



Supplemental form

SUBDIVISION

- ☒ Major Subdivision action
☐ Minor Subdivision action
☐ Vacation
☐ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ☐ for Subdivision
☐ for Building Permit
☐ Administrative Amendment (AA)
☐ IP Master Development Plan
☐ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- ☐ Annexation
☐ County Submittal
☐ EPC Submittal
☐ Zone Map Amendment (Establish or Change Zoning)
☐ Sector Plan (Phase I, II, III)
☐ Amendment to Sector, Area, Facility or Comprehensive Plan
☐ Text Amendment (Zoning Code/Sub Regs)
☐ Street Name Change (Local & Collector)
☐ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

D L A APPEAL / PROTEST of...

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc (Scott Steffen) PHONE: (505) 823-1000
 ADDRESS: Courtyard I, 7500 Jefferson St NE FAX: (505) 798-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: ssteffen@bhinc.com

APPLICANT: Woodmont Paseo, LLC (Rick Beltramo) PHONE: (505) 639-4798
 ADDRESS: 6330 Riverside Plaza Lane #160 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: rbeltramo@gcinm.com
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Preliminary Plat, Vacation of Public Easement, Temporary Deferral/Waiver of Sidewalk Construction, for Durango Unit 1

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☒ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts 7 and 8 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: The Trails Unit 3A
 Existing Zoning: VTML/VTRD Proposed zoning: VTML/VTRD MRGCD Map No _____
 Zone Atlas page(s): C9 UPC Code: 100906410722730204

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1004404-15DRB-70048

CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? ☐ No
 No. of existing lots: 2 No. of proposed lots: 37 Total area of site (acres): 30.21
 LOCATION OF PROPERTY BY STREETS: Woodmont Avenue
 Between: Rainbow Boulevard and Paseo del Norte

Check-off if project was previously reviewed by Sketch Plat/Plan ☐, or Pre-application Review Team ☐. Date of review: _____

SIGNATURE Scott Steffen DATE 3/6/15
 (Print) SCOTT J STEFFEN Applicant: ☐ Agent: ☒
 Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date _____			\$ _____

Project # _____

Planner signature / date _____

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

☒ MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- ___ 5 Acres or more: Certificate of No Effect or Approval
- ___ Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- ___ Proposed Infrastructure List
- ___ Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- ___ Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Property owner's and City Surveyor's signature on the proposed plat
- ___ FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Signed Pre-Annexation Agreement if Annexation required.
- ___ TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

☐ MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- ___ Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

☐ MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Plat or plan reduced to 8.5" x 11"
- ___ Official D.R.B. Notice of the original approval
- ___ Approved Infrastructure List. If not applicable, please initial. _____
- ___ Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ List any original and/or related file numbers on the cover application
- ___ Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SCOTT STEFFEN
Applicant name (print)
Scott Steffen 3/6/15
Applicant signature / date



Form revised October 2007

- | | |
|--|--------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers |
| <input type="checkbox"/> Fees collected | _____ |
| <input type="checkbox"/> Case #s assigned | _____ |
| <input type="checkbox"/> Related #s listed | _____ |

Project # _____
Planner signature / date _____

FORM V: SUBDIVISION VARIANCES & VACATIONS

- ☐ BULK LAND VARIANCE (DRB04)
- (PUBLIC HEARING CASE)
- Application for Minor Plat on FORM S-3, including those submittal requirements.

Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.

Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)

Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

Sign Posting Agreement

Fee (see schedule)

List any original and/or related file numbers on the cover application

24 copies

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.
- ☒ VACATION OF PUBLIC EASEMENT (DRB27)
- ☐ VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket)

(Not required for City owned public right-of-way.)

Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11")

Zone Atlas map with the entire property(ies) clearly outlined

Letter briefly describing, explaining, and justifying the request

Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

Sign Posting Agreement

Fee (see schedule)

List any original and/or related file numbers on the cover application

24 copies

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.
- ☐ SIDEWALK VARIANCE (DRB20)
- ☒ SIDEWALK WAIVER (DRB21)
- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")

Zone Atlas map with the entire property(ies) clearly outlined

Letter briefly describing, explaining, and justifying the variance or waiver

List any original and/or related file numbers on the cover application

6 copies

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.
- ☐ SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)
- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14")

Zone Atlas map with the entire property(ies) clearly outlined

Letter briefly describing, explaining, and justifying the variance

Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

Sign Posting Agreement

Fee (see schedule)

List any original and/or related file numbers on the cover application

24 copies

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.
- ☒ TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)
- ☐ EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)
- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14")

Zone Atlas map with the entire property(ies) clearly outlined

Letter briefly describing, explaining, and justifying the deferral or extension

List any original and/or related file numbers on the cover application

6 copies

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.
- ☐ VACATION OF PRIVATE EASEMENT (DRB26)
- ☐ VACATION OF RECORDED PLAT (DRB29)
- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14")

Scale drawing showing the easement to be vacated (8.5" by 11")

Zone Atlas map with the entire property(ies) clearly outlined

Letter/documents briefly describing, explaining, and justifying the vacation

Letter of authorization from the grantors and the beneficiaries (private easement only)

Fee (see schedule)

List any original and/or related file numbers on the cover application

6 copies

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.
- I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.
- SCOTT J STEFFEN

Applicant name (print)

3/10/15

Applicant signature / date
-
- ☐ Checklists complete

☐ Fees collected

☐ Case #s assigned

☐ Related #s listed

Application case numbers

Form revised 4/07

Planner signature / date

Project #

March 6, 2015

Jack Cloud, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Re: Durango Unit 1 – Preliminary Plat, Vacation of Public Easement, Sidewalk Deferral/Waiver
(DRB 1004404)

Dear Mr. Cloud:

Enclosed for Development Review Board (DRB) preliminary plat review and comment are copies of the following information:

- Application for Development Review
- Twenty-four (24) copies each of the Preliminary Plat and Grading Plan
- Twenty-four (24) copies of the Infrastructure List
- Six (6) copies of Sidewalk Deferral/Waiver (Exhibit B)
- Twenty-four (24) copies of Vacation Action Exhibit (Exhibit C)
- Certificate of No Effect
- Letter from the Office of Neighborhood Coordination
- DR/WS and TIS forms
- Three (3) copies of the perimeter wall plan (Exhibit D)
- Zone Atlas Map
- Submittal Fees

This preliminary plat is being presented to the Development Review Board for the purpose of obtaining City review and approval. Proposed is a subdivision of Tracts 7 and 8 at the Trails Unit 3A, consisting of 29 single-family residential lots, 6 HOA tracts and 2 remainder parcels on approximately 30.21 acres. Tract 7 is currently zoned SU-2, Volcano Trails Medium Lot Residential (VTML) and Tract 8 is currently zoned SU-2, Volcano Trails Residential Developing Area (VTRD). The site is located south of Woodmont Avenue and west of Rainbow Boulevard and can be accessed from Woodmont Avenue.

Please place these items on the DRB Agenda to be heard on April 1, 2015. Don't hesitate to contact me at 823-1000 with questions or comments.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosures

cc: Rick Beltramo, Wexford Construction

Engineering ▲
Spatial Data ▲
Advanced Technologies ▲



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

November 8, 2007

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s):

Case Number(s):

Agent:

Applicant: Longford Homes, Inc.

Legal Description: The Trails Unit 3

Acreage: 165.59 acres

Zone Atlas Page: C-9

CERTIFICATE OF NO EFFECT: Yes ☒ No ☐

CERTIFICATE OF APPROVAL: Yes ☐ No ☐

SUPPORTING DOCUMENTATION:

NIAF submitted by TRC Solutions dated February 2007 (NMCRI# 103624)

Note: LA 49629 "ikely destroyed by recent construction activity."

SITE VISIT: n/a

RECOMMENDATION(S):

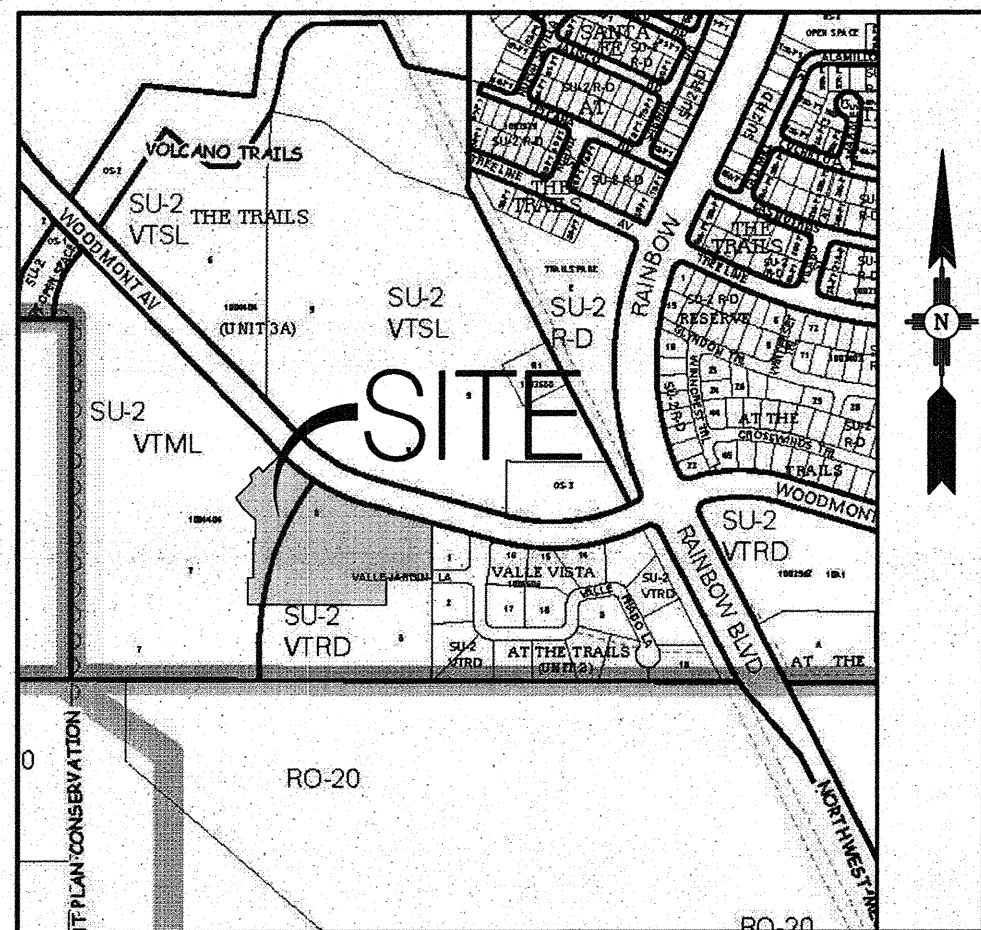
- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 72 Section 4B(1)-- no significant sites in project area; 4B(2)— land disturbance; and 4B(3), information potential exhausted for LA 49629).***

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division

Acting City Archaeologist



NOT TO SCALE VICINITY MAP ZONE ATLAS C-09-Z

KEYED NOTES

- 10' PUBLIC UTILITY EASEMENT. GRANTED BY THIS PLAT.
- EXISTING 10' PUBLIC UTILITY EASEMENT. FILED JUNE 8, 2009 AS DOCUMENT NO. 2009063589
- EXISTING TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE PER PLAT FILED DECEMBER 21, 2007 IN PLAT BOOK 2007C, PAGE 352. (TO BE VACATED)
- EXISTING TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE PER PLAT FILED DECEMBER 21, 2007 IN PLAT BOOK 2007C, PAGE 352. (TO BE VACATED)
- 50' PUBLIC ROADWAY AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE AND 68' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO NMU BY PLAT FILED DECEMBER 21, 2007, IN PLAT BOOK 2007C, PAGE 352
- EXISTING ROADWAY EASEMENT:
46' PUBLIC ROADWAY EASEMENT RESERVED BY THIS PLATTING ACTION TO BE GRANTED IN THE FUTURE: UPON SUBSEQUENT PLATTING OF TRACT 7, OR UPON REQUEST BY THE CITY OF ALBUQUERQUE, OR UPON REQUEST BY THE OWNER OF TRACT C, ANCIENT MESA, OR PROPOSED TRACTS C-1 AND C-2, ANCIENT MESA (DRB PROJECT NO. 1004071).
EXCEPT FOR THE LOCATION OF THIS EASEMENT AS IT RELATED TO THE SOUTH BOUNDARY OF TRACT 7, THE FINAL ALIGNMENT OF THIS EASEMENT WITHIN TRACT 7 AND CONNECTION OF THIS EASEMENT TO WOODMONT AVENUE NW WILL BE DETERMINED AT THE TIME, AS NOTED ON PLAT FILED DECEMBER 21, 2007 IN PLAT BOOK 2007C, PAGE 352.
- PUBLIC DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE TO BE GRANTED WITH THIS PLAT.
- 30' TEMPORARY PUBLIC ROADWAY EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THIS PLAT.
- 30' PUBLIC SANITARY SEWER AND WATER EASEMENT GRANTED TO THE ABCWJA WITH THIS PLAT.

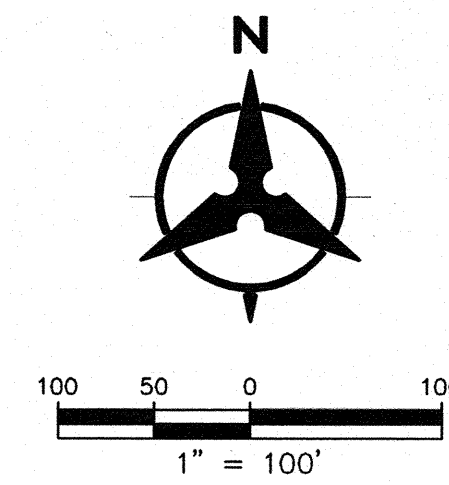
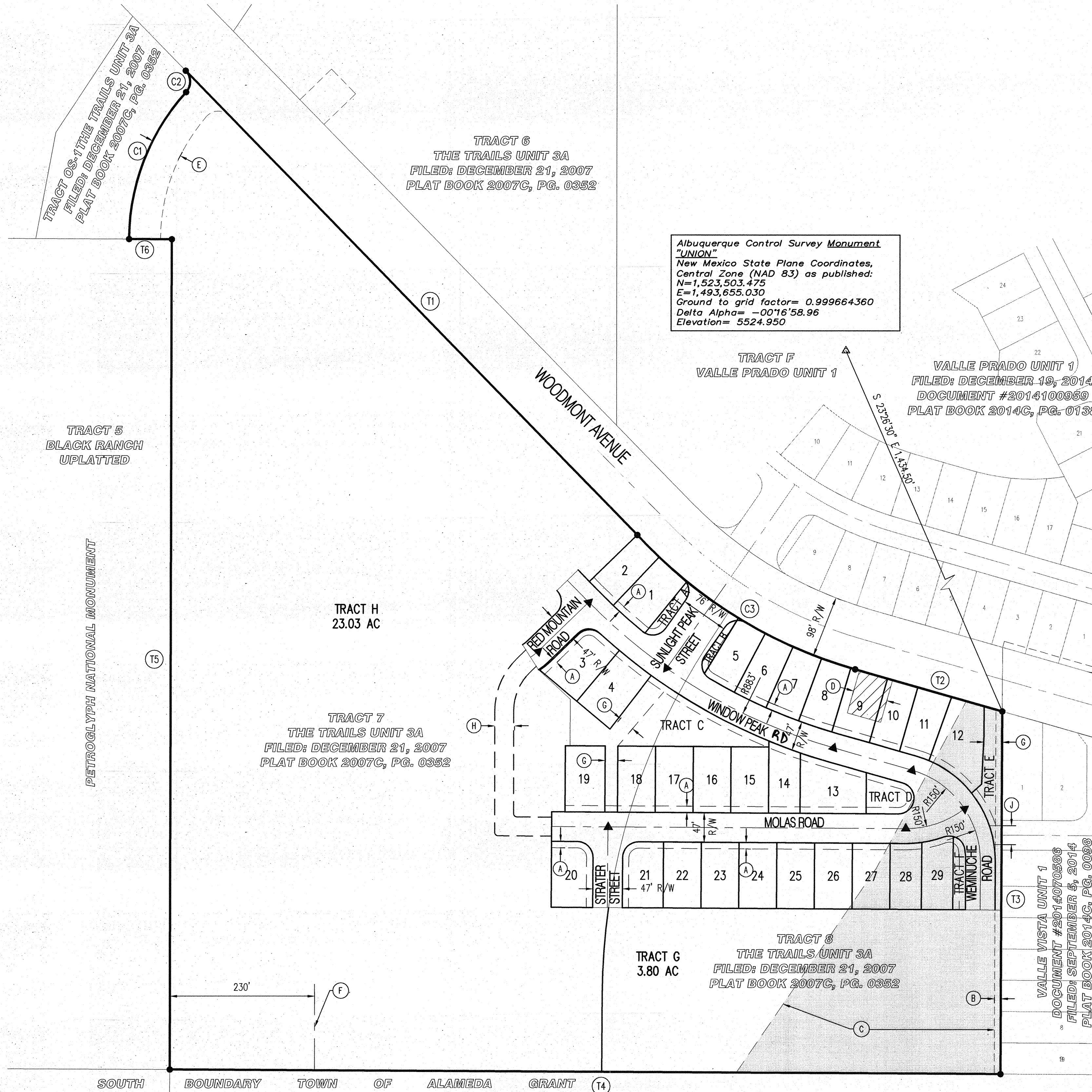
BOUNDARY TANGENT TABLE		
ID	BEARING	LENGTH
T1	N44°10'54"W	1051.77'
T2	N74°04'05"W	243.17'
T3	N00°15'20"E	577.91'
T4	S89°40'27"E	1319.74'
T5	S00°05'57"W	1320.83'
T6	S89°41'41"E	68.00'

BOUNDARY CURVE TABLE				
ID	ARC	RADIUS	DELTA	TANGENT
C1	256.74'	351.33'	41°52'12"	134.41'
C2	37.61'	25.00'	86°11'28"	23.39'
C3	390.69'	749.00'	29°53'10"	199.90'

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT TO BE INSTALLED
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

Thu, 5-Mar-2015 - 11:31:am, Plotted by: RGAUNA
P:\20150324\CDP\Plans\General\Pre-Plat\U1\20150324_Pre-Plat_U1.dwg



PRELIMINARY PLAT FOR DURANGO UNIT 1 LOTS 1-29, TRACTS A-H APRIL 2015

LEGAL DESCRIPTION

Tract 7 & 8 at The Trails Unit 3A Subdivision, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS UNIT 3A WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 21, 2007, in Plat Book 2007C, Page 352, as Document No. 2007171107.

GENERAL NOTES

- EXISTING ZONING:
TRACT 7: SU-2, VTRO, VOLCANO TRAILS RESIDENTIAL DEVELOPING AREA
TRACT 8: SU-2, VTML, VOLCANO TRAILS MEDIUM LOT RESIDENTIAL
PROPOSED ZONING:
TRACT 7: SU-2, VTRO, VOLCANO TRAILS RESIDENTIAL DEVELOPING AREA
TRACT 8: SU-2, VTML, VOLCANO TRAILS MEDIUM LOT RESIDENTIAL
- TOTAL ACREAGE: 30.21 AC
UNIT 1 ACREAGE: 7.18 AC
NUMBER OF LOTS: 29
PROPOSED DENSITY: 4.05 DU/AC
- MIN. LOT DIMENSIONS: 50' X 105'
MINIMUM LOT AREA: 5,250 SQFT
- SEWER AND WATER ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY. STREET AND STORM DRAIN IMPROVEMENTS ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE CITY OF ALBUQUERQUE.
- LOT SETBACKS SHALL CONFORM TO THE VOLCANO TRAILS SECTOR DEVELOPMENT PLAN.
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO WOODMONT AVENUE.
- TRACTS A-F TO BE OWNED AND MAINTAINED BY THE TRAILS COMMUNITY ASSOCIATION, INC.
- TRACT G & H TO BE SUBDIVIDED AS PART OF DURANGO UNIT 2.
- LOTS 13 AND 14 SHALL TAKE ACCESS FROM MOLAS ROAD.

SITE DATA

ZONE ATLAS NO.	C-09-Z
ZONING	SU-2, VTRO & VTML
MILES OF FULL WIDTH STREETS CREATED	0.35 MILES
NO. OF EXISTING TRACTS	2
NO. OF LOTS CREATED	29
NO. OF HOA TRACTS CREATED	6
NO. OF REMAINDER TRACTS CREATED	2

SURVEY NOTES:

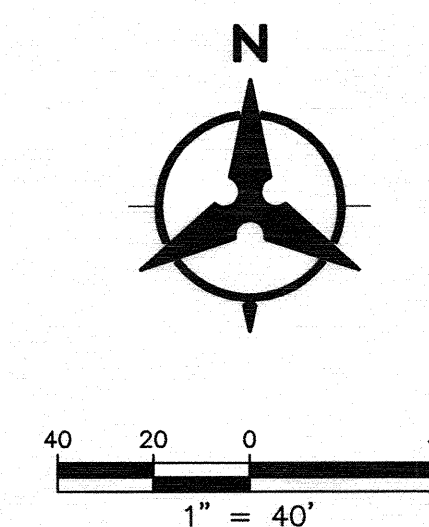
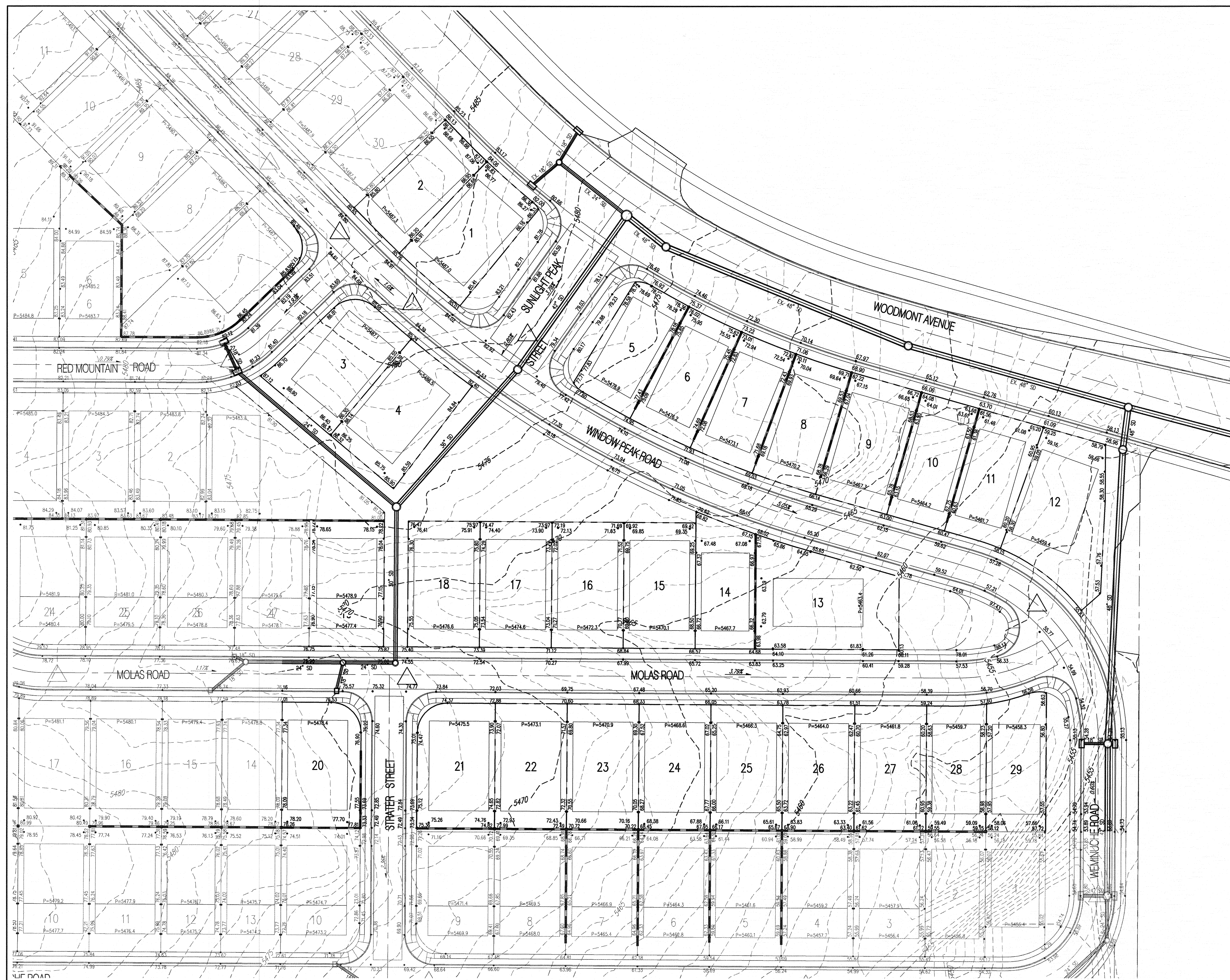
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 9750".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED

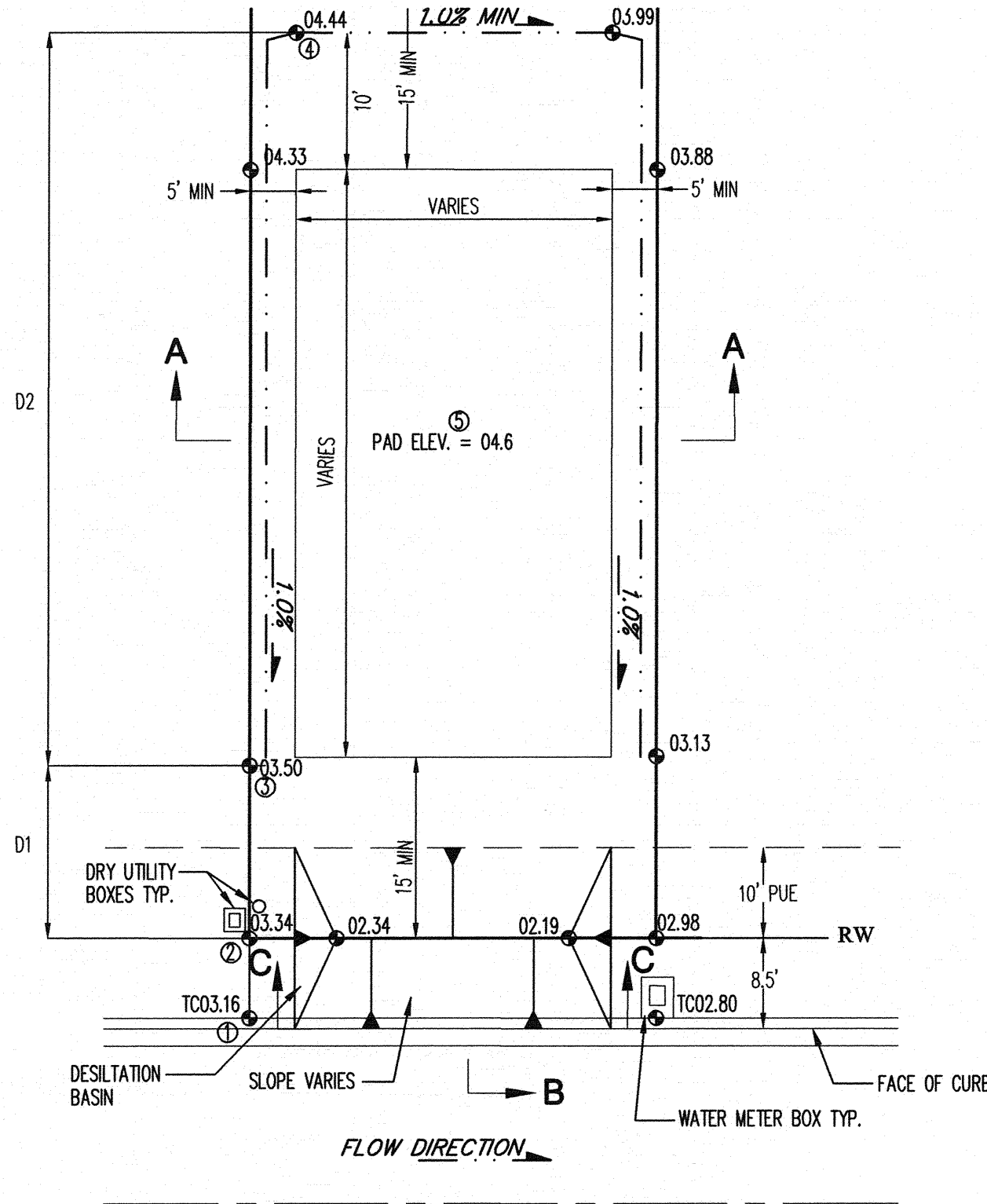
Soren N. Hinchman 7.S. 3/5/15
CITY SURVEYOR DATE

Kelly Calhoun 3/5/15
KELLY CALHOUN DATE
MANAGER, WOODMONT-PASEO, LLC

Bohannon & Huston



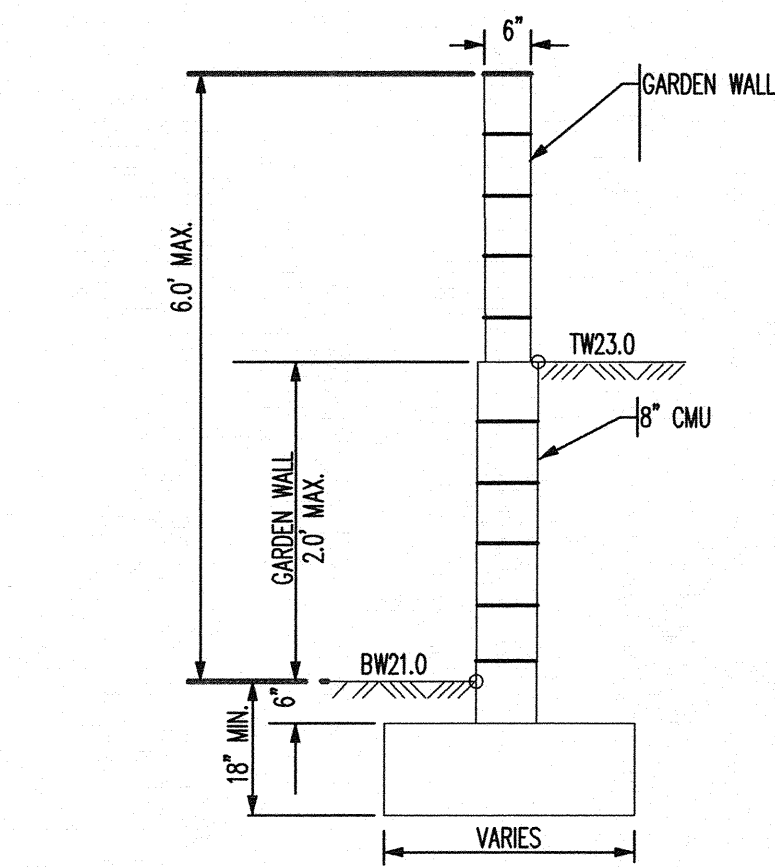
ENGINEER'S SEAL			SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
			FIELD NOTES					
			NO.	BY	DATE		CONTRACTOR	DATE
						ACS MONUMENT STAMPED "UNION"	WORK STARTED BY	DATE
						GEOGRAPHIC POSITION (NAD 83)	ACCEPTANCE BY	DATE
						N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	FIELD ELEVATION BY	DATE
						N = 1,523,503.475 E = 1,493,655.030	DRAWINGS CORRECTED BY	DATE
						GROUND-TO-GRID FACTOR = 0.999864360	MICROFILM INFORMATION	
						$\Delta\alpha = -00^{\circ}16'58.96''$	RECORDED BY	DATE
						NAVD 1988 ELEVATION = 5524.950	NO.	



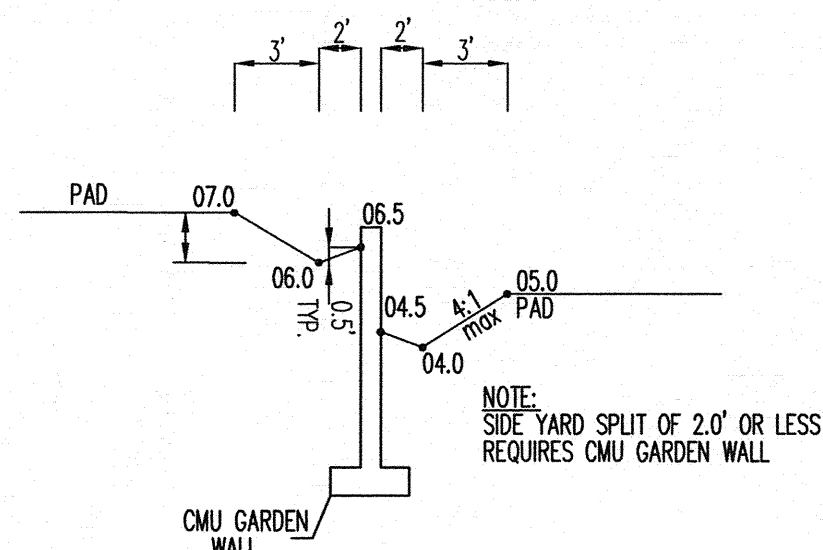
**TYPICAL LOT GRADE DETAIL
WITH DESILITATION BASIN FOR SEDIMENTATION CONTROL**
NOT TO SCALE

TO SET SPOT ② - ADD 0.17' TO SPOT ①
TO SET SPOT ③ - MULTIPLY D1 BY 1.0% AND ADD TO SPOT ②
TO SET SPOT ④ - MULTIPLY D2 BY 1.0% AND ADD TO SPOT ③
TO SET SPOT ⑤ - ADD 0.2' TO SPOT ④

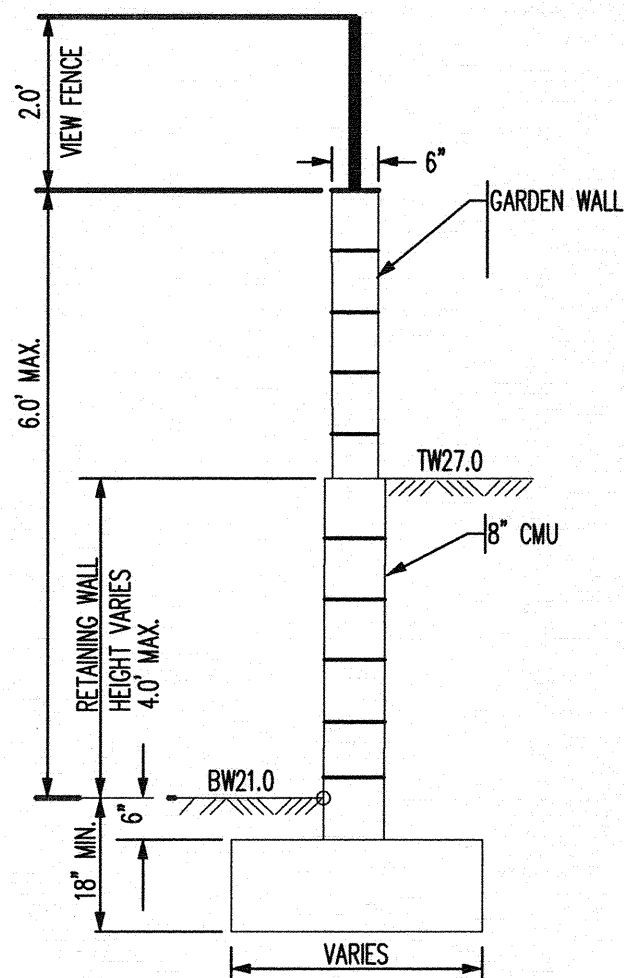
BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.
SEE GRADING PLANS FOR EXACT ELEVATIONS.
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILITATION BASIN AT EACH LOT.



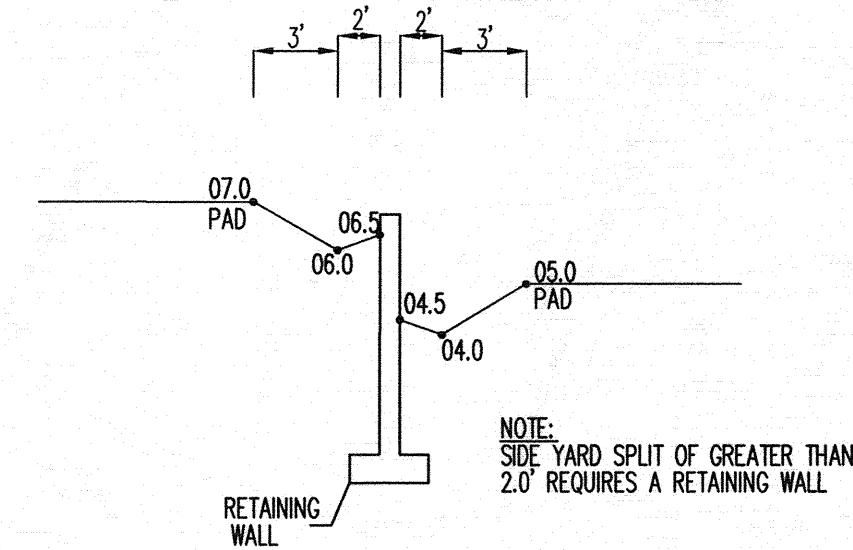
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL
TYPICAL GARDEN WALL NOMENCLATURE
NOT TO SCALE
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN
FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



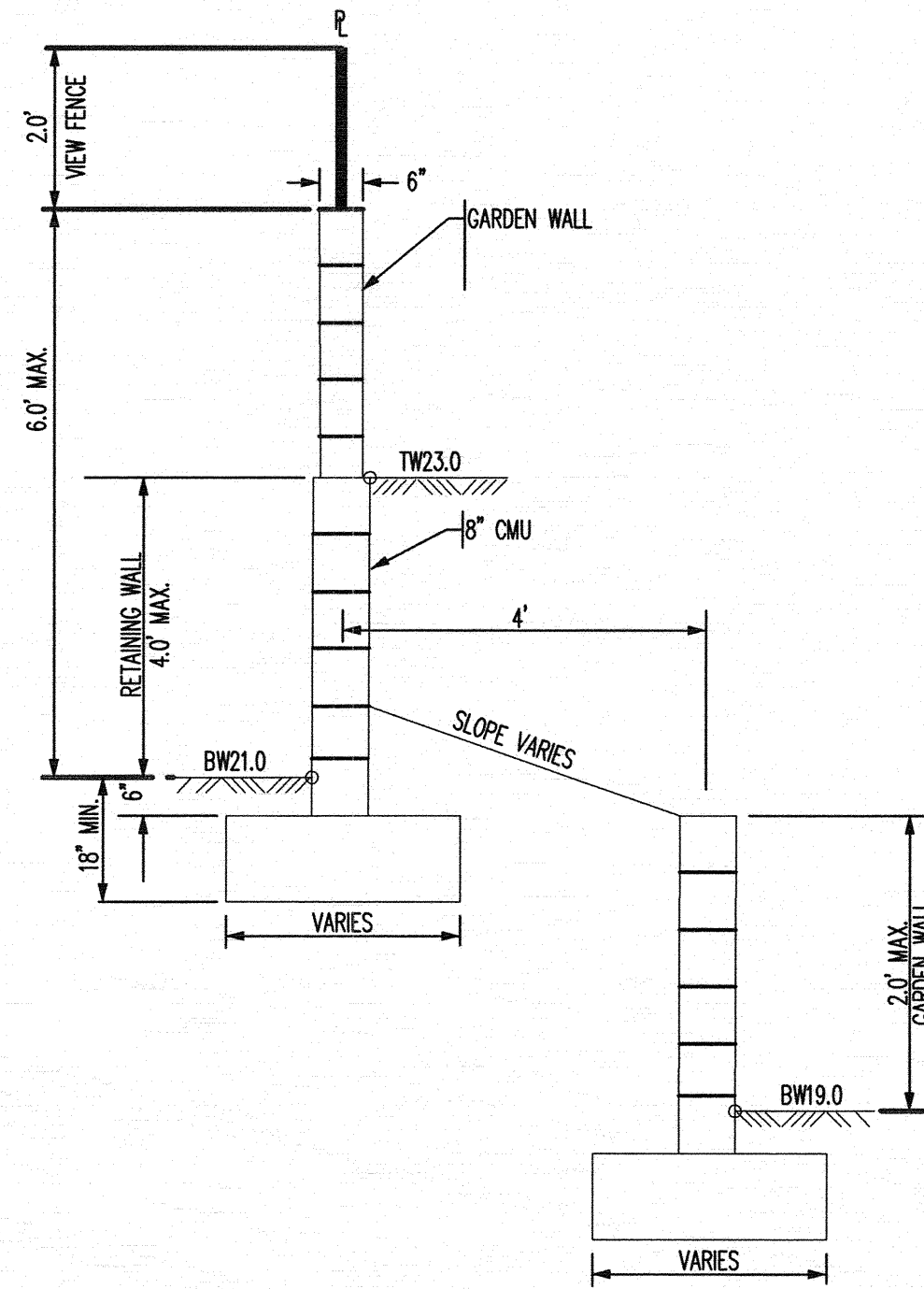
SIDE YARD GARDEN WALL DETAIL
NOT TO SCALE



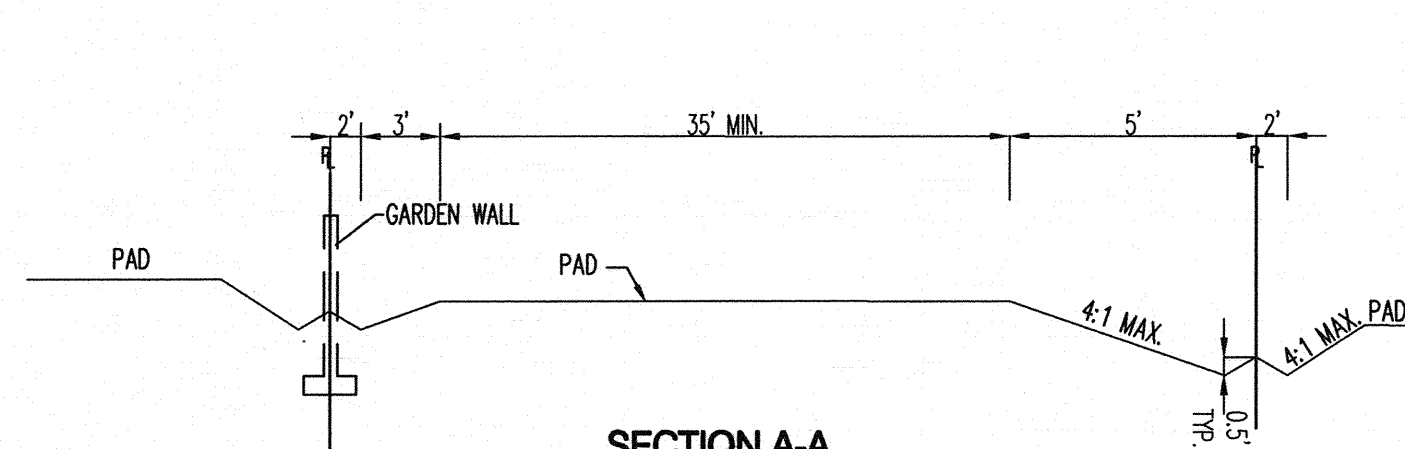
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL
TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN
FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



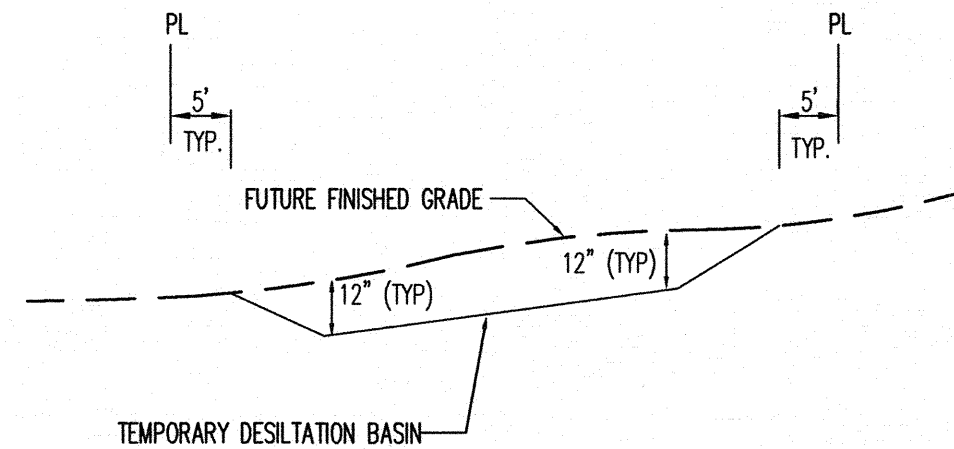
SIDE YARD RETAINING WALL DETAIL
NOT TO SCALE



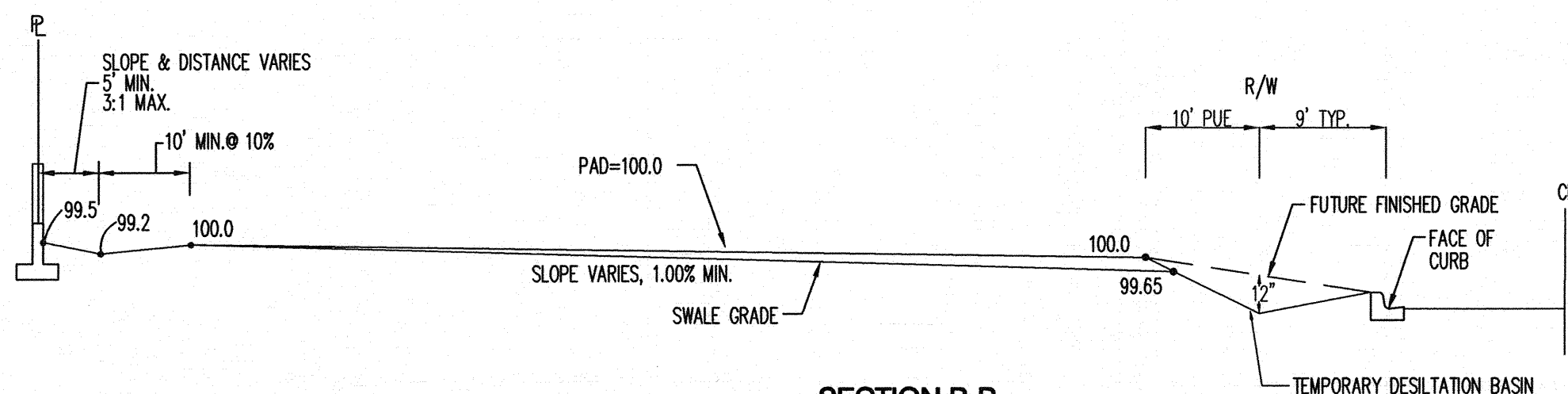
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL
TYPICAL TIERED WALL NOMENCLATURE
NOT TO SCALE
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN
FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



**SECTION A-A
TYPICAL SIDE YARD SWALE**
NOT TO SCALE



**SECTION C-C
TYPICAL SIDE YARD SWALE**
NOT TO SCALE



**SECTION B-B
TYPICAL SIDE YARD SWALE**
NOT TO SCALE

NOTE:

- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
- FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
- HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN		DATE		DATE		DATE	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	DATE	DATE	No.	Date	By	By	DATE	DATE	DATE	DATE	DATE	DATE
ACS MONUMENT STAMPED "UNION"		ACS MONUMENT STAMPED "UNION"															
INSPECTED BY	DATE	INSPECTED BY	DATE														
ACCEPTANCE BY	DATE	ACCEPTANCE BY	DATE														
VERIFICATION BY	DATE	VERIFICATION BY	DATE														
DESIGNED BY	DATE	DESIGNED BY	DATE														
DRAWN BY	DATE	DRAWN BY	DATE														
CHECKED BY	DATE	CHECKED BY	DATE														
NO.		NO.															



Bohannon & Huston
www.bhinc.com 800.877.5332

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

DURANGO

GRADING AND DRAINAGE DETAILS

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
XXXXXX	C-09-Z	5	5	

Current DRC
Project No. _____

Date Submitted: _____ March 6, 2015

Date Site Plan for Bldg Permit Approv _____

Date Site Plan for Sub. Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No. _____

Figure 12

INFRASTRUCTURE LIST

EXHIBIT 'A'
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**DURANGO UNIT 1
(REPLAT OF TRACTS 7 AND 8, AT THE TRAILS UNIT 3A)**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PAVING									
		30' F-EOA	ARTERIAL PAVING W/PCC CURB & GUTTER, PCC 6' WIDE SIDEWALK ON SOUTH SIDE*	WOODMONT AVENUE	300' WEST OF SUNLIGHT PEAK STREET TRACT 6 EAST BOUNDARY	TRACT 8 EAST BOUNDARY	/	/	/
		52' F-F	RESIDENTIAL (NORMAL LOCAL) PAVING W/PCC CURB & GUTTER, PCC 6' WIDE SIDEWALK ON BOTH SIDES*	SUNLIGHT PEAK STREET	WOODMONT AVENUE	WINDOW PEAK ROAD	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES*	WINDOW PEAK ROAD	RED MOUNTAIN ROAD	MOLAS ROAD	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON WEST SIDE*	WEMINUCHE ROAD	MOLAS ROAD	UNIT 1 SOUTH BOUNDARY SOUTH END TRACT F	/	/	/
		24' EOA-EOA	2" AC PAVING TEMPORARY ROADWAY CONNECTION	30' TEMPORARY ROADWAY EASEMENT	RED MOUNTAIN ROAD	MOLAS ROAD	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON EAST SIDE*	RED MOUNTAIN ROAD	WINDOW PEAK ROAD	UNIT 1 SOUTH BOUNDARY SOUTH END TRACT C	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES *	STRATER STREET	MOLAS ROAD	UNIT 1 SOUTH BOUNDARY SOUTH END LOTS 20/21	/	/	/
* SIDEWALKS TO BE BUILT/DEFERRED IN ACCORDANCE W/APPROVED SIDEWALK EXHIBIT									

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<u>PUBLIC STORM DRAIN IMPROVEMENTS</u>									
<input type="text"/>	<input type="text"/>	42" DIA	RCP W/ MH & INLETS	SUNLIGHT PEAK STREET	WOODMONT AVENUE	WINDOW PEAK ROAD	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	24" - 36" DIA	RCP W/ MH & INLETS	TRACT C DRAINAGE EASEMENT	WINDOW PEAK ROAD	MOLAS ROAD	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	24" DIA	RCP W/ MH & INLETS	TRACT C DRAINAGE EASEMENT	RED MOUNTAIN ROAD	TRACT C NORTH/SOUTH STORM DRAIN	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	24" DIA	RCP W/ MH & INLETS	MOLAS ROAD	LOT 20	TRACT C DRAINAGE EASEMENT	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	48" DIA	RCP W/ MH & INLETS	TRACT E DRAINAGE EASEMENT	WOODMONT AVENUE	WEMINUCHE ROAD	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	42" DIA	RCP W/ MH & INLETS	WEMINUCHE ROAD	TRACT E DRAINAGE EASEMENT	UNIT 1 SOUTH BOUNDARY SOUTH END TRACT F	<input type="text"/>	<input type="text"/>	<input type="text"/>
NOTE: CERTIFICATION OF THE GRADING AND DRAINAGE PLAN IS REQUIRED FOR RELEASE OF FINANCIAL GUARANTEES									

<u>PUBLIC WATERLINE IMPROVEMENTS</u>									
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	SUNLIGHT PEAK STREET	WOODMONT AVENUE	WINDOW PEAK ROAD	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WINDOW PEAK ROAD	RED MOUNTAIN ROAD	MOLAS ROAD	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	MOLAS ROAD	LOT 20	WINDOW PEAK ROAD/ WEMINUCHE ROAD	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	STRATER STREET	MOLAS ROAD	UNIT 1 SOUTH BOUNDARY SOUTH END LOTS 20/21	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	RED MOUNTAIN ROAD	WINDOW PEAK ROAD	UNIT 1 SOUTH BOUNDARY SOUTH END TRACT C	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WEMINUCHE ROAD	MOLAS ROAD	UNIT 1 SOUTH BOUNDARY SOUTH END TRACT F	<input type="text"/>	<input type="text"/>	<input type="text"/>

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<u>PUBLIC SANITARY SEWER IMPROVEMENTS</u>									
<input type="text"/>	<input type="text"/>	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	WINDOW PEAK ROAD	RED MOUNTAIN ROAD	MOLAS ROAD	/	/	/
<input type="text"/>	<input type="text"/>	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	MOLAS ROAD	LOT 20	WINDOW PEAK ROAD/ WEMINUCHE ROAD	/	/	/
<input type="text"/>	<input type="text"/>	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	WEMINUCHE ROAD	MOLAS ROAD	UNIT 1 SOUTH BOUNDARY SOUTH END TRACT F	/	/	/
<input type="text"/>	<input type="text"/>	8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	TRACT E SEWER EASEMENT	WEMINUCHE ROAD	EX 8" SEWER STUB WEST OF VALLE VISTA SUBDIVISION	/	/	/



AGENT/OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS			
SCOTT STEFFEN 3/6/2015 PREPARED BY: PRINT NAME DATE		_____ DRB CHAIR DATE		_____ PARKS & GENERAL SERVICES DATE	
BOHANNAN HUSTON, INC. FIRM:		_____ TRANSPORTATION DEVELOPMENT DATE		_____ AMAFCA DATE	
SIGNATURE		_____ ABCWUA DATE		_____ CITY ENGINEER DATE	
MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION <div style="border: 1px solid black; height: 20px; width: 100%; margin-top: 5px;"></div>		_____ DATE			



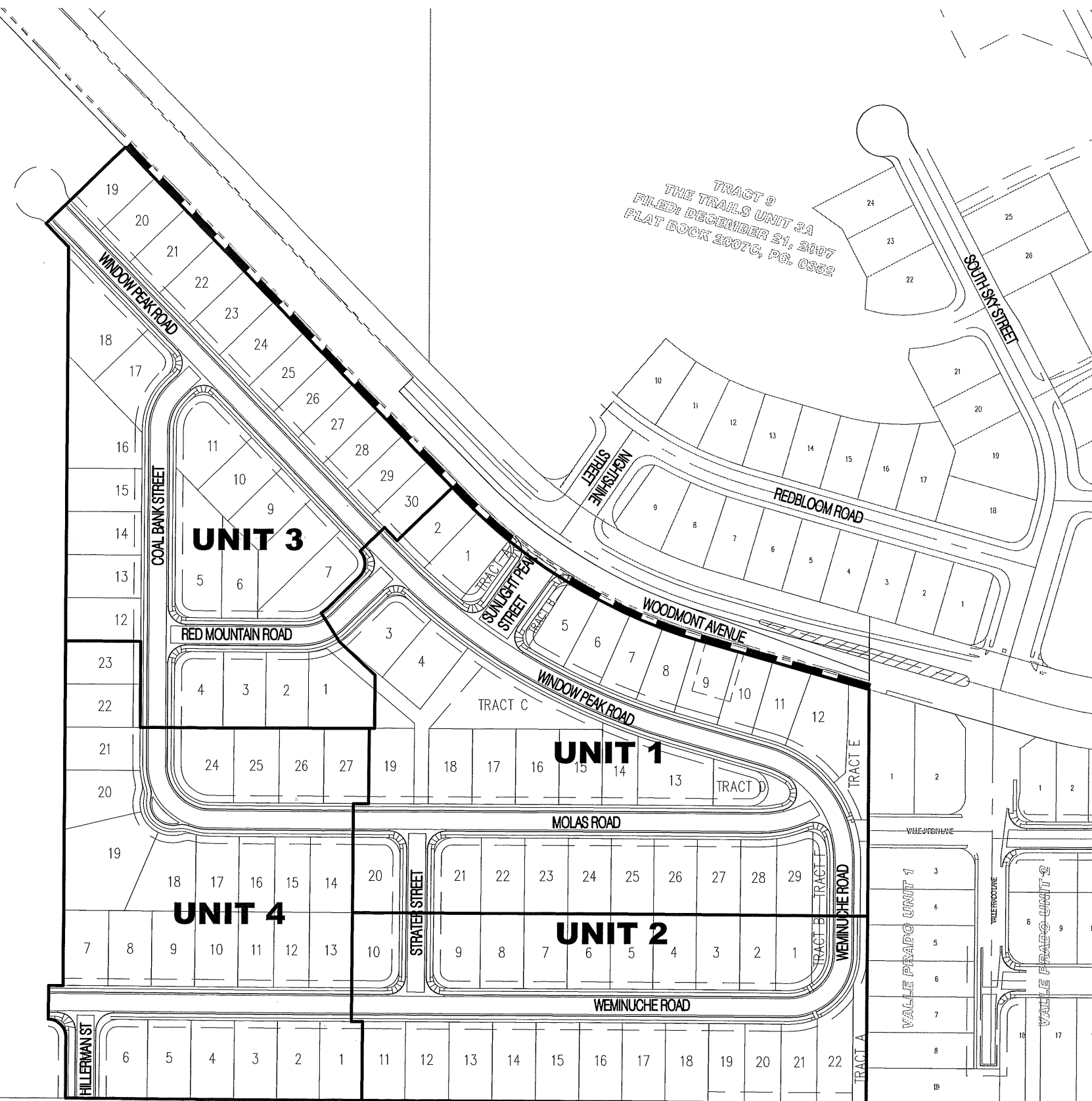
DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

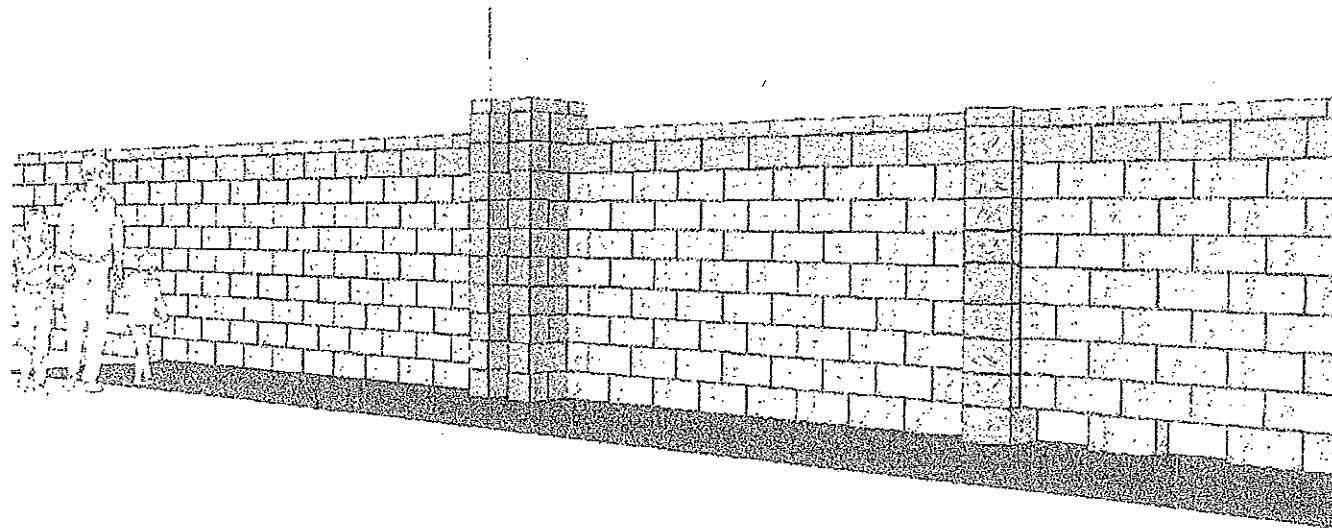
EXHIBIT "D" DURANGO WALL EXHIBIT 03/06/15



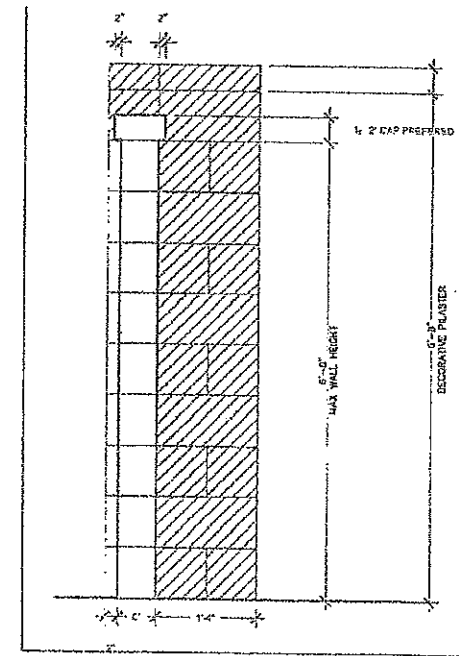
NOT TO SCALE

--- PERIMETER WALL LOCATION

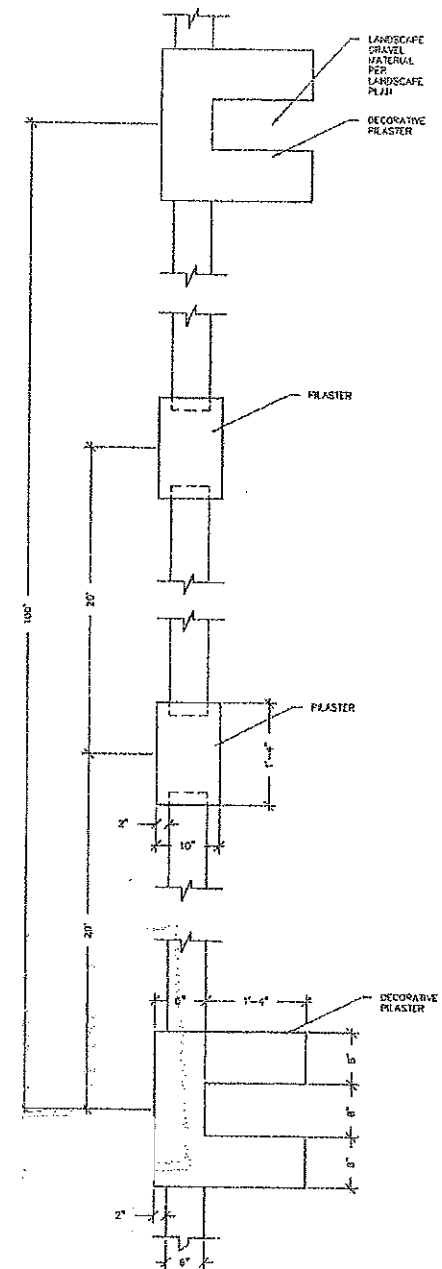




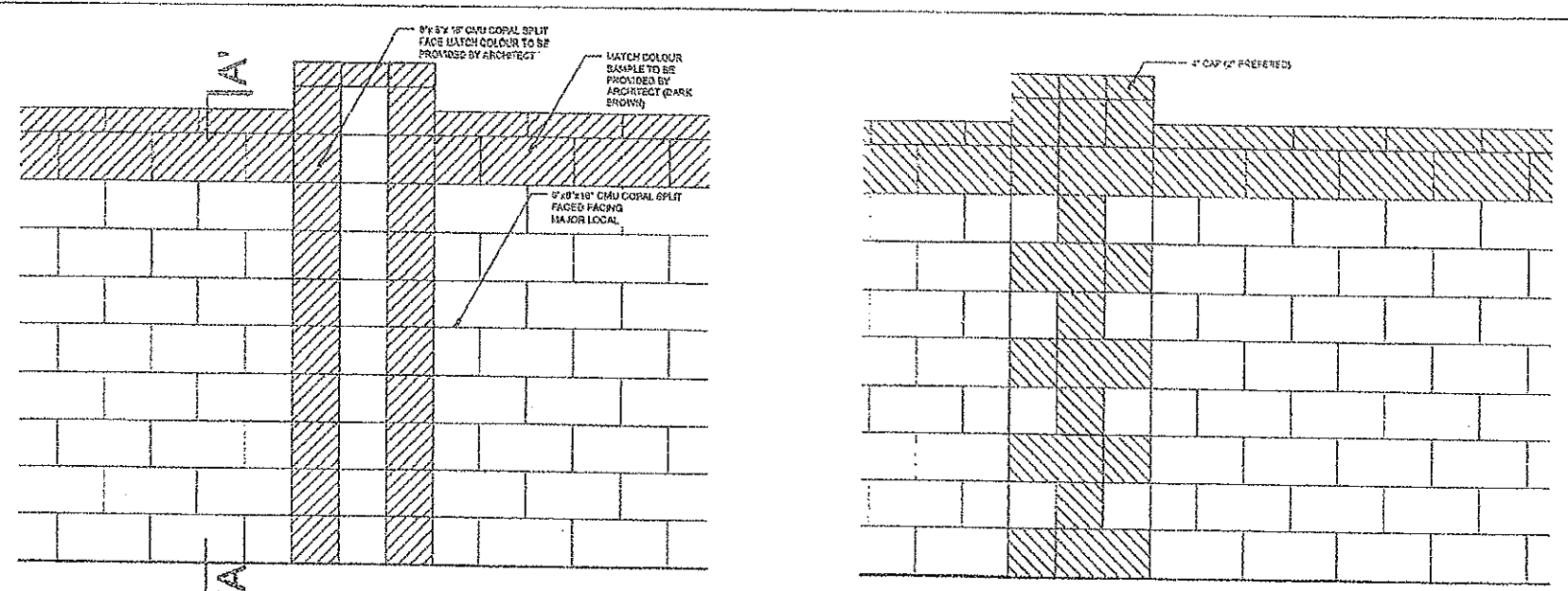
PERSPECTIVE WALL RENDERING
SCALE: NTS



WALL CROSS SECTION
VIEW A-A
SCALE: NTS



PLAN VIEW
SCALE: NTS



WALL ELEVATION
SCALE: NTS

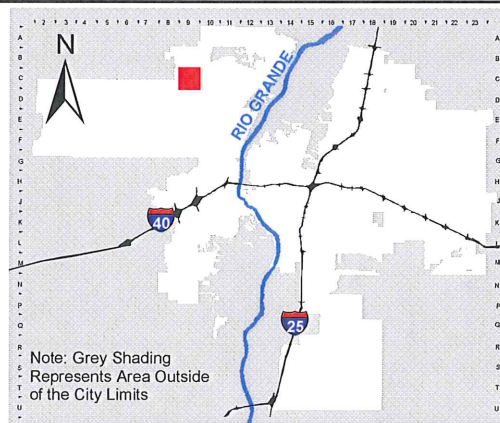
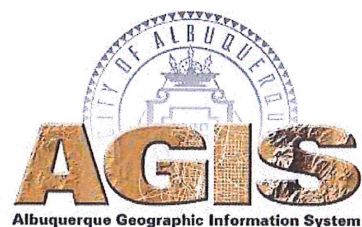
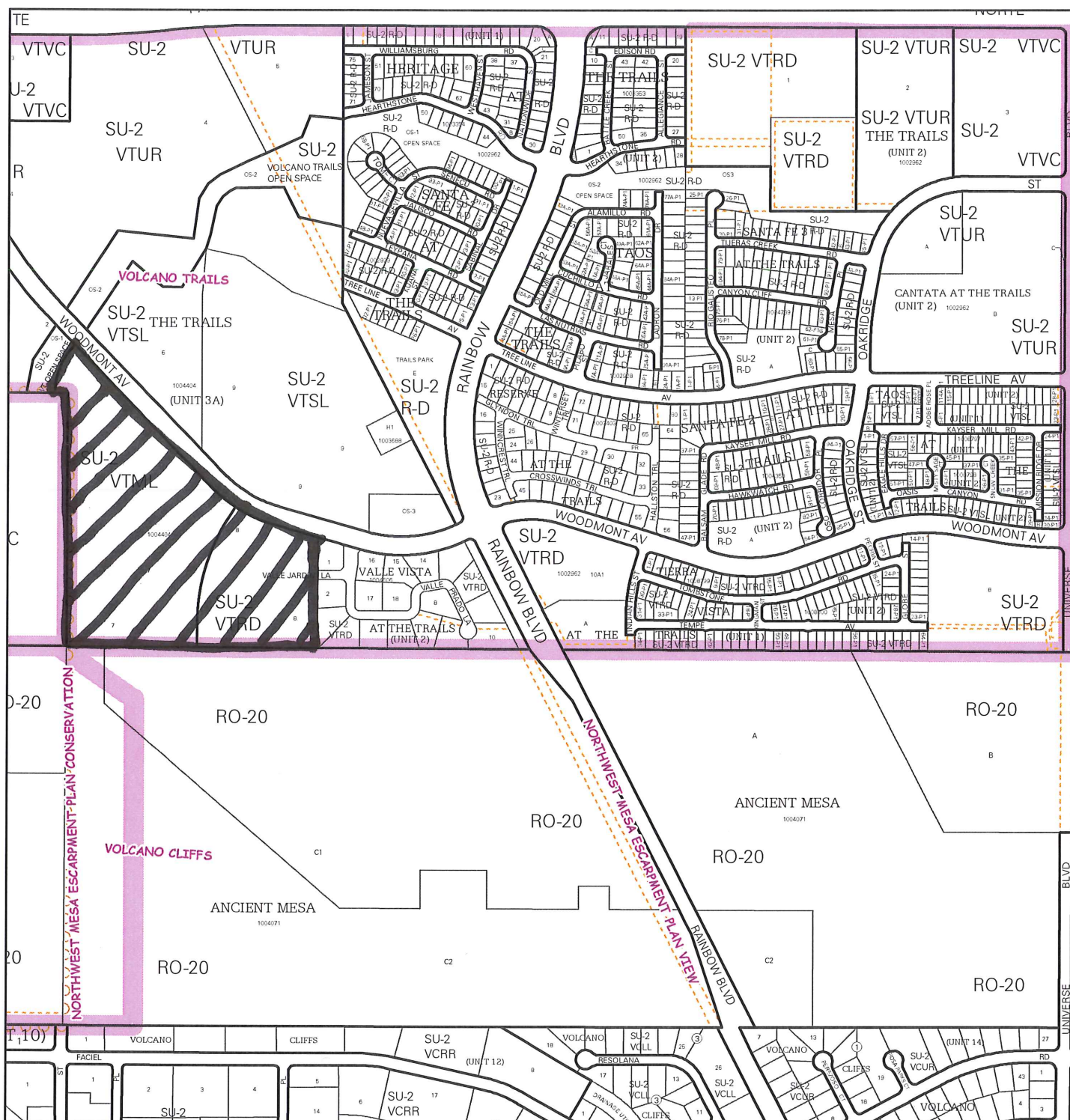
NEAREST INTERSECTION:
WOODMONT AVE./
ONKRIE STREET

ZONE ATLAS:
C-9-Z

DURANGO

TYPICAL WALL EXHIBIT

REVISIONS	NO.	DATE	REMARKS	BY
DESIGN	SJS	WCEA NO. X5218109	DATE	JULY 2006
DRAWN	RM	PROJECT NO.	SHEET NO.	
CHECK	SJS	N/A	1 OF 2	



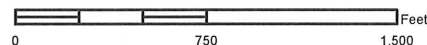
Zone Atlas Page:

C-09-Z

Selected Symbols

- SECTOR PLANS**

 - Design Overlay Zones
 - City Historic Zones
 - H-1 Buffer Zone
 - Petroglyph Mon.
 - Escarpment
 - 2 Mile Airport Zone
 - Airport Noise Contours
 - Wall Overlay Zone





City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The
Neighborhood and/or
Homeowner Association
information listed in this letter is
valid for one (1) month. If you
haven't filed your application
within one (1) month of the date
of this ONC Letter – you will need
to get an updated ONC Letter from
our office.

February 12, 2015

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **February 12, 2015:**

Contact Name: SCOTT STEFFEN

Company or Agency: BOHANNAN HUSTON, INC.
7500 JEFFERSON ST. NE, COURTYARD I/87109-4335
PHONE: 505-823-1000/FAX: 505-798-7988
E-mail: ssteffen@bhinc.com

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – TRACT 7&8 AT THE TRAILS, UNIT 3A, LOCATED ON WOODMONT AVENUE NW BETWEEN RAINBOW BOULEVARD NW AND PASEO DEL NORTE BOULEVARD NW** zone map **C-9**.

Our records indicate that as of February 12, 2015, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

planningnrnaform(02/20/14)

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Woodmont-Paseo, LLC DATE OF REQUEST: 02/25/15 ZONE ATLAS PAGE(S): C-09

CURRENT:

ZONING SU-2 VTML/VTRD

PARCEL SIZE (AC/SQ. FT.) 30.2 ac

REQUESTED CITY ACTION(S):

ANNEXATION ☐

ZONE CHANGE ☐: From _____ To _____

SECTOR, AREA, FAC, COMP PLAN ☐

AMENDMENT (Map/Text) ☐

LEGAL DESCRIPTION:

LOT OR TRACT # 7 & 8 BLOCK # _____

SUBDIVISION NAME The Trails Unit 3A

DURANGO UNITS 1-4

SITE DEVELOPMENT PLAN:

SUBDIVISION* ☒ AMENDMENT ☐

BUILDING PERMIT ☐ ACCESS PERMIT ☐

BUILDING PURPOSES ☐ OTHER ☐

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT ☐

NEW CONSTRUCTION ☒

EXPANSION OF EXISTING DEVELOPMENT ☐

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 129 100 +/- LOTS

BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE RICK BELTRAMO

DATE 2-26-15

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☒ BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☒ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☐

Notes:

100 detached single family homes

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

TRAFFIC ENGINEER

DATE

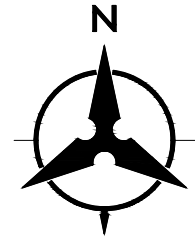
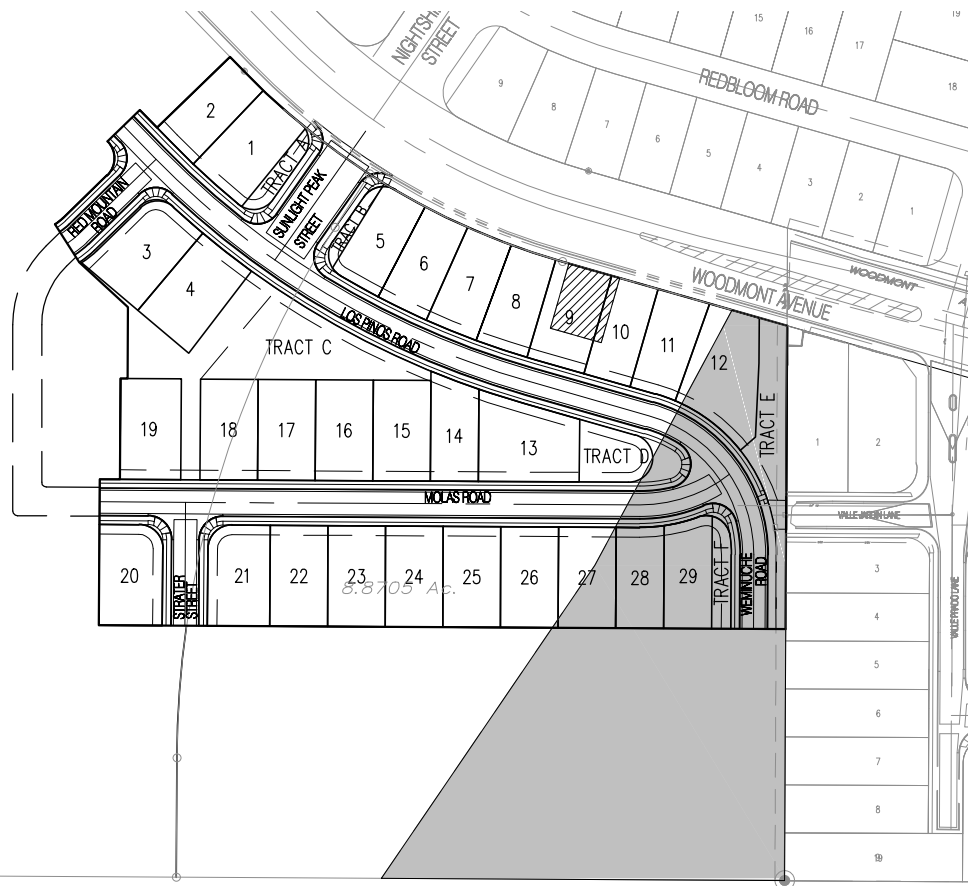
Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER

DATE

Revised January 20, 2011



NOT TO SCALE



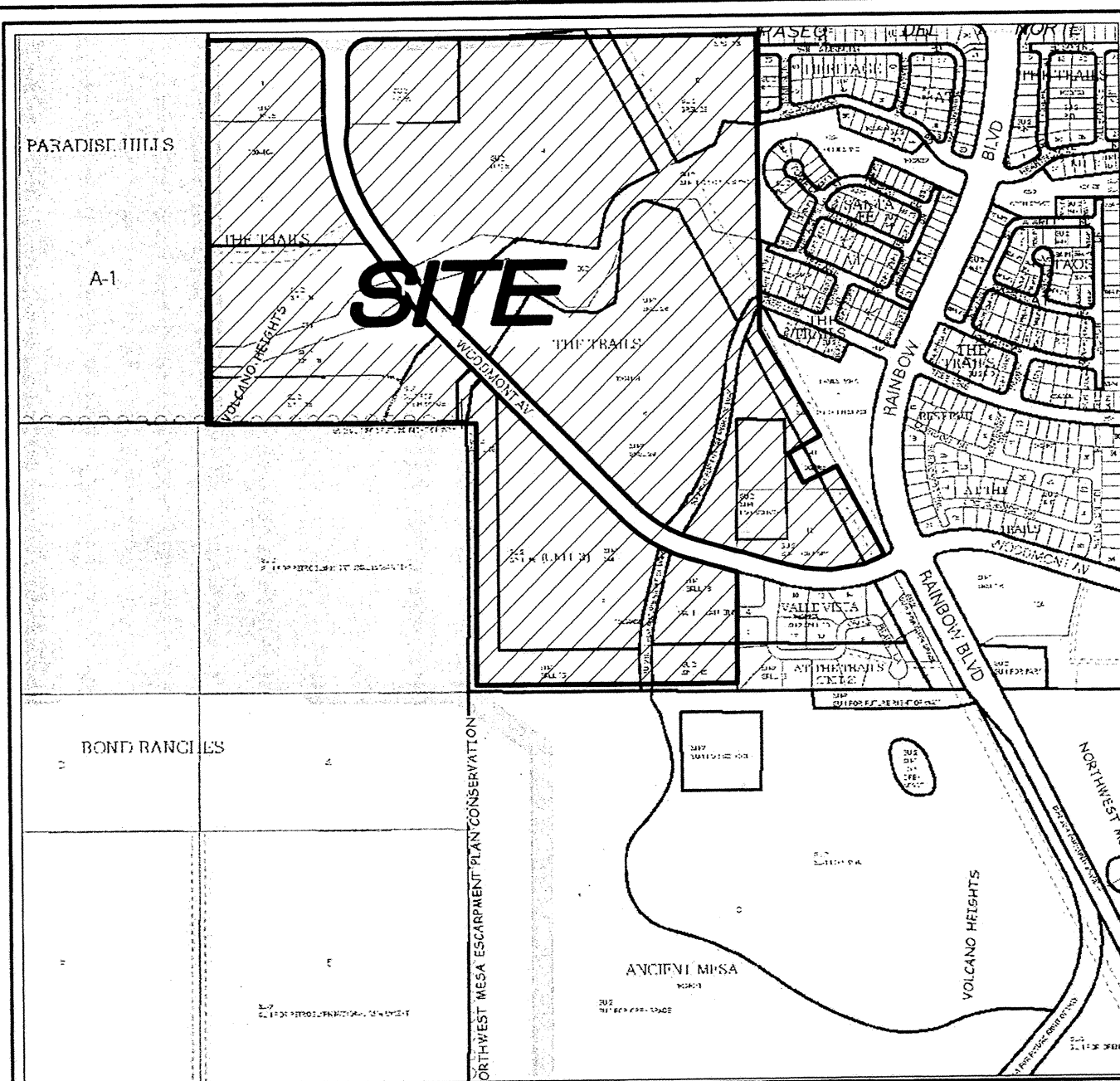
EXISTING TEMPORARY PUBLIC DRAINAGE EASEMENT TO BE VACATED WITH THIS PLAT. STORM DRAIN BUILT WITH UNIT 1 WILL COLLECT THE WATER THAT IS CURRENTLY INTERCEPTED BY THE TEMPORARY DETENTION POND. THE POND WILL NO LONGER BE REQUIRED TO INTERCEPT FLOWS, THEREFORE THE EASEMENT IS NOT REQUIRED.



EXISTING TEMPORARY PUBLIC DRAINAGE EASEMENT TO BE VACATED WITH THIS PLAT. THE EASEMENT WAS FOR A FUTURE STORM DRAIN. STORM DRAIN WILL BE BUILT THROUGH TRACT E. A PUBLIC DRAINAGE EASEMENT ON TRACT WILL BE GRANTED WITH THE UNIT 1 PLAT. THEREFORE, THE EASEMENT IS NO LONGER REQUIRED.

EXHIBIT "C"
DURANGO UNIT 1
VACATION EXHIBIT
03/06/2015

Bohannon  Huston



VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27).
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page C-8 and C-9.
- U.C.L.S. Log Number 2007391925.
- No direct access to Paseo Del Norte will be allowed.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus (). All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument— Do not disturb, PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Current Zoning per the Volcano Heights Sector Development Plan as follows:
Tracts 1 and 4 are designated SU-2 UR
Tracts 2, 7 and 8 are designated SU-2 SRLL
Tracts 6, 9 and 5 are designated SU-2 SRSL
Tract 3 is designated SU-2 VC
Tracts OS-1 thru OS-3 are designated SU-2 SU-1 Open Space

SUBDIVISION DATA

- Total number of existing Tracts: 11
- Total number of Tracts created: 13
- Total mileage of full width streets created: 0
- Gross Subdivision acreage: 158.6623 acres.
- Tracts OS-1 thru OS-3 are Private Open Space Areas conveyed to The Trails Community Association, Inc. Maintenance of said Tracts shall be the responsibility of said Trails Community Association, Inc. There shall be no direct vehicular access from adjacent tracts, parcels or lots.
- Tracts OS-1 thru OS-3 are subject to a blanket access, public open space and public storm drain easements to be granted with the filing of this plat. Said Tracts OS-1, OS-2 and OS-3 are also subject to a blanket easement for public water and public sanitary sewer to be granted to the City of Albuquerque and New Mexico Utilities, Inc. with the filing of this plat.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:
100906405825130203; see attachment for additional UPC's
Trails LLC
f. J. J. J. 12-21-07
Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT:

The purpose of this Bulk Land Plat is to:

- Eliminate the existing interior tract lines and create the Thirteen (13) New Bulk Tracts shown hereon to facilitate platting of future Trails Units.
- Grant the Public Roadway and Drainage Easements to the City of Albuquerque as shown hereon.
- Grant the Public Water and Sanitary Sewer Easement to New Mexico Utilities, Inc (NMUI), as shown hereon.
- Show the various Public Easements Vacated by 07DRB-70296

SHEET INDEX

- | | |
|--------------|---|
| SHEET 1 OF 5 | Approvals, General Notes, Etc... |
| SHEET 2 OF 5 | Legal Description, Free consent and dedication |
| SHEET 3 OF 5 | Overall Plat Boundary and Vacated Lot lines and easements |
| SHEET 4 OF 5 | North 1/2 of Trails Unit 3A |
| SHEET 5 OF 5 | South 1/2 of Trails Unit 3A |
| SHEET 6 OF 6 | Curve and Line Tables |

DOCH 2007171107

12/21/2007 01:42 PM Page: 1 of 6
PLAT R: 332.00 B: 2007C P: 0352 M. Toulouse, Bernalillo County
070618_SHTS 1-J.dwg

BULK LAND PLAT OF

THE TRAILS UNIT 3A

(BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2, THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2)

WITHIN

THE TOWN OF ALAMEDA GRANT

IN

PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER, 2007

PROJECT NUMBER: *1004404*

Application Number: *07DRB-70296*

PLAT APPROVAL

Utility Approvals:

<i>Les S. Munter</i>	<i>10-04-07</i>
PNM Gas and Electric Services	Date
<i>David Delid</i>	<i>10/8/07</i>
QWest Corporation	Date
<i>Gonna Bunker</i>	<i>10-3-07</i>
Comcast	Date
<i>Michael O. J. J.</i>	<i>12/19/07</i>
New Mexico Utilities	Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

<i>[Signature]</i>	<i>10-3-07</i>
City Surveyor	Date
<i>N/A</i>	Date
Real Property Division	Date
<i>N/A</i>	Date
Environmental Health Department	Date
<i>[Signature]</i>	<i>11-28-07</i>
Traffic Engineering, Transportation Division	Date
<i>N/A</i>	Date
ABCWUA	Date
<i>Christina S. Sanchez</i>	<i>11/28/07</i>
Parks and Recreation Department	Date
<i>Bradley L. Bingham</i>	<i>11/29/07</i>
AMAFCA	Date
<i>[Signature]</i>	<i>11-28-07</i>
City Engineer	Date
<i>Andrew J. J.</i>	<i>12-21-07</i>
DRB Chairperson, Planning Department	Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
September 25, 2007

SHEET 1 OF 6

SURV TEK, INC.

Consulting Surveyors
3884 Valley View Drive N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

LEGAL DESCRIPTION

Those certain parcels of land situate within the Town of Alameda Grant in projected Sections 16 and 17, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising:

All of Tracts 1 thru 8, OS-1 and OS-2, The Trails Unit 3, as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS UNIT 3 (BEING A REPLAT OF UNPLATTED LANDS OF TRAILS, LLC AND TRACT H-2, TRAILS UNIT 1) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 16, 2006 in Book 2006C, Page 85.

AND

All of Tract 12, The Trails Unit 2, as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County on October 18, 2004 in Book 2004C, Page 332.

Said Parcels contains 158.6623 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, "BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2, THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

THE TRAILS, LLC
a Nevada limited liability company
Longford Group, Inc., it's manager

By

John K. Murtagh, President

Kelly Murtagh, Vice President

THE TRAILS COMMUNITY ASSOCIATION, INC.

Tracy Murphy, President

Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 2nd
day of October, 2007, by John K. Murtagh, President
KELLY MURTAGH, VICE PRESIDENT
of The Longford Group, Inc.

Q Krapcha

My commission expires 12-1-08

Notary Public

ACKNOWLEDGEMENT

STATE OF NEVADA NM
COUNTY OF CLARK SS
Bernalillo

The foregoing instrument was acknowledged before me this 2nd
day of October, 2007, by Tracy Murphy, President of The
Trails Community Association, Inc.

Q Krapcha

My commission expires 12-1-08

Notary Public

NOTICE OF SUBDIVISION PLAT CONDITIONS

TRACTS 1 thru 8 AND TRACTS OS-1 AND OS-2
THE TRAILS UNIT 3

The plat of TRACTS 1 THRU 8 AND TRACTS OS-1 AND OS-2, THE TRAILS UNIT 3 has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts 1 thru 8 and Tracts OS-1 and OS-2, The Trails Unit 3, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 16, 2006 in Book A113, page 6952

NOTICE OF SUBDIVISION PLAT CONDITIONS

TRACTS 1 thru 10 AND TRACTS OS-1 and OS-2
THE TRAILS UNIT 3A

The plat of TRACTS 1 THRU 10 AND TRACTS OS-1 and OS-2, THE TRAILS UNIT 3A has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts 1 thru 10 and Tracts OS-1 and OS-2, The Trails Unit 3A, filed in the office of the County Clerk of Bernalillo County, New Mexico on _____, 2007 in Book _____, page _____

as Document Number _____

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision"

DOCH 2007171107

12/21/2007 01:42 PM Page: 2 of 6
PLAT R: \$32.00 B: 2007C P: 0352 M. Toulouse, Bernalillo County



SHEET 2 OF 6

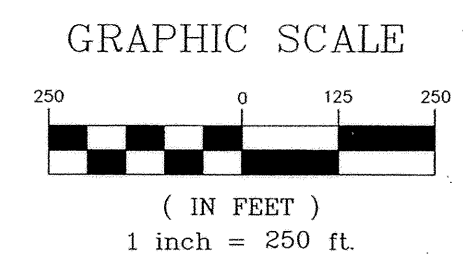
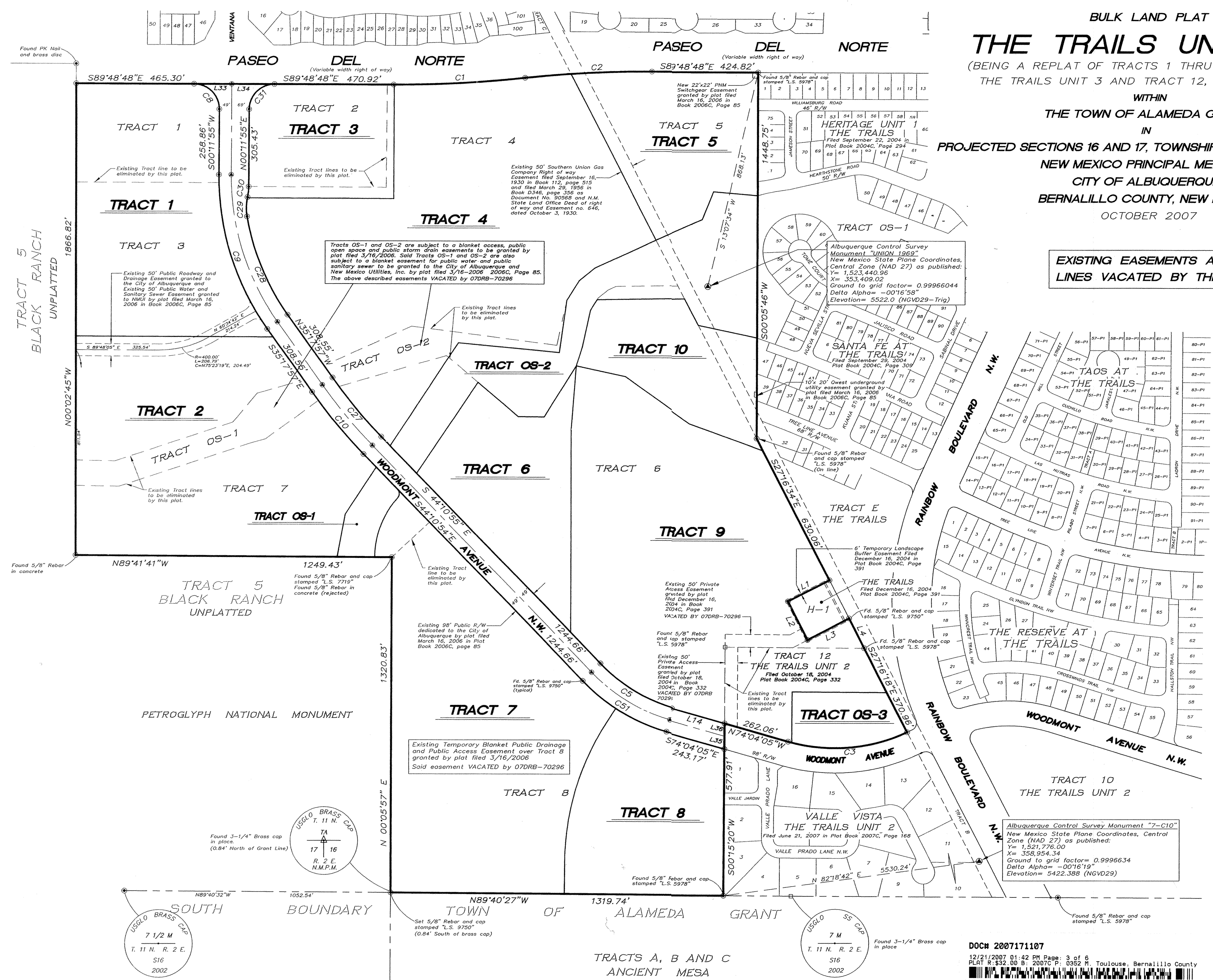
SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
Fax: 505-897-3377

070618_SHTS 1-3.dwg

BULK LAND PLAT OF
THE TRAILS UNIT 3A
 (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2,
 THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2007

**EXISTING EASEMENTS AND TRACT
 LINES VACATED BY THIS PLAT**



DOCH 2007171107
 12/21/2007 01:42 PM Page: 3 of 6
 PLAT R: \$32.00 B: 2007C P: 0352 M. Toulouse, Bernalillo County

SURV TEK, INC.
 Consulting Surveyors



TRACT 4

29.3345 Ac.

TRACT OS-2

8.8106 Ac.

TRACT 6

7.7893 Ac.

TRACT 10

6.3980 Ac.

TRACT 9

25.2463 Ac.

TRACT OS-3

1.9919 Ac.

TRACT 8

8.8705 Ac.

TRACT 7

21.3406 Ac.

**BULK LAND PLAT OF
THE TRAILS UNIT 3A**(BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2,
THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2)

WITHIN

THE TOWN OF ALAMEDA GRANT

IN

PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

OCTOBER 2007

NOTE (A)

46' Public Roadway Easement reserved by this platting action to be granted in the future: upon subsequent platting of Tract 7, or upon request by the City of Albuquerque, or upon request by the owner of Tract C, Ancient Mesa, or Proposed Tracts C-1 and C-2, Ancient Mesa (DRB Project No. 1004071).

Except for the location of this easement as it relates to the south boundary of Tract 7, the final alignment of this easement within Tract 7 and connection of this easement to Woodmont Avenue NW will be determined at that time.

NOTE (B)

50' Public Roadway and Drainage Easement granted to the City of Albuquerque and 68' Public Water and Sanitary Sewer Easement granted to NMUI by this plat.

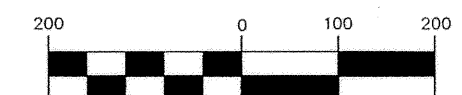
Public Roadway Easement
See NOTE (A) this sheet

Set 5/8" Rebar and cap
stamped "L.S. 9750"
(typical all interior corners)

Found 5/8" Rebar and cap
stamped "L.S. 5978"

Found 3-1/4" Brass cap
in place

Albuquerque Control Survey Monument "7-C10"
New Mexico State Plane Coordinates, Central
Zone (NAD 27) as published:
Y= 1,521,776.00
X= 358,954.34
Ground to grid factor= 0.9996634
Delta Alpha= -00'16"19"
Elevation= 5422.388 (NGVD29)



(IN FEET)
1 inch = 200 ft.

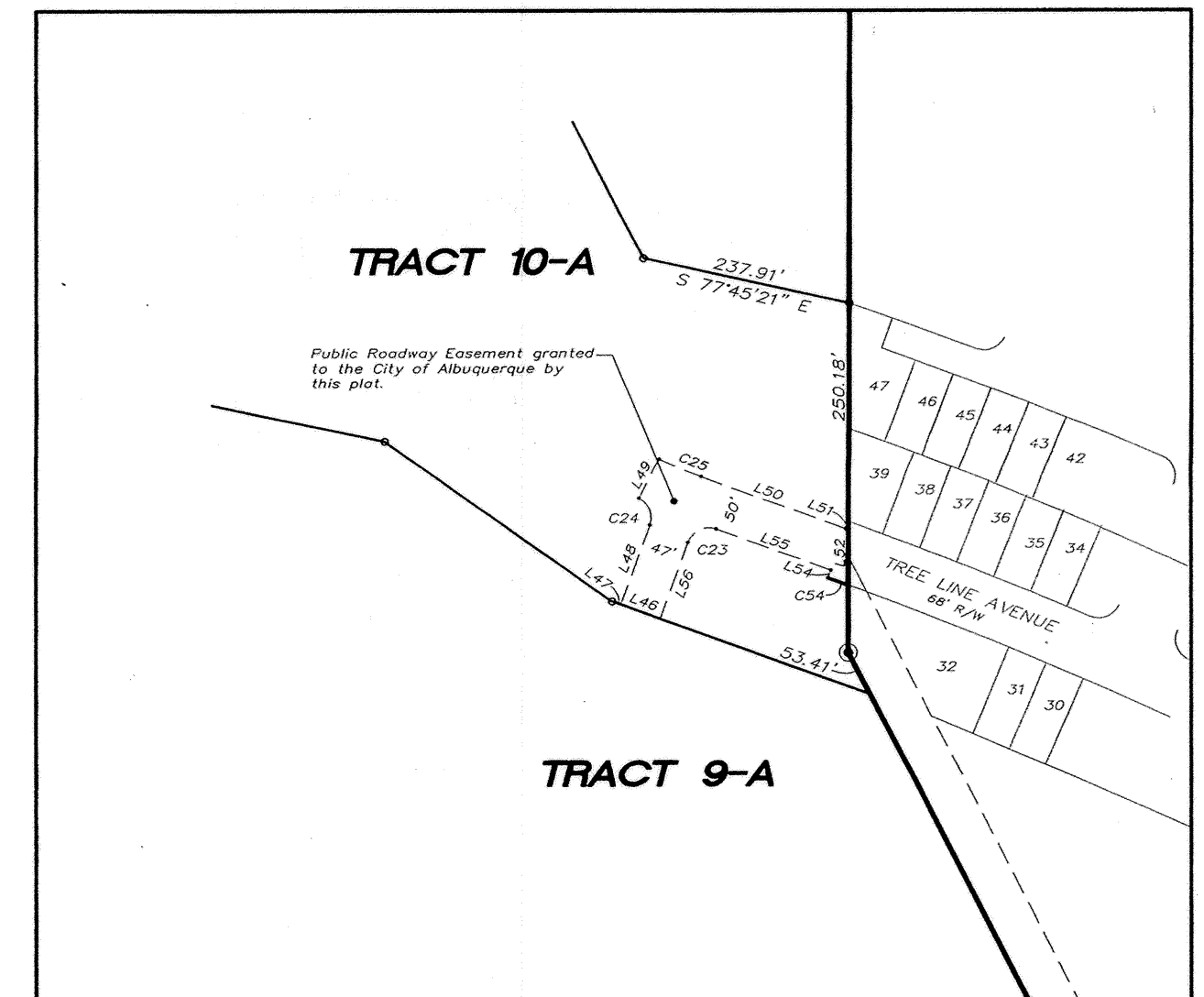
DOCH 2007171107

12/21/2007 01:42 PM Page: 5 of 6
PLAT R-532.00 B: 2007C-P: 0352 M: Toulouse, Bernalillo County

BULK LAND PLAT OF
THE TRAILS UNIT 3A
(BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2,
THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2007

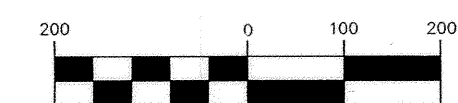
LINE TABLE		
LINE	LENGTH	BEARING
L1	184.00'	S62°43'26"W
L2	170.00'	S27°16'34"E
L3	184.00'	N62°43'26"E
L4	130.51'	S27°16'34"E
L5	66.10'	S32°52'08"W
L6	124.07'	S00°19'33"W
L7	243.17'	S74°04'05"E
L8	229.42'	N74°04'05"W
L9	207.93'	S49°49'12"E
L10	102.11'	S89°33'10"E
L11	237.43'	N32°12'03"E
L12	199.32'	S77°51'46"E
L13	57.66'	N32°26'33"E
L14	215.67'	N74°04'05"W
L15	50.59'	N51°14'55"E
L16	33.00'	N64°57'37"E
L17	250.90'	N89°01'47"E
L18	174.90'	S27°16'30"E
L19	221.41'	S33°20'36"W
L20	172.48'	S10°36'24"W
L21	211.17'	N07°50'45"E
L22	92.07'	N32°26'33"E
L23	79.17'	N51°14'55"E
L24	118.15'	N22°01'51"E
L25	174.85'	S84°56'30"E
L26	70.00'	S15°56'41"W
L27	55.00'	N74°03'19"W
L28	77.52'	N17°42'46"E
L29	153.58'	N12°11'46"E
L30	69.99'	N15°56'41"E
L31	152.04'	S44°10'54"E
L32	200.51'	N00°21'41"E
L33	149.02'	S89°48'48"E
L34	168.98'	S89°48'48"E
L37	70.00'	N45°49'06"E
L38	55.00'	S44°10'54"E
L39	70.00'	S45°49'06"W
L40	70.15'	N60°17'12"E
L41	55.00'	S29°42'48"E
L42	70.20'	S60°17'12"W
L43	70.21'	S60°24'54"W
L44	55.00'	N29°35'06"W
L45	70.17'	N60°24'54"E
L46	47.00'	N70°03'17"W
L47	10.50'	N70°03'17"W
L48	96.04'	N19°56'43"E
L49	50.00'	N26°43'51"E
L50	173.64'	S70°03'17"E
L51	9.00'	N19°56'43"E
L52	72.36'	S00°05'46"W
L54	9.00'	N19°56'43"E
L55	137.56'	N70°03'17"W
L56	92.43'	S19°56'43"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	519.79'	4578.00'	260.17'	519.51'	N86°56'02"E	6°30'20"
C2	502.08'	4422.00'	251.31'	501.81'	N86°56'02"E	6°30'20"
C3	481.26'	672.00'	251.47'	471.05'	S85°24'55"W	41°02'00"
C4	365.13'	700.00'	186.82'	361.00'	S59°07'30"E	29°53'10"
C5	339.57'	651.00'	173.74'	335.73'	S59°07'30"E	29°53'10"
C6	310.06'	2000.00'	155.34'	309.75'	S39°44'26"E	8°52'57"
C7	619.56'	1000.00'	320.08'	609.70'	S17°33'01"E	35°29'53"
C8	157.10'	100.00'	100.02'	141.44'	N44°48'26"W	90°00'43"
C9	649.92'	1049.00'	335.77'	639.57'	S17°33'01"E	35°29'53"
C10	317.65'	2049.00'	159.15'	317.34'	S39°44'26"E	8°52'57"
C11	256.74'	351.33'	134.41'	251.07'	S21°04'27"W	41°52'12"
C12	37.61'	25.00'	23.39'	34.16'	N01°05'11"W	86°11'28"
C14	55.01'	951.00'	27.51'	55.00'	S29°39'31"E	3°18'51"
C15	66.12'	951.00'	33.07'	66.11'	S33°18'27"E	3°59'01"
C16	55.01'	1049.00'	27.51'	55.00'	S29°37'28"E	3°00'16"
C17	76.40'	1049.00'	38.21'	76.38'	S33°12'47"E	4°10'22"
C18	213.08'	301.33'	111.21'	208.67'	S20°22'10"W	40°30'58"
C19	41.53'	25.00'	27.37'	36.92'	S88°13'22"W	95°11'27"
C23	39.27'	25.00'	25.00'	35.36'	S64°56'43"W	90°00'00"
C24	36.31'	25.00'	22.20'	33.20'	N21°39'43"W	83°12'52"
C25	52.23'	441.00'	26.14'	52.20'	S66°39'43"E	6°47'08"
C27	302.46'	1951.00'	151.53'	302.16'	S39°44'26"E	8°52'57"
C28	424.24'	951.00'	215.71'	420.73'	S22°31'10"E	25°33'34"
C29	76.55'	200.00'	38.75'	76.09'	S01°13'33"W	21°55'52"
C30	41.86'	200.00'	21.01'	41.79'	N06°11'42"E	11°59'33"
C31	157.06'	100.00'	99.98'	141.41'	S45°11'34"W	89°59'17"
C32	584.44'	1028.98'	300.34'	576.62'	S16°35'51"W	32°32'35"
C37	3.10'	200.00'	1.55'	3.10'	S11°44'50"W	0°53'16"
C38	73.45'	200.00'	37.15'	73.04'	S00°46'54"W	21°02'35"
C39	2.20'	4578.00'	1.10'	2.20'	S89°49'38"E	0°01'39"
C40	517.59'	4578.00'	259.07'	517.32'	N86°55'12"E	6°28'40"
C41	181.99'	4422.00'	91.01'	181.98'	S84°51'37"W	2°21'29"
C42	320.09'	4422.00'	160.11'	320.02'	S88°06'47"W	4°08'51"
C49	466.76'	672.00'	243.24'	457.43'	N84°47'49"E	39°47'47"
C50	14.51'	672.00'	7.25'	14.51'	S74°41'11"E	1°14'13"
C51	390.69'	749.00'	199.90'	386.27'	S59°07'30"E	29°53'10"
C52	169.28'	749.00'	85.00'	168.92'	S50°39'23"E	12°56'58"
C53	221.41'	749.00'	111.52'	220.60'	S65°35'58"E	16°56'13"
C54	24.57'	4966.00'	12.28'	24.57'	N69°54'47"W	0°17'00"



DOCH 2007171107

12/21/2007 01:42 PM Page: 6 of 6
PLAT R: \$32.00 B: 2007C P: 0352 M. Toulouse, Bernalillo County
9384 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

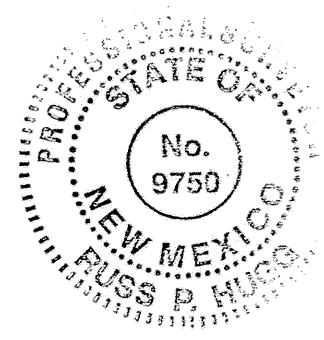


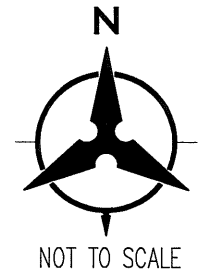
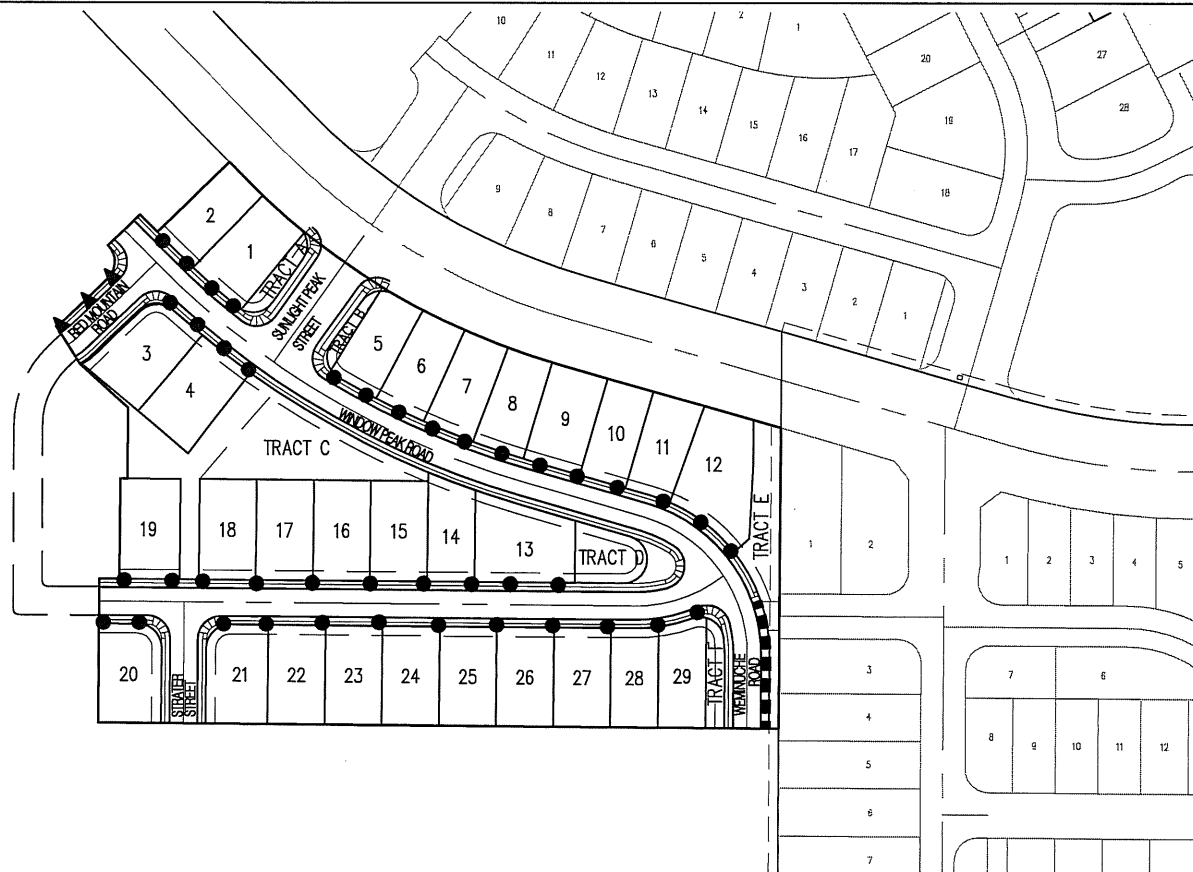
(IN FEET)
1 inch = 200 ft.

SHEET 6 OF 6

SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
Fax: 505-897-3377





DEFERRED sidewalks to be built on a lot-by-lot basis as home construction is completed. The deferral is requested to reduce damage to sidewalks due to building construction activities.



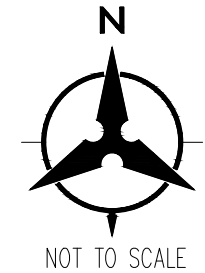
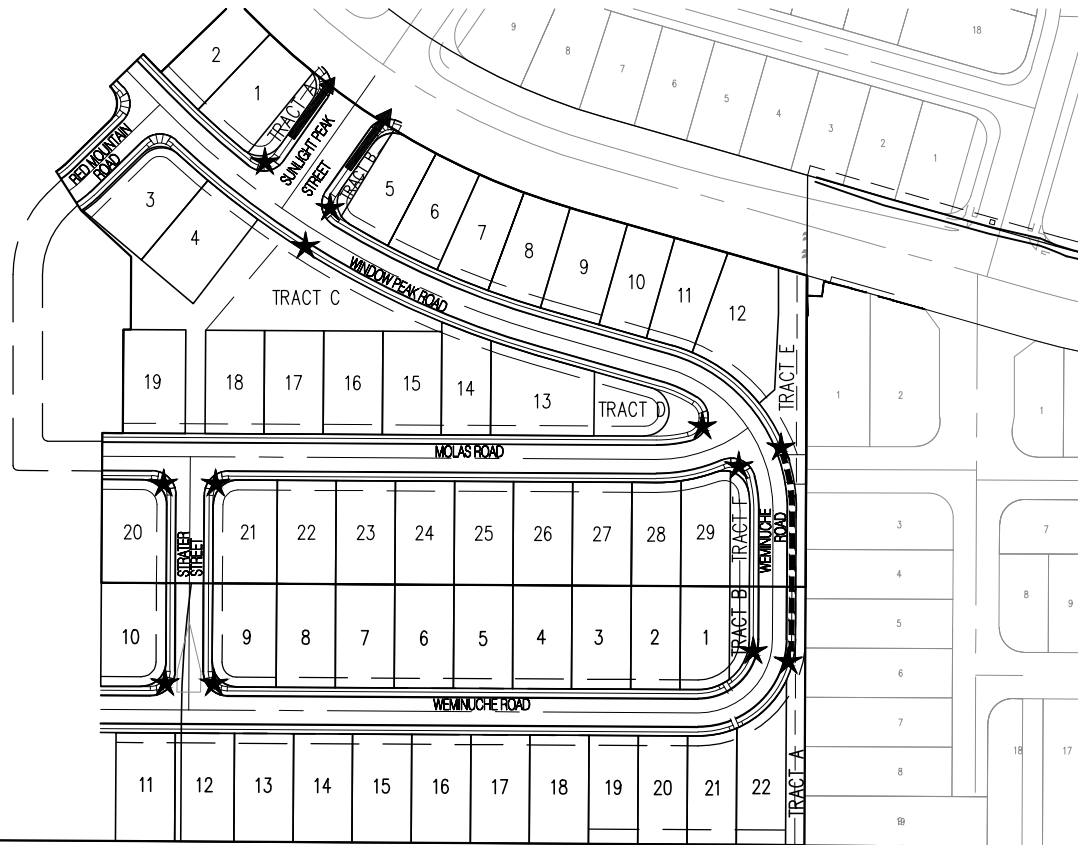
WAIVED sidewalks are requested
(See Exhibit 'B-2')



DEFER sidewalk to Durango Unit 3. The deferral is requested to reduce damage to sidewalks or removal of sidewalk due to Unit 3 construction activity. Lot 7 Unit 3 side yard wall construction would damage the sidewalk.

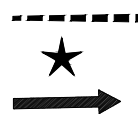
EXHIBIT "B" **DURANGO UNIT 1** **SIDEWALK DEFERRAL/WAIVER EXHIBIT** **03/06/15**

Bohannon  **Huston**



THIS REQUEST TO WAIVE SIDEWALK REQUIREMENTS FOR DURANGO UNITS 1 AND 2 IS FOR THE WEST SIDE OF WEMINUICHE ROAD BETWEEN MOLAS ROAD AND LOT 22 IN UNIT 2. THERE ARE NO HOUSES FRONTING WEMINUICHE ROAD ALONG THIS PORTION OF THE ROAD. THE WAIVER OF SIDEWALK IN THIS AREA WILL NOT RESULT IN PEDESTRIANS TAKING A SIGNIFICANTLY LESS DIRECT ROUTE OF TRAVEL THAN IF THE SIDEWALK WERE PRESENT. THE PROPOSED MID-BLOCK ADA RAMP AT LOT 22, THE MOLAS ROAD/WEMINUICHE ROAD INTERSECTION AND AT THE LOS PINOS ROAD/SUNLIGHT PEAK STREET INTERSECTION ALLOW THE RESIDENTS TO CIRCULATE THROUGHOUT THE NEIGHBORHOOD IN A SIMILAR MANNER AS IF THE SIDEWALK WERE PRESENT.

EXHIBIT "B-2" **DURANGO UNIT 1 & 2** **SIDEWALK DEFERRAL/WAIVER EXHIBIT** **03/06/15**



WAIVED sidewalks are requested
 HANDICAP RAMP
 PEDESTRIAN CONNECTION

Bohannon  Huston