



Supplemental form

SUBDIVISION

- ☒ Major Subdivision action
☐ Minor Subdivision action
☐ Vacation
☐ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ☐ for Subdivision
☐ for Building Permit
☐ Administrative Amendment (AA)
☐ IP Master Development Plan
☐ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- ☐ Annexation
☐ County Submittal
☒ EPC Submittal
☐ Zone Map Amendment (Establish or Change Zoning)
☐ Sector Plan (Phase I, II, III)
☐ Amendment to Sector, Area, Facility or Comprehensive Plan
☐ Text Amendment (Zoning Code/Sub Regs)
☐ Street Name Change (Local & Collector)
☒ **APPEAL / PROTEST of...**
☐ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc (Scott Steffen) PHONE: (505) 823-1000
 ADDRESS: Courtyard I, 7500 Jefferson St NE FAX: (505) 798-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: ssteffen@bhinc.com

APPLICANT: Woodmont Paseo, LLC (Rick Beltramo) PHONE: (505) 639-4798
 ADDRESS: 6330 Riverside Plaza Lane #160 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: rbeltramo@gcinm.com
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Preliminary Plat & Temporary Deferral of Sidewalk Construction, for Durango Unit 3

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☒ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract C Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Durango Unit 2
 Existing Zoning: VTML Proposed zoning: VTML MRGCD Map No _____
 Zone Atlas page(s): C9 UPC Code: 100906410722730204

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1004404-15DRB-70048

CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? ☐ No
 No. of existing lots: 1 No. of proposed lots: 31 Total area of site (acres): 18.77
 LOCATION OF PROPERTY BY STREETS: Woodmont Avenue
 Between: Rainbow Boulevard and Paseo del Norte

Check-off if project was previously reviewed by Sketch Plat/Plan ☐, or Pre-application Review Team ☐. Date of review: _____

SIGNATURE Scott Steffen DATE 3/6/15
 (Print) SCOTT J STEFFEN Applicant: ☐ Agent: ☒
 Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date _____			\$ _____

Project # _____

Planner signature / date _____

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

☒ MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- ___ 5 Acres or more: Certificate of No Effect or Approval
- ___ Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- ___ Proposed Infrastructure List
- ___ Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- ___ Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Property owner's and City Surveyor's signature on the proposed plat
- ___ FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Signed Pre-Annexation Agreement if Annexation required.
- ___ TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

☐ MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- ___ Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

☐ MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Plat or plan reduced to 8.5" x 11"
- ___ Official D.R.B. Notice of the original approval
- ___ Approved Infrastructure List. If not applicable, please initial. _____
- ___ Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ List any original and/or related file numbers on the cover application
- ___ Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SCOTT J STEFFEN
Applicant name (print)
Scott J Steffen 3/6/15
Applicant signature / date



Form revised October 2007

- | | |
|--|--------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers |
| <input type="checkbox"/> Fees collected | _____ - _____ - _____ |
| <input type="checkbox"/> Case #s assigned | _____ - _____ - _____ |
| <input type="checkbox"/> Related #s listed | _____ - _____ - _____ |

Project # _____
Planner signature / date _____

FORM V: SUBDIVISION VARIANCES & VACATIONS

- ☐ **BULK LAND VARIANCE (DRB04)**

(PUBLIC HEARING CASE)
Application for Minor Plat on FORM S-3, including those submittal requirements. 24 copies
Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Fee (see schedule)
List any original and/or related file numbers on the cover application
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- ☐ **VACATION OF PUBLIC EASEMENT (DRB27)**
- ☐ **VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**

The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies.
(Not required for City owned public right-of-way.)
Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies
Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the request
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Fee (see schedule)
List any original and/or related file numbers on the cover application
Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- ☐ **SIDEWALK VARIANCE (DRB20)**
- ☐ **SIDEWALK WAIVER (DRB21)**

Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the variance or waiver
List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- ☐ **SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**

Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies
Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the variance
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Fee (see schedule)
List any original and/or related file numbers on the cover application
DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- ☒ **TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- ☐ **EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**

Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
Zone Atlas map with the entire property(ies) clearly outlined
Letter briefly describing, explaining, and justifying the deferral or extension
List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- ☐ **VACATION OF PRIVATE EASEMENT (DRB26)**
- ☐ **VACATION OF RECORDED PLAT (DRB29)**

The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") 6 copies
Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies
Zone Atlas map with the entire property(ies) clearly outlined
Letter/documents briefly describing, explaining, and justifying the vacation 6 copies
Letter of authorization from the grantors and the beneficiaries (private easement only)
Fee (see schedule)
List any original and/or related file numbers on the cover application
Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SCOTT J STEFFEN
Applicant name (print)
Scott J Steffen 3/6/15
Applicant signature / date



- ☐ Checklists complete
- ☐ Fees collected
- ☐ Case #s assigned
- ☐ Related #s listed
- Application case numbers

Form revised 4/07

Planner signature / date

Project #

March 6, 2015

Jack Cloud, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Re: Durango Unit 3 – Preliminary Plat, Sidewalk Deferral (DRB 1004404)

Dear Mr. Cloud:

Enclosed for Development Review Board (DRB) preliminary plat review and comment are copies of the following information:

- Application for Development Review
- Twenty-four (24) copies each of the Preliminary Plat and Grading Plan
- Twenty-four (24) copies of the Infrastructure List
- Six (6) copies of Sidewalk Deferral (Exhibit B)
- Certificate of No Effect
- Letter from the Office of Neighborhood Coordination
- DR/WS and TIS forms
- Three (3) copies of the perimeter wall plan (Exhibit D)
- Zone Atlas Map
- Submittal Fees

This preliminary plat is being represented to the Development Review Board for the purpose of obtaining City review and approval. Proposed is a subdivision of Durango Unit 2 Tract C, consisting of 30 single-family residential lots and 1 remainder parcel on approximately 18.8 acres. The site is located south of Woodmont Avenue and west of Rainbow Boulevard and can be accessed from Woodmont Avenue. Tract C is currently zoned SU-2, Volcano Trails Medium Lot Residential (VTML).

Please place these items on the DRB Agenda to be heard on April 1, 2015. Don't hesitate to contact me at 823-1000 with questions or comments.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosures



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

November 8, 2007

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s):

Case Number(s):

Agent:

Applicant: Longford Homes, Inc.

Legal Description: The Trails Unit 3

Acreage: 165.59 acres

Zone Atlas Page: C-9

CERTIFICATE OF NO EFFECT: Yes ☒ No ☐

CERTIFICATE OF APPROVAL: Yes ☐ No ☐

SUPPORTING DOCUMENTATION:

NIAF submitted by TRC Solutions dated February 2007 (NMCRIS# 103624)

Note: LA 49629 "ikely destroyed by recent construction activity."

SITE VISIT: n/a

RECOMMENDATION(S):

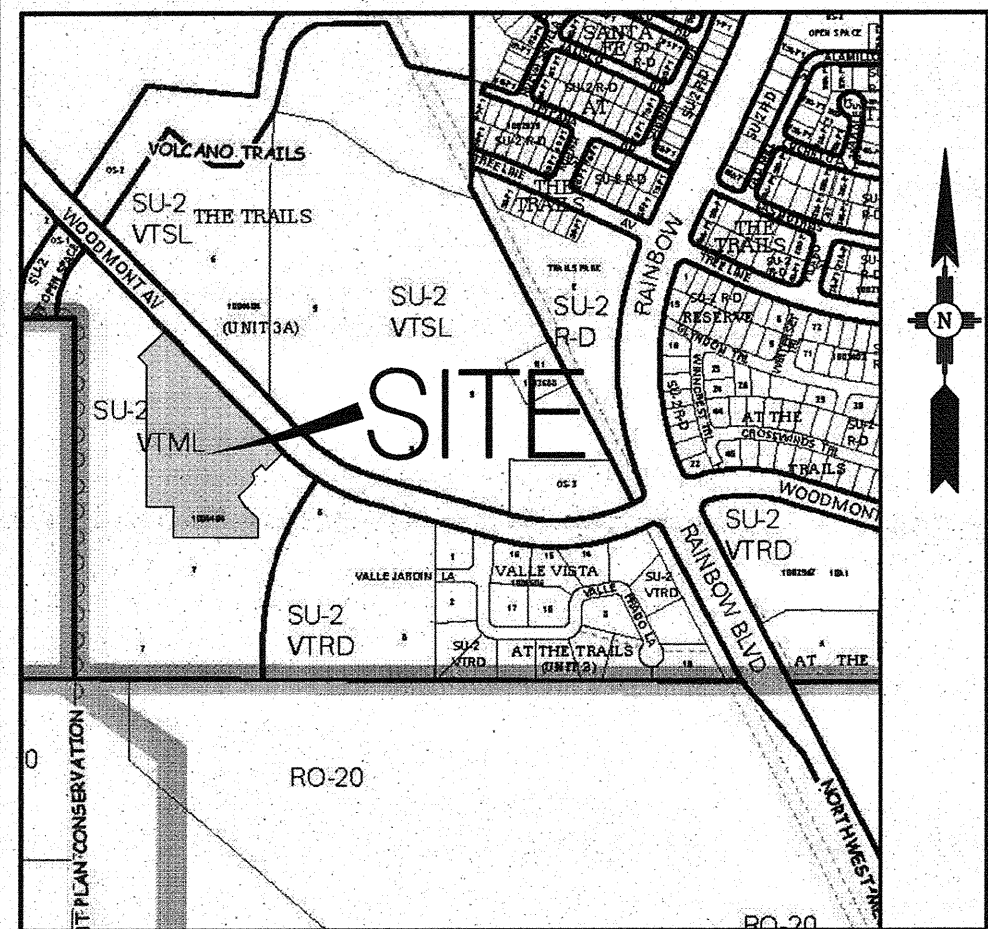
- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 72 Section 4B(1)-- no significant sites in project area; 4B(2)— land disturbance; and 4B(3), information potential exhausted for LA 49629).***

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division

Acting City Archaeologist



NOT TO SCALE

VICINITY MAP

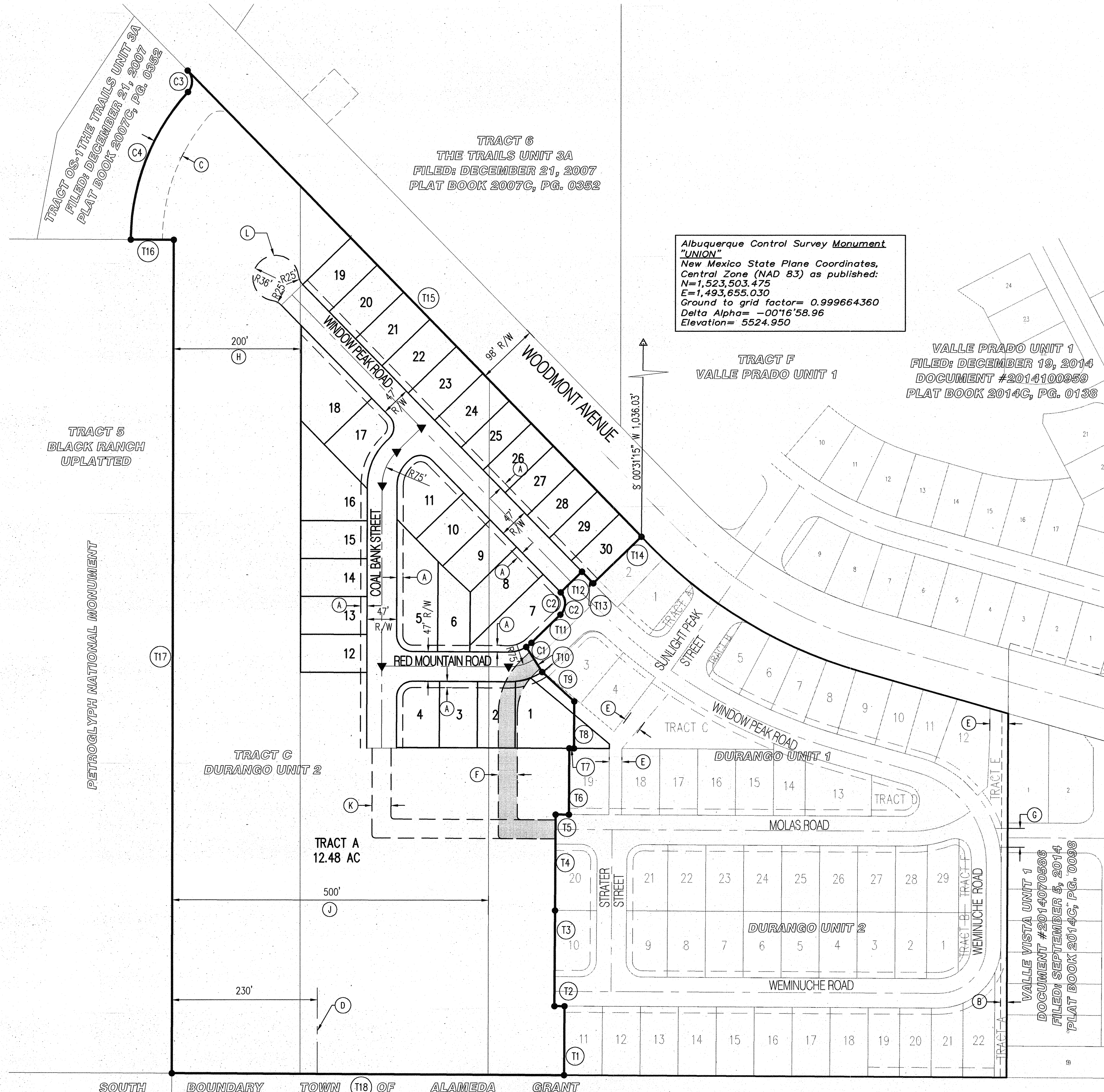
ZONE ATLAS C-09-Z

KEYED NOTES

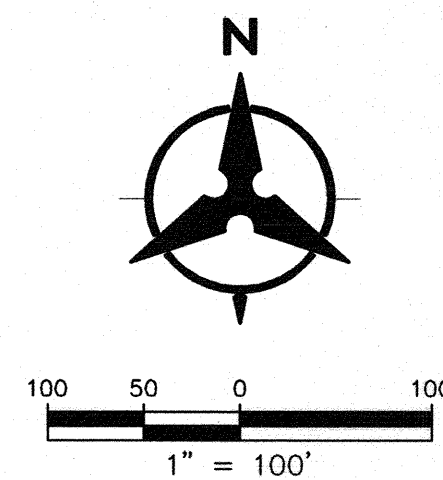
- A 10' PUBLIC UTILITY EASEMENT, GRANTED BY THIS PLAT.
- B EXISTING 10' PUBLIC UTILITY EASEMENT. FILED JUNE 8, 2009 AS DOCUMENT NO. 2009063589
- C EXISTING 50' PUBLIC ROADWAY AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE AND 68' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO NMUI BY PLAT FILED DECEMBER 21, 2007, IN PLAT BOOK 2007C, PAGE 352
- D EXISTING ROADWAY EASEMENT:
46' PUBLIC ROADWAY EASEMENT RESERVED BY THIS PLATING ACTION TO BE GRANTED IN THE FUTURE, UPON SUBSEQUENT PLATING OF TRACT 7, OR UPON REQUEST BY THE CITY OF ALBUQUERQUE, OR UPON REQUEST BY THE OWNER OF TRACT C, ANCIENT MESA, OR PROPOSED TRACTS C-1 AND C-2, ANCIENT MESA (DRB PROJECT NO. 1004071).
- E EXISTING PUBLIC DRAINAGE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH DURANGO UNIT 1 PLAT.
- F EXISTING 30' TEMPORARY PUBLIC ROADWAY EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH DURANGO UNIT 1 PLAT. (TO BE VACATED WITH THIS PLAT.)
- G EXISTING 30' PUBLIC SANITARY SEWER AND WATER EASEMENT GRANTED TO THE ABCWUA WITH THIS PLAT.
- H LOTS WITHIN 200 FEET OF THE PETROGLYPH NATIONAL MONUMENT SHALL BE A MINIMUM OF 11,000 SQUARE FEET.
- J LOTS BETWEEN 200 FEET AND 500 FEET OF THE PETROGLYPH NATIONAL MONUMENT SHALL BE A MINIMUM OF 6,000 SQUARE FEET.
- K 30' TEMPORARY PUBLIC ROADWAY EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THIS PLAT.
- L 36' RADIUS TEMPORARY ROADWAY TURNAROUND EASEMENT

ID	BEARING	LENGTH
T1	N00°19'33"E	110.00'
T2	N89°40'27"W	15.93'
T3	N00°19'33"E	152.00'
T4	N00°19'33"E	152.00'
T5	S89°40'27"E	21.08'
T6	N00°19'33"E	152.00'
T7	S89°40'27"E	7.41'
T8	N00°19'33"E	74.33'
T9	N47°26'53"W	68.97'
T10	N32°26'55"W	47.00'
T11	N45°49'06"E	63.70'
T12	N45°49'06"E	47.00'
T13	S44°10'54"E	25.68'
T14	N45°49'06"E	106.00'
T15	N44°10'54"W	1030.65'
T16	S89°41'41"E	68.00'
T17	S00°05'57"W	1320.83'
T18	S89°40'27"E	620.25'

ID	ARC	RADIUS	DELTA	TANGENT
C1	10.55'	51.50'	11°43'59"	5.29'
C2	39.27'	25.00'	90°00'00"	25.00'
C3	37.61'	25.00'	86°11'28"	23.39'
C4	256.74'	351.33'	41°52'12"	134.41'



Albuquerque Control Survey Monument
"UNION"
New Mexico State Plane Coordinates,
Central Zone (NAD 83) as published:
N=1,523,503.475
E=1,493,655.030
Ground to grid factor= 0.999664360
Delta Alpha= -00°16'58.96
Elevation= 5524.950



PRELIMINARY PLAT FOR DURANGO UNIT 3 LOTS 1-30 AND TRACT A APRIL 2015

LEGAL DESCRIPTION

Tract C, Durango Unit 2 City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "SUBDIVISION PLAT OF DURANGO UNIT 2 (LOTS 1-22 & TRACTS A-C), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on _____ in Plat Book _____, Page _____, as Document No. _____.

GENERAL NOTES

- EXISTING ZONING: SU-2, VTML, VOLCANO TRAILS MEDIUM LOT RESIDENTIAL
PROPOSED ZONING: SU-2, VTML, VOLCANO TRAILS MEDIUM LOT RESIDENTIAL
- TOTAL ACREAGE: 18.77 AC
UNIT 3 ACREAGE: 6.29 AC
NUMBER OF LOTS: 30
PROPOSED DENSITY: 4.77 DU/AC
- MIN. LOT DIMENSIONS: 50' X 105'
MINIMUM LOT AREA: 5,250 SQFT
- SEWER AND WATER ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY. STREET AND STORM DRAIN IMPROVEMENTS ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE CITY OF ALBUQUERQUE.
- LOT SETBACKS SHALL CONFORM TO THE VOLCANO TRAILS SECTOR DEVELOPMENT PLAN.
- TRACT A TO BE SUBDIVIDED AS PART OF DURANGO UNIT 4.

SITE DATA

ZONE ATLAS NO.	C-09-Z
ZONING	SU-2, VTML & VTML
MILES OF FULL WIDTH STREETS CREATED	0.27 MILES
NO. OF EXISTING TRACTS	1
NO. OF LOTS CREATED	30
NO. OF HOA TRACTS CREATED	0
NO. OF REMAINDER TRACTS CREATED	1

SURVEY NOTES:

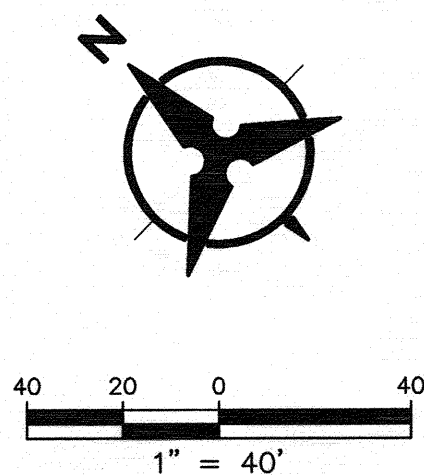
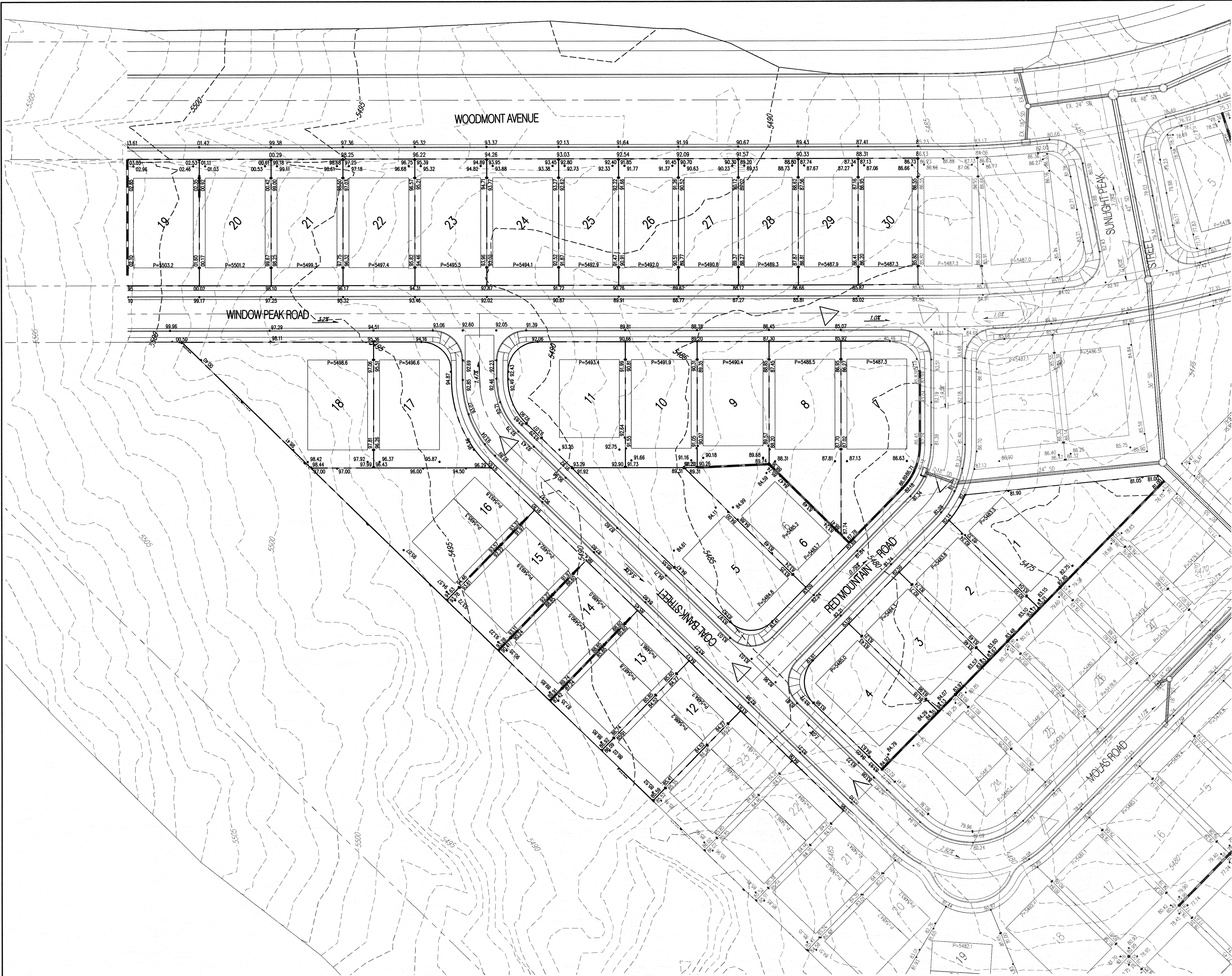
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 9750".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED

Steven T. Kishner P.S. 3/5/15
CITY SURVEYOR DATE

Kelly Calhoun 3/5/15
KELLY CALHOUN DATE
MANAGER, WOODMONT-PASEO, LLC


Bohannon & Huston




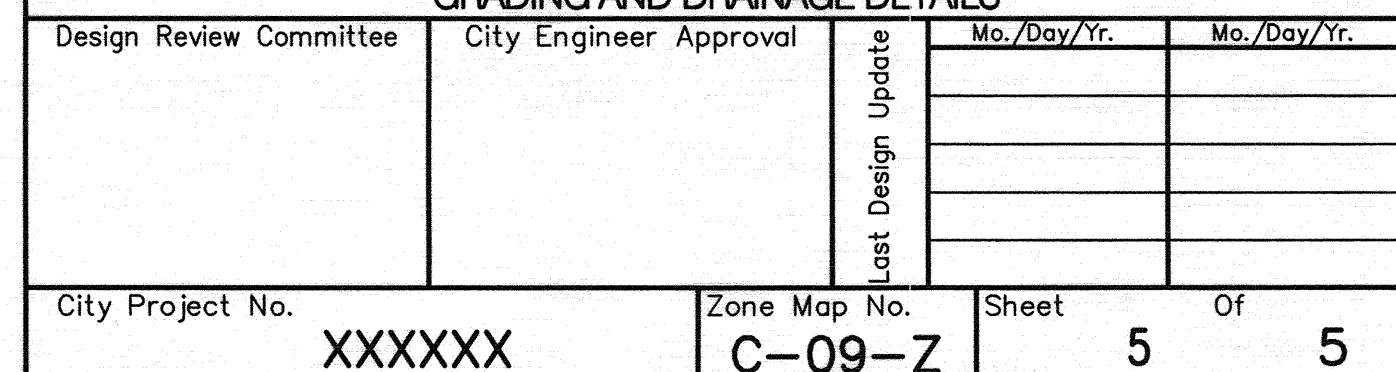
- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

- LEGEND**
- 91.62 PROPOSED SPOT ELEVATION
 - x 92.46 EXISTING SPOT ELEVATION (GRIND & TC)
 - EXISTING CURB & GUTTER
 - === PROPOSED MOUNTABLE CURB & GUTTER
 - === PROPOSED STANDARD CURB & GUTTER
 - 5470- EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - PROPOSED RETAINING WALL
 - PROPOSED GARDEN WALL
 - PROPOSED SLOPE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - WALL DRAIN

Bohannon & Huston
www.bhinc.com 800.877.5332

			
CITY OF ALBUQUERQUE			
PUBLIC WORKS DEPARTMENT			
DURANGO			
UNIT 3			
GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXXXX	C-09-Z	3	5

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REMARKS	
CONTRACTOR	DATE	ACS MONUMENT STAMPED "UNION"	DATE	NO.	BY			No.	By
INSPECTOR'S	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE						
INSPECTOR'S	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE						
INSPECTOR'S	DATE	N = 1,523,503.475 E = 1,493,655.030	DATE			DESIGN		DATE: 03/2015	DATE: 03/2015
INSPECTOR'S	DATE	GROUND-TO-GRID FACTOR = 0.999864360	DATE					Drawn By: DTH	Checked By: SJS
INSPECTOR'S	DATE	Δm = -00'16"58.96"	DATE						
INSPECTOR'S	DATE	NAVD 1988 ELEVATION = 5524.950	DATE						



Current DRC
Project No. _____

Date Submitted: _____ March 6, 2015

Date Site Plan for Bldg Permit Approval: _____

Date Site Plan for Sub. Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No. _____

Figure 12

INFRASTRUCTURE LIST

EXHIBIT 'A'
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**DURANGO UNIT 3
(REPLAT OF TRACT C, DURANGO UNIT 2)**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
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**DURANGO UNIT 3 WORK ORDER WILL NOT BE ISSUED UNTIL DURANGO UNIT 1
IS OPERATIONAL AND FINAL INSPECTION WITH THE CITY OF ALBUQUERQUE HAS OCCURRED**

PAVING

<div></div>	<div></div>	30' F-EOA	ARTERIAL PAVING W/PCC CURB & GUTTER, PCC 6' WIDE SIDEWALK ON SOUTH SIDE*	WOODMONT AVENUE	LOT 19 800' WEST OF SUNLIGHT PEAK STREET	LOT 28 300' WEST OF SUNLIGHT PEAK STREET	<div></div>	<div></div>	<div></div>
<div></div>	<div></div>	28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES*	WINDOW PEAK ROAD	LOT 19	RED MOUNTAIN ROAD	<div></div>	<div></div>	<div></div>
<div></div>	<div></div>	28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES*	COAL BANK STREET	WINDOW PEAK ROAD	UNIT 3 SOUTH BOUNDARY SOUTH END LOT 4	<div></div>	<div></div>	<div></div>
<div></div>	<div></div>	24' EOA-EOA	2" AC PAVING TEMPORARY ROADWAY CONNECTION	30' TEMPORARY ROADWAY EASEMENT	SOUTH END OF COAL BANK STREET	WEST END OF MOLAS ROAD, UNIT 1	<div></div>	<div></div>	<div></div>
<div></div>	<div></div>	28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON EAST SIDE*	RED MOUNTAIN ROAD	COAL BANK STREET	UNIT 3 NORTH BOUNDARY NORTH END LOT 1	<div></div>	<div></div>	<div></div>
<div></div>	<div></div>	36' RADIUS	TEMPORARY TURNAROUND	TRACT A, UNIT 3	NORTH END OF WINDOW PEAK ROAD		<div></div>	<div></div>	<div></div>

* SIDEWALKS TO BE BUILT/DEFERRED IN ACCORDANCE W/APPROVED SIDEWALK EXHIBIT

PUBLIC STORM DRAIN IMPROVEMENTS

NOTE: CERTIFICATION OF THE GRADING AND DRAINAGE PLAN
IS REQUIRED FOR RELEASE OF FINANCIAL GUARANTEES

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<div> <div></div> <div></div> </div>		<u>PUBLIC WATERLINE IMPROVEMENTS</u>							
		12" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WOODMONT AVENUE	LOT 19 800' WEST OF SUNLIGHT PEAK STREET	LOT 28 300' WEST OF SUNLIGHT PEAK STREET	<div><div>/</div></div>	<div><div>/</div></div>	<div><div>/</div></div>
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	WINDOW PEAK ROAD	LOT 19	RED MOUNTAIN ROAD	<div><div>/</div></div>	<div><div>/</div></div>	<div><div>/</div></div>
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	COAL BANK STREET	WINDOW PEAK ROAD	UNIT 3 SOUTH BOUNDARY SOUTH END LOT 4	<div><div>/</div></div>	<div><div>/</div></div>	<div><div>/</div></div>
<div> <div></div> <div></div> </div>		6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	RED MOUNTAIN ROAD	COAL BANK STREET	UNIT 3 NORTH BOUNDARY NORTH END LOT 1	<div><div>/</div></div>	<div><div>/</div></div>	<div><div>/</div></div>

<div> <div></div> <div></div> </div>		<u>PUBLIC SANITARY SEWER IMPROVEMENTS</u>							
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	WINDOW PEAK ROAD	LOT 19	RED MOUNTAIN ROAD	<div><div>/</div></div>	<div><div>/</div></div>	<div><div>/</div></div>
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	COAL BANK STREET	LOT 16	MOLAS ROAD	<div><div>/</div></div>	<div><div>/</div></div>	<div><div>/</div></div>
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	RED MOUNTAIN ROAD	COAL BANK STREET	LOT 1	<div><div>/</div></div>	<div><div>/</div></div>	<div><div>/</div></div>
<div> <div></div> <div></div> </div>		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	MOLAS ROAD	COAL BANK STREET	WEST END OF MOLAS ROAD, UNIT 1	<div><div>/</div></div>	<div><div>/</div></div>	<div><div>/</div></div>



AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
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SCOTT STEFFEN PREPARED BY: PRINT NAME	3/6/2015 DATE	DRB CHAIR DATE	PARKS & GENERAL SERVICES DATE
BOHANNAN HUSTON, INC. FIRM:		TRANSPORTATION DEVELOPMENT DATE	AMAFCA DATE
SIGNATURE		ABCWUA DATE	CITY ENGINEER DATE
MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION			DATE
<div style="border: 1px solid black; height: 20px; width: 100%;"></div>			



DESIGN REVIEW COMMITTEE REVISIONS

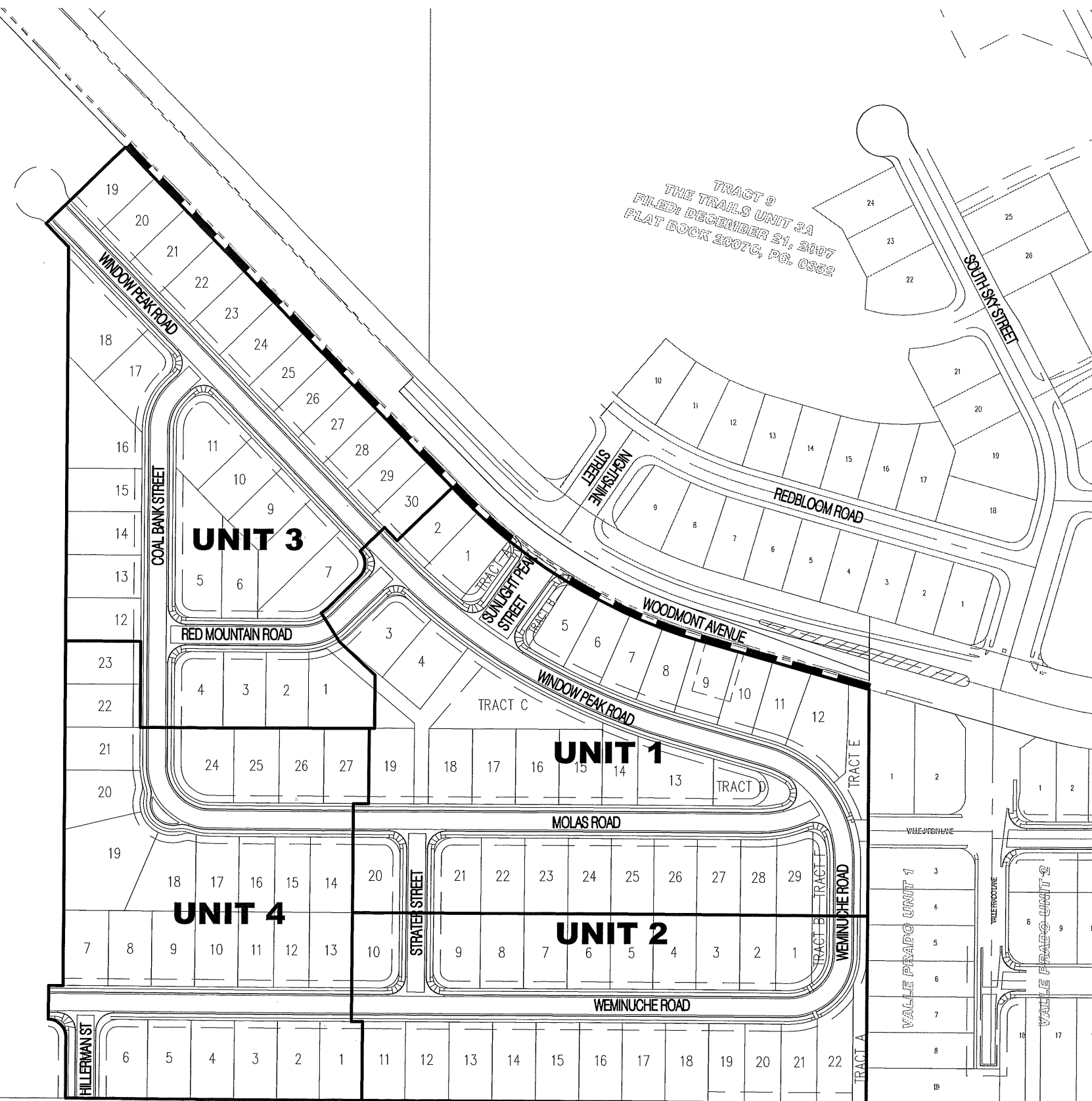
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

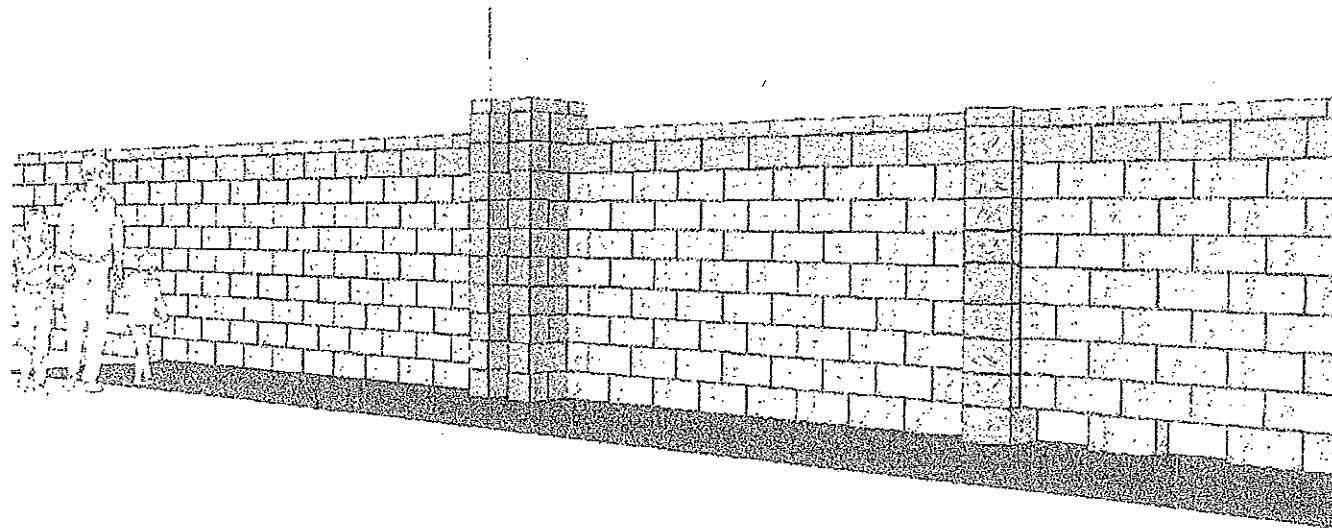
EXHIBIT "D" DURANGO WALL EXHIBIT 03/06/15



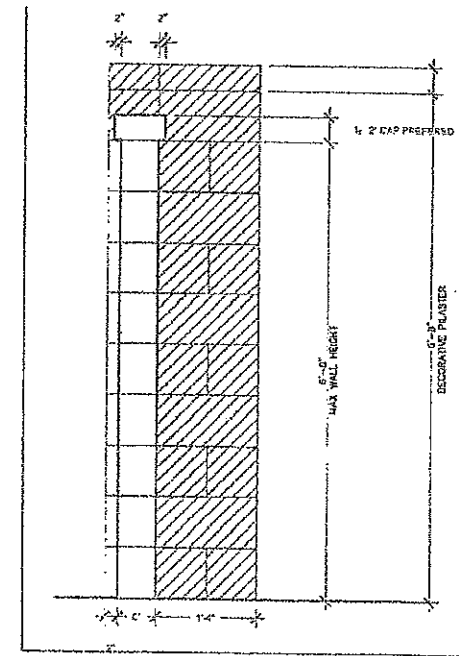
NOT TO SCALE

--- PERIMETER WALL LOCATION

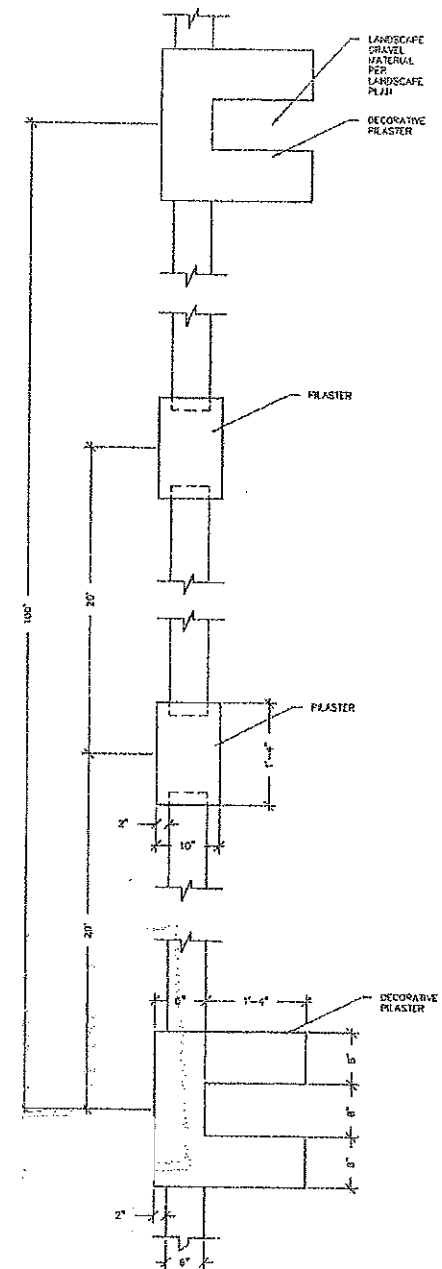




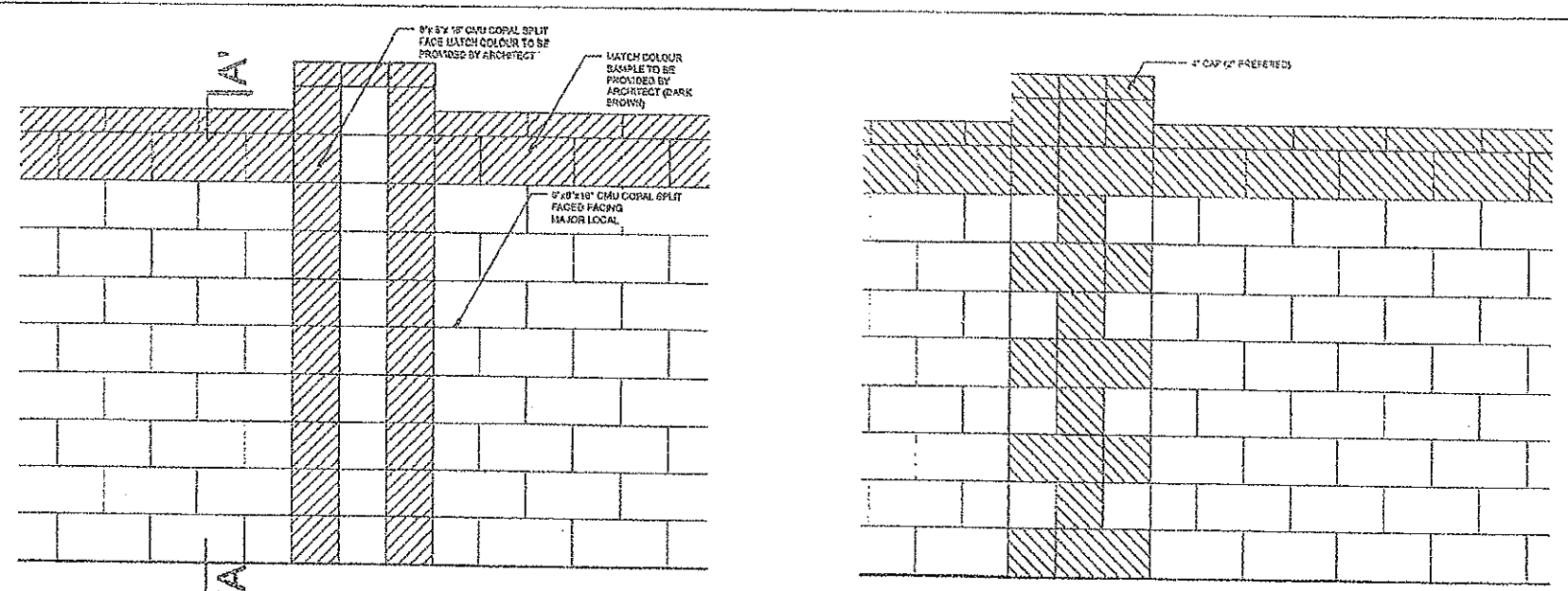
PERSPECTIVE WALL RENDERING
SCALE: NTS



WALL CROSS SECTION
VIEW A-A
SCALE: NTS



PLAN VIEW
SCALE: NTS



WALL ELEVATION
SCALE: NTS

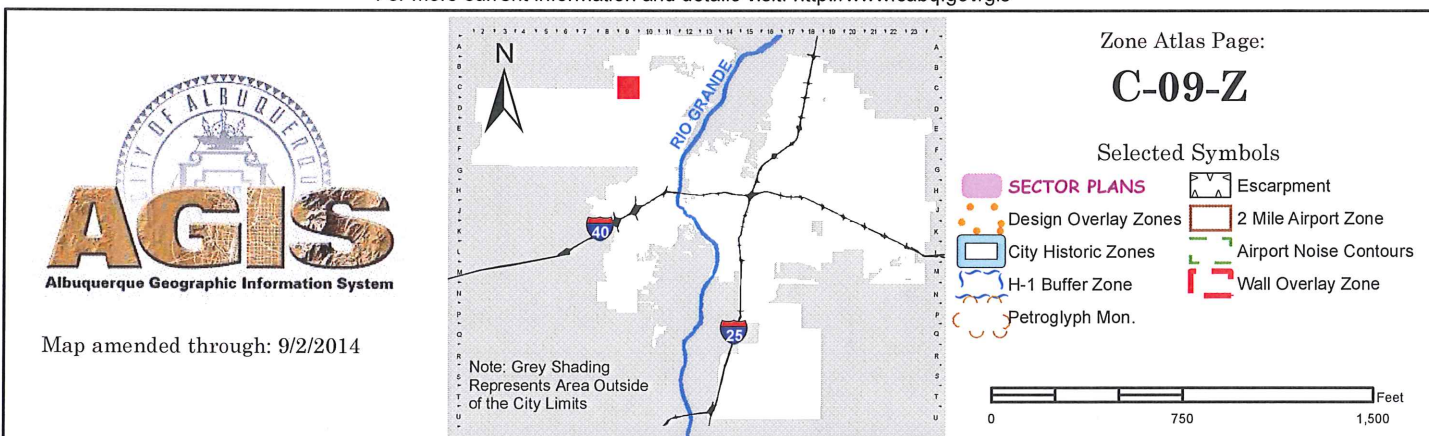
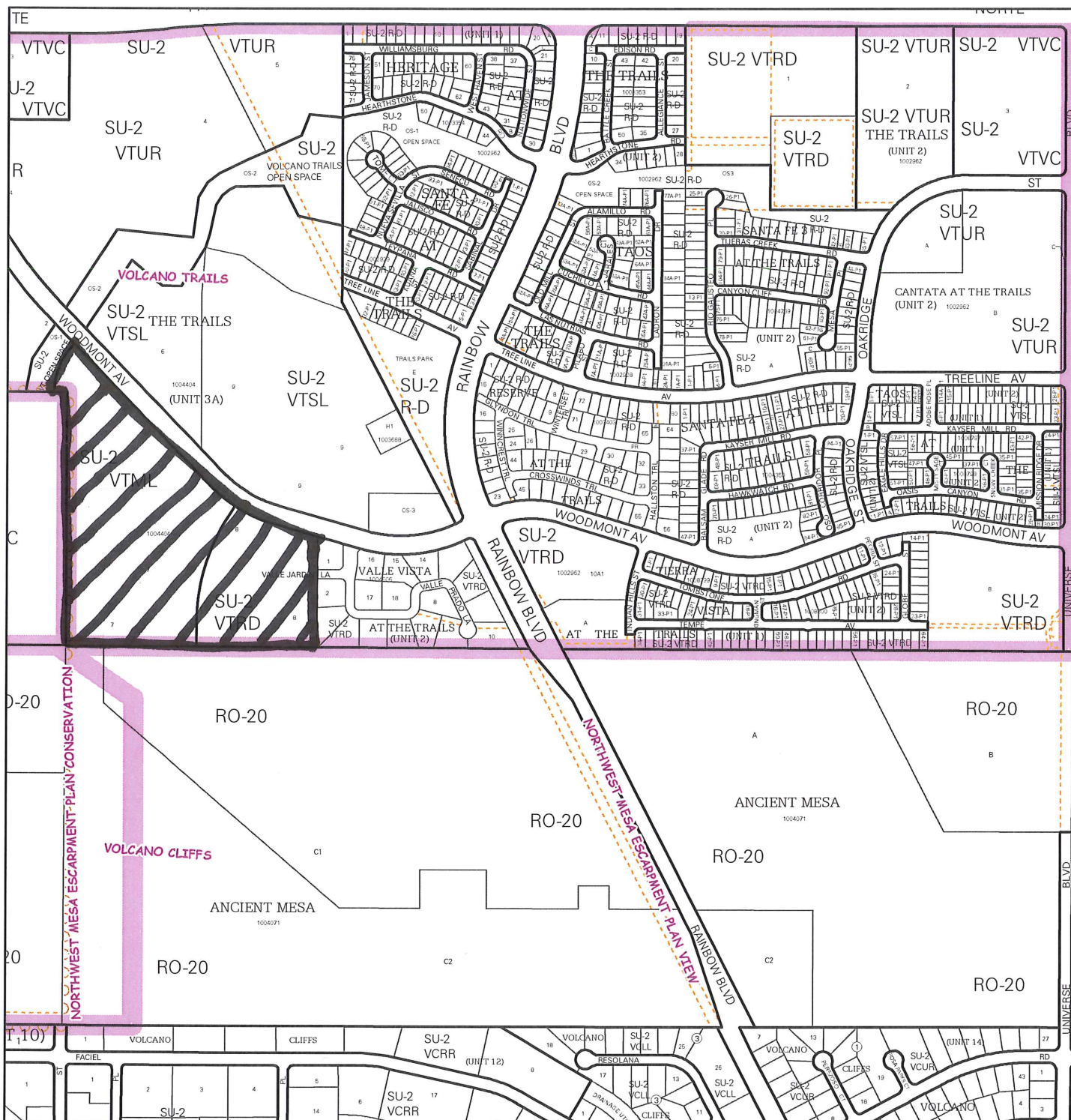
NEAREST INTERSECTION:
WOODMONT AVE./
ONKRIE STREET

ZONE ATLAS:
C-9-Z

DURANGO

TYPICAL WALL EXHIBIT

REVISIONS	NO.	DATE	REMARKS	BY
DESIGN	SJS	WCEA NO. X5218109	DATE	JULY 2006
DRAWN	RM	PROJECT NO.	SHEET NO.	
CHECK	SJS	N/A	1 OF 2	





City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The
Neighborhood and/or
Homeowner Association
information listed in this letter is
valid for one (1) month. If you
haven't filed your application
within one (1) month of the date
of this ONC Letter – you will need
to get an updated ONC Letter from
our office.

February 12, 2015

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **February 12, 2015:**

Contact Name: SCOTT STEFFEN

Company or Agency: BOHANNAN HUSTON, INC.
7500 JEFFERSON ST. NE, COURTYARD I/87109-4335
PHONE: 505-823-1000/FAX: 505-798-7988
E-mail: ssteffen@bhinc.com

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – TRACT 7&8 AT THE TRAILS, UNIT 3A, LOCATED ON WOODMONT AVENUE NW BETWEEN RAINBOW BOULEVARD NW AND PASEO DEL NORTE BOULEVARD NW** zone map **C-9**.

Our records indicate that as of February 12, 2015, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

planningnrnaform(02/20/14)

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Woodmont-Paseo, LLC DATE OF REQUEST: 02/25/15 ZONE ATLAS PAGE(S): C-09

CURRENT:

ZONING SU-2 VTML/VTRD

PARCEL SIZE (AC/SQ. FT.) 30.2 ac

REQUESTED CITY ACTION(S):

ANNEXATION ☐

ZONE CHANGE ☐: From _____ To _____

SECTOR, AREA, FAC, COMP PLAN ☐

AMENDMENT (Map/Text) ☐

LEGAL DESCRIPTION:

LOT OR TRACT # 7 & 8 BLOCK # _____

SUBDIVISION NAME The Trails Unit 3A

DURANGO UNITS 1-4

SITE DEVELOPMENT PLAN:

SUBDIVISION* ☒ AMENDMENT ☐

BUILDING PERMIT ☐ ACCESS PERMIT ☐

BUILDING PURPOSES ☐ OTHER ☐

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT ☐

NEW CONSTRUCTION ☒

EXPANSION OF EXISTING DEVELOPMENT ☐

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 129 100 +/- LOTS

BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE RICK BELTRAMO

DATE 2-26-15

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☒ BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☒ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☐

Notes:

100 detached single family homes

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

02-26-15
DATE

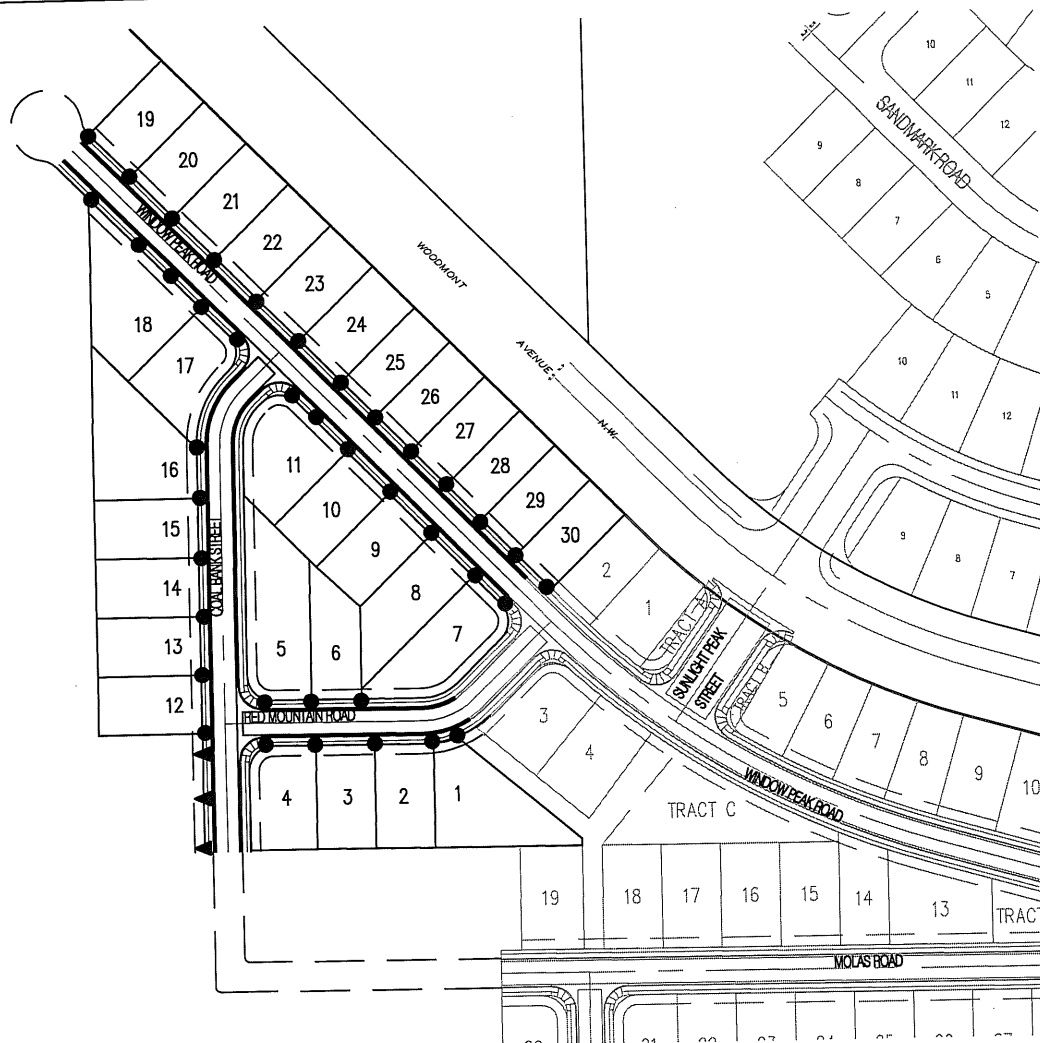
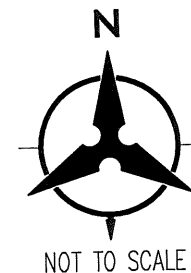
Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER

DATE

Revised January 20, 2011



DEFERRED sidewalks to be built on a lot-by-lot basis as home construction is completed. The deferral is requested to reduce damage to sidewalks due to building construction activities.



DEFER sidewalk to Durango Unit 4. Lots 22 & 23 in Unit 4 front Coal Bank Street in this location. Sidewalk should be deferred until home construction is completed to reduce damage to sidewalk or removal of sidewalk due to Unit 4 construction activity.

EXHIBIT "B" **DURANGO UNIT 3** **SIDEWALK DEFERRAL/WAIVER EXHIBIT** **03/06/15**

Bohannon  **Huston**