

**GENERAL SHEET NOTES**

A. APPLICABLE PLANS: REFER TO DESIGN STANDARDS THIS PACKAGE.

**SHEET KEYED NOTES**

1. EXISTING PROPERTY LINE.
2. PROPOSED PROPERTY LINE.
3. PROPOSED PYLON SIGN.
4. PROPOSED MONUMENT SIGN.
5. EXISTING DRIVEWAY.
6. PROPOSED DRIVEWAY.
7. FULL ACCESS.
8. PROPOSED OPTIONAL FUTURE MONUMENT SIGN.
9. RIGHT-IN / RIGHT-OUT ACCESS.
10. RIGHT-IN / LEFT-OUT ACCESS.
11. EXISTING BIKE / WALKING TRAIL.
12. EXISTING RETAINING WALL.
13. PROPOSED RETAINING WALL (TO MATCH EXISTING).
14. EXISTING 30' WIDE WATER AND SEWER EASEMENT GRANTED TO ABCWUA, FILED: MAY 6, 2015, BOOK: 2015C, PAGE: 45, TITLE DOC#14.
15. EXISTING 15' FLOATING PEDESTRIAN EASEMENT TO BE CONFINED AND DEFINED WITH FUTURE PLATTING ACTION.
16. EXISTING 5' PUBLIC UTILITY EASEMENT, FILED: MAY 6, 2015, BOOK: 2015C, PAGE: 45, TITLE DOC# 14.
17. EXISTING 10' GAS COMPANY EASEMENT, FILED: DEC 13, 1961, DOCUMENT NO. 49762, BOOK: 622, PAGE: 299.
18. EXISTING 10' PUBLIC UTILITY EASEMENT, FILED: DEC 19, 1985, BOOK: C29, PAGE: 32, TITLE DOC#14.
19. EXISTING 10' EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO, FILED: DEC. 19, 1994, BOOK: 94C, PAGE: 420, TITLE DOC#14.
20. PROPOSED DECELERATION LANE.
21. NEW BIKE TRAIL CONNECTION.
22. NEW PEDESTRIAN ACCESS EASEMENT.

**SITE PLAN LEGEND**

- PEDESTRIAN INGRESS / EGRESS
- PROPOSED VEHICULAR INGRESS / EGRESS
- EXISTING PROPERTY LINE, AS NOTED
- PROPOSED PROPERTY LINE, AS NOTED

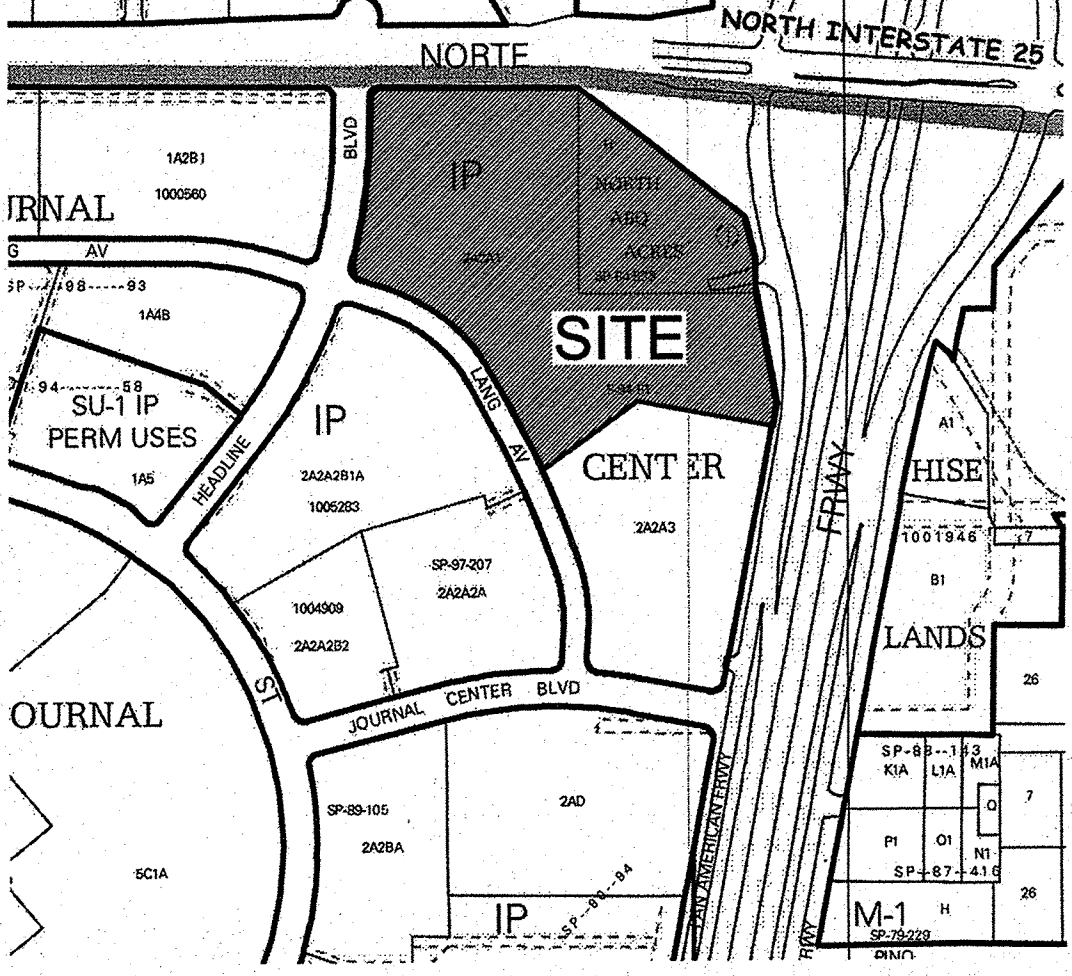
**SITE INFORMATION**

**LEGAL DESCRIPTION**  
 TR A PLAT OF TRACT A LEGACY AT JOURNAL CENTER (A REPLAT OF TRACTS 2A-2A-1 & TRACT H JOURNAL CENTER & VACATED RIGHT OF WAY OF HEADLINE BLVD) CONT 14.6215 AC

**TOTAL SITE AREA:** 14.62 ACRES  
 TRACT A-2: 297,142 SF = 6.82 AC  
 TRACT A-1: 209,420 SF = 4.80 AC, FOR ILLUSTRATIVE PURPOSES ONLY, FUTURE NOT A PART  
 TRACT A-3: 130,349 SF = 3.0 AC, FOR ILLUSTRATIVE PURPOSES ONLY, FUTURE NOT A PART

**EXISTING ZONING:** IP  
**PROPOSED USES:** RETAIL, RESTAURANT  
**MINIMUM BUILDING SETBACK:**  
 PAN AMERICAN FREEWAY FRONTAGE ROAD: 40' FROM PROPERTY LINE  
 PASEO DEL NORTE: 40' FROM PROPERTY LINE  
**MAXIMUM BUILDING HEIGHT:** IP ZONING: 120'  
**MAXIMUM F.A.R.:** 1.0

**VICINITY MAP** Zone Atlas Page: D-17, D-18



**PROJECT NUMBER:** 1010228  
**APPLICATION NUMBER:** 16-70247

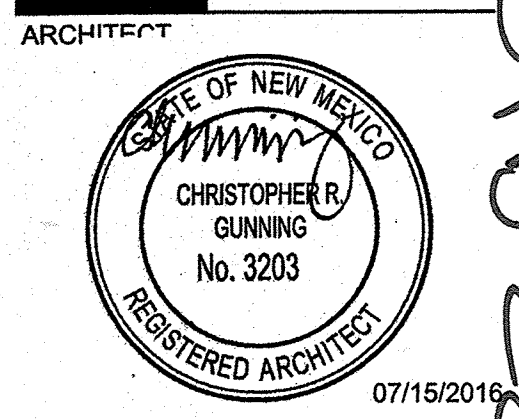
Is an Infrastructure List Required? ( ) Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**SITE DEVELOPMENT PLAN APPROVAL:**

<i>[Signature]</i>	8/17/16
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	8/17/16
ABCWUA	DATE
<i>[Signature]</i>	8/17/16
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	8-17-16
CITY ENGINEER	DATE
N/A	DATE
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	9-9-16
DRY CHAIRPERSON, PLANNING DEPARTMENT	DATE



7601 JEFFERSON NE, SUITE 100  
 ALBUQUERQUE, NM 87109  
 505.761.9700 / DPSDESIGN.ORG



ENGINEER

PROJECT

**LEGACY @ JOURNAL CENTER**  
 5151 Lang Avenue NE  
 Albuquerque, New Mexico 87109

**REVISIONS**

△	
△	
△	
△	

**DRAWN BY**  
**REVIEWED BY**  
 DATE July 15, 2016  
 PROJECT NO. 16-0068  
 DRAWING NAME

**SITE PLAN FOR SUBDIVISION**

SHEET NO. **SPSB-1**  
 OF

1010228



**DEKKER  
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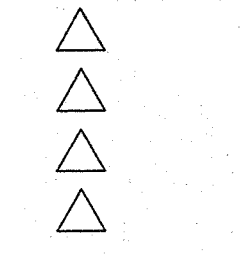
ARCHITECT

ENGINEER

PROJECT

**LEGACY @ JOURNAL CENTER**  
5151 LANG AVENUE NE  
Albuquerque, New Mexico 87109

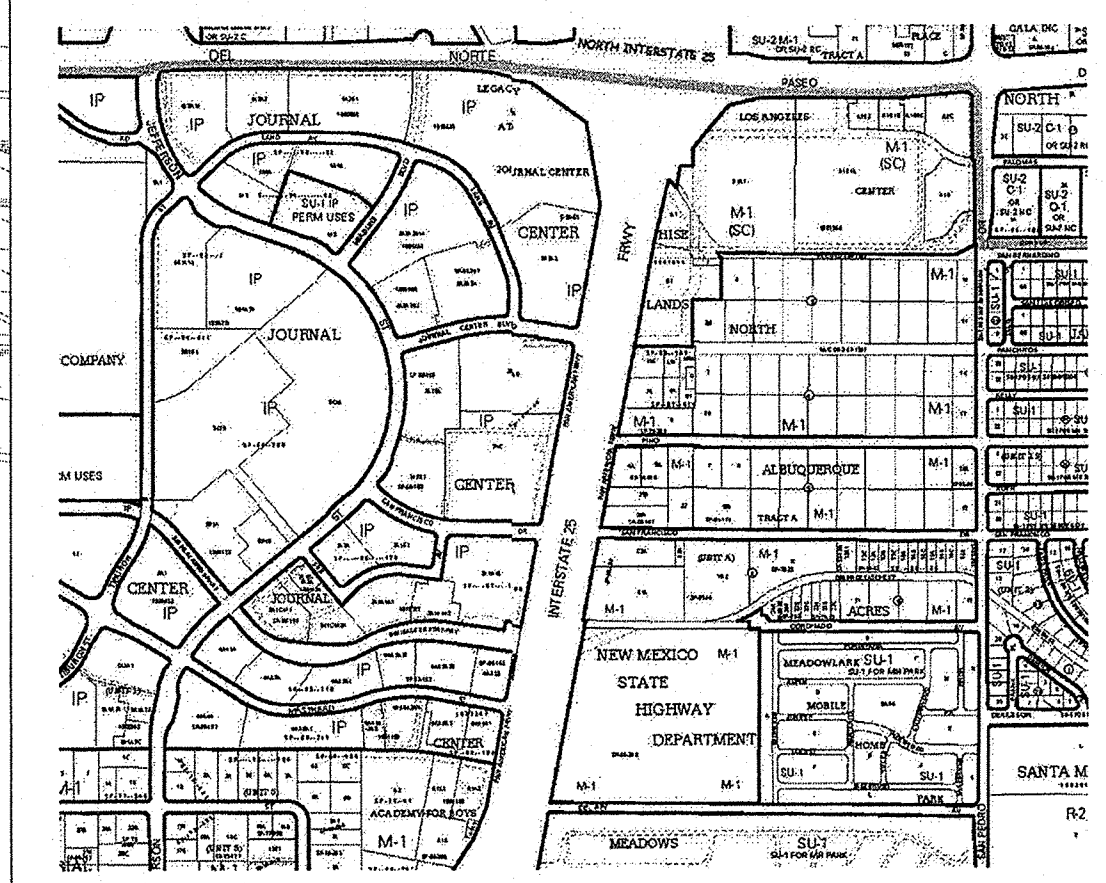
REVISIONS



DRAWN BY **MHS**  
REVIEWED BY **MJB**  
DATE **July 15, 2016**  
PROJECT NO. **16-0068**

DRAWING NAME  
**CONCEPTUAL  
GRADING PLAN**

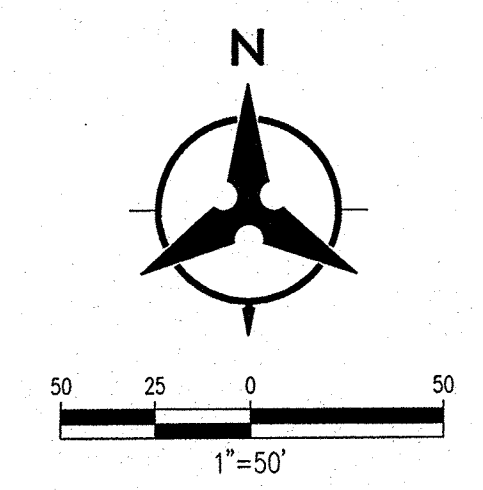
SHEET NO. **SPSB-2**  
OF



**VICINITY MAP**  
ZONE MAP D-17 & D-18

**GRADING KEYNOTES**

1. EXISTING 42" STORM DRAIN.
2. EXISTING INLET AND 36" STORM DRAIN STUBBED TO THE SITE CONSTRUCTED UNDER THE PASEO DEL NORTE PROJECT.
3. STORM DRAIN MANHOLE PER COA STD DWG 2102.
4. NEW HDPE STORM DRAIN. SIZE AND SLOPE PER PLAN.
5. NEW COA TYPE 'D' INLET OR ADS AREA DRAIN.
6. CONNECT ROOF DRAINS TO NEW STORM DRAIN.
7. NEW CONCRETE RUNDOWN



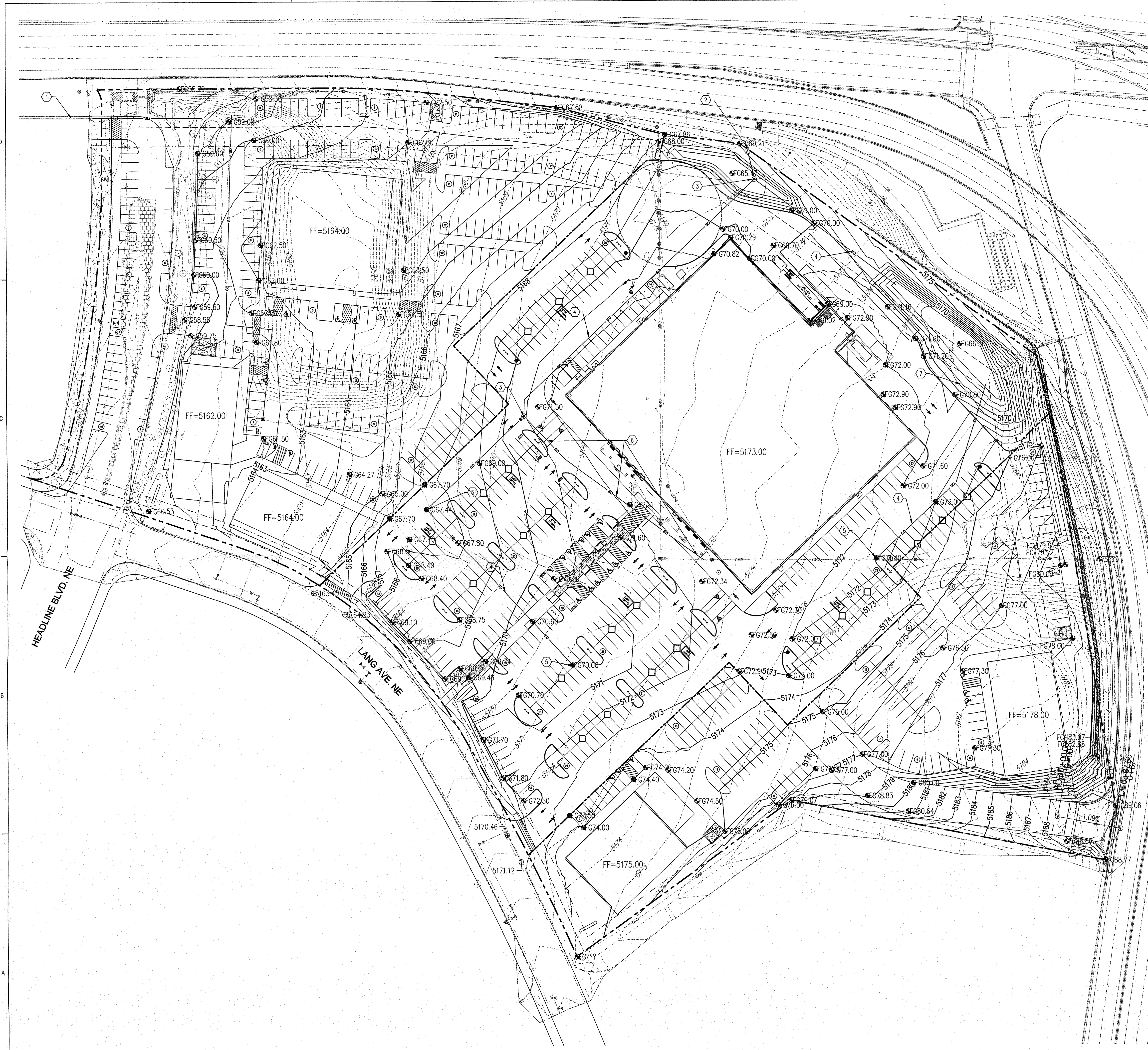
**GRADING LEGEND**

---	PROPERTY LINE	---	PROPOSED CURB & GUTTER
---	PROJECT LIMITS OF GRADING	---	DIRECTION OF FLOW
-5025-	EXISTING INDEX CONTOUR	---	WATER BLOCK/GRADE BREAK
-5024-	EXISTING INTERMEDIATE CONTOUR	---	PROPOSED STORM DRAIN LINE
⊕ 5025.25	EXISTING GROUND SPOT ELEVATION	⊙	PROPOSED STORM DRAIN MANHOLE
-5025-	PROPOSED INDEX CONTOUR	⊙	PROPOSED STORM DRAIN INLETS
-5024-	PROPOSED INTERMEDIATE CONTOUR	---	PROPOSED RETAINING WALL
---	PROPOSED FLOW LINE	---	EASEMENT
⊕ 26.75	PROPOSED FINISHED GRADE SPOT ELEVATION		

TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TO=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW

**NOT FOR  
CONSTRUCTION**

**Bohannon & Huston**  
www.bhinc.com 800.877.5332



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July 14, 2016 - 11:12am  
Plotted by: MBALASKOVITS



# DESIGN STANDARDS

## I. PURPOSE & INTENT

The purpose of these Design Standards is to provide a framework for designers to understand the vision and development goals for the property, and assist them in decision making to achieve the vision and goals. The intent of these standards is to create an aesthetically pleasing, pedestrian friendly, mixed use development that adds supporting retail / restaurant amenities to the Journal Center area. Intended uses include retail and restaurants along Lang Avenue and Headline Blvd.

### a. Goals:

- i. Aesthetic treatments and material selection that provides consistency in design across the entire property.
  - ii. A pedestrian friendly environment that provides pleasant outdoor spaces for users and achieves a 'park once and walk' outcome.
- b. Permissive and conditional uses shall be as allowed under the IP Zone of the City of Albuquerque's Code of Ordinances.
- c. All Design Standards are intended to meet or exceed the requirements of the City of Albuquerque's Code of Ordinances.

## II. SETBACKS & BUILDING HEIGHT LIMITATIONS

Although the underlying site zoning is IP, the site is surrounded by development that consists primarily of office and retail uses. Therefore, the setbacks and building heights should be similar to those in IP zone and the nearby Journal Center area.

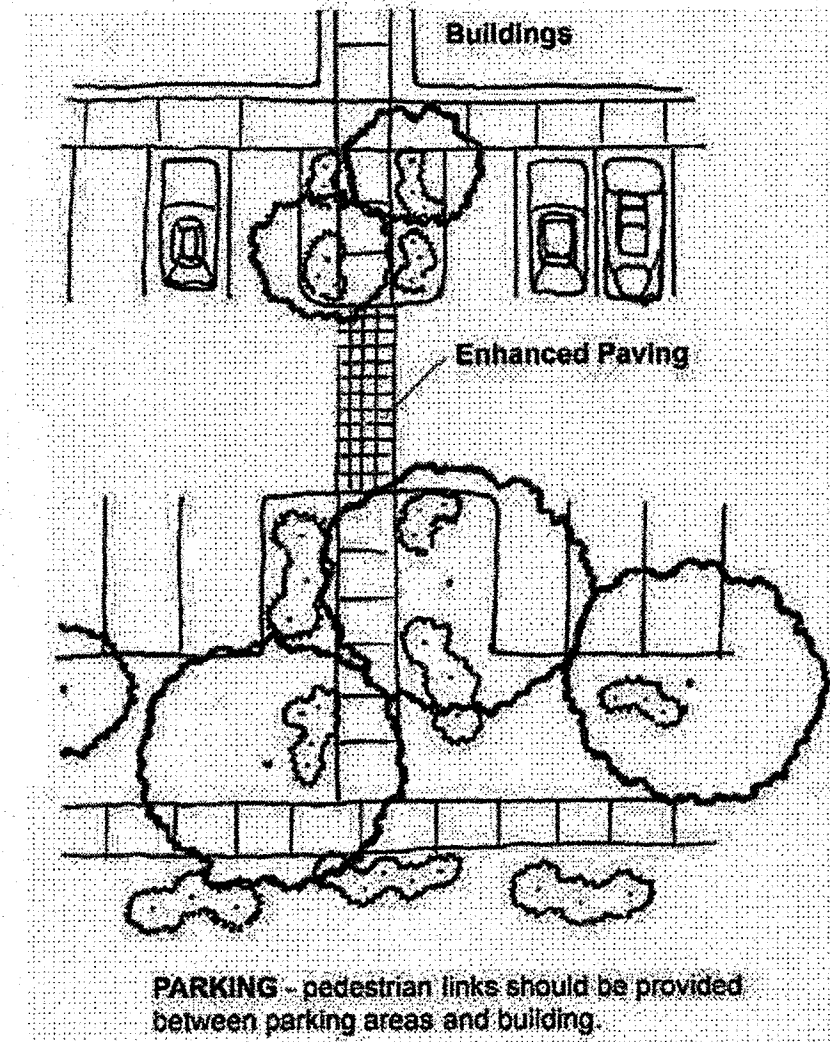
- a. Building setbacks shall conform to the requirements of the IP Zone, by reference from Section 14-16-2-19, IP Zone of the City of Albuquerque's Code of Ordinances except as noted below.
- i. Buildings on lots along Lang Avenue shall be setback at least 30 feet from the face of curb, and on lots along Paseo del Norte and I-25 shall be setback at least 40 feet from the property line.
- b. Landscape setbacks shall conform to the requirements of Section 14-16-3-10 of the City of Albuquerque's Code of Ordinances except as noted below.
- i. Parking areas along Lang Avenue shall be setback 20 feet from the face of curb, and on lots along Paseo del Norte and I-25 shall be setback at least 10 feet from the property line to provide space for screening of parked cars through the use of plant materials or low walls.
- c. Building heights shall be as allowed under Section 14-16-2-19, IP Zone of the City of Albuquerque's Code of Ordinances.

## III. PARKING

In order to support the goal of creating a pedestrian friendly environment, careful attention should be given to parking area design. To lessen its visual impact, parking should be broken into a series of smaller areas, and views of parking from off-site should be interrupted with screening materials.

- a. Off-street parking areas, including space size, aisle widths, pedestrian pathways, and screening, shall comply with Section 14-16-3-1 of the City of Albuquerque's Code of Ordinances.
  - i. Parking areas shall be designed to include a 6 foot wide minimum pedestrian link to buildings.
  - ii. Pedestrian links across parking drive aisles shall be distinguished with striping or materials distinguishable from the roadway material.
  - iii. Parking shall be placed behind buildings or screened from surrounding neighborhoods by means of 2.5 to 3 foot high walls or landscaping. Walls shall be architecturally compatible with surrounding buildings.
- b. Bicycle parking shall comply with Section 14-16-3-1(B) of the City of Albuquerque's Code of Ordinances.
  - i. To encourage non-vehicular travel, provisions for convenient on-site secure bicycle parking shall be provided near building entrances.
- c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the City of Albuquerque's Code of Ordinances.
- d. Building orientation shall allow for clear visibility of the main entry from parking areas and pedestrian connections.

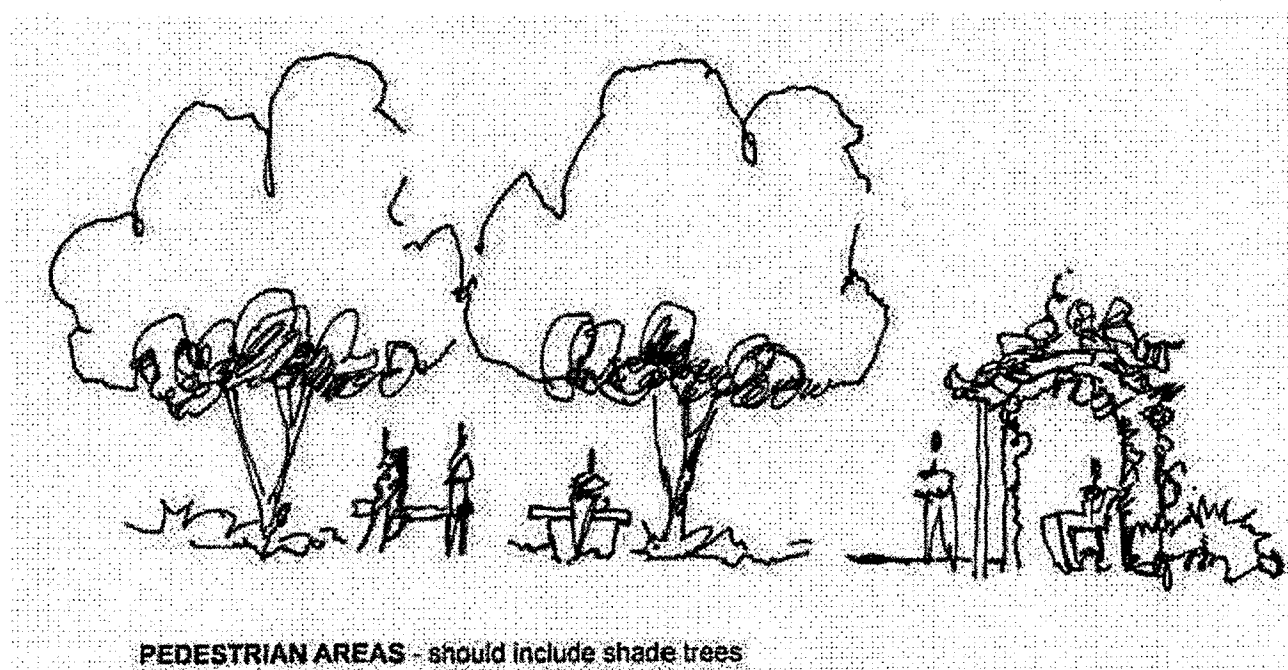
- e. Grading & drainage design of parking areas shall comply with Chapter 22 of the City of Albuquerque's Code of Ordinances, and shall incorporate low impact development principles.
- i. Parking islands shall allow flow of water as a water harvesting device and as required to maintain proper drainage of the site.



## IV. PEDESTRIAN CONNECTIONS & AMENITIES

Pedestrian connectivity plays a major role in providing a pleasing environment. The following requirements are intended to help meet the property's goal of creating a pedestrian friendly atmosphere.

- a. Pedestrian connections within parking lots shall comply with Section 14-16-3-1(H) of the City of Albuquerque's Code of Ordinances.
  - i. Pedestrian pathways shall be clearly demarcated with a contrasting material such as textured concrete.
  - ii. Pedestrian movement from off-site and between buildings shall be encouraged by providing continuous pedestrian connections through parking areas and at the site's perimeter.
  - iii. Parking areas shall include pedestrian connections to all buildings within the property.
  - iv. Shade provided with trees or shade structures shall be provided at pedestrian connections to enhance the pedestrian experience.
  - v. Sidewalks shall be 8'-0" wide along facades of buildings per section 14-16-3-18(C)(1) of the City of Albuquerque's Code of Ordinances.
- b. A minimum 200 square feet of public space shall be provided at each restaurant establishment for outdoor seating or gathering. Public spaces for multiple restaurants may be combined into one with a total area equal to 200 square feet per establishment.
  - i. Public space or outdoor seating shall have areas of shade and be adjacent to landscape areas including trees or shrubs per Section 14-16-3-18(C)(4) of City of Albuquerque's Code of Ordinances.
  - ii. Shade provided may include shade sails, canopies, canvas umbrellas at tables, trees, or planting materials significant enough to provide shade and refuge from the sun.
- c. Major facades greater than 100 feet in length shall incorporate outdoor seating per the requirements of Section 14-16-3-18(C)(3) of the City of Albuquerque's Code of Ordinances.



## V. LANDSCAPING

The site development landscape shall serve to enhance the visual aesthetic of the site and aid in reinforcing the street presence and pedestrian experience. The intent is to provide year round color and interest and reflect the natural environment of New Mexico landscape. A clear theme and image for the development shall be enforced throughout by consistent paving materials, plantings, signage, etc.

- a. Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Tree Ordinance)
- b. A minimum of 15% of the net site area shall be devoted to landscape materials.
- c. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas.
- d. All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be free of weeds.
- e. Minimum plant material sizes at the time of installation shall be:
  - i. Canopy Trees - 2" Caliper
  - ii. Evergreen Trees - 10' Minimum height
  - iii. Accent Trees - 2" Caliper
  - iv. Shrubs and Groundcovers - 1 gallon minimum
- g. Landscape plans must comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- h. Drought tolerant species shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of landscape areas at maturity.
- i. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto wall, buildings, fences, sidewalks, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.
- j. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.
- k. Landscape Plans shall be designed using plants selected from the following palette:

### Large Trees

Raywood Ash  
Rio Grande Cottonwood  
Texas Red Oak  
Pinon Pine

Fraxinus velutina "Raywood"  
Populus wislizenii  
Quercus buckleyi  
Pinus edulis

### Small Trees

Desert Willow  
New Mexico Olive

Chilopsis linearis  
Forestiera neomexicana

### Shrubs

Apache Plume  
Bird of Paradise  
Blue Rubber Rabbitbrush  
Dwarf Fragrant Sumac  
Mohave Sage  
Threeleaf Sumac  
Creeping Sandcherry  
Shrubby Cinquefoil

Fallugia paradoxa  
Caesalpinia gilliesii  
Ericameria nauseosus "Blue"  
Rhus aromatica "Gro-low"  
Salvia mohavensis  
Rhus trilobata  
Prunus besseyi 'Pawnee Buttes'  
Potentilla fruticosa

### Grasses

Blonde Ambition Blue Grama Grass  
Deergrass  
Giant Sacaton

Bouteloua "Blond Ambition"  
Muhlenbergia rigens  
Sporobolus wrightii

### Accents

Desert Spoon  
Prickly Pear Cactus  
Yellow Yucca

Dasyliroon wheelerii  
Opuntia engelmannii  
Hesperaloe parviflora

### Perennials

Whirling Butterfly species  
Penstemon species  
Angelita Daisy

Gaura lindheimeri varieties  
Penstemon species  
Hymenoxys acaulis

### Vine

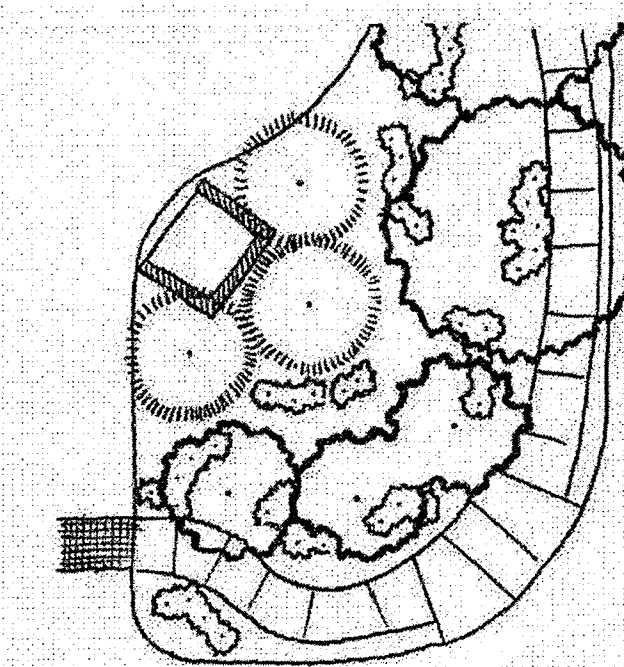
Lady Banks Rose

Rosa banksiae

## VI. WALLS & FENCES

Screening of less attractive areas such as utility items, as well as management of grade changes that exceed simple slopes, should be accomplished through the use of walls and fences that are designed to be an integral part of the project's overall aesthetic.

- a. Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage.
  - i. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.
  - ii. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections.
  - iii. Trash enclosures shall have solid, opaque gates as tall as the enclosure. Trash compactors within dock areas shall be screened with walls but are not required to have gates.
- c. Walls and fences shall be at least as tall as the objects they are intended to screen.
- d. All screening devices shall be in compliance with the City of Albuquerque Clear Sight Triangle regulations.
- e. All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(6) of the City of Albuquerque's Code of Ordinances.
  - i. All mechanical equipment shall be screened from public view by materials of the same nature as the adjacent buildings.
- f. Walls and fences shall comply with Section 14-16-3-19 of the City of Albuquerque's Code of Ordinances.
- g. Perimeter walls shall include openings at all pedestrian connections to ensure convenient access to adjacent tracts.
- h. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slats, cyclone fencing or unfinished solid CMU is prohibited.
- i. Acceptable wall & fence materials include but are not limited to:
  - i. Stucco over concrete masonry units (CMU)
  - ii. Split face block
  - iii. Brick
  - iv. Stone
  - v. Curved interlock blocks
  - vi. Tubular steel, wrought iron bars, or other grill work
- j. The finish of walls & fences shall be attractive and compatible with the building materials of adjacent buildings on the site.
- k. The site is fairly level, but may require retaining walls at some locations to make up grade.
  - i. Retaining walls are permitted, but they must be shown and approved on the Site Development Plan for Building Permit.
  - ii. Retaining walls, seat walls, or elements intended to compensate for a slope in the site, shall avoid long unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot with planes not running in one continuous direction for more than fifty feet without a change in height or setback.
  - iii. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes within the site.
- l. Grading and Drainage plans must comply with the City of Albuquerque's Drainage Ordinance.
  - i. All measures shall be taken to provide public safety at the pond locations.
  - ii. Site ponding shall be integrated with the landscape plan.
- m. Screening shall be designed to allow for access to utility facilities. All screening and vegetation surrounding ground mounted transformers and utility pads are to allow 10 feet or clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to PNM Electrical Service Guide at www.pnm.com for specifications.

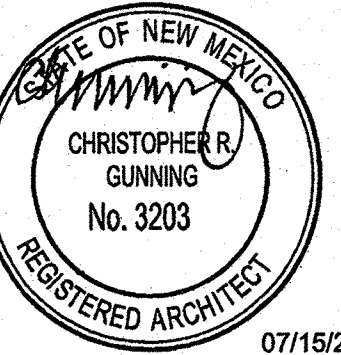


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ARCHITECT



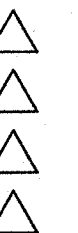
07/15/2016

ENGINEER

PROJECT

LEGACY @ JOURNAL CENTER  
5151 Lang Avenue NE  
Albuquerque, New Mexico 87109

REVISIONS



DRAWN BY

REVIEWED BY

DATE July 15, 2016

PROJECT NO. 16-0068

DRAWING NAME

SITE DEVELOPMENT  
PLAN FOR SUBDIVISION  
DESIGN STANDARDS

SHEET NO.

**SPSB-3**

OF

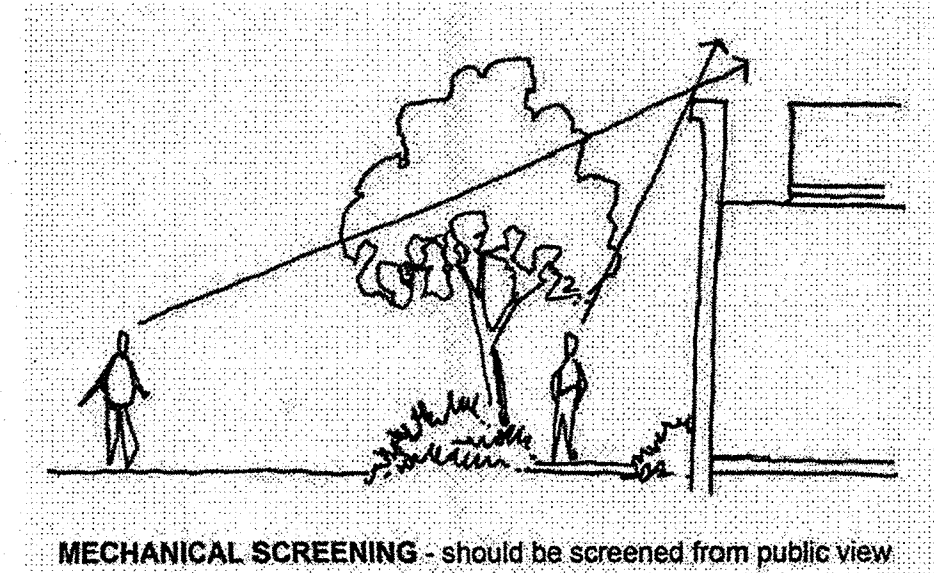


**DESIGN STANDARDS (continued)**

**VII. UTILITIES**

To ensure the overall aesthetic quality of the property and natural environment, the visual impact of utilities and equipment should be minimized by the following:

- a. All new electrical distributions lines shall be placed underground.
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used on the adjacent buildings. If prefabricated enclosures are used, they shall be appropriately screened from view with walls and/or landscaping.



**VIII. ARCHITECTURE**

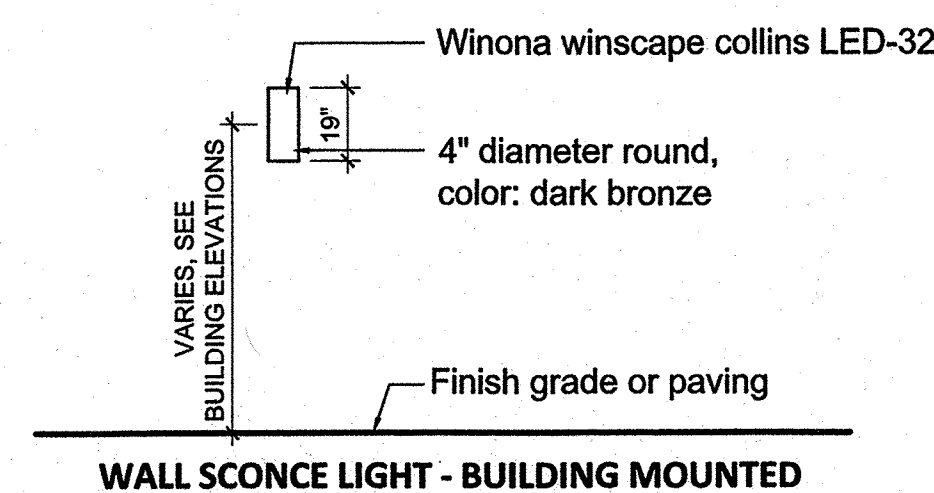
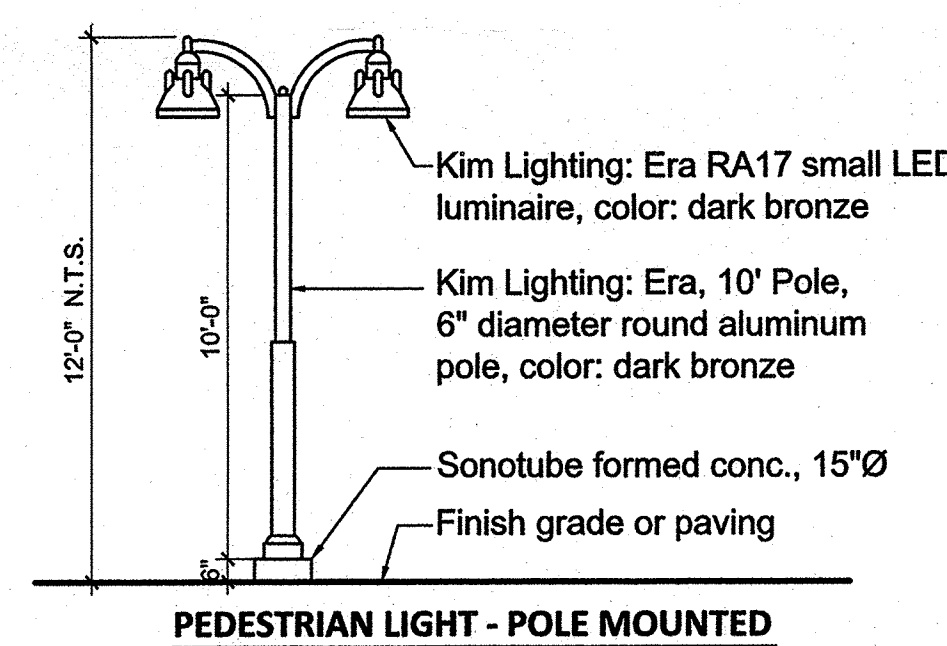
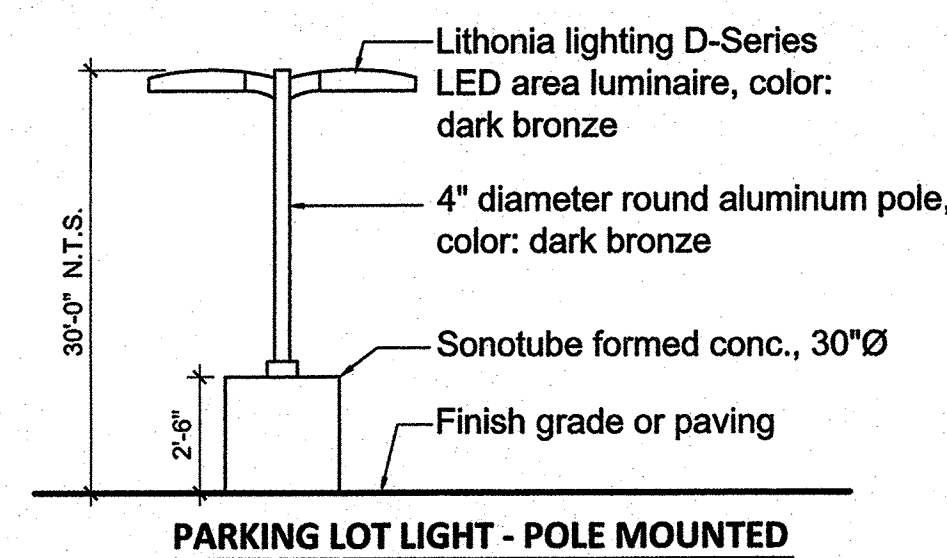
Architectural design of buildings and site features should demonstrate a high quality aesthetic character throughout the property and should respond to climate, views, solar access, and aesthetic considerations.

- a. All development shall comply with General Building & Site Design Regulations for Non-Residential Uses of the City of Albuquerque's Code of Ordinance (14-16-3-18).
- b. Architectural Style
  - i. The development shall provide a cohesive material and color palette among all buildings.
  - ii. All buildings shall be "modern" in design.
  - iii. Historical references to traditional New Mexico styles should be a modern interpretation of those styles.
- c. Articulation
  - i. Buildings shall have a variety of structural forms to create visual character and interest.
  - ii. Long unarticulated facades shall be avoided. Facades shall have varied front setbacks, with wall planes not running in one continuous direction for more than 100 feet without a change in architectural treatment such as offset, material, or fenestration.
  - iii. Massing elements shall be reinforced with color variation or material distinctions.
- d. Materials
  - i. The architectural expression of all buildings shall reflect modern design with the use of materials appropriate to the New Mexico climate.
  - ii. Individual building elements shall be of excellent design and quality materials such as:
    1. Metal wall panels
    2. Porcelain tile
    3. Natural stone panels
    4. Concrete
    5. Split-face concrete masonry units
    6. Glass
    7. Stucco or Exterior Insulation & Finish System
    8. Brick or decorative concrete masonry units
  - iii. The following external building materials shall be prohibited:
    1. Engineered wood paneling
    2. Vinyl or plastic siding
    3. Plain concrete masonry units
  - iv. All glazing shall be clear and neutral in color. Reflective, deeply colored, and patterned glazing is prohibited.
  - v. Canopies, trellises, and awnings shall be of durable materials such as metal, corrugated metal, or steel.
  - vi. Colors shall include light to medium earth tones with accent colors in limited areas.
    1. No more than one accent color shall be used per building.
    2. The use of contrasting colors for shade elements or awnings is encouraged.

**IX. LIGHTING**

To enhance safety, security and visual aesthetics, daytime and night-time appearance of lighting design and fixtures shall be considered. The primary design objective of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings, or roadways with unnecessary glare or reflection.

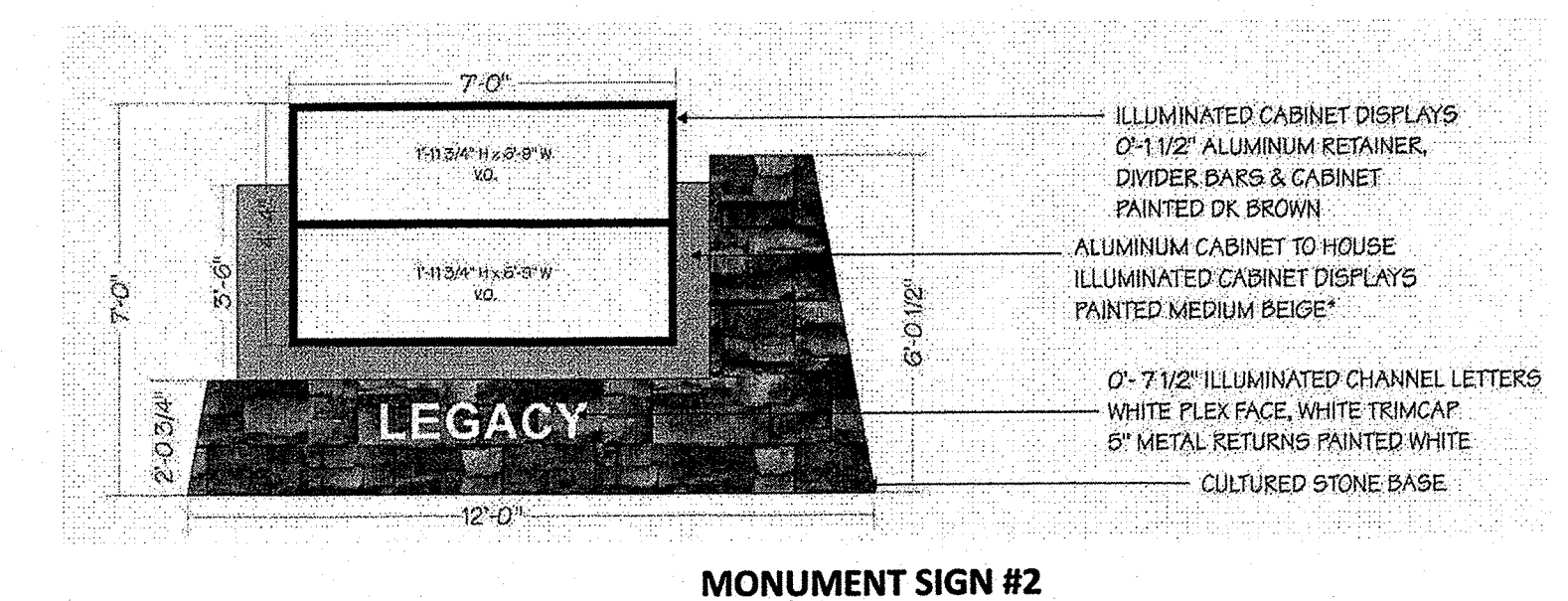
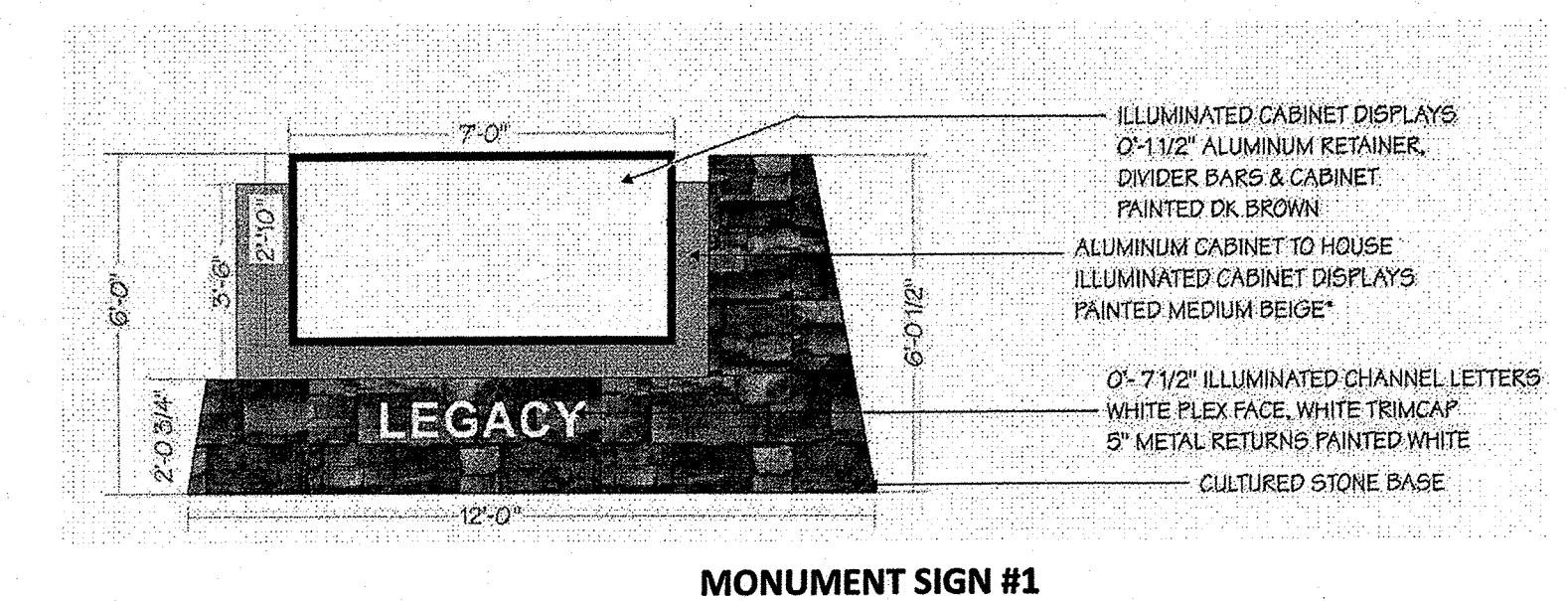
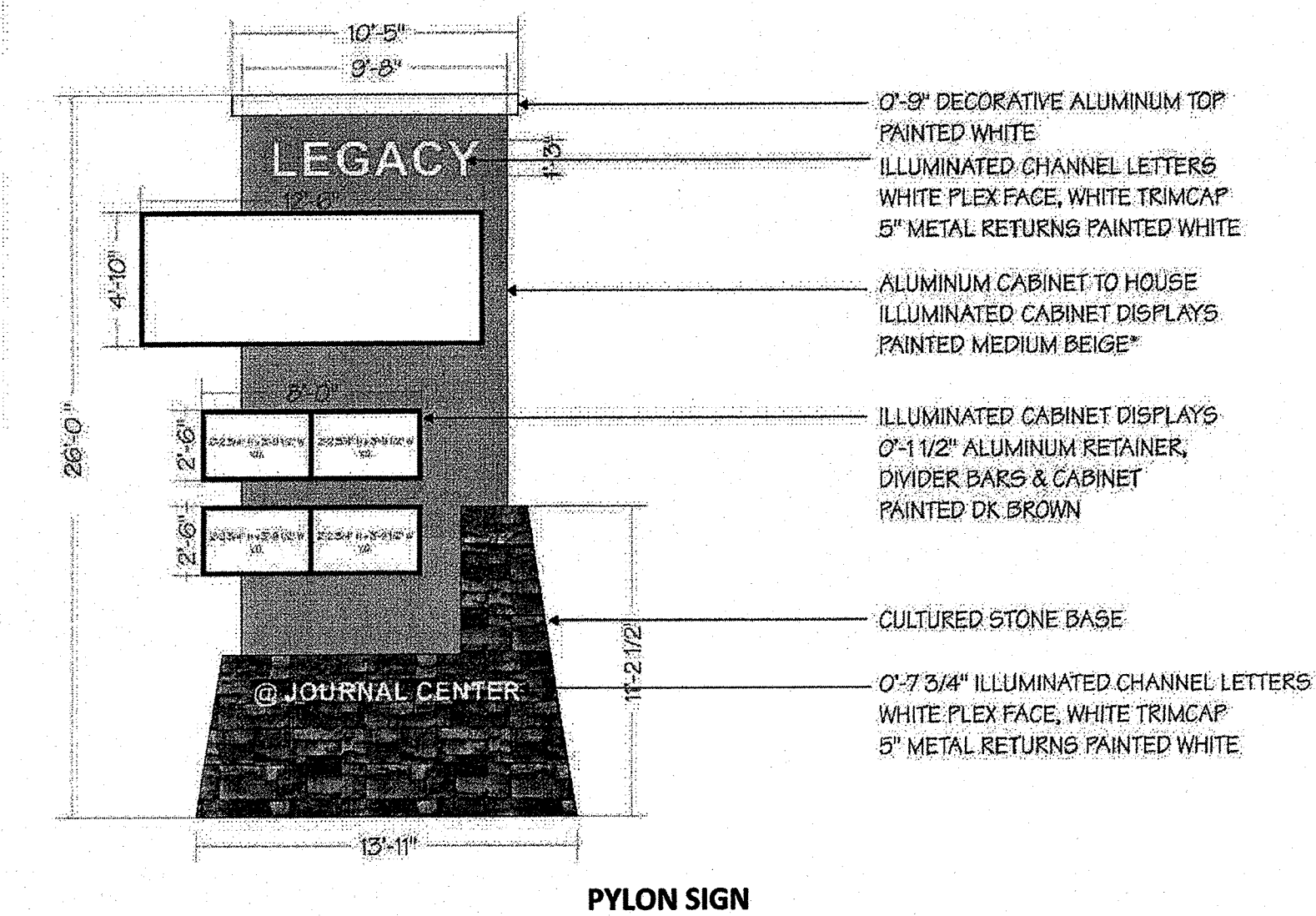
- a. All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the City of Albuquerque's Code of Ordinances.
- b. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act.
- c. All free-standing lights shall be of consistent design throughout the site.
- d. Light fixtures shall be located on Site Development Plans for Building Permit
- e. The height of street lights and off-street parking areas lights shall not exceed 30 feet.
- f. All lights shall be a shielded source to prevent spillage onto adjoining properties or the public right-of-way.
- g. Pedestrian lighting shall not exceed 12 feet in height.
- h. Parking lot lighting shall comply with Section 14-16-3-9 of the City of Albuquerque's Code of Ordinances.
- i. Tree canopy lighting may be used to accent and enhance pedestrian connections.
- j. Exterior elevations of buildings fronting the public right-of-way may be feature lighted to enhance the identity of the building.



**X. SIGNAGE**

Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their uses.

- a. Signage shall comply with the Section 14-16-3-5 General Sign Regulations of the City of Albuquerque's Code of Ordinances.
- b. Free standing signs shall be designed so as not to require any external bracing, angle supports, guy wires or similar devices for support.
- c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- d. Signs shall not overhang into the public right-of-way or extend above the building roof line.
- e. Off-premise signs and portable signs are prohibited.
- f. Monument signs at each of the points of entry from Lang are permissible. These signs shall be coordinated to have the same appearance (height, size, color, material, text height, style etc.) at all locations.
- g. Building mounted signs shall have contrasting colors from the background and text height and font that ensures readability.
- h. No building mounted sign shall intrude upon architectural features including windows, columns, or canopies or decorative features.



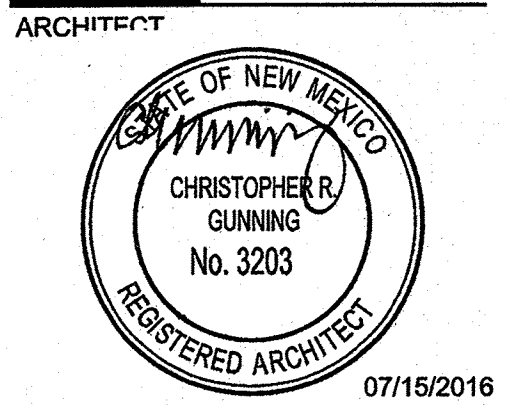
**XI. PROCESS**

Site Development Plans for Building Permit shall be delegated to the Development Review Board and shall be consistent with the Design Standards established by this Site Development Plan for Subdivision.

**DEKKER PERICH SABATINI**

7601 JEFFERSON NE, SUITE 100  
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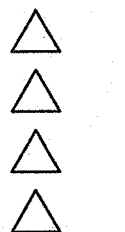


ENGINEER

PROJECT

**LEGACY @ JOURNAL CENTER**  
5151 Lang Avenue NE  
Albuquerque, New Mexico 87109

REVISIONS



DRAWN BY

REVIEWED BY

DATE July 15, 2016

PROJECT NO. 16-0068

DRAWING NAME

**SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN STANDARDS**

SHEET NO.

**SPSB-4**  
OF