



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

June 3, 2015

**Project# 1010181**

15DRB-70210 EPC APPROVED SDP FOR BUILD PERMIT

15DRB-70211 EPC APPROVED SDP FOR SUBDIVISION

15DRB-70200 SIDEWALK VARIANCE

PUBLIC SERVICE COMPANY OF NEW MEXICO request(s) the above action(s) for all or a portion of Lot(s) D, Block(s) D, **AMERICAN SQUARE** zoned C-2, located on 2300 RICHMOND DR NE containing approximately 5.3158 acre(s). (H-16) [*Deferred from 4/8/15, 5/6/15, 5/13/15, 5/20/15, 5/27/15*]

At the June 3, 2015 Development Review Board meeting, the site development plan for building permit was approved with final sign-off delegated to City Engineer for a recorded subdivision improvements agreement (SIA) and to Planning. The site development plan for subdivision was approved. A sidewalk variance was approved as shown on exhibit in the planning file.

If you wish to appeal this decision, you must do so by June 18, 2015 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, DRB Chair

# DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet ***must*** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

**Site Plans:** It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

**Project# 1010181 - 15DRB-70211 EPC APPROVED SDP FOR SUBDIVISION**

**NAME:** AMERICAN SQUARE

**AGENT:** PUBLIC SERVICE COMPANY OF NEW MEXICO

\*\*Your request was approved on 6-7-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:\*\*

**Transportation:**

---

---

**ABCWUA:**

---

---

**City Engineer:**

---

---

**Parks and Recreation :**

---

---

**Planning:**

---

---

**PLATS:**

**Planning must record this plat. Please submit the following items:**

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:**

-Tax printout from the County Assessor.

-County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

**ALL SITE PLANS:**

3 copies of the approved site plan. Include all pages.



*Handwritten signature*

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

*Site Plans:* It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1010181

Application #: 14DRB-70360

Project Name: AMERICAN SQUARE

Agent: PNM

Phone #:

\*\*Your request was approved on 6-3-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\*

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: Recorded PA

PARKS / CIP:

PLANNING (Last to sign):

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.



**DEVELOPMENT REVIEW BOARD**

**Agenda**

**Plaza del Sol Building  
Basement Hearing Room**


**October 29, 2014**

**MEMBERS:**

**Jack Cloud..... DRB Chair  
Kristal Metro..... Transportation Development  
Allan Porter..... ABCWUA  
Curtis Cherne.....City Engineer  
Carol Dumont..... Parks & Recreation**

*Angela Gomez ~ Administrative Assistant*


**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

- 1. Project# 1010181**  
14DRB-70360 EPC APPROVED SDP  
FOR BUILD PERMIT  
14DRB-70373 EPC APPROVED SDP  
FOR SUBDIVISION   
PNM request(s) the above action(s) for all or a portion of  
Block D, **AMERICAN SQUARE** zoned C-2, located on  
2300 RICHMOND NE BETWEEN MENAUL &  
AMERICAN DR containing approximately 5.3158 acre(s).  
**(H-16) INDEFINITELY DEFERRED FOR SIDEWALK  
RESOLUTION.**

# INTER-OFFICE MEMO

DATE: October 27, 2014

TO: Jack Cloud, DRB Chair

FROM: Catalina Lehner, Senior Planner 

RE: Project #1010181, PNM Richmond Switching Station  
Site Development Plan for Building Permit

---

On October 9, 2014, the EPC voted to approve a site development plan for subdivision amendment and a site development plan for building permit for an approx. 5.4 acre portion of a larger, approx. 55 acre site located at the NW corner of Carlisle and Menaul Blvds.

Staff met with the agents, Laurie Moye and Judy Suiter, on October 16, 2014 to discuss how the Conditions of Approval are being met.

Staff reviewed the October 9, 2014 version (v.3) of the site development plan for building permit and notes the following, minor issues:

Sheet 1:

Please re-instate keyed note 17, both the written note and the two instances where it is used to label equipment inside the switching station wall.

Minor Notes:

- A. The set I reviewed had two copies of Sheet 6 (one may be missing from another set).
- B. For the last sheet (exhibit), please correct the spelling of "proposed."


Note: Current Planning Staff did not check Condition #9 (Transportation Development Staff's).

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Thank you.

# INTER-OFFICE MEMO

DATE: October 27, 2014

TO: Jack Cloud, DRB Chair

FROM: Catalina Lehner, Senior Planner 

RE: Project #1010181, PNM Richmond Switching Station  
Site Development Plan for Building Permit

---

On October 9, 2014, the EPC voted to approve a site development plan for subdivision amendment and a site development plan for building permit for an approx. 5.4 acre portion of a larger, approx. 55 acre site located at the NW corner of Carlisle and Menaul Blvds.

Staff met with the agents, Laurie Moye and Judy Suiter, on October 16, 2014 to discuss how the Conditions of Approval are being met.

Staff reviewed the October 9, 2014 version (v.3) of the site development plan for building permit and notes the following, minor issues:

Sheet 1:

Please re-instate keyed note 17, both the written note and the two instances where it is used to label equipment inside the switching station wall.

Minor Notes:

- A. The set I reviewed had two copies of Sheet 6 (one may be missing from another set).
- B. For the last sheet (exhibit), please correct the spelling of "proposed."

Note: Current Planning Staff did not check Condition #9 (Transportation Development Staff's).

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Thank you.

# DRB CASE ACTION LOG - BLUE SHEET

Complete  
7-1-15  
VS

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

**Site Plans:** It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

**Project# 1010181 - 15DRB-70211 EPC APPROVED SDP FOR SUBDIVISION**

**NAME:** AMERICAN SQUARE  
**AGENT:** PUBLIC SERVICE COMPANY OF NEW MEXICO

\*\*Your request was approved on 6-30-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:\*\*

**Transportation:**

---

---

**ABCWUA:**

---

---

**City Engineer:**

---

---

**Parks and Recreation :**

---

---

**Planning:**

---

---

**PLATS:**

**Planning must record this plat. Please submit the following items:**

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:**

-Tax printout from the County Assessor.

-County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

**ALL SITE PLANS:**

3 copies of the approved site plan. Include all pages.

+

pdb







Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- V**  Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P**  Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- D**  Street Name Change (Local & Collector)
- L A** **APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.  
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): LAURIE MOYE PHONE: 241-2792  
 ADDRESS: PNM - 2401 AZTEC NE, MAIL STOP Z-200 FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: Laurie.Moye@pnm.com  
 APPLICANT: PUBLIC SERVICE COMPANY OF NEW MEXICO PHONE: 241-2792  
 ADDRESS: 2401 AZTEC NE, MAIL STOP Z-200 FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: Laurie.Moye@pnm.com  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

**DESCRIPTION OF REQUEST:** NEW ELECTRIC SWITCHING STATION

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. D Block: D Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: Plat for American Square Construction  
 Existing Zoning: C-2 Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): H-16-Z UPC Code: 101605943835210108

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): 1010181

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? YES  
 No. of existing lots: N/A No. of proposed lots: N/A Total site area (acres): 5.3158  
 LOCATION OF PROPERTY BY STREETS: On or Near: 2300 Richmond NE  
 Between: \_\_\_\_\_ and \_\_\_\_\_  
 Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 7-22-14

**SIGNATURE**

Laurie Moye agent PNM DATE 5/26/15  
 (Print Name) Laurie Moye Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 11/2014

**INTERNAL ROUTING**

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

15 DRB-70210  
70211

Action

SBP  
SPS  
CMF

S.F.

\_\_\_\_\_

Fees

\$ 0  
\$ 0  
\$ 20.00  
\$ \_\_\_\_\_  
\$ \_\_\_\_\_  
Total  
\$ 20.00

Hearing date June 3, 2015

5-26-15  
Staff signature & Date

Project # 1010181

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
  - \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
  - \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Completed Site Plan for Subdivision Checklist
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
  - \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
  - \_\_\_ Solid Waste Management Department signature on Site Plan
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist
  - \_\_\_ Copy of Site Plan with Fire Marshal's stamp
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
  - \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application


Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Solid Waste Management Department signature on Site Plan for Building Permit
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Laurie Moyer agent PSM  
 Applicant name (print)  
Laurie Moyer 5/26/15  
 Applicant signature / date

  
 Form revised October 2007  
[Signature] 5-26-15  
 Planner signature / date  
 Project # 1010181

<input checked="" type="checkbox"/> Checklists complete	Application case numbers
<input checked="" type="checkbox"/> Fees collected	<u>15 - DRB - 70210</u>
<input checked="" type="checkbox"/> Case #s assigned	<u>- - - 70211</u>
<input checked="" type="checkbox"/> Related #s listed	<u>- - - - -</u>



May 26, 2015

Mr. Jack Cloud  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: DRB Comment Responses – Project #1010181 – Richmond Switching Station

Dear Mr. Cloud,

PNM is responding to the Development Review Board (DRB) comments that were made at the October 29, 2014 hearing with the enclosed revised information. The Site Plan has been modified to meet each of the EPC conditions. With this information, all conditions of final DRB approval are met.

**Hydrology Development Section/Engineering**

1. Approximately 1,200 linear feet of sidewalk, drive entrances and ramps are required to be built per the Work Order process. An approved infrastructure list and financial guarantee or built infrastructure is required for signature.

**Response:**

*The infrastructure list and financial guarantee for construction of the sidewalk is enclosed.*

**Transportation Section**

1. Provide an exhibit showing the location of the sidewalk and defining the distance from back of curb to the property line. Right-of-way dedication may be required.

**Response:**

*The revised exhibit showing the location of the sidewalk and defining the distance from back of curb to the property line is enclosed. A sidewalk variance application has been submitted to the City of Albuquerque to address this comment.*

2. Proposed public sidewalk must have a landscaping buffer between the sidewalk and the curb.

**Response:**

*A sidewalk variance application has been submitted to the City of Albuquerque to address this comment.*

3. What is the status of the platting action and the Site Plan for Subdivision?

Response:

*The amendment for the site plan for subdivision is included in the DRB packet. No replatting is required.*

4. An infrastructure list is needed for the proposed sidewalk; a work order will be required.

Response:

*The infrastructure list and financial guarantee for construction of the sidewalk is enclosed.*

**Planning Section**

1. Sheet 1: Please re-instate keyed note 17, both the written note and the two instances where it is used to label equipment inside the switching station wall.

Response:

*Keyed Note 17 and the two instances where it is identified on the plan have been reinstated.*

2. Minor Notes

- a. The set I reviewed had two copies of Sheet 6 (one may be missing from another set).

Response:

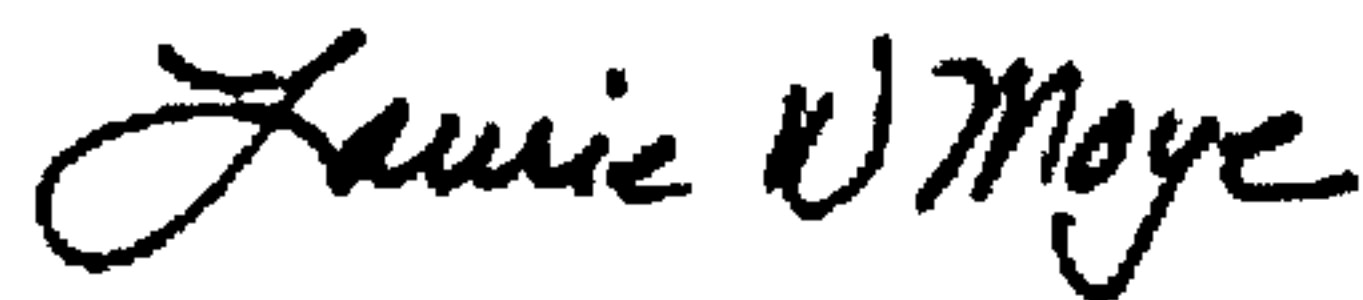
*All sheets are included in the proper order in this submittal.*

- b. For the last sheet (exhibit), please correct the spelling of "proposed."

Response:

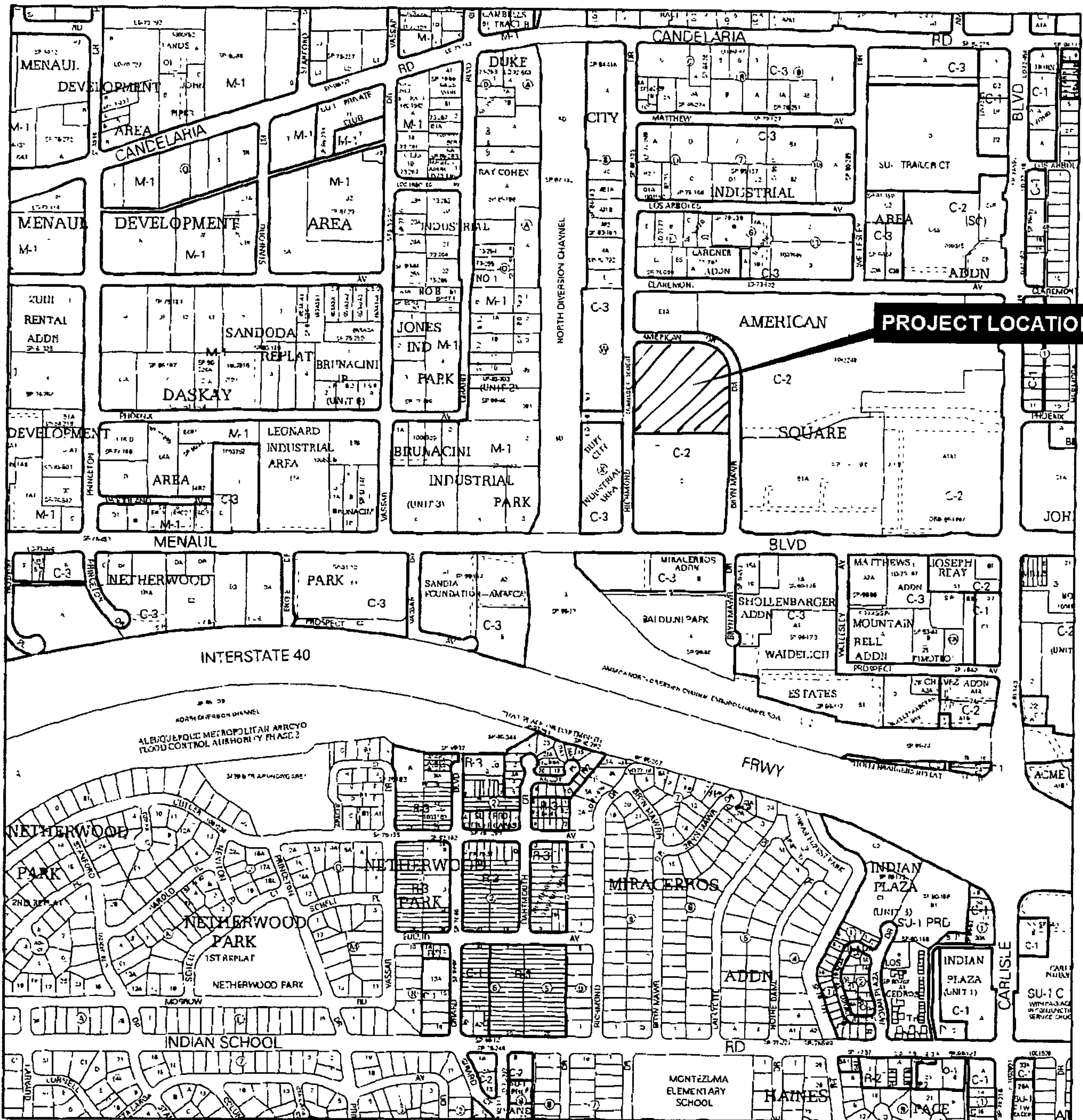
*The enclosed sheet has been revised to correct the spelling of the "proposed."*

Regards,



Laurie Moyer  
Coordinator Regulatory Project and Public Participation

Enclosures



For more current information and details visit: <http://www.cabq.gov/gis>

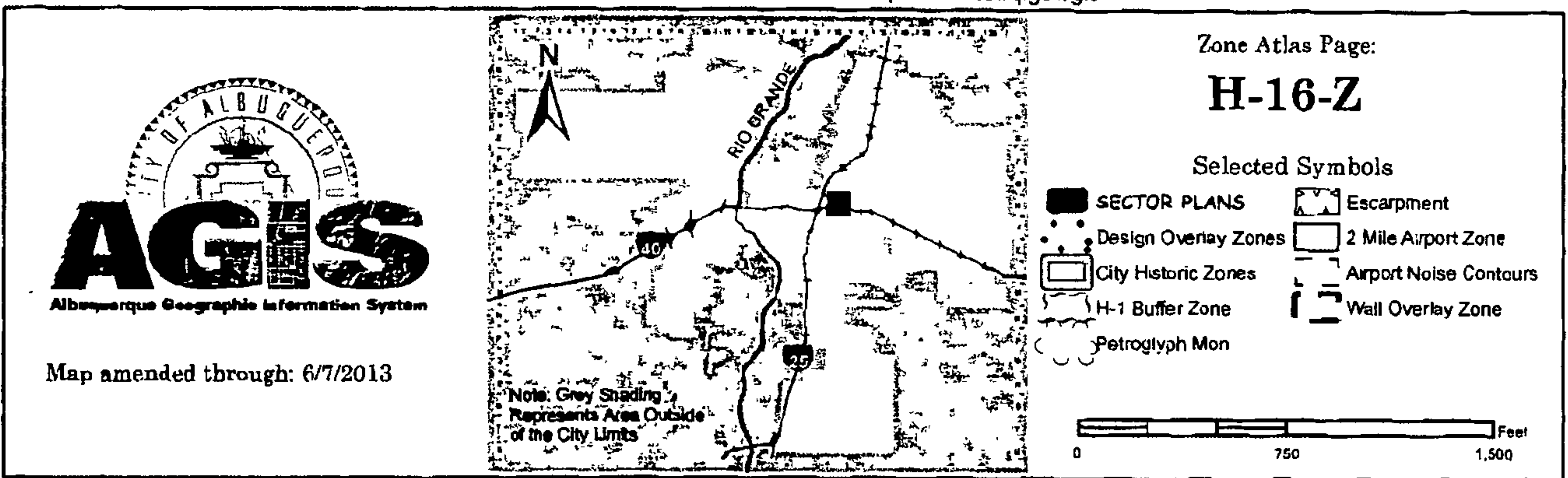
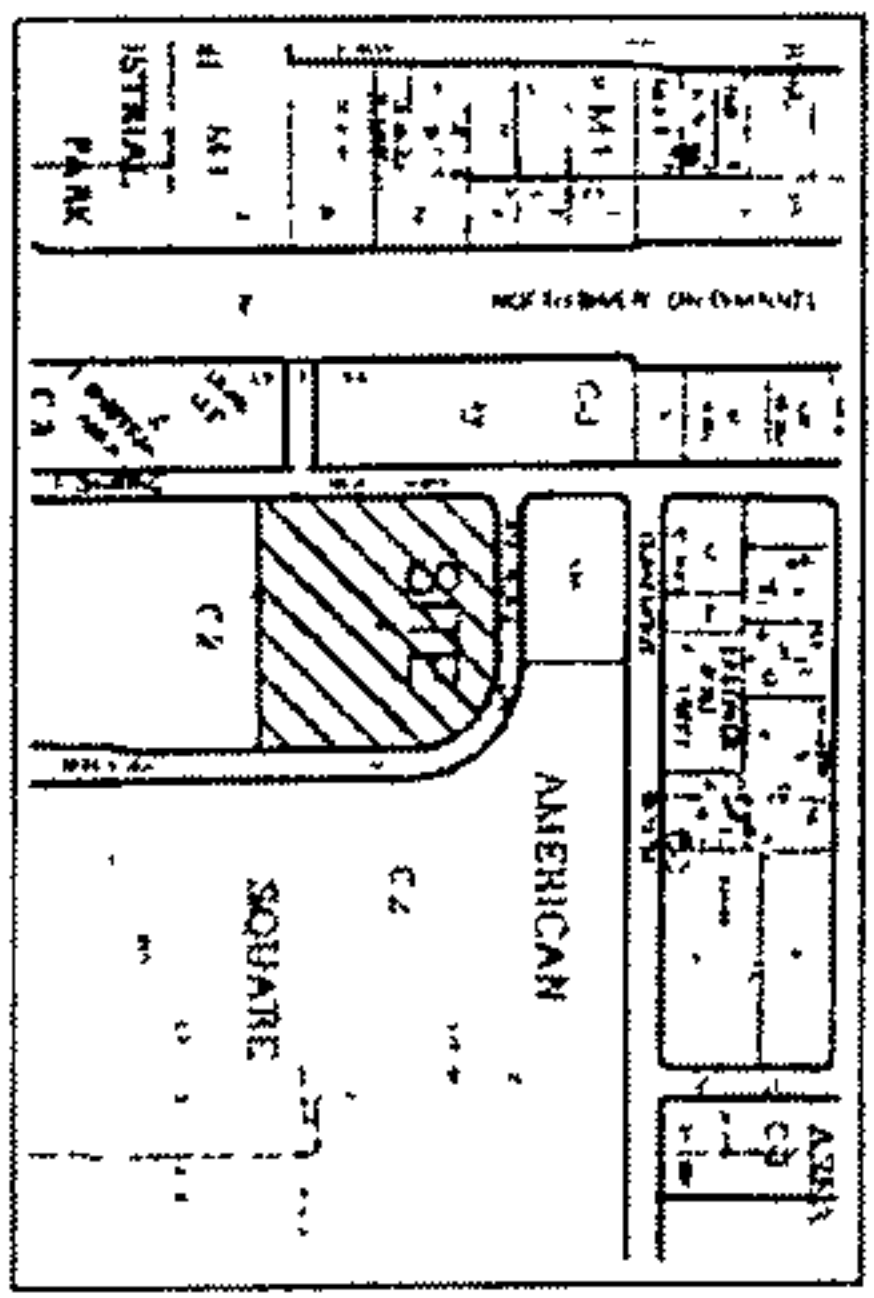


Figure 19

Richmond Switching Station  
Zone Atlas Map





PROPERTY MAP  
ZONE CLASS PAGE 14-49-2

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_  
 PREPARED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

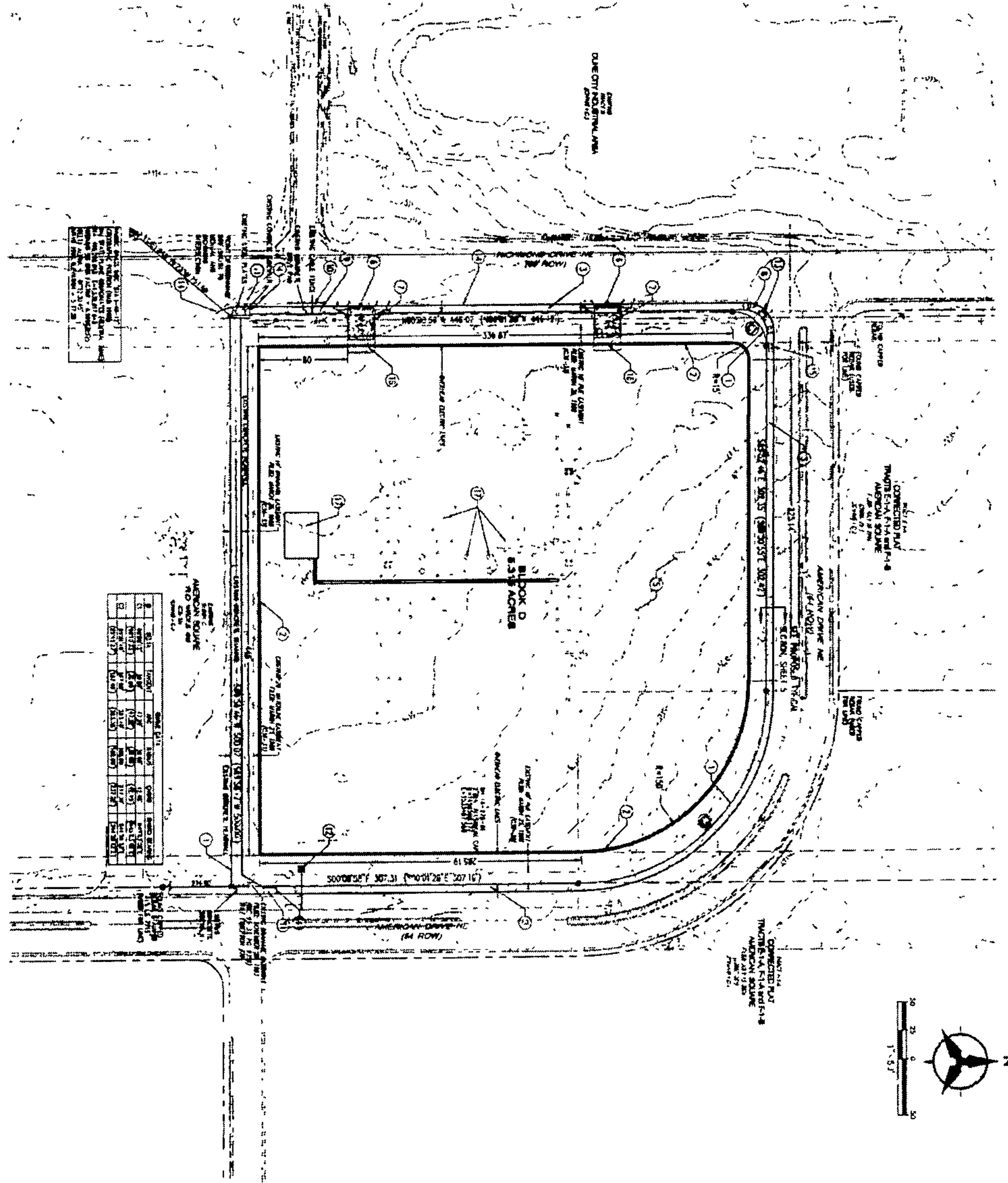
ALL DIMENSIONS SHOWN FOR THIS PROJECT ARE BASED ON THE SURVEY DATA PROVIDED BY THE CLIENT. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE SURVEY DATA. THE ENGINEER HAS CONDUCTED A VISUAL CHECK OF THE SURVEY DATA AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT SITE.

**GENERAL NOTES**

- ALL DIMENSIONS SHOWN FOR THIS PROJECT ARE BASED ON THE SURVEY DATA PROVIDED BY THE CLIENT. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE SURVEY DATA. THE ENGINEER HAS CONDUCTED A VISUAL CHECK OF THE SURVEY DATA AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT SITE.
- THE SITE IS TO BE USED FOR THE PURPOSES DESCRIBED IN THE ZONING ORDINANCE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- THE LOCATION OF EXISTING UTILITIES IS SHOWN ON THIS PLAN. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE EXISTING STATION WALL IS TO BE DEMOLISHED AND A NEW STATION WALL IS TO BE CONSTRUCTED AS SHOWN ON THIS PLAN.

**SITE SUMMARY**

SCHEMATIC: EXISTING C-2  
 PROPOSED USE: COMMERCIAL OFFICE BUILDING  
 PROJECT LOCATION: 5311 ACRES  
 PARCEL SIZE: 5311 ACRES  
 APPLICABLE PLANS: AMERICAN SQUARE SITE DEVELOPMENT PLAN FOR 5311 ACRES



NO.	DATE	BY	REVISION
1	05/21/2015	JK	ISSUED FOR PERMIT
2	05/21/2015	JK	REVISED PER COMMENTS
3	05/21/2015	JK	REVISED PER COMMENTS
4	05/21/2015	JK	REVISED PER COMMENTS
5	05/21/2015	JK	REVISED PER COMMENTS
6	05/21/2015	JK	REVISED PER COMMENTS
7	05/21/2015	JK	REVISED PER COMMENTS
8	05/21/2015	JK	REVISED PER COMMENTS
9	05/21/2015	JK	REVISED PER COMMENTS
10	05/21/2015	JK	REVISED PER COMMENTS
11	05/21/2015	JK	REVISED PER COMMENTS
12	05/21/2015	JK	REVISED PER COMMENTS
13	05/21/2015	JK	REVISED PER COMMENTS
14	05/21/2015	JK	REVISED PER COMMENTS
15	05/21/2015	JK	REVISED PER COMMENTS
16	05/21/2015	JK	REVISED PER COMMENTS
17	05/21/2015	JK	REVISED PER COMMENTS

- REVISIONS**
1. LINDING PROPERTY LINE
  2. FINAL LOT CENTER LINE PER PERMITS
  3. REVISIONS PER SHEETS 3 AND 4
  4. REVISIONS PER SHEET 5
  5. REVISIONS PER SHEET 6
  6. REVISIONS PER SHEET 7
  7. REVISIONS PER SHEET 8
  8. REVISIONS PER SHEET 9
  9. REVISIONS PER SHEET 10
  10. REVISIONS PER SHEET 11
  11. REVISIONS PER SHEET 12
  12. REVISIONS PER SHEET 13
  13. REVISIONS PER SHEET 14
  14. REVISIONS PER SHEET 15
  15. REVISIONS PER SHEET 16
  16. REVISIONS PER SHEET 17
  17. REVISIONS PER SHEET 18

**Bohannon & Huston**  
 ARCHITECTS  
 500 877 5333

**PROPRIETARY STATEMENT**

THIS DOCUMENT IS THE PROPERTY OF PNM PUBLIC SERVICE COMPANY. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PNM PUBLIC SERVICE COMPANY. THE ENGINEER HAS CONDUCTED A VISUAL CHECK OF THE SURVEY DATA AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT SITE.

**PNM PUBLIC SERVICE COMPANY**  
 OF NEW MEXICO  
 SITE DEVELOPMENT PLAN FOR  
 BUILDING PERMIT  
 PNM - RICHMOND SWITCHING STATION  
 V.4

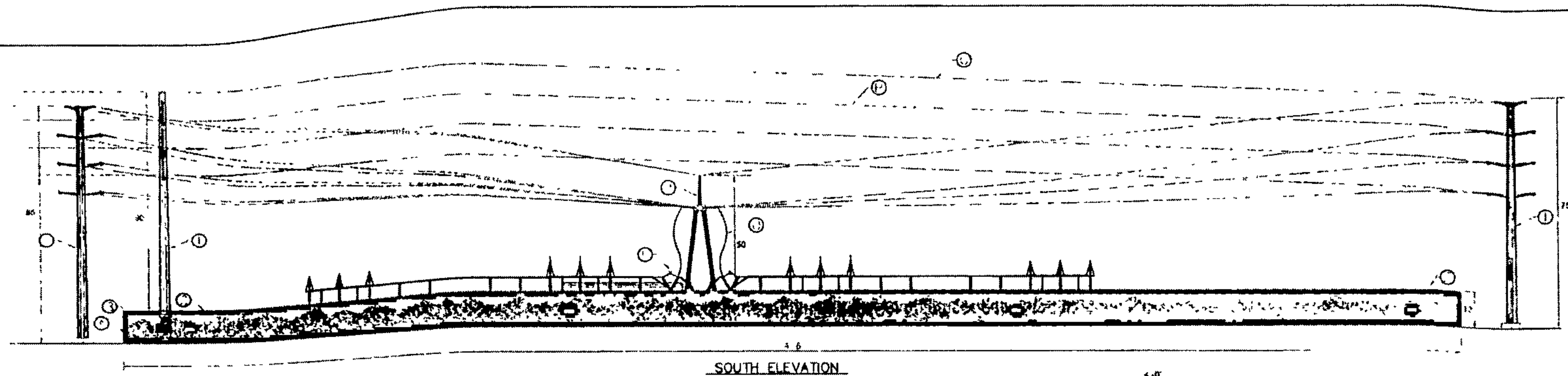
DATE: MAY 21 2015  
 SCALE: 1"=50'  
 SHEET 1 OF 6











SOUTH ELEVATION

**KEYED ITEM**

- 1 SPLIT-FACE BLOCK
- 2 SMOOTH-FACE BLOCK
- 3 TOP & CAP BLOCK (w/2" PROTRUSION)
- 4 STEEL SWING GRILL
- 5 WARNING SIGN
- 6 PNM STATION SIGN
- 7 TRANSFORMER
- 8 TRANSMISSION STRUCTURE
- 9 DEAD END STRUCTURE
- 10 V-SWITCH
- 11 ELECTRIC BUS
- 12 BUS INSULATOR
- 13 CONNECTION WIRE
- 14 TRANSMISSION LINE
- 15 STATIC LINE

**COLOR**

- PECOS GOLD (MEDIUM BROWN)
- PECOS GOLD (MEDIUM BROWN)
- PECOS GOLD (MEDIUM BROWN)
- PAINTED BREVITY BROWN (MEDIUM BROWN)
- (SEE DETAIL)
- (SEE DETAIL)
- ANSI-70 GREY
- WEATHERED STEEL
- WEATHERED STEEL
- ANSI-70 GREY
- ALUMINIUM GREY
- ANSI-70 GREY
- ALUMINIUM GREY
- ALUMINIUM GREY
- ALUMINIUM GREY

**SPECIFICS**

- UTILITY BLOCK CO INC #250
- UTILITY BLOCK CO INC #250
- UTILITY BLOCK CO INC #250
- SW6055 LRV10
- NON-REFLECTIVE SURFACE
- NON-REFLECTIVE SURFACE
- NON-REFLECTIVE SURFACE
- NON-REFLECTIVE SURFACE
- NON-REFLECTIVE SURFACE
- NON-REFLECTIVE SURFACE
- NON-REFLECTIVE SURFACE
- NON-REFLECTIVE SURFACE
- NON-REFLECTIVE SURFACE
- NON-REFLECTIVE SURFACE
- NON-REFLECTIVE SURFACE

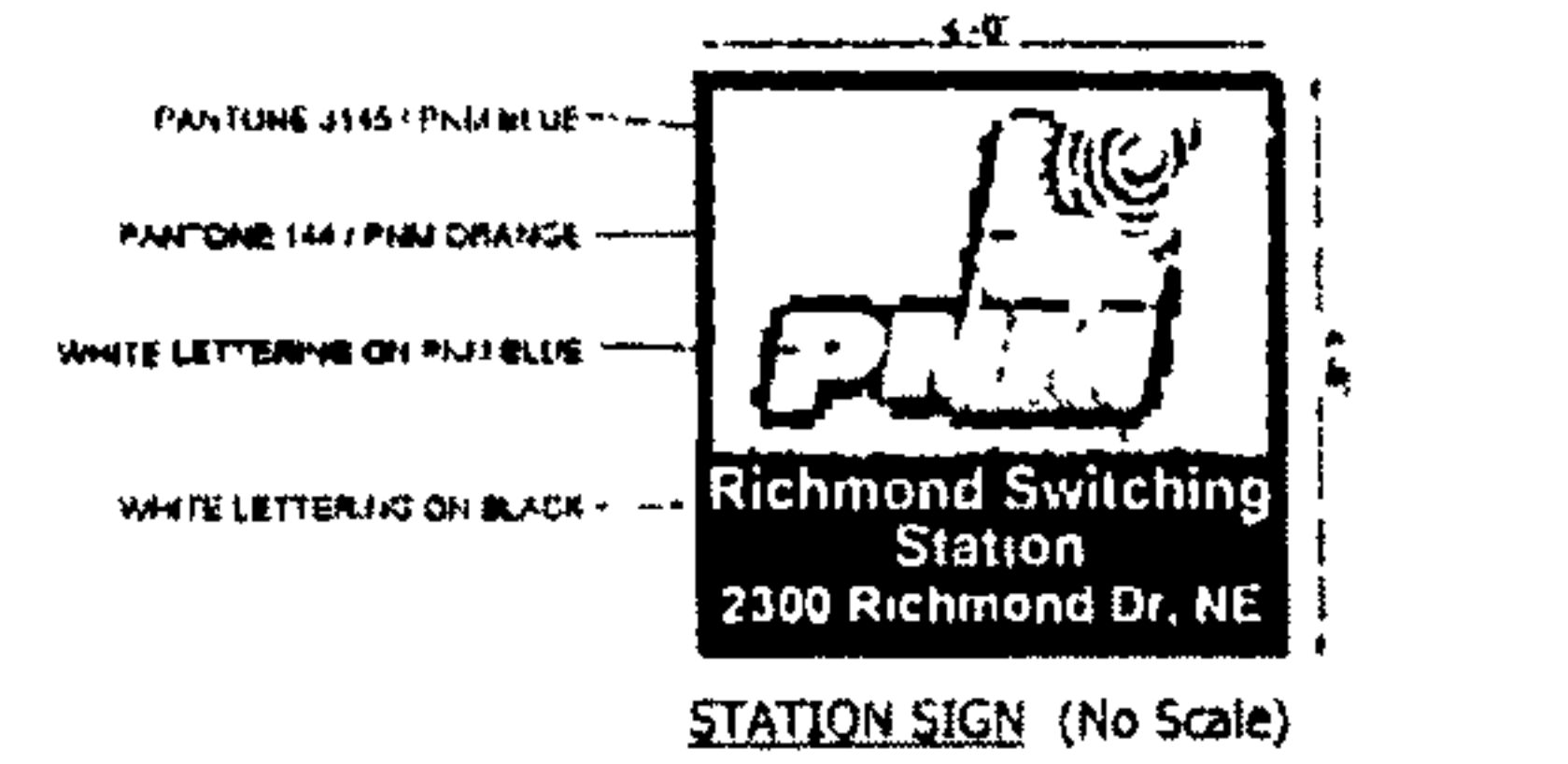


SMOOTH-FACE BLOCK, PECOS GOLD #250  
 TOP & CAP BLOCK, PECOS GOLD #250  
 (SMOOTH-FACE READS AS LIGHTER COLOR)

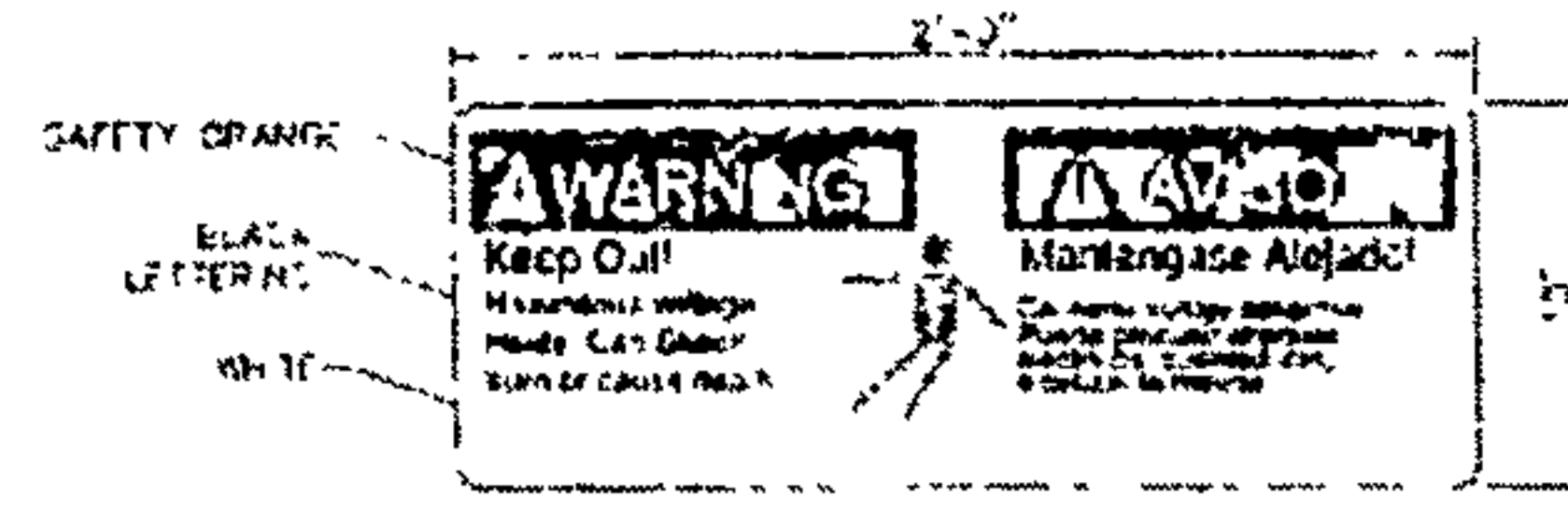
SPLIT-FACE BLOCK, PECOS GOLD #250

**NOTES**

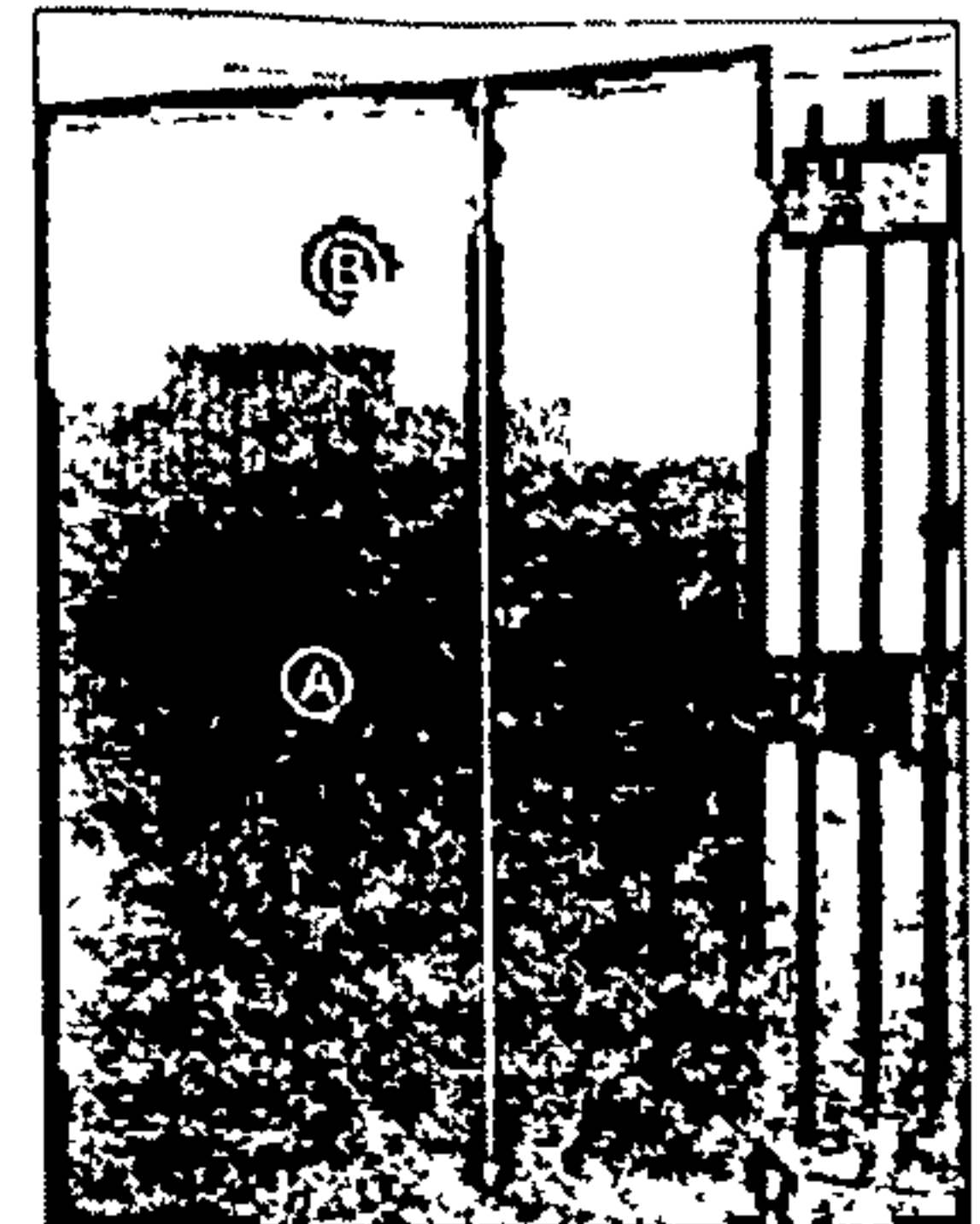
- 1 SWITCHING STATION WILL COMPLY WITH NEMA NOISE GUIDELINES
- 2 SWITCHING STATION WILL BE MAINTAINED GRAFFITI FREE
- 3 CONTINUOUS WALL CAP SHALL PROTRUDE TWO INCHES



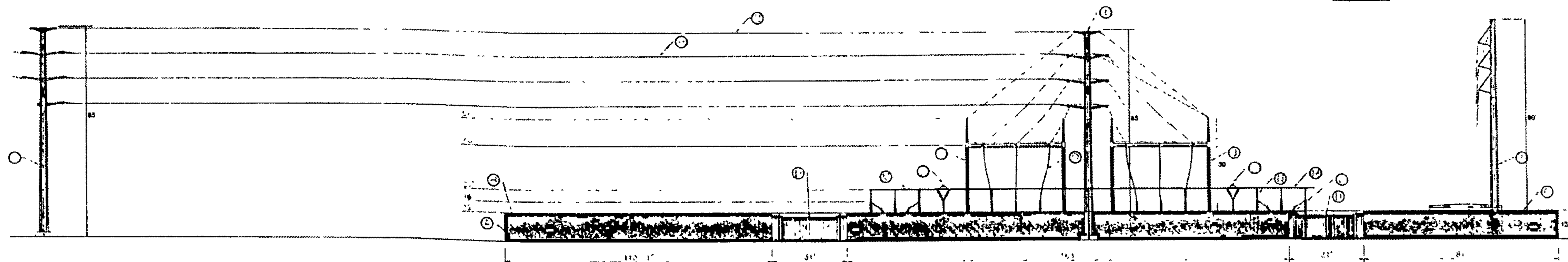
STATION SIGN (No Scale)



SAFETY WARNING SIGN (No Scale)  
 FOR SAFETY PURPOSES AS REQUIRED BY NESC



WALL DETAIL



WEST ELEVATION

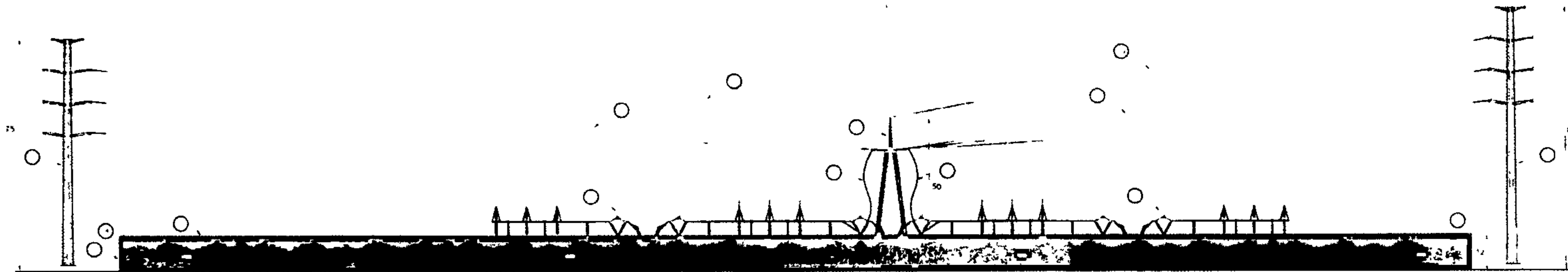
REVISION	NO.	DATE	BY



**PROPRIETARY STATEMENT**

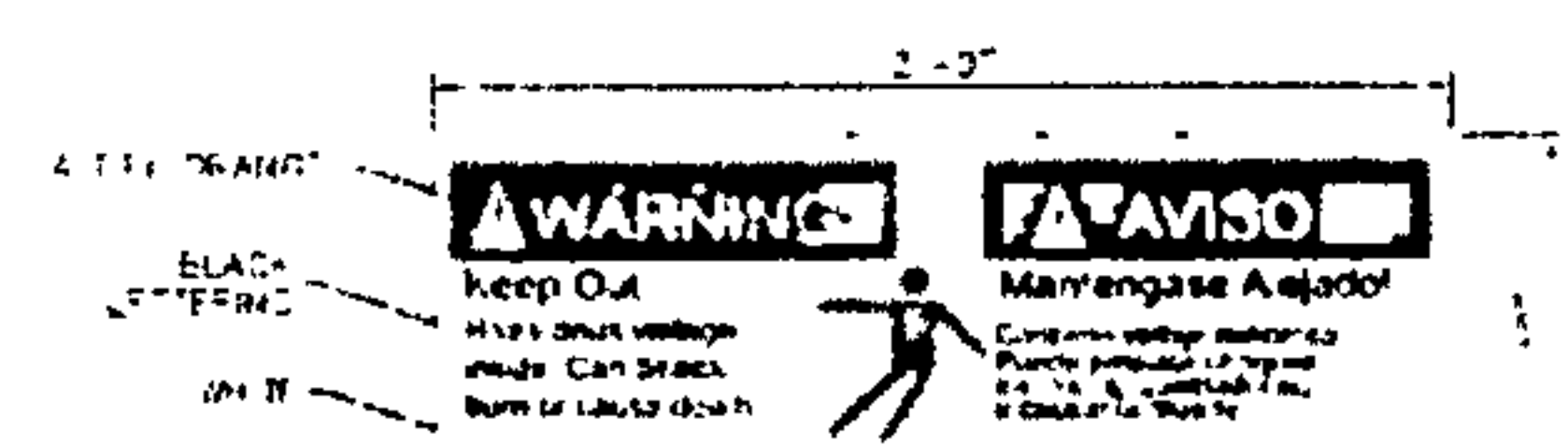
THIS DOCUMENT IS THE PROPERTY OF PNM AND IS LOANED TO YOU BY PNM. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED. PNM AND ITS AFFILIATES SHALL BE HELD HARMLESS FROM ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM ANY SUCH REPRODUCTION OR TRANSMISSION. THIS DOCUMENT IS THE PROPERTY OF PNM AND IS LOANED TO YOU BY PNM. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED. PNM AND ITS AFFILIATES SHALL BE HELD HARMLESS FROM ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM ANY SUCH REPRODUCTION OR TRANSMISSION.

PNM PUBLIC SERVICE COMPANY OF NEW MEXICO		
ELEVATION VIEW		
115kV LAYOUT		
RICHMOND SWITCHING STATION		
DR: LK	TR:	DATE: 10/01/14
CKD:	OK:	SCALE: 1/2" = 1'-0"
APP:	ACAD FILE: scs347	SHEET 5 OF 6
REV. NO:		

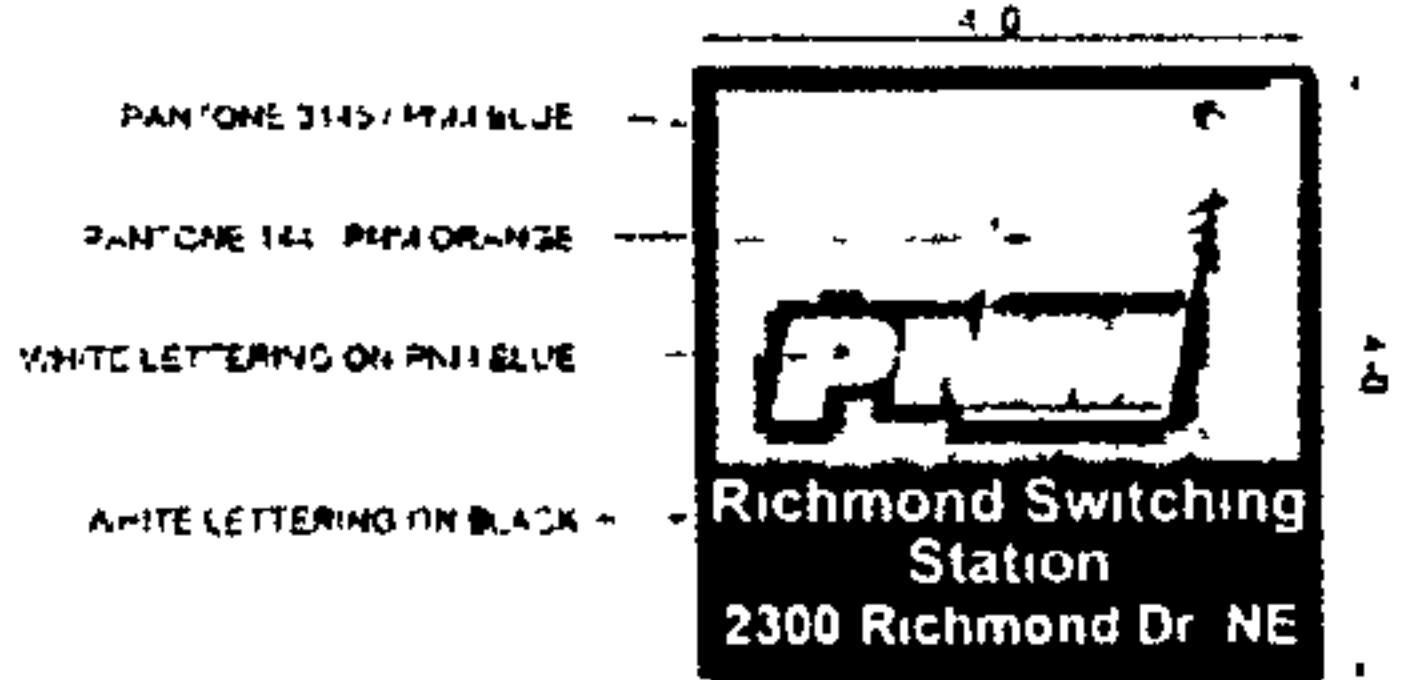


NORTH ELEVATION

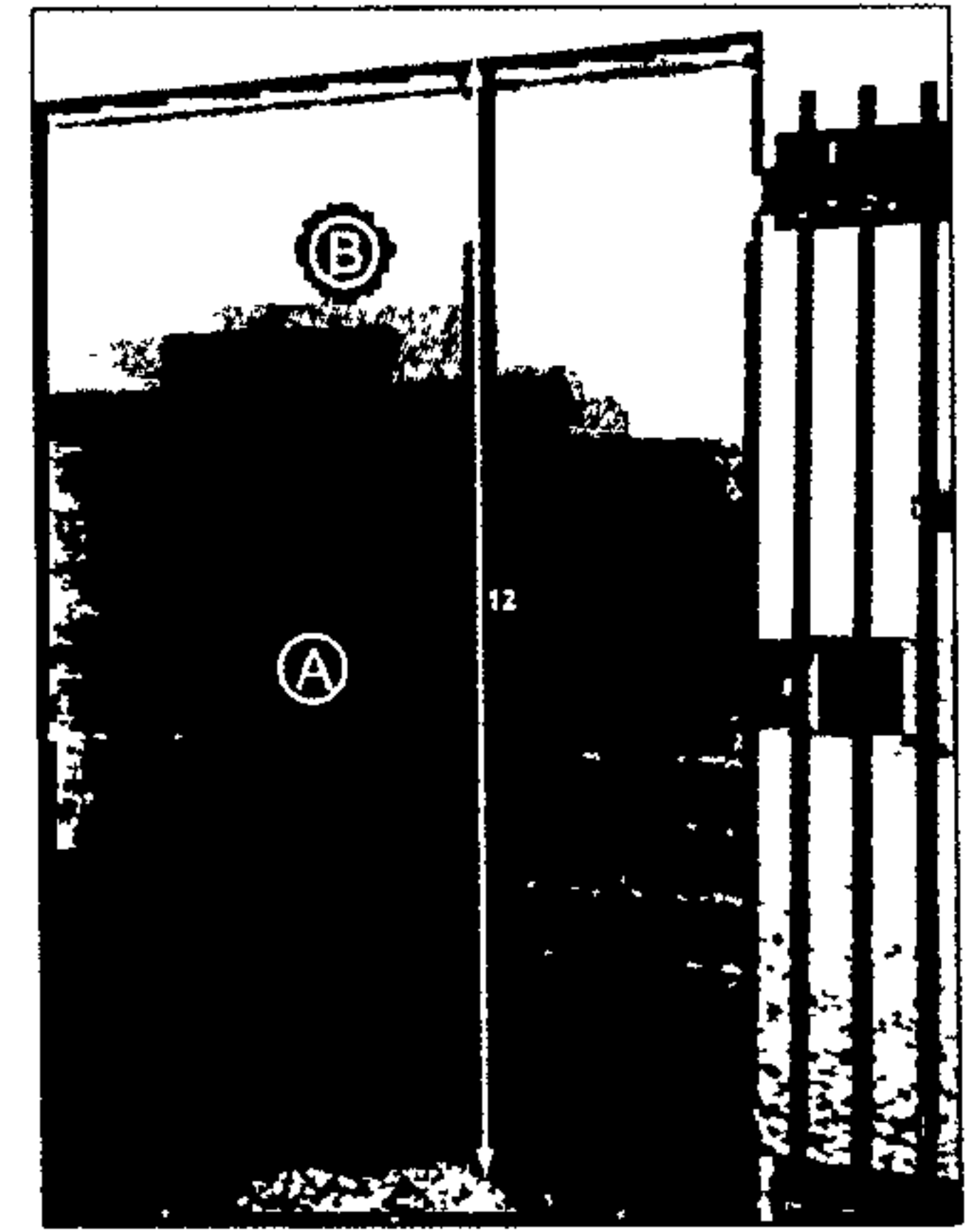
KEYED ITEM	COLOR	SPECIFICS
○ SPLIT-FACE BLOCK	PECOS GOLD (MEDIUM BROWN)	UTILITY BLOCK CO. INC. #250
○ SMOOTH-FACE BLOCK	PECOS GOLD (MEDIUM BROWN)	UTILITY BLOCK CO. INC. #250
○ TOP & CAP BLOCK (w/2' PROTRUSION)	PECOS GOLD (MEDIUM BROWN)	UTILITY BLOCK CO. INC. #250
○ STEEL SWING GRILL	PAINTED BREVITY BROWN (MEDIUM BROWN)	SWBOSS LRY10
○ WARNING SIGN	(SEE DETAIL)	NON-REFLECTIVE SURFACE
○ PNM STATION SIGN	(SEE DETAIL)	NON-REFLECTIVE SURFACE
○ TRANSFORMER	ANSI-70 GREY	NON-REFLECTIVE SURFACE
○ TRANSMISSION STRUCTURE	WEATHERED STEEL	NON-REFLECTIVE SURFACE
○ DEAD END STRUCTURE	WEATHERED STEEL	NON-REFLECTIVE SURFACE
○ V-SWITCH	ANSI-70 GREY	NON-REFLECTIVE SURFACE
○ ELECTRIC BUS	ALUMINUM GREY	NON-REFLECTIVE SURFACE
○ BUS INSULATOR	ANSI-70 GREY	NON-REFLECTIVE SURFACE
○ CONNECTION WIRE	ALUMINUM GREY	NON-REFLECTIVE SURFACE
○ TRANSMISSION LINE	ALUMINUM GREY	NON-REFLECTIVE SURFACE
○ STATIC LINE	ALUMINUM GREY	NON-REFLECTIVE SURFACE



SAFETY WARNING SIGN (No Scale)  
FOR SAFETY PURPOSES AS REQUIRED BY NESC

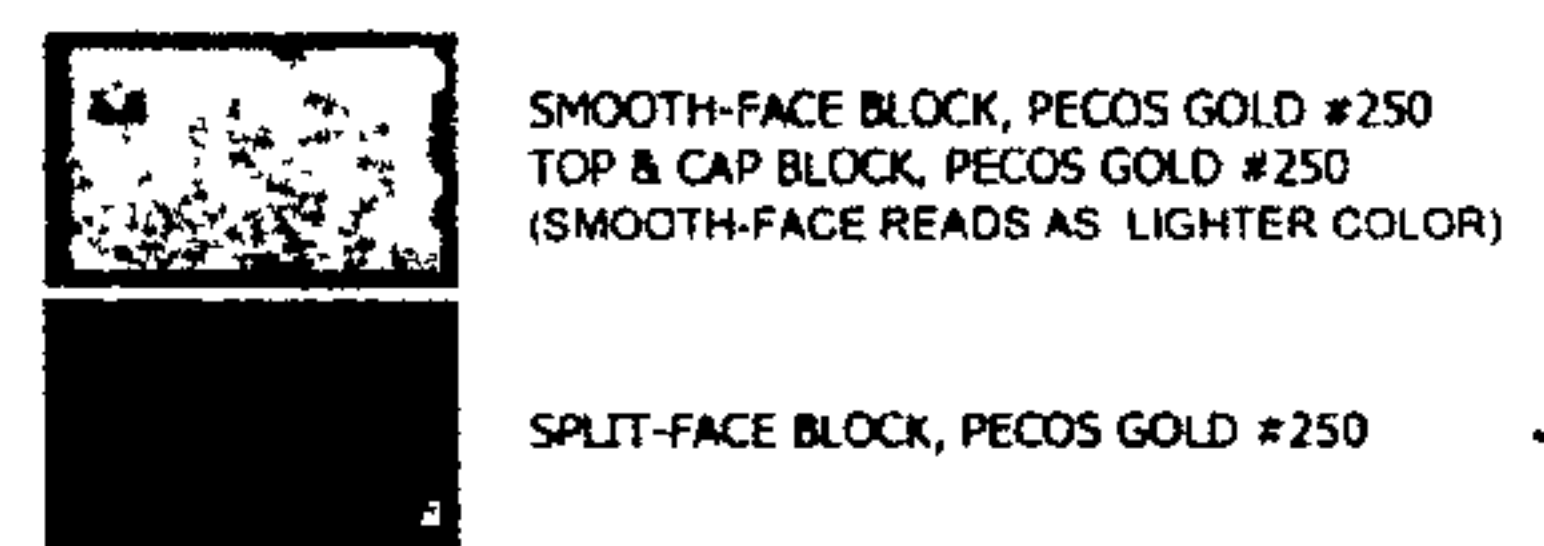


STATION SIGN (No Scale)



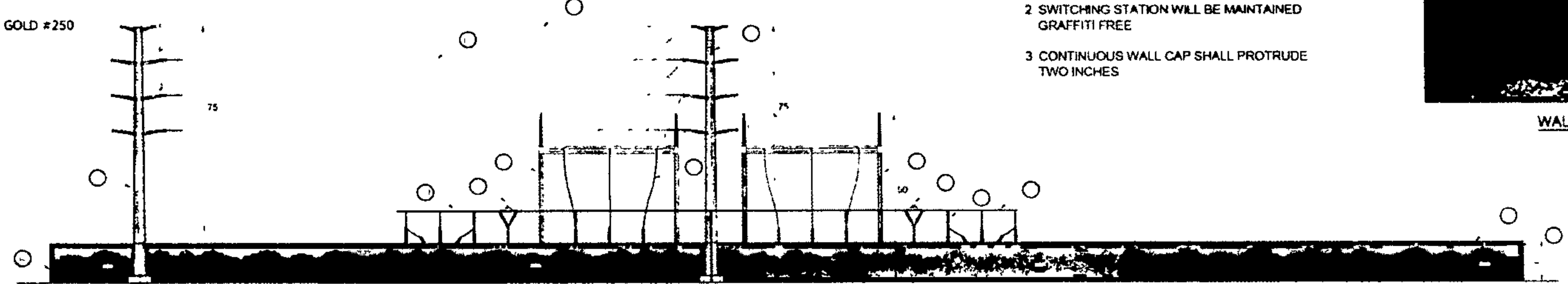
WALL DETAIL

- NOTES
- 1 SWITCHING STATION WILL COMPLY WITH NEMA NOISE GUIDELINES
  - 2 SWITCHING STATION WILL BE MAINTAINED GRAFFITI FREE
  - 3 CONTINUOUS WALL CAP SHALL PROTRUDE TWO INCHES



SMOOTH-FACE BLOCK, PECOS GOLD #250  
TOP & CAP BLOCK, PECOS GOLD #250  
(SMOOTH-FACE READS AS LIGHTER COLOR)

SPLIT-FACE BLOCK, PECOS GOLD #250



EAST ELEVATION

REVISION

NO	DATE	BY

0 10 20  
Feet

PROPRIETARY STATEMENT

<b>PNM</b> PUBLIC SERVICE COMPANY OF NEW MEXICO		
ELEVATION VIEW		V3
115KV LAYOUT		
RICHMOND SWITCHING STATION		
DR	TR	DATE 10/9/14
CKD	OK	SCALE
APP	ACAD FILE	SHEET 6 OF 6
REV NO		



PROJECT #

1810101

June 3. 2015

SBS  
SBS



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- A APPEAL / PROTEST of...**
- Decision by DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): BOHANNAN HUSTON INC PHONE: 505.823.1000  
 ADDRESS: 7500 JEFFERSON NE FAX: 505.798.7988  
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL tfreel@bhinc.com

APPLICANT: Public Service Company of New Mexico PHONE: 505.241.2792  
 ADDRESS: 2401 Aztec Rd NE FAX: 505.241.2363  
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Sidewalk Design Variance

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. D Block. D Unit: \_\_\_\_\_

Subdiv/Addn/TBKA: AMERICAN SQUARE

Existing Zoning: C-2 Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_

Zone Atlas page(s): H16 UPC Code. 101605934835210108

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc): \_\_\_\_\_  
 COA PROJECT NUMBER: 714883

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  YES

No of existing lots: 1 No of proposed lots: 1 Total area of site (acres). 5.3 AC +/-

LOCATION OF PROPERTY BY STREETS: On or Near RICHMOND DR NE

Between MENAU BLVD NE and CANDELARIA RD NE

Check-off if project was previously reviewed by Sketch Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Tandy Freel DATE 5/18/15

(Print) TANDY FREEL, PE Applicant.  Agent.

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
ISDB 70200

Action  
SV  
CMF

S.F. Fees  
 \_\_\_\_\_ \$ 0  
 \_\_\_\_\_ \$ 20.00  
 \_\_\_\_\_ \$ \_\_\_\_\_  
 \_\_\_\_\_ \$ \_\_\_\_\_  
 Total  
 \$ 20.00

Hearing date June 3  
May 27, 2015

V. J.  
 Planner signature / date

Project # 1010161

FORM V: SUBDIVISION VARIANCES & VACATIONS

**BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)

- Application for Minor Plat on FORM S-3, including those submittal requirements **24 copies**
  - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**VACATION OF PUBLIC EASEMENT (DRB27)**

**VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**

- The complete document which created the public easement (folded to fit into an 8 5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**SIDEWALK VARIANCE (DRB20)**

**SIDEWALK WAIVER (DRB21)**

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - n/a List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**

- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

**TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**

**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

**VACATION OF PRIVATE EASEMENT (DRB26)**

**VACATION OF RECORDED PLAT (DRB29)**

- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
  - Scale drawing showing the easement to be vacated (8 5" by 11") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
  - Letter of authorization from the grantors and the beneficiaries (private easement only)
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**


I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

*Laurie Moya agent PNM*  
 Applicant name (print)  
*Laurie Moya* 2/18/15  
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 15DRB - \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Form revised 4/07  
  
 Planner signature / date  
 Project # 1010810 S-19-15



For more current information and more details visit: <http://www.cabq.gov/gis>

**Albuquerque Geographic Information System**

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**H-16-Z**

Selected Symbols

	<b>SECTOR PLANS</b>		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon		

0 750 1,500 Feet



May 19, 2015

Jack Cloud  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

Re: PNM – Richmond Switching Station Sidewalk and Drivepad Installation  
COA Project #714883

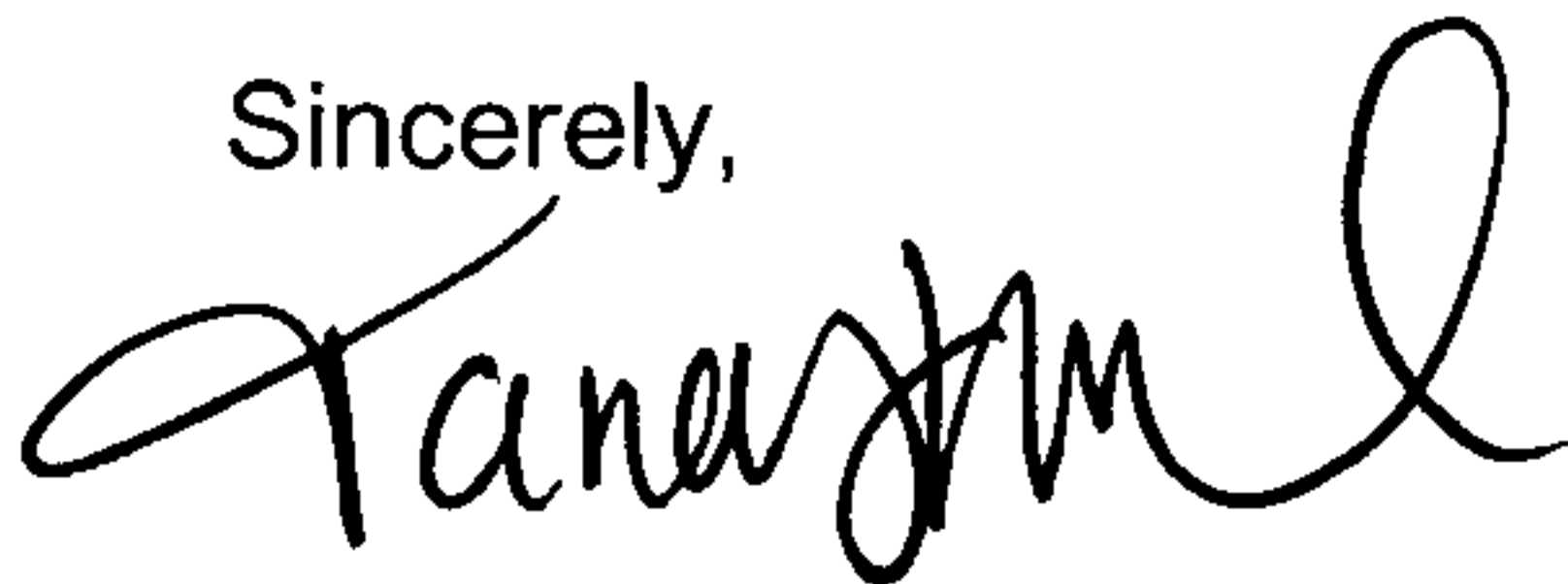
Dear Mr. Cloud:

The purpose of this letter is to request a variance for the required sidewalk buffer area on the subject lot. The enclosed exhibit depicts the lot as located at 2300 Richmond Dr NE in the American Square subdivision. This lot is to be utilized as a switching station for PNM. The existing lot contains a public utility easement with utility poles supporting overhead electric lines. The proposed development will maintain these utility poles while adding several transmission poles for the new switching station. As such, there is inadequate space to shift the proposed 6-foot sidewalk such that a 4-foot typical city buffer can be provided while avoiding existing and proposed utility poles.

This variance request, if approved, will be to remove the typical city buffer such that the new sidewalk will be constructed at back of existing curb. Accordingly, this request is no more than necessary to avoid conflicts with existing and proposed utility poles and will not result in the interference of pedestrian access in the area.

We appreciate your consideration of this request. Should you have any comments or questions relative to this issue, do not hesitate to call.

Sincerely,



Tandy Freel, PE  
Project Manager  
Traffic & Transportation

TMF/jma  
Enclosures

**Engineering ▲**

**Spatial Data ▲**

**Advanced Technologies ▲**

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
  - Application for Minor Plat on FORM S-3, including those submittal requirements **24 copies**
  - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**
  
- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
  - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**
  
- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
  - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - n/a List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**
  
- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
  - Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**
  
- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
  - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**
  
- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
  - The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
  - Scale drawing showing the easement to be vacated (8 5" by 11") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
  - Letter of authorization from the grantors and the beneficiaries (private easement only)
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

*Laurie Moya agent PAM*  
 Applicant name (print)  
*Laurie Moya* 3/18/15  
 Applicant signature / date



Form revised 4/07

<input type="checkbox"/> Checklists complete	Application case numbers	
<input type="checkbox"/> Fees collected	_____	Planner signature / date
<input type="checkbox"/> Case #s assigned	_____	Project #
<input type="checkbox"/> Related #s listed	_____	

May 22, 2015

[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

Jack Cloud  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

Re: PNM – Richmond Switching Station Sidewalk and Drivepad Installation  
COA Project #714883

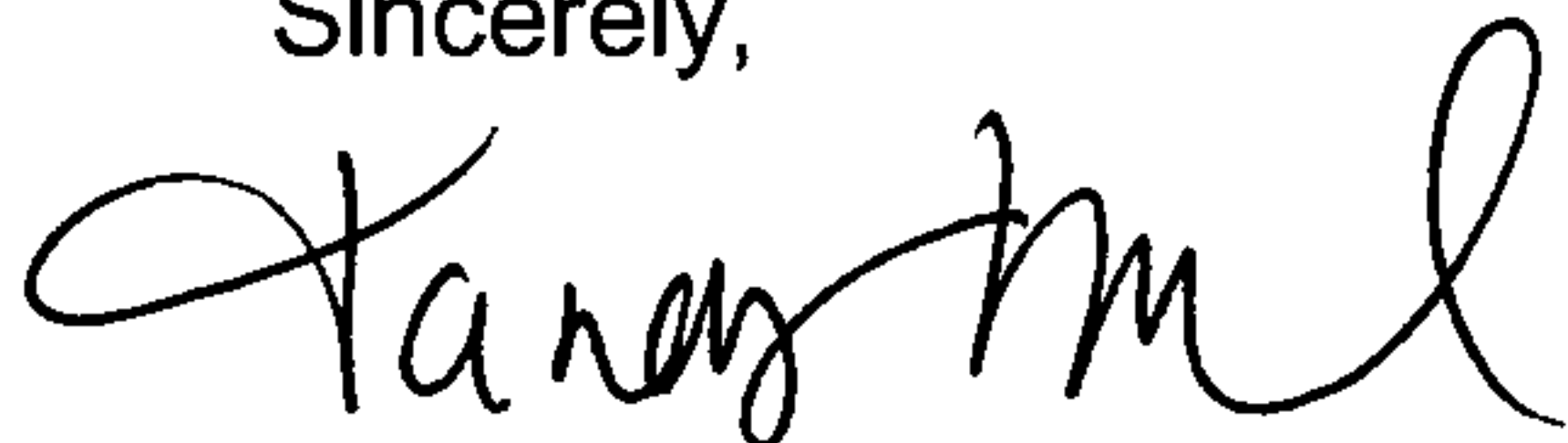
Dear Mr. Cloud:

The purpose of this letter is to request a variance for the required sidewalk buffer area on the subject lot. The enclosed exhibit depicts the lot as located at 2300 Richmond Dr NE in the American Square subdivision. This lot is to be utilized as a switching station for PNM. The existing lot contains a public utility easement with utility poles supporting overhead electric lines. The proposed development will maintain these utility poles while adding several transmission poles for the new switching station. The site is also programmed for a substation in the future. When the substation becomes operational, the entire public utility easement will be used for overhead poles and underground feeders. As such, there is inadequate space to shift the proposed 6-foot sidewalk such that a 4-foot typical city buffer can be provided while avoiding existing and proposed utility poles.

This variance request, if approved, will be to remove the typical city buffer such that the new sidewalk will be constructed at back of existing curb. Accordingly, this request is no more than necessary to avoid conflicts with existing and proposed utility poles and will not result in the interference of pedestrian access in the area.

We appreciate your consideration of this request. Should you have any comments or questions relative to this issue, do not hesitate to call.

Sincerely,



Tandy Freel, PE  
Project Manager  
Traffic & Transportation

TMF/jma  
Enclosures

**Engineering ▲**  
**Spatial Data ▲**  
**Advanced Technologies ▲**



Supplemental form

<p><b>SUBDIVISION</b></p> <p><input type="checkbox"/> Major Subdivision action</p> <p><input type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input checked="" type="checkbox"/> Variance (Non-Zoning)</p> <p><b>SITE DEVELOPMENT PLAN</b></p> <p><input type="checkbox"/> for Subdivision</p> <p><input type="checkbox"/> for Building Permit</p> <p><input type="checkbox"/> Administrative Amendment (AA)</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p> <p><b>STORM DRAINAGE (Form D)</b></p> <p><input type="checkbox"/> Storm Drainage Cost Allocation Plan</p>	<p><b>S Z ZONING &amp; PLANNING</b></p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p><input type="checkbox"/> Street Name Change (Local &amp; Collector)</p> <p><b>L A APPEAL / PROTEST of...</b></p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
--	--

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): BOHANNAN HUSTON INC PHONE: 505.823.1000  
 ADDRESS: 7500 JEFFERSON NE FAX: 505.798.7988  
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: tfreel@bhinc.com

APPLICANT: Public Service Company of New Mexico PHONE: 505.241.2792  
 ADDRESS: 2401 Aztec Rd NE FAX: 505.241.2363  
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: \_\_\_\_\_

Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Sidewalk Design Variance

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. D Block: D Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: AMERICAN SQUARE  
 Existing Zoning: C-2 Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): H16 UPC Code: 101605934835210108

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_  
 COA PROJECT NUMBER: 714883

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? YES  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 5.3 AC +/-  
 LOCATION OF PROPERTY BY STREETS: On or Near: RICHMOND DR NE  
 Between: MENAU BLVD NE and CANDELARIA RD NE

Check-off if project was previously reviewed by Sketch Plan/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Tandy Freel DATE \_\_\_\_\_  
 (Print) TANDY FREEL, PE Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

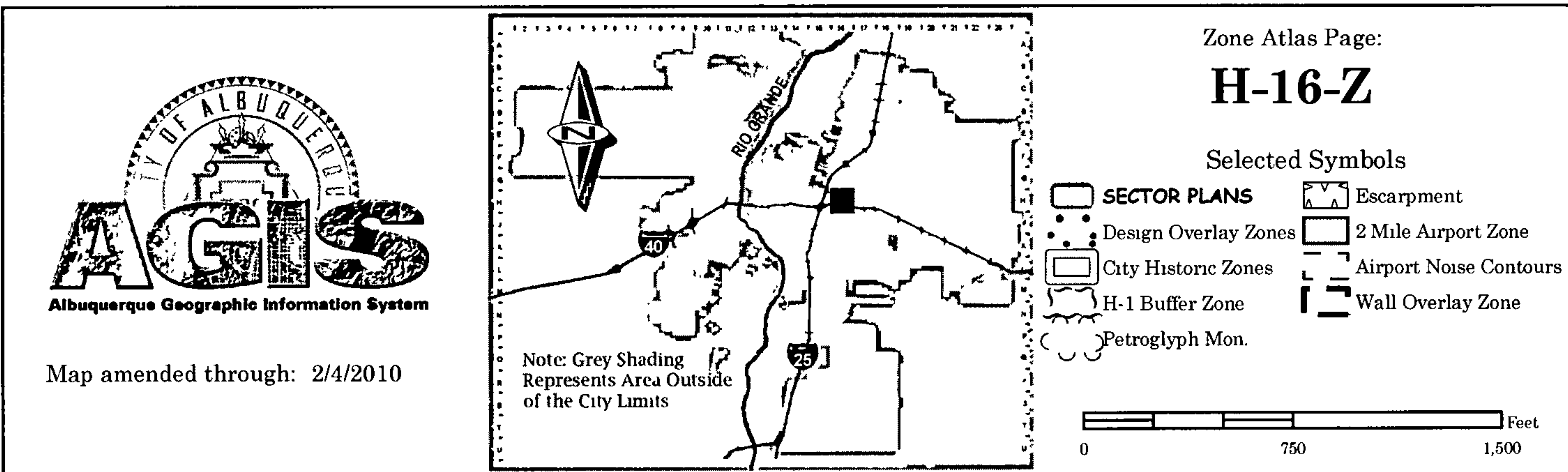
<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date _____			\$ _____

Project # \_\_\_\_\_

Planner signature / date \_\_\_\_\_



For more current information and more details visit: <http://www.cabq.gov/gis>



PROJECT #

1010181

June 3.2015

SV



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): LAURIE MOYE PHONE: 241.2792  
 ADDRESS: PNM - 2401 AZTEC NE, MAIL STOP Z-200 FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: Laurie.Moye@pnm.com

APPLICANT: PNM PHONE: 241.2792  
 ADDRESS: 2401 AZTEC NE, MAIL STOP Z-200 FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: Laurie.Moye@pnm.com  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: NEW ELECTRIC SWITCHING STATION

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 2300 RICHMOND NE Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: \_\_\_\_\_  
 Existing Zoning: \_\_\_\_\_ Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): H-16-Z UPC Code: 101605943635210108

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1010181

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? YES  
 No. of existing lots: N/A No. of proposed lots: N/A Total site area (acres): 5.3158  
 LOCATION OF PROPERTY BY STREETS: On or Near: INTERSECTION OF RICHMOND DR NE & AMERICAN WAY NE  
 Between: \_\_\_\_\_ and \_\_\_\_\_

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: 7.22.14

SIGNATURE Laurie Moye DATE 10/21/14  
 (Print Name) LAURIE MOYE Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>140RB - 70360</u>	<u>SBP</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	<u>70373</u>	<u>SPS</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				<b>Total</b>
				\$ <u>20.00</u>

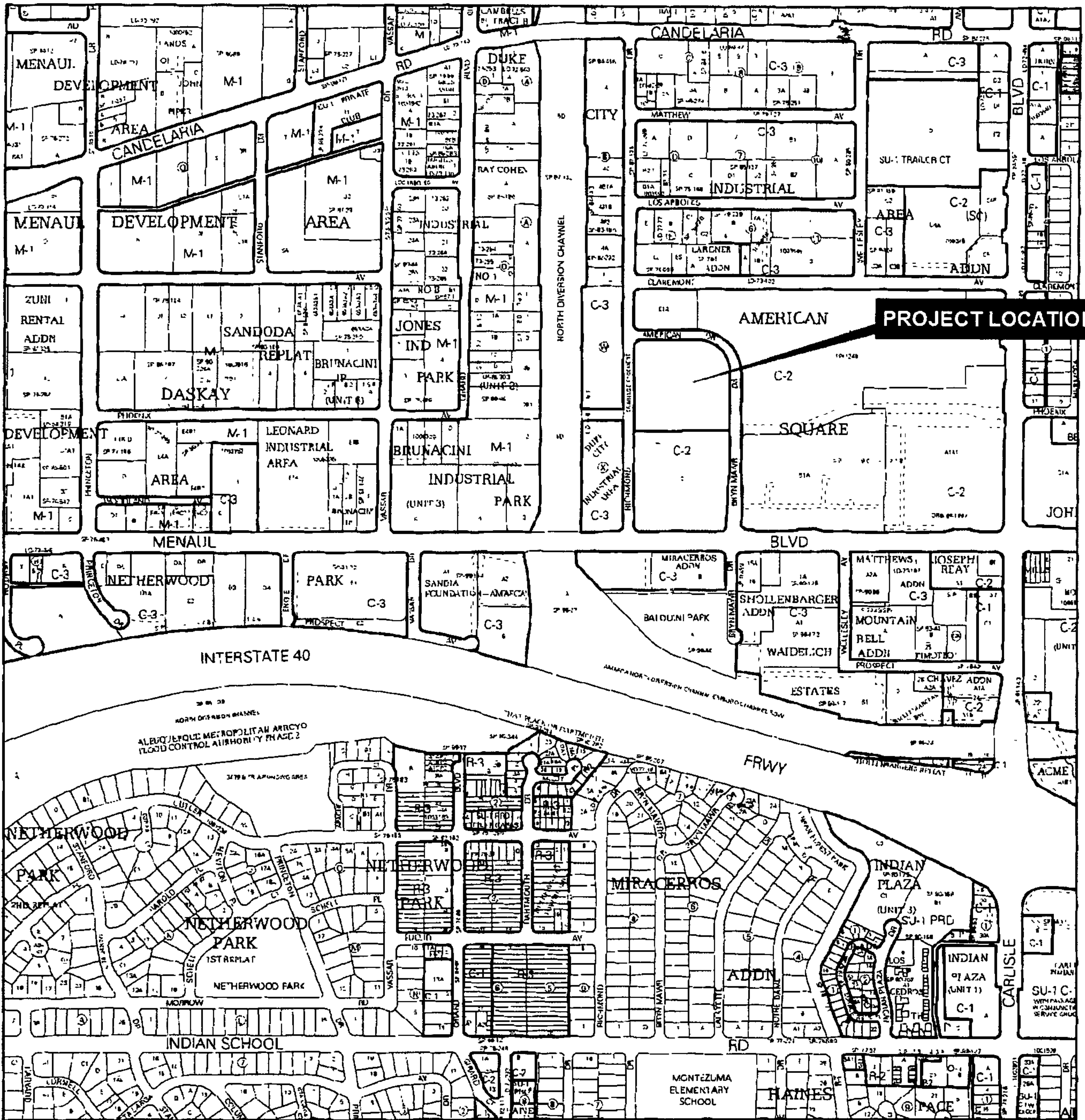
Hearing date Oct. 29, 2014

[Signature]  
 Staff signature & Date 10-21-14

Project # 1010181







For more current information and details visit: <http://www.cabq.gov/gis>

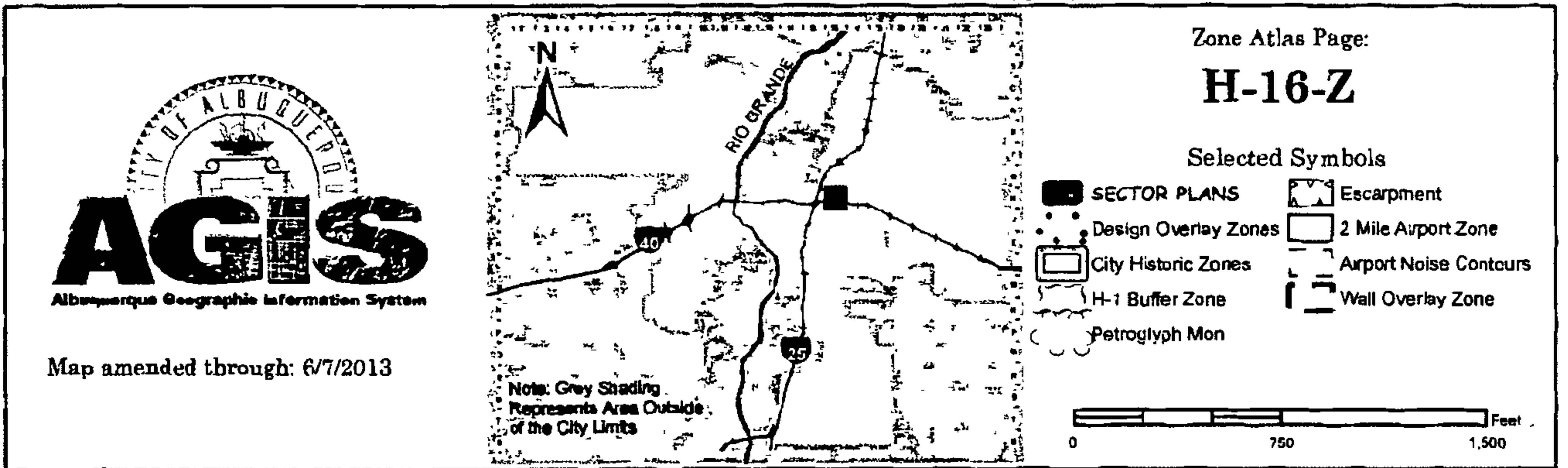


Figure 19

**Richmond Switching Station  
Zone Atlas Map**





October 21, 2014

Mr. Jack Cloud  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: DRB – Project #1010181 – Richmond Switching Station

Dear Mr. Cloud,

In response to Environmental Planning Commission (EPC) Conditions of Approval at the October 9, 2014 hearing, PNM's responses are presented below.

**Conditions of Approval – Site Development Plan for Subdivision Amendment**

**Condition 1:**

The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

**PNM Response:**

*This letter serves as PNM's submittal to the DRB specifying all modifications that have been made to the site plan since the EPC hearing including how the site plan has been modified to meet each of the EPC conditions.*

**Condition 2:**

Prior to application submittal to DRB, the applicant shall meet with the Staff planner to ensure that all conditions of approval are met.

**PNM Response:**

*A meeting with Catalina Lehner was held on October 16, 2014 demonstrating that all conditions of approval have been met.*

**Condition 3:**

The applicant shall coordinate with the Albuquerque/Bernalillo County Metropolitan Flood Control Authority (AMAFCA) regarding the onsite measures for water quality treatment that AMAFCA will require.

**PNM Response:**

*PNM will continue to coordinate with AMAFCA to ensure that any discharge from the site will pass through cobble before being discharged into the street.*

Condition 4:

The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).

PNM Response:

*PNM is fully aware of its responsibility at the DRB and has requested a list of improvements.*

**Conditions of Approval – Site Development Plan for Building Permit**

Condition 1:

The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

PNM Response:

*This letter serves as PNM's submittal to the DRB specifying all modifications that have been made to the site plan since the EPC hearing including how the site plan has been modified to meet each of the EPC conditions.*

Condition 2:

Prior to application submittal to DRB, the applicant shall meet with the Staff planner to ensure that all conditions of approval are met.

PNM Response:

*A meeting with Catalina Lehner was held on October 16, 2014 demonstrating that all conditions of approval have been met.*

Condition 3:

Additional explanation regarding the chosen project site shall be provided (Executive Summary, Section C).

PNM Response:

*Additional information is included in Section I.A. of the Siting Study on page 3.*

Condition 4:

2010 Electric Systems Facility Plan – Design Standards:

- A. A note shall be added to state that the switching station will comply with NEMA noise guidelines (Design Standard #11).
- B. A note shall be added to state that the switching station will be maintained graffiti free (Design Standard #15).

PNM Response:

*The following notes have been added on V.3 on Sheet 5 of 6 and Sheet 6 of 6:*

- SWITCHING STATION WILL COMPLY WITH NEMA GUIDELINES.
- SWITCHING STATION WILL BE MAINTAINED GRAFFITI FREE.

Condition 5:

Screening & Design:

- A wall detail, in elevation view, shall be added to the detail sheet and specify dimensions, material(s) and colors.
- The split-faced and smooth-faced block shall be noted as different colors so they match the color rendering.
- The continuous wall cap shall protrude a minimum of 2 inches [ref: §14-16-3-19(C)(2)(b)(1)(d)]. *Note correct reference cited.*

PNM Response:

- A wall detail has been added to V.3 Sheet 5 of 6 and Sheet 6 of 6 specifying wall dimensions, materials and colors.*
- Photos of Pecos Gold #250 split-face and smooth-face block have been added to V.3 Sheet 5 of 6 and Sheet 6 of 6. A note has been added to V.3 Sheet 5 of 6 and Sheet 6 of 6 that states, "SMOOTH-FACE READS AS LIGHTER COLOR."*
- A note has been added to V.3 Sheet 5 of 6 and Sheet 6 of 6 that states, "CONTINUOUS WALL CAP SHALL PROTRUDE TWO INCHES."*

Condition 6:

Landscaping:

- Four trees shall be relocated on the Landscape Plan from along American Drive NE to Richmond Drive NE.*
- Quantities of shrubs shall be indicated [§14-16-3-10(C)(3)].*
- Make the reference, in the first line of the general notes, consistent with Santa Ana Tan and Santa Fe Brown.*

PNM Response:

- On the Landscape Plan V. 3, four trees have been relocated from along American Way NE to Richmond Drive NE.*
- Quantities of shrubs have been indicated on the Landscape Plan.*
- Under General Landscape Notes - Landscape Design, Santa Ana Brown and Santa Ana Tan have been specified.*

Condition 7:

Minor Clarifications:

Add a keyed note to explain that the switching station will connect to transmission lines that are just west of the subject site.

PNM Response:

*Sheet 1 General Note #4 has been added which states, "THE SWITCHING STATION WILL CONNECT TO EXISTING TRANSMISSION LINES WEST OF THE SITE."*

Condition 8:

The applicant shall coordinate with the Albuquerque/Bernalillo County Metropolitan Flood Control Authority (AMAFCA) regarding the onsite measures for water quality treatment that AMAFCA will require.

PNM Response:

*PNM will continue to coordinate with AMAFCA to ensure that any discharge from the site will pass through cobble before being discharge into the street.*

Condition 9:

The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).

PNM Response:

*PNM is fully aware of its responsibility at the DRB and has requested a list of improvements.*

I believe that the revised sheets and assurances in this submittal letter meet all the conditions set by the EPC approval of Project #1010181, 14EPC-40058 and 14EPC-40050 and await your review.

Regards,



Laurie Moye  
Coordinator Regulatory Project and Public Participation

Enclosures

# CITY OF ALBUQUERQUE



PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339

## OFFICIAL NOTIFICATION OF DECISION

October 9, 2014

Public Service Co. of NM  
Attn: Laurie Moye  
2401 Aztec NE, Mail Stop Z-200  
Albuquerque, NM 87107

**Project# 1010181**  
14EPC-40050 Site Development for Building Permit  
14EPC-40058 Amend Site Development Plan for Subdivision

### LEGAL DESCRIPTION:

Laurie Moye, agent for PNM, requests the above action for Block D Plat for American Square, zoned C-2, located at 2300 Richmond Drive NE, between Richmond Drive NE and Bryn Mawr Drive NE, north of Menaul Boulevard NE, containing approximately 55 acres. (H-16)  
Staff Planner: Catalina Lehner

On October 9, 2014, the Environmental Planning Commission (EPC) voted to APPROVE Project# 1010181, 14EPC-40050 and 14EPC-40058, a site development for building permit and a site development plan for subdivision amendment, based on the following Findings and subject to the following Conditions of Approval:

### 14EPC-40058 Amend Site Development Plan for Subdivision:

### NM 87103 FINDINGS:

1. The subject request is for a site development plan for subdivision amendment for Block D, American Square, an approximately 5.4 acre portion of an approximately 55-acre American Square shopping center (the "subject site"), located at the northwest corner of Carlisle and Menaul Boulevards, zoned C-2.
2. The subject request is accompanied by a request for a site development plan for building permit (14EPC-40050) for an electric switching station (the "Richmond Switching Station"), which is project #24 on the "Description of proposed electric facilities projects for 2010- 2020" in the Facility Plan: Electric System Transmission & Generation (2010- 2020) (the "2010 Electric System Facilities Plan").
3. The 2010 Electric System Facilities Plan specifies approval processes; requests for development of projects on the Project List are required to be reviewed through the Environmental Planning Commission (EPC) process.

OFFICIAL NOTICE OF DECISION

Project #1010181

October 9, 2014

Page 2 of 8

4. The subject site is located in the Established Urban Area of the Comprehensive Plan, but is just outside of the boundaries of the American Square Community Activity Center. The 2010 Electric System Facilities Plan also applies. No sector development plans apply.
5. The Albuquerque/Bernalillo County Comprehensive Plan, the Facility Plan: Electric System Transmission & Generation (2010- 2020) (the “2010 Electric System Facilities Plan”) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. Though the SC designation is not used, the subject site is a shopping center site by definition because it is greater than five acres and zoned C-2.
7. The request furthers the following, applicable Comprehensive Plan Goals and policies:
  - A. Goal- Service Provision. The electric switching station can be considered a public service/facility. It was included in the 2010 Electric System Facilities Plan project list, which is a mechanism to manage development of electric facilities. Land use planning policies are applied to the proposed project through this review.
  - B. Goal- Economic Development. The electric switching station would provide additional electric energy and support for existing electric energy sources, which generally support economic development. The design standards in the 2010 Electric System Facilities Plan will help ensure balance with visual, ecological and land use considerations.
  - C. Policy II.B.5d-neighborhood /environmental/ resources. The location and intensity of the electric switching station would be generally appropriate for the area, which has developed with a mixture of manufacturing and retail (C-2) uses. A pump station and a diversion channel are nearby. Colors and materials would be generally compatible with existing development and surroundings. There is no known neighborhood opposition, though some concern has been expressed.
  - D. Policy II.B.5e- programmed facilities/neighborhood integrity. The subject site is vacant and contiguous to developed land where urban services are available. Existing overhead power lines are available and are unlikely to affect the integrity of neighborhoods regarding use of existing facilities and services.
8. The request partially furthers the following, applicable Comprehensive Plan Goal and policies:
  - A. Goal- Energy Management. The switching station would address overloads and low voltages in the SE part of the City, which could occur there because the electric system is at capacity. The switching station is included in the project list in the 2010 Electric System Facilities Plan, which is a tool to manage electric facilities. Alternative and renewable energy sources, however, are not included in this request.

OFFICIAL NOTICE OF DECISION

Project #1010181

October 9, 2014

Page 3 of 8

- B. Policy II.B.51-quality design/new development. The switching station would be a new development. Though its colors would generally be appropriate for the Plan area, the standard utility design does not lend itself to quality and innovation.
- C. Policy II.C.4a-noise/planning. Noise considerations are integrated into the planning process for electric facilities. The proposed substation cannot exceed National Electric Manufacturer's Association (NEMA) guidelines, though compliance can be shown through a note on the site development plan.
9. Minor conditions of approval are recommended to provide clarification.
10. The affected neighborhood organizations are the Bel Air Neighborhood Association (BANA) and the District 7 Coalition of NAs. This request was deferred for 30 days at the September hearing to ensure proper notification; the BANA was notified in a timely fashion for the October hearing. The District 7 coalition had already been notified as required.
11. As of this writing, there is no known neighborhood or other opposition. A facilitated meeting was neither recommended nor held. A couple of nearby property owners have expressed concern about the switching station's "industrial message" in a shopping center area, and request evergreen screening.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to final approval, the applicant shall meet with the Staff planner to ensure that conditions of approval are met. Evidence of this meeting shall be provided at the time of application.
3. The applicant shall coordinate with the Albuquerque-Bernalillo County Metropolitan Flood Control Authority (AMAFCA) regarding the onsite measures for water quality treatment that AMAFCA will require.

4. Condition from the City Engineer:

The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).



OFFICIAL NOTICE OF DECISION

Project #1010181

October 9, 2014

Page 4 of 8

**14EPC-40050 Site Development for Building Permit:**

**FINDINGS:**

1. The subject request is for a site development plan for building permit for Block D, American Square, an approximately 5.4 acre portion of an approximately 55-acre American Square shopping center (the "subject site"), located between Richmond Dr. NE and Bryn Mawr Dr. NE, north of Menaul Blvd. NE, zoned C-2.
2. The applicant proposes to develop an electric switching station (the "Richmond Switching Station"). The proposed switching station is project #24 on the "Description of proposed electric facilities projects for 2010- 2020" in the Facility Plan: Electric System Transmission & Generation (2010-2020) (the "2010 Electric System Facilities Plan").
3. The subject request is accompanied by a request for a site development plan for subdivision amendment (14EPC-40058).
4. The 2010 Electric System Facilities Plan contains "Standards for the Location and Design of Transmission and Substation Facilities" with which the switching station is required to comply. The 2010 Electric System Facilities Plan also specifies approval processes; requests for development of projects on the Project List are required to be reviewed through the Environmental Planning Commission (EPC) process.
5. The subject site is located in the Established Urban Area of the Comprehensive Plan, but is just outside of the boundaries of the American Square Community Activity Center. The 2010 Electric System Facilities Plan also applies. No sector development plans apply.
6. The Albuquerque/Bernalillo County Comprehensive Plan, the Facility Plan: Electric System Transmission & Generation (2010- 2020) (the "2010 Electric System Facilities Plan") and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. Though the SC designation is not used, the subject site is a shopping center site by definition because it is greater than five acres and zoned C-2.
8. The request furthers the following, applicable Comprehensive Plan Goals and policies:
  - A. Goal- Service Provision. The electric switching station can be considered a public service/facility. It was included in the 2010 Electric System Facilities Plan project list, which is a mechanism to manage development of electric facilities. Land use planning policies are applied to the proposed project through this review.
  - B. Goal- Economic Development. The electric switching station would provide additional electric energy and support for existing electric energy sources, which generally support economic development. The design standards in the 2010 Electric System Facilities Plan will help ensure balance with visual, ecological and land use considerations.

OFFICIAL NOTICE OF DECISION

Project #1010181

October 9, 2014

Page 5 of 8

- C. Policy II.B.5d-neighborhood /environmental/ resources. The location and intensity of the electric switching station would be generally appropriate for the area, which has developed with a mixture of manufacturing and retail (C-2) uses. A pump station and a diversion channel are nearby. Colors and materials would be generally compatible with existing development and surroundings. There is no known neighborhood opposition, though some concern has been expressed.
  - D. Policy II.B.5e- programmed facilities/neighborhood integrity. The subject site is vacant and contiguous to developed land where urban services are available. Existing overhead power lines are available and are unlikely to affect the integrity of neighborhoods regarding use of existing facilities and services.
9. The request partially furthers the following, applicable Comprehensive Plan Goal and policies:
- A. Goal- Energy Management. The switching station would address overloads and low voltages in the SE part of the City, which could occur there because the electric system is at capacity. The switching station is included in the project list in the 2010 Electric System Facilities Plan, which is a tool to manage electric facilities. Alternative and renewable energy sources, however, are not included in this request.
  - B. Policy II.B.5l-quality design/new development. The switching station would be a new development. Though its colors would generally be appropriate for the Plan area, the standard utility design does not lend itself to quality and innovation.
  - C. Policy II.C.4a-noise/planning. Noise considerations are integrated into the planning process for electric facilities. The proposed substation cannot exceed National Electric Manufacturer's Association (NEMA) guidelines, though compliance can be shown through a note on the site development plan.
10. The request complies with Design Standard #12 in the 2010 Electric System Facilities Plan because the switching station would be located near an existing 345 kV transmission pole near the site's western side, which would help preclude extension of new lines.
11. The request partially complies with the following, applicable standards in the 2010 Electric System Facilities Plan:
- A. Location Standard #9: The subject site is not located in an Exclusion Area (a) or in an area where electric facilities may conflict with resource factors or land use values (b). The subject site is approximately 320 feet from the North Diversion Channel. Additional information is needed to demonstrate that special consideration was given.
  - B. Design Standard #11: The switching station would be screened with the standard 12 foot wall. Compliance with NEMA noise guidelines can be shown through a note on the site development plan.

OFFICIAL NOTICE OF DECISION

Project #1010181

October 9, 2014

Page 6 of 8

- C. Design Standard #13: The subject site is surrounded by commercial and some manufacturing uses. The pole structures inside the switching station are 51 feet tall. Additional landscaping, for screening purposes, would be beneficial- especially along Richmond Dr. since it faces a nursing home and extended stay hotel.
  - D. Design Standard #14: The switching station is relatively imposing compared to the uses in the vicinity (commercial, small-scale manufacturing, etc.). However, its tallest vertical structure would be 51 feet, and that would connect to an existing transmission line that's about twice that height. The proposed switching station is designed using the Appendix B example, but differs with respect to wall design and structure height.
  - E. Design Standard #15: The proposed substation would be standard PNM design. Landscaping regulations would be met and the Water Conservation Ordinance adhered to, though maintenance of graffiti-free conditions needs to be addressed.
12. Minor conditions of approval are recommended to ensure compliance with the design standards in the 2010 Electric System Facilities Plan and to provide clarification.
  13. The affected neighborhood organizations are the Bel Air Neighborhood Association (BANA) and the District 7 Coalition of NAs. This request was deferred for 30 days at the September hearing to ensure proper notification; the BANA was notified in a timely fashion for the October hearing. The District 7 coalition had already been notified as required.
  14. As of this writing, there is no known neighborhood or other opposition. A facilitated meeting was neither recommended nor held. A couple of nearby property owners have expressed concern about the switching station's "industrial message" in a shopping center area, and request evergreen screening.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the Staff planner to ensure that all conditions of approval are met.
3. 2010 Electric Systems Facility Plan- Siting Study:  
Additional explanation regarding the chosen project site shall be provided (Executive Summary, Section C).
4. 2010 Electric Systems Facility Plan- Design Standards:

OFFICIAL NOTICE OF DECISION

Project #1010181

October 9, 2014

Page 7 of 8

- A. A note shall be added to state that the substation will comply with NEMA noise guidelines (Design Standard #11).
- B. A note shall be added to state that the substation will be maintained graffiti free (Design Standard #15).

5. Screening & Design:

- A. A wall detail, in elevation view, shall be added to the detail sheet and specify dimensions, material(s) and colors.
- B. The split-faced and smooth-faced block shall be noted as different colors so they match the color rendering.
- C. The continuous wall cap shall protrude a minimum of 2 inches [Zoning Code 14-16-3-18(C)(2)(b)(1)(d)].

6. Landscaping:

- A. Four trees shall be moved from the American Drive landscaping buffer to the landscaping buffer along Richmond Dr. NE.
- B. Quantities of shrubs shall be indicated [14-16-3-10(C)(3)].
- C. Make the reference, in the first line of the general notes, consistent with Santa Ana Tan and Santa Fe Brown.

7. Minor Clarifications:

Add a keyed note to explain that the switching station will connect to transmission lines that are just west of the subject site.

- 8. The applicant shall coordinate with the Albuquerque-Bernalillo County Metropolitan Flood Control Authority (AMAFCA) regarding the onsite measures for water quality treatment that AMAFCA will require.

9. CONDITION FROM THE CITY ENGINEER:

The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **October 24, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the

OFFICIAL NOTICE OF DECISION

Project #1010181

October 9, 2014

Page 8 of 8

EPC's decision.

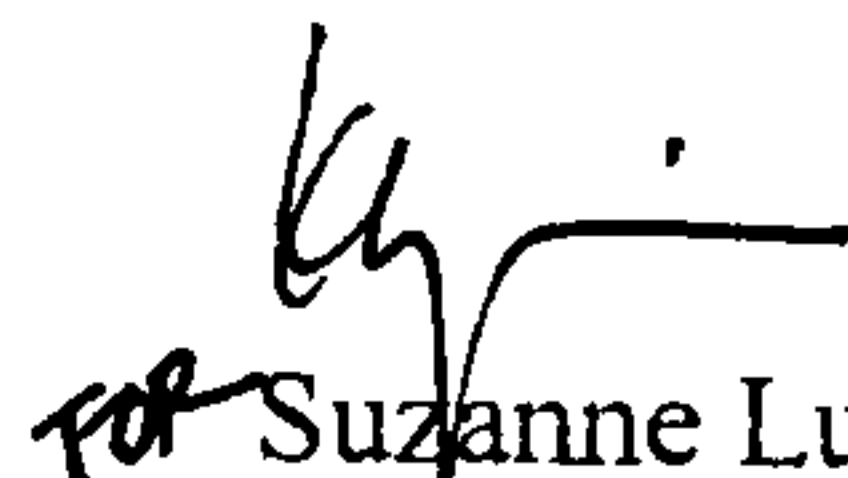
You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

  
Suzanne Lubar  
Planning Director

SL/CLL

cc: Laurie Moyer, PNM, Public Participation & Regulatory Relations, 2401 Aztec Avenue NE, Mail Stop Z-200, Albuquerque, NM 87107  
Bill Hoch, District 7 Coalition, 813 Calle del Corte NE, Albuquerque, NM 87110  
Lynne Martin, District 7 Coalition, 1531 Espejo Dr. NE, Albuquerque, NM 87112  
Amy Henne, Bel-Air NA, 2713 Monroe NE, Albuquerque, NM 87110  
Barb Johnson, Bel-Air NA, 2700 Hermosa NE, Albuquerque, NM 87110

PROJECT#

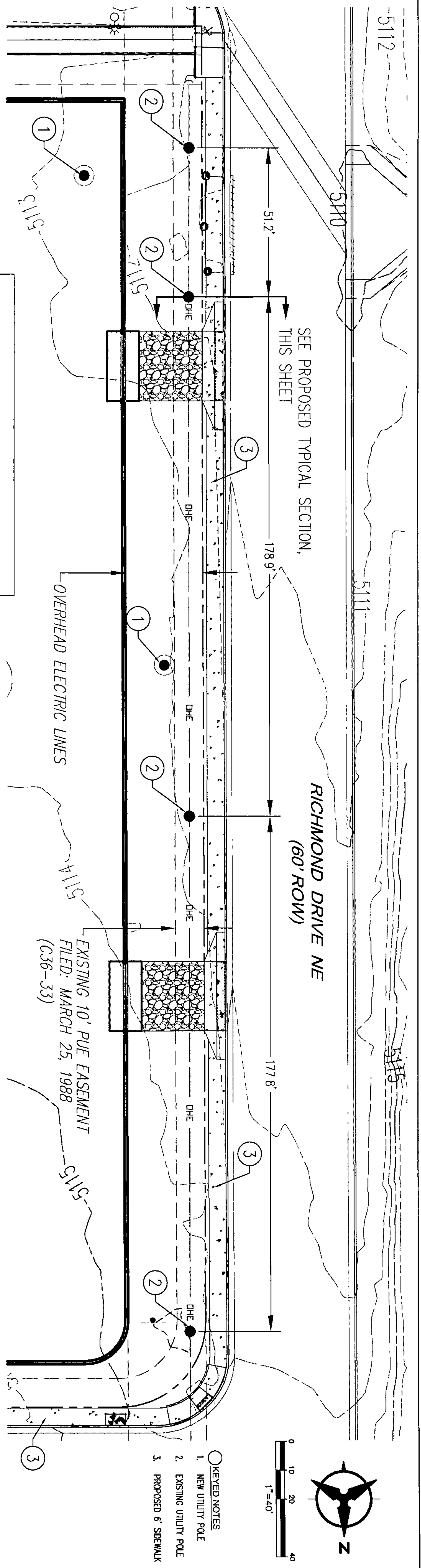
1810101

OCTOBER 29. 20K1

SBB

REVISION		
NO.	DATE	BY

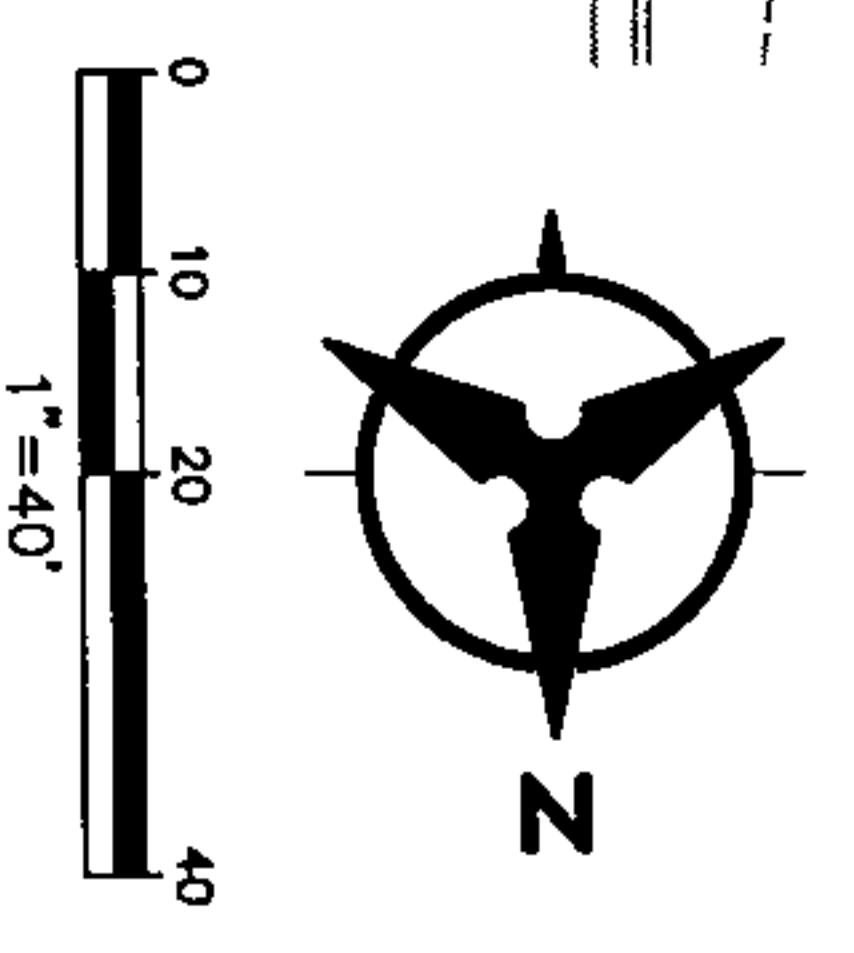
**PROJECT: 1010181 (15-70200)**  
**DATE: 6-3-15 (SV)**



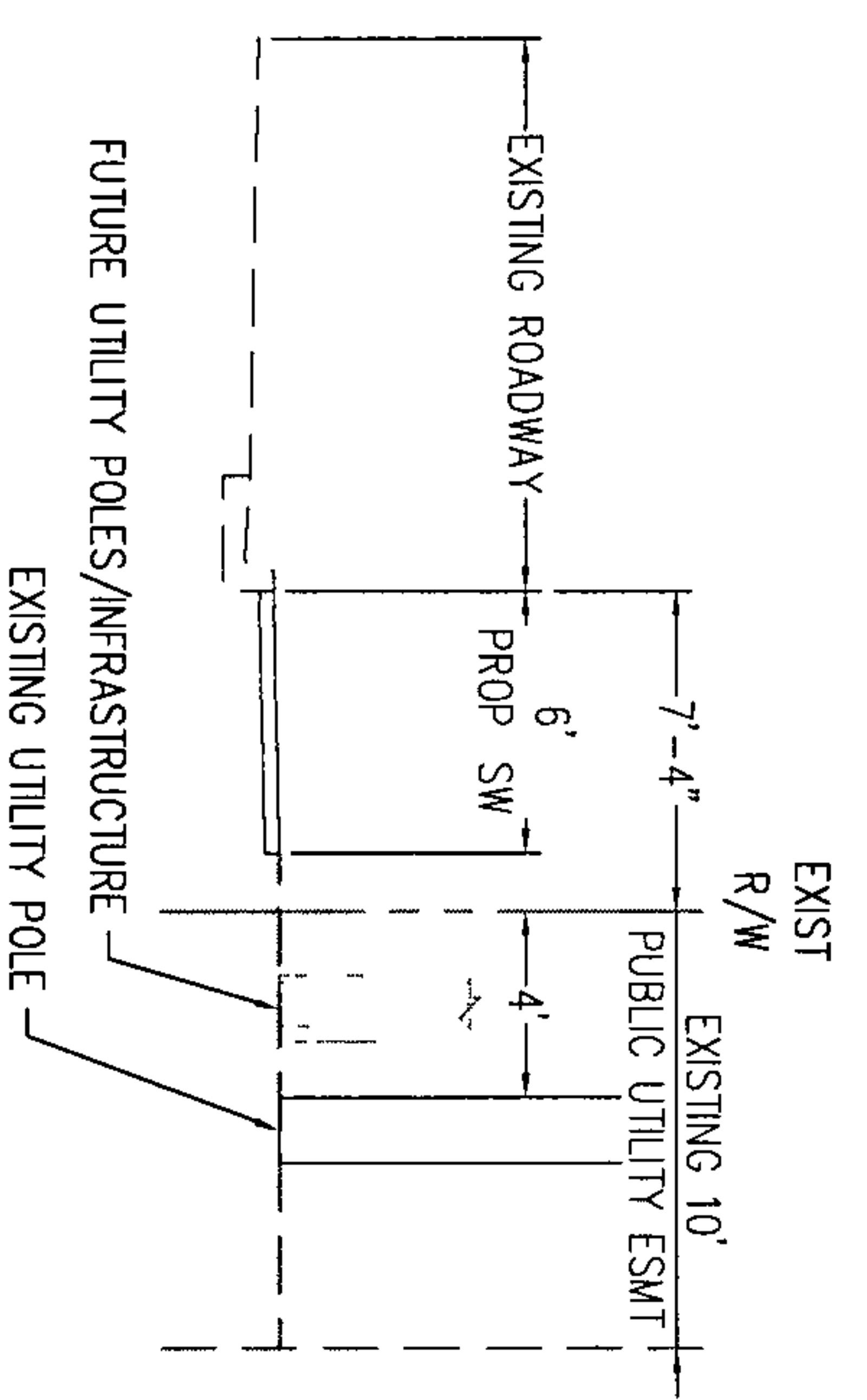
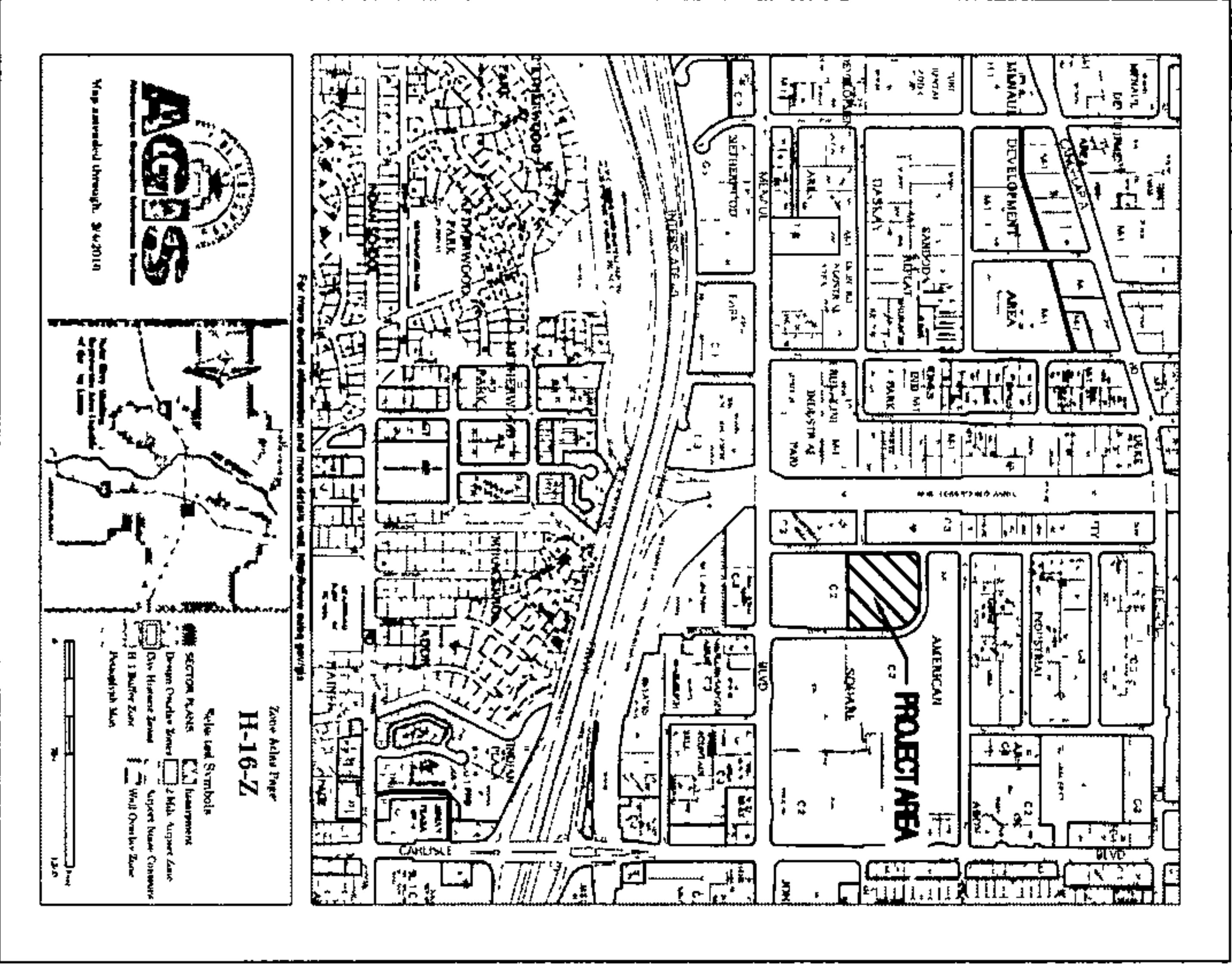
SEE PROPOSED TYPICAL SECTION,  
THIS SHEET

**RICHMOND DRIVE NE**  
(60' ROW)

EXISTING 10' PUE EASEMENT  
FILED: MARCH 25, 1988  
(C36-33)



- KEYED NOTES**
1. NEW UTILITY POLE
  2. EXISTING UTILITY POLE
  3. PROPOSED 6' SIDEWALK



**PROPOSED TYPICAL SECTION**  
SCALE: 1"=10'

**PROPRIETARY STATEMENT**

THIS DOCUMENT AND ALL FIGURES ARE THE PROPERTY OF PUBLIC SERVICE COMPANY OF NEW MEXICO. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF PUBLIC SERVICE COMPANY OF NEW MEXICO. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF PUBLIC SERVICE COMPANY OF NEW MEXICO IS STRICTLY PROHIBITED. THIS DOCUMENT IS PROVIDED UNDER THE EXPRESS UNDERSTANDING AND AGREEMENT THAT IT IS SUBJECT TO CHANGE WITHOUT NOTICE AND THAT IT WILL BE USED IN ANY MANNER DEEMED APPROPRIATE BY PUBLIC SERVICE COMPANY OF NEW MEXICO.

**PNM PUBLIC SERVICE COMPANY**  
OF NEW MEXICO

DESIGN VARIANCE FIGURE FOR PROPOSED SIDEWALK	DATE: May 22, 2015
DR: JLB	TR: OK
APP: TRF	SCALE: 1"=50'
REV. NO.	ACAD FILE: 980-5602
	SHEET 1 OF 1

**Bohannon & Huston**