSMISSION LINES."*
- C. *The hatching symbol for the pedestrian crossings of textured, colored concrete on the site plan sheet 1 of 6 Version 2 is shown as the exact same herringbone hatching on the details sheet 2 of 6 Version 2, just at a smaller scale. Also, Keyed Note 6 on the site plan sheet 1 of 6 Version 2 has the same verbiage as the callout on the details sheet 2 of 6 Version 2 regarding the use of colored stamped concrete where the pedestrian crossing occurs at the driveways.*
- D. *Common name colors are specified on the Elevation Sheets, Version 3 Sheet 5 of 6 and Sheet 6 of 6.*

I believe that the revised sheets and this submittal letter meet all the conditions set by the EPC approval of Project #1010180, 14EPC-40049 and await your review.

Regards,



Laurie Moyer

Coordinator Regulatory Project and Public Participation

Enclosures

# CITY OF ALBUQUERQUE



PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339

## OFFICIAL NOTIFICATION OF DECISION

September 12, 2014

Public Service Co. of NM  
Attn: Laurie Moye  
2401 Aztec NE, Mail Stop Z-200  
Albuquerque, NM 87107

**Project# 1010180**  
14EPC-40049 Site Development for Building Permit

### LEGAL DESCRIPTION:

For Tract 26 Ladera Business Park Unit 1, zoned SU-1 for Light Industrial, located at 2300 Vista Oriente Street NW, east of Unser Boulevard NW and north of Ladera Drive NW, containing approximately 3.2 acres. (H-10)  
Staff Planner: Catalina Lehner

PO Box 1293

On September 11, 2014, the Environmental Planning Commission (EPC) voted to APPROVE Project# 1010180, 14EPC-40049, a site development for building permit, based on the following Findings and subject to the following Conditions of Approval:

Albuquerque

### FINDINGS:

NM 871031. This request is for a Site Development Plan for Building Permit for Lot 26, Ladera Business Park Unit 1, an approximately 3.2 acre site located at 2300 Vista Oriente Street NW, east of Unser Boulevard NW and north of Ladera Drive NW, zoned SU-1 for Light Industrial Uses (the "subject site"). Three existing 115kV electric transmission lines run north-south over the site.

www.cabq.gov

2. The applicant proposes to develop an electric substation on the subject site. The proposed "La Morada Substation" is Project #4 on the "Description of proposed electric facilities projects for 2010- 2020" (the "Project List") in the Facility Plan: Electric System Transmission & Generation (2010- 2020) (the "2010 Electric System Facilities Plan") (see Table 5, p. 24).
3. The 2010 Electric System Facilities Plan contains "Standards for the Location and Design of Transmission and Substation Facilities" with which the proposed substation is required to comply. The 2010 Electric System Facilities Plan also specifies approval processes; requests for development of projects on the Project List are required to be reviewed through the Environmental Planning Commission (EPC) process.
4. The subject site is part of the Ladera Business Center, an approximately 117-acre industrial park controlled by a master plan (a site development plan for subdivision). The master plan contains

design standards that apply to all lots in it.

5. The subject site is located in the Developing Urban Area of the Comprehensive Plan, and within the boundaries of the West Side Strategic Plan (WSSP) and the El Rancho Atrisco Phase III Sector Development Plan (VCSDP). The 2010 Electric System Facilities Plan also applies.
6. The Albuquerque/Bernalillo County Comprehensive Plan, the West Side Strategic Plan (WSSP), the 2010 Electric System Facilities Plan, and the El Rancho Atrisco Phase III Sector Development Plan (ERASDP) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The request furthers the following, applicable Comprehensive Plan Goals and policies:
  - A. Goal- Service Provision. The proposed substation is a public service/facility planned to address the need for additional electric capacity and provide backup to three existing substations. It was included in the 2010 Electric System Facilities Plan, which is a mechanism to manage development of electric facilities.
  - B. Goal- Economic Development. The proposed electric substation would provide additional electric energy and support for existing electric energy sources, which generally support economic development.
  - C. Policy II.B.5d-neighborhood /environmental/ resources. The intensity of the proposed substation would be generally appropriate for the immediate area, where industrial and warehousing uses have developed. The proposed substation would be in the middle of the business park and therefore would have less effect on scenic and other resources than if it were located closer to nearby residential uses. Colors and materials would be generally compatible with existing development and natural surroundings. There is no known neighborhood opposition as of this writing.
  - D. Policy II.B.5e- programmed facilities/neighborhood integrity. The business park is contiguous to developed land where urban services are available. The proposed substation would utilize the existing overhead power lines. The integrity of the nearby, existing neighborhoods would not be adversely affected.
8. The request partially furthers the following, applicable Comprehensive Plan Goal and policies:
  - A. Goal- Energy Management. The proposed substation, which would help ensure an adequate supply of electrical energy and relieve load on three existing substations, is included in the project list in the 2010 Electric System Facilities Plan. Alternative and renewable energy sources, however, are not included in this request.
  - B. Policy II.B.5l-quality design/new development. The proposed substation would be a new development. Though its colors would generally be appropriate for the Plan area, the standard utility design does not lend itself to quality and innovation.



- C. Policy II.C.4a-noise/planning. Noise considerations are integrated into the planning process for electric facilities. The proposed substation cannot exceed National Electric Manufacturer's Association (NEMA) guidelines, though a note is needed on the site development plan.
9. Regarding the West Side Strategic Plan (WSSP), the request generally furthers Policy 3.33 because the proposed substation would be new development in the Atrisco Park Community.
10. The request complies with the following, applicable standards in the 2010 Electric System Facilities Plan:
- A. Location Standard #9: The subject site is not located in an Exclusion Area (a) and no resource factors have been identified that warrant special environmental considerations (b). The subject site is in Flood Zone X, which is outside the 100 year flood zone (c).
- B. Design Standard #12: The proposed substation would be located adjacent to three existing 115kV transmission lines, which would help preclude extension of new lines.
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- C. Design Standard #14: The electric equipment is a variety of heights and must connect to existing utility poles. The proposed substation is designed using the Appendix B example as a baseline, but differs with respect to wall design and structure height. These differences would make the proposed substation less imposing than the example. The wall design is more contextual and the structure height is lower.
11. The request partially complies with the following, applicable standards in the 2010 Electric System Facilities Plan:
- A. Design Standard #11: The proposed substation would be in the interior of a business park, which has developed with industrial park (IP) uses. A note is needed regarding compliance with NEMA noise guidelines.
- B. Design Standard #13: The siting of the proposed substation would not take advantage of existing vegetation, which is too short to help buffer it. The subject site's topography is not sloped sufficiently to be a resource for screening/visual mitigation purposes. The standard wall would be provided, however, and the site is designed according to the landscape guidelines in Appendix C and the design standards for the Ladera Business Park.
- C. Design Standard #15: The proposed substation would be standard PNM design. Landscaping regulations would be met and the Water Conservation Ordinance adhered to, though maintenance of graffiti-free conditions needs to be addressed.
12. The El Rancho Atrisco Phase III Sector Development Plan (ERASDP3) provides a general guideline for the development of the area north of the flood management system, noting that the presence of easements seems to limit land uses to light industrial and commercial development. The Ladera Business Park has developed in this area. An electric substation in this area is generally consistent with the Plan.

13. With respect to the Design Standards for the Ladera Business Park, the request:
  - A. Complies with the two, applicable landscaping standards because an approximately 60/40 deciduous/evergreen mixture of trees is proposed and an irrigation system is proposed.
  - B. Does not comply with standards regarding screening ground-mounted equipment from public view and not extending equipment above the screen wall.
  - C. Does not comply with the standard stating that each business is allowed one sign per façade; more than one safety sign is proposed on three elevations of the perimeter wall.
14. Conditions of approval are recommended to ensure compliance with the design standards in the 2010 Electric System Facilities Plan and, as applicable, in the Ladera Business Park and to provide clarification.
15. The affected neighborhood organizations are the Ladera West Neighborhood Association (LWNA) and the Westside Coalition of NAs, which were notified as required. A facilitated meeting was neither recommended nor held. As of this writing, there is no known neighborhood or other opposition and Staff has not received any correspondence.

#### CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the Staff planner to ensure that all conditions of approval are met.
3. 2010 Electric Systems Facility Plan- Design Standards:
  - A. A note shall be added to state that the substation will comply with NEMA noise guidelines (Design Standard #11).
  - B. A note shall be added to state that the substation will be maintained graffiti free (Design Standard #15).
4. Landscaping:
  - A. Chitalpa shall be used instead of Desert willow Along Vista Oriente St. NW.
  - B. Additional plant material shall be added to two areas along Vista Oriente St. NW: the area just east of the entry and the area about 80 feet east of the entry.

C. Juniper shall be noted as female only allowed.

5. Screening & Design:

- A. A wall detail, in plan view, shall be added to the detail sheet and specify dimensions, material(s) and colors.
- B. The split-faced and smooth-faced block shall be noted as different colors so they match the color rendering.
- C. The continuous wall cap shall protrude a minimum of 2 inches [ref: 14-16-3-19(B)(2)(b)(1)(d)].

6. Signage:

A note shall be added to the elevations sheets to explain that the signage is for safety purposes (though it doesn't comply with the design standards in the Ladera Business Park).

7. Minor Clarifications:

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- A. Add date to site development plan.
- B. Add a keyed note to state that the substation will connect to existing power lines.
- C. The symbol for textured, colored concrete shall be different from the symbol for standard sidewalk.
- D. Common name colors shall be specified.

8. The following condition from Transportation Development Staff shall be met:

The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB). PNM is fully aware of its responsibility at the DRB, and will request a list of improvements.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **September 26, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).



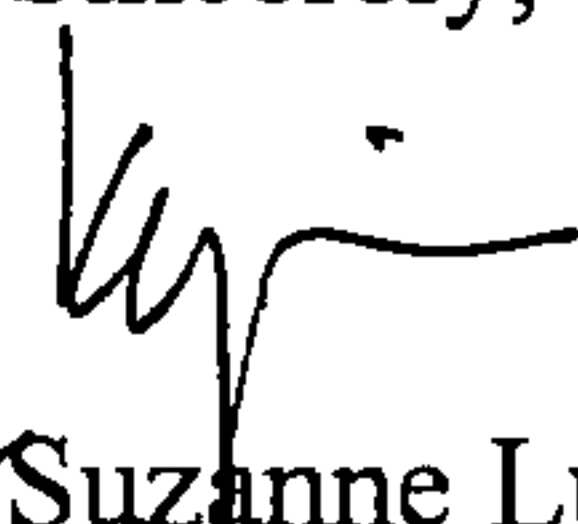
ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

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DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

  
for Suzanne Lubar  
Planning Director

SL/CLL

cc: Laurie Moye, PNM, Public Participation & Regulatory Relations, 2401 Aztec Avenue NE, Mail Stop Z-200, Albuquerque, NM 87107  
Steven Collins, 7517 Vista Alegre NW, Albuquerque, NM 87120  
Sheriesse McCannon, 2808 El Tesoro Escondido NW, Albuquerque, NM 87120  
Jerry Worrall, 1039 Pinatubo Pl. NW, Albuquerque, NM 87120  
Harry Hendriksen, 10592 Rio Del Sol Ct. NW, Albuquerque, NM 87114

PROJECT #

1001523

OCTOBER 8, 2014

SEB