



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 9, 2015

Project# 1010332

15DRB-70139 - PRELIMINARY PLAT

15DRB-70140 TEMP DEFERRAL OF SIDEWALK CONSTRUCTION

15DRB-70155 EPC APPROVED SDP FOR SUBDIVISION

15DRB-70310 SIDEWALK WAIVER

MARK GOODWIN AND ASSOCIATES P.A. agents for 98TH ST LLC request the referenced/ above actions for Tract 34D-1-A, **LANDS OF SALAZAR FAMILY TRUST, et. al.** zoned SU-1/ MIXED USE, located in the southwest corner of 98TH ST SW and GIBSON BLVD SW containing approximately 25.17 acres. (N-9) [*Deferred from 4/22/15, 5/6/15, 6/10/15, 6/24/15, 7/8/15, 7/15/15, 7/29/15, 8/12/15, 8/26/15*]

At the September 9, 2015 Development Review Board meeting, with an approved grading and drainage plan engineer stamp dated 9/9/15, and with the signing of the infrastructure list dated 9/9/15, the preliminary plat was approved. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on exhibit in the planning file. The site development plan for subdivision was approved with final sign-off delegated to planning for case planner verification. The sidewalk waiver was approved as shown on exhibit C in the planning file.

If you wish to appeal this decision, you must do so by September 24, 2015, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, DRB Chair

INTER-OFFICE MEMO

DATE: April 21, 2015
TO: Jack Cloud, DRB Chair
FROM: Catalina Lehner, Senior Planner *CLL*
RE: Project #1010332, SW Subdivision
Site Development Plan for Subdivision with Design Standards

On March 12, 2015, the EPC voted to approve a site development plan for building permit for an approx. 25 acre site located at the SW corner of the Gibson Blvd./98th St. intersection.

Staff met with the agent, Diane Hoelzer, on March 26, 2015 to discuss how the Conditions of Approval are being met. Staff reviewed an updated version (v.3) of the site development plan for subdivision (dated March 25, 2015). Staff notes the following:

Site Development Plan for Subdivision-

Note: the detailed labeling (ex. ROW, easements, dimensioning, etc.) was not shown on v.3 of the site plan set, which is what the EPC saw in March 2015.

Condition 4A: The locations of retaining walls and perimeter walls are still unclear to me. A legend has been added and it has "new retaining wall", but perimeter walls are not labeled (ex. Sheet 1). For example, Block 1 backs-up to the commercial portion: are those lot lines on the eastern side or is that a perimeter wall?

Landscaping Plan for Subdivision-

Note: please update the drawing date at the bottom of the page.

Landscaping Legend: It appears that *unauthorized changes* were made.

- The landscaping legend in v.4 is required to match what the EPC approved in v.3. The following plants need to be re-instated: Butterfly bush, cherry sage, blue mist, fern bush, Apache plume and chamisa.
- Plant quantities need to match the quantities that the EPC approved.
- Landscaping needs to be re-instated in the ponding area, as shown on the EPC-approved site plan.

Condition 5B: The two notes were re-instated from v.1 as requested. However, another note "Plant beds shall achieve 75% live ground cover at maturity" was removed and now needs to be re-instated.

Residential Design Standards-

Note: Please clean-up the lettering order under II. Building Heights. There needs to be an A and a B.

Note: Under III. Setbacks, please clean-up the type-Os that have a 2' in front of the B. standard and a 3' in front of the C. standard.

Landscape Legend: The landscape legend shown on Sheet 3 is consistent with what the EPC approved. However, due to the apparent unauthorized changes mentioned above, it is not inconsistent with the landscaping plan for subdivision (though it's the landscaping plan for subdivision that needs to revert to what the EPC approved).

Process: The first line shall read "Upon approval of this Site Plan for Subdivision". An *unauthorized change* was made and "Site Plan for Building Permit" was inserted. This is not correct because site plans for building permit do not have design standards, and the site plan for building permit will be a separate sheet.

Diagrams: Seven new diagrams/detail drawings were added that the EPC didn't approve. If these are needed by DRB staff, I suggest leaving them. If not, they should be removed.

Commercial Design Standards-

Condition 7A: Please re-phrase standard H: "Bicycle access and pathways shall be accumulated and provided." I'm not sure what accumulated means here. Maybe just use "provided."

Condition 13: Instead of adding a new section X. Utilities, the two PNM comments C and C, pertaining to utilities, should be added to the existing VIII. Utility Standards, as new standards H and I.

Grading & Drainage Plan-

Four changes were made from v.3, which the EPC approved and appear to be unauthorized.

- The perimeter/retaining wall section is different on v. 4 and needs to be re-instated to match that on v.3.
- The Los Diamantes Drainage Plan drainage narrative was approved by the EPC and needs to be re-instated.
- The Outfall Detail now shows a 10.5' opening (was 8.6') and the first flush retention volume as 104.38 (was 106.42).
- An Emergency Spillway detail was added.

Utility Plan-

Additions that the EPC did not approve are the two types of notes and the three tables, and six new items added to the legend.

Other-

Note: Current Planning Staff did not check Condition #9 (Hydrology Staff's) or Condition #10 (Transportation Development Staff's).


Condition #11- Transit Department: Just prior to the EPC hearing, the applicant and Transit staff discussed the potential bus shelter. There is already a bus shelter at the hard corner of the Gibson Blvd./98th St. intersection and another bus shelter across 98th St. Both could serve

future residents, so an additional bus shelter is not needed at this time (please see related e-mail correspondence).

Condition #12:


The applicant will still need to coordinate with the City Archaeologist regarding an archaeological survey prior to issuance of a building permit.

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Thank you.

5. **Project# 1010332**
15DRB-70139 - PRELIMINARY PLAT
15DRB-70140 TEMPORARY
DEFERRAL OF SIDEWALK
CONSTRUCTION
15DRB-70155 EPC APPROVED SDP
FOR SUBDIVISION 

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MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project# 1002202**
15DRB-70223 - FINAL PLAT
APPROVAL 

HUITT-ZOLLARS, INC. agent(s) for WINROCK PARTNERS, LLC request(s) the above action(s) for all or a portion of Lot(s) B, Tract(s) A-1-A-1-A-1, **WINROCK CENTER ADDITION** zoned SU-3 MU-UPT, located on LOUISIANA BLVD BETWEEN LOUISIANA BLVD AND PENNSYLVANIA ST NE containing approximately 50.95 acre(s). (J-19) [Deferred from 6/17/15] **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO WATER AUTHORITY FOR COMMENTS AND TO PLANNING.**

7. **Project# 1002478**
15DRB-70192 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

TERRA LAND SURVEYS, LLC agent(s) for PASEO PARTNERSHIP, LLC request(s) the above action(s) for all or a portion of Lot(s) 1, **BLUE SKY BUSINESS PARK** zoned M-2, located on JACS LANE NE BETWEEN LAS LOMITAS DR NE AND PUEBLO RD NE containing approximately 4.339 acre(s). (D-16) [Deferred from 5/20/15] **INDEFINITELY DEFERRED.**

8. **Project# 1010377**
15DRB-70202 SIDEWALK VARIANCE
15DRB-70203 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS
15DRB-70205 MINOR – PRELIMINARY/
FINAL PLAT

ARCH + PLAN LAND USE CONSULTANTS agent(s) for ROBERT BRENNEMAN & MAGGIE ANDERSON request(s) the above action(s) for all or a portion of Tract(s) 1 & INLY PORTION OF TRACT 2, **LANDS OF CARL HAWKINS** zoned SU-2/LD RA-2, located on CARLOTA BETWEEN GABALDON AND LOS LUCEROS containing approximately .31 acre(s). (H-12) [Deferred from 5/27/15, 6/10/15] **INDEFINITELY DEFERRED.**

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

DRB Project Number: 1010332
Los Diamantes

AGENDA ITEM NO: 05

SUBJECT: Preliminary Plat, Sidewalk Deferral, Site Plan for Subdivision

ENGINEERING COMMENTS:

Site Plan for Subdivision

1. Ensure that there is a proper turnaround to allow a U-turn at each vehicular access gate.

Preliminary Plat

3. See site plan for subdivision comments for possible changes to lot lines.

Sidewalk Deferral

1. Please revise the sidewalk deferral to remove the sidewalk waiver area or request a waiver.

Infrastructure List

1. Item #1, Sidewalk should be on both sides or a request for waiver needs to be approved.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (PLNG)

SIGNED: Racquel M. Michel, P.E.
Transportation Development
505-924-3630 or rmichel@cabq.gov

DATE: June 24, 2015



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

April 22, 2015

PUBLIC AGENCY COMMENTS

Project# 1010332
 15DRB-70139 - PRELIMINARY PLAT
 15DRB-70140 - TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

MARK GOODWIN AND ASSOCIATES P.A. agents for 98TH ST LLC request the referenced/ above actions for Tract 34D-1-A, **LANDS OF SALAZAR FAMILY TRUST, et. al.** zoned SU-1/ MIXED USE, located in the southwest corner of 98TH ST SW and GIBSON BLVD SW containing approximately 25.17 acres. (N-9)

<p>AMAFCA</p> <p><i>Lynn Mazur</i> lmazur@amafca.org</p>	
<p>MRCOG</p> <p><i>Kendra Watkins</i> kwatkins@mrcog-nm.gov <i>Andrew Gingerich</i> AGingerich@mrcog-nm.gov <i>Maida Rubin</i> mrubin@mrcog-nm.gov</p>	
<p>TRANSIT</p> <p><i>Shabih Rizvi</i> srizvi@cabq.gov</p>	
<p>ZONING ENFORCEMENT</p> <p><i>Vince Montano</i> VMontano@cabq.gov</p>	
<p>NEIGHBORHOOD COORDINATION</p> <p><i>Stephani Winklepleck</i> SWinklepleck@cabq.gov</p>	<p>Affected NA/HOA's: Sun Gate HOA</p>
<p>APS</p> <p><i>April Winters</i> winters_a@aps.edu</p>	<p>Lands of Salazar Family Trust, Tract 34D-1-A is located on the southwest corner of 98th St SW and Gibson Blvd SW. The owner of the above property requests approval of a Preliminary Plat and a Temporary Deferral of Sidewalk Construction for a development that will consist of 80 single family units and a 5 acre commercial development. Any residential development in this area will impact Rudolfo Anaya Elementary School, Truman Middle School, and Atrisco</p>

Heritage Academy High School. Currently all three schools are over capacity.

Loc No	School	2014-15 40th Day	Capacity	Space Available
392	Rudolfo Anaya ES	928	560	-368
475	Truman MS	1352	950	-402
576	Atrisco Heritage	2420	2300	-120

Residential Units: 80
Est. Elementary School Students: 21
Est. Middle School Students: 9
Est. High School Students: 9
Est. Total # of Students from Project: 39

*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

POLICE DEPARTMENT
Steve Sink
 SSink@cabq.gov

This project is in the Southwest Area Command.
 - No Crime Prevention or CPTED comments concerning the proposed Temporary Deferral of Sidewalk Construction or the Preliminary Plat Approval requests at this time.

FIRE DEPARTMENT
Antonio Chinchilla
 achinchilla@cabq.gov

PNM ELECTRIC
Daniel Aragon
 Daniel.Aragon@pnm.com

NEW MEXICO GAS COMPANY <i>Robert Gomez</i> Robert.gomez@nmgco.com	
COMCAST <i>Mike Mortus</i> Mike.Mortus@cable.comcast.com	
CENTURYLINK	
ENVIRONMENTAL HEALTH <i>Paul Olson</i> polson@cabq.gov	
M.R.G.C.D <i>Ray Gomez</i> michael@mrgcd.us	No Adverse Comments.
OPEN SPACE DIVISION <i>Kent Reed Swanson</i> kswanson@cabq.gov <i>Sarah Brown</i> sbrown@cabq.gov	OSD has reviewed and has no adverse comments.
TRANSPORTATION PLANNING (DMD) <i>John MacKenzie</i> jmackenzie@cabq.gov	Per the Interim Long Range Roadway System map, both Gibson Blvd. and 98 th St. are Principal Arterials. Gibson Blvd. is planned to contain 124 feet of R/W, whereas 98 St. is to be 156 feet wide. Both Gibson Blvd. and 98 th St. currently contain bicycle lanes, which is consistent with the Long Range Bikeway System map.
PARKS AND RECREATION <i>Carol Dumont</i> cdumont@cabq.gov	
CITY ENGINEER/ HYDROLOGY <i>Rita Harmon</i> RHarmon@cabq.gov	
ABCWUA <i>Kris Cadenda</i> KCadenda@abcwua.org	
TRANSPORTATION DEVELOPMENT <i>Racquel Michel</i> RMichel@cabq.gov	
PLANNING DEPARTMENT <i>Jack Cloud</i> jcloud@cabq.gov	The proposed plat must conform to an approved/ signed off site development plan. The common area tracts (B – F) should be combined as a single tract, with specific easements provided as needed.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning) *waiver*

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Mark Goodwin and Associates, PA PHONE: 828-2200
 ADDRESS: PO Box 90006 FAX: _____
 CITY: Albuquerque STATE nm ZIP 87199 E-MAIL: kbrashear@goodwinengineers.com
 APPLICANT: 98th Street, LLC PHONE: 975-0617
 ADDRESS: 6300 Jefferson FAX: _____
 CITY: Albuquerque STATE nm ZIP 87109 E-MAIL: jdcathasresources.com
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: Sidewalk waiver for Los Diamantes Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 34D-1-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Los Diamantes
 Existing Zoning: SU-1 Proposed zoning: SU-1 MRGCD Map No _____
 Zone Atlas page(s): n-9 UPC Code: 100905421450520404

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): #1010332
15DRB-70139 15DRB-70140 15DRB-70155

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? no
 No. of existing lots: 1 No. of proposed lots: 80 Total site area (acres): 25.1635
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street
 Between: Gibson Blvd and Blake Road
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Diane Hoelzer DATE 8-31-15
 (Print Name) Diane Hoelzer Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>15DRB 70310</u>	<u>SW</u>	_____	<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CAF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>September 9, 2015</u>			Total <u>\$ 20.00</u>

[Signature]
 Staff signature & Date 8-31-15

Project # 1010332

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
 - ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)-**
 - SIDEWALK WAIVER (DRB21)**
 - ✓ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - ✓ Zone Atlas map with the entire property(ies) clearly outlined
 - ✓ Letter briefly describing, explaining, and justifying the variance or waiver
 - ✓ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the deferral or extension
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
 - VACATION OF RECORDED PLAT (DRB29)**
 - ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Diane Hoelzer
 Applicant name (print)
Diane Hoelzer 8-31-15
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
5DRB-70310

Form revised 4/07
[Signature] 8-31-15
 Planner signature / date
 Project # 1010332

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet **must** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

PROJECT NUMBER: Project# 1010332 - 15DRB-70155 EPC APPROVED SDP FOR SUBDIVISION

PROJECT NAME: LANDS OF SALAZAR FAMILY TRUST, et. al.

AGENT: MARK GOODWIN AND ASSOCIATES, P.A

Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA:

City Engineer:

Parks and Recreation :

Planning:

PLATS:

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:**
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet ***must*** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

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AGENT: MARK GOODWIN AND ASSOCIATES, P.A

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PLATS:

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-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:**

-Tax printout from the County Assessor.

-County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

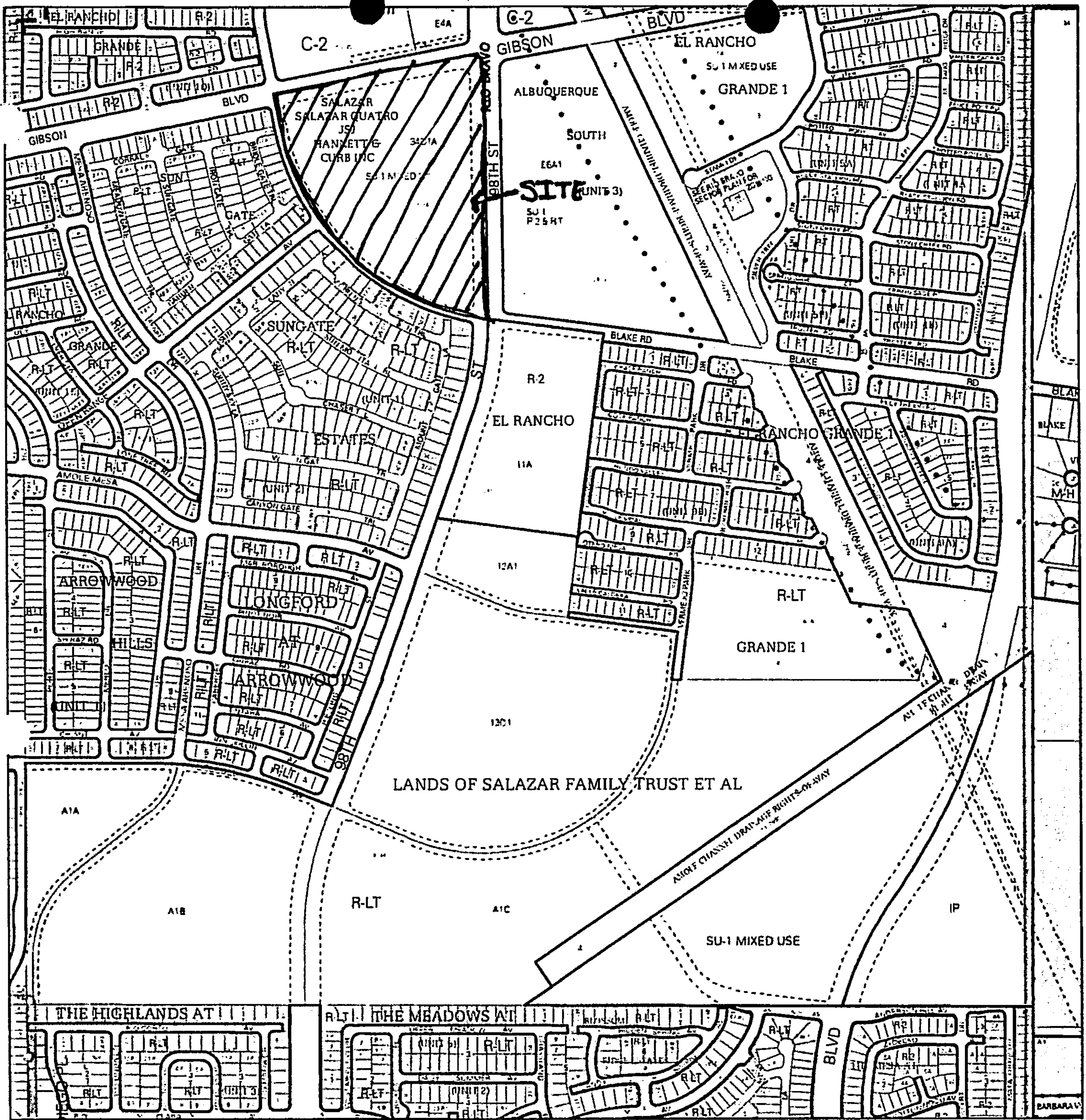
Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:
N-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

Map amended through: 4/2/2012

Scale: 0 750 1500 Feet



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

*~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~*

August 31, 2015

Mr. Jack Cloud
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: Los Diamantes Subdivision at 98th/Gibson – (DRB 1010332)
Request Sidewalk Waiver Approval**

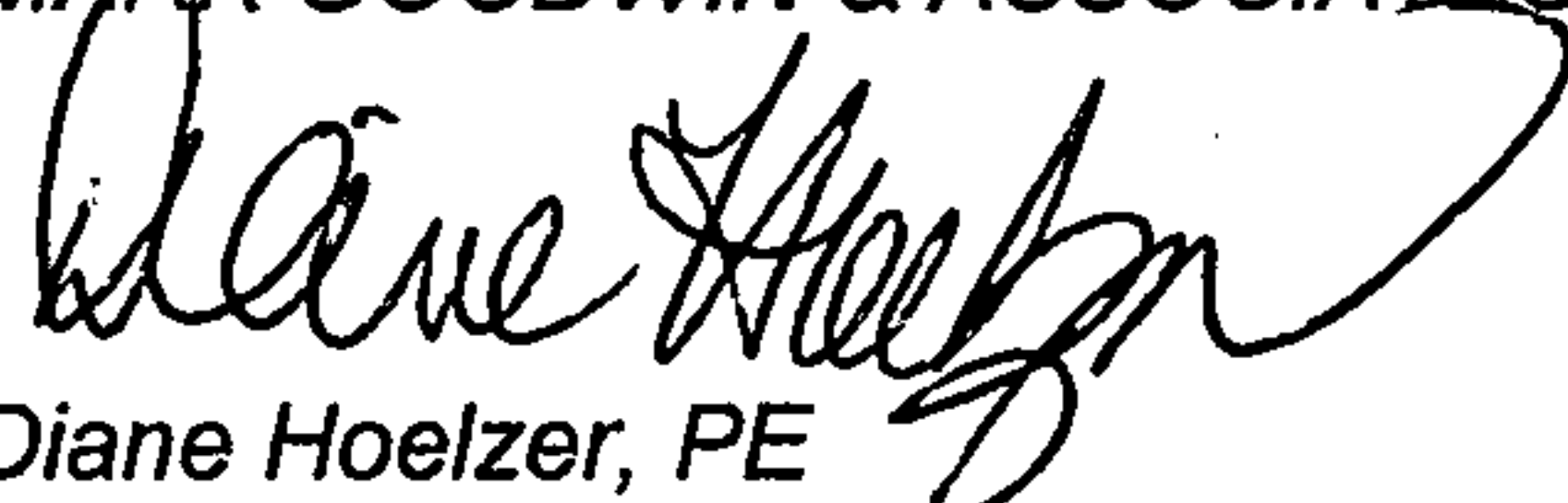
Dear Mr. Cloud:

On behalf of my clients, I am requesting a sidewalk waiver along the west side of Lot 21, Block 1. There is a sidewalk connection on the adjacent Lot 22 that makes a connection between Gibson Blvd. and Del Timbre Lane. There will be a wheel chair ramp at the end of Del Timbre Lane and pedestrians will be able to reconnect to the sidewalk either at driveway on Lot 22 or 23 or at the end of Lot 21 NW corner wheel chair ramp.

Please contact our office if you have any questions or comments.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA


Diane Hoelzer, PE
Senior Engineer

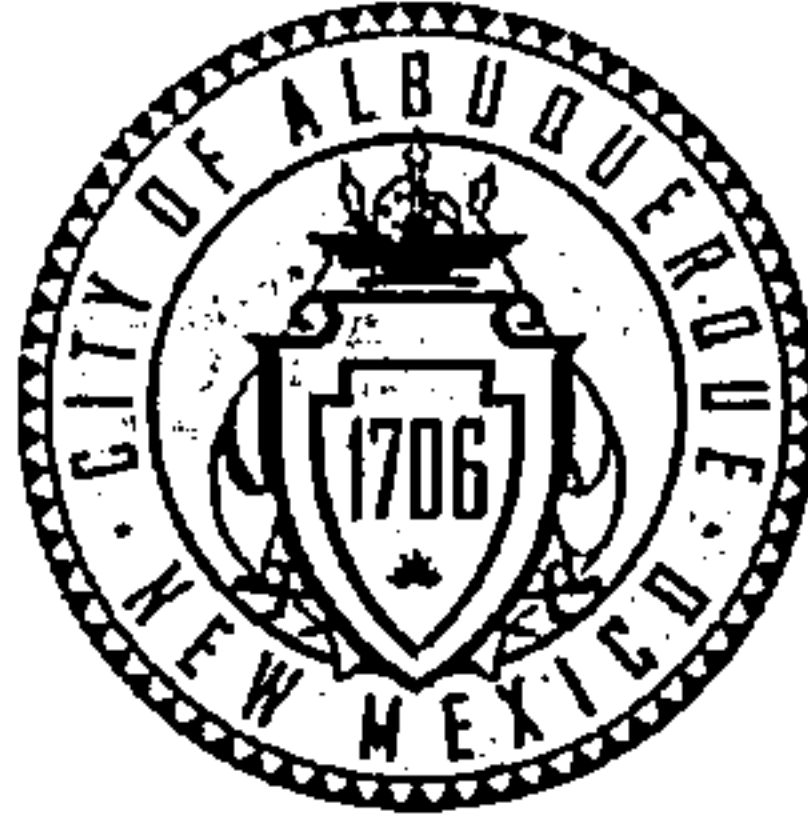
DLH/dlh

PROJECT#

1010332

September 9, 2015

SJD



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1010332

Board hearing date:

WEDNESDAY, April 22, 2015



**PUBLIC HEARING—DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, April 22, 2015. The Development Review Board will hold a Pre-Hearing Discussion in the Conference Room of Suite 201, Lobby Level, Plaza del Sol Building, 600 2nd St NW, Albuquerque, NM on Tuesday April 21, 2015, beginning at 3:00 p.m. for the purpose of reviewing these items prior to the public hearing; no action or public comments will be taken at this Discussion.

Project# 1006865

15DRB-70137 VACATION OF PUBLIC
DRAINAGE EASEMENTS
15DRB-70138 – SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT
15DRB-70144 - PRELIMINARY PLAT

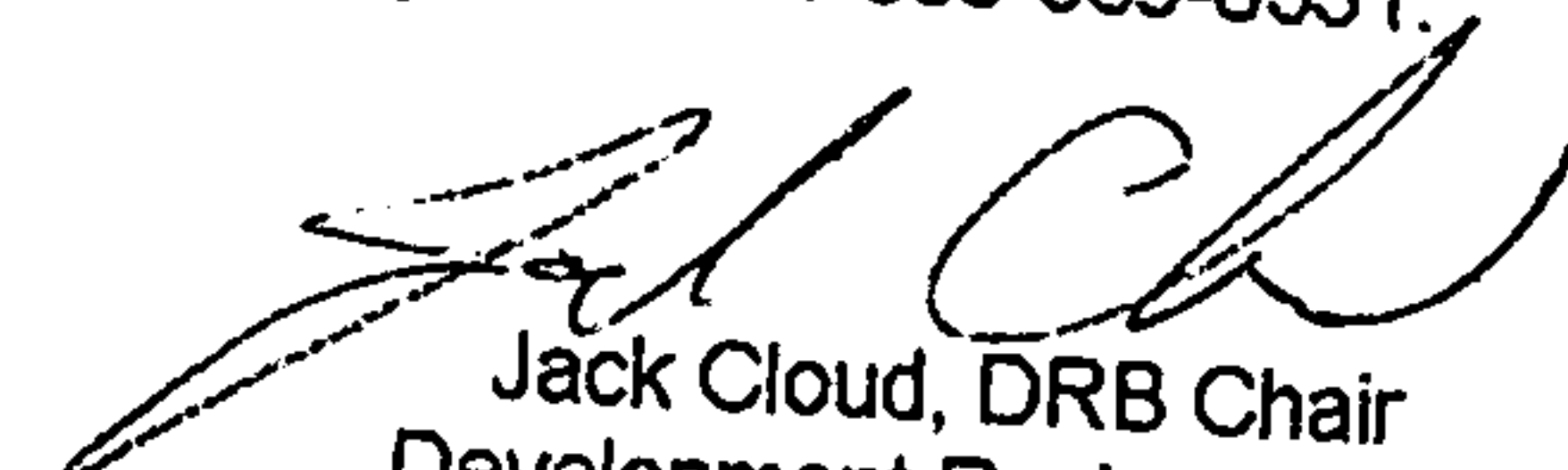
TIERRA WEST LLC agents for MAIN EVENT request the referenced/ above actions for all or a portion of Lot 2, SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER and Lot A-4-A, LUECKING PARK COMPLEX zoned M-1, located on the east side of I-25 between VASSAR DR NE and COMANCHE RD NE containing approximately 6.81 acres. (G-16)

Project# 1010332

15DRB-70139 - PRELIMINARY PLAT
15DRB-70140 - TEMPORARY DEFERRAL OF
SIDEWALK CONSTRUCTION

MARK GOODWIN AND ASSOCIATES P.A. agents for 98TH ST LLC request the referenced/ above actions for Tract 34D-1-A, LANDS OF SALAZAR FAMILY TRUST, et. al. zoned SU-1/ MIXED USE, located in the southwest corner of 98TH ST SW and GIBSON BLVD SW containing approximately 25.17 acres. (N-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, April 6, 2015.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Mark Goodwin & Associates PA PHONE: 828-2200
 ADDRESS: PO Box 90606 FAX: _____
 CITY: Albuquerque STATE nm ZIP 87199 E-MAIL: lcbrashere@goodwineng.com

APPLICANT: 98th Street, LLC PHONE: 975-0617
 ADDRESS: 6300 Jefferson FAX: _____
 CITY: Albuquerque STATE nm ZIP 87109 E-MAIL: jdo@atlasresources.com
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: Preliminary Plat and Sidewalk Deferral Approval for Los Diamantes Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 34D-1-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Los Diamantes
 Existing Zoning: SU-1 Proposed zoning: SU-1 MRGCD Map No _____
 Zone Atlas page(s): n-9 UPC Code: 100905421540520404

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
1010332 15EPC-40001 ~~1022000~~

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? no
 No. of existing lots: 1 No. of proposed lots: 80 lots / 6 Tracts Total site area (acres): 25.1635
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street
 Between: Gibson Blvd and Blaise Road

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Diane Holzner DATE 3-27-15
 (Print Name) Diane Holzner Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
15DRB - 70140
15DRB - 70141

Action	S.F.	Fees
<u>PP</u>	_____	<u>2045.00</u>
<u>TDS</u>	_____	1655.00
<u>ADY</u>	_____	<u>\$ 0</u>
<u>CMF</u>	_____	<u>\$ 75.00</u>
_____	_____	<u>\$ 20.00</u>
_____	_____	\$ _____
Total		<u>\$ 2140.00</u>

Hearing date April 22, 2015

[Signature] 3-27-15 Staff signature & Date

Project # 1010332

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
 - ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 - SIDEWALK WAIVER (DRB21)**
 - ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - ✓ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - ✓ Zone Atlas map with the entire property(ies) clearly outlined
 - ✓ Letter briefly describing, explaining, and justifying the deferral or extension
 - ✓ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
 - VACATION OF RECORDED PLAT (DRB29)**
 - ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Diane Houtzer Applicant name (print)
Diane Houtzer 3-27-15
 Applicant signature / date



Form revised 4/07

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 ISDRB - 70140

[Signature] 3-27-15
 Planner signature / date
 Project # 1010332

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Diane Hoelzer
 Applicant name (print)
Diane Hoelzer 3-27-15
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
15DRB - 70140

[Signature] 3-27-15
 Planner signature / date
 Project # 1010332

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from April 7, 15 To April 22, 15

5. REMOVAL

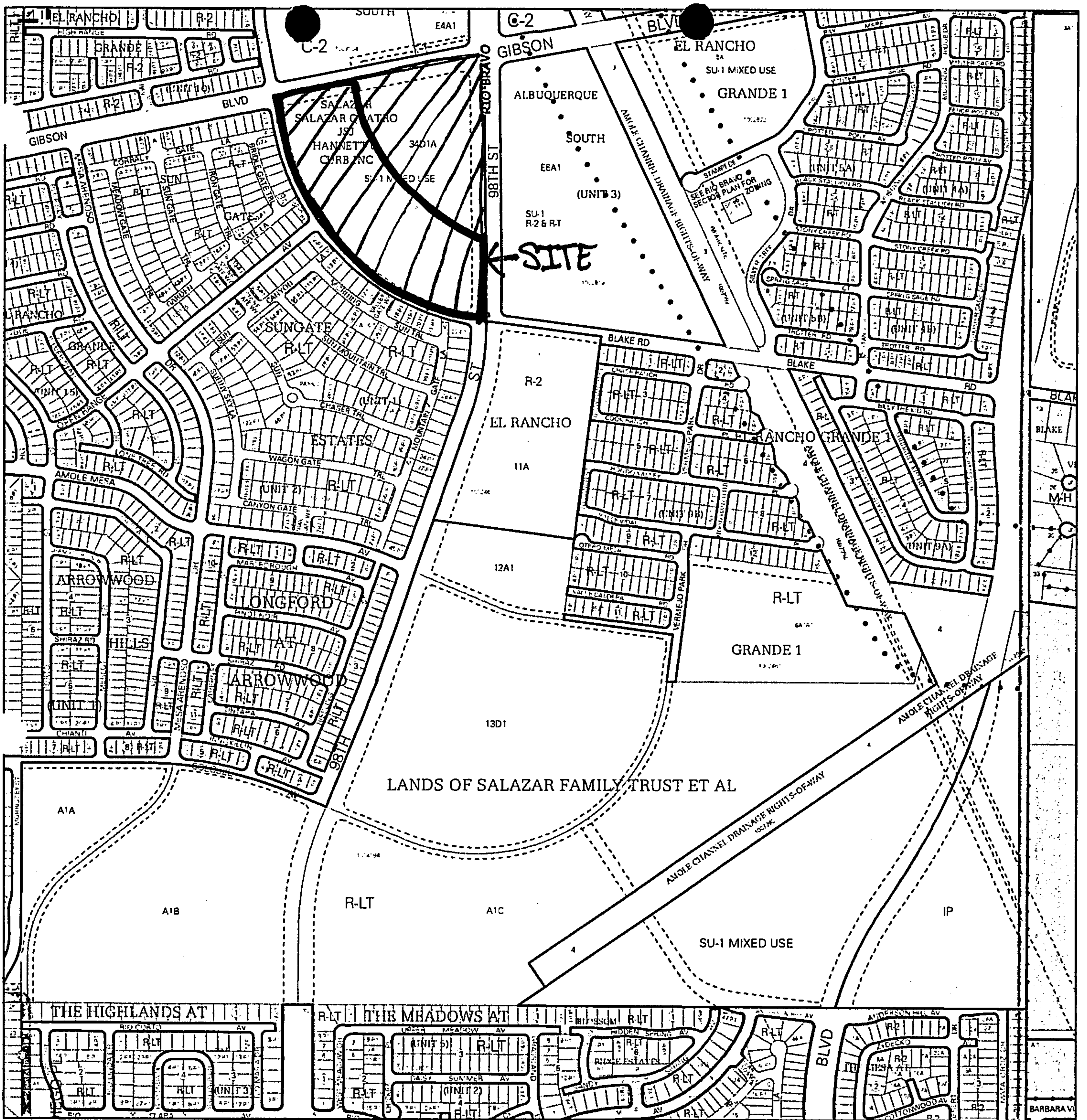
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


Kay Brea (Applicant or Agent) 3-27-15 (Date)

I issued 2 signs for this application, 3-27-15 (Date), [Signature] (Staff Member)

PROJECT NUMBER: 1010332

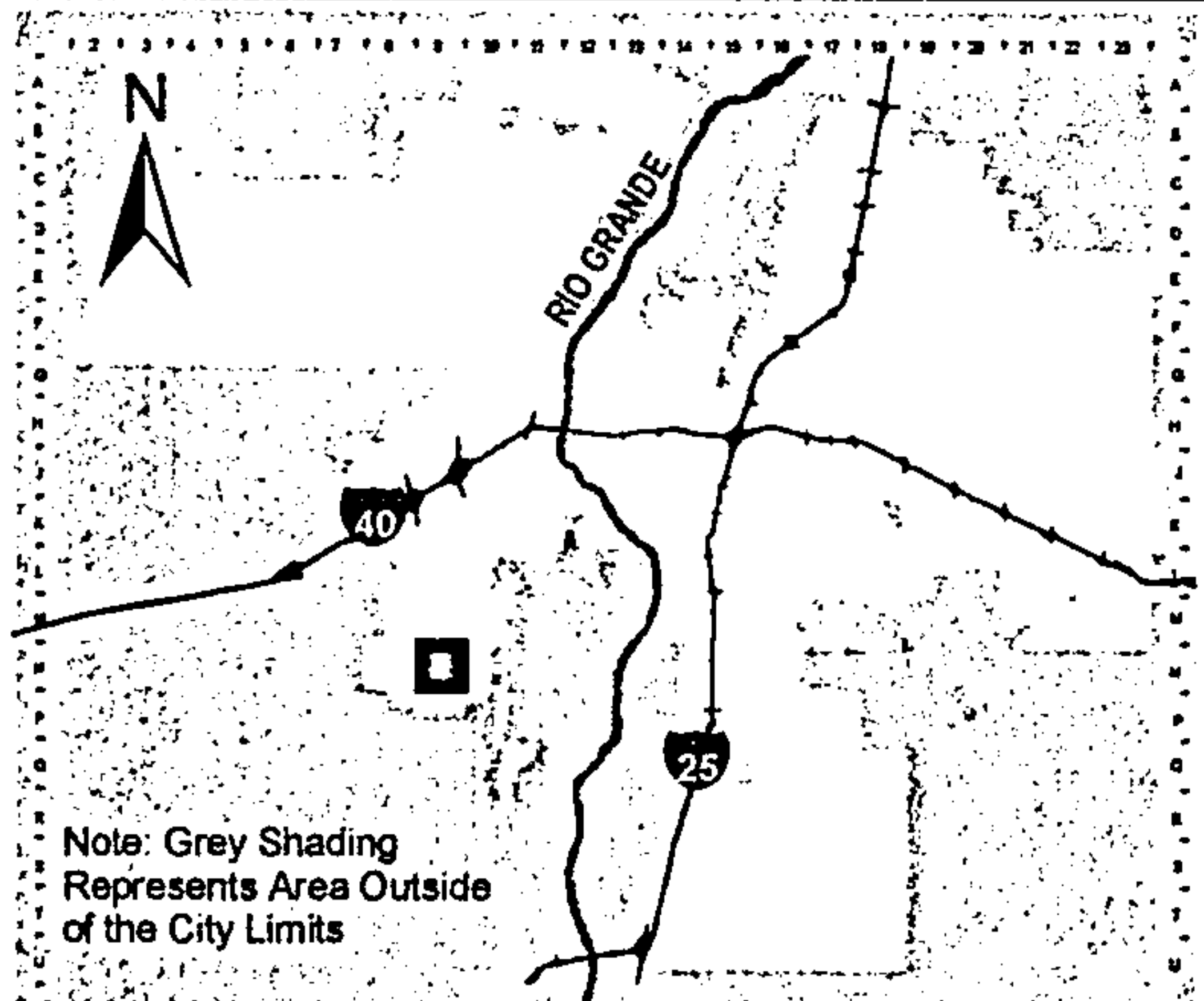


For more current information and details visit: <http://www.cabq.gov/gis>



Albuquerque Geographic Information System


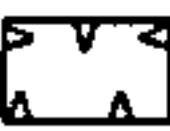







Map amended through: 4/2/2012



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
N-09-Z

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	

0 750 1500 Feet



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

*~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~*

March 27, 2015

Mr. Jack Cloud
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: Los Diamantes Subdivision - DRB Case 1010332
Request for Approval of Preliminary Plat and Temporary Deferral of Sidewalk Construction**

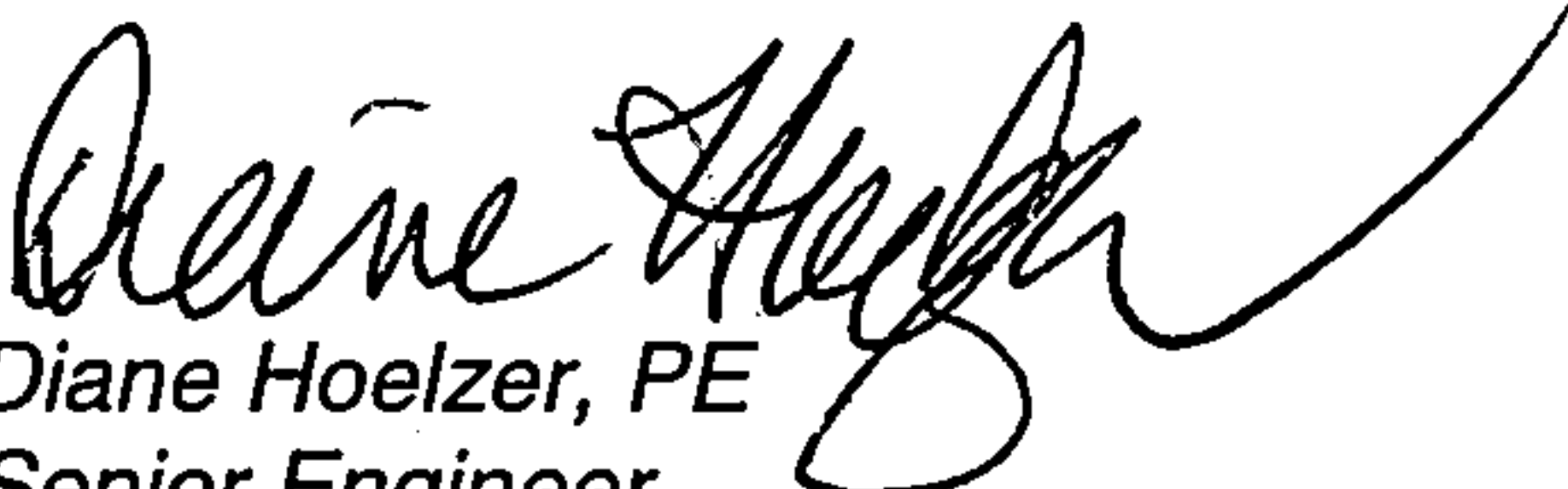
Dear Mr. Cloud:

The Los Diamantes Site Development Plan for Subdivision was recently approved at EPC on March 13, 2015 with 13 conditions of approval. At this time we are submitting for preliminary plat approval for an 80 lot subdivision along with temporary deferral of sidewalk construction. On week prior to the hearing, the site plan for building permit shall be submitted so that both cases can be heard simultaneously and we will have met with the Planning department staff to ensure that all EPC conditions of approval have been satisfied on the Site Plan.

Please contact our office if you have any questions or comments.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA


Diane Hoelzer, PE
Senior Engineer

DLH/kb

Attachments



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 - will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. Your Developer Inquiry is for the following:

Cell Tower & Type: Free-Standing Tower -OR- Concealed Tower

Private Development EPC DRB LUCC Liquor Submittal

Administrative Amendments (AA's)

City Project

Special Exception Application (ZHE)

CONTACT NAME: Kay Brashear

COMPANY NAME: Mark Goodwin & Associates, PA

ADDRESS/ZIP: P.O. Box 90606, Albuquerque, NM 87199

PHONE: (505) 828-2200 FAX: (505) 797-9539

LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

LEGAL DESCRIPTION

Los Diamantes Subdivision - Tract 34 D-1-A, Lands of Salazar Family Trust, JSJ Investment Company, and Falba Hannett and Lands of Curb, Inc.

LOCATED ON 98th Street

Street Name or Other Identifying Landmark

BETWEEN Gibson Blvd.

AND Street Name

or Other Identifying Landmark

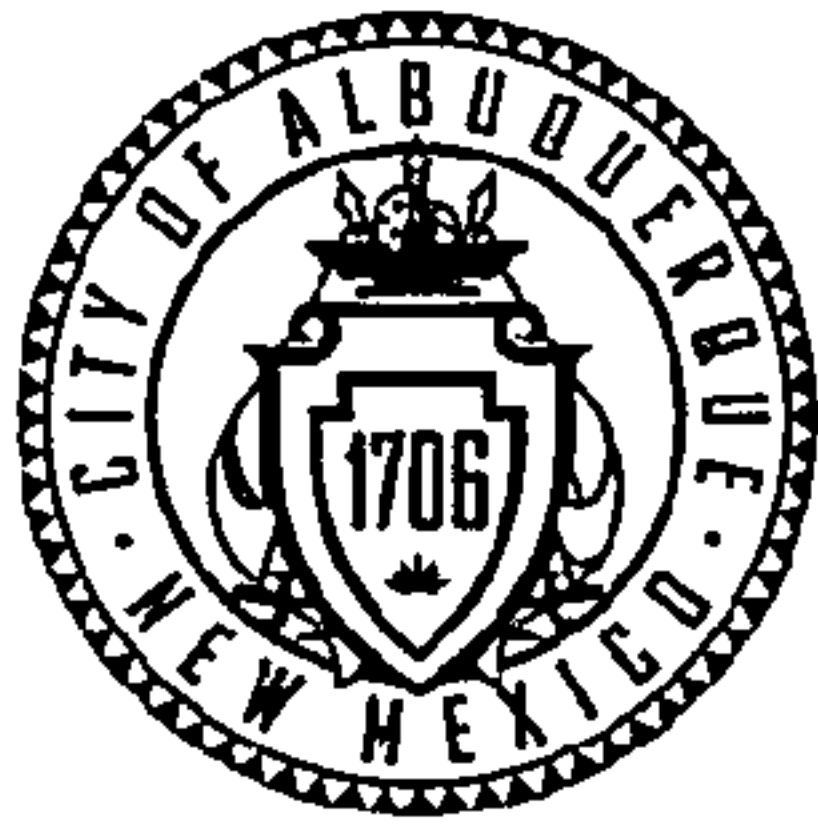
Blake Road

Street Name or Other Identifying Landmark

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (N-9).

(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)

(Zone Map **MUST** be provided with request)



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

March 25, 2015

Kay Brashear
Mark Goodwin & Associates, PA
P.O. Box 90606/87199
Phone: 505-828-2200 / Fax: 505-797-9539
E-mail: kbrashear@goodwinengineers.com

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Kay:

Thank you for your inquiry of March 25, 2015 requesting the names of ALL Neighborhood and/or Homeowners Associations who would be affected under the provisions of O-92 by your proposed project at (DRB SUBMITTAL) LOS DIAMONATES SUBDIVISION - TRACT 24 D-1-A, LANDS OF SALAZAR FAMILY TRUST, JSJ INVESTMENT COMPANY AND FALBA HANNETT AND LANDS OF CURB, INC. LOCATED ON 98TH STREET BETWEEN GIBSON BOULEVARD SW AND BLAKE ROAD SW zone map N-9.

Our records indicate that the ALL Neighborhood and/or Homeowners Associations affected by this proposal and the contact names are as follows:

SEE ATTACHMENT "A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL - please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's.

Please note that according to O-92 you are required to notify each of these contact persons by certified mail, return receipt requested, before the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your Application Hearing being deferred for 30 days. If you have any questions about the information provided, please contact me at (505) 924-3906 or via an e-mail message at dlcarmona@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Dalaina Carmona

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION.

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-

The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.

Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Dalaina at 924-3906 or via an e-mail message at dlcarmona@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **3/25/15** Time Entered: **9:27 a.m.** ONC Rep. Initials: **DC**

ATTACHMENT "A"

March 25, 2015

Kay Brashear
Mark Goodwin & Associates, PA
P.O. Box 90606/87199
Phone: 505-828-2200 / Fax: 505-797-9539
E-mail: kbrashear@goodwinengineers.com

SUN GATE ESTATES H.O.A. (SGE)

Robert Maldonado
2716 Mountain Gate SW/87121 697-9886 (c)
Cathy Thornton
2823 Richmond Dr. NE/87107 217-1143 (w)



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

March 25, 2015

Mr. Robert Maldonado
Sun Gate Estates H.O.A.
2716 Mountain Gate SW
Albuquerque, NM 87121

Ms. Cathy Thornton
Sun Gate Estates H.O.A.
2823 Richmond Dr. NE
Albuquerque, NM 87107

Re: Preliminary Plat Application for Los Diamantes Subdivision

Dear Mr. Maldonado and Ms. Thornton;

Enclosed please find a copy of the DRB Application requesting approval for Preliminary Plat and Sidewalk Deferral for the referenced project. The anticipated date to be heard is April 22, 2015. Please contact Diane Hoelzer of our office if you have any questions or concerns.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA

Kay Brashear
Office Manager

/kb

Enclosure

7006 0810 0004 6708 6564

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$	
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To Robert Maldonado
 Street, Apt. No., or PO Box No. 2716 Mountain Gate SW
 City, State, ZIP+4 Albuquerque nm 87121

PS Form 3800, June 2002 See Reverse for Instructions

7006 0810 0004 6708 6557

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$	
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees		

Sent To Cathy Armentun
 Street, Apt. No., or PO Box No. 2825 Grand Dr.
 City, State, ZIP+4 Albuquerque nm 87107

PS Form 3800, June 2002 See Reverse for Instructions



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
Administrative Officer
January 27, 2015

Robert J. Perry, Chief

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s):

Case Number(s):

Agent: Myers, Oliver, and Price

Applicant: 98TH Street LLC

Legal Description: Tract 34D-1-A, Lands of Salazar Trust

Zoning: SU-1 for Mixed Use

Acreage: 21.03 acres

Zone Atlas Page: N-9

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

A Cultural Resources Survey of 21.03 Acres for the Proposed Los Diamantes Subdivision, Albuquerque. by Andrew Zink, Douglas Boggess, and Beth McCormack (Lone Mountain, Douglas Boggess, P.I.) NMCRIS #132560

SITE VISIT: n/a

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)-- no significant sites in project area) .***
- One site, LA 180867, found by survey. Site is a historic (20th century) road segment recommended as not eligible for National Register listing. Recommendation is concurred; site determined as not eligible as information potential has been exhausted by recordation.
- Additional archival research of older USGS maps suggested as follow-up to further determine age of roadway segment.

MF Schmader

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist

Kay Brashear

From: Kay Brashear
Sent: Tuesday, March 24, 2015 3:00 PM
To: 'Ortiz, Monica'; Vanessa A. Segura (vsegura@cabq.gov); annetteortiz@cabq.gov
Cc: Diane Hoelzer; Curtis Cherne (ccherne@cabq.gov)
Subject: Los Diamantes Subdivision DRB# 1010332
Attachments: G&D PDF.pdf; Infrastructure List_14031_2015-03-24 PDF.pdf; Drainage Report Los Diamantes 2015-03-24.pdf

Ladies,

Attached is the Drainage Report, Infrastructure List, and G&D Plan for Los Diamantes Subdivision. We will deliver a hard copy of everything tomorrow.

Thank you,

Kay Brashear

Mark Goodwin & Associates, PA
Office Manager
PO BOX 90606
Albuquerque, NM 87119
(505) 828-2200

Kay Brashear

From: Kay Brashear
Sent: Friday, March 27, 2015 7:51 AM
To: Vanessa A. Segura (vsegura@cabq.gov); annetteortiz@cabq.gov
Subject: Los Diamantes Preliminary Plat Application #1010332
Attachments: Prelim Plat and G&D for DRB Submittal 2015-03-25.pdf; Prelim Plat Application.pdf

Attached is the Preliminary Plat/Sidewalk Deferral Application and all required documents. We will bring in the hard copies this morning.

Thank you,

Kay Brashear

Mark Goodwin & Associates, PA
Office Manager
PO BOX 90606
Albuquerque, NM 87119
(505) 828-2200

Project Number: _____

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: 1010332

DRB Application No.: _____

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Los Diamantes Subdivision & Site Plan for Building Permit

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

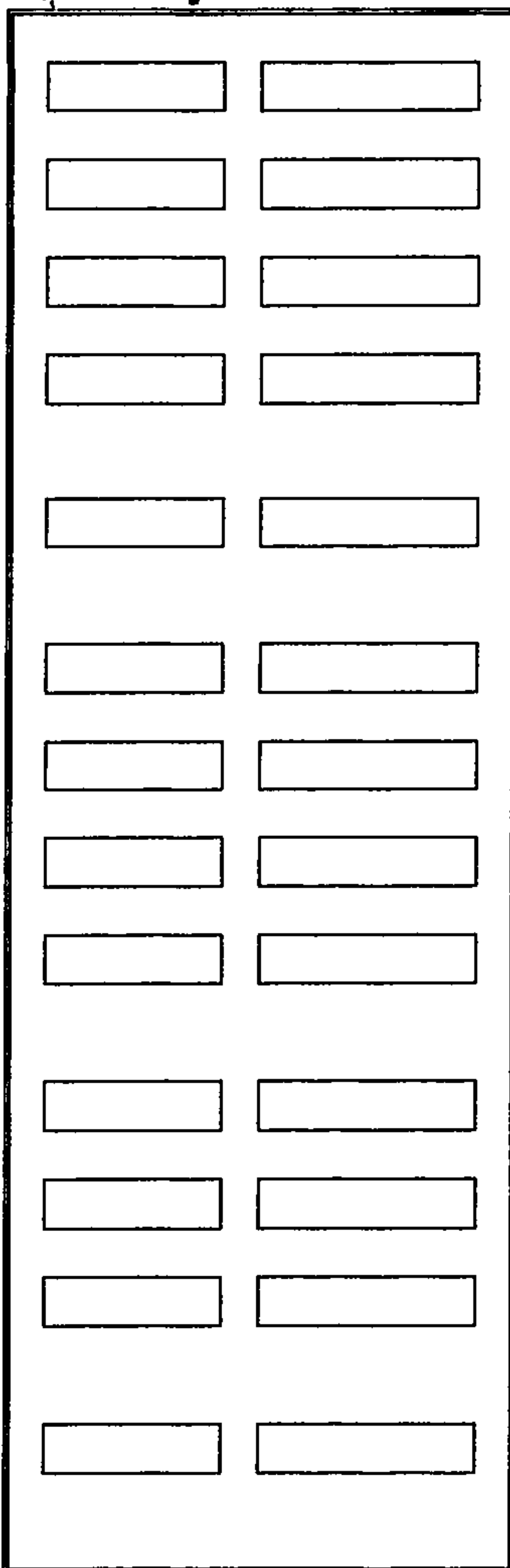
Tract 34D-1-A, LANDS OF SALAZAR FAMILY TRUST, JSJ, INVESTMENT

COMPANY AND FALBA HANNETT AND LANDS OF CURB INC.

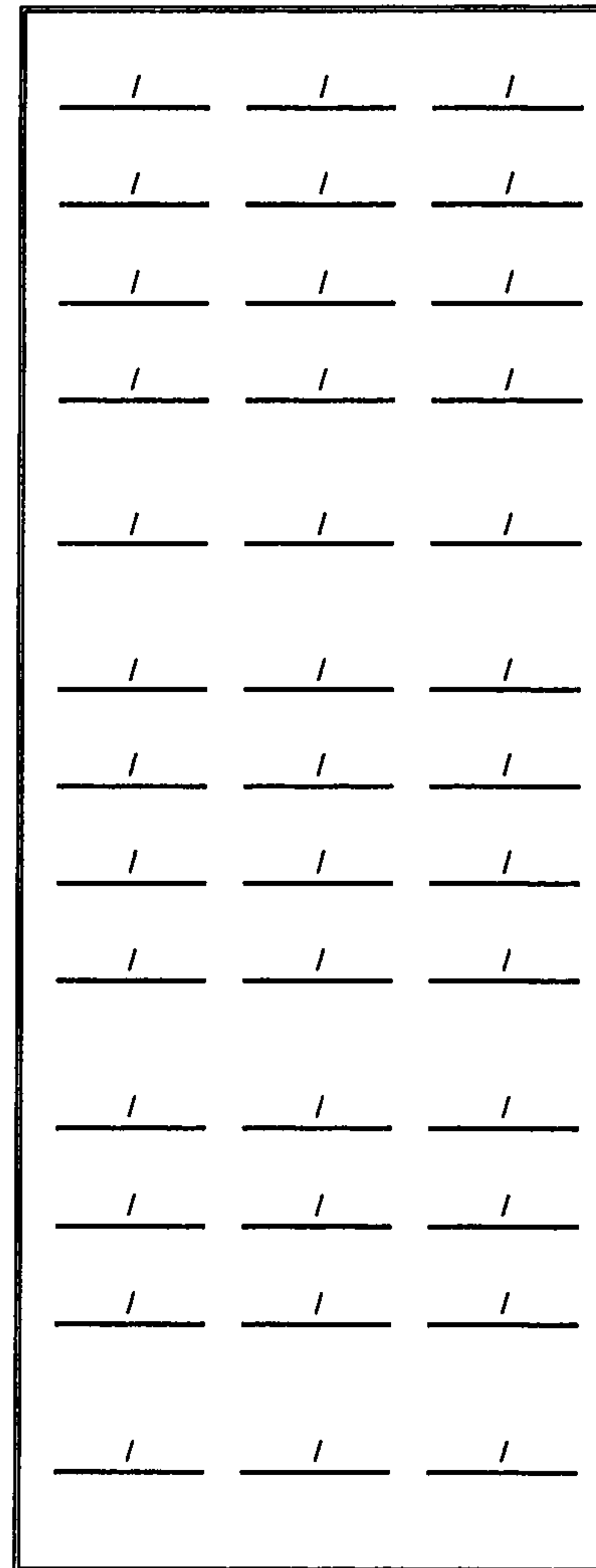
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			PAVING						
		26' FF	Perm Pvmt	Del Timbre Lane SW	End stub (Lot 22)	Saddlehorn Trail SW	/	/	/
			C&G (both sides)						
		4'	Sidewalk (west side only)				/	/	/
		26' FF	Perm Pvmt	Del Timbre Lane SW	Saddlehorn Trail SW	Range Trail SW	/	/	/
			C&G (both sides)						
		4'	Sidewalk (both sides) (1)				/	/	/
		28' FF	Perm Pvmt	Del Timbre Lane SW	Range Trail SW	Gold Dust Way SW	/	/	/
			C&G (both sides)						
		4'	Sidewalk (both sides) (1)				/	/	/
		28' FF	Perm Pvmt	Gold Dust Way SW	Del Timbre Lane SW	Sorral Way SW	/	/	/
			C&G (both sides)						
		4'	Sidewalk (both side) (1)				/	/	/
		28' FF	Perm Pvmt	Sorral Way SW	Gold Dust Way SW	Range Trail SW	/	/	/
			C&G (both sides)						
		4'	Sidewalk (both side) (1)				/	/	/
		26' FF	Perm Pvmt	Sorral Way SW	Range Trail SW	Saddlehorn Trail SW	/	/	/
			C&G (both sides)						
		4'	Sidewalk (both side) (1)				/	/	/



8"	Waterline	Saddlehorn Trail SW	Del Timbre Lane SW	Tract D
8"	Waterline	Tract D	Saddlehorn	Tract A
8"	Waterline	Tract A	Tract D	Gibson Blvd
12"	Waterline	Gibson Blvd.	Tract A	Existing 20" WL Blake Road
SANITARY SEWER				
8"	Sanitary Sewer	Cochise Lane SW	Gold Dust Way SW	Existing 8" SAS at 98th Street
8"	Sanitary Sewer	Gold Dust Way SW	Del Timbre Lane SW	Sorral Way SW
8"	Sanitary Sewer	Sorral Way SW	Gold Dust Way SW	Saddlehorn Trail SW
8"	Sanitary Sewer	Saddlehorn Trail SW	Sorral Way SW	Del Timbre Lane SW
8"	Sanitary Sewer	Del Timbre Lane SW	Gold Dust Way SW	Lot 22 End Del Timbre Lane SW
DRAINAGE				
Per design	Inlet	Gold Dust Way SW		
30"	Storm Drain	Tract B	Gold Dust Way SW	Pond
Per design	Outfall Structure	Pond		
30"	Storm Drain	Tract B	Pond	Exist 30" Storm Drain at Blake Road



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of										
Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/		
<input type="text"/>	<input type="text"/>						/	/		
							Approval of Creditable Items:			
					Impact Fee Administrator Signature		Date		Approval of Creditable Items:	
					City User Dept. Signature		Date			

- 1 Deferred sidewalk to comply with approved sidewalk exhibit
- 2 Waterline Infrastructure to include valves, fittings, service connections and fire hydrants
- 3 Storm Drain Infrastructure to include manholes and inlets
- 4 Grading & Drainage Certification required per DPM (Prior to release of Financial Guaranty) to include retaining walls as defined on the approved Grading Plan
- 5 SAS Infrastructure include manholes and service connections.
- 6 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS			
Diane Hoelzer, PE NAME (print) MARK GOODWIN & ASSOCIATES FIRM SIGNATURE - date MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: <u>N/A</u>	_____ DRB CHAIR - date	_____ PARKS & GENERAL SERVICES - date	_____ TRANSPORTATION DEVELOPMENT - date	_____ AMAFCA - date
	_____ UTILITY DEVELOPMENT - date	_____ - date	_____ CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

NO.	DATE	REVISIONS	REMARKS

DESIGNED BY DMS	DATE 01/13
DRAWN BY DER	DATE 01/13
CHECKED BY DMS	DATE 01/13

ENGINEER'S SEAL

DATE: _____ BY: _____

AS BUILT INFORMATION

CONTRACTOR: _____

DATE: _____ BY: _____

FIELD NOTES

NO. _____ BY: _____

DATE: _____

SURVEY INFORMATION

CONTRACTOR: _____

DATE: _____ BY: _____

BENCH MARKS

CONTRACTOR: _____

DATE: _____ BY: _____

AS BUILT INFORMATION

CONTRACTOR: _____

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CONTRACTOR: _____

DATE: _____ BY: _____

AS BUILT INFORMATION

CONTRACTOR: _____

DATE: _____ BY: _____

- LEGEND**
- EXISTING ASPHALT PAVEMENT
 - EXISTING ELECTRIC TRANSFORMER
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING LIGHT POLE
 - EXISTING TRAFFIC SIGNAL PALLBOX
 - EXISTING CITY PEDESTAL
 - EXISTING UTILITY PEDESTAL
 - EXISTING DROP INLET
 - EXISTING STORM DRAIN
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - EXISTING GATE VALVE & BOX
 - EXISTING FIRE HYDRANT
 - NEW RIGHT-OF-WAY
 - NEW CENTERLINE
 - NEW LOT LINES
 - NEW EASEMENTS
 - NEW STORM DRAIN INLET
 - NEW STORM DRAIN MANHOLE
 - NEW STORM DRAIN MANHOLE
 - NEW SANITARY SEWER MANHOLE
 - NEW SANITARY SEWER FLOW DIRECTION
 - NEW SANITARY SEWER SERVICE LINE
 - NEW WATERLINE
 - NEW FIRE HYDRANT
 - NEW GATE VALVE & BOX
 - NEW WATERLINE TEE
 - NEW WATERLINE CAP
 - NEW WATERLINE BEND
 - NEW WATER METER SERVICES
 - NEW STREET LIGHT
 - NEW LOT ADDRESS

- NOTES**
- ALL STAKING IS BASED ON CENTERLINE
 - ALL FIRE HYDRANTS ARE 4" BURY UNLESS OTHERWISE SPECIFIED
 - ALL LETTER BONES ADJACENT TO MOUNTABLE CURB SHALL HAVE HEAVY WEIGHT METER BOX COVER & LID PER ANTIWA STD. DPG 2306
 - ALL FIRE HYDRANTS PER ANTIWA STD. 2348
 - ALL FIRE HYDRANTS TO HAVE A 6" GATE VALVE & BOX
 - CONTRACTOR TO USE 12" AIR COATED CAP FOR VALVE BONES
 - CONTRACTOR IS NOT TO INSTALL THE STEPS IN THE SAS MANHOLES

WATER SHUT-OFF NOTES

- CONTRACTOR SHALL MAKE SHUT-OFF REQUEST ONLINE AT <http://www.water.com/online/shut-off>
- VALVES SHALL ONLY BE OPERATED BY WATER AUTHORITY EMPLOYEES
- CLOSE EXISTING GATE VALVE, A) TO MAKE NON-PRESSURE WATERLINE CONNECTION IN BRUSH STREET
- STANDARD SPECIFICATIONS - SECTION 801

RESTRAINED JOINT LENGTHS FOR REDUCERS (FT.)

PIPE SIZE	LARGE SIZE	SMALL SIZE
12" X 8"	45'	68'

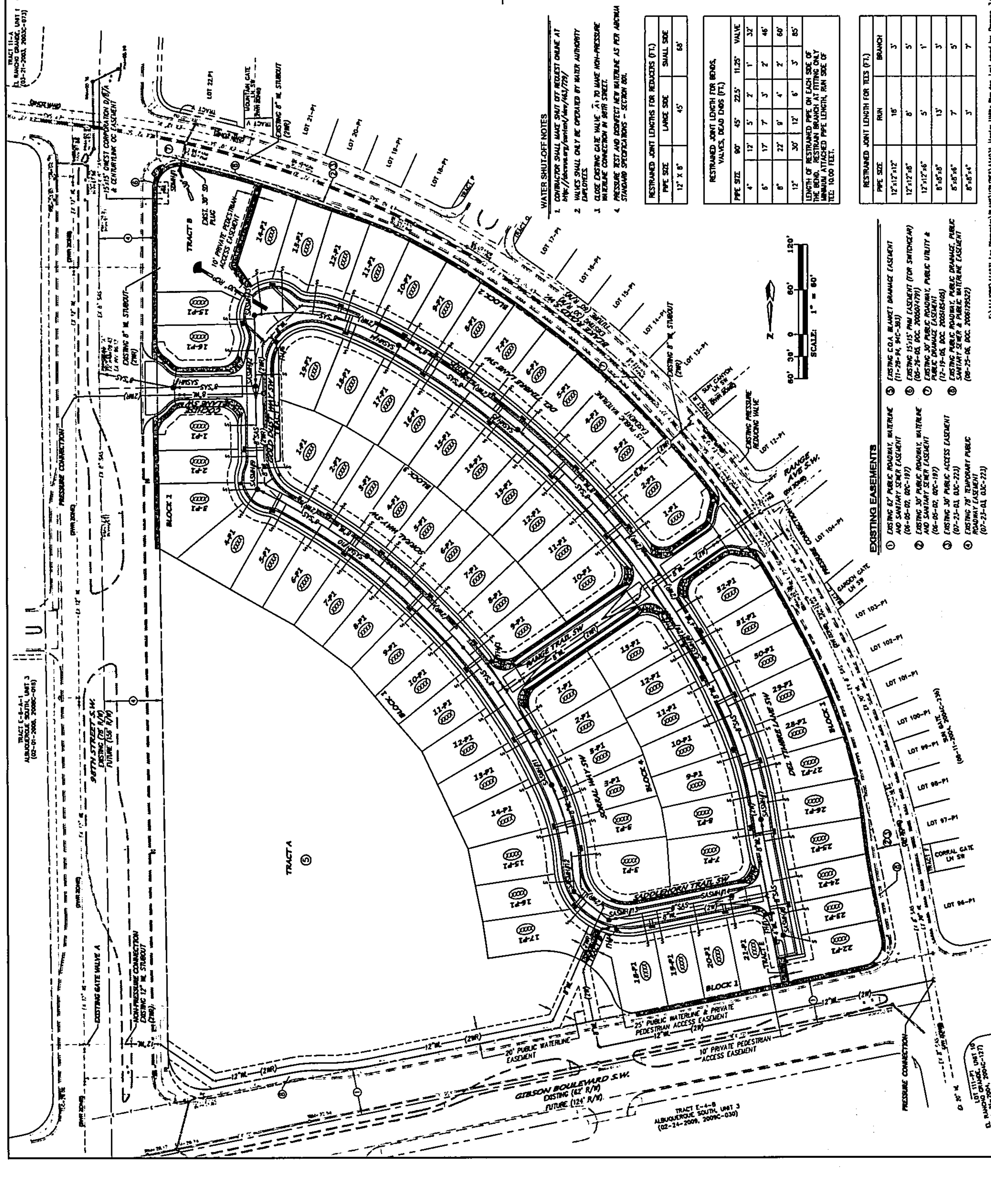
RESTRAINED JOINT LENGTH FOR BONDS, VALVES, DEAD ENDS (FT.)

PIPE SIZE	45'	22.5'	11.25'	VALVE
4"	17'	5'	2'	1'
6"	17'	7'	3'	2'
8"	22'	9'	4'	2'
12"	30'	12'	6'	3'
				85'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BOND, RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTH FOR TEES (FT.)

PIPE SIZE	RUN	BRANCH
12"x12"	18'	3'
12"x12"	6'	5'
12"x12"	5'	1'
8"x8"	13'	3'
8"x8"	7'	5'
8"x8"	3'	7'



PROJECT #

1010332

APRIL 22. 2015

F^{**}
TDSU



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D

- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Mark Goodwin : Associates PA PHONE: 828-2200

ADDRESS: PO Box 90606 FAX: _____

CITY: Albuquerque STATE nm ZIP 87199 E-MAIL: khrasher@goodwinengineers.com

APPLICANT: 98th Street LLC PHONE: 975-0617

ADDRESS: 6300 Jefferson FAX: _____

CITY: Albuquerque STATE nm ZIP 87109 E-MAIL: jd@atlasresources.com

Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: Final Sign-off for EPC Approves SDP for Subdivision for Las Diamantes

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract 34D-1-A Block: _____ Unit: _____

Subdiv/Addn/TBKA: Los Diamantes

Existing Zoning: SU-1 Proposed zoning: SU-1 MRGCD Map No _____

Zone Atlas page(s): n-9 UPC Code: 100905421450520404

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): Project # ¹⁰¹⁰³³² ~~100~~

15DRB-70140 15DRB-70141

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? no

No. of existing lots: 1 No. of proposed lots: 80 Total site area (acres): 25.1635

LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street

Between: Gibson Blvd. and Blake Road

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Diane Hoelzer DATE 4-13-15

(Print Name) Diane Hoelzer, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>15DRB - 70155</u>	<u>SPS</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				\$ <u>20.00</u>

Hearing date April 22, 2015

Vch
4-13-15
Staff signature & Date

Project # 1010332

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) **Maximum Size: 24" x 36"**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- N/A Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies -Turned in 3/27
- N/A Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- N/A Infrastructure List, if relevant to the site plan -Turned in 3/27
- N/A Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Diane Hoelzer
 Applicant name (print)
Diane Hoelzer 4-13-15
 Applicant signature / date

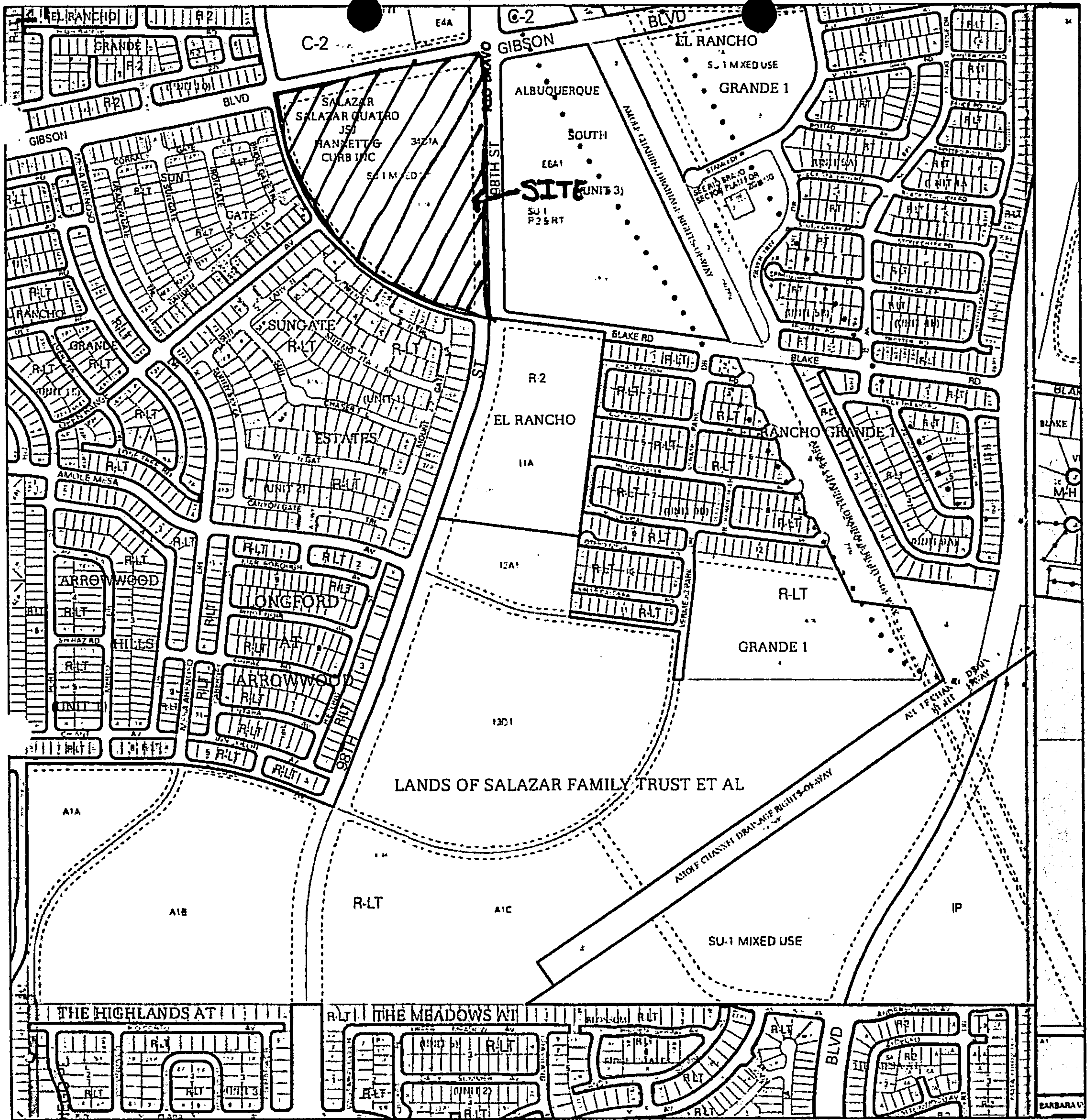


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
15DRB - 70155

Vog 4-13-15
 Planner signature / date
 Project # 1010332



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 4/2/2012

Zone Atlas Page:
N-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon	

Note: Grey Shading Represents Area Outside of the City Limits

Scale: 0 750 1500 Feet



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

*~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~*

April 13, 2015

Mr. Jack Cloud
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: Los Diamantes Subdivision - DRB Case 1010332
Request for Approval of the
Los Diamantes Development Plan for Subdivision (EPC approved) and
Los Diamantes Development Plan for Building Permit**

Dear Mr. Cloud:

The Los Diamantes Site Development Plan for Subdivision was recently approved at EPC on March 13, 2015 with 13 conditions of approval. At this time we are submitting for approval of the Los Diamantes Development Plan for Subdivision (EPC approved). This is being submitted today because the DRB preliminary plat approval hearing for this project is scheduled to be heard April 22, in anticipation that both DRB requests can be heard at the same time.

The 13 EPC Conditions of Approval were addressed as follows:

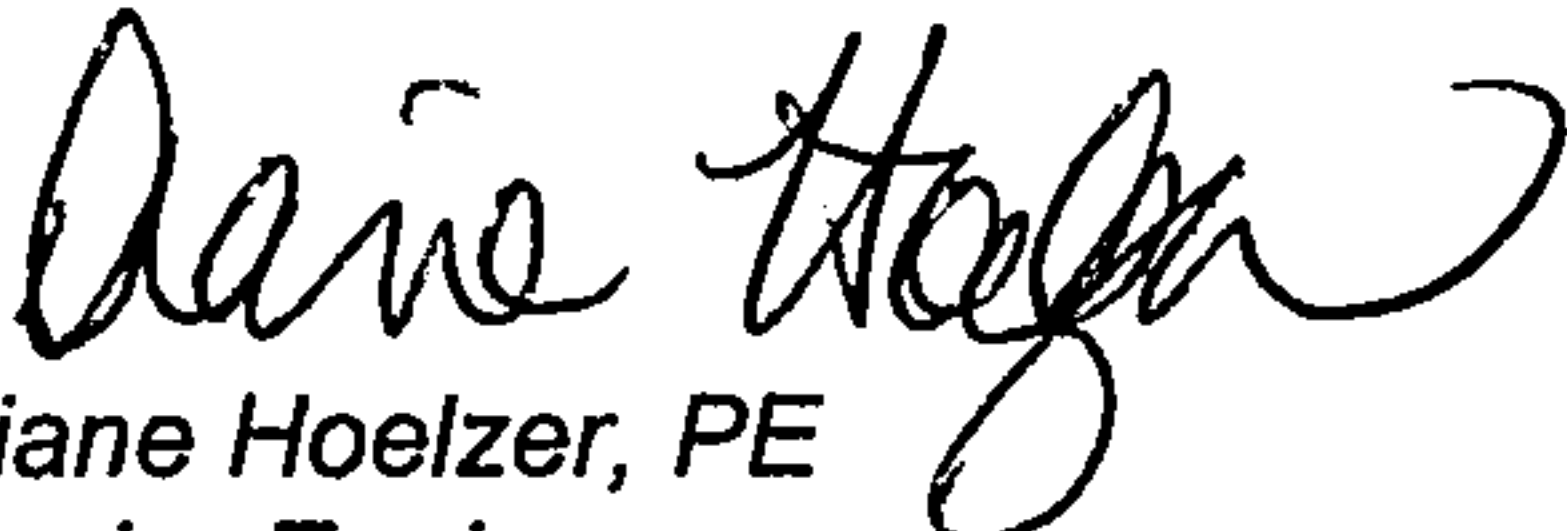
- 1) This is the required letter that specifies how all modifications have been made to the Site Plan since the EPC Hearing
- 2) Diane Hoelzer met with Catalina Lehner on March 25, 2015 to ensure that all conditions of approval have been met.
- 3) The Site Development Plan for building permit is being submitted to DRB for approval.
- 4) A. At detail of the perimeter wall and retaining wall interface for the subdivision.
B. The east retaining wall is not necessary and has been removed from the plan. There is only one retaining/perimeter wall along the Tract B/Lot 14 property boundary.
- 5) A. The Site Plan layout and Landscape Plan layout match.
B. Notes 4 and 5 from the version 1 Site Plan has been added to the Landscape Plan.
- 6) Drive aisle crossings are clearly marked on Site Plan and clearly identified in the legend.
- 7) A. Bicycles have been addressed in Section I. general statement and subsection H.
B. The intent has been addressed in Section I.
- 8) Under commercial and Residential Design Standards, the introductory sentence has been changed to refer to "standards", changed from guidelines.

- 9)
 - A. All existing facilities in public right-of-way have been identified on Site Plan.
 - B. Existing bike lanes and medians have been identified on Site Plan.
 - C. Range Road and its width have been identified.
 - D. Road widths and right-of-way widths are identified on Site Plan. Typical road sections and wheelchair ramp details are shown on the Residential Design Standards sheet.
 - E. All internal street curb radii have been identified on the Site Plan.
 - F. Refuse truck and emergency vehicle route is shown on Sheet 4 (Residential Design Standards).
 - G. New radii for curb at 98th Street and Blake Road access have been provided.
 - H. Length of stub street has been labeled on Site Plan.
 - I. Not applicable, refer to ABQ RIDE Transit Department comments dated 2-13-15.
- 10) Drainage Ordinance compliance noted. A drainage report has been submitted to hydrology for approval.
- 11) This requirement has been retracted.
- 12) Archeological survey requirement noted.
- 13) Notes C. and D. have been added to Sheet 6 (Commercial Design Standards) and section VIII. Utilities (sheet 3 – Residential Design Standards).

Please contact our office if you have any questions or comments.

Sincerely,

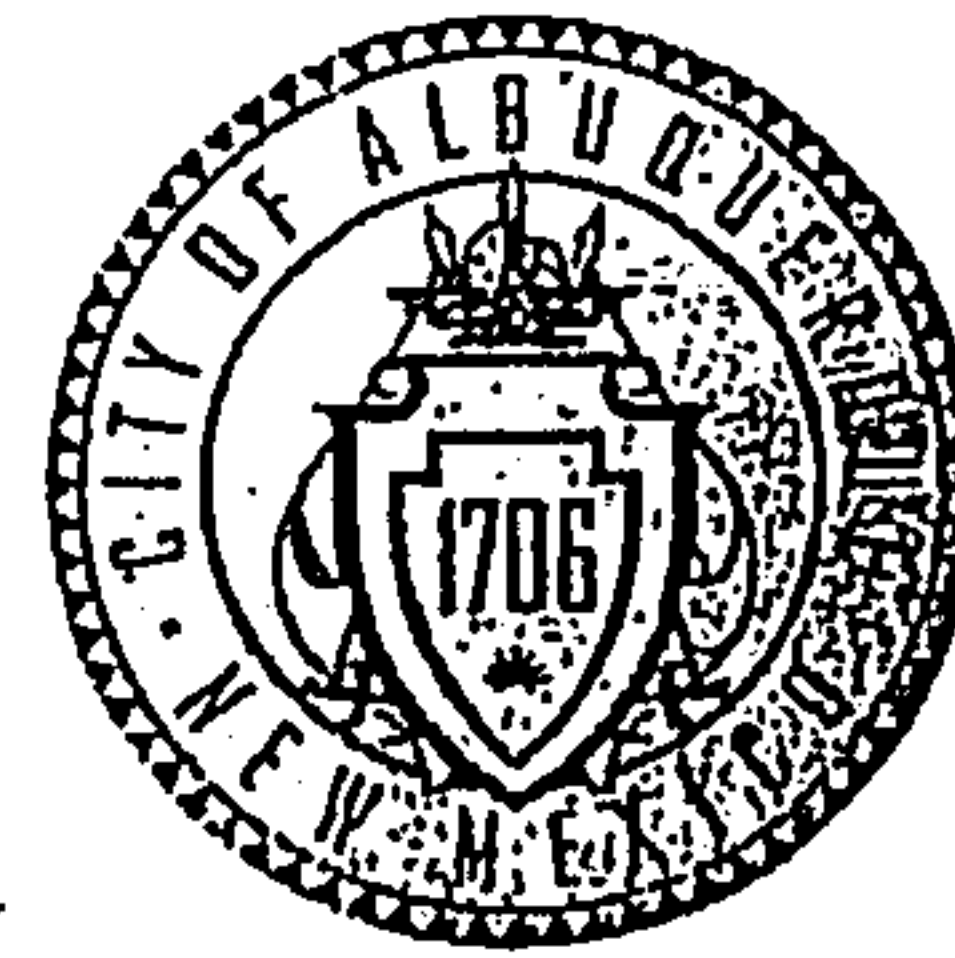
MARK GOODWIN & ASSOCIATES, PA


Diane Hoelzer, PE
Senior Engineer

DLH/kb

Attachments

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

March 13, 2015

98th Street, LLC
P.O. Box 27560
Albuquerque, NM 87125

Project# 1010332
15EPC-40001 Site Development Plan for
Subdivision

LEGAL DESCRIPTION:

The above actions for Tract 34D-1-A Bulk Land Plat, Tract 31A-1-A Lands of Salazar Family Trust, Salazar Quatro Trust, JSJ Investment Company & Falba Hannett, and Tracts 4-A-1 and 32H-1-A, located at the SW corner of the intersection of Gibson Boulevard SW and 98th Street SW, containing approximately 25.5 acres. (N-9)
Staff Planner: Catalina Lehner

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

On March 12, 2015; the Environmental Planning Commission (EPC) voted to APPROVE Project# 1010332/15EPC-40001, a Site Development Plan for Subdivision, based on the following findings and subject to the following conditions of approval:

FINDINGS:

1. The subject request is for a site development plan for subdivision for Tract 34D-1-A Bulk Land Plat, Tract 31A-1-A Lands of Salazar Family Trust, Salazar Quatro Trust, JSJ Investment Company & Falba Hannett, and Tracts 4-A-1 and 32H-1-A, an approximately 25.5 acre site consisting of the SW corner of the intersection of Gibson Blvd. SW and 98th St. SW, zoned SU-1 for Mixed Use.
2. The applicant proposes to create three tracts and to subdivide an approximately 20 acre portion of the subject site into 80 individual lots. Design standards are proposed for the residential portion and for the future, approximately 5 acre commercial portion. Delegation of approval authority to the Development Review Board (DRB) is requested for the residential portion. The commercial portion would return to the EPC.
3. The subject site is within the boundaries of the Developing Urban Area of the Comprehensive Plan. The West Side Strategic Plan (WSSP), the Southwest Area Action Plan

OFFICIAL NOTICE OF DECISION

Project #1010332

March 12, 2015

Page 2 of 7

(SWAAP, contained in the WSSP) and the Rio Bravo sector Development Plan (RBSDP) apply.

4. The Albuquerque/Bernalillo County Comprehensive Plan, the WSSP, the SWASAP and the RBSDP and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

5. If developed as proposed, the commercial portion of the subject site is greater than 5 acres in size, making it a Shopping Center (SC) site by definition and subject to the regulations of Zoning Code §14-16-3-2. Future commercial portion will also be subject to the commercial design standards.

6. The request generally furthers the following Comprehensive Plan Goals:

A. Established Urban Goal. The request would result in two different types of uses: a single-family subdivision on approximately 20 acres and various, future commercial uses on approximately 5 acres. Though the uses would not be mixed together, they could contribute to an urban environment that perpetuates the tradition of subdivisions that characterizes the area. The design standards would help create a visually pleasing built environment.

B. Community Identity and Urban Design Goal. The request would generally contribute toward preserving the built characteristics that identify the southwest sub-area as a distinct community because it would continue the development pattern in the area, which is characterized by single-family subdivisions and a little bit of commercial development.

7. The request generally furthers the following Comprehensive Plan policies:

A. Policy II.B.5d-neighborhood values/natural environmental conditions. The proposed subdivision is like the ones around it and therefore is unlikely to cause neighborhood concern. There are no known comments or concerns regarding the request. The proposed non-vehicular access points would help facilitate the use of alternative transportation modes (walking, biking) that are related to recreational and social concerns.

B. Policy II.B.5e- new growth/urban facilities. The subject site is vacant and contiguous to a developed area that has existing urban facilities and services, and the use of such would not affect neighborhood integrity.

C. Policy II.B.5j- location of new commercial development. Future commercial development would be located on land already zoned for commercial uses and within reasonable distance from residential uses. The subject site is located at the intersection of arterial streets, and the approximately 5.6 acre commercial portion could function as a neighborhood center.

D. Policy II.B.5k- land/arterial streets/traffic effects. The subject site is adjacent to two arterial streets: 98th St. and Gibson Blvd. Transportation Staff provided comments that, when addressed, will help minimize the effects of traffic. An access point is shown on 98th St. for the residential

OFFICIAL NOTICE OF DECISION

Project #1010332

March 12, 2015

Page 3 of 7

portion; no access is indicated for the future commercial. The access on Blake Rd. aligns with that of the existing subdivision.

- E. Policy II.B.51-quality design/new development. The architectural standards for the commercial portion would require quality features. Though the residential standards would benefit from clarification, they would result in a similar subdivision, in terms of layout and design, to those that characterize the area.
8. The subject site is located in a designated Activity Center, the 98th/Gibson Community Activity Center (CAC), designated in the Comprehensive Plan and shown in the WSSP. The request would reduce the acreage available for the desired Activity Center uses, thus the functionality would change from a CAC (typically 15 – 60 acres, see Table 22 of the Comprehensive Plan) to a Neighborhood Activity Center (typically 5 – 15 acres), but the CAC designation would remain.
 9. The subject site is zoned SU-1 Mixed Use pursuant to the RBSDP, which states:
“Within the SU-1 zone, properties will have allowances for C-1, C-2, O-1, O-2 and IP zoning subject to individual review procedures. The mixed-use can be applied to include R-LT zoning and other high-density residential uses. Community Activity Center (CAC) and Neighborhood Activity Center (NAC) mixed-use zoning should be applied to the designated activity centers within the RBSDP boundaries.”
The single-family residential use is not prohibited by the subject site’s zoning. It is consistent with R-LT zoning (typically 6 DU/ac) because the R-LT zone references the R-1 zone and R-1 densities can be lower than the “other high-density residential uses” mentioned.
 10. The 2009 amendments to the RBSDP intend to “limit the geographic coverage of repetitions of one housing type” (single-family or multi-family). Though single-family homes are not prohibited on the subject site, development to the NW, SW and SE of the subject site consists of single-family homes with similar site layouts. The request would repeat the same, predominant housing type and layout, and precludes opportunities to provide a variety of housing types.
 11. The subject site is zoned SU-1 Mixed Use. The purpose of the SU-1 zone is to “provide suitable sites for uses which are special...and in which the appropriateness of the use to a specific location is partly or entirely dependent on the character of the site design.” Unlike other zones, SU-1 zoning and its required, associated site development plan are interdependent. Therefore, because the site’s specific location is subject to applicable policies in the Comprehensive Plan, WSSP and SWASAP regarding site design, these policies should be applied to improve the appropriateness of the design relative to the location. It is the EPC’s task to determine the appropriateness of the uses to the subject site, based on the character of the site design as stated above.
 12. A Traffic Impact Study (TIS) was not required at this time because the 80 proposed homes do not meet the threshold. However, a TIS will be required for the future commercial development.
 13. The City Archaeologist issued a provisional certificate of no effect to allow the process to continue. However, an archaeological survey is required prior to issuance of a building permit. Additional

coordination with the City Archaeologist is needed.

14. Conditions of approval are needed to help ensure that the request comes closer to furthering applicable Goals and policies in the Comprehensive Plan, particularly with respect to Activity Centers. The conditions would also begin to address conflicts with applicable policies in the WSSP and SWASAP with respect to subdivision and site design and creating land use patterns to support alternative transportation modes.
15. The affected neighborhood organizations are the Sungate Estates Homeowners Association (HOA), the South Valley Coalition of Neighborhood Associations (NAs), the SW Alliance of Neighbors (SWAN), and the Westside Coalition. The applicant notified them as required. As of this writing, there is no known opposition to the request.

CONDITIONS OF APPROVAL:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the Staff planner to ensure that all conditions of approval are met.
3. The site development plan for building permit for the residential portion, which will be submitted to the DRB for review, shall comply with the residential design standards.
4. Site Development Plan for Subdivision:
 - A. The locations of the perimeter wall and the retaining walls shall be clarified.
 - B. The height of the walls on Tract B shall be clarified. One wall shall be significantly lower than that other, so that visibility and safety of pedestrians can be ensured.
5. Landscaping Plan for Subdivision:
 - A. The site layout on the landscaping plan shall match the site layout on Sheet 1.
 - B. Notes 4 & 5 from v.1 of the site development plan, regarding installation of landscaping based on the landscaping plan, shall be re-instated.

RESIDENTIAL DESIGN STANDARDS

6. Pedestrian Amenities:

Drive-aisle crossings internal to the subdivision shall be clearly demarcated and labeled.

OFFICIAL NOTICE OF DECISION

Project #1010332

March 12, 2015

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COMMERCIAL DESIGN STANDARDS

7. Parking & Circulation Standards:

- A. This section shall address how bicycles will be accommodated.
- B. An explanation of the intent for pedestrian and bicycle (non-vehicular) circulation shall be added.

8. Minor Revisions:

Introductory Language: refer to Design Standards.

9. The following conditions from Transportation Planning Staff shall be met:

- A. Label all existing facilities within public right-of-way on site plan including the existing curb, sidewalk, and sidewalk widths immediately adjacent to the site. Also, show the existing wheelchair ramps and the existing transit stop.
- B. Show the existing medians within Gibson Blvd. and 98th Street. Also, show existing bike lanes and bike lane widths on surrounding streets.
- C. Label Orange Range Avenue and its roadway width at its intersection with Blake Road to show its proximity relative to the new intersection. It is preferable to align the new road with Orange Range Avenue.
- D. Internally, within the site, label all new curb and curb ramps, and provide curb ramp details. Label all new sidewalk and sidewalk widths within the subdivision, and provide a minimum sidewalk width of 4 feet. Show typical section for all internal roads.
- E. Label all internal curb radii for the private roads on-site. All internal curb radii at the intersections should be a minimum of 20 feet.
- F. Provide a separate plan showing the route for a garbage truck and emergency vehicle.
- G. Provide a detail of the curb radii configuration for the new access from 98th Street and Blake Road.
- H. Label length of stub street.
- I. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

10. The following condition from Hydrology Staff shall be met:

The site plan will have to comply with the Drainage Ordinance, Subdivision Ordinance and DPM when submitted for DRB approval.

11. The following condition from the City Transit Department shall be met:

Transit requests the applicant to install a Type C bus shelter as per the COA Design standard COA 2355, and associated bench and trash can at the existing bus stop located adjacent to the property on 98th Street. Please provide access to the bus stop from the property.

OFFICIAL NOTICE OF DECISION

Project #1010332

March 12, 2015

Page 6 of 7

12. The following condition from the City Archaeologist shall be met:

The applicant shall coordinate with the City Archaeologist. An archaeological survey is required prior to issuance of a building permit.

13. The following conditions from PNM shall be met:

A. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

B. An existing overhead electric distribution line is located along the northern boundary of the subject property along Gibson Boulevard SW and an underground distribution line is located along the eastern boundary of the site along 98th Street SW. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service for this project and for any modifications to the existing electric distribution facilities. Any relocation, changes or realignment regarding existing electric utilities will be the developer's expense. In some cases, relocation or changes to existing facilities may not be feasible due to safety clearances or other physical constraints. The applicant is responsible to abide by any conditions or terms for those distribution easements. PNM will review all technical needs, issues and safety clearances for its electric power systems. Contact:

PNM – New Service Delivery, 4201 Edith Boulevard NE, Albuquerque, NM 87107

Phone: (505) 241-3425

C. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

D. Coordination with PNM will be necessary for this project regarding proposed tree species, the height at maturity and tree placement, sign location and height, and lighting height in order to ensure sufficient safety clearances to avoid interference with the existing electric distribution facilities along the eastern and northern boundaries of the subject site.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **MARCH 27, 2015**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building

OFFICIAL NOTICE OF DECISION

Project #1010332

March 12, 2015

Page 7 of 7

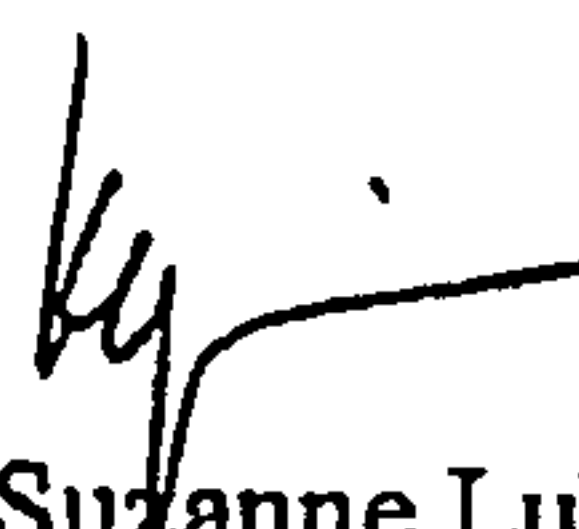
Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


for Suzanne Lubar
Planning Director

SL/CL

cc: 98th Street, LLC, P.O. Box 27560, Albuquerque, NM 87125
Myers, McCready & Myers, Attn: Matt Myers, 1401 Central Ave. NW, Suite B, Albuquerque, NM 87104
Mike Smith, Sun Gate Estates HOA, 2612 Mountain Gate SW, Albuquerque, NM 87121
Robert Maldonado, Sun Gate Estates HOA, 2716 Mountain Gate SW, Albuquerque, NM 87121
Rod Mahoney, South Valley Coalition of NAs, 1838 Sadora Rd. SW, Albuquerque, NM 87105
Marcia Fernandez, South Valley Coalition of NAs, 2401 Violet SW, Albuquerque, NM 87105
Johnny Pena, SW Alliance of Neighbors (SWAN), 6525 Sunset Gardens SW, Albuquerque, NM 87121
Jerry Gallegos, SW Alliance of Neighbors (SWAN), 417 65th St. SW, Albuquerque, NM 87121
Jerry Worrall, Westside Coalition, 1039 Pinatubo Pl. NW, Albuquerque, NM 87120
Harry Hendriksen, Westside Coalition, 10592 Rio del Sol Ct. NW, Albuquerque, NM 87114-2701

PROJECT #

1010332

APRIL 22, 2015

SFS



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

August 7, 2015

Mr. Jack Cloud
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: Los Diamantes Subdivision at 98th/Gibson – (DRB 1010332)
Request approval of Preliminary Plat, Sidewalk Waiver/Temporary Deferral, SDP for Subd.**

Dear Mr. Cloud:

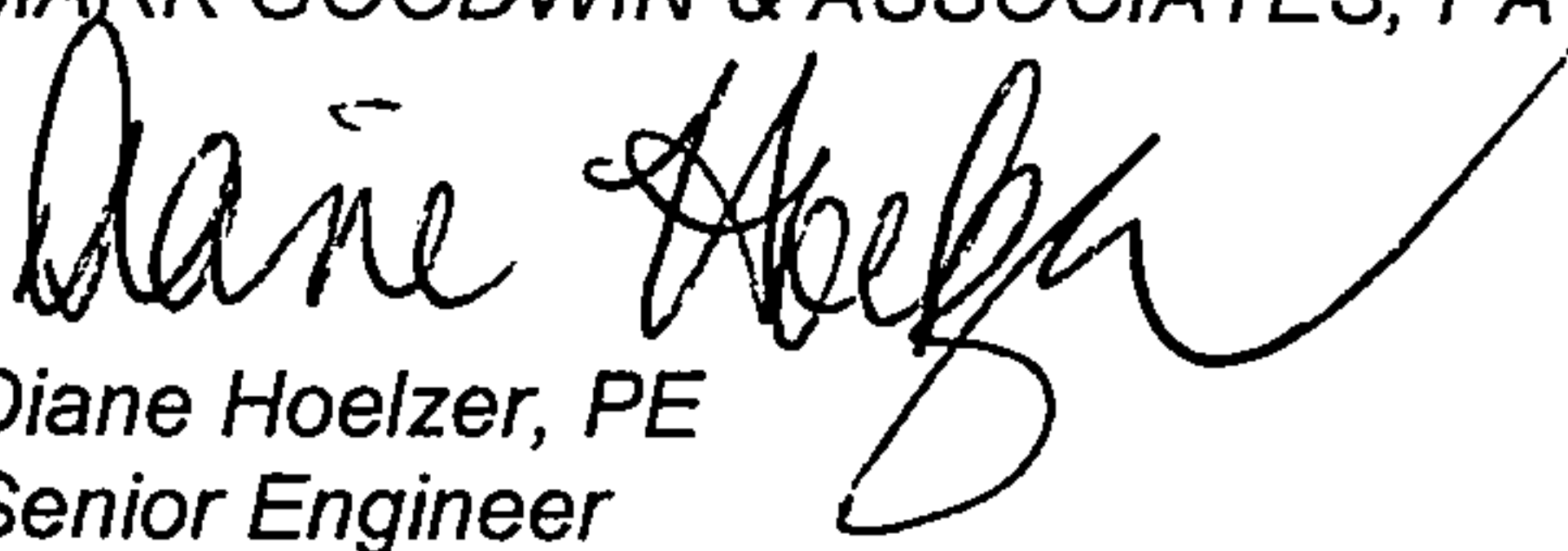
The last hearing for this subdivision was June 10. To the best of my knowledge all the comments have now been addressed:

1. The grading and drainage plan and report have been resubmitted to Hydrology. The revised grading plan is part of the DRB resubmittal,
2. The storm drain connection from Tract A to the existing storm stub in 98th street has been added to the infrastructure list,
3. The drainage maintenance note has been added to the plat.
4. Water Authority comments regarding 8" WL in Range Trail and 12" WL in Gibson is on the Infrastructure List,
5. Per Transportation comments the entrance road turnaround has been modified at both locations,
6. A waiver of the sidewalk has been requested,

Please contact our office if you have any questions or comments.

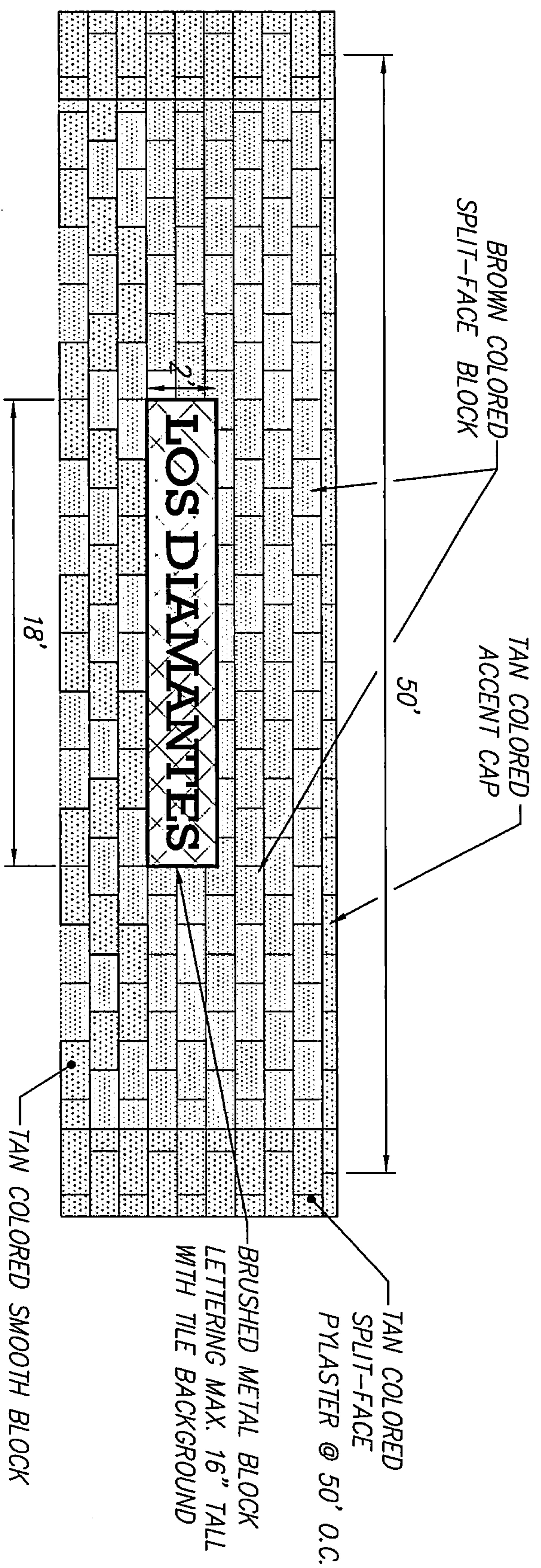
Sincerely,

MARK GOODWIN & ASSOCIATES, PA

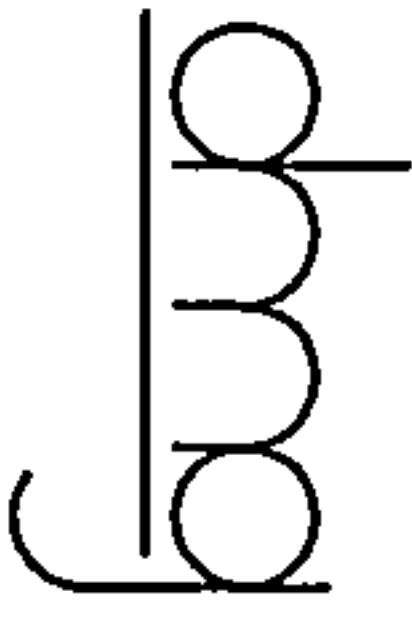

Diane Hoelzer, PE
Senior Engineer

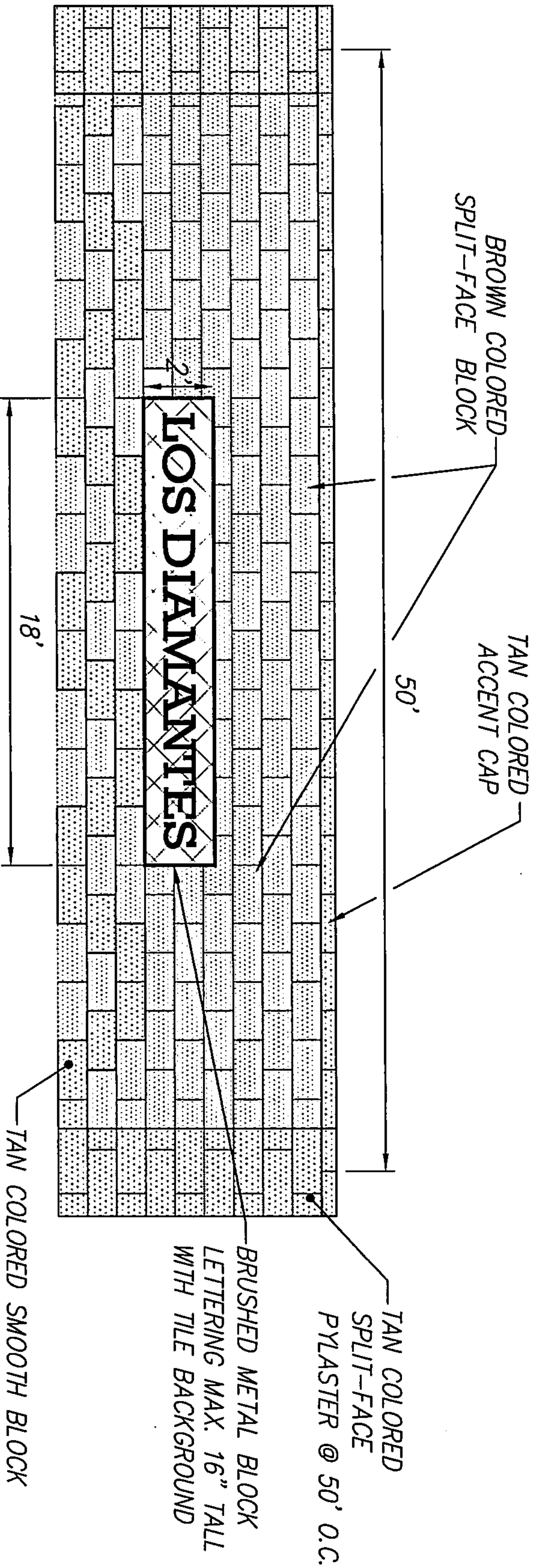
DLH/dlh

PROJECT: 1010332
 DATE: 4-22-05 (WALL EX)



TYPICAL WALL ELEVATION
 FACING 98TH STREET SW AND BLAKE ROAD SW
 (SHOWING ENTRY SIGN) NTS

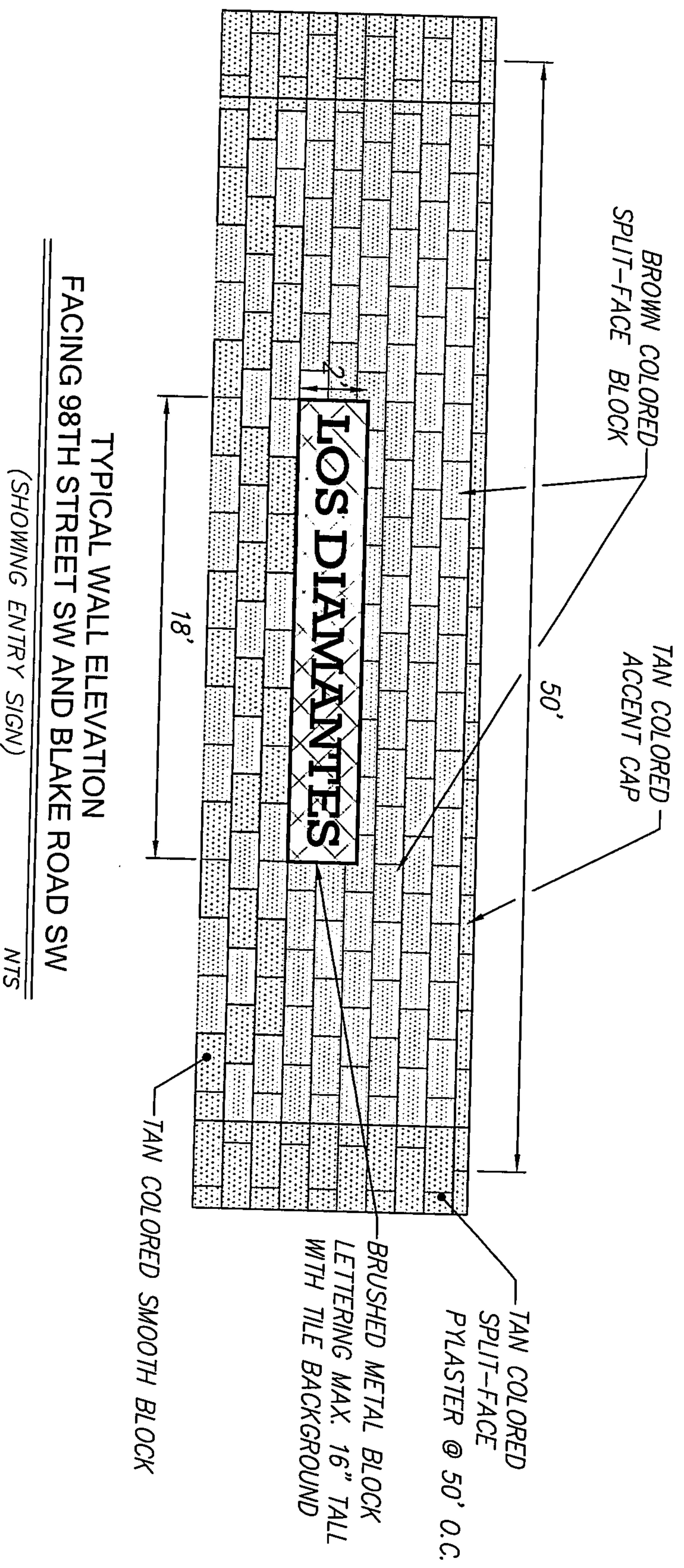
LOS DIAMANTES	
WALL EXHIBIT	
	
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539	



TYPICAL WALL ELEVATION
 FACING 98TH STREET SW AND BLAKE ROAD SW
 (SHOWING ENTRY SIGN)
 NTS

LOS DIAMANTES
WALL EXHIBIT

dmj
 MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539



LOS DIAMANTES
WALL EXHIBIT

dmj
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-0572

FIGURE 12

Current DRC
Project Number: _____

Date Submitted: 5/8/2015
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1010332
DRB Application No.: _____

INFRASTRUCTURE LIST

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Los Diamantes Subdivision & Site Plan for Building Permit

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**Tract 34D-1-A, LANDS OF SALAZAR FAMILY TRUST, JSJ, INVESTMENT
COMPANY AND FALBA HANNETT AND LANDS OF CURB INC.**

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement PAVING	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	26' FF	Perm Pvmt C&G (both sides)	Del Timbre Lane SW	End stub Road Lot 22, Block 1	Saddlehorn Trail SW	/	/	/
<input type="text"/>	<input type="text"/>	4'	Sidewalk (west side only)				/	/	/
<input type="text"/>	<input type="text"/>	26' FF	Perm Pvmt C&G (both sides)	Del Timbre Lane SW	Saddlehorn Trail SW	Range Trail SW	/	/	/
<input type="text"/>	<input type="text"/>	4'	Sidewalk (both sides) (1)				/	/	/
<input type="text"/>	<input type="text"/>	28' FF	Perm Pvmt C&G (both sides)	Del Timbre Lane SW	Range Trail SW	Gold Dust Way SW	/	/	/
<input type="text"/>	<input type="text"/>	4'	Sidewalk (both sides) (1)				/	/	/
<input type="text"/>	<input type="text"/>	28' FF	Perm Pvmt C&G (both sides)	Gold Dust Way SW	Del Timbre Lane SW	Sorral Way SW	/	/	/
<input type="text"/>	<input type="text"/>	4'	Sidewalk (both side) (1)				/	/	/
<input type="text"/>	<input type="text"/>	28' FF	Perm Pvmt C&G (both sides)	Sorral Way SW	Gold Dust Way SW	Range Trail SW	/	/	/
<input type="text"/>	<input type="text"/>	4'	Sidewalk (both side) (1)				/	/	/
<input type="text"/>	<input type="text"/>	26' FF	Perm Pvmt C&G (both sides)	Sorral Way SW	Range Trail SW	Saddlehorn Trail SW	/	/	/
<input type="text"/>	<input type="text"/>	4'	Sidewalk (both side) (1)				/	/	/

WATER (2W Zone)

12"	Waterline	Gibson Blvd.	Tract A Easement	Existing 12" WL 98th Street
8"	Waterline	Range Trail SW	Existing 12" WL at Blake Road	Del Timbre Lane SW
8"	Waterline	Del Timbre Lane SW	Range Trail SW	Saddlehorn
4"	Waterline	Del Timbre Lane SW	Saddlehorn Trail SW	End Stub Lot 22, Block 1
8"	Waterline	Saddlehorn Trail SW	Del Timbre Lane SW	Tract B Easement
8"	Waterline	Tract B Easement	Saddlehorn	Tract A Easement
8"	Waterline	Tract A Easement	Tract B Easement	Gibson Blvd
12"	Waterline	Gibson Blvd.	Tract A Easement	Existing 20" WL Blake Road

SANITARY SEWER

8"	Sanitary Sewer	Cochise Lane SW	Gold Dust Way SW	Existing 8" SAS at 98th Street
8"	Sanitary Sewer	Gold Dust Way SW	Del Timbre Lane SW	Sorral Way SW
8"	Sanitary Sewer	Sorral Way SW	Gold Dust Way SW	Saddlehorn Trail SW
8"	Sanitary Sewer	Saddlehorn Trail SW	Sorral Way SW	Del Timbre Lane SW
8"	Sanitary Sewer	Del Timbre Lane SW	Gold Dust Way SW	Lot 22 End Del Timbre Lane SW

DRAINAGE

Per design	Inlet	Gold Dust Way SW		
30"	Storm Drain	Tract B Easement	Gold Dust Way SW	Pond
Per design	Outfall Structure	Pond		
30"	Storm Drain	Tract B Easement	Pond	Exist 30" Storm Drain at Blake Road

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Private Inspector P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/
<input type="text"/>	<input type="text"/>						/	/
Approval of Creditable Items:							Approval of Creditable Items:	
Impact Fee Administrator Signature							City User Dept. Signature	
Date							Date	

- 1 Deferred sidewalk to comply with approved sidewalk exhibit
- 2 Waterline infrastructure to include valves, fittings, service connections and fire hydrants
- 3 Storm Drain Infrastructure to include manholes and inlets
- 4 Grading & Drainage Certification required per DPM (Prior to release of Financial Guaranty) to include retaining walls as defined on the approved Grading Plan
- 5 SAS Infrastructure include manholes and service connections.
- 6 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
----------------------	--

Diane Hoelzer, PE
 NAME (print)
 MARK GOODWIN & ASSOCIATES
 FIRM
Diane Hoelzer 5-8-15
 SIGNATURE - date
 MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: N/A

 DRB CHAIR - date

 TRANSPORTATION DEVELOPMENT - date

 UTILITY DEVELOPMENT - date

 CITY ENGINEER - date

 PARKS & GENERAL SERVICES - date

 AMAFCA - date
 _____ - date
 _____ - date

DESIGN REVIEW COMMITTEE REVISIONS
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1010332

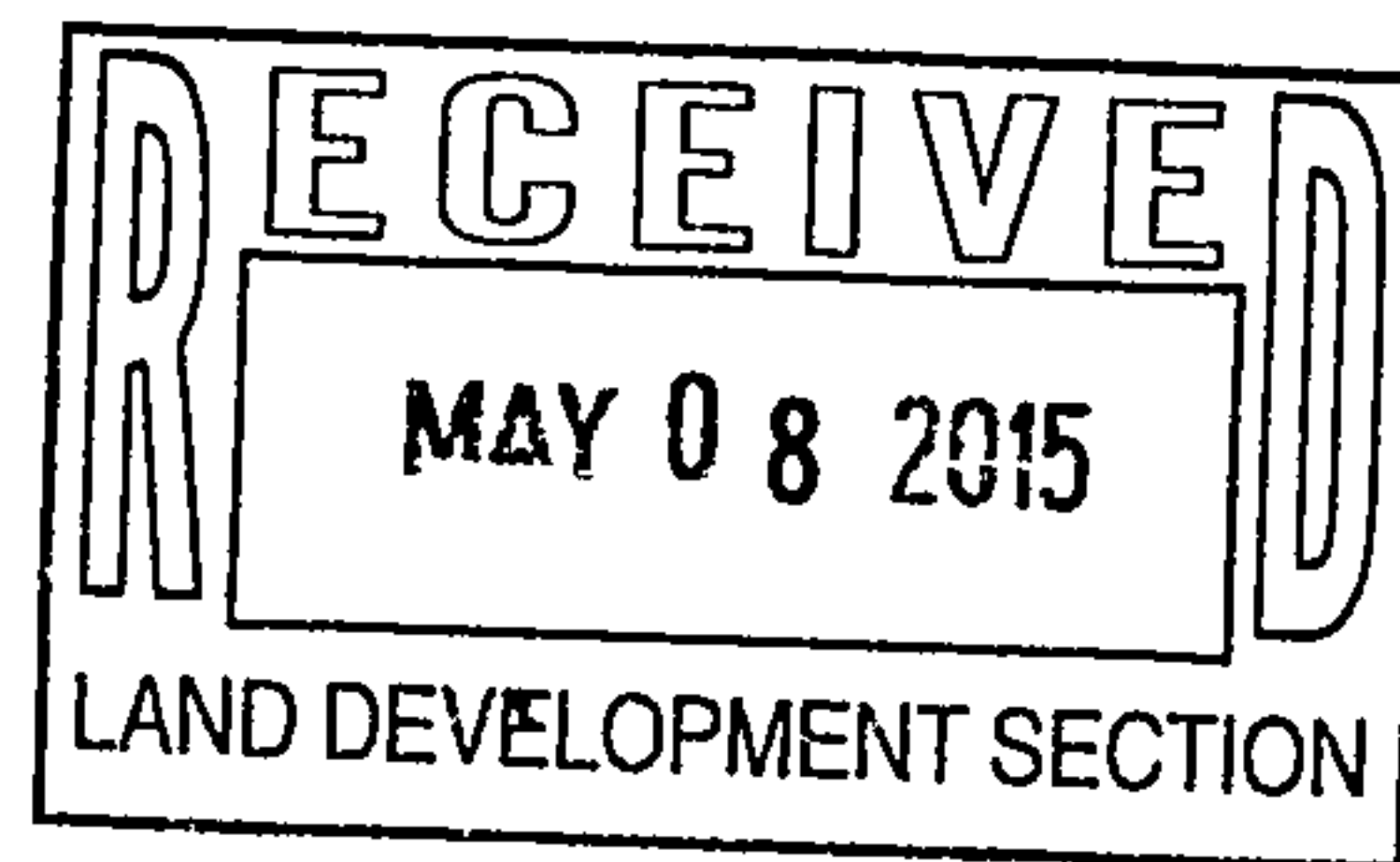
TO: Application No. 15 DRB 20139, 20140, 20155
 ALL MEMBERS

- Jack Cloud, DRB Chairman, Planning Department
 Rita Harmon, P.E., Hydrology
 Racquel Michel, P.E., Transportation Development
 Kris Cadena, P.E., Albuquerque/ Bernalillo Co. WUA
 Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: May 13, 2015

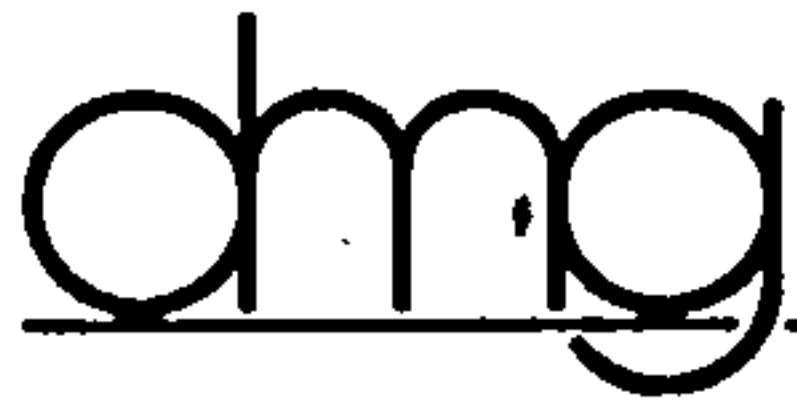
NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Preliminary Plat (5)
Site Development Plan (5)
Infrastructure List (5)
Letter for Jack Cloud (1)



CONTACT NAME: Diane Hoelzer

TELEPHONE: 828-2200 EMAIL: diane@goodwinengineers.com



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

*~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~*

May 8, 2015

Mr. Jack Cloud
DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: Los Diamantes Subdivision - DRB Case 1010332
Request for Approval of the
Los Diamantes Development Plan for Subdivision (EPC approved)**

Dear Mr. Cloud:

The Los Diamantes Site Development Plan for Subdivision was recently approved at EPC on March 13, 2015 with 13 conditions of approval. I met with Catalina Lehner on Mark 25 to ensure that all conditions of approval were met. The changes were made as discussed and a submittal was made to DRB for review and approval.

I received additional comments at the April 22 DRB hearing from Catalina Lehner dated April 21, 2015. The following is the response to those comments:

Site Development Plan for Subdivision:

- 1) Note: The addition of all the detailed labeling was in response to EPC comments (9. A.-I.) from Transportation Planning Staff.
- 2) As we previously discussed I added a typical detail showing the interface between the retaining wall and perimeter wall on the SDP for subdivision and the conceptual grading plan. For further clarification a note has been added that the entire site circumference will have a perimeter wall constructed, including the boundary between the commercial and residential portion.

Landscape Plan for Subdivision:

- 1) The drawing date at the bottom of the page is for our internal office tracking. The latest revisions date for this drawing is shown on the middle of the right side of the page.
- 2) The Landscaping legend changed with some of the shrubs deleted because they can no longer be used because of the change in geometry along Blake Road, there is less right of way area for landscaping so these kinds of plants can't be used. Also, the number and types of plants that can be used has changed because the detention pond has been reconfigured as required for drainage purposes and the original number and types of plants has thus changed. The pond has gotten deeper and there may be standing water in the bottom of the pond for an undefined period of time so landscaping in the bottom of the pond may not be a viable landscape design. Until the drainage report is reviewed and approved, the type of landscaping that may be sustainable at the bottom of a pond cannot be determined.

- 3) The landscape ordinance is in the process of being changed and as soon as City Council approves the Ordinance change the "75% Live Ground Cover" note will no longer correct.

Residential Design Standards:

- 1) Lettering order on sheet 3 II Building Heights has been corrected.
- 2) Corrections made under III. Setbacks A. and B.
- 3) Comment on Landscape Legend noted.
- 4) Process, this has been corrected on sheet 4.
- 5) The seven diagrams were added at request of DRB transportation representative.

Commercial Design Standards:

- 1) Sheet 5, spelling correction noted, "accumulated" changed to "accommodated".
- 2) Sheet 6, Section X deleted, and PNM notes added as H. and I. under Section VIII.

Grading and Drainage Plan:

- 1) The original conceptual grading and drainage plan has been reinstated.

Utility Plan:

- 1) The original conceptual Utility Plan has been reinstated.

Other:

- 1) Noted.
- 2) Noted.
- 3) Noted.

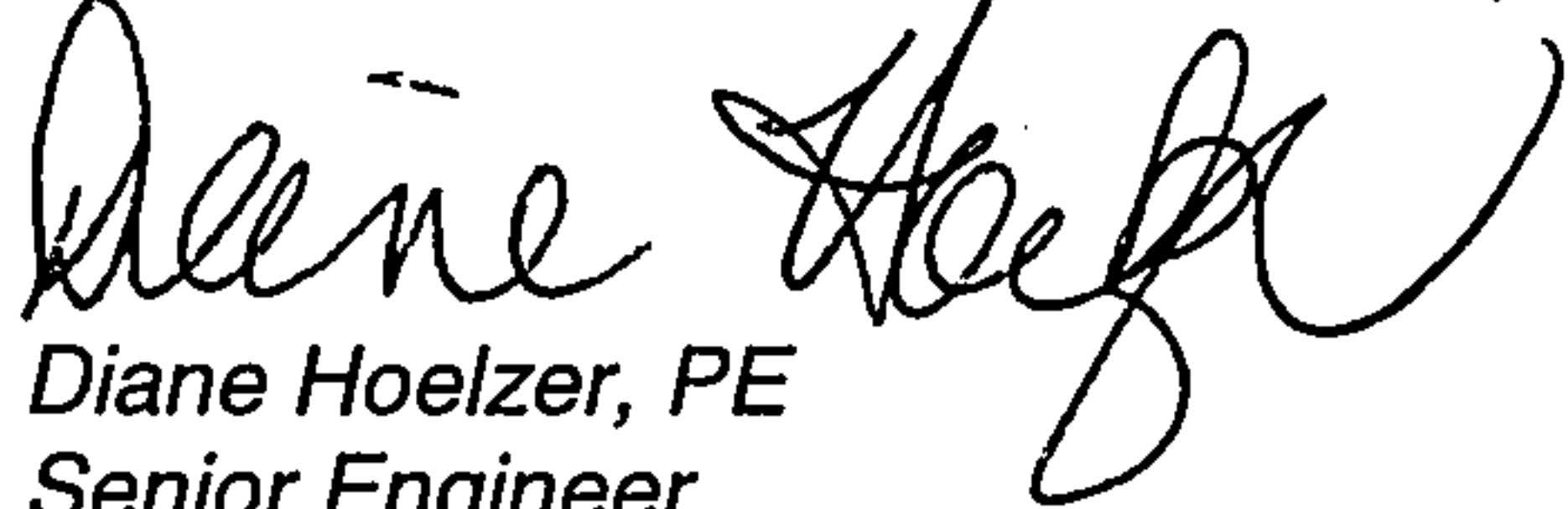
Additional explanations for changes resulting from DRB staff review:

- 1) The side yard 15' waterline easement was removed on Lot 2 Block 2.
- 2) Tracts C thru F were changed to easements.
- 3) Sheet 3 IV Landscape note 4 revised so it does not conflict with note 8.
- 4) Waterline easement in Tract A was removed because the waterline is being located in Gibson ROW.

Please contact our office if you have any questions or comments.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA



Diane Hoelzer, PE
Senior Engineer

DLH/dlh

Attachments



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1010332

TO: Application No. 15 DRB-70139, 70140, 70155

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Rita Harmon, P.E., Hydrology

Racquel Michel, P.E., Transportation Development

Kris Cadena, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: August 12, 2015

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Infrastructure List, Preliminary, Plat, Grading
Plan, SDP for subdivision, Sidewalk Exhibit



CONTACT NAME: Diane Hoelzer

TELEPHONE: 828-2200 EMAIL: diane@goodwinengineers.com

SIDEWALK EXHIBIT - LOS DIAMANTES DRB 1010332

TRACT E-3-A-2
ALBUQUERQUE SOUTH, UNIT 3
(08-03-2010, 2010C-090)

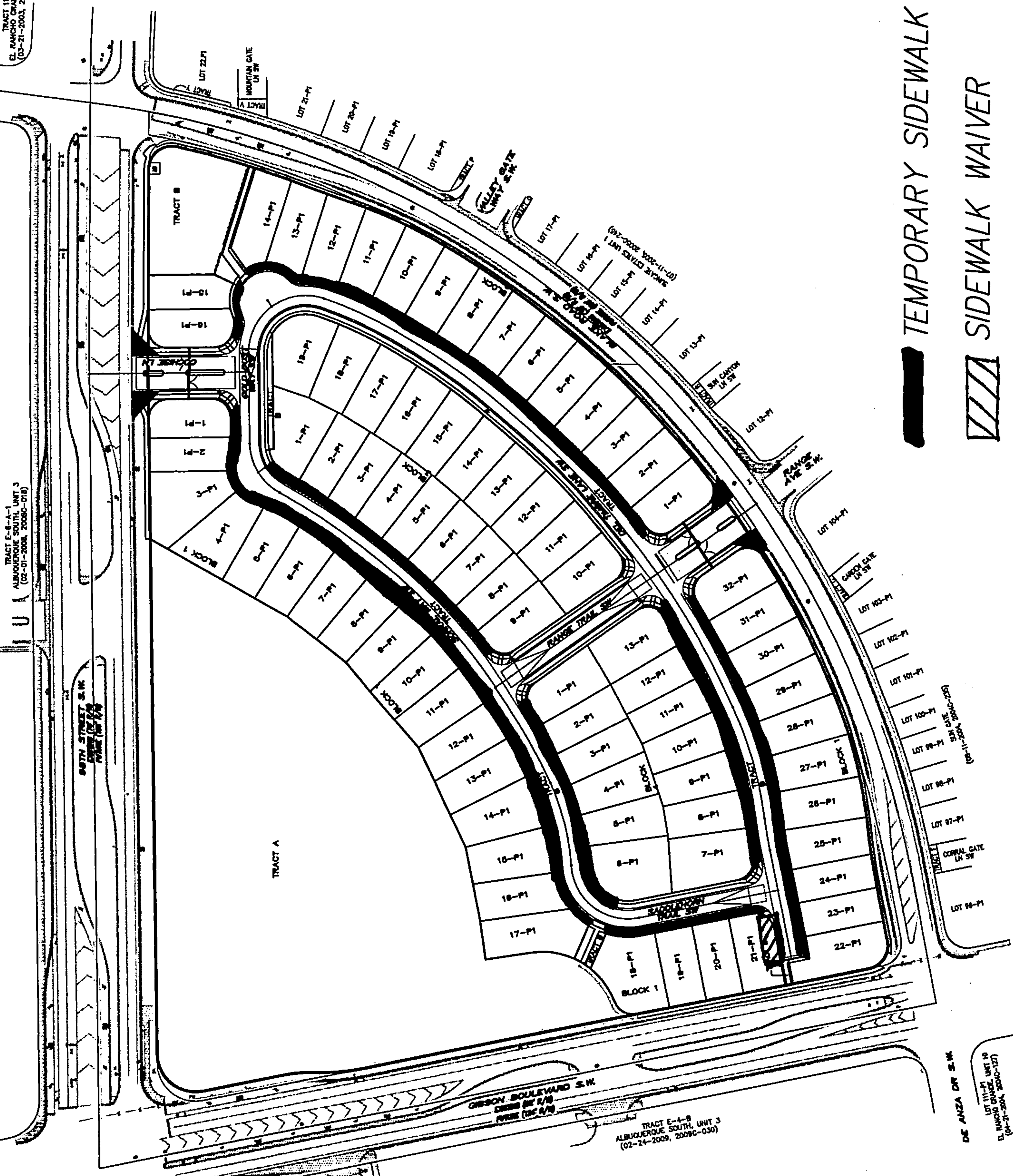
TRACT E-3-A-1
ALBUQUERQUE SOUTH, UNIT 3
(02-01-2008, 2008C-016)

TRACT 11-A
E. RANCHO GRANDE, UNIT 1
(03-21-2003, 2003C-073)

TRACT E-4-A-1
ALBUQUERQUE SOUTH, UNIT 3
(04-21-2009, 2009C-081)

TRACT E-4-B
ALBUQUERQUE SOUTH, UNIT 3
(02-24-2009, 2009C-030)

DE ANZA DR S.W.
LOT 111-P1 UNIT 10
E. RANCHO GRANDE, UNIT 10
(04-21-2004, 2004C-127)



TEMPORARY SIDEWALK DEFERRAL
SIDEWALK WAIVER

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Los Diamantes Subdivision & Site Plan for Building Permit

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 34D-1-A, LANDS OF SALAZAR FAMILY TRUST, JSJ, INVESTMENT COMPANY AND FALBA HANNETT AND LANDS OF CURB INC.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.


SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			PAVING						
		26' FF	Perm Pvmt	Del Timbre Lane SW	End stub Road	Saddlehorn Trail SW	/	/	/
			C&G (both sides)		Lot 22, Block 1				
		4'	Sidewalk (west side only)				/	/	/
		26' FF	Perm Pvmt	Del Timbre Lane SW	Saddlehorn Trail SW	Range Trail SW	/	/	/
			C&G (both sides)						
		4'	Sidewalk (both sides) (1)				/	/	/
		28' FF	Perm Pvmt	Del Timbre Lane SW	Range Trail SW	Gold Dust Way SW	/	/	/
			C&G (both sides)						
		4'	Sidewalk (both sides) (1)				/	/	/
		28' FF	Perm Pvmt	Gold Dust Way SW	Del Timbre Lane SW	Sorral Way SW	/	/	/
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			C&G (both sides)						
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			C&G (both sides)						
		4'	Sidewalk (both side) (1)				/	/	/

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							Private Inspector P.E.		City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

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AGENT / OWNER

Diane Hoelzer, PE
 NAME (print)
 MARK GOODWIN & ASSOCIATES
 FIRM

 SIGNATURE - date
 MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: N/A

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

_____	_____
DRB CHAIR - date	PARKS & GENERAL SERVICES - date
_____	_____
TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
_____	_____ - date
UTILITY DEVELOPMENT - date	
_____	_____ - date
CITY ENGINEER - date	

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER