

VICINITY MAP N.T.S. L-12-Z

NOTES:

1. UNLESS OTHERWISE NOTED ALL CORNERS ARE SET #4 REBAR WITH CAP STAMPED "SLS 12649".
2. THE BEARING BASE FOR THIS PLAT ARE NMSHC MONUMENTS "1_25_11" AND USGLO MONUMENT "CC_EG_11_12_11N_3E". ALL DISTANCES ARE GROUND DISTANCES UNLESS OTHERWISE NOTED. BEARINGS ARE GRID BASED UPON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, (NAD 83).
3. BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD PER DOCUMENT(S) FILED JULY 5, 1973 IN BOOK A4-146, NOVEMBER 17, 2003, BOOK A60, PAGE 6868-70, DECEMBER 16, 1999, BOOK 8916, PAGE 3017.
4. DISTANCES ARE GROUND DISTANCES
5. GROSS ACREAGE: 2.1205
6. NUMBER OF EXISTING LOTS: 3
7. NUMBER OF LOTS CREATED: 1
8. PROPERTIES ARE ZONED O1.
9. DATE OF SURVEY APRIL 2014.
10. OTHER DOCUMENTS USED, BOUNDARY SURVEY 2008S-54, FILED APRIL 16, 2008.
11. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, FOR INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND AND SERVICE OF NATURAL GAS LINES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
- C. CENTURY LINK FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES
- D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING SIGN, POOL (ABOVE GROUND OR SUBSURFACE) HOT TUB, CONCRETE OR WOOD POOL DECKING OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER:

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

LEGAL DESCRIPTION:

THAT CERTAIN TRACT OF LAND SITUATE WITHIN PROJECTED SECTION 25, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, M.R.G.C.D. MAP NO. 42, TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING ALL OF LOT 1, LAND DIVISION PLAT OF TRACT 148-A1-A1-A1-A1, TRACT 148A1A1A1A1 & TRACT 147B2A, TRACT 148A1B, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT AND DOCUMENTS ENTITLED, "LOT 1, LAND DIVISION PLAT OF TRACT 148-A1-A1-A1-A1, FILED JUNE 5, 1973, A4-146, TRACT 148A1A1A1A1, QUITCLAIM DEED FILED A17, PAGE 4114, TRACT 148A1B & TRACT 147B1, PERSONAL REPRESENTATIVE'S DEED FILED NOVEMBER 17, 2003, BOOK A60, PAGE 6869-70, ALL FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED WHENCE THE AGRS MONUMENT "18_L12" BEARS S 79°32'46" E, 287.25 FEET; THENCE, S 10°29'47" W, 248.04 FEET TO THE SOUTHEAST CORNER OF SAID TRACT; THENCE, N 77°32'58" W, 99.99 FEET TO A POINT ON SAID TRACT; THENCE, N 78°05'32" W, 237.52 FEET TO THE SOUTHWEST CORNER OF SAID TRACT; THENCE, N 07°49'54" E, 77.62 FEET ALONG THE EASTERLY RIGHT-OF-WAY LINE OF THE ATRISCO DITCH TO A POINT ON SAID TRACT; THENCE, N 16°23'07" W, 139.14 FEET ALONG SAID RIGHT-OF-WAY TO THE NORTHWEST CORNER OF SAID TRACT; THENCE, S 77°41'00"E, 283.18 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF BRIDGE BOULEVARD, S.W. TO A POINT ON SAID TRACT; THENCE, S 77°21'55"E, 46.71 FEET ALONG SAID RIGHT-OF-WAY LINE TO A POINT ON SAID TRACT; THENCE, S 77°32'58" E, 99.99 FEET TO THE NORTHEAST CORNER OF SAID TRACT AND THE TRUE POINT OF BEGINNING. SAID TRACT CONTAIN 2.1205 ACRES MORE OR LESS.

PLAT OF LOT 1-A CASA DE CORAZON
(BEING A REPLAT OF LOT 1, LAND DIVISION PLAT OF TRACT 148-A1-A1-A1-A1, TRACT 148A1A1A1A1 & TRACT 147B2A, TRACT 148A1B & TRACT 147B1)
M.R.G.C.D. MAP NO. 42

WITHIN PROJECTED SECTION 25, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN TOWN OF ATRISCO GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
JUNE 2015

PROJECT NUMBER _____

APPLICATION NUMBER: _____

APPROVALS:

CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD, CHAIR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

REAL PROPERTY _____ DATE _____

CITY OF ALBUQUERQUE PARK AND RECREATION _____ DATE _____

ABCWUA
Green N. Arinchoves P.S. _____ DATE *6/8/15*
CITY SURVEYOR, CITY OF ALBUQUERQUE _____ DATE _____

UTILITIES:

CENTURYLINK _____ DATE _____

PNM ELECTRIC SERVICES _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

COMCAST _____ DATE _____

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO COMBINE FIVE (5) TRACTS INTO ONE (1) TRACT.

TREASURER'S CERTIFICATION:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 101205612427230819
UPC# 101205611027430820
UPC# 101205612225930821
UPC# 101205614026030822

PROPERTY OWNERS(S) OF RECORD: CATHOLIC CHARITIES

BERNALILLO COUNTY TREASURER _____ DATE _____

SURVEYOR'S CERTIFICATION:

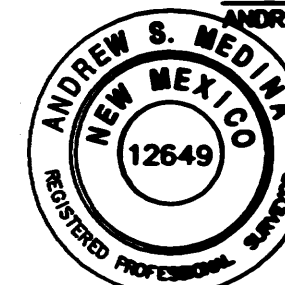
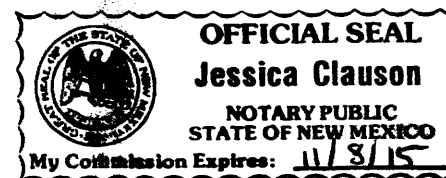
I, ANDREW S. MEDINA, NEW MEXICO PROFESSIONAL SURVEYOR NUMBER 12649, HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION, THAT IT MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS; THAT IT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CATHOLIC CHARITIES
JIM GANNON CEO, CATHOLIC CHARITIES _____ DATE _____

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

ON THIS 29th DAY OF September
2015, THE FOREGOING INSTRUMENT
WAS ACKNOWLEDGED BEFORE ME BY *Jim Gannon*

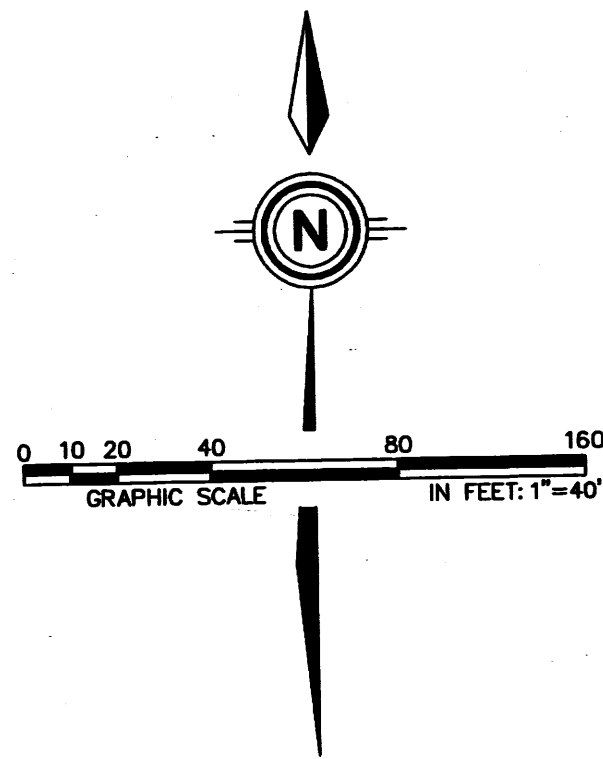
NOTARY PUBLIC _____



Andrew S. Medina
ANDREW S. MEDINA N.M.P.S. #12649
DATE *6-2-2015*

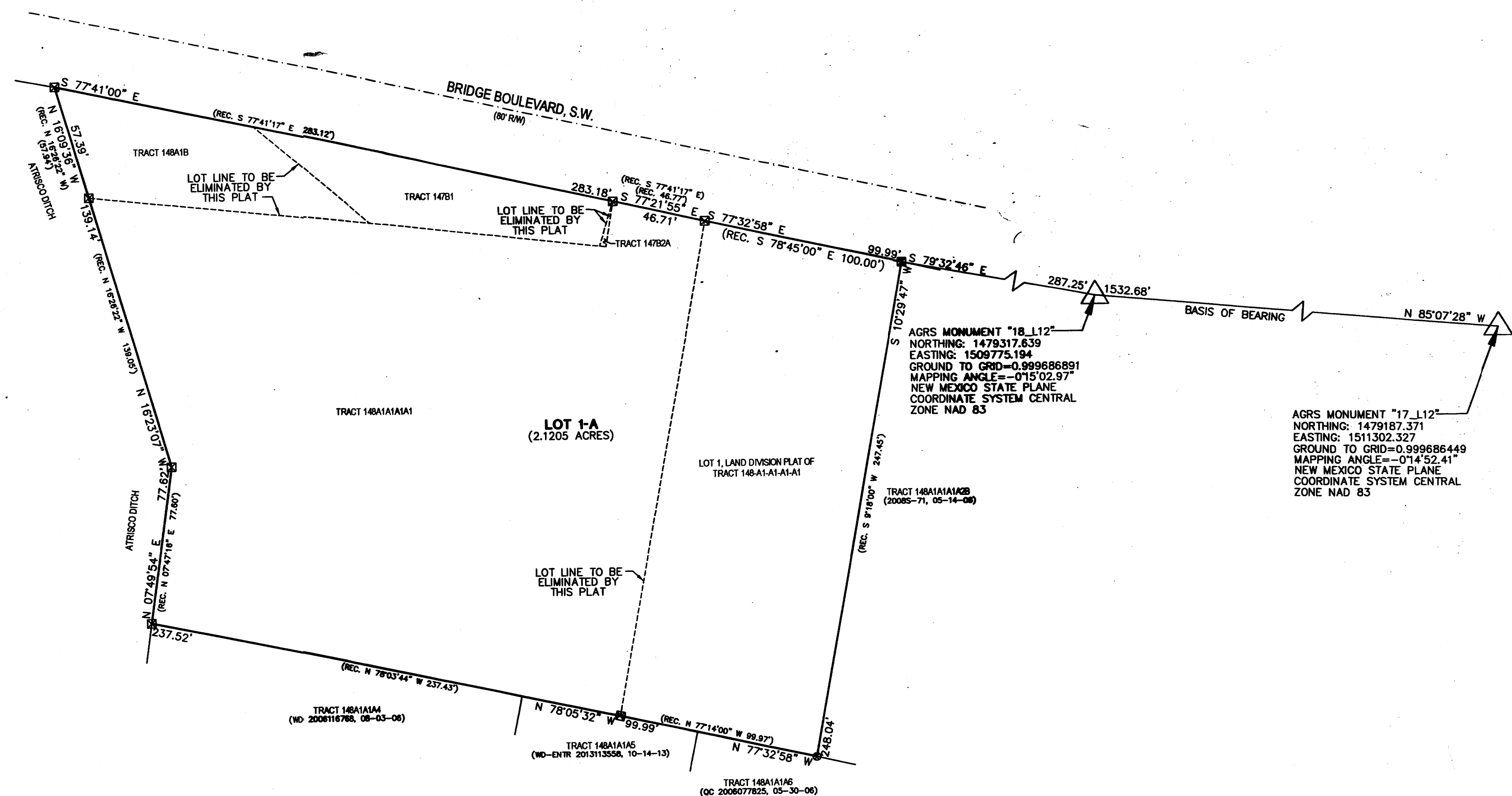
REVISED:

SANDIA LAND SURVEYING LLC
15 CASA TERRENOS PLACITAS, N.M. 87043 (505) 867-1241
JOB NO: 144-15 DATE: 4-12-2014
SCALE: 1"=40' DRAWN: A.S.M.



**PLAT
OF
LOT 1-A
CASA DE CORAZON**
(BEING A REPLAT OF LOT 1, LAND DIVISION PLAT OF
TRACT 148-A1-A1-A1-A1, TRACT 148A1A1A1A1 &
TRACT 147B2A, TRACT 148A1B & TRACT 147B1)
M.R.G.C.D. MAP NO. 42

WITHIN
PROJECTED SECTION 25, TOWNSHIP 10 NORTH, RANGE 2 EAST,
NEW MEXICO PRINCIPAL MERIDIAN
TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 2015



- LEGEND:**
- ⊙ SET #4 REBAR W/CAP "SLS 12649"
 - ⊠ FOUND BARHEY MARKER "CARTESIAN LS14271"
 - ⊠ FOUND #4 REBAR W/CAP ILLEGIBLE

REVISED:

**SANDIA LAND
SURVEYING LLC**

15 CASA TERRENOS PLACITAS, N.M. 87043 (505) 867-1241

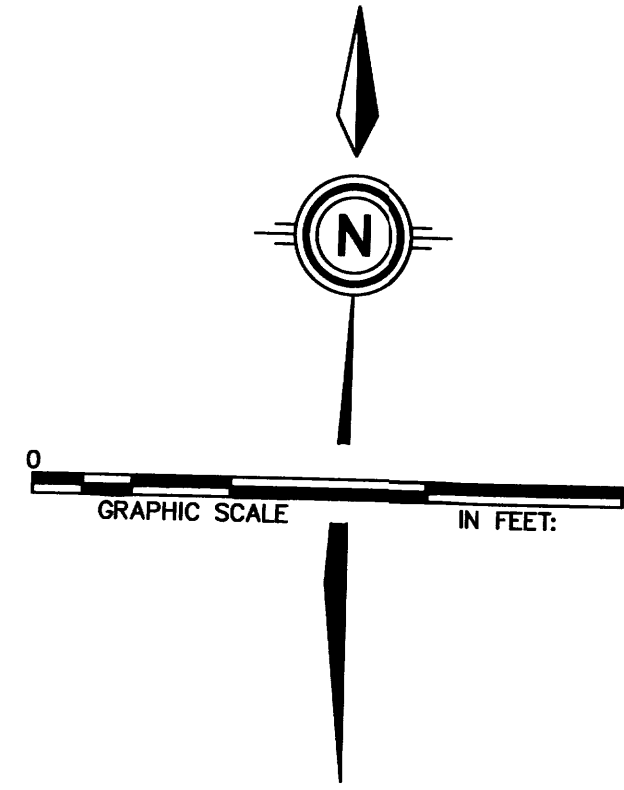
JOB NO: 144-15	DATE: 4-12-2014
SCALE: 1"=40'	DRAWN: A.S.M.

RIM=4945.86
INV OUT E=4933.17
=4945.19
IN E=4936.09

GENERAL NOTES

KEYED NOTES

1. 60 DEGREE BLDG. HEIGHT SETBACK LINE (26'-0" PER 45'-0" PARAPET HT.)
2. NEW ASPHALT PAVING
3. CHILDREN'S PLAY AREA
4. C.M.U. WALL
5. PROPOSED 3 STORY BUILDING.
6. SECURED PARKING.
7. BUS SHELTER
8. EXISTING SIDEWALK.



PARKING CALCULATIONS

CHILDCARE
7,650 SF LEASABLE / 500 = 17 SPACES REQUIRED

ADULT LEARNING CENTER
6 CLASSROOMS X 25 SEATS = 150 / 2 = 75 SPACES REQUIRED
1 COMPUTER LAB X 30 = 30 / 2 = 15 SPACES REQUIRED
1 SM. COMPUTER LAB X 10 = 10 / 2 = 5 SPACES REQUIRED

ADMINISTRATION
9,984 SF / 300 = 33 SPACES REQUIRED

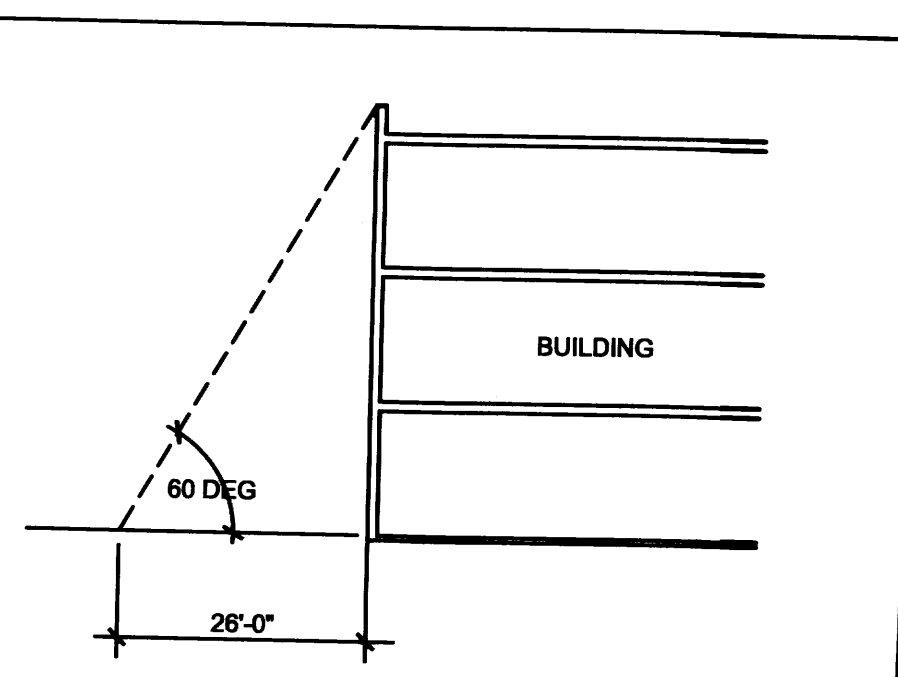
TOTAL PARKING REQUIRED = 145 SPACES REQUIRED

PARKING REDUCTIONS
10% BUS ROUTE -14 SPACES
05% BUS SHELTER -7 SPACES
TOTAL PARKING REDUCTION -21 SPACES

TOTAL PARKING REQUIRED INCLUDING REDUCTIONS

124 SPACES REQUIRED

156 SPACES PROVIDED

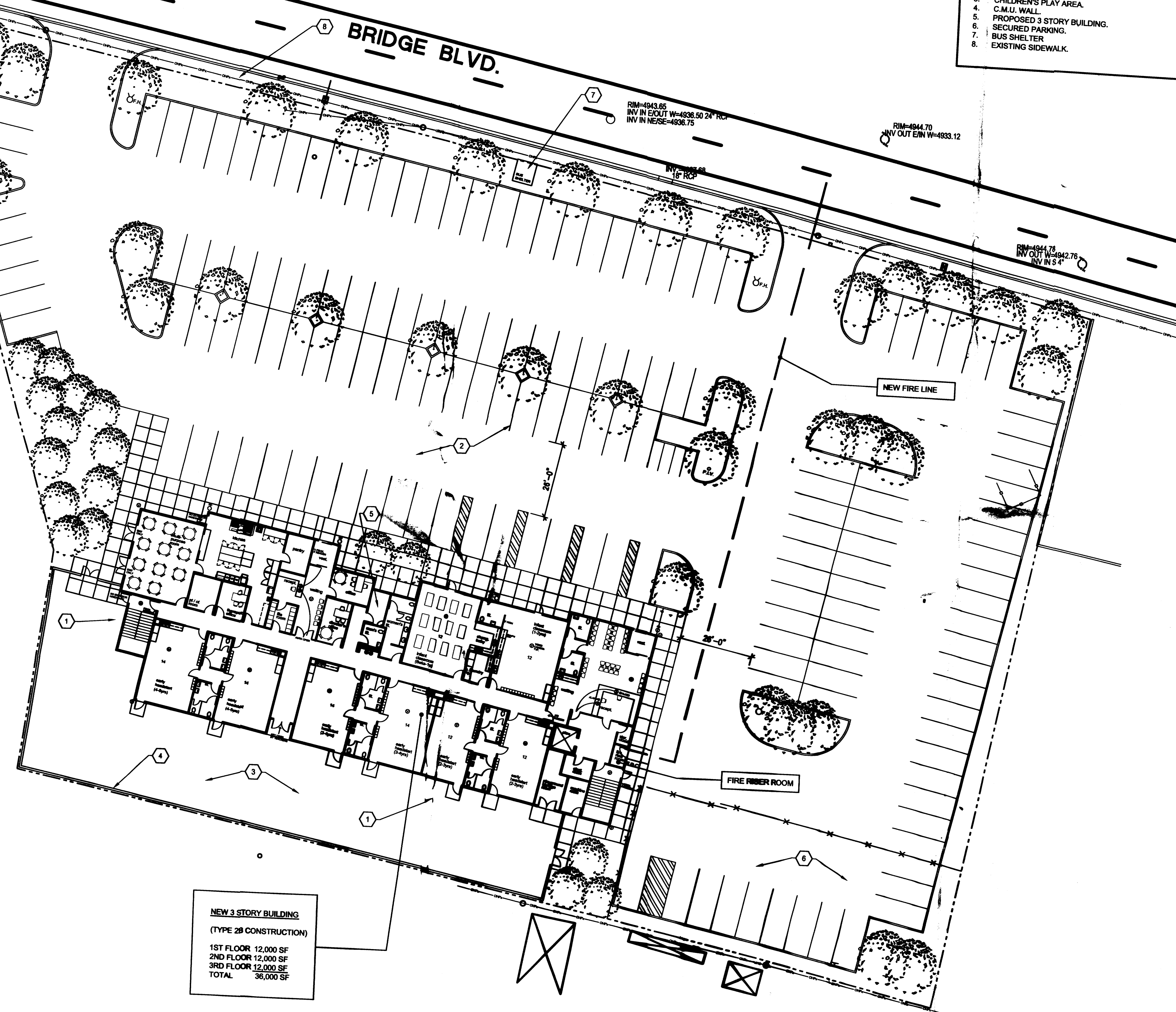


BUILDING SETBACKS (S, W AND E)

A1 SITE PLAN

SCALE: 1" = 20'

BRIDGE BLVD.

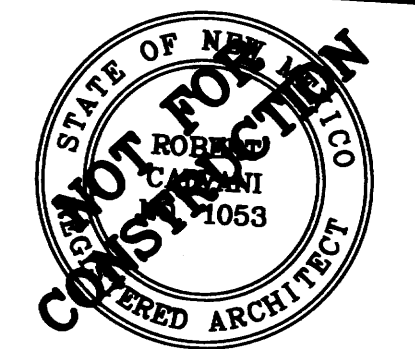


NEW 3 STORY BUILDING
(TYPE 2B CONSTRUCTION)

1ST FLOOR 12,000 SF
2ND FLOOR 12,000 SF
3RD FLOOR 12,000 SF
TOTAL 36,000 SF



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ALBUQUERQUE, NM 87104
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CATHOLIC CHARITIES

ALBUQUERQUE NEW MEXICO

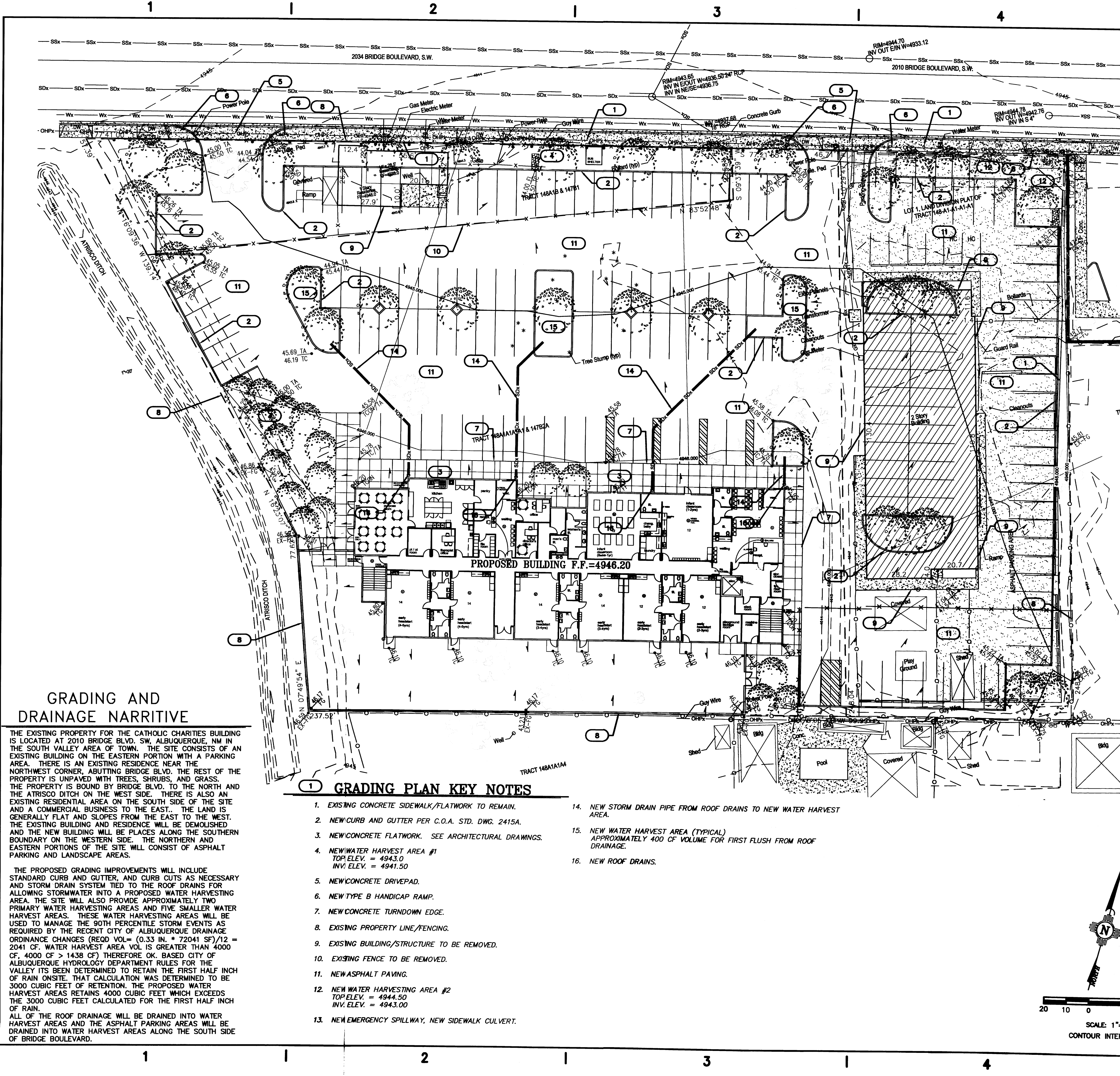
MK	DATE	DESCRIPTION
	7/13/15	COST REDUCTIONS

A14.23

6/24/15

SITE PLAN 3 STORY OPTION

AS-101



- ### GENERAL NOTES:
- AS OF MARCH 10, 2003, THE USPA REQUIRES NPDES PERMIT COVERAGE FOR STORM WATER DISCHARGES FROM CONSTRUCTION PROJECTS (COMMON PLANS OF DEVELOPMENT) THAT WILL RESULT IN THE DISTURBANCE (OR RE-DISTURBANCE) OF ONE OR MORE ACRES, INCLUDING EXPANSIONS OF TOTAL LAND AREA. THE DEVELOPER SHOULD BE MADE AWARE THAT THE USEPA REQUIRES THAT ALL "OPERATORS" (SEE FEDERAL REGISTER, VOL. 63, NO. 129 / MONDAY, JULY 6, 1998 PG 36509) OBTAIN NPDES PERMIT COVERAGE FOR CONSTRUCTION PROJECTS. GENERALLY THIS MEANS THAT AT LEAST TWO PARTIES WILL REQUIRE PERMIT COVERAGE. THE OWNER/DEVELOPER OF THIS CONSTRUCTION PROJECT WHO HAS OPERATIONAL CONTROL OVER THE PROJECT SPECIFICATIONS, THE GENERAL CONTRACTOR WHO HAS DAY-TO-DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT THE SITE, WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE STORM WATER POLLUTION PLAN AND OTHER CONDITIONS, AND POSSIBLY OTHER "OPERATORS" THAT WILL REQUIRE APPROPRIATE NPDES PERMIT COVERAGE FOR THIS PROJECT.
 - CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
 - ALL CONCRETE SHALL BE A MINIMUM OF 3000 P.S.I.
 - ALL EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS HAS BEEN PROVIDED BY NCA ARCHITECTS. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
 - THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - ALL PAVEMENT, BASE COURSE AND SUBGRADE PREPARATION THICKNESS SHALL BE PROVIDED BY THE SOILS ENGINEER FOR THIS PROJECT.
 - ALL DISTURBED AREAS SHALL RECEIVE CLASS 'A' SEEDING PER NMDOT BLUEBOOK. THESE SHALL INCLUDE ALL SLOPED AND NON-SLOPED AREAS. SLOPES SHALL NOT EXCEED 3:1.
 - FILL/BACK-FILL SHALL BE PLACED IN EIGHT INCH LIFTS AND COMPACTED TO 90 PERCENT OPTIMUM DENSITY AS PER ASTM D-1577 AND 95 PERCENT UNDER STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
 - A GEOTECHNICAL INVESTIGATION WAS CONDUCTED FOR THIS PROJECT. THE CONTRACTOR MAY CONDUCT AN INDEPENDENT VERIFICATION OF EXISTING MATERIALS AT VARIOUS LOCATIONS THROUGHOUT THE LENGTH OF THE PROJECT. CONTRACTORS MAY PERFORM THEIR OWN LABORATORY TESTINGS TO OBTAIN ALL NECESSARY INFORMATION FOR BIDDING PURPOSES.
 - CONTRACTOR SHALL MAINTAIN A 10' HORIZONTAL AND 2' VERTICAL SEPARATION BETWEEN THE WATERLINE AND THE SANITARY SEWER LINE WHETHER THEY ARE MAIN LINES IN THE ROADWAY OR SERVICE LINES TO THE LOTS.
 - CONTRACTOR SHALL ADJUST WATERLINE DEPTH TO ACCOMMODATE SANITARY SEWER LINE SERVICES.
 - THE WATER AND SEWER UTILITIES FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, DATED 1987, AND THE IHS STANDARD SPECIFICATIONS, LATEST EDITION.
 - THE CONTRACTOR SHALL PLACE LOCATOR TAPE NO MORE THAN 12" ABOVE ALL UNDERGROUND UTILITY LINES.
 - SEE ARCHITECTURAL DRAWINGS FOR PAVING & CONCRETE ADDITIVE ALTERNATES #1 AND #2.

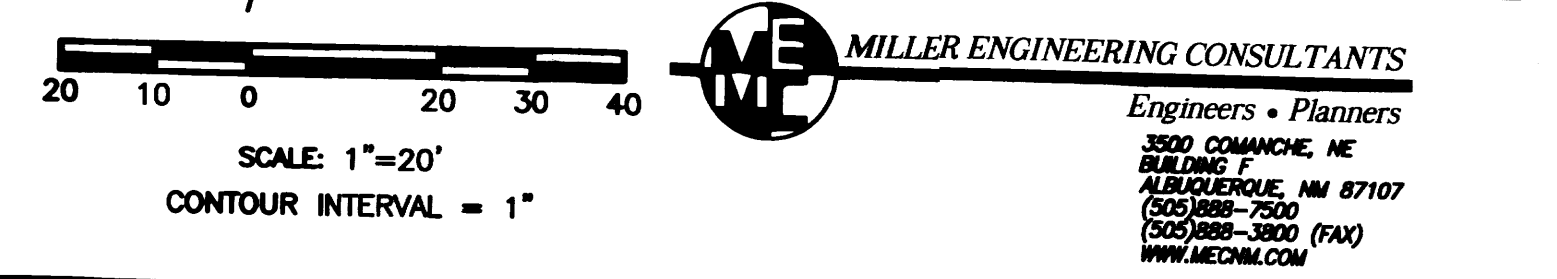
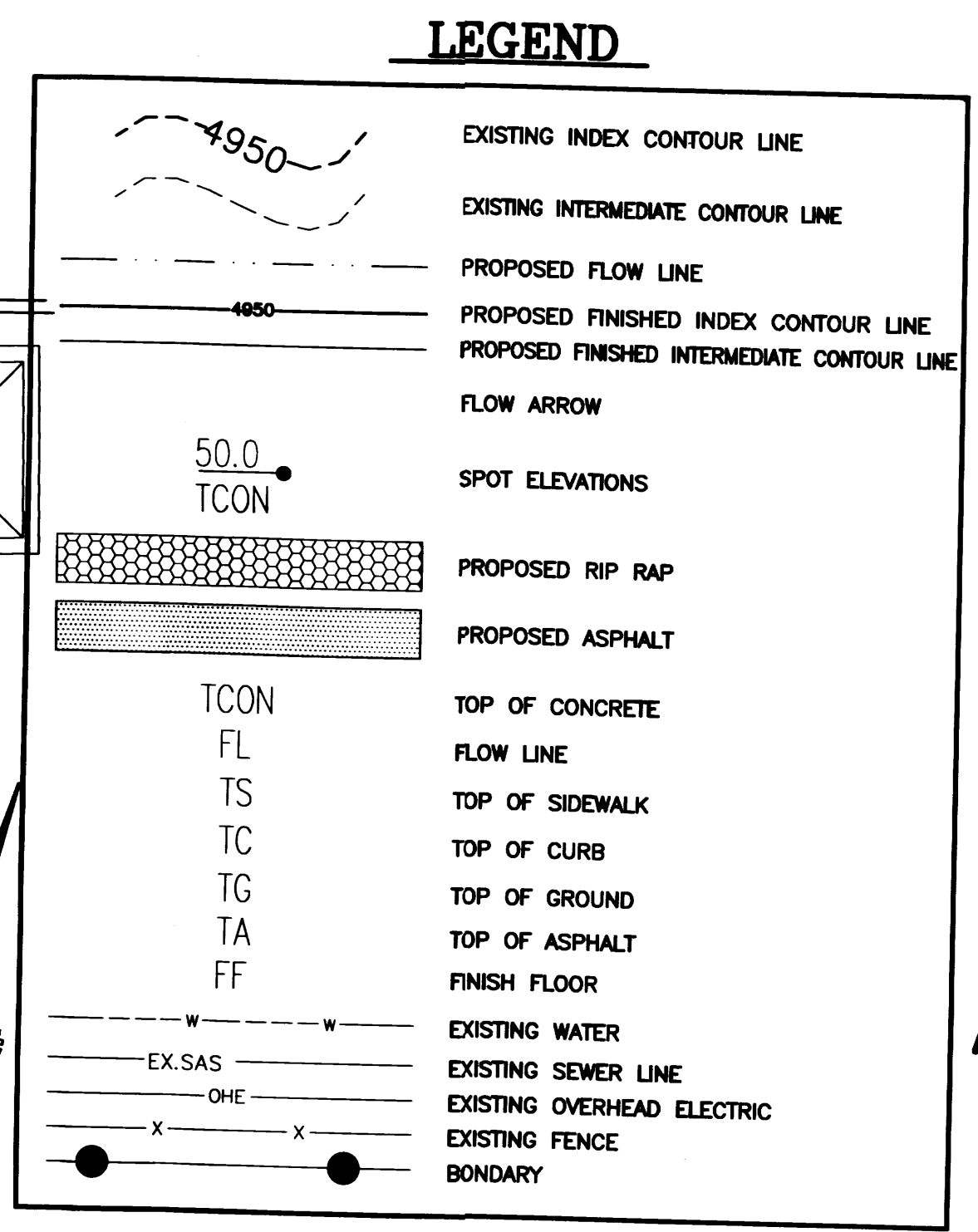
GRADING AND DRAINAGE NARRATIVE

THE EXISTING PROPERTY FOR THE CATHOLIC CHARITIES BUILDING IS LOCATED AT 2010 BRIDGE BLVD. SW, ALBUQUERQUE, NM IN THE SOUTH VALLEY AREA OF TOWN. THE SITE CONSISTS OF AN EXISTING BUILDING ON THE EASTERN PORTION WITH A PARKING AREA. THERE IS AN EXISTING RESIDENCE NEAR THE NORTHWEST CORNER, ABUTTING BRIDGE BLVD. THE REST OF THE PROPERTY IS UNPAVED WITH TREES, SHRUBS, AND GRASS. THE PROPERTY IS BOUND BY BRIDGE BLVD. TO THE NORTH AND THE ATRISCO DITCH ON THE WEST SIDE. THERE IS ALSO AN EXISTING RESIDENTIAL AREA ON THE SOUTH SIDE OF THE SITE AND A COMMERCIAL BUSINESS TO THE EAST. THE LAND IS GENERALLY FLAT AND SLOPES FROM THE EAST TO THE WEST. THE EXISTING BUILDING AND RESIDENCE WILL BE DEMOLISHED AND THE NEW BUILDING WILL BE PLACED ALONG THE SOUTHERN BOUNDARY ON THE WESTERN SIDE. THE NORTHERN AND EASTERN PORTIONS OF THE SITE WILL CONSIST OF ASPHALT PARKING AND LANDSCAPE AREAS.

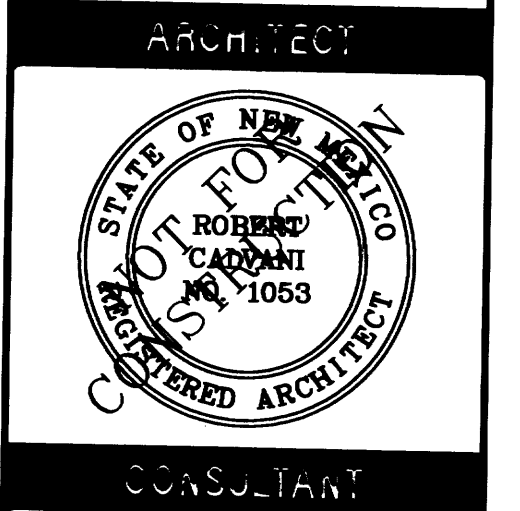
THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE STANDARD CURB AND GUTTER, AND CURB CUTS AS NECESSARY AND STORM DRAIN SYSTEM TIED TO THE ROOF DRAINS FOR ALLOWING STORMWATER INTO A PROPOSED WATER HARVESTING AREA. THE SITE WILL ALSO PROVIDE APPROXIMATELY TWO PRIMARY WATER HARVESTING AREAS AND FIVE SMALLER WATER HARVEST AREAS. THESE WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES (REQD VOL= (0.33 IN. * 72041 SF)/12 = 2041 CF. WATER HARVEST AREA VOL IS GREATER THAN 4000 CF. 4000 CF > 1438 CF) THEREFORE OK. BASED CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT RULES FOR THE VALLEY ITS BEEN DETERMINED TO RETAIN THE FIRST HALF INCH OF RAIN ON SITE. THAT CALCULATION WAS DETERMINED TO BE 3000 CUBIC FEET OF RETENTION. THE PROPOSED WATER HARVEST AREAS RETAINS 4000 CUBIC FEET WHICH EXCEEDS THE 3000 CUBIC FEET CALCULATED FOR THE FIRST HALF INCH OF RAIN. ALL OF THE ROOF DRAINAGE WILL BE DRAINED INTO WATER HARVEST AREAS AND THE ASPHALT PARKING AREAS WILL BE DRAINED INTO WATER HARVEST AREAS ALONG THE SOUTH SIDE OF BRIDGE BOULEVARD.

GRADING PLAN KEY NOTES

- EXISTING CONCRETE SIDEWALK/FLATWORK TO REMAIN.
- NEW CURB AND GUTTER PER C.O.A. STD. DWG. 2415A.
- NEW CONCRETE FLATWORK. SEE ARCHITECTURAL DRAWINGS.
- NEW WATER HARVEST AREA #1
TOP ELEV. = 4943.0
INV. ELEV. = 4941.50
- NEW CONCRETE DRIVEPAD.
- NEW TYPE B HANDICAP RAMP.
- NEW CONCRETE TURNDOWN EDGE.
- EXISTING PROPERTY LINE/FENCING.
- EXISTING BUILDING/STRUCTURE TO BE REMOVED.
- EXISTING FENCE TO BE REMOVED.
- NEW ASPHALT PAVING.
- NEW WATER HARVESTING AREA #2
TOP ELEV. = 4944.50
INV. ELEV. = 4943.00
- NEW EMERGENCY SPILLWAY, NEW SIDEWALK CULVERT.
- NEW STORM DRAIN PIPE FROM ROOF DRAINS TO NEW WATER HARVEST AREA.
- NEW WATER HARVEST AREA (TYPICAL) APPROXIMATELY 400 CF VOLUME FOR FIRST FLUSH FROM ROOF DRAINAGE.
- NEW ROOF DRAINS.



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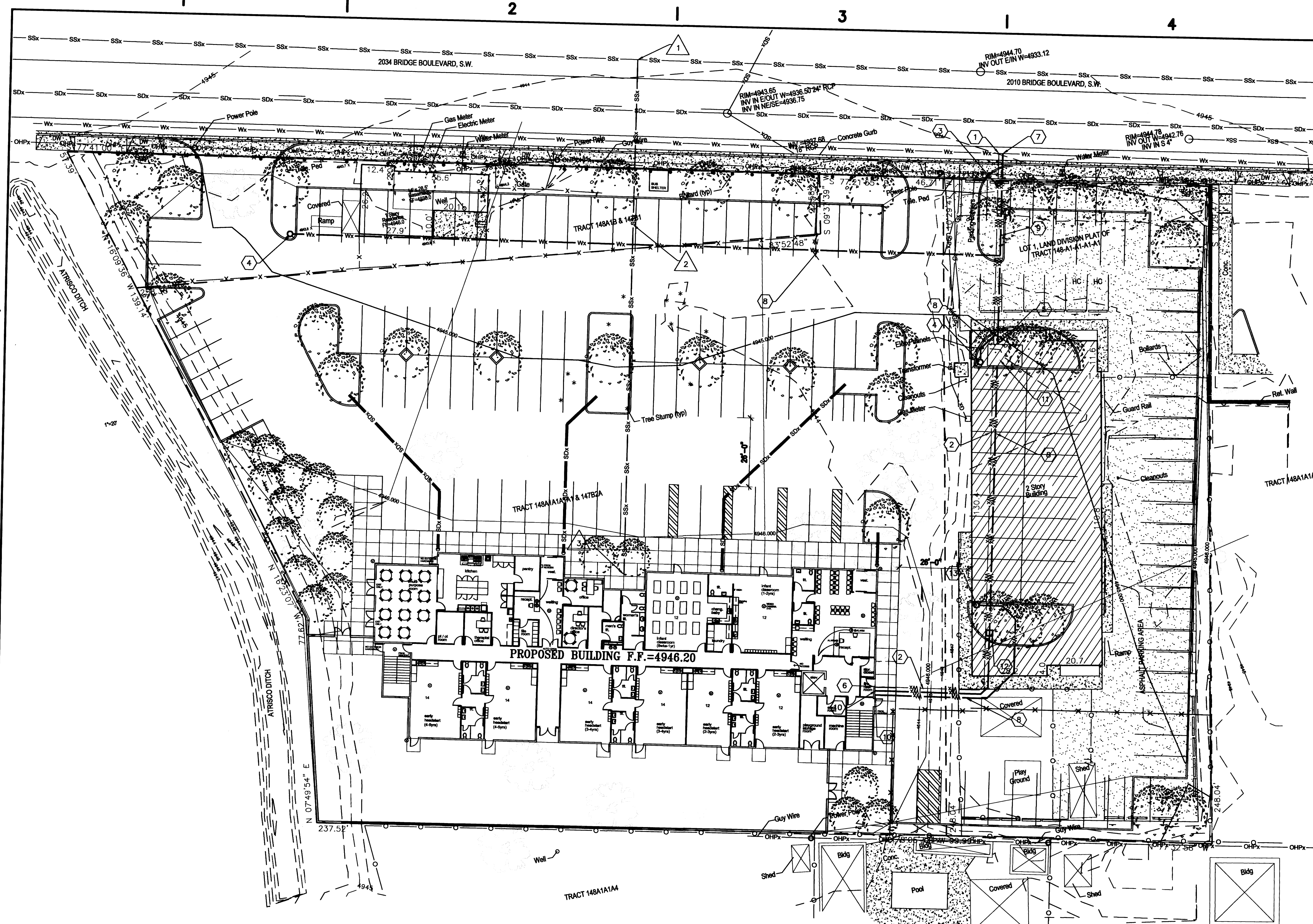
PROJECT TITLE
CATHOLIC CHARITIES
ALBUQUERQUE NEW MEXICO

MK	DATE	DESCRIPTION
XX	MYO	

PROJECT NUMBER:
A14.23
DATE:
3/23/15
SHEET TITLE:

CONCEPTUAL GRADING AND DRAINAGE PLAN
SHEET NO
C-101

MILLER ENGINEERING CONSULTANTS
Engineers • Planners
3500 COMANCHE, NE
ALBUQUERQUE, NM 87107
(505) 886-7500
(505) 886-3000 (FAX)
WWW.MECM.COM



GENERAL NOTES:

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #6, INCLUDING AMENDMENT #1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (811) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CITY OF ALBUQUERQUE TRAFFIC DEPARTMENT A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CITY OF ALBUQUERQUE TRAFFIC ENGINEER. CONTRACTOR SHALL NOTIFY THE CITY OF ALBUQUERQUE TRAFFIC ENGINEER (848-1500) PRIOR TO OCCUPYING AN INTERSECTION OR PERFORMING CONSTRUCTION ON A ROADWAY.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND PERMIT. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT PUBLIC WATER OR SANITARY TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY FOURTEEN (14) DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://abcwua.org/Water_Main_Shutoff.aspx.
12. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.850, SUBPART P.
13. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
15. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB AND CUTTER, HANDICAP RAMPS AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER CITY OF ALBUQUERQUE STANDARD, AT HIS OWN EXPENSE.
16. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM ABCWUA AND CITY OF ALBUQUERQUE INCLUDING BUT NOT LIMITED TO THE STREET EXCAVATION PERMIT PRIOR TO CONSTRUCTION. THE PREFERRED BMP IS TO REMOVE SEDIMENT/POLLUTANTS ON THE PROPERTY WHERE CONSTRUCTION ACTIVITY IS OCCURRING.
17. ALL WATERLINE PIPE SHALL BE C-900 PVC.
18. ALL SEWERLINE PIPE SHALL BE SDR-35 PVC.
19. CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER AND THE ABCWUA FOR REVIEW PRIOR TO CONSTRUCTION.
20. CONTRACTOR SHALL USE RESTRAINED JOINTS AS NECESSARY PER RESTRAINED JOINT-MANUFACTURERS RECOMMENDATIONS.
21. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY COMPONENTS TO GRADE AS NECESSARY, AS PER ABCWUA STANDARD DWG AND DETAILS.

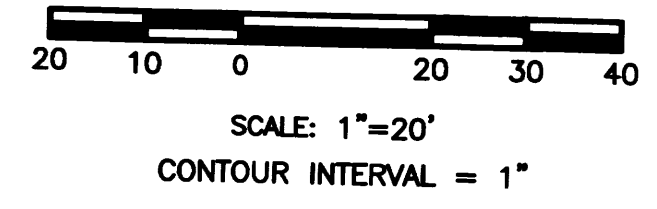
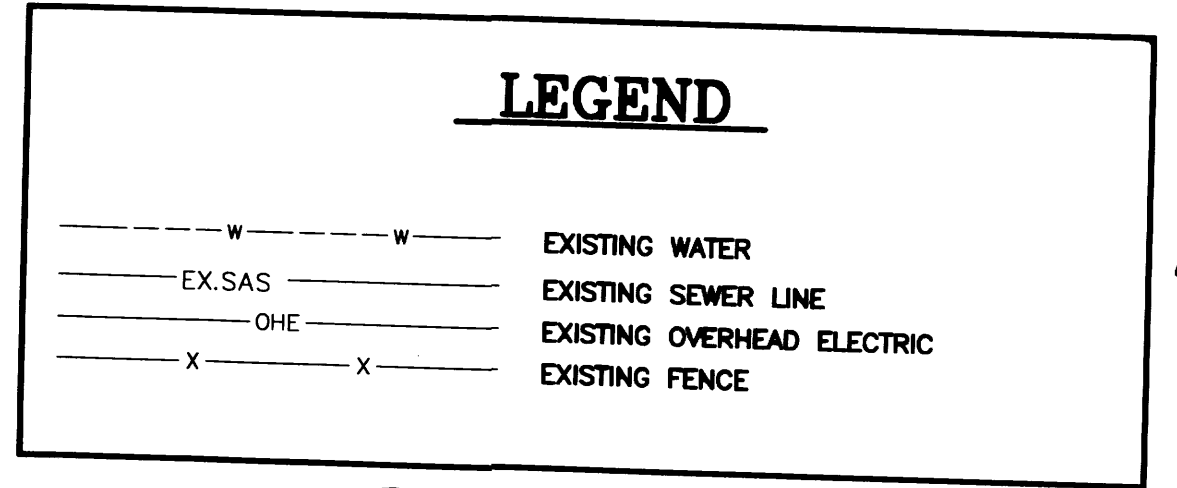
WATER SERVICE KEY NOTES

1. CONNECT NEW 2" DOMESTIC WATER SERVICE TO EXISTING WATER MAIN PER C.O.A. STD. DWG. 2301.
2. NEW 2" DOMESTIC WATER SERVICE LINE PER C.O.A. STD. DWG. 2301 & 2315.
3. NEW 2" DOMESTIC WATER METER
4. NEW FIRE HYDRANT ASSEMBLY
5. NEW 6" x 8" REDUCER.
6. CONNECT NEW 2" DOMESTIC WATER SERVICE LINE TO PROPOSED BUILDING. SEE MECHANICAL PLANS FOR INVERT AND EXACT LOCATION PRIOR TO CONSTRUCTION.
7. CONNECT NEW 8" FIRE PROTECTION LINE TO EXISTING WATER MAIN PER C.O.A. STD. DWG. 2301.
8. NEW 6" FIRE PROTECTION LINE PER C.O.A. STD. DWG. 2301 & 2315.
9. NEW 8" FIRE PROTECTION LINE PER C.O.A. STD. DWG. 2301 & 2315.

SANITARY SEWER KEY NOTES

1. CONNECT NEW 4" SANITARY SEWER SERVICE TO EXISTING 8" SANITARY SEWER MAIN. AS PER C.O.A. STANDARD DWG. 2125.
2. NEW 4" SANITARY SEWER SERVICE LINE @ MIN. SLOPE = 2.0%
3. CONNECT NEW 4" SANITARY SEWER SERVICE LINE WITH DOUBLE CLEANOUTS TO PROPOSED BUILDING. SEE MECHANICAL PLANS FOR INVERT AND EXACT LOCATION PRIOR TO CONSTRUCTION.

10. CONNECT NEW 6" FIRE PROTECTION LINE TO PROPOSED BUILDING. SEE MECHANICAL PLANS FOR INVERT AND EXACT LOCATION PRIOR TO CONSTRUCTION.
11. NEW HOT BOX WITH DOMESTIC LINE AND FIRE LINE BACK FLOW PREVENTORS.
12. NEW POST INDICATOR VALVE.
13. NEW REMOTE FIRE DEPARTMENT CONNECTION.



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ARCHITECT

 CONSULTANT

PROJECT TITLE
CATHOLIC CHARITIES

ALBUQUERQUE
 NEW MEXICO

REVISIONS:

NO.	DATE	DESCRIPTION

MK	DATE	DESCRIPTION

PROJECT NUMBER:
 A14.23
 DATE:
 3/23/15
 SHEET TITLE:

CONCEPTUAL UTILITY SITE PLAN
 SHEET NO.
C-102

I:\Clients\NCA\Architects\charities\CAD\Drawings\E-15-010 UTILITY PLAN.dwg, Layout1, 8/26/2015 12:27:17 PM, jlocazz, 1:1

PROJECT: 1010208
 DATE: 5-20-15
 APP: IS-70194(SK)

SKETCH PLAT
 OF
LOT 1-A
CASA DE CORAZON
 (BEING A REPLAT OF LOT 1, LAND DIVISION PLAT OF
 TRACT 148-A1-A1-A1-A1, TRACT 148A1A1A1A1 &
 TRACT 147B2A, TRACT 148A1B & TRACT 147B1)
M.R.G.C.D. MAP NO. 42
 WITHIN
 SECTION 25, TOWNSHIP 10 NORTH, RANGE 2 EAST,
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY 2015

LEGAL DESCRIPTION:

THAT CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 25, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, M.R.G.C.D. MAP NO. 42, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO COMPRISING ALL OF LOT 1, LAND DIVISION PLAT OF TRACT 148-A1-A1-A1-A1, TRACT 148A1A1A1A1 & TRACT 147B2A, TRACT 148A1B, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT AND DOCUMENTS ENTITLED, "LOT 1, LAND DIVISION PLAT OF TRACT 148-A1-A1-A1-A1, FILED JUNE 5, 1973, A4-146, TRACT 148A1A1A1A1, QUITCLAIM DEED FILED A17, PAGE 4114, TRACT 148A1B & TRACT 147B1, PERSONAL REPRESENTATIVE'S DEED FILED NOVEMBER 17, 2003, BOOK A60, PAGE 6869-70, ALL FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED WHENCE THE NMSHC MONUMENT "1-25-11" BEARS S 59°55'14" E, 1544.97 FEET; THENCE, N 00°16'23" E, 231.75 FEET TO THE NORTHWEST CORNER OF LOT 7; THENCE, N 00°16'23" E, 30.00 FEET TO A POINT; THENCE, S 89°32'40" E, 329.65 FEET TO A POINT; THENCE, S 00°14'27" W, 30.00 FEET TO THE NORTHEAST CORNER OF LOT 8; THENCE, S 00°14'27" W, 232.58 FEET TO THE SOUTHEAST CORNER OF LOT 8; THENCE, N 89°28'05" W, 164.89 FEET TO THE COMMON CORNER OF LOT 7 AND LOT 8; THENCE, N 89°19'55" W, 164.89 FEET TO THE SOUTHWEST CORNER OF LOT 7 AND THE TRUE POINT OF BEGINNING. SAID LOTS CONTAIN 2.1205 ACRES MORE OR LESS.

PROJECT NUMBER _____	
APPLICATION NUMBER: _____	
APPROVALS:	
CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD, CHAIR _____	DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____	DATE _____
AMAFCA _____	DATE _____
CITY ENGINEER _____	DATE _____
REAL PROPERTY _____	DATE _____
CITY OF ALBUQUERQUE PARK AND RECREATION _____	DATE _____
ABCWUA _____	DATE _____
CITY SURVEYOR, CITY OF ALBUQUERQUE _____	DATE _____
UTILITIES:	
CENTURYLINK _____	DATE _____
PNM ELECTRIC SERVICES _____	DATE _____
NEW MEXICO GAS COMPANY _____	DATE _____
COMCAST _____	DATE _____


PURPOSE OF PLAT:
 THE PURPOSE OF THIS PLAT IS FOR A LOT LINE ADJUSTMENT, TO GRANT A TEN (10') UTILITY EASEMENT AND TO DEDICATE THE SOUTHERLY PORTION OF PASADENA AVENUE, N.E. TO THE CITY OF ALBUQUERQUE.

TREASURER'S CERTIFICATION:
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 101205612427230819
 UPC# 101205611027430820
 UPC# 101205612225930821
 UPC# 101205614026030822

PROPERTY OWNERS(S) OF RECORD: CATHOLIC CHARITIES
 BERNALILLO COUNTY TREASURER _____ DATE _____

SURVEYOR'S CERTIFICATION:
 I, ANDREW S. MEDINA, NEW MEXICO PROFESSIONAL SURVEYOR NUMBER 12649, HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION, THAT IT MEETS THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS, THAT IT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION OF THE BERNALILLO COUNTY SUBDIVISION ORDINANCE; THAT IT SHOWS ALL EASEMENTS OF RECORD MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING INTEREST; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Andrew S. Medina
 ANDREW S. MEDINA N.M.P.S. #12649
 5-7-2015
 DATE



REVISED:

SANDIA LAND SURVEYING LLC

15 CASA TERRENOS PLACITAS, N.M. 87043 (505) 867-1241

JOB NO: 144-15 DATE: 4-12-2014

SCALE: 1"=40' DRAWN: A.S.M.

CATHOLIC CHARITIES _____ DATE _____
 JIM GANNON CEO, CATHOLIC CHARITIES

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)

ON THIS _____ DAY OF _____
 2015, THE FOREGOING INSTRUMENT
 WAS ACKNOWLEDGED BEFORE ME BY _____

NOTARY PUBLIC _____

VICINITY MAP N.T.S. L-12-Z

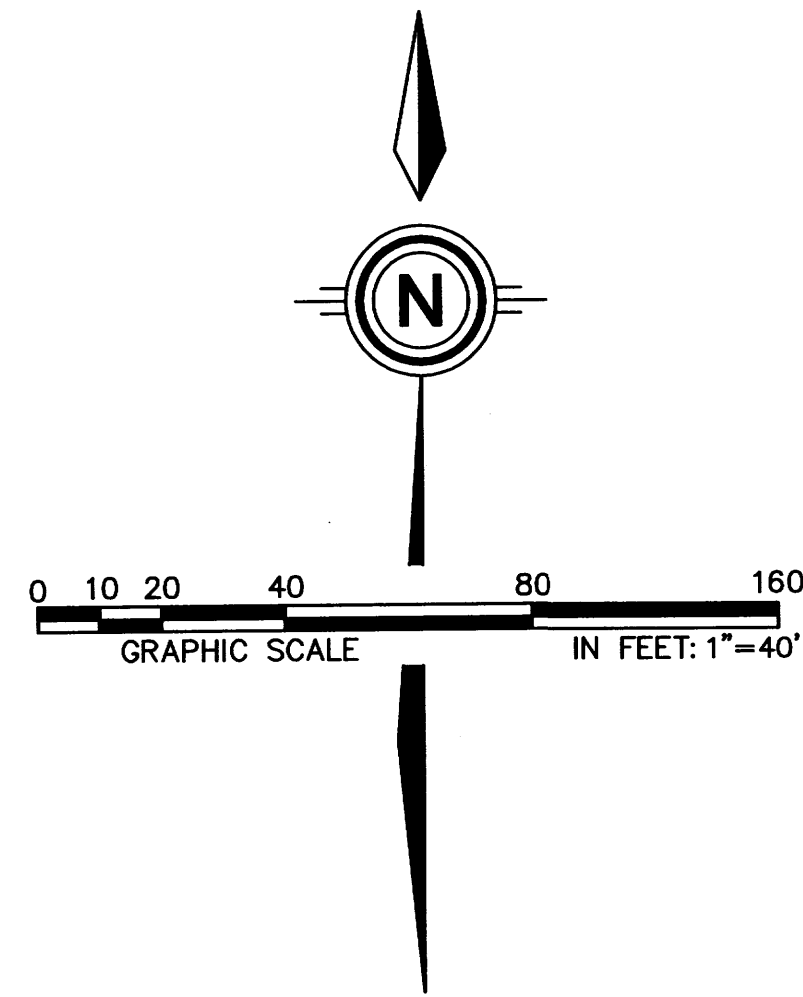
NOTES:

- UNLESS OTHERWISE NOTED ALL CORNERS ARE SET #4 REBAR WITH CAP STAMPED "SLS 12649".
- THE BEARING BASE FOR THIS PLAT ARE NMSHC MONUMENTS "1_25_11" AND USGLO MONUMENT "CC_EG_11_12_11N_3E". ALL DISTANCES ARE GROUND DISTANCES UNLESS OTHERWISE NOTED. BEARINGS ARE GRID BASED UPON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE. (NAD 83).
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD PER DOCUMENT(S) FILED JULY 5, 1973 IN BOOK A4-146, NOVEMBER 17, 2003, BOOK A60, PAGE 6868-70, DECEMBER 16, 1999, BOOK 8916, PAGE 3017.
- DISTANCES ARE GROUND DISTANCES
- GROSS ACREAGE: 2.1205
- NUMBER OF EXISTING LOTS: 3
- NUMBER OF LOTS CREATED: 1
- PROPERTIES ARE ZONED O1.
- DATE OF SURVEY APRIL 2014.
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:**
 - PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM)**, A NEW MEXICO CORPORATION, FOR INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - NEW MEXICO GAS COMPANY** FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
 - CENTURY LINK** FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES
 - COMCAST CABLE** FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

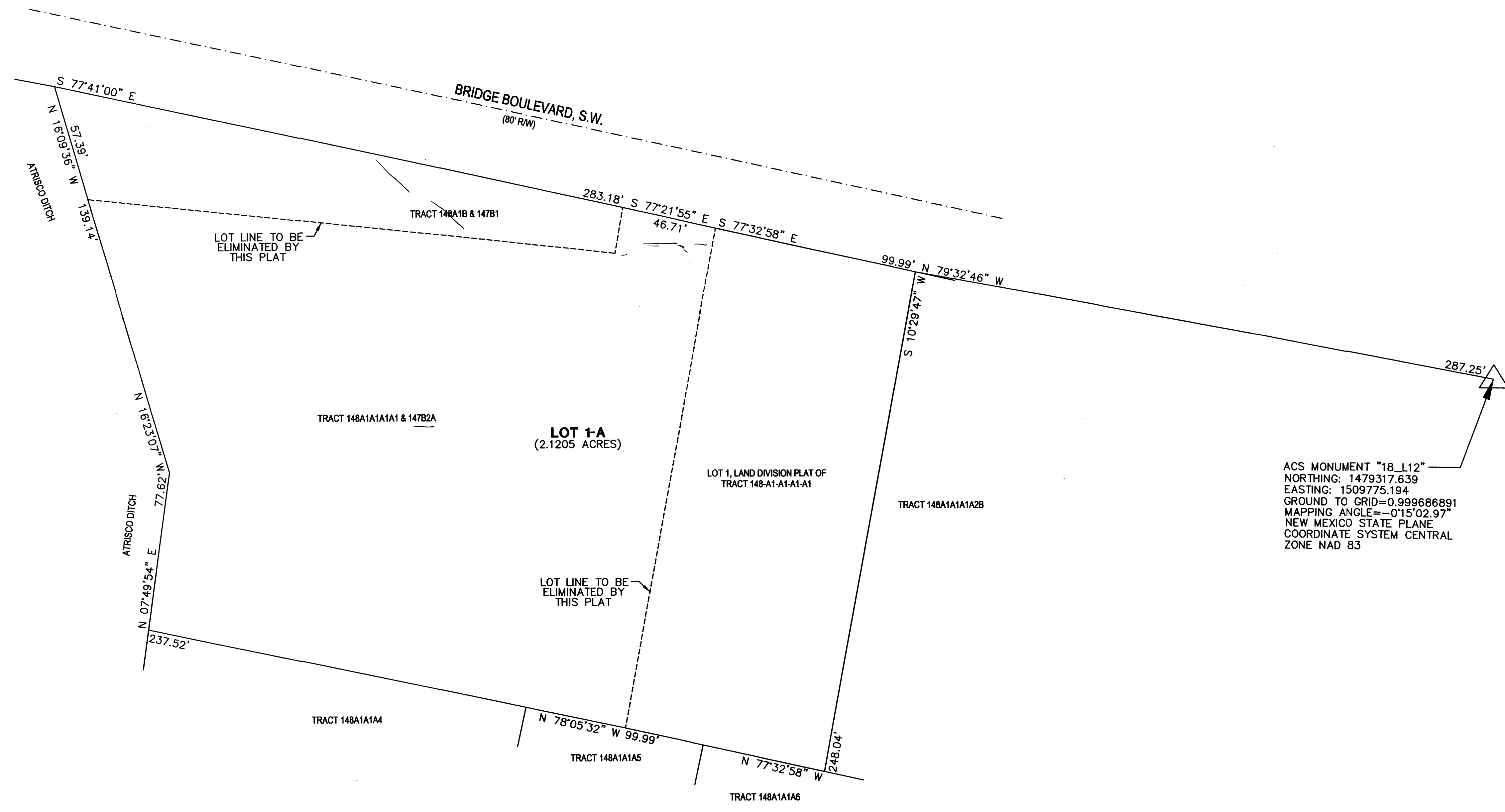
INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING SIGN, POOL (ABOVE GROUND OR SUBSURFACE) HOT TUB, CONCRETE OR WOOD POOL DECKING OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER:
 IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.



SKETCH PLAT
 OF
LOT 1-A
CASA DE CORAZON
 (BEING A REPLAT OF LOT 1, LAND DIVISION PLAT OF
 TRACT 148-A1-A1-A1-A1, TRACT 148A1A1A1A1 &
 TRACT 147B2A, TRACT 148A1B & TRACT 147B1)
M.R.G.C.D. MAP NO. 42
 WITHIN
 SECTION 25, TOWNSHIP 10 NORTH, RANGE 2 EAST,
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY 2015



LEGEND:
 ⊗ SET #4 REBAR W/CAP "SLS 12649"
 ⊠ FOUND #4 REBAR W/CAP "RAF P.S. 6126"
 ⊡ FOUND #4 REBAR

SANDIA LAND SURVEYING LLC	
<small>15 CASA TERRENOS PLACITAS, N.M. 87043 (505) 867-1241</small>	
JOB NO: 144-15	DATE: 4-12-2014
SCALE: 1"=40'	DRAWN: A.S.M.

1 2 3 4 5

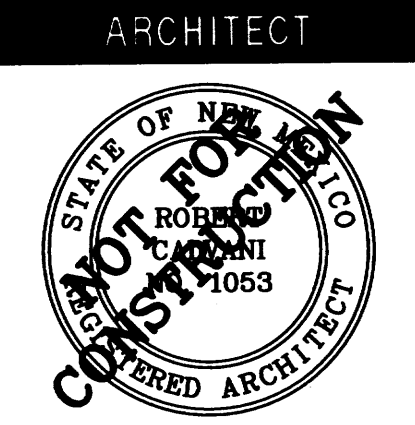
GENERAL NOTES

KEYED NOTES

1. EXISTING BUILDING TO REMAIN.
2. NEW ASPHALT PAVING
3. CHILDREN'S PLAY AREA.
4. C.M.U. WALL.
5. PROPOSED 2 STORY BUILDING.



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WWW.NCA-ARCHITECTS.COM



CONSULTANT

PROJECT TITLE

CATHOLIC CHARITIES

**ALBUQUERQUE
NEW MEXICO**

REVISIONS:

NO.	DATE	DESCRIPTION

MK	DATE	DESCRIPTION

PROJECT NUMBER:

A14.23

DATE:

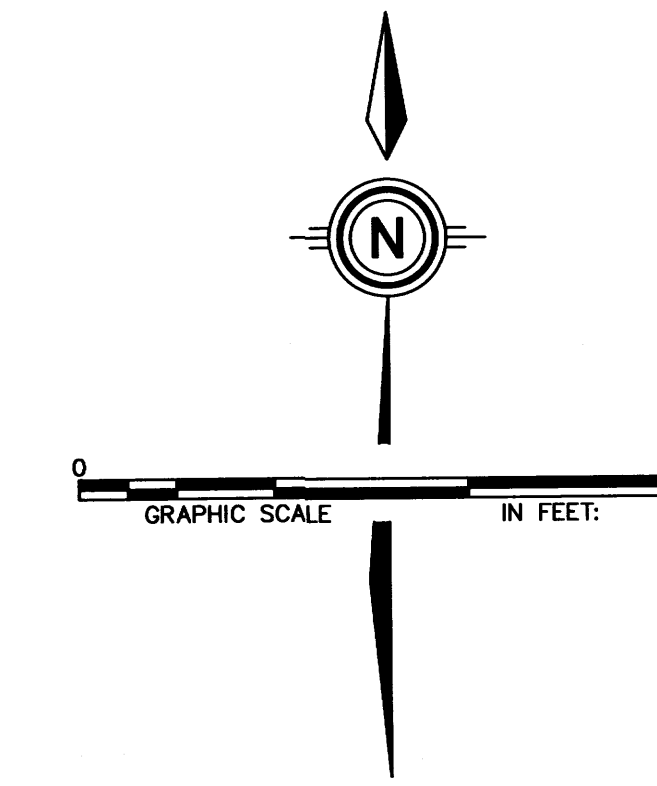
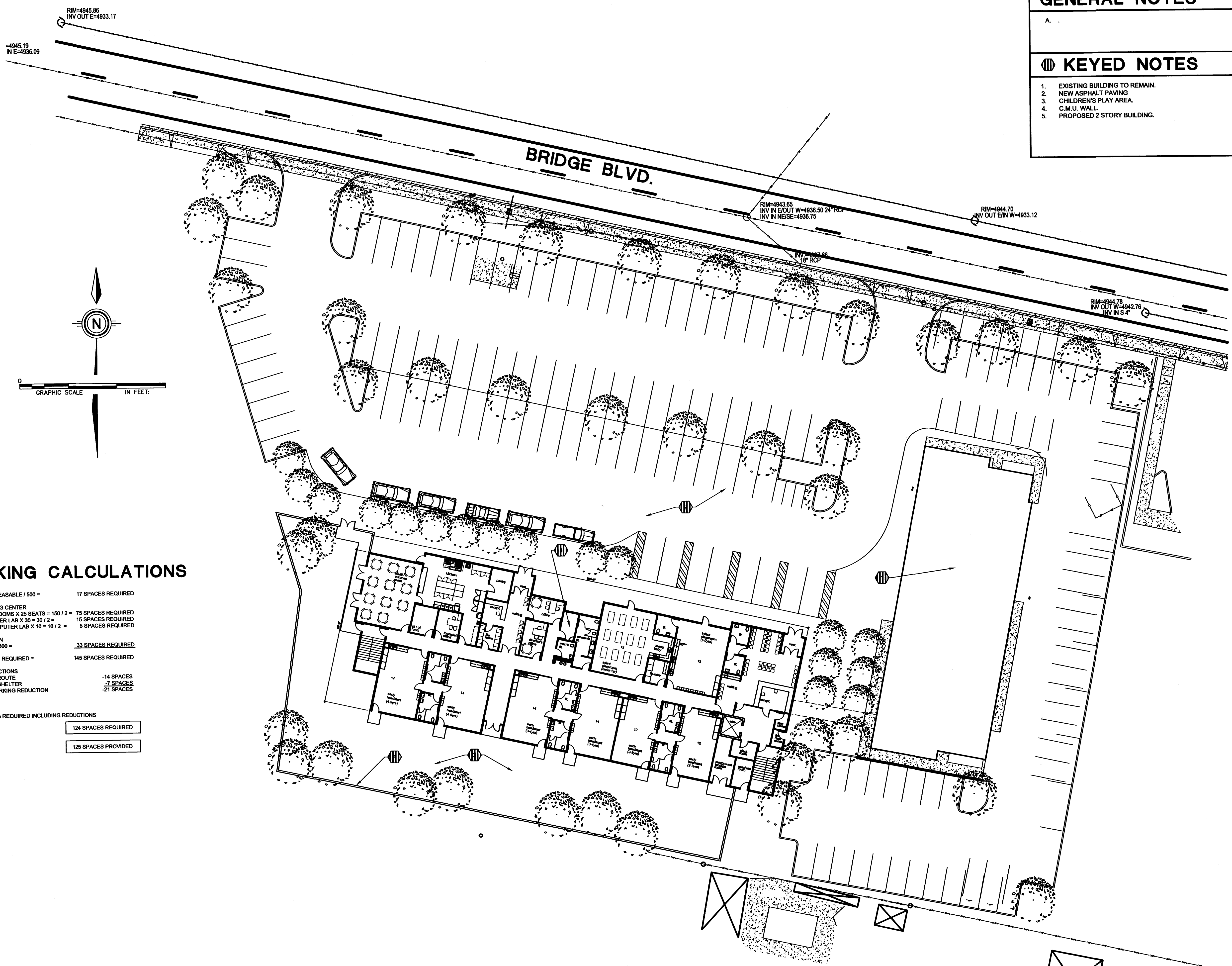
5/08/15

SHEET TITLE:

SITE PLAN

SHEET NO.

AS-101



PARKING CALCULATIONS

CHILD CARE 7,650 SF LEASABLE / 500 =	17 SPACES REQUIRED
ADULT LEARNING CENTER 6 CLASSROOMS X 25 SEATS = 150 / 2 = 1 COMPUTER LAB X 30 = 30 / 2 = 1 SM. COMPUTER LAB X 10 = 10 / 2 =	75 SPACES REQUIRED 15 SPACES REQUIRED 5 SPACES REQUIRED
ADMINISTRATION 9,994 SF / 300 =	33 SPACES REQUIRED
TOTAL PARKING REQUIRED =	145 SPACES REQUIRED
PARKING REDUCTIONS 10% BUS ROUTE 05% BUS SHELTER TOTAL PARKING REDUCTION	-14 SPACES -7 SPACES -21 SPACES
TOTAL PARKING REQUIRED INCLUDING REDUCTIONS	124 SPACES REQUIRED
	125 SPACES PROVIDED

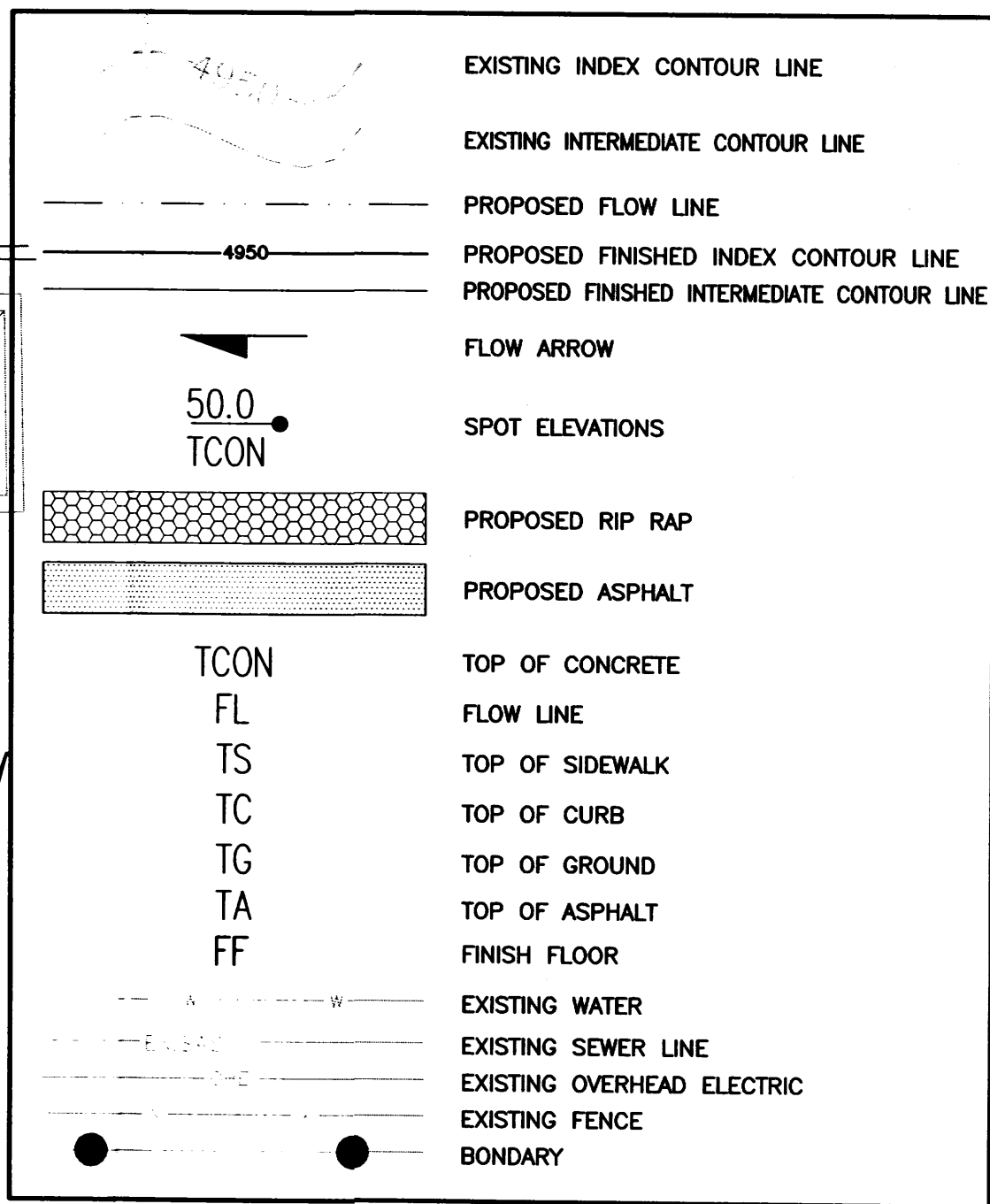
A1 SITE PLAN
SCALE: 1" = 20'

1 2 3 4 5

GENERAL NOTES:

- AS OF MARCH 10, 2003, THE USPA REQUIRES NPDES PERMIT COVERAGE FOR STORM WATER DISCHARGES FROM CONSTRUCTION PROJECTS (COMMON PLANS OF DEVELOPMENT) THAT WILL RESULT IN THE DISTURBANCE (OR RE-DISTURBANCE) OF ONE OR MORE ACRES, INCLUDING EXPANSIONS OF TOTAL LAND AREA. THE DEVELOPER SHOULD BE MADE AWARE THAT THE USEPA REQUIRES THAT ALL "OPERATORS" (SEE FEDERAL REGISTER/VOL. 63, NO. 128 / MONDAY, JULY 6, 1999 PG 36509) OBTAIN NPDES PERMIT COVERAGE FOR CONSTRUCTION PROJECTS. GENERALLY THIS MEANS THAT AT LEAST TWO PARTIES WILL REQUIRE PERMIT COVERAGE. THE OWNER/DEVELOPER OF THIS CONSTRUCTION PROJECT HAS OPERATIONAL CONTROL OVER THE PROJECT SPECIFICATIONS, THE GENERAL CONTRACTOR WHO HAS DAY-TO-DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT THE SITE, WHICH ARE NECESSARY TO ENSURE COMPLIANCE WITH THE STORM WATER POLLUTION PLAN AND OTHER CONDITIONS, AND POSSIBLY OTHER "OPERATORS" THAT WILL REQUIRE APPROPRIATE NPDES PERMIT COVERAGE FOR THIS PROJECT.
- CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OR EXISTING UTILITIES.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- ALL CONCRETE SHALL BE A MINIMUM OF 3000 P.S.I.
- ALL EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS HAS BEEN PROVIDED BY NCA ARCHITECTS. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL PAVEMENT, BASE COURSE AND SUBGRADE PREPARATION THICKNESS SHALL BE PROVIDED BY THE SOILS ENGINEER FOR THIS PROJECT.
- ALL DISTURBED AREAS SHALL RECEIVE CLASS 'A' SEEDING PER MWDOT BLUEBOOK. THESE SHALL INCLUDE ALL SLOPED AND NON-SLOPED AREAS. SLOPES SHALL NOT EXCEED 3:1.
- FILL/BACK-FILL SHALL BE PLACED IN EIGHT INCH LIFTS AND COMPACTED TO 90 PERCENT OPTIMUM DENSITY AS PER ASTM D-1577 AND 95 PERCENT UNDER STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- A GEOTECHNICAL INVESTIGATION WAS CONDUCTED FOR THIS PROJECT. THE CONTRACTOR MAY CONDUCT AN INDEPENDENT VERIFICATION OF EXISTING MATERIALS AT VARIOUS LOCATIONS THROUGHOUT THE LENGTH OF THE PROJECT. CONTRACTORS MAY PERFORM THEIR OWN LABORATORY TESTINGS TO OBTAIN ALL NECESSARY INFORMATION FOR BIDDING PURPOSES.
- CONTRACTOR SHALL MAINTAIN A 10' HORIZONTAL AND 2' VERTICAL SEPARATION BETWEEN THE WATERLINE AND THE SANITARY SEWER LINE WHETHER THEY ARE MAIN LINES IN THE ROADWAY OR SERVICE LINES TO THE LOTS.
- CONTRACTOR SHALL ADJUST WATERLINE DEPTH TO ACCOMMODATE SANITARY SEWER LINE SERVICES.
- THE WATER AND SEWER UTILITIES FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, DATED 1987, AND THE IHS STANDARD SPECIFICATIONS, LATEST EDITION.
- THE CONTRACTOR SHALL PLACE LOCATOR TAPE NO MORE THAN 12" ABOVE ALL UNDERGROUND UTILITY LINES.
- SEE ARCHITECTURAL DRAWINGS FOR PAVING & CONCRETE ADDITIVE ALTERNATES #1 AND #2.

LEGEND



GRADING AND DRAINAGE NARRATIVE

THE EXISTING PROPERTY FOR THE CATHOLIC CHARITIES BUILDING IS LOCATED AT 2010 BRIDGE BLVD. SW, ALBUQUERQUE, NM IN THE SOUTH VALLEY AREA OF TOWN. THERE ARE LOTS TO THE WEST OF THE EXISTING BUILDING WHICH IS WHERE THE NEW BUILDING WILL BE LOCATED. THE PROPERTY IS BOUND BY BRIDGE BLVD. TO THE NORTH AND THE ATRISCO DITCH ON THE WEST SIDE. THERE IS ALSO AN EXISTING RESIDENTIAL AREA ON THE SOUTH SIDE OF THE SITE. THE LAND IS GENERALLY FLAT AND SLOPES FROM THE EAST TO THE WEST. THE NEW BUILDING SITE IS CURRENTLY PARTIALLY DEVELOPED WITH AN EXISTING SINGLE RESIDENCE TO NORTHWEST OF THE PROPERTY NEAR BRIDGE BLVD. THE REST OF THE PROPERTY IS UNPAVED WITH TREES, SHRUBS, AND GRASS.

THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE STANDARD CURB AND GUTTER, WITH CURB CUTS AS NECESSARY AND STORM DRAIN SYSTEM TIED TO THE ROOF DRAINS FOR ALLOWING STORMWATER INTO A PROPOSED WATER HARVESTING AREA OR THE EXISTING STORM SEWER ALONG BRIDGE BLVD. THE SITE WILL ALSO PROVIDE APPROXIMATELY TWO WATER HARVESTING AREAS. THESE WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REQD VOL = (0.33 IN. * 52311 SF)/12 = 1438 CF. WATER HARVEST AREA VOL = 21000 CF, 21000 CF . 1438 CF) AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. A LARGE PORTION OF THE PROPOSED PARKING AREA AND A PORTION OF THE EXISTING PARKING AREA TO THE EAST WILL DISCHARGE INTO PROPOSED DRAINAGE INLETS. THE RUNOFF FROM THE INLETS WILL DISCHARGE THROUGH A PROPOSED STORM DRAIN LINE THAT WILL CONNECT TO THE EXISTING DRAINAGE INLET NEAR THE NORTH PROPERTY LINE. THE EXISTING DRAINAGE INLET THEN DISCHARGES INTO A STORM DRAIN SYSTEM IN BRIDGE BLVD.

GRADING PLAN KEY NOTES

- EXISTING CONCRETE SIDEWALK/FLATWORK TO REMAIN.
- NEW CURB AND GUTTER PER C.O.A. STD. DWG. 2415A.
- NEW CONCRETE FLATWORK. SEE ARCHITECTURAL DRAWINGS.
- NEW WATER HARVEST AREA (PONDING REQUIRED TO MANAGE 90 PERCENTILE STORM EVENTS). TOP ELEV. = 4946.00 INV. ELEV. = 4944.00
- NEW CONCRETE DRIVEPAD.
- NEW TYPE B HANDICAP RAMP.
- NEW CONCRETE TURNDOWN EDGE.
- EXISTING PROPERTY LINE/FENCING.
- EXISTING BUILDING/STRUCTURE TO BE REMOVED.
- EXISTING FENCE TO BE REMOVED.
- NEW ASPHALT PAVING.
- NEW WATER HARVESTING AREA (PONDING REQUIRED TO MANAGE 90 PERCENTILE STORM EVENTS). TOP ELEV. = 4947.00 INV. ELEV. = 4944.00

STORM DRAIN KEY NOTES

- EXISTING STORM DRAIN INLET TO REMAIN IN PLACE. CONNECT NEW 12" SD PIPE TO EXISTING INLET. 12" INV. IN = 4936.85
- NEW 25.50 LF OF 12" STORM DRAIN PIPE.
- NEW 4" DIA. TYPE 'C' STORM DRAIN MANHOLE. RIM ELEV. = 4944.40 12" INV. IN = 4937.17 12" INV. OUT = 4937.07 12" INV. OUT = 4936.97
- NEW 88 LF OF 12" STORM DRAIN PIPE.
- NEW TYPE 'D' STORM DRAIN INLET. RIM ELEV. = 4944.00 12" INV. OUT = 4940.00
- NEW 14 LF OF 12" STORM DRAIN PIPE.
- NEW 12"x45' HORIZ. BEND.
- NEW 78.50 LF OF 12" STORM DRAIN PIPE.
- NEW 12"x45' HORIZ. BEND.
- NEW 40.75 LF OF 12" STORM DRAIN PIPE.
- NEW 12"x12"x12" STORM DRAIN PIPE TEE. 12" INV. = 4938.50
- NEW 2 LF OF 12" STORM DRAIN PIPE.
- NEW TYPE D STORM DRAIN INLET RIM ELEV. = 4944.00 12" INV. OUT = 4938.54
- NEW 94.50 LF OF 12" STORM DRAIN PIPE.
- NEW 4" DIA. TYPE 'C' STORM DRAIN MANHOLE. RIM ELEV. = 4944.27 12" INV. IN (SW) = 4939.27 12" INV. IN (SE) = 4939.17 12" INV. IN (N) = 4939.07 12" INV. OUT (S) = 4938.97
- NEW 50.50 LF OF 12" STORM DRAIN PIPE.
- NEW 12.50 LF OF 12" STORM DRAIN PIPE.
- NEW TYPE D STORM DRAIN INLET RIM ELEV. = 4943.50 12" INV. OUT = 4939.24
- NEW 192 LF OF 12" STORM DRAIN PIPE.

SCALE: 1"=20'
CONTOUR INTERVAL = 1'

MILLER ENGINEERING CONSULTANTS
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ARCHITECT

CONSULTANT

PROJECT TITLE

CATHOLIC CHARITIES

ALBUQUERQUE
NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION
XX	MYO	

DRAWN BY: CHECKED BY:

PROJECT NUMBER: A14.23

DATE: 3/23/15

SHEET TITLE: GRADING SITE PLAN

SHEET NO: C-101

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