



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 1, 2014

Project# 1010204

14DRB-70288 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
14DRB-70324 SIDEWALK VARIANCE

RBA ARCHITECTS agent(s) for RUSS TRAPNELL request(s) the above action(s) for all or a portion of Tract(s) Q7A1A, **ATRISCO BUSINESS PARK UNIT 4** zoned SU-1/IP, located on COORS AND LOS VOLCANES containing approximately 1.137 acre(s). (J-10)

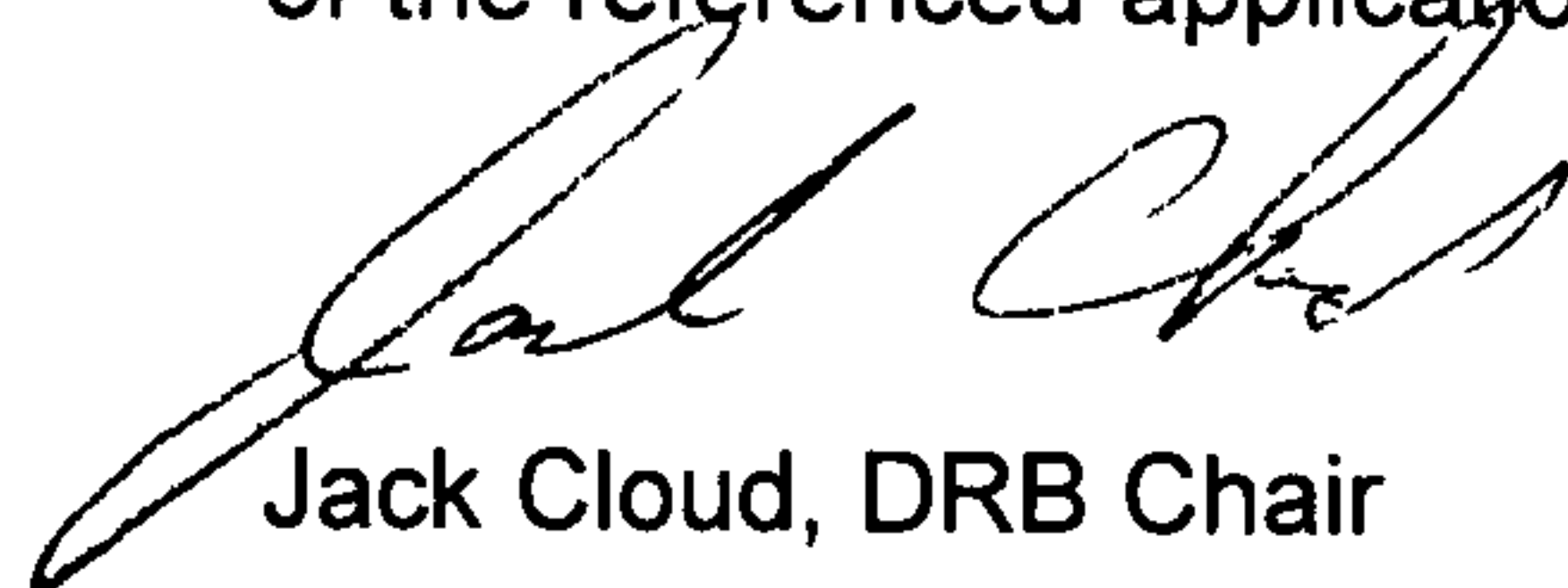
At the October 1, 2014 Development Review Board meeting, the site development plan for building permit was approved with final sign-off delegated to the Planning Department for revisions of landscape plan for trees in the buffer zone per the Street Tree Ordinance. The sidewalk variance for sidewalks was approved as shown on exhibit in the planning file.

If you wish to appeal this decision, you must do so by October 16, 2014, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair

Cc: RBA ARCHITECTS
Planning file

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1010204 **Application #:** 14DRB-70288

Project Name: ATRISCO BUSINESS PARK UNIT 4

Agent: RBA ARCHITECTURE **Phone #:**

****Your request was approved on 10-1-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed****


- TRANSPORTATION:** _____
- ABCWUA:** _____
- CITY ENGINEER / AMAFCA:** _____
- PARKS / CIP:** _____
- PLANNING (Last to sign):** review Landscape Plan - trees
per Street Tree Ord



PLATS:

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**


ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.**

7. **Project# 1006864**
14DRB-70325 AMENDMENT TO
INFRASTRUCTURE LIST/
PRELIMINARY PLAT 
BOHANNAN HUSLON INC agent(s) for PULTE
DEVELOPMENT OF NEW MEXICO request(s) the above
action(s) for all or a portion of Lot(s) N-2-A,
WATERSHED SUBD zoned SU-2, located on TIERRA
PINTADA BETWEEN ARROYO VISTA AND WEST
CREEK PLACE containing approximately 91.4 acre(s). (H-
8 & 9) **DEFERRED TO 10/1/14.**

8. **Project# 1010204**
14DRB-70288 MINOR – SITE PLAN FOR
BUILDING PERMIT
14DRB-70324 SIDEWALK VARIANCE
 
RBA ARCHITECTS agent(s) for RUSS TRAPNELL
request(s) the above action(s) for all or a portion of Tract(s)
Q7A1A, **ATRISCO BUSINESS PARK UNIT 4** zoned
SU-1/IP, located on COORS AND LOS VOLCANES
containing approximately 1.137 acre(s). (J-10) **DEFERRED
TO 10/1/14.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

9. **Project# 1004732**
14DRB-70323 SKETCH PLAT REVIEW
AND COMMENT 
ISAACSON & ARFMAN, P.A. agent(s) for EVERGREEN
HOMES, LTD. CO. request(s) the above action(s) for all or
a portion of Lot(s) A-1 & A-2, **LAND OF DAVID
MACIEL (TBKA MONTOYA ST TOWNHOMES
LOTS 1-6)** zoned R-LT, located on MONTOYA
BETWEEN FLORAL AND SARITA containing
approximately .6728 acre(s). (H-12) **THE SKETCH PLAT
WAS REVIEWED AND COMMENTS WERE PROVIDED.**

10. Other Matters:
ADJOURNED:

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
September 3, 2014
DRB Comments**

ITEM # 2

PROJECT # 1010204

APPLICATION # 14-70288

RE: Tract Q7A1-A, Atrisco Business Park Unit 4

Zoning Enforcement needs to review and approve the site plan for conformance with the Zoning Code and Atrisco Master Plan.

Corrections needed include:

- 1) Recording information of existing easements needs to be noted on the site plan; also note if easements are 'Proposed.'
- 2) Patio wall color/ elevation needs to be noted in the site plan packet.
- 3) Landscape calculation table needs to be for 20% per Master Plan; landscaping is required along the south and east edge of the 90 foot Drainage Easement on the western portion of the site.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1010204

AGENDA ITEM NO: 2

SUBJECT:

Site Plan for Bldg Permit

ENGINEERING COMMENTS:

The grading and drainage plan does not match the site plan.

The proposed improvements in the 90 foot drainage easement may conflict with the existing inlet.

Improvements in this area were not shown on the grading and drainage plan.

Resubmit the grading and drainage plan.

This plan proposes work on an adjacent lot. Provide written approval from the property owner to the east.

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 9-3-14

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1010204

AGENDA ITEM NO: 2

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Provide an exhibit showing the location of sidewalk and defining the distance from back of curb to the property line. Right of way dedication may be required.

Los Volcanes Road is a collector in this area. As such, drives with full access require a 36-foot minimum width and a 20-foot minimum radius. In addition, collector roadways require a 6-foot wide sidewalk with a 6-foot setback from back of curb.

Provide recording information for the existing easements.

Show all ramps and provide details.

Provide a legend defining all hatching and linetypes.



Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: SEPTEMBER 3, 2014

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
September 3, 2014
DRB Comments**

ITEM # 2

PROJECT # 1010204

APPLICATION # 14-70288

RE: Tract Q7A1-A, Atrisco Business Park Unit 4

Zoning Enforcement needs to review and approve the site plan for conformance with the Zoning Code and Atrisco Master Plan.

Corrections needed include:

- 1) Recording information of existing easements needs to be noted on the site plan; also note if easements are 'Proposed.'
- 2) Patio wall color/ elevation needs to be noted in the site plan packet.
- 3) Landscape calculation table needs to be for 20% per Master Plan; landscaping is required along the south and east edge of the 90 foot Drainage Easement on the western portion of the site.



Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

DRB CASE ACTION LOG - BLUE SHEET

Done 10-2-14

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1010204

Application #: 14DRB-70288

Project Name: ATRISCO BUSINESS PARK UNIT 4

Agent: RBA ARCHITECTURE

Phone #:

Your request was approved on 10-1-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): review Landscape Plan - trees
OK per Street Tree Ord.

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
___ Major Subdivision action	___ Annexation
___ Minor Subdivision action	___ County Submittal
___ Vacation	V ___ EPC Submittal
___ Variance (Non-Zoning)	___ Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P ___ Sector Plan (Phase I, II, III)
___ for Subdivision	___ Amendment to Sector, Area, Facility or Comprehensive Plan
X ___ for Building Permit	___ Text Amendment (Zoning Code/Sub Regs)
___ Administrative Amendment (AA)	D ___ Street Name Change (Local & Collector)
___ IP Master Development Plan	L A APPEAL / PROTEST of...
___ Cert. of Appropriateness (LUCC)	___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
STORM DRAINAGE (Form D)	
___ Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RBA ARCHITECTURE, PC PHONE: 505-242-1859
 ADDRESS: 1104 PARK AVE SW FAX: 505-242-6630
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: david@rba81.com

APPLICANT: RUSS TRAPNELL PHONE: 505-296-0761
 ADDRESS: 2010 WYOMING BLVD NE SUITE G FAX: _____
 CITY: ABQ STATE NM ZIP 87112 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: SIDE WALK VARIANCE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. ___ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TR Q7A1A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: ATRISSO BUSINESS PARK UNIT 4
 Existing Zoning: SU-1/IP Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): 5-10-2 UPC Code: 101005847415740321

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.).
SP-98-188 2-92-57 14-DAB-70288

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.137
 LOCATION OF PROPERTY BY STREETS: On or Near: COORS BLVD AND LOS VOLCANES
 Between: COORS BLVD and UNSER BLVD

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8/16/14
 (Print) RICK BENNETT RBA Applicant. Agent.

FOR OFFICIAL USE ONLY

Form revised 4/07

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14 DRB 70324</u>	<u>SW</u>		\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMP</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date			Total
	<u>Sept. 24, 2014</u>			\$ <u>20.00</u>

[Signature] 9-16-14 Project # 1010204
 Planner signature / date

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE) **24 copies**
- Application for Minor Plat on FORM S-3, including those submittal requirements.
 - Letter briefly describing and explaining the request, compliance with the Development Process Manual, and all improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)** **6 copies**
- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)** **6 copies**
- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14")
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)** **6 copies**
- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14")
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David McEachern
Applicant name (print)

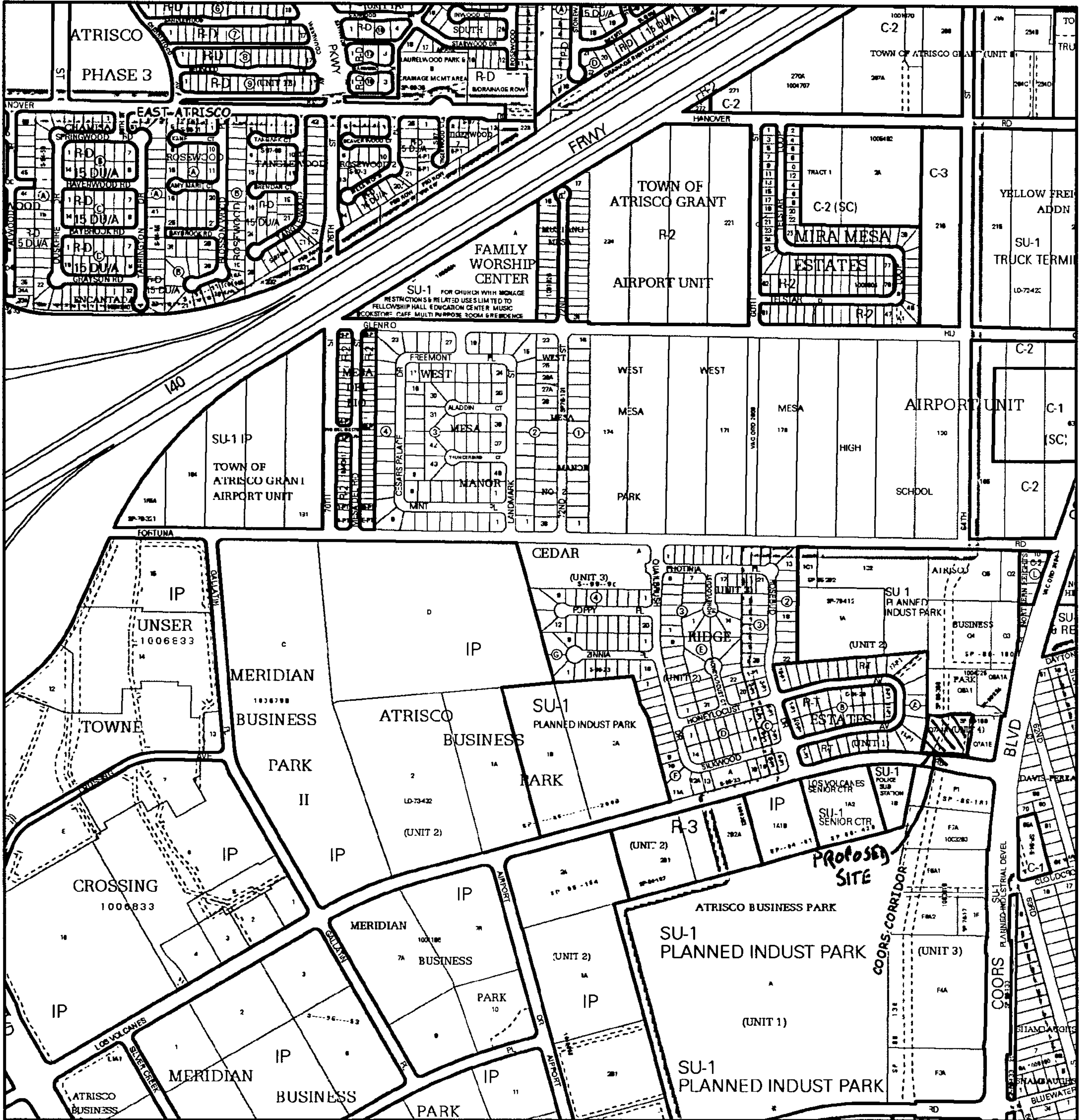
David McEachern 9/16/14
Applicant signature / date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
14 - DRB - 70324

[Signature] 9-16-14
Planner signature / date

Project # 1010204



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through 1/24/2011

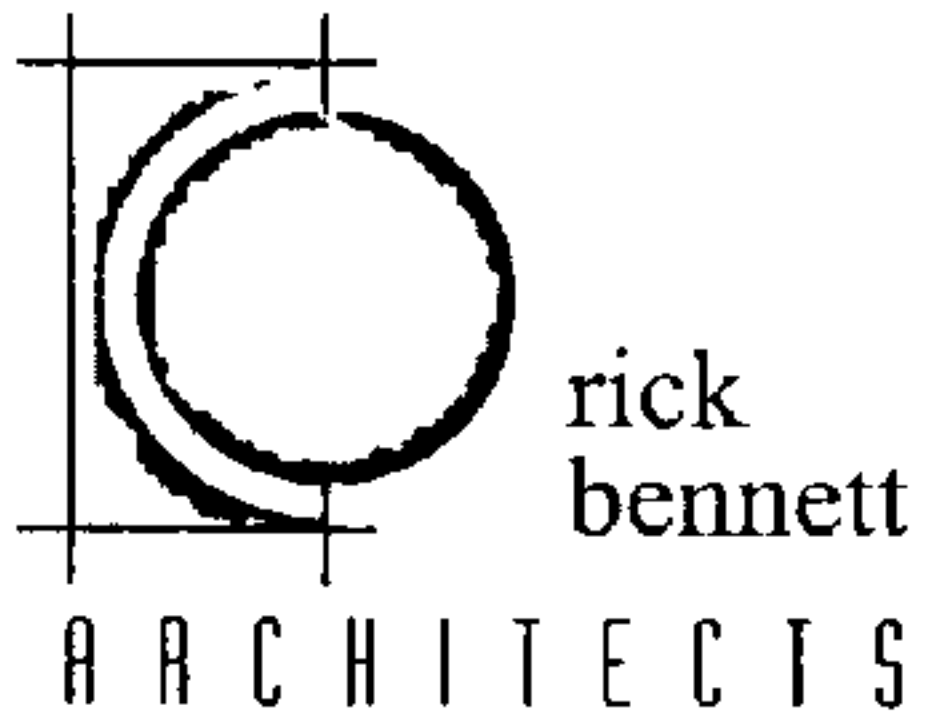
Note Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon	

0 750 1,500 Feet



September 15, 2014

City of Albuquerque Planning Department
PO Box 1293
Albuquerque, NM 87013
(505) 924-3860

Attn: Kristal Metro

This submittal is for a sidewalk variance for building permit located at Coors Blvd. and Los Volcanes Road, zoned SU-1, IP (industrial Park). The existing Los Volcanes Road is a collector roadway, which requires a 6-foot wide sidewalk, we area asking for a variance because we would like to match the existing 4-foot sidewalks on each side of our property.

Thank you

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Bennett", with a long horizontal flourish extending to the right.

Rick Bennett

PROJECT#
1010204

SEPTEMBER 24. 2014

SJD



Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	L A APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
STORM DRAINAGE (Form D)	
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RBA ARCHITECTURE PC PHONE: 505-242-1859
 ADDRESS: 1104 PARK AVE SW FAX: 505-242-6630
 CITY: ALBQ STATE NM ZIP 87102 E-MAIL: David@rba81.com

APPLICANT: RUSS TRAPNELL PHONE: 505-296-0761
 ADDRESS: 2010 Wyoming BLVD NE Suite 4 FAX: _____
 CITY: ABQ STATE NM ZIP 87112 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: ORTHODONTIST CLINIC AT COORS BLVD AND LOS VOLCANES

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TR 07A1A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: ATRISCO BUSINESS PARK UNIT 4
 Existing Zoning: SU-1/IP Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): J-10-2 UPC Code: 101005847415740321

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj, App., DRB-, AX, Z, V, S, etc.):
SP-98-188 2-92-57

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.137
 LOCATION OF PROPERTY BY STREETS: On or Near. COORS BLVD AND LOS VOLCANES
 Between: COORS BLVD and UNSER BLVD

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8/11/14
 (Print) Rich BENNET RBA Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14 DRB 70288</u>	<u>SBP</u>		\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>Aug 27 2014</u>			Total \$ <u>405.00</u>
	<u>8-19-14</u>	Project # <u>1010204</u>		
	Planner signature / date			

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Completed Site Plan for Subdivision Checklist
 ___ Infrastructure List, if relevant to the site plan
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 Solid Waste Management Department signature on Site Plan
 Zone Atlas map with the entire property(ies) clearly outlined
 Letter briefly describing, explaining, and justifying the request
 Letter of authorization from the property owner if application is submitted by an agent
 Copy of the document delegating approval authority to the DRB
 Infrastructure List, if relevant to the site plan
 Completed Site Plan for Building Permit Checklist
 Copy of Site Plan with Fire Marshal's stamp
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**
 ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
 FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Solid Waste Management Department signature on Site Plan for Building Permit
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 ___ Infrastructure List, if relevant to the site plan
 ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date

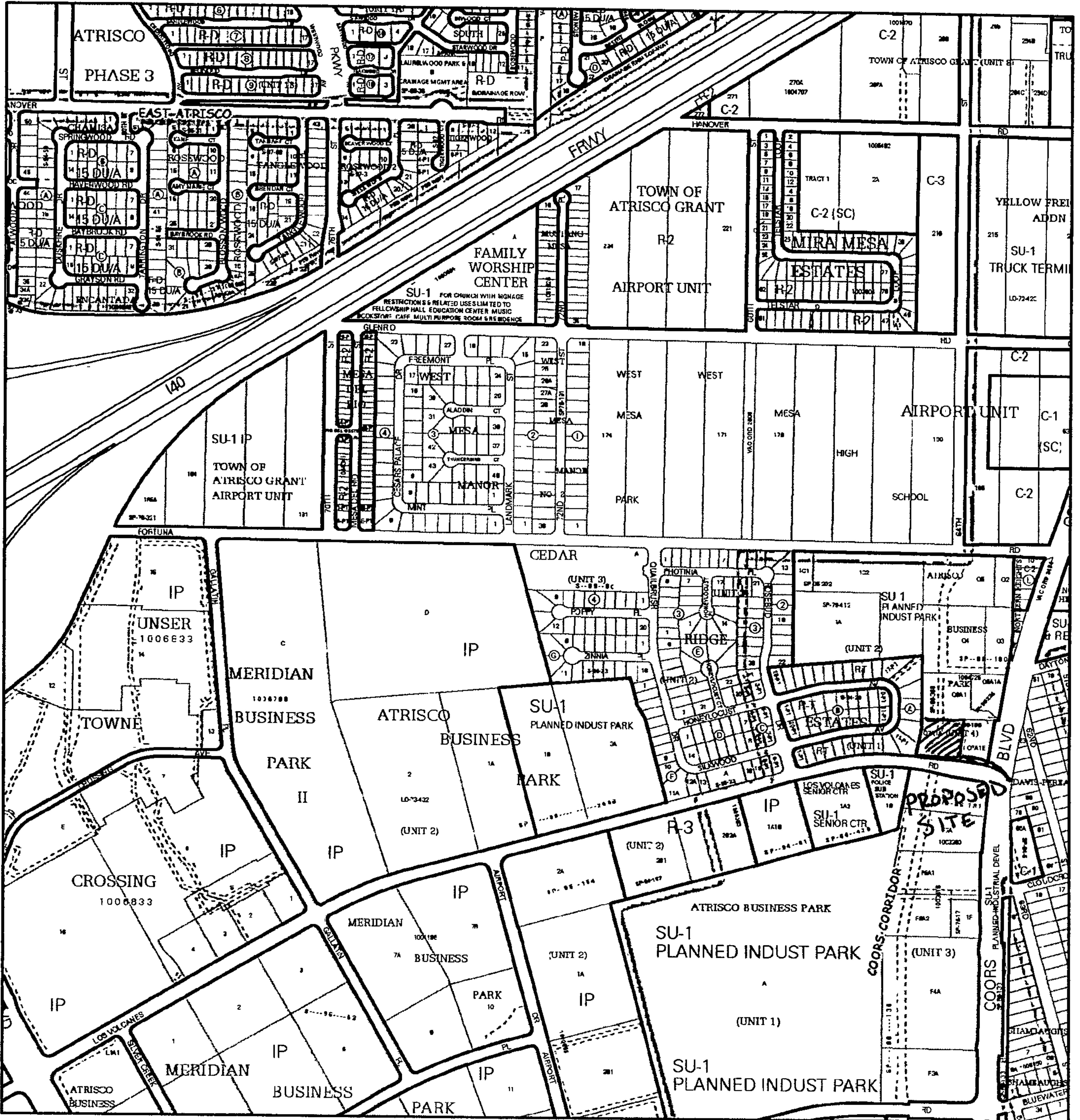


Form revised October 2007

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
 14 - DRB - 70288

 8-19-14
 Planner signature / date
 Project # 1010204



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



August 5, 2014

City of Albuquerque Planning Department
PO Box 1293
Albuquerque, NM 87013
(505) 924-3860

Attn: Jack Cloud

This submittal is for an Orthodontist Clinic located at Coors Blvd. and Los Volcanes Road. The project is zoned SU-1, IP (Industrial Park). The submittal is for Site Plan for building for permit. The proposed building consists of a new building 4,479 s.f. with a 733 s.f. garage/storage for the doctors.

We feel this is an exciting project which meets all zoning and planning requirements. Please contact our office with any questions.

Thank you

Sincerely,

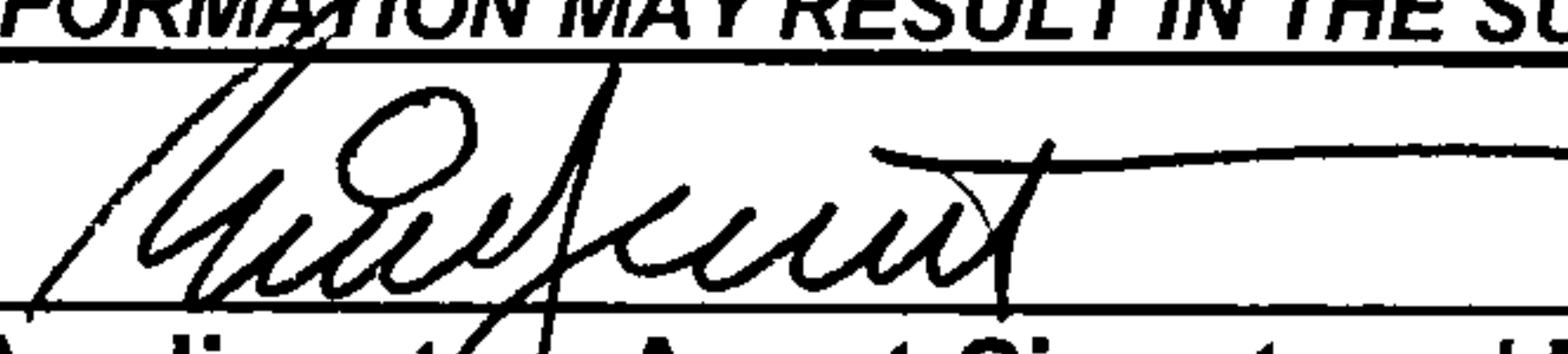
A handwritten signature in black ink, appearing to read "Rick Bennett", with a long horizontal flourish extending to the right.

Rick Bennett

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.



 Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale:

1.0 acre or less	1" = 10'	Over 5 acres	1" = 50'
1.0 - 5.0 acres	1" = 20'	Over 20 acres	1" = 100'
[other scales, if approved by staff]			
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
9. Phases of development including location and square footages of structures, circulation, parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- NA 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.

- 1. **Location and typical dimensions**, including handicapped spaces
- 2. **Calculations:** spaces required: 10 provided: 35

Handicapped spaces (included in required total) required: 2 provided: 2
Motorcycle spaces (in addition to required total) required: 2 provided: 2

- B. Bicycle parking & facilities

- 1. Bicycle racks, spaces required: 1 provided: 2
- NA 2. Bikeways and other bicycle facilities, if applicable

- NA C. Public Transit

- 1. Bus facilities, including routes, bays and shelters existing or required

- D. Pedestrian Circulation

- 1. Location and dimensions of all sidewalks and pedestrian paths
- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk

- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)

- 1. Ingress and egress locations, including width and curve radii dimensions
- 2. Drive aisle locations, including width and curve radii dimensions
- 3. End aisle locations, including width and curve radii dimensions
- 4. Location & orientation of refuse enclosure, with dimensions
- 5. Curb cut locations and dimensions
- 6. Existing and proposed street widths, right-of-way widths and curve radii
- NA 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- NA 8. Location of traffic signs and signals related to the functioning of the proposal
- NA 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- NA Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

NA 5. Cross Sections

Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.

X 6. In addition to the above, the following must be provided for DRB applications:

A Conceptual onsite drainage system

B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

X 1. Fire hydrant locations, existing and proposed.

X 2. Distribution lines

X 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.

X 4. Existing water, sewer, storm drainage facilities (public and/or private).

X 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

X 1. Scale (minimum of 1/8" or as approved by Planning Staff)

X 2. Bar Scale

X 3. Detailed Building Elevations for each facade

X a. Identify facade orientation (north, south, east, & west)

X b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)

X c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.

X d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)

NA 4. Dimensions, colors and materials of Refuse Enclosure

NA 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

X 1. Site location(s) ON BUILDING

NA 2. Sign elevations to scale

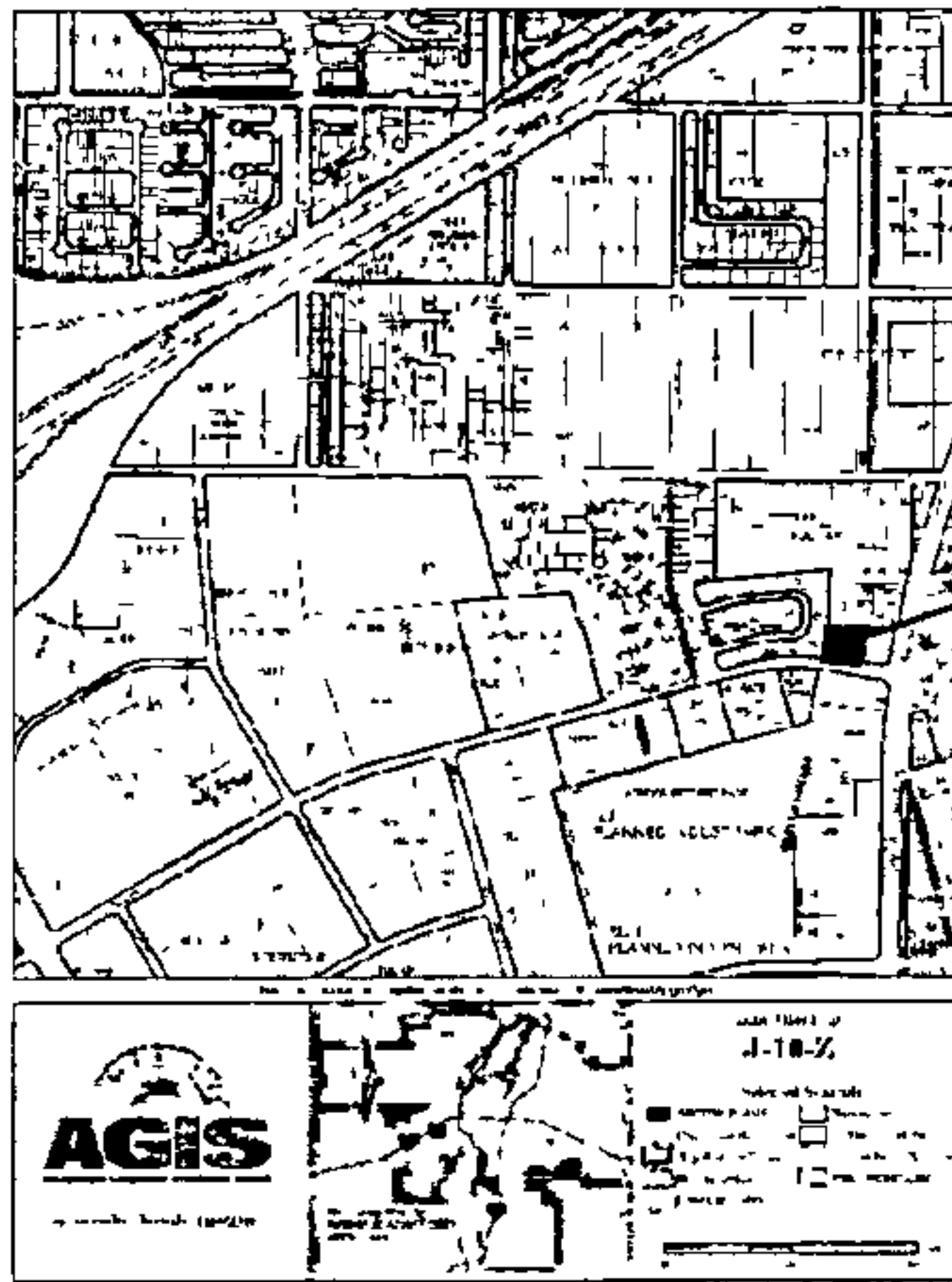
X 3. Dimensions, including height and width

X 4. Sign face area - dimensions and square footage clearly indicated NOT TO EXCEED 15% OF FACADE

X 5. Lighting

X 6. Materials and colors for sign face and structural elements

NA 7. Verification of adequate sight distance



PROPOSED SITE

KEYED NOTES

1. 2'-0" FINISH
2. CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4" FT. AWAY FROM BUILDING
3. 6" REINFORCED CONCRETE CURB PER CITY OF ALBUQUERQUE STANDARD, SEE SHEET C-2 AND GRADING AND LANDSCAPE PLAN
4. ROLLED ASPHALT CURB
5. SLOPED BLANKET LEICORON, REP. C2 FOR DETAILS
6. 2" WIRE MESHED PAVING STRIPS PER CITY OF ALBUQUERQUE STANDARD, SEE C-2 FOR DETAILS
7. HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARD, REP. B-2 FOR DETAILS
8. HANDICAP ACCESSIBLE RAMP PER CITY OF ALBUQUERQUE STANDARD, REP. B-2 FOR DETAILS
9. HANDICAP ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE STANDARD, REP. C-2 FOR DETAILS
10. ASPHALT PAVEMENT
11. LANDSCAPING AREA, SEE LANDSCAPING PLAN
12. 6" WIRE MESH PER CITY OF ALBUQUERQUE STANDARD, REP. B-2 FOR DETAILS
13. 4" HIGH CURB WALL 1/2" W/OUTSIDE HIGH FENCE
14. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REP. C-2 FOR DETAILS
15. MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS
16. FLOORING GRANITE
17. CONCRETE SLAB, PER BLANKET
18. EXISTING FIRE HYDRANT
19. BUILDING SCHEME

PARKING REQUIREMENTS

PARKING REQUIREMENTS	
MEDICAL AND DENTAL CLINICS	8 SPACES FOR EACH DOCTOR
PARKING REQUIRED:	(2) DOCTOR = 10 SPACES REQUIRED
PARKING PROVIDED:	37 REGULAR SPACES
	1 H.C. VEH SPACE
	1 H.C. SPACE
	2 GARAGE SPACES
MOTORCYCLE SPACE PROVIDED:	2 MOTORCYCLE SPACE (1 PER 20 SPACES)
BICYCLE RACK REQUIRED:	37 TOTAL SPACES
	1 SPACE REQUIRED, 2 SPACES

NOTE: ALL EXTERIOR LIMITS ON BUILDING TO BE SHIELDED

PROJECT NUMBER

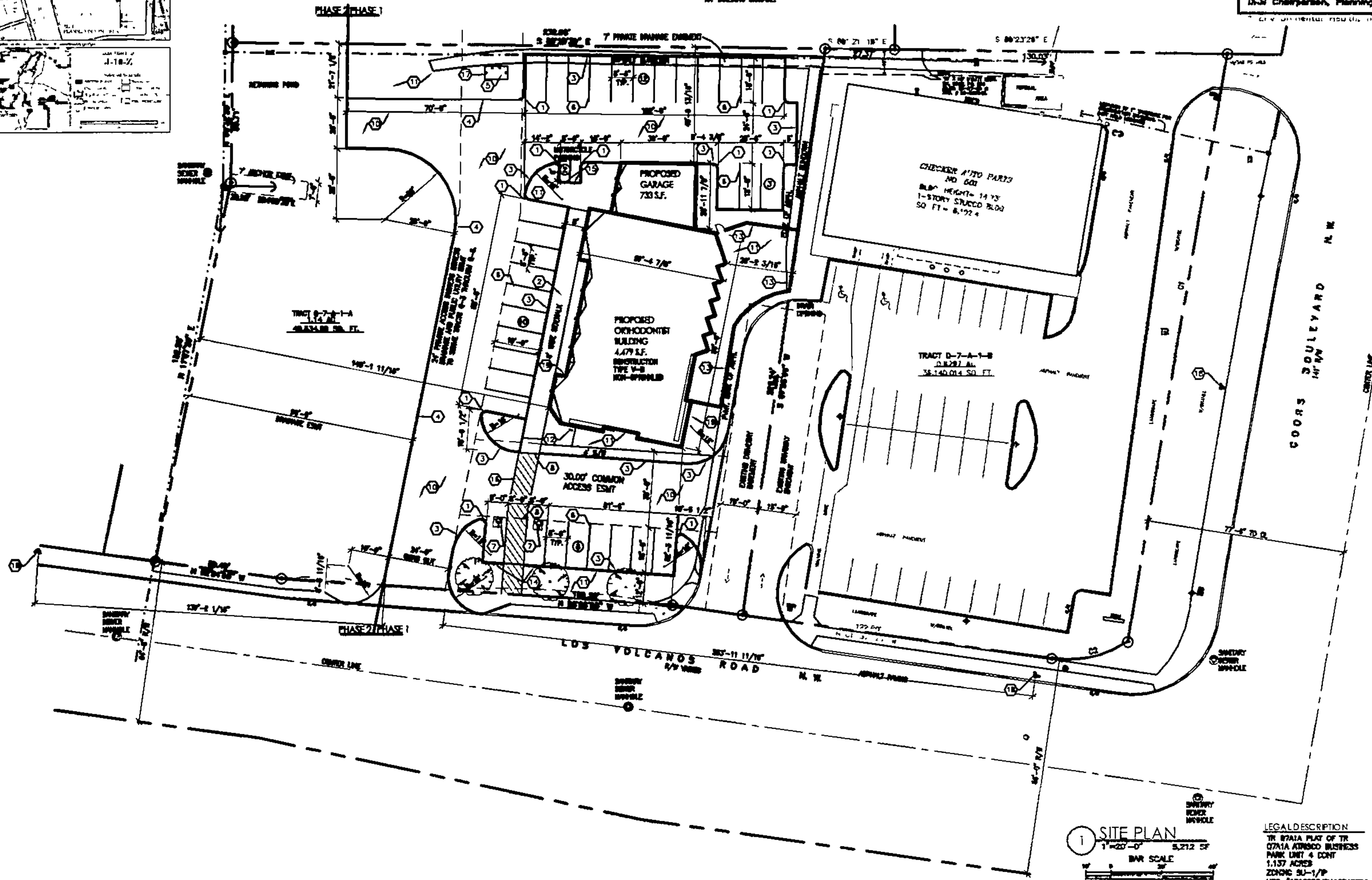
APPLICATION NUMBER

This Plan is submitted with the proposed Site Development Plan approved by the Albuquerque Planning Department (PC), filed with the City Engineer and the Planning and Zoning Commission in the official jurisdiction of the City of Albuquerque.

In an incorporation into the City of Albuquerque, the City Engineer shall not be responsible for the construction of public improvements.

CITY ENGINEER DEVELOPMENT PLAN APPROVAL

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditioner)	Date
Solid Waste Management	Date
Deed Chairperson, Planning Department	Date



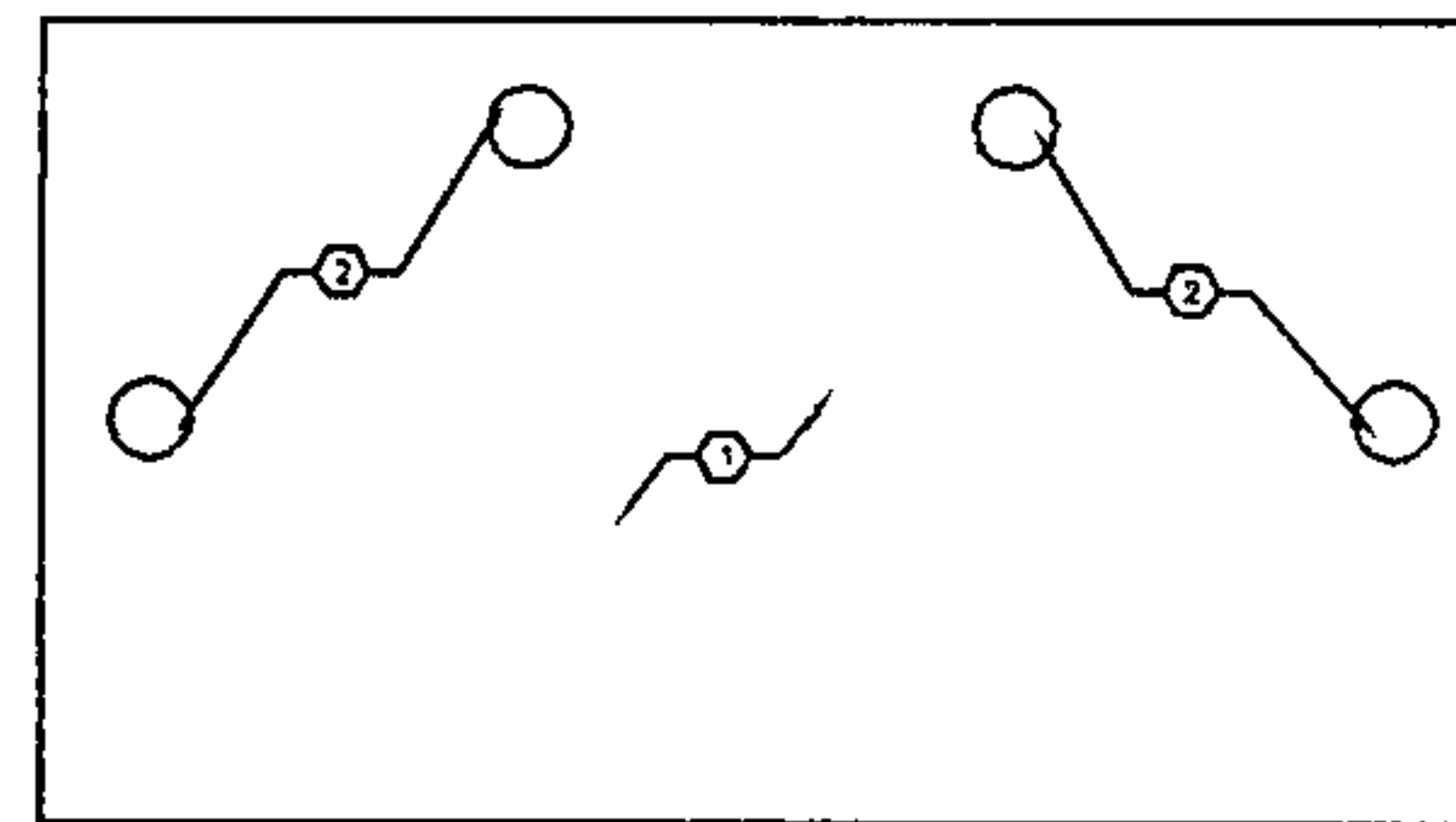
ABQ ORTHODONTICS
SITE PLAN
ALBUQUERQUE, NM
PROJECT # 1332

REVISION DATE	
DATE	08-11-2014
SHEET NUMBER	C-10

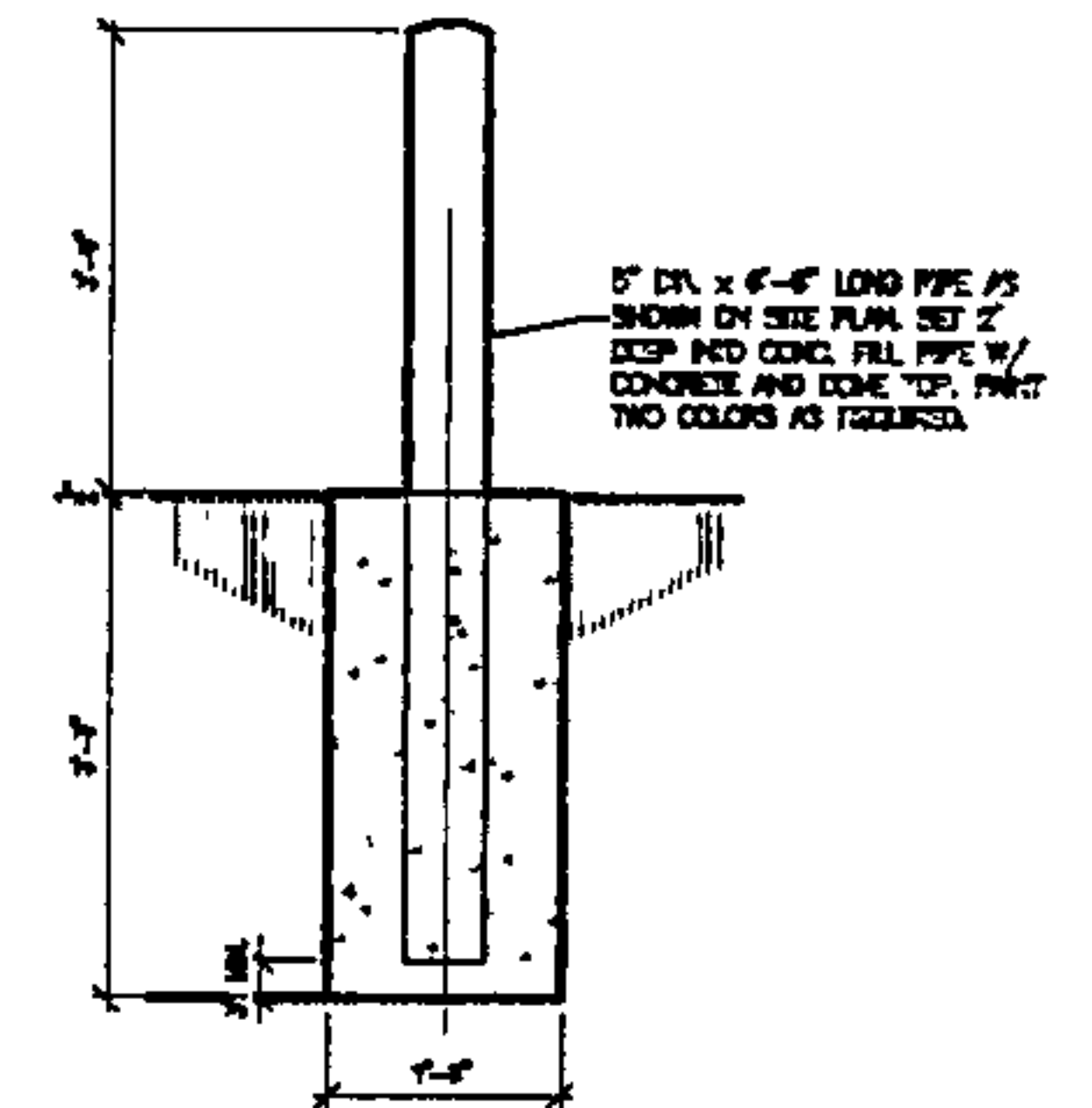
1 SITE PLAN
1"=20'-0" 8,212 SF
BAR SCALE
(1/8"=1')

LEGAL DESCRIPTION
TR. 07A1A PLAT OF TR. 07A1A, ADJACENT BUSINESS PARK UNIT 4 CONT. 1.137 ACRES, ZONING SU-1/P, UPO #1010008-074157400021

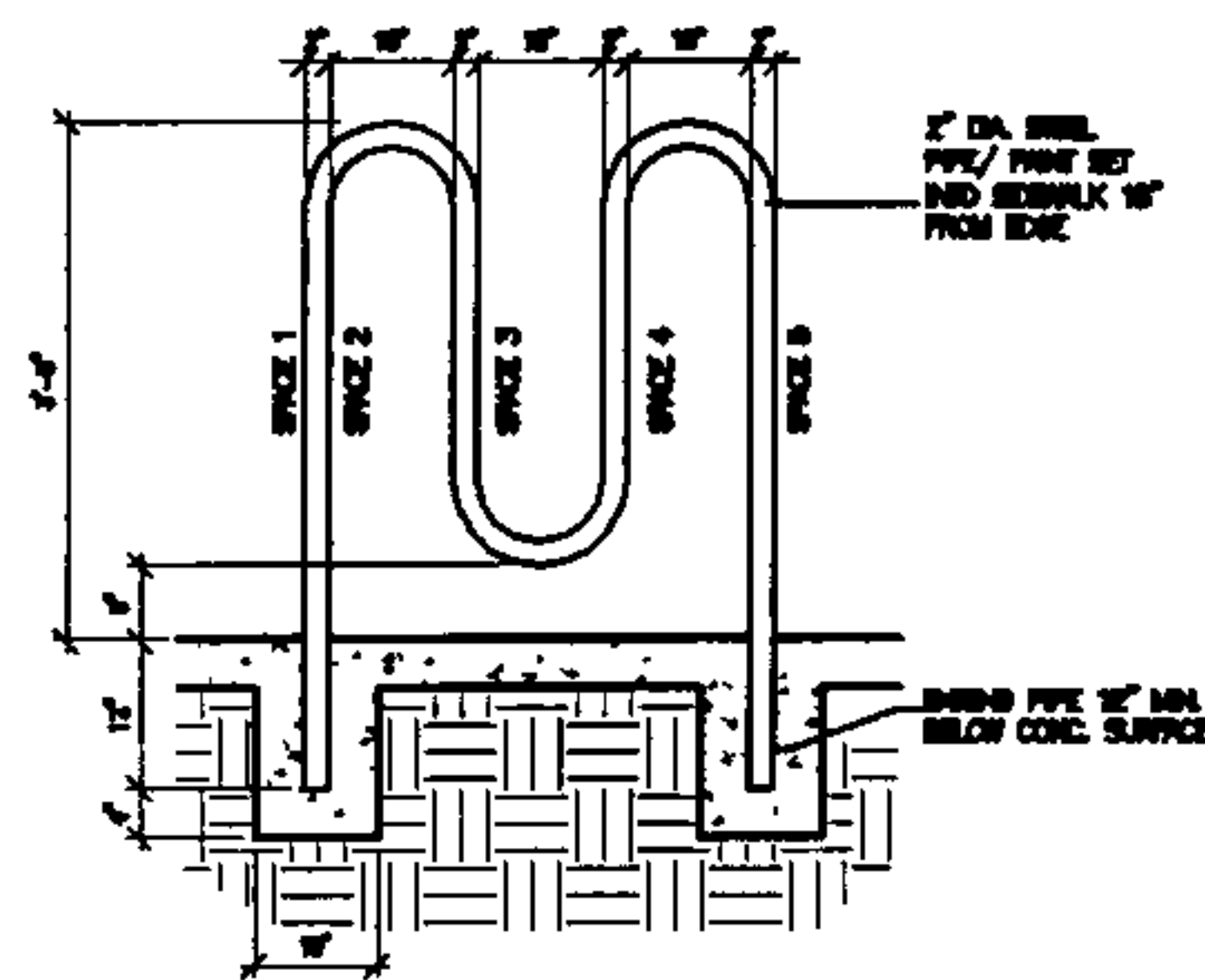
- REBAR NOTES**
- 4" THICK CONCRETE SLAB SHALL BE MIN. 5/8" REBAR WITH MAXIMUM 18" SPACING.
 - 4" DIA. REBAR PIPE FILLED WITH CONCRETE AND COVERED IN 4" THICK CONCRETE THROUGH ALL FIELDS. REBAR SHALL BE PLACED 1" FROM SURFACE. CONCRETE TO BE FINISH 3/4" BELOW SURFACE AND FORM TO BE FINISH 3/4" DIA.



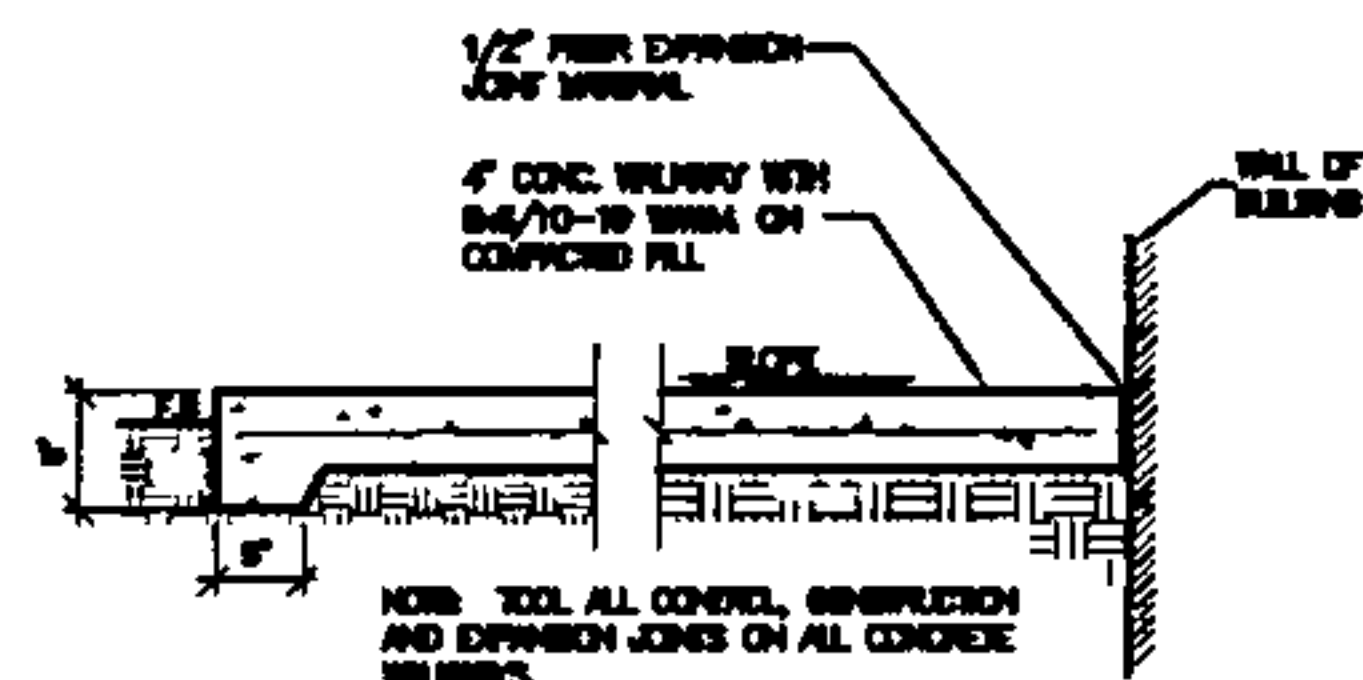
7 SWANSON DUMPSTER COLLECTION SITE
3/4"=1'-0"



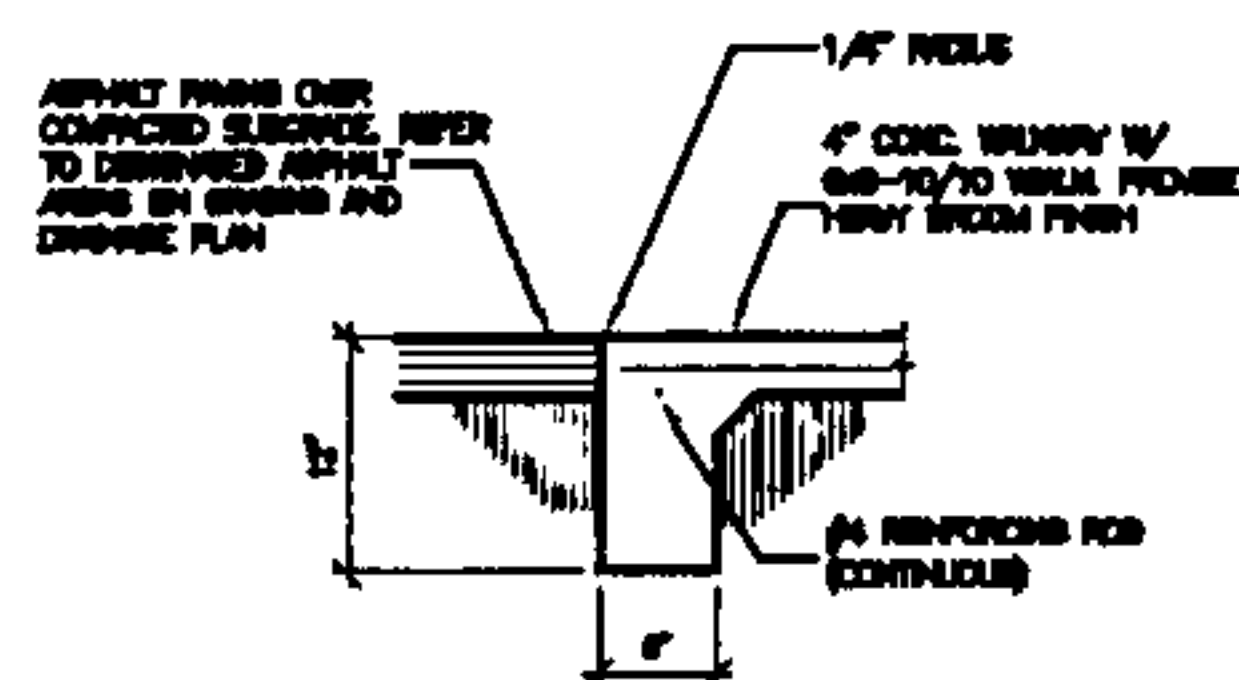
6 TYP BOLLARD DETAIL
3/4"=1'-0"



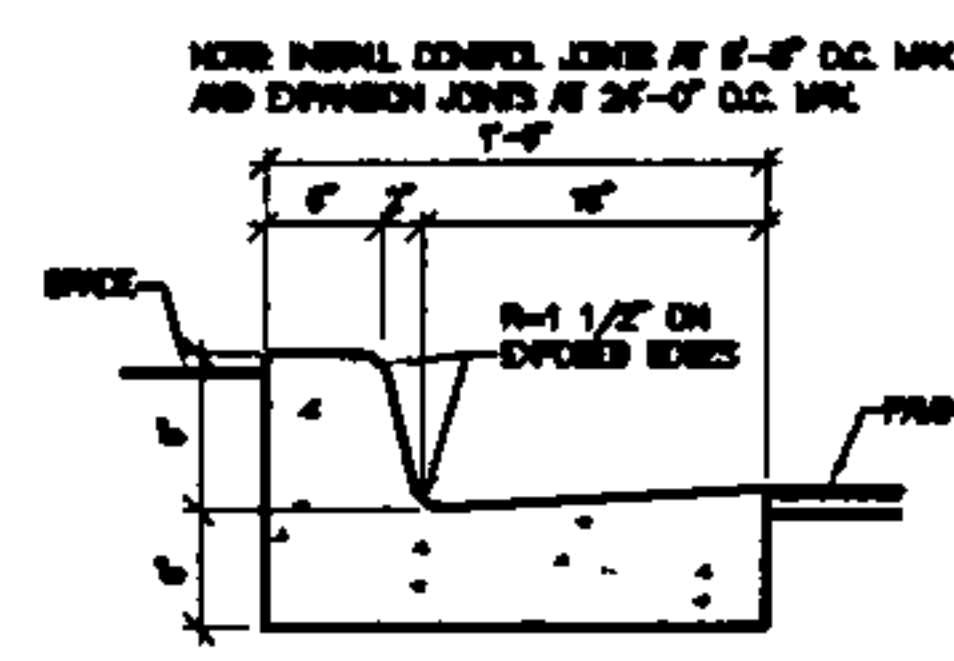
6 TYP. BICYCLE RACK DETAIL
3/4"=1'-0"



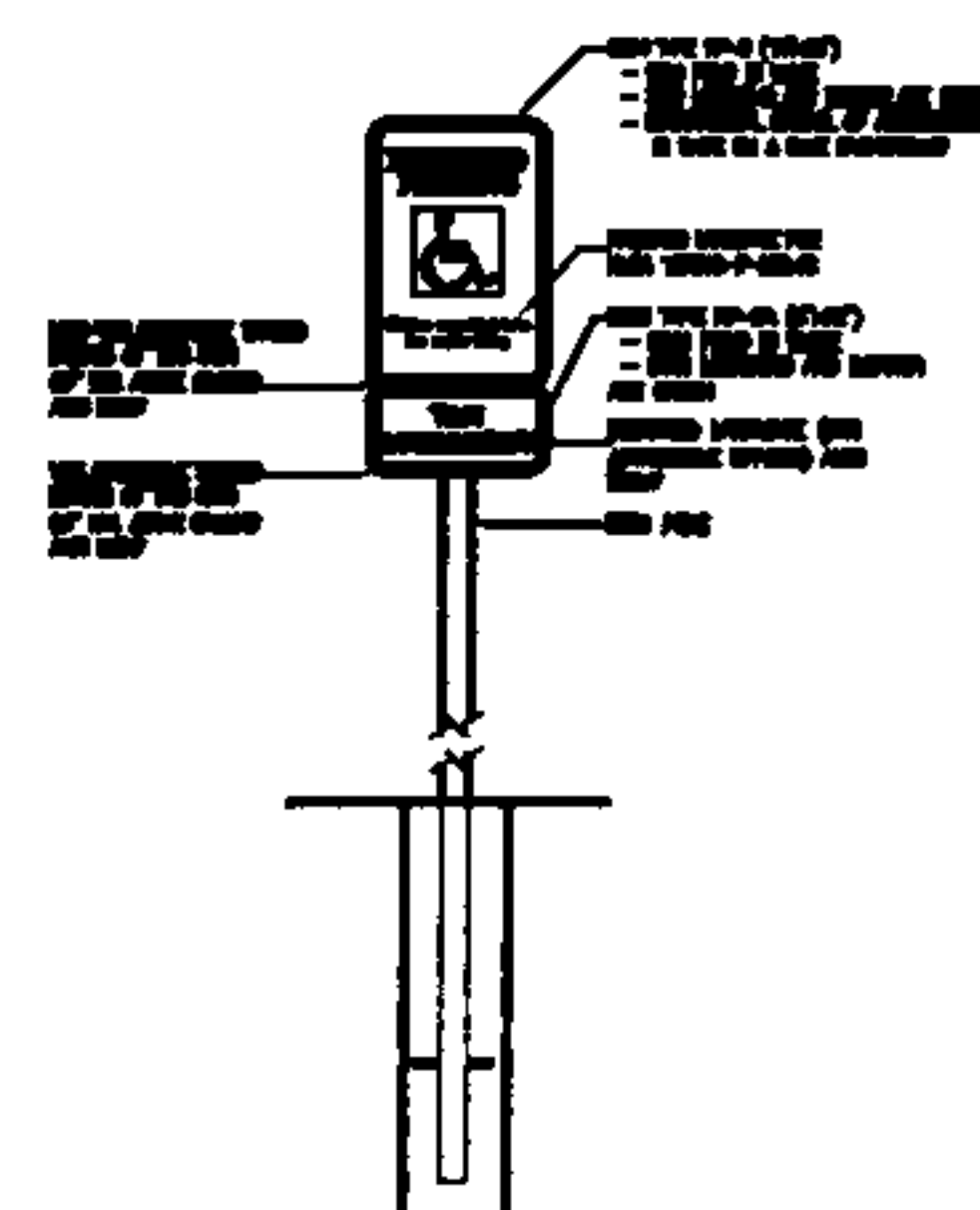
5 TYP. CONCRETE SIDEWALK DETAIL
3/4"=1'-0"



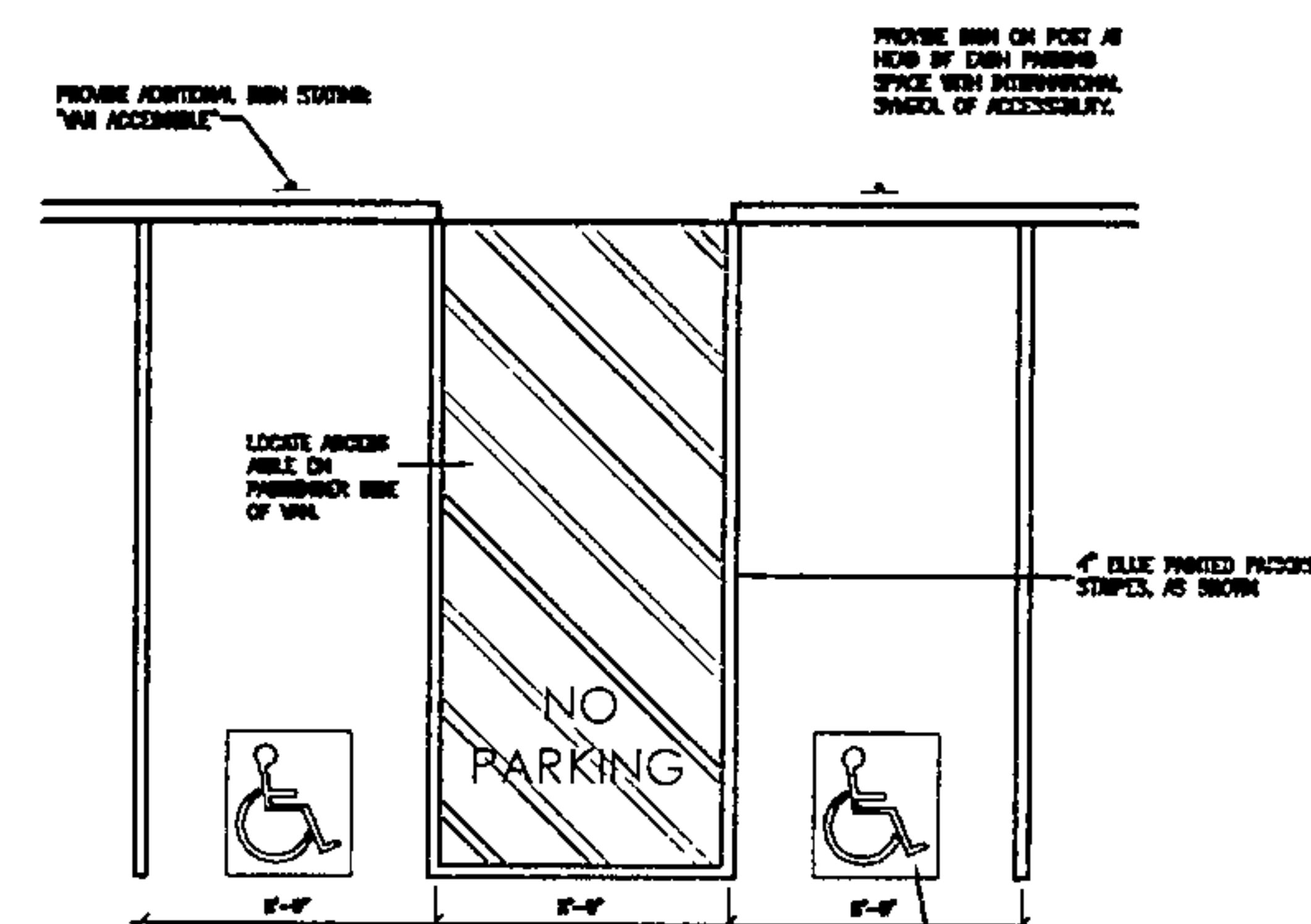
4 TYP. CONCRETE CURB AND SIDEWALK DETAIL
1'-1'-0"



3 TYP. CONCRETE CURB AND GUTTER DETAIL
1'-1'-0"



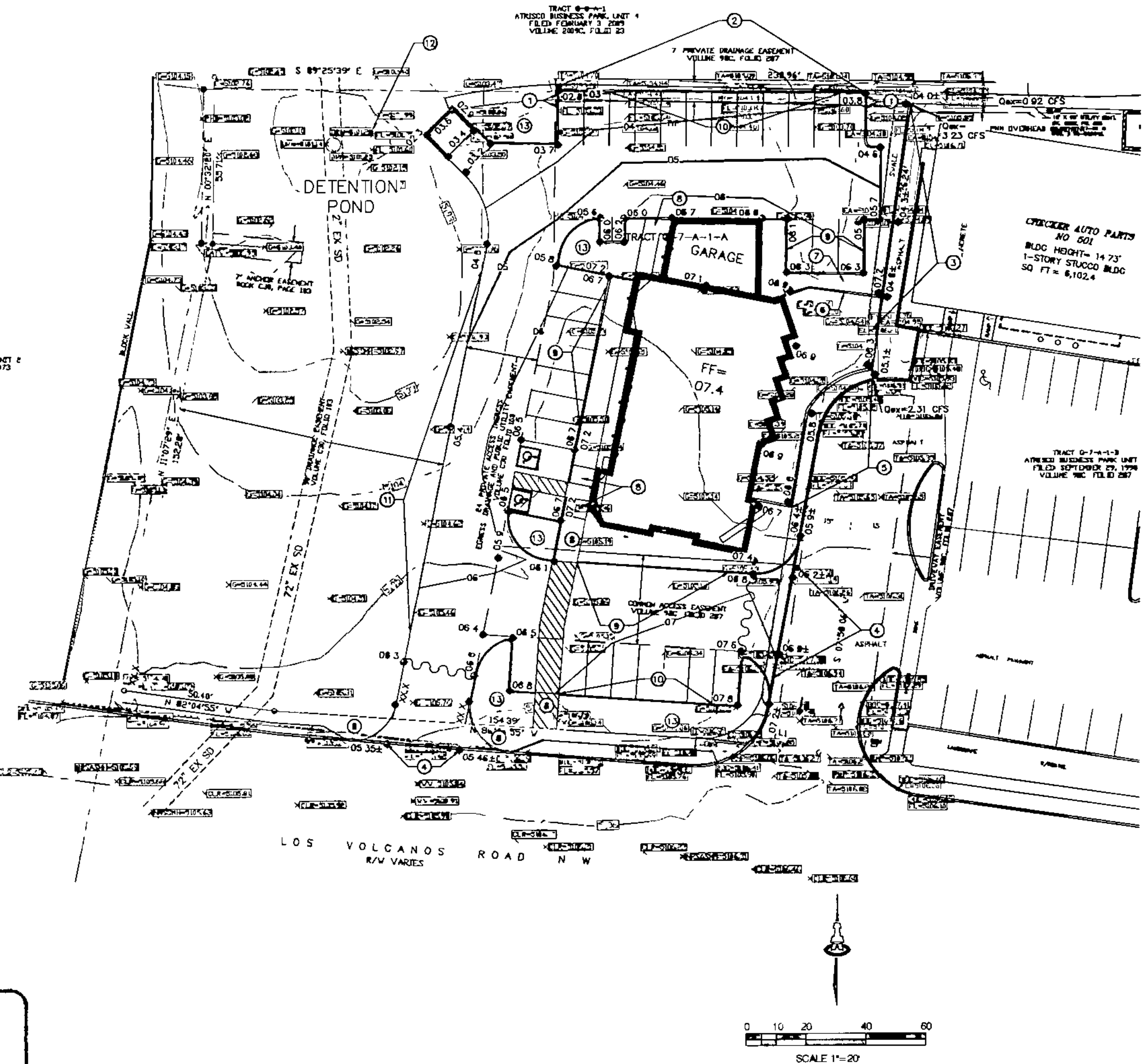
2 TYP. ACCESSIBLE SIGNAGE DETAIL
3/4"=1'-0"



1 OPTION 4 - ACCESSIBLE PARKING
1/4"=1'-0"

ABQ ORTHODONTICS
SITE PLAN DETAILS
ALBUQUERQUE, NM
PROJECT # 1332

REVISION	DATE
DATE	08-11-2014
SHEET NUMBER	C-2.0



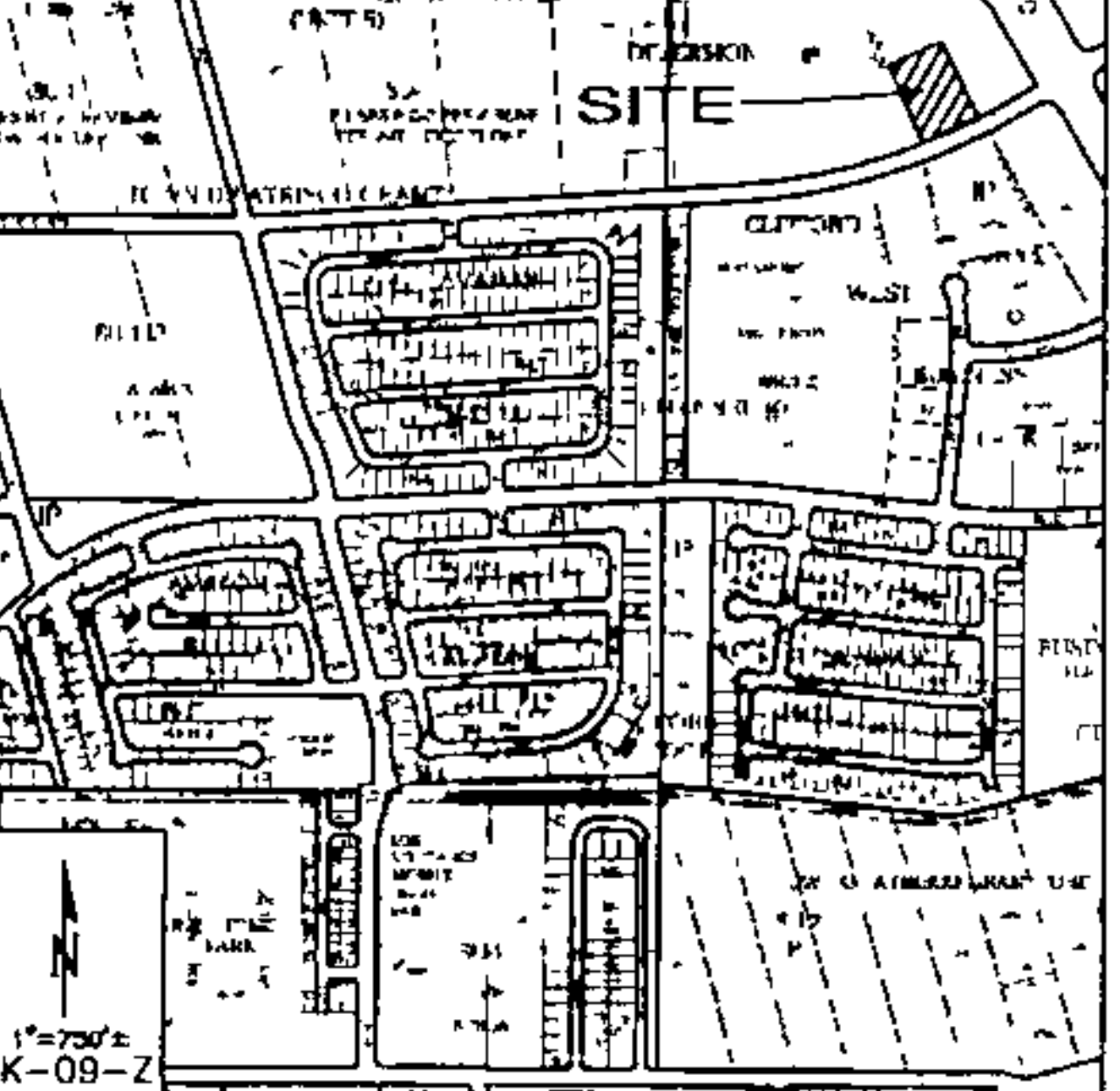
GENERAL NOTES

- A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN AND LANDSCAPE PLAN.
- B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
- C. PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. DESIGN GRADES ARE APPROX. 1.0% TO ALLOW FOR CONSTRUCTION TOLERANCES.
- D. FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
- E. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFF-SITE.
- F. ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- G. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.) CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- H. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
- I. UNIFORM GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- J. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- K. OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- L. OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- M. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD (SWPPP, NPDES PERMIT AND ESC PLAN BY OTHERS). A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
- N. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES.
- O. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- P. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS.
- Q. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS MATCH OR ±, TRANSITIONS SHALL BE SMOOTH.
- R. NEW PAVEMENT SLOPE SHALL BE A MINIMUM OF 1.0% FOR CONCRETE AND 1.5% FOR ASPHALT UNLESS NOTED OTHERWISE.
- S. ALL FRACTURED FACE ROCK (FF ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (G.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- T. ALL AREAS DISTURBED BY CONSTRUCTION (OUTSIDE PROPOSED TURF AREA) SHALL BE RESEEDED WITH NATIVE GRASS PER C.D.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.
- U. POND DESIGN PARAMETERS (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- V. ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

LEGEND

- 1. 2'-2" WIDE CURB OPENINGS TO ALLOW OFFSITE FLOWS TO PASS THROUGH THE PARKING LOT
- 2. REMOVE & DISPOSE OF EXISTING ASPHALT RUNDOWN
- 3. RELOCATE EXISTING ASPHALT RUNDOWN ONTO ADJACENT PROPERTY PER CHECKER AUTO CORP'S BLVD GRADING AND DRAINAGE PLAN BY GOODWIN & ASSOCIATES DATED 11/03/98.
- 4. MATCH EXISTING ASPHALT PAVING FOR A SMOOTH DRIVING TRANSITION
- 5. PROPOSED RETAINING WALL WITH OPENINGS IN VERTICAL GAPS ALONG THE ROW OF BLOCKS AT THE TOP EARTH GRADE. THE OPENINGS ALLOW OVERFLOW STORM WATER FROM THE COURTYARD TO ESCAPE.
- 6. TURN BLOCKS IN THE COURTYARD WALL TO ALLOW STORM WATER FROM THE LANDSCAPED AREA TO ESCAPE.
- 7. INSTALL 4" TRENCH DRAIN WITH SOLID GRATE AT 2% SLOPE
- 8. HANDICAP RAMP PER ARCHITECTURAL DETAILS.
- 9. TURN-DOWN EDGE OF SIDEWALK PER ARCHITECTURAL DETAILS.
- 10. CURB & CUTTER PER ARCHITECTURAL DETAILS.
- 11. GRADE TO DIRECT FLOWS TO DETENTION POND. INSTALL EROSION PROTECTION ALONG EDGE OF ASPHALT.
- 12. PROPOSED 4,540 CF DETENTION POND
- 13. DEPRESSED WATER HARVESTING AREAS WITHIN LANDSCAPING

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: TRACT Q-7-A-1-A, ATRISCO BUSINESS PARK

SITE AREA: 11 AC

FLOOD ZONE: THIS SITE FALLS ENTIRELY WITHIN ZONE X PER FEMA FIRM MAP 35001C0329H DATED AUGUST 16, 2012

ENGINEER: ISAACSON & ARFMAN, P.A.
128 MONROE ST NE APO, NM 87108
PHONE: (505) 268-8828

SURVEYOR: HARRIS SURVEYING, INC.
2412-O MONROE ST NE
ALBUQUERQUE, NM 87110
PHONE: (505) 889-8056

BENCHMARK: ACS "13-K10"
ELEV=5148.61 (NAVD 1988)

PROJECT CONDITIONS: THE PROPOSED PROJECT IS AN XXXX SF MEDICAL OFFICE BUILDING ON THE EASTERN PORTION OF THE EXISTING UNDEVELOPED TRACT. TO THE EAST IS AN EXISTING AUTO PARTS STORE. OFFSITE FLOWS OF 3.2 CFS ENTER THE SITE ON THE NE CORNER, AND TRAVEL WEST IN AN ASPHALT RUNDOWN TO A DETENTION POND WITH A PUBLIC INLET AT THE BOTTOM.

THE NEW CONSTRUCTION WILL REMOVE THE EXISTING ASPHALT RUNDOWN AND DIRECT OFFSITE FLOWS THROUGH THE PARKING LOT, THEN BACK OUT THE DETENTION POND. DEVELOPED FLOWS OF 3.8 CFS FROM THE NEW CONSTRUCTION WILL ALSO BE DIRECTED WEST TO A DETENTION POND. THE POND WILL BE AT LEAST 4,540 CU FT IN SIZE TO ACCOUNT FOR THE INCREASED DEVELOPED DISCHARGE.

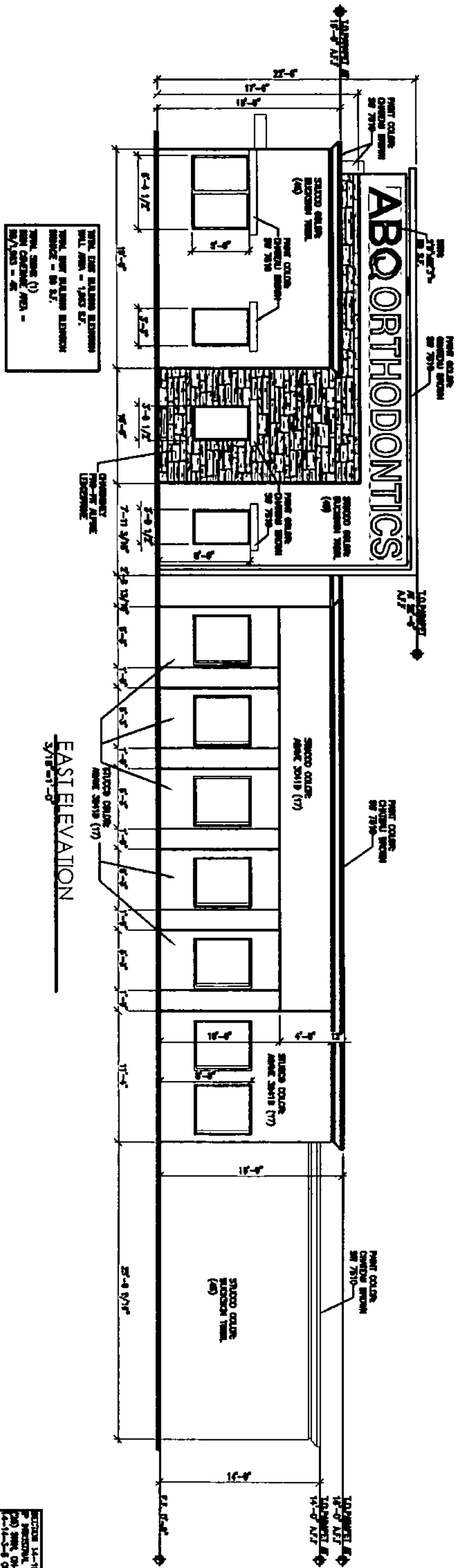
KEYED NOTES

- 1. 2'-2" WIDE CURB OPENINGS TO ALLOW OFFSITE FLOWS TO PASS THROUGH THE PARKING LOT
- 2. REMOVE & DISPOSE OF EXISTING ASPHALT RUNDOWN
- 3. RELOCATE EXISTING ASPHALT RUNDOWN ONTO ADJACENT PROPERTY PER CHECKER AUTO CORP'S BLVD GRADING AND DRAINAGE PLAN BY GOODWIN & ASSOCIATES DATED 11/03/98.
- 4. MATCH EXISTING ASPHALT PAVING FOR A SMOOTH DRIVING TRANSITION
- 5. PROPOSED RETAINING WALL WITH OPENINGS IN VERTICAL GAPS ALONG THE ROW OF BLOCKS AT THE TOP EARTH GRADE. THE OPENINGS ALLOW OVERFLOW STORM WATER FROM THE COURTYARD TO ESCAPE.
- 6. TURN BLOCKS IN THE COURTYARD WALL TO ALLOW STORM WATER FROM THE LANDSCAPED AREA TO ESCAPE.
- 7. INSTALL 4" TRENCH DRAIN WITH SOLID GRATE AT 2% SLOPE
- 8. HANDICAP RAMP PER ARCHITECTURAL DETAILS.
- 9. TURN-DOWN EDGE OF SIDEWALK PER ARCHITECTURAL DETAILS.
- 10. CURB & CUTTER PER ARCHITECTURAL DETAILS.
- 11. GRADE TO DIRECT FLOWS TO DETENTION POND. INSTALL EROSION PROTECTION ALONG EDGE OF ASPHALT.
- 12. PROPOSED 4,540 CF DETENTION POND
- 13. DEPRESSED WATER HARVESTING AREAS WITHIN LANDSCAPING

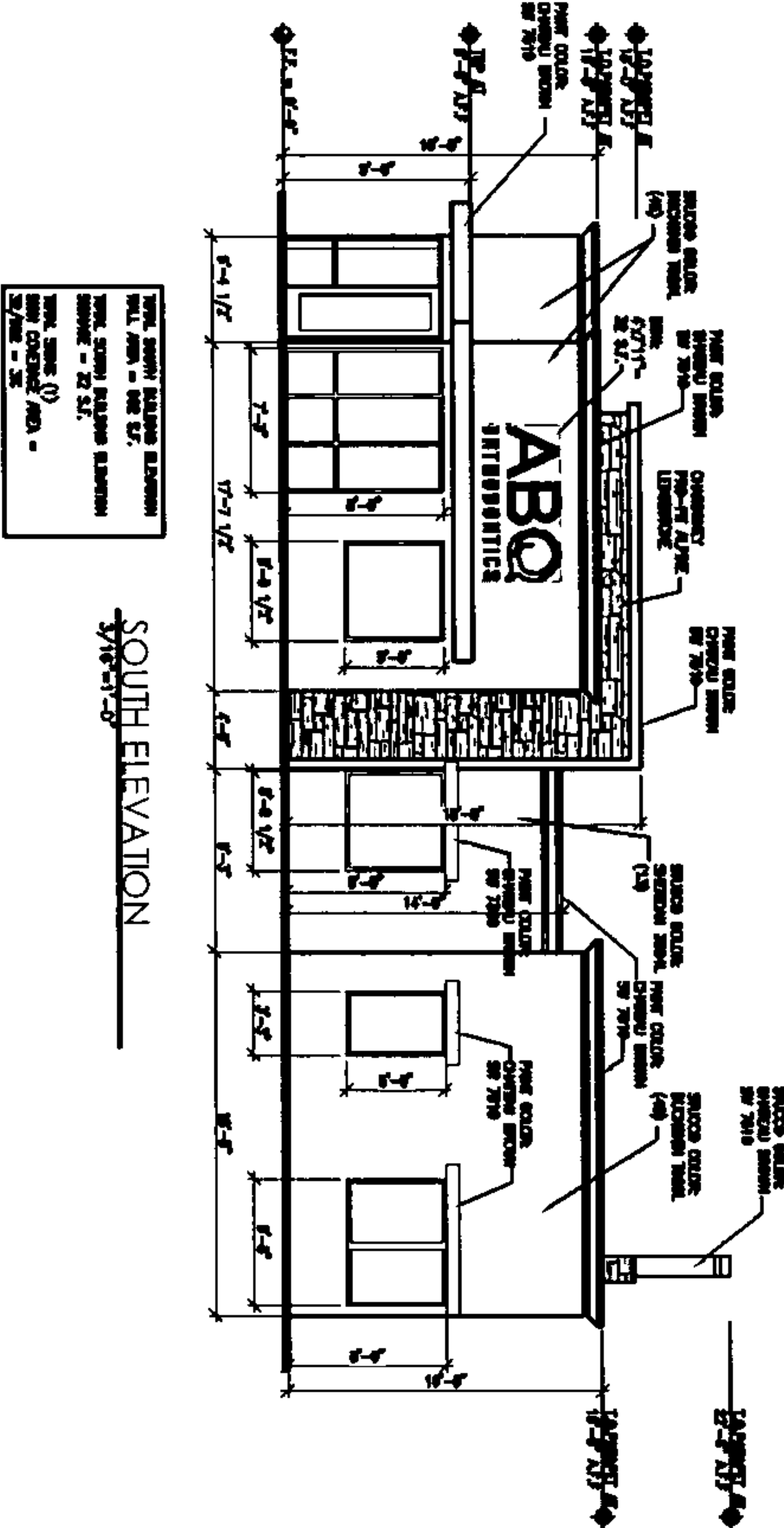
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street NE
Albuquerque, New Mexico 87108
761-506-2688-8828 www.isaacson.com
2003 CG-101.dwg 04/16/2013

DATE: 11-27-2013
SHEET NUMBER: CG-101

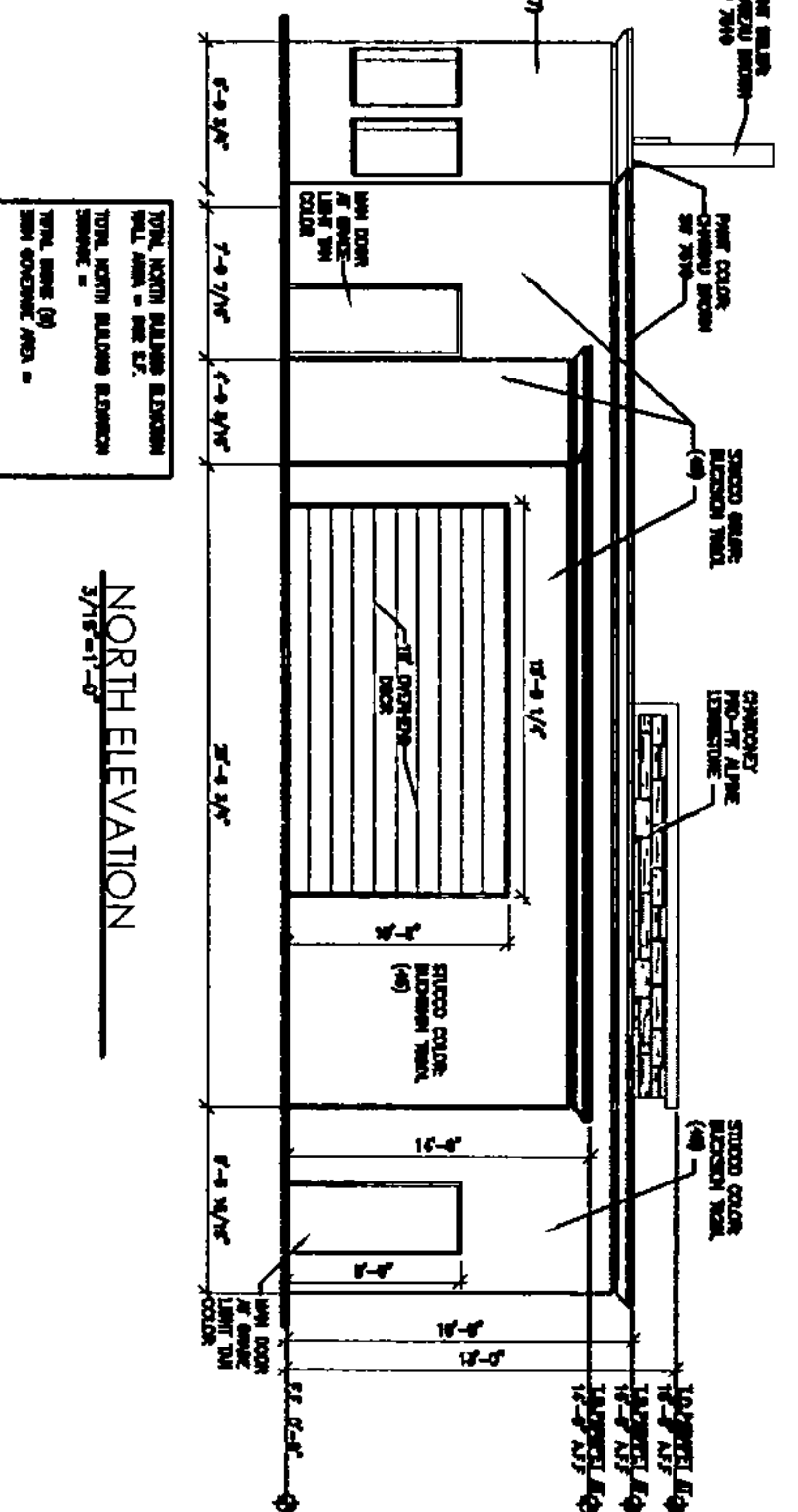




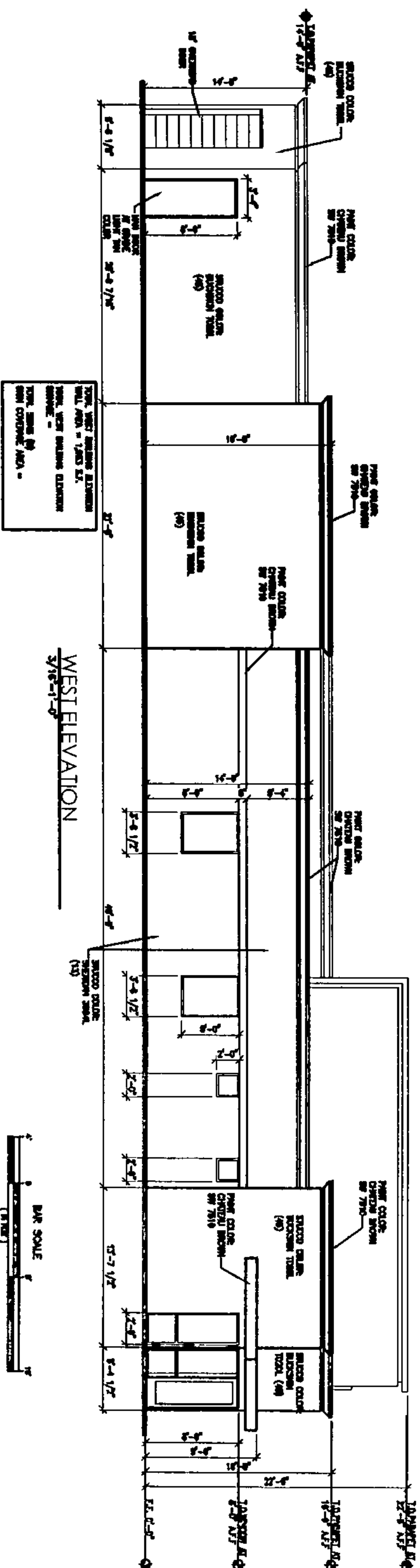
EAST ELEVATION
3/16"=1'-0"



SOUTH ELEVATION
3/16"=1'-0"



NORTH ELEVATION
3/16"=1'-0"



WEST ELEVATION
3/16"=1'-0"



TOTAL NORTH BUILDING ELEVATION
WALL AREA = 686 SF.
TOTAL NORTH BUILDING ELEVATION
SCREEN = 22 SF.
TOTAL NORTH AREA = 708 SF.

TOTAL EAST BUILDING ELEVATION
WALL AREA = 1,260 SF.
TOTAL EAST BUILDING ELEVATION
SCREEN = 83 SF.
TOTAL EAST AREA = 1,343 SF.

TOTAL NORTH BUILDING ELEVATION
WALL AREA = 686 SF.
TOTAL NORTH BUILDING ELEVATION
SCREEN = 22 SF.
TOTAL NORTH AREA = 708 SF.

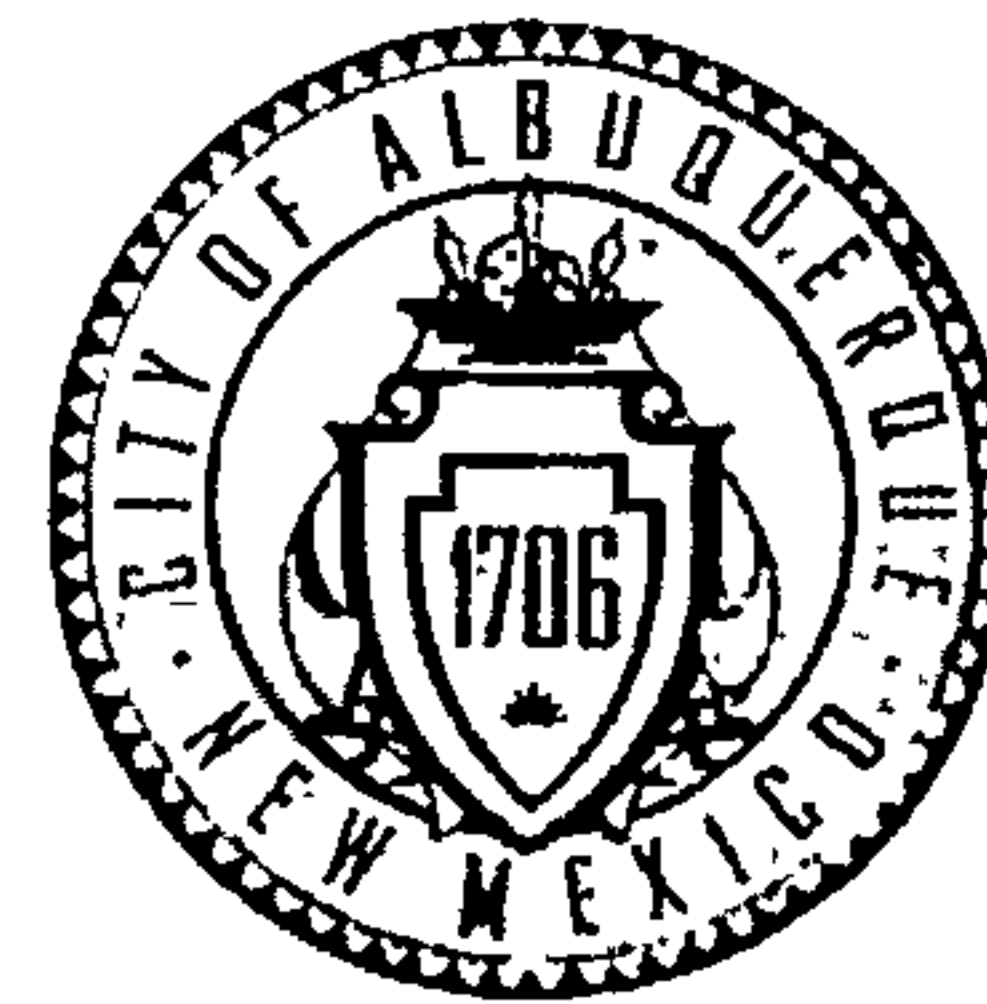
TOTAL WEST BUILDING ELEVATION
WALL AREA = 1,483 SF.
TOTAL WEST BUILDING ELEVATION
SCREEN = 83 SF.
TOTAL WEST AREA = 1,566 SF.

SECTION 14-13-10-10
RESIDENTIAL PARK ZONE
FOR THE CITY OF ALBUQUERQUE, NEW MEXICO
AS SHOWN ON THE PLANS, ELEVATIONS AND SECTIONS
HEREIN.
I, THE ARCHITECT, HEREBY CERTIFY THAT THE ABOVE
IS A TRUE AND CORRECT REPRESENTATION OF THE
DESIGN INTENT AS SHOWN ON THE PLANS, ELEVATIONS
AND SECTIONS HEREIN.
DATE: 08-11-2014
BY: [Signature]

ABQ ORTHODONTICS
BUILDING ELEVATIONS
ALBUQUERQUE, NM
PROJECT # 1382

	<p>REVISION DATE</p>
<p>RBA ARCHITECTURE, PC</p>	<p>DATE: 08-11-2014</p>
<p>SHEET NUMBER</p>	<p>A-1.0</p>

CITY OF ALBUQUERQUE



July 31, 2014

Genevieve Donart, PE
Isaacson & Arfman, PA
1287 Monroe Street NE
Albuquerque, NM 87108

**Re: Trapnell Orthodontics
Conceptual Grading and Drainage Plan
No Engineer's Date (J09D022)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 7-16-14, the above referenced plan is approved for Site Plan for Building Permit Action by the DRB.

If you have any questions, you can contact me at 924-3994.

Sincerely,

A handwritten signature in black ink, appearing to read 'A. D. Niese', written in a cursive style.

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

C: e-mail
file

ATRISCO BUSINESS PARK

MASTER DEVELOPMENT PLAN FOR IP USES

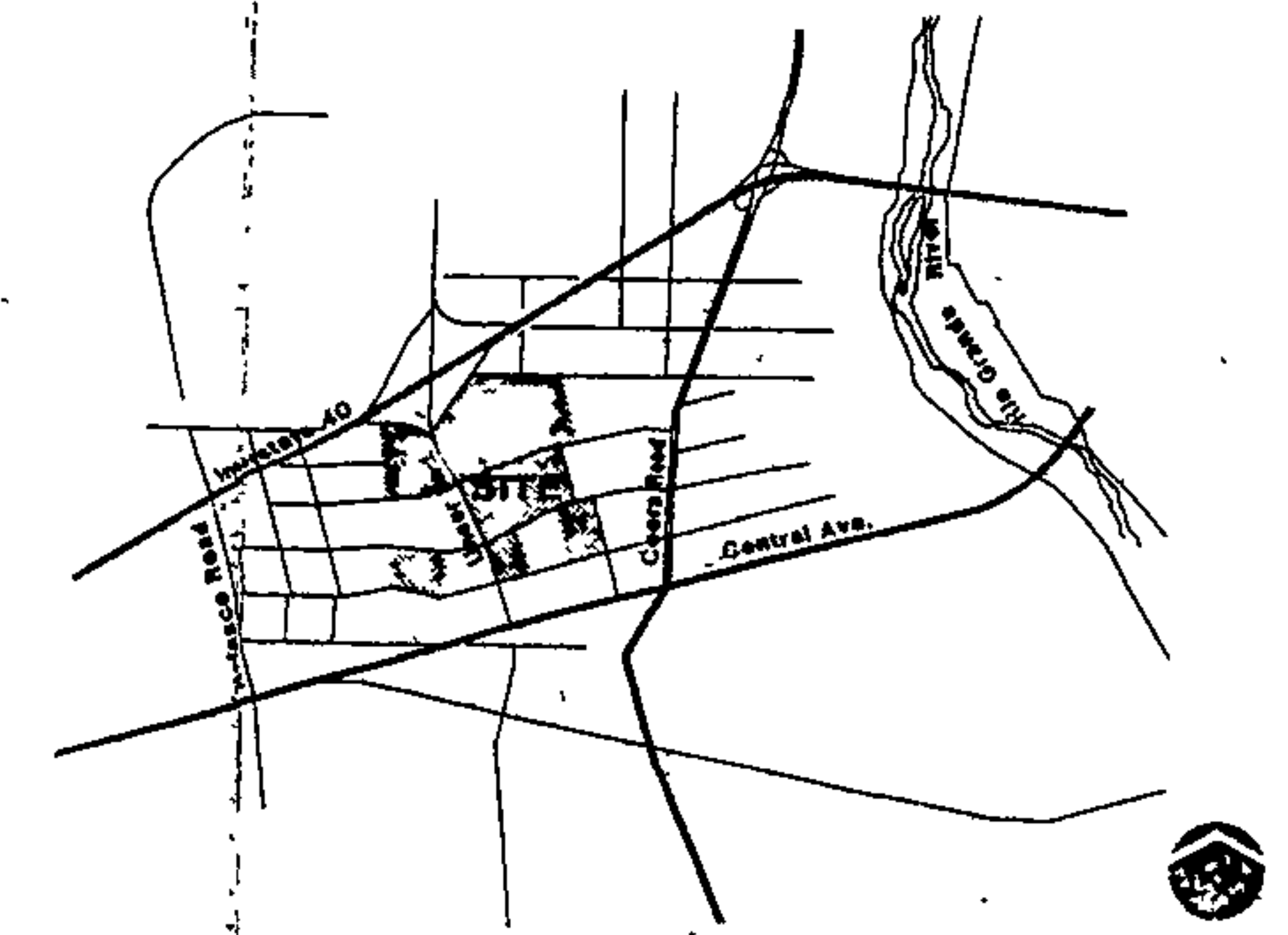
EPC Case No. Z-92-57

Approved by the City of Albuquerque Environmental Planning Commission on October 15, 1992 subject to the following conditions:

1. All revised documents shall include all of the area in the boundaries of the Atrisco Business Park Master Plan.
2. It shall be clearly stated that all future development in the plan boundaries shall comply with the revised standards.
3. A minimum 20 foot landscaped buffer shall be provided between all property zoned for industrial use and residential zoning to create a reasonable visual separation. No exterior loading, service, trash or storage areas may be located adjacent to the residential zoning. Employee parking or building surfaces are the only appropriate uses adjacent to residential development and zoning.

1 Amendment to the landscape portion of the development standards (sheet 3), approved May 22, 1997.

2 Amendment to allow Coors Corridor Plan exceptions for setbacks and signage along Coors Boulevard (Sheet 3).



Vicinity Map

Sheet Index

- 1 Illustrative Site Plan
- 2 Landscape Development Plan
- 3 Development Sketches
- 4 Development Sketches
- 5 Development Sketches
- 6 Conceptual Overall Drainage Plan (fully developed)
- 7 Conceptual Overall Drainage Plan (partially developed)
- 8 Conceptual Grading & Drainage Plan (2.5 & 10 acre sites)
- 9 Conceptual Grading & Drainage Plan (20 acre site)
- 10 Conceptual Grading & Drainage Plan (interim condition)

Project Team Directory

Prepared For:

Sunwest Bank
Special Assets Department
303 Roma Avenue NW
Albuquerque, New Mexico 87102
(505) 765-2036

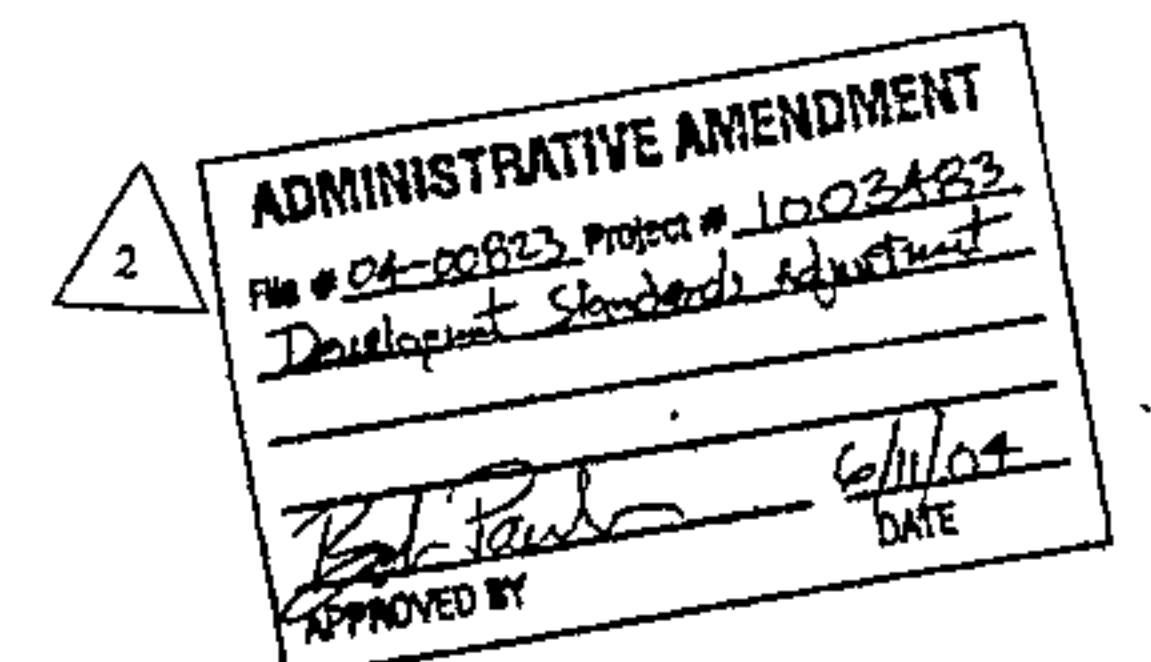
Prepared By:

Development/Real Estate Consultant
Garrett Group, Inc.
9309 Avenida de la Luna NE
Albuquerque, New Mexico 87111
(505) 828-0552

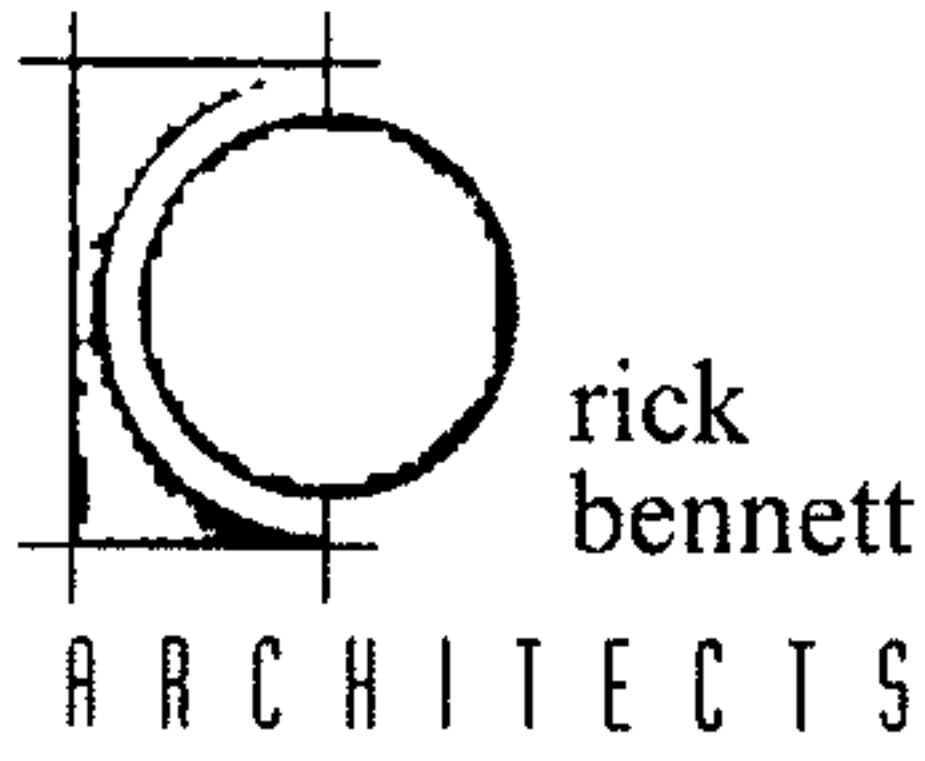
Planning/Landscape Architecture
Consensus Planning, Inc.
610 Gold SW, Suite 216
Albuquerque, New Mexico 87102
(505) 764-9801

Civil Engineer

Easterling & Associates, Inc.
10131 Coors Road NW, Suite H-7
Albuquerque, New Mexico 87114
(505) 898-8021



October 28, 1992



LETTER OF AUTHORIZATION

August 05, 2014

City of Albuquerque
Planning Department
Plaza del Sol
600 2nd NW
Albuquerque, NM 87102

Re: ABQ Orthodontics

To Whom It May Concern:

Rick Bennett Architects (RBA) is authorized to act as the agent for ABQ Orthodontics for obtaining an Design Review Board Site Development Plan Approval as referenced above. If you have any questions, please feel free to call or email.


Sincerely,

Russ Trapnell
ABQ Orthodontics
Suite G
2010 Wyoming Blvd NE
Albuquerque, New Mexico 87112
Ph: (505) 296-0761

PROJECT #

1010204

September 3. 2014

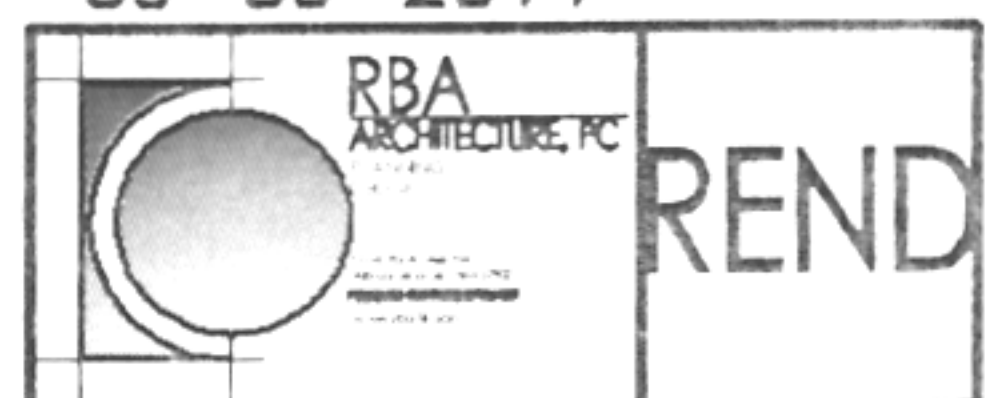
SFB

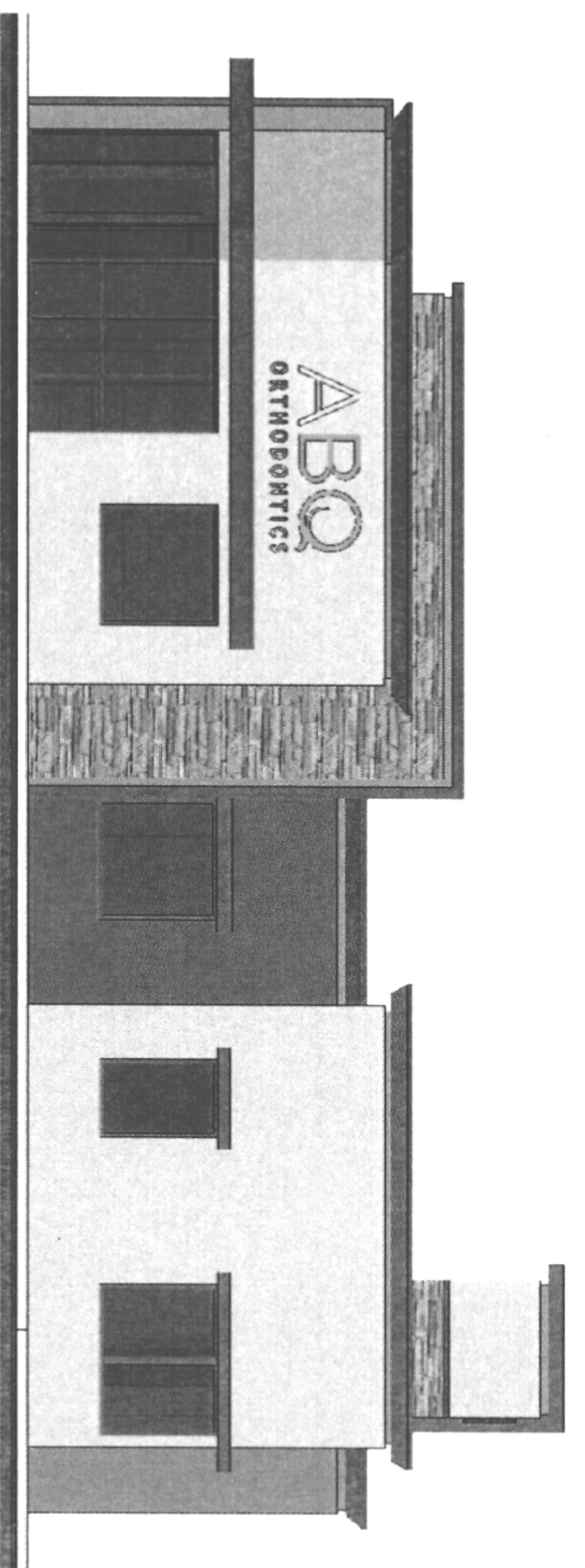
PROJECT: 1010204
DATE: 9-24-14 (SW)



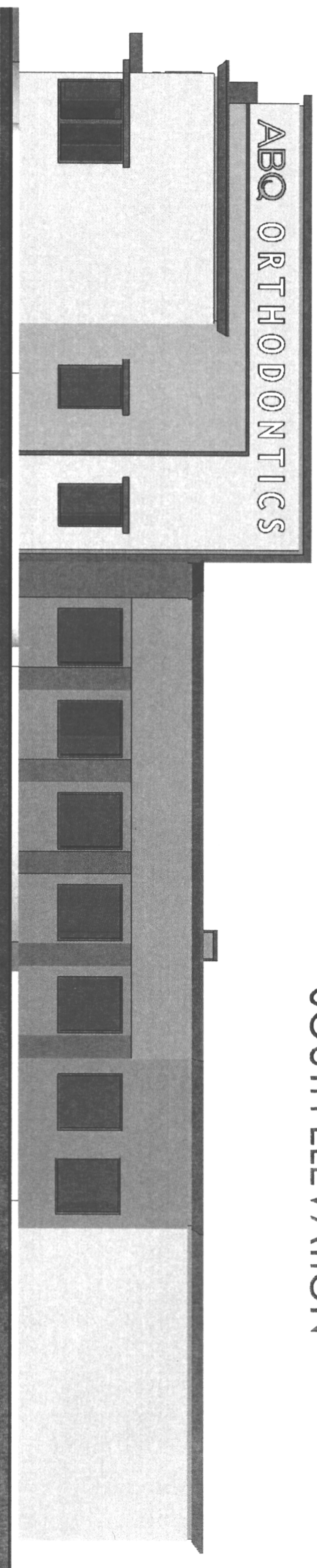
SOUTH/EAST ELEVATION

09-09-2014

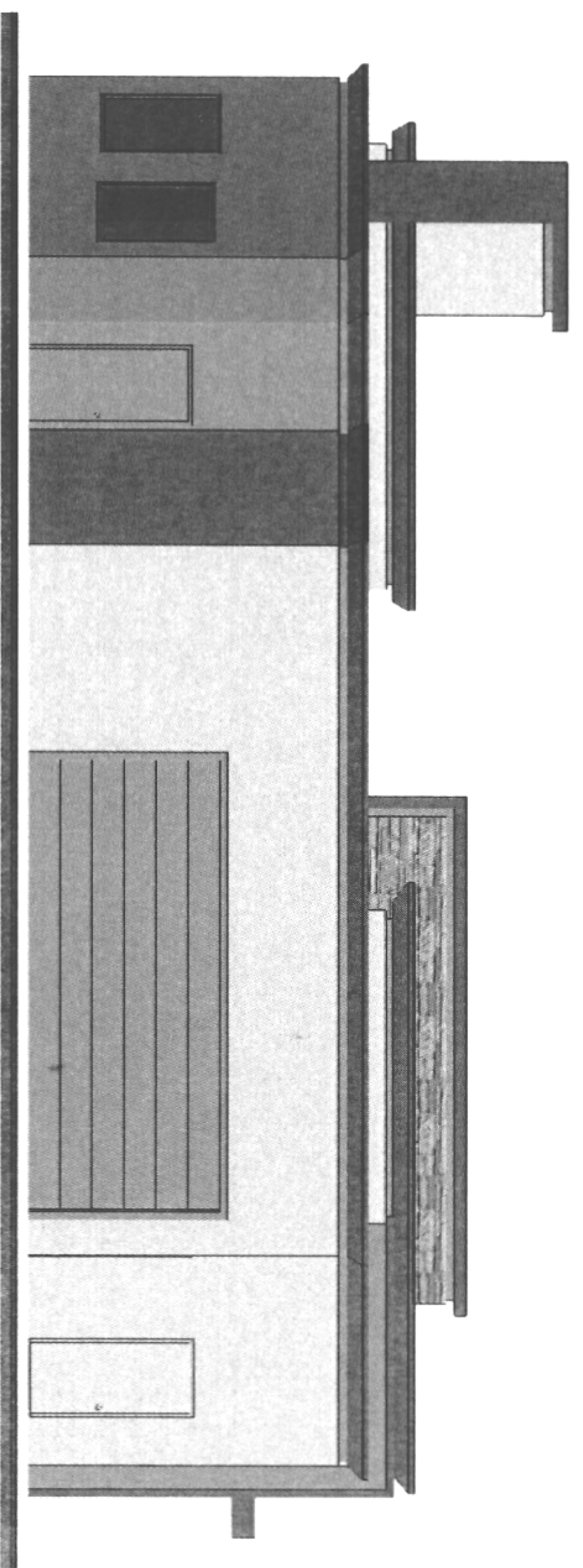




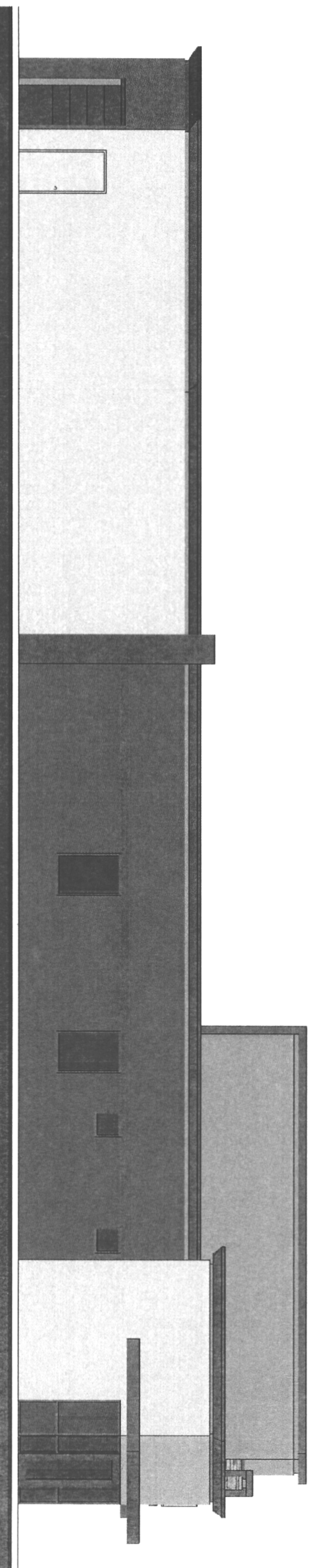
SOUTH ELEVATION



EAST ELEVATION

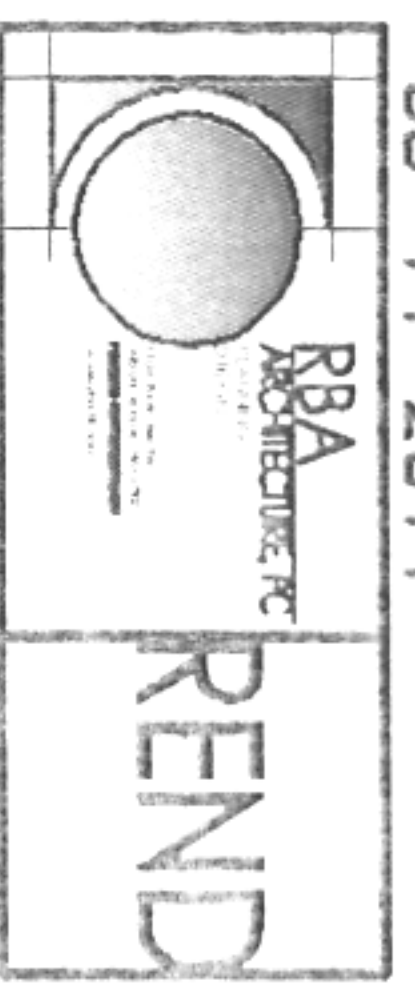


NORTH ELEVATION



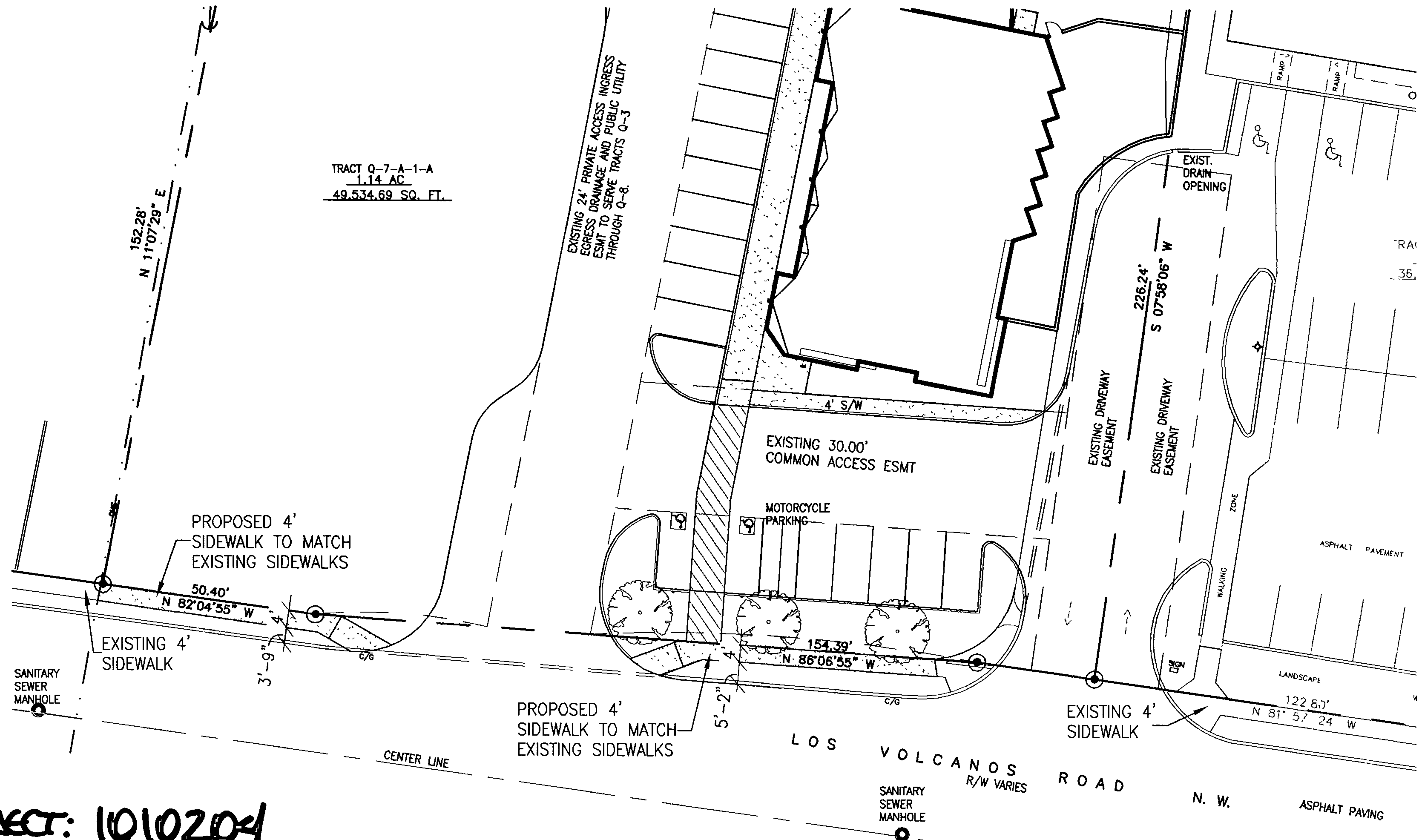
WEST ELEVATION

08-14-2014



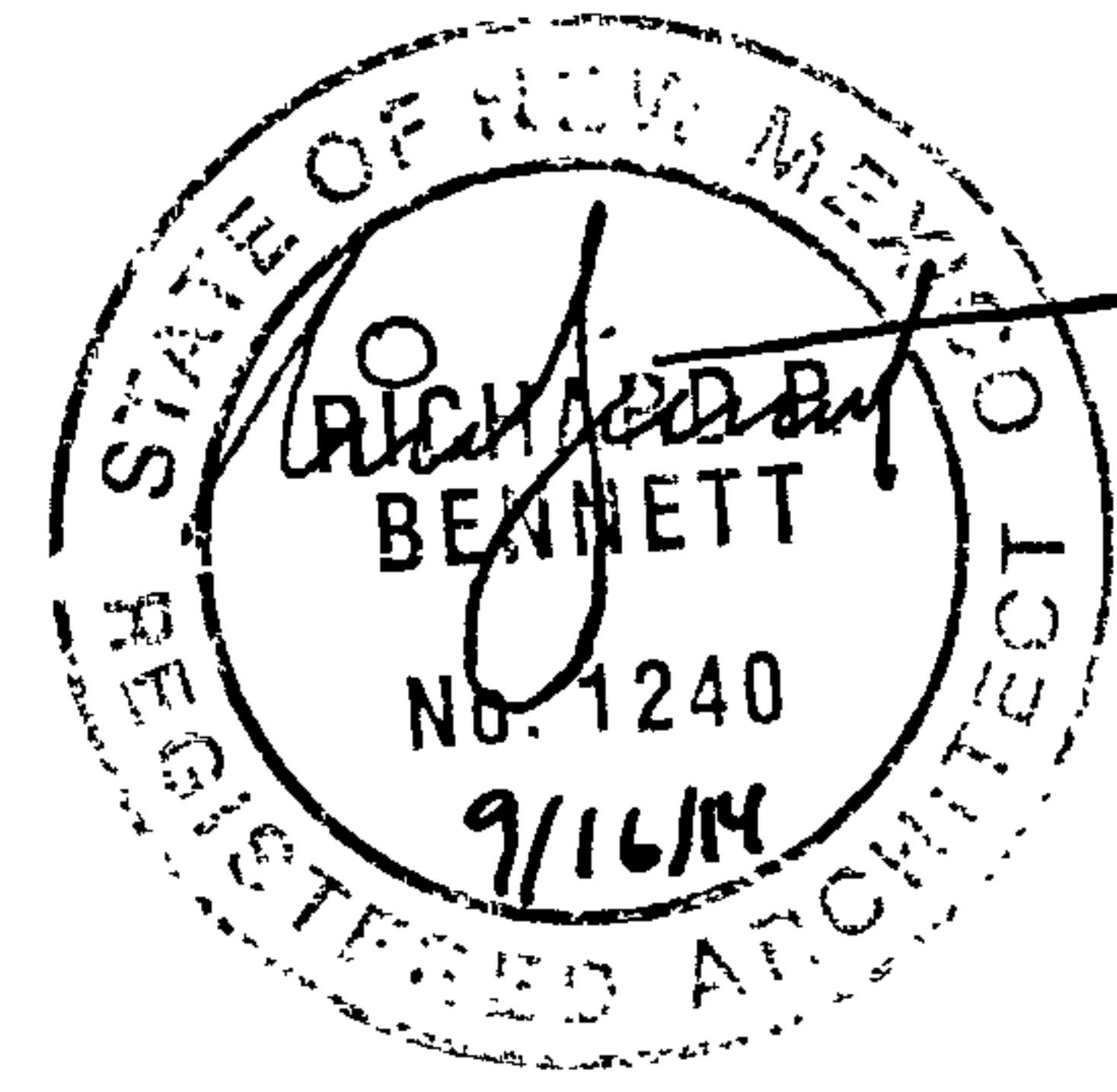


SOUTH/EAST ELEVATION



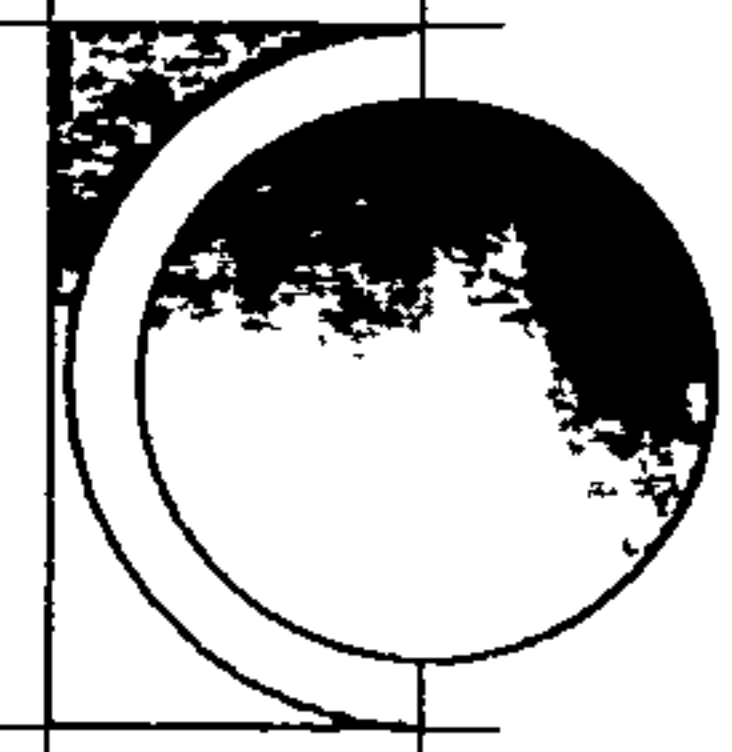
TRACT Q-7-A-1-A
 1.14 AC
 49,534.69 SQ. FT.

EXISTING 24' PRIVATE ACCESS INGRESS
 EGRESS DRAINAGE AND PUBLIC UTILITY
 ESMT TO SERVE TRACTS Q-3
 THROUGH Q-8.



PROJECT: 1010204
 DATE: 9-24-14
 APP: 14-70324 (SW)

1 SITE PLAN
 1" = 30'-0"

 <p>RBA ARCHITECTURE PLANNING DESIGN</p> <p>1104 Park Ave SW Albuquerque, NM 87102 (505) 243-1525 www.rba81.com</p>	SHEET NUMBER <h1>C-1.0</h1> <p>PROJECT #1382</p>
	09-10-2014