






CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

11:00 AM
11:05 AM
11:10 AM
11:15 AM
11:20 AM
11:25 AM
11:30 AM
11:35 AM
11:40 AM
11:45 AM
11:50 AM
11:55 AM
12:00 PM

3. **Project# 1010442**
15DRB-70154 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT 
- CONSENSUS PLANNING agents for PULTE HOMES OF NEW MEXICO request the referenced/ above action for Tract N-2-F-1, **DEL WEBB AT MIREHAVEN PHASE 1** zoned SU-2/ PDA, located on DEL WEBB LN NW between MIREHAVEN PARKWAY NW and WILLOW CANYON TR NW containing approximately 6.63 acres. (H-8) *[deferred from 5/6/15]* **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO ABCWUA FOR AVAILABILITY STATEMENT PLANNING FOR 15 DAY APPEAL PERIOD AND VERIFICATION FROM PARKS REGARDING LANDSCAPING.**
4. **Project# 1006865**
15DRB-70137 VACATION OF PUBLIC
DRAINAGE EASEMENTS
15DRB-70138 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT
15DRB-70144 - PRELIMINARY PLAT

- TIERRA WEST LLC agents for MAIN EVENT request the referenced/ above actions for all or a portion of Lot 2, **SRCC ALBUQUERQUE CARPENTERS TRAINING CENTER** and Lot A-4-A, **LUECKING PARK COMPLEX** zoned M-1, located on the east side of I-25 between VASSAR DR NE and COMANCHE RD NE containing approximately 6.81 acres. (G-16) *[Deferred from 4/22/15]* **DEFERRED TO 5/20/15**
5. **Project# 1010332**
15DRB-70139 - PRELIMINARY PLAT
15DRB-70140 TEMPORARY
DEFERRAL OF SIDEWALK
CONSTRUCTION
15DRB-70155 EPC APPROVED SDP
FOR SUBDIVISION 
- MARK GOODWIN AND ASSOCIATES P.A. agents for 98TH ST LLC request the referenced/ above actions for Tract 34D-1-A, **LANDS OF SALAZAR FAMILY TRUST, et. al.** zoned SU-1/ MIXED USE, located in the southwest corner of 98TH ST SW and GIBSON BLVD SW containing approximately 25.17 acres. (N-9) *[Deferred from 4/22/15, 5/6/15]* **DEFERRED TO 6/10/15**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project# 1002134**
15DRB-70187 EXT OF SIA FOR TEMP
DEFR SDWK CONST 
- MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for VISTA DEL NORTE DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of **LOS LOMITAS INDUSTRIAL PARK** zoned SU-1 FOR IP, located on LOS LOMITA S. OF PASEO DEL NORTE containing approximately 33.4552 acre(s). (D-16)  **A TWO YEAR EXTENSION TO THE AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

PROJECT NUMBER: 1010442 - 15DRB-70154 - SITE PLAN FOR BUILDING PERMIT

PROJECT NAME: DEL WEBB AT MIREHAVEN PHASE 1

AGENT: CONSENSUS PLANNING

Your request was approved on 5-13-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA:

Availability, Hatched

City Engineer:

Parks and Recreation :

Planning:

Plats review of Land zoning
15 day appeal period

PLATS:

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:**

-Tax printout from the County Assessor.

-County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

2-2-2

Handwritten text, possibly a signature or name.

Handwritten text, possibly a signature or name.



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

PUBLIC AGENCY COMMENTS

Project# 1010442

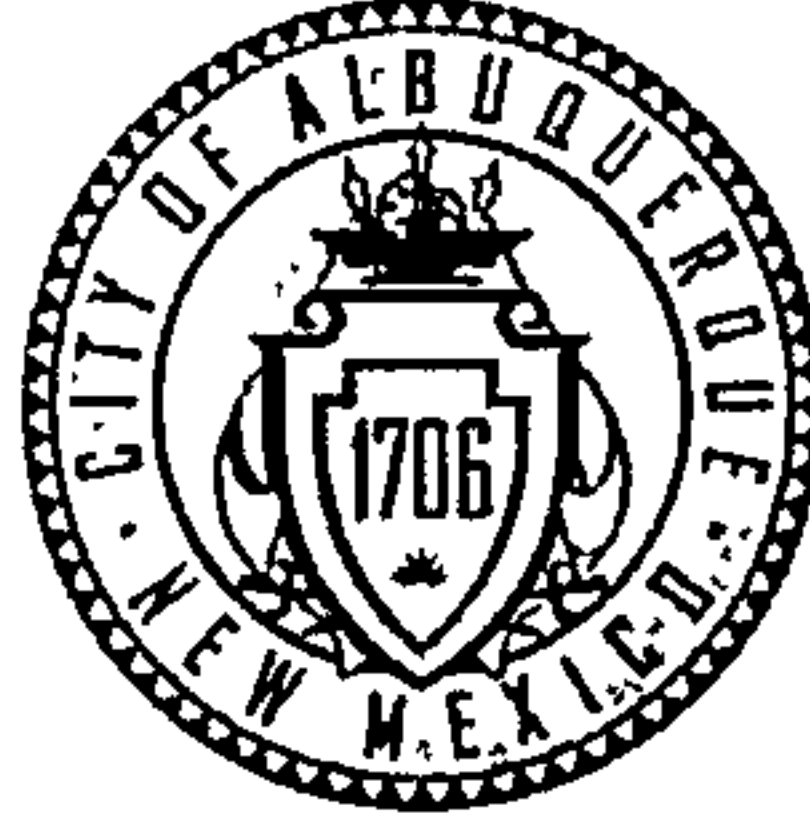
15DRB-70154 – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

CONSENSUS PLANNING agents for PULTE HOMES OF NEW MEXICO request the referenced/ above action for Tract N-2-F-1, **DEL WEBB AT MIREHAVEN PHASE 1** zoned SU-2/ PDA, located on DEL WEBB LN NW between MIREHAVEN PARKWAY NW and WILLOW CANYON TR NW containing approximately 6.63 acres. (H-8)

<p>AMAFCA</p> <p><i>Lynn Mazur</i> lmazur@amafca.org</p>	<p>No comment on approval of Site Development Plan for Building Permit. AMAFCA no longer has any conditions for approval since the floodplain easement on the Mirehaven Arroyo was assigned to the City, and the City will maintain the arroyo</p>
<p>MRCOG</p> <p><i>Kendra Watkins</i> kwatkins@mrcog-nm.gov <i>Andrew Gingerich</i> AGingerich@mrcog-nm.gov <i>Maida Rubin</i> mrubin@mrcog-nm.gov</p>	
<p>TRANSIT</p> <p><i>Shabih Rizvi</i> srizvi@cabq.gov</p>	
<p>ZONING ENFORCEMENT</p> <p><i>Vince Montano</i> VMontano@cabq.gov</p>	
<p>NEIGHBORHOOD COORDINATION</p> <p><i>Stephani Winklepleck</i> SWinklepleck@cabq.gov</p>	<p>Affected NA/HOA's: No Neighborhood and/or Homeowner Associations</p>
<p>APS</p> <p><i>April Winters</i> winters_a@aps.edu</p>	
<p>POLICE DEPARTMENT</p> <p><i>Steve Sink</i> SSink@cabq.gov</p>	<p>This project is in the Northwest Area Command.</p> <ul style="list-style-type: none"> - Landscaping: Recommend all <i>bush-variety</i> plantings are kept at a height no higher than three (3) feet from the ground. Bushes need to be maintained at a low-level to provide optimal natural surveillance,

	<p>particularly around parking lots, walkways, building approaches and activity areas. Trees should be positioned to not conflict with available exterior lighting. Once trees become mature, they reduce available illumination.</p> <ul style="list-style-type: none"> - Video Surveillance: Recommend installing a video surveillance system. Cameras should be positioned to view all vehicle/pedestrian access points, parking lots, walkways, building approaches, common areas, activity centers and open space. Each camera should be monitored and recorded for real-time and historical use.
<p>FIRE DEPARTMENT <i>Antonio Chinchilla</i> achinchilla@cabq.gov</p>	<p>All site development plans for subdivisions and site development plans for building permit shall be submitted to the Fire Marshal's Office Plans Checking Division for review and approval. A site plan with an approved stamp and signature is required. See site Development Plan for Building Permit Checklist issued by DRB comment provide "Copy of Site Plan with Fire Marshal Stamp".</p>
<p>PNM ELECTRIC <i>Daniel Aragon</i> Daniel.Aragon@pnm.com</p>	
<p>NEW MEXICO GAS COMPANY <i>Robert Gomez</i> Robert.gomez@nmgco.com</p>	
<p>COMCAST <i>Mike Mortus</i> Mike_Mortus@cable.comcast.com</p>	
<p>CENTURYLINK</p>	
<p>ENVIRONMENTAL HEALTH <i>Paul Olson</i> polson@cabq.gov</p>	
<p>M.R.G.C.D <i>Ray Gomez</i> michael@mrgcd.us</p>	
<p>OPEN SPACE DIVISION <i>Kent Reed Swanson</i> kswanson@cabq.gov <i>Sarah Brown</i> sbrowne@cabq.gov</p>	<p>As per the following plans regarding native vegetation use: West Side Strategic Plan (2014): Additional landscaping requirements will be developed as part of the design guidelines which will include a plant materials list for the West Side. These plants should be predominantly native to the upland mesa environment (p.171).</p> <p>Northwest Mesa Escarpment Plan Policy 13.2.a: Plants selected for landscaping on privately or publicly owned land shall be selected from the Plant Species List (Appendix D). Landscaping plans shall indicate a pattern that does not obscure major public views of the escarpment as defined in this document.</p> <p>According to the Watershed Subdivision Landscape Plan, Sheet 2 of 6, the landscape list includes several species such as the London planetree and the thorny locust that would not be considered native to the upland mesa environment. Please review plant list.</p>

TRANSPORTATION PLANNING (DMD) <i>John MacKenzie</i> jmackenzie@cabq.gov	no comments
PARKS AND RECREATION <i>Carol Dumont</i> cdumont@cabq.gov	Defer to Open Space Division comments regarding appropriate trees.
CITY ENGINEER/ HYDROLOGY <i>Rita Harmon</i> RHarmon@cabq.gov	
ABCWUA <i>Kris Cadenda</i> KCadena@abcwua.org	
TRANSPORTATION DEVELOPMENT <i>Racquel Michel</i> RMichel@cabq.gov	
PLANNING DEPARTMENT <i>Jack Cloud</i> jcloud@cabq.gov	Refer to comments from affected agencies plus any public hearing comments regarding proposed site plan. Upon review of the site development plan for building permit dated April 23, 2015, it was found to be in substantial compliance with the site development for subdivision design regulations/standards for the Mirehaven development. Kym E. Dicone Current Planning Manager



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

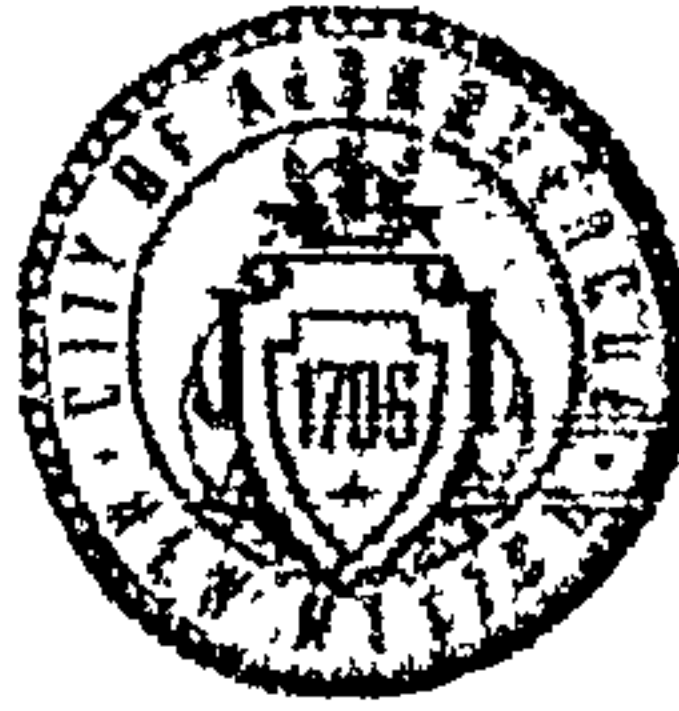
TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1010442

Board hearing date:

WEDNESDAY, May 6, 2015



**PUBLIC HEARING—DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, May 6, 2015 beginning at 9:00 a.m. and proceeding according to that day's agenda for the purpose of considering the following items. The Development Review Board will hold a Pre-Hearing Discussion in the Conference Room of Suite 207, Lobby Level, Plaza del Sol Building, 600 2nd St NW, Albuquerque, NM on Tuesday May 5, 2015, beginning at 3:00 p.m. for the purpose of reviewing these items prior to the public hearing; no action or public comments will be taken at this Discussion.

Project# 1010442
15DRB-70154 – SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT

CONSENSUS PLANNING agents for PULTE HOMES OF NEW MEXICO request the referenced/ above action for Tract N-2-F-1, DEL WEBB AT MIREHAVEN PHASE 1 zoned SU-2/ PDA, located on DEL WEBB LN NW between MIREHAVEN PARKWAY NW and WILLOW CANYON TR NW containing approximately 6.63 acres. (FF-8)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, April 20, 2015.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit DRB Public Hearing
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning, Inc. PHONE: (505) 764-9801
 ADDRESS: 302 Eighth Street NW FAX: (505) 842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: fishman@consensusplanning.com

APPLICANT: Pulte Homes of New Mexico, Inc. PHONE: (505) 761-9606
 ADDRESS: 9601 Jefferson Blvd NE Suite 180 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: Kevin.Patten@PulteGroup.com
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Site Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract N-2-F Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Watershed Subdivision
 Existing Zoning: SU-2 for PDA Proposed zoning: Same MRGCD Map No _____
 Zone Atlas page(s): H-08-Z UPC Code: 100805948123740104

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____
Project # 1006864; 13EPC-40115; 13DRB-70658

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 6.6 acres
 LOCATION OF PROPERTY BY STREETS: On or Near: Del Webb Lane
 Between: Mirehaven Parkway and Willow Canyon Trail

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Jacqueline Fishman DATE 4/10/15
 (Print Name) Jacqueline Fishman, AICP, Principal Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>15 DRB - 70154</u>	<u>SBP</u>	_____	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>May 6, 2015</u>				Total <u>\$ 480.00</u>

[Signature] 4-10-15 Project # 1010442
 Staff signature & Date

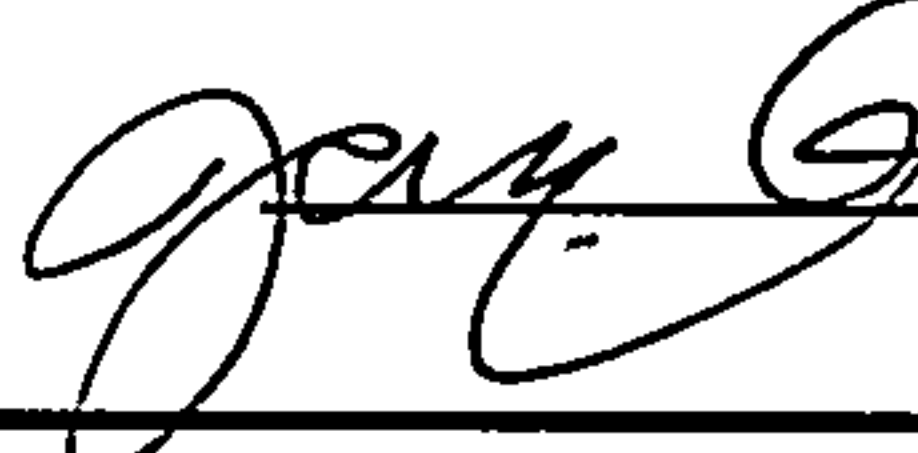
FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.


- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JACQUELINE FISHMAN
 Applicant name (print)

 Applicant signature / date
 4/10/15



Form revised October 2007

<input checked="" type="checkbox"/> Checklists complete	Application case numbers	Planner signature / date
<input checked="" type="checkbox"/> Fees collected	<u>15 - DRB - 70154</u>	 4-10-15
<input checked="" type="checkbox"/> Case #s assigned	_____	Project # <u>1010442</u>
<input checked="" type="checkbox"/> Related #s listed	_____	

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from April 21, 2015 To May 6, 2015

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

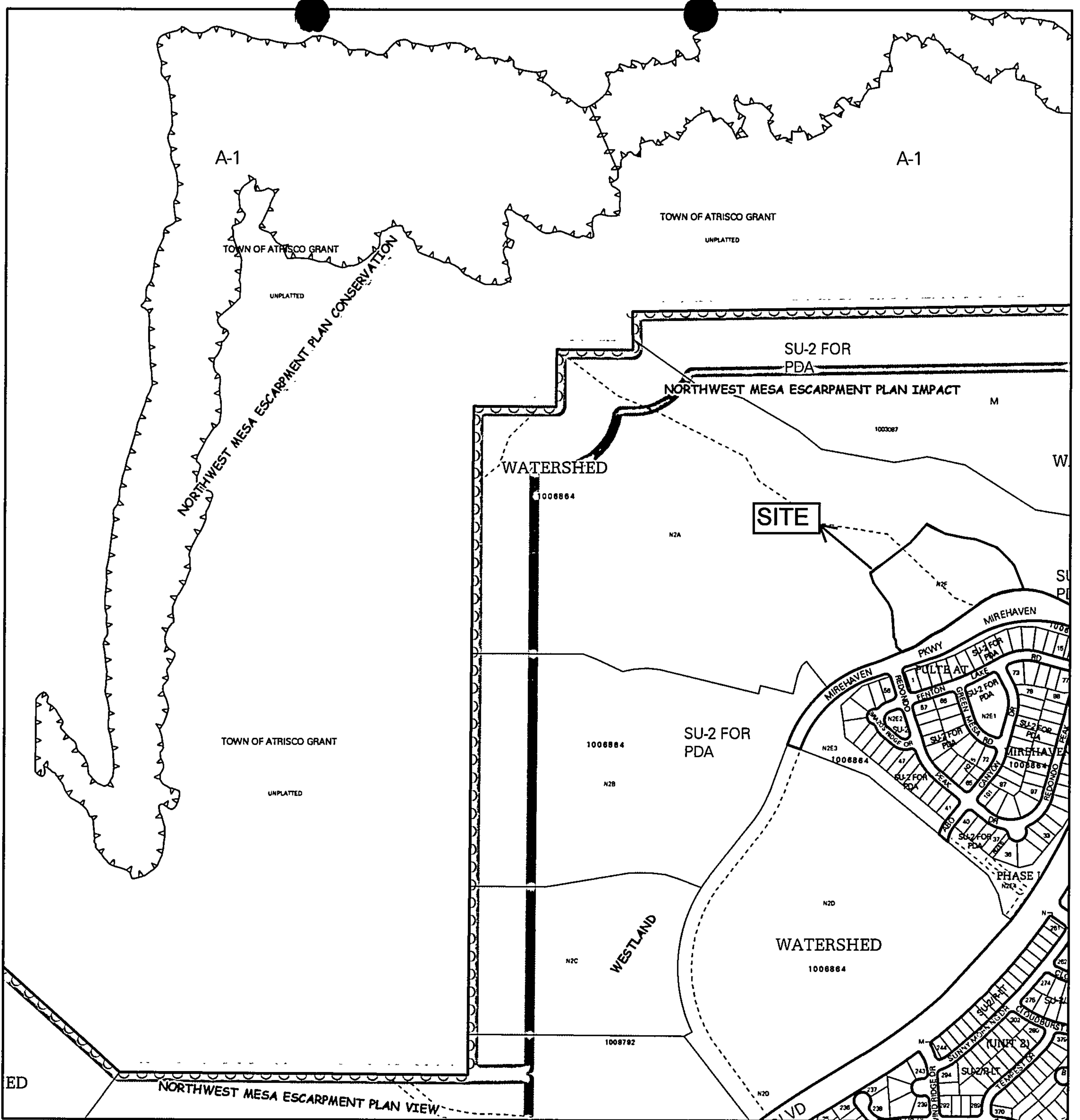
Malay
(Applicant or Agent)

4-10-15
(Date)

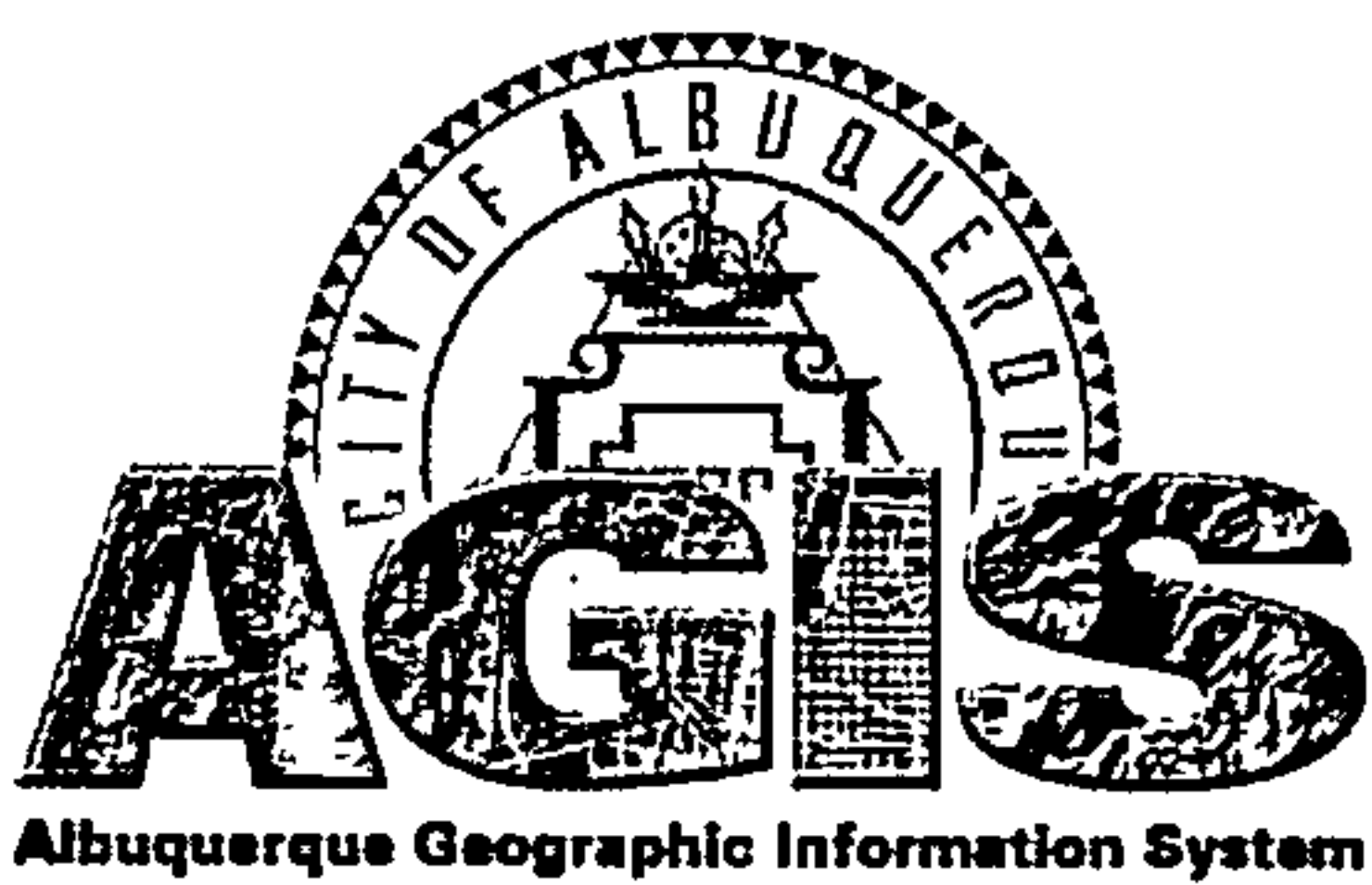
I issued 3 signs for this application, 4-10-15
(Date)

[Signature]
(Staff Member)

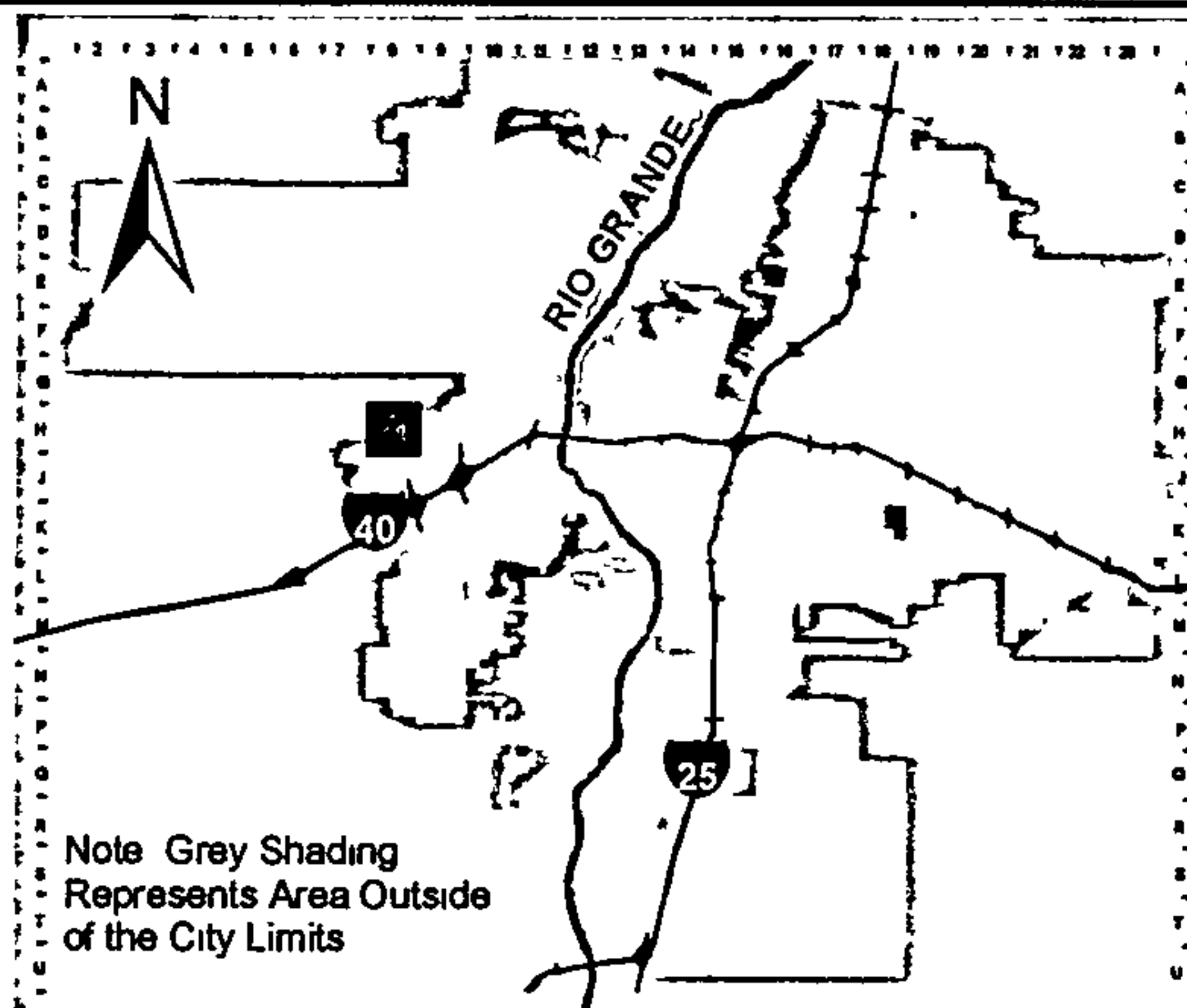
DRB PROJECT NUMBER: 1010442



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 9/2/2014



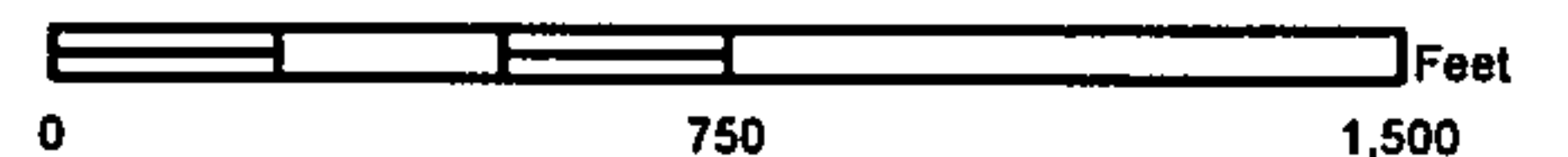
Note Gray Shading Represents Area Outside of the City Limits

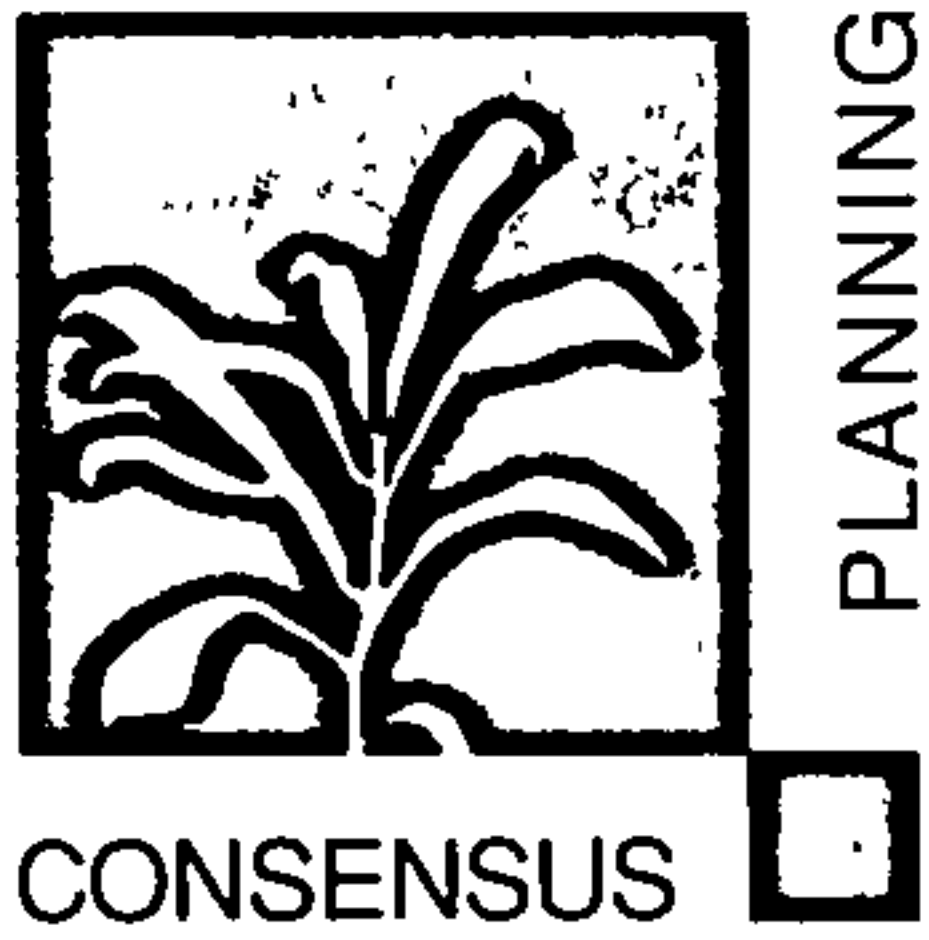
Zone Atlas Page:

H-08-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





April 10, 2015

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Landscape Architecture
Urban Design
Planning Services

RE: Del Webb at Mirehaven Amenity Center; Tract N-2-F Watershed Subdivision

Dear Mr. Chairman:

302 Eighth St. NW
Albuquerque, NM 87102
(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to explain our Site Plan for Building Permit request for an Amenity Center on the 6.6 acre site legally described as Tract N-2-F within the Watershed Subdivision. The Site Plan for Subdivision (and associated Design Standards) was approved by the Environmental Planning Commission and is included as part of this application. It was determined by yourself and Kym Dicome that this Site Plan for Building Permit for the Amenity Center was delegated by the EPC to the DRB for administrative review at a public hearing before the DRB. I have attached the Notice of Decision and copies of the approved Site Plan for Subdivision.

The approved Site Plan for Subdivision reflects Pulte Homes' intent to build a single family residential community on five separate tracts. The overall project provides two side-by-side communities that complement each another, made up of approximately 565 units for active adult housing (Del Webb) and 385 units for traditional single family.

The Del Webb community is designed for active adults and has amenities geared towards these residents. The proposed Amenity Center includes a fitness center, swimming pool, game rooms, and a social lawn for outdoor activities. Outdoor amenities include four pickleball courts, two bocce ball courts, two tennis courts, and a swimming pool/spa.

The Mirehaven Amenity Center is designed to take full advantage of the New Mexico indoor/outdoor lifestyle for its active adult residents. Interior spaces such as the Great Room and Social Rooms, open visually and physically to outdoor terraces, courtyards, and a grand Event Lawn. The Sandia Mountains are viewed from these areas, as well as the Fitness Center and Pool Terrace. The building spaces and interconnected exterior areas are fully integrated and can be enjoyed nearly year round to the Albuquerque temperate climate.

PRINCIPALS

James K. Strozier, AICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP
Laurie Firor, PLA, ASLA

The Amenity Center architecture can be described as contemporary Southwestern style. The sloping shed roof elements in a rust color finish capture the light and views to the Sandia Mountains. Plaster masses are juxtaposed with



a contemporary palette of natural stone, metal, glass, wood, and sand-blasted concrete. Colors are rendered in natural earth tones with very low light reflectance values with the darkest tones creating a strong base element.

The proposed Amenity Center meets the approved Site Plan for Subdivision Design Standards, as follows:

- The Design Standards allow up to 12,000 square feet of interior space at one story. The proposed Amenity Center building is 10,480 square feet and is one story.
- The Design Standards restrict the height of the Clubhouse to 40 feet. The proposed building is 36 feet in height, which includes the top of the chimney.
- The Design Standards require a minimum of 75 parking spaces based on a 12,000 square foot of building and outdoor recreational amenities (6 spaces per 1,000 square feet). The proposed Site Plan provides 63 spaces for the 10,480 square foot Amenity Center building, which meets the required ratio. It also includes handicapped and bicycle parking in excess of the Design Standard requirements.
- The Design Standards require pedestrian connections and handicapped accessibility to and around the Amenity Center. The Site Plan provides sidewalks and trails on all sides of the Amenity Center Tract.
- The Design Standards require the architectural style to be Contemporary Southwestern with timber structures and recessed windows and door openings. Stone is allowed as an accent material and the roof can be a combination of flat and pitched. The proposed building elevations reflect all of these architectural standards.
- The Design Standards require following the ABCWUA Xeriscaping Plant List. The proposed Landscape Plan is in compliance with this.

Thank you for your consideration of this request. Please do not hesitate to contact me at 764-9801 with any questions or additional information you may need.

Sincerely,

A handwritten signature in black ink, appearing to read "Jacqueline Fishman", with a long horizontal line extending to the right.

Jacqueline Fishman, AICP
Principal



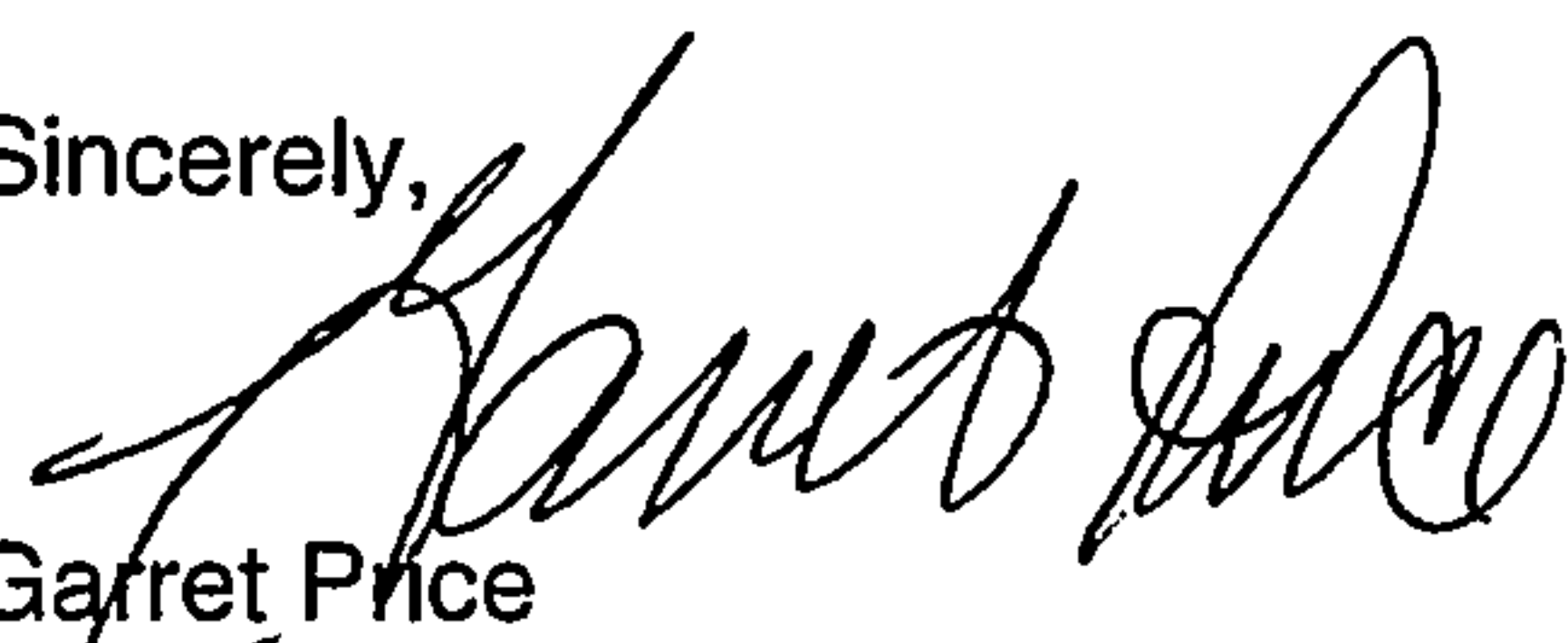
April 3, 2015

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, New Mexico 87012

Dear Mr. Chairman:

As owners of the property, Consensus Planning, Inc. is hereby authorized to represent us in all matters regarding the application, processing, and representation before the Development Review Board regarding the request for Site Plan for Building Permit for property located on 9100 Del Webb Lane. The property is legally described as Tract N2-F of the Watershed Subdivision.

Sincerely,



Garret Price
VP Land: New Mexico
Pulte Homes
7601 Jefferson Street NE
Albuquerque, NM 87109



SITE DATA:

LEGAL DESCRIPTION: 6.63 ACRES COMPRISED OF TRACT N-2-F WITHIN THE Watershed @ Estrella SUBDIVISION.

SITE AREA: 276,901 SF (6.63 AC)

PROPOSED USE: PRIVATE CLUBHOUSE INCLUDING INDOOR AND OUTDOOR AMENITIES

BUILDING AREA: 10,480 SF

MAXIMUM BUILDING HEIGHT: 40'

PARKING: REQUIRED MINIMUM 6 SPACES PER 1000 SF:
 TOTAL PARKING REQUIRED: 63
 TOTAL PARKING PROVIDED: 63
 HANDICAP REQUIRED: 4
 HANDICAP PROVIDED: 6
 GOLF CART / MOTORCYCLE REQUIRED: 3
 GOLF CART / MOTORCYCLE PROVIDED: 11
 BICYCLE REQUIRED: 4
 BICYCLE PROVIDED: 8

PROJECT # 1006864,
 APPLICATION #

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITH PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

 TRAFFIC ENGINEER, TRANSPORTATION

 ABCWUA

 PARKS AND RECREATION

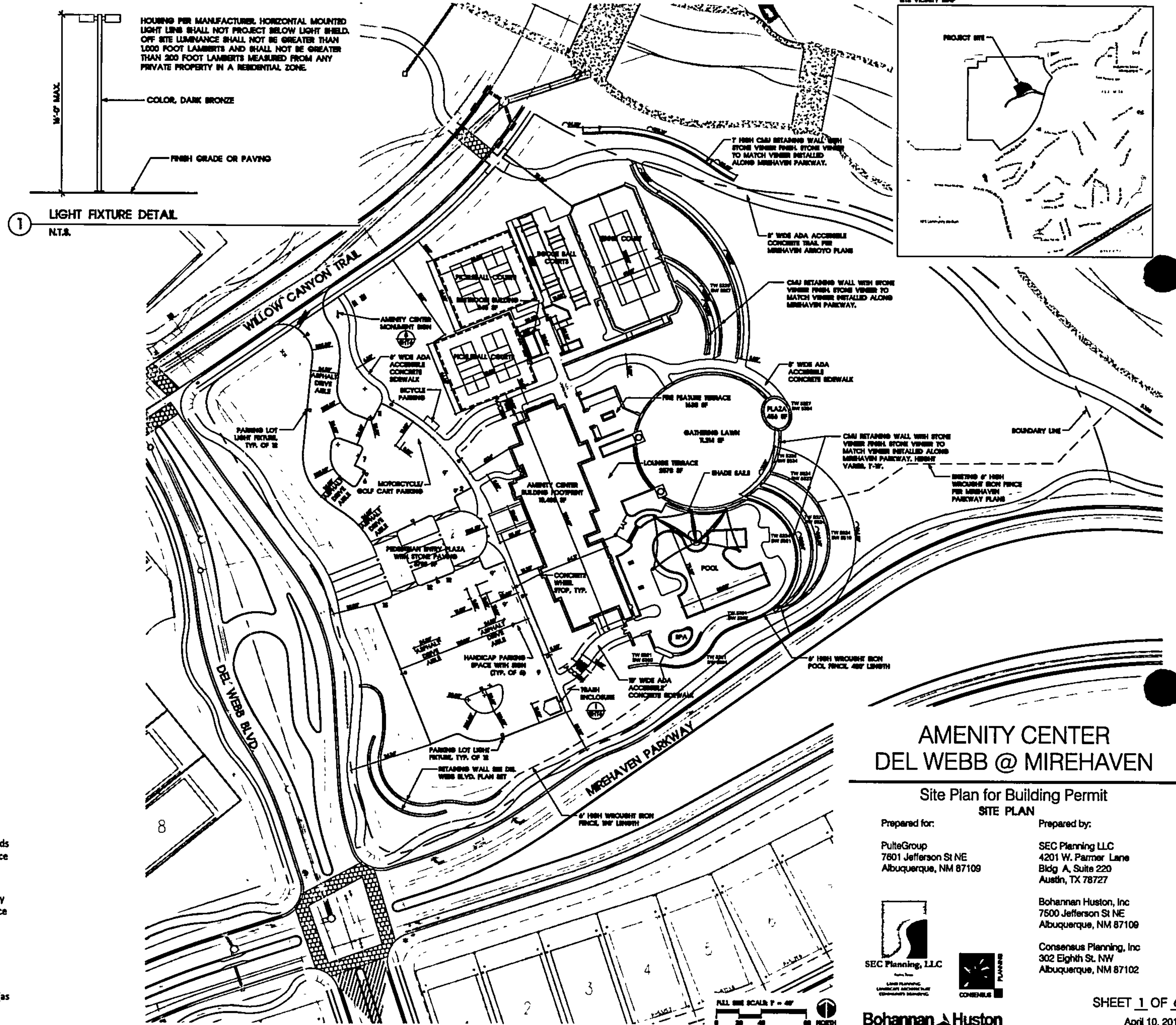
 CITY ENGINEER

 SOLID WASTE MANAGEMENT

 DRB CHAIRPERSON, PLANNING DEPARTMENT

GENERAL NOTES:

1. This Site Plan for Building Permit is consistent with the approved Site Plan for Subdivision and Design Standards approved by the DRB on September 25, 2013 (Project Number 1006864, 13EPC-40115)
2. All lighting shall comply with the City Comprehensive Zoning Code of §14-16-3-9 area regulations.
3. Roof-mounted mechanical equipment shall be screened.
4. Rainwater harvesting measures such as curb cuts shall be provided. See Grading/Drainage sheet.
5. All screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes.
6. PNM coordination: development shall abide by all conditions or terms of utility easements prior to development. Contact shall be made to PNM's new service delivery department to coordinate electric service and options for the location of electric service connection.
7. All sidewalks, ramps (including required truncated domes) curb cuts, and curb and gutter shall be built per c.o.a. standard drawings, sidewalk (2430)). Curb cuts (2426), curb and gutter (2417A).
8. Clear sign distance: landscaping and signage will not interfere with clear sight requirements. therefore, signs, walls, trees and shrubbery between 3 and 89 feet tall (as measured from the gutter pan) will not be acceptable in this area.



**AMENITY CENTER
 DEL WEBB @ MIREHAVEN**

Site Plan for Building Permit
SITE PLAN

Prepared for:
 PulteGroup
 7801 Jefferson St NE
 Albuquerque, NM 87109

Prepared by:
 SEC Planning LLC
 4201 W. Parmer Lane
 Bldg. A, Suite 220
 Austin, TX 78727

Bohannon Huston, Inc
 7500 Jefferson St NE
 Albuquerque, NM 87109

Consensus Planning, Inc
 302 Eighth St. NW
 Albuquerque, NM 87102

SEC Planning, LLC
 Bohannon & Huston
SHEET 1 OF 6
 April 10, 2015

GENERAL LANDSCAPE NOTES

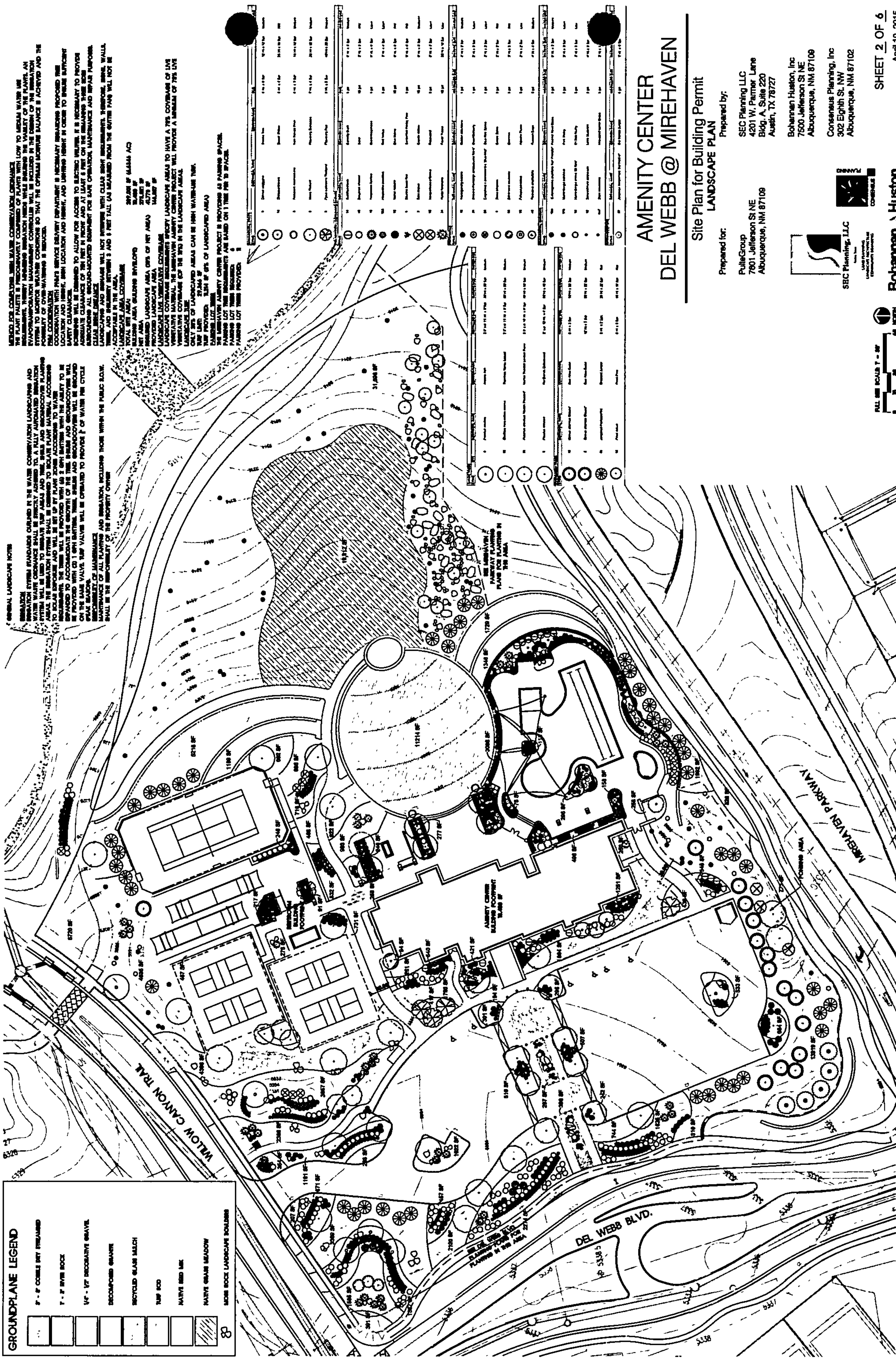
IRRIGATION SYSTEM STANDARDS... WATER WASTE ORDINANCE... PLANTING SPECIFICATIONS...

GROUNDPLANE LEGEND

- 8" - 8" CORBEL RFT FINISHED
4" - 4" RIVER ROCK
1/2" - 1/2" DECOMPOSED GRAVEL
DECOMPOSED GRAVEL
RECYCLED GLASS MULCH
TAMP FOD
NATIVE RED SOIL
NATIVE GRASS MEADOW
MORE ROCK LANDSCAPE BOLLERS

FOR COMPLETE... WEIR WATER CONSERVATION ORDINANCE... PLANT PALETTE... IRRIGATION SYSTEM...

NET AREA... 29,236 SF... LANDSCAPE AREA... 10,110 SF...



AMENITY CENTER
DEL WEBB @ MIREHAVEN

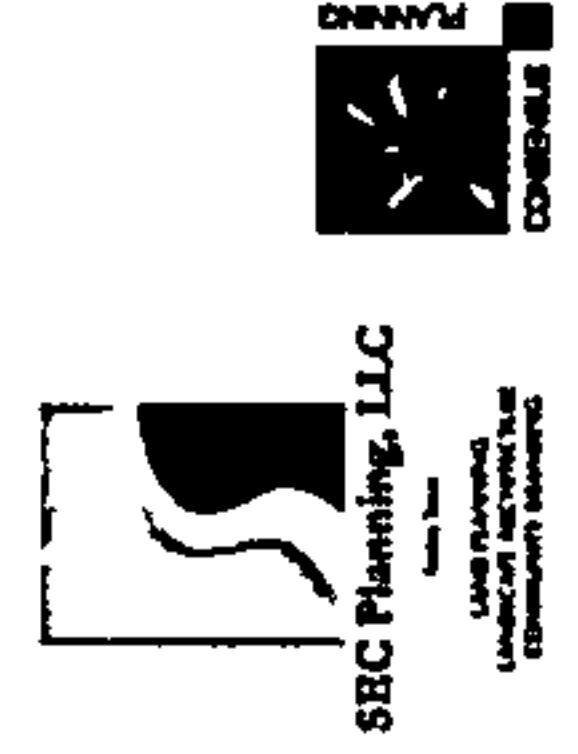
Site Plan for Building Permit
LANDSCAPE PLAN

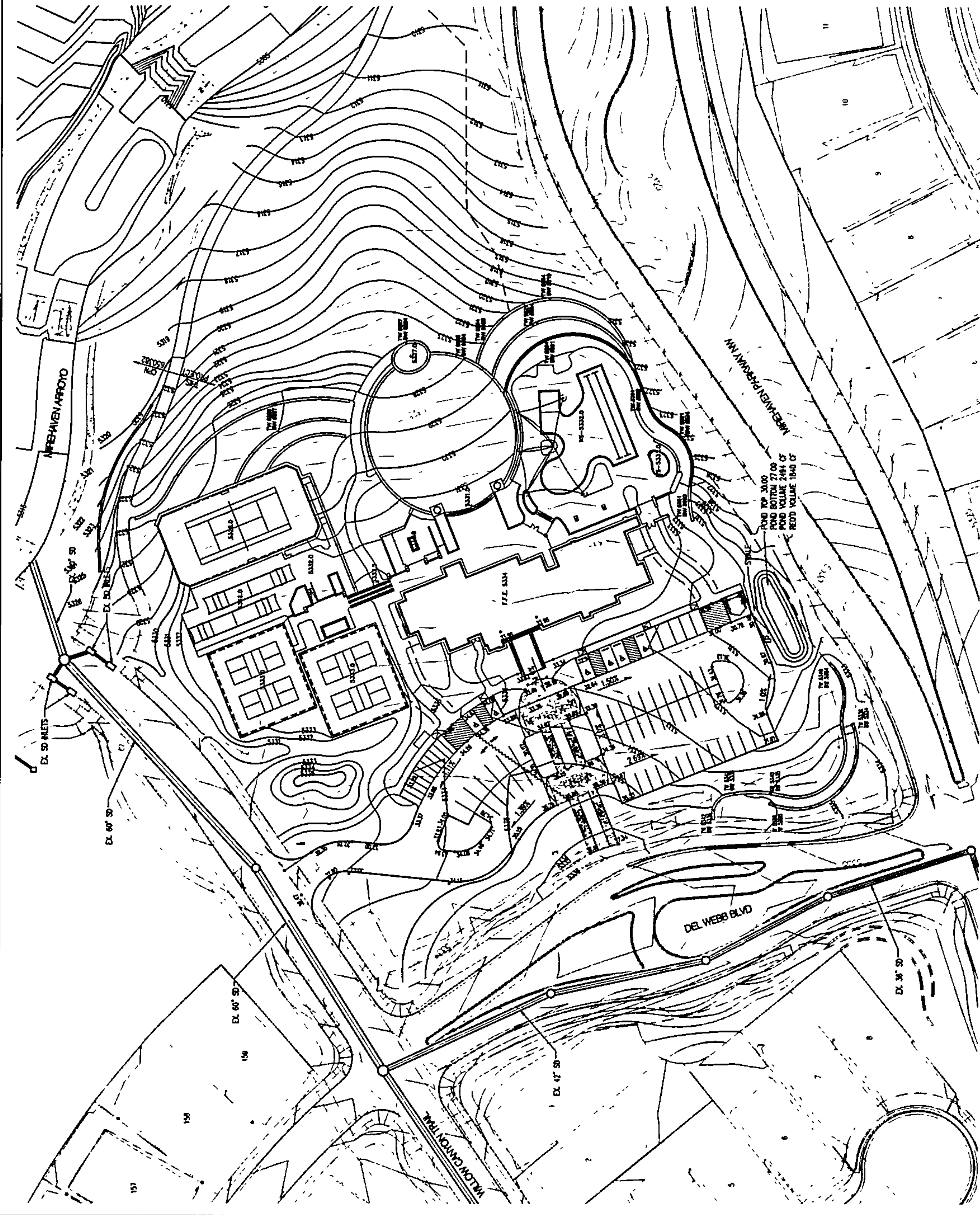
Prepared by:
SEC Planning LLC
4201 W. Farmer Lane
Bldg. A, Suite 220
Austin, TX 78727

Prepared for:
PulteGroup
7601 Jefferson St NE
Abuquerque, NM 87109

Bohannan Huston, Inc
7500 Jefferson St NE
Abuquerque, NM 87109

Consensus Planning, Inc
302 Eighth St. NW
Abuquerque, NM 87102





GRADING NOTES:

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A REPEAL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL COMPLY WITH ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL REGULATIONS AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SALS REPORT PREPARED BY DEWEY/DATED 2000. ALL OTHER WORK UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COSA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT THE LOCATING SERVICE (785-1264) FOR LOCATION OF EXISTING UTILITIES.
- BEFORE TO BEGINNING ALL EXCAVATION WORK, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED, EXCAVATED AND FILLING SHALL BE DEPOSED OF OFF-SITE ON SPOD-PREPARED FOR USE IN PLANTINGS AND NON-STRUCTURAL FILL.
- EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO DIGURE THAT NO SOIL ENDS FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHALL BE ACHIEVED BY CONSTRUCTING RETENTION BARRIERS AT THE PROPERTY LINES WITHING THE SOIL TO PROTECT IT FROM NEW EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNDESIRABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND FILLING THEREIN SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- .01' FROM PLAN ELEVATIONS. PAW ELEVATION SHALL BE +/- .005' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FINISHED UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FINISHED ELEVATION.

EXISTING CONDITIONS

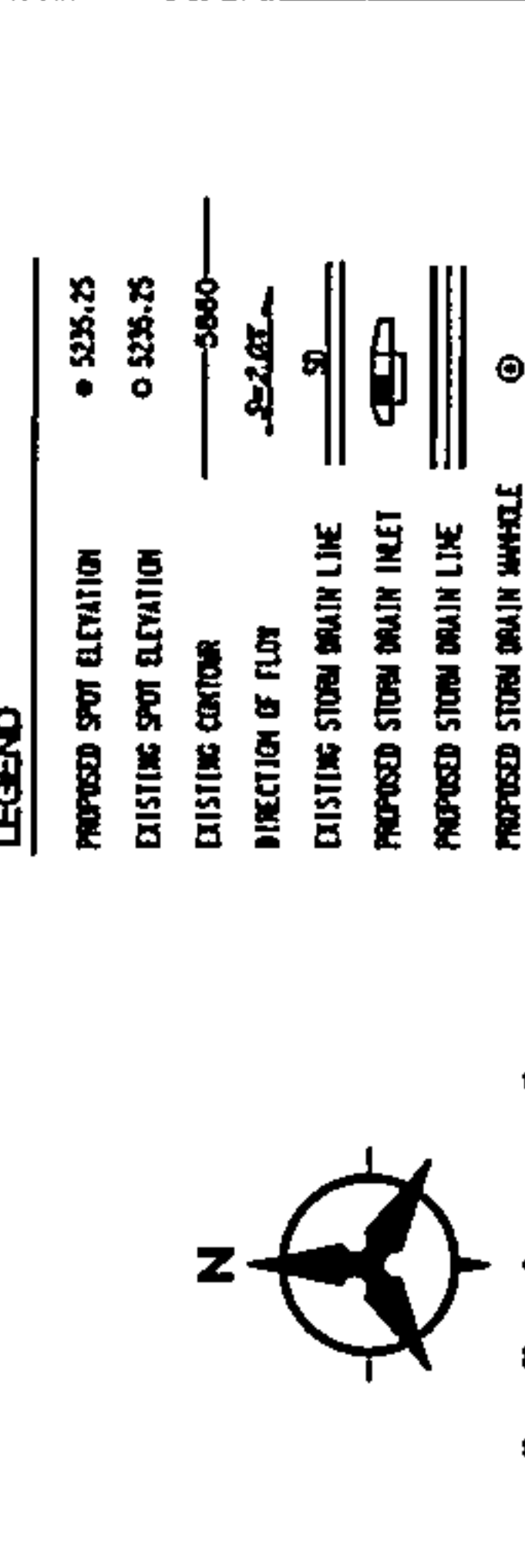
THE SITE CURRENTLY HAS AN APPROVED OVERALL DRAINAGE WASTEWATER DRAINAGE MANAGEMENT PLAN FOR DEL WEBB AT MIREHAVEN. THIS PLAN IS TO BE REVISED TO REFLECT THE CHANGES TO THE SITE. THE SITE WILL BE COTED TO THE IMMEDIATE AMOUNT AS SHOWN AND STORM DRAIN TO HAVE STREET FRONT DRAINAGE OVER THE CHANNEL.

PROPOSED CONDITIONS

THE DEVELOPED PLANS FOR THIS SITE WILL DRAIN IN TWO DIRECTIONS A MAJORITY OF THE SITE WILL DRAIN NORTH THROUGH OPEN SPACE AND BE CONNECTED VIA STABLES AND STORM DRAIN TO THE MIREHAVEN ARROYO. THE SOUTHWEST CORNER WHICH ENCOMPASSES MOST OF THE MAIN BUILDING AND PARKING LOT WILL BE CONNECTED TO MIREHAVEN ARROYO. THE NORTH HALF OF THE MIREHAVEN ARROYO WILL BE CONNECTED TO THE MIREHAVEN ARROYO. THE SOUTH HALF WILL BE CONNECTED TO THE MIREHAVEN ARROYO. WATER HARVESTING POND TO BE LOCATED AT MIREHAVEN THE FIRST FLOOR AND WHEN DISCHARGE TO MIREHAVEN PARKWAY THESE TALLETS WILL COLLECT THE FLOW JUST UPSTREAM OF TERRA PAVIMENTA. THESE TALLETS BE TO THE 90" STORM DRAINS AT THE BRIDGE CROSSING WITHIN THE MIREHAVEN ARROYO.

LEGEND

- PROPOSED SPOT ELEVATION: 5235.25
- EXISTING SPOT ELEVATION: 5235.25
- EXISTING CONTOUR: 5080
- DIRECTION OF FLOW: 50
- EXISTING STORM DRAIN LINE: 50
- PROPOSED STORM DRAIN INLET: 50
- PROPOSED STORM DRAIN LINE: 50
- PROPOSED STORM DRAIN MANHOLE: 50
- PROPOSED WATER BLOCK (HIGH POINT): 50
- RETAINING WALL: 50
- PROPOSED WATER (LOW POINT): 50



AMENITY CENTER DEL WEBB @ MIREHAVEN

CONCEPTUAL GRADING & DRAINAGE PLAN

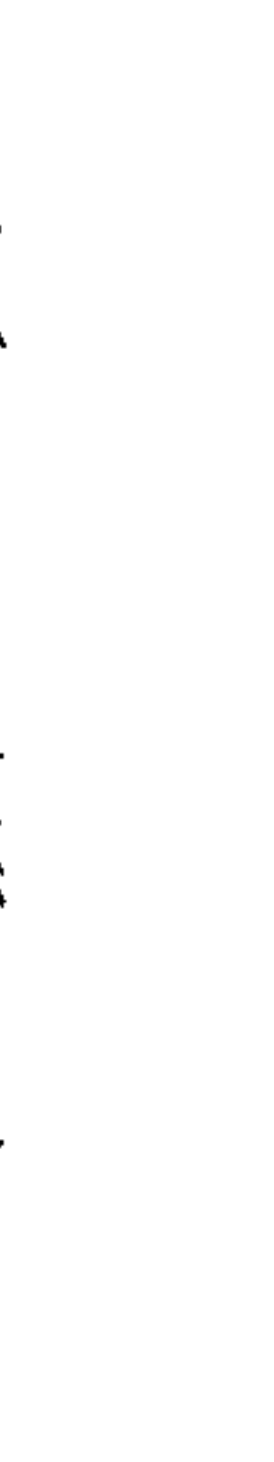
Prepared for
PulteGroup
7601 Jefferson St NE
Albuquerque, NM 87109

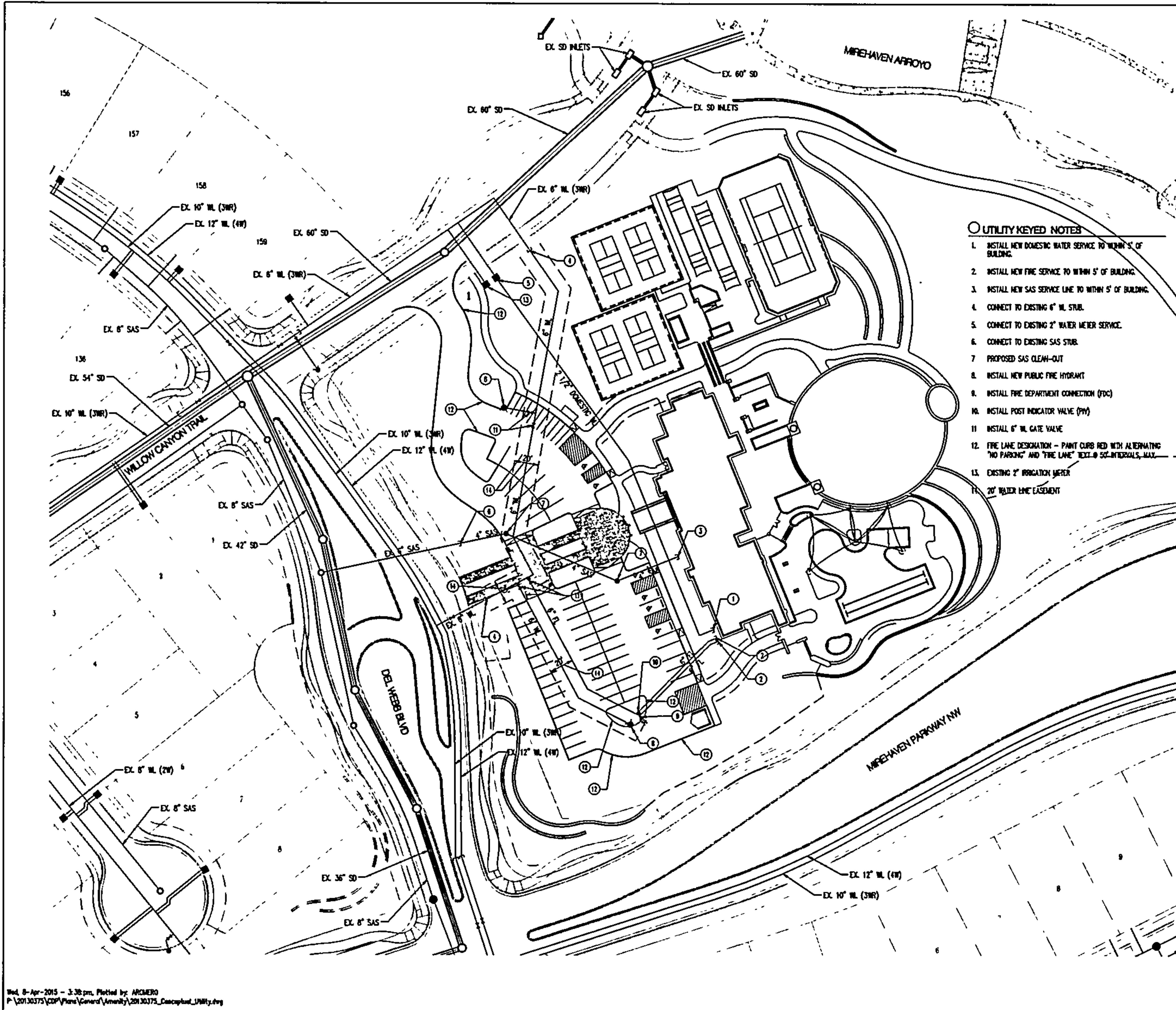
Prepared by
SEC Planning LLC
4201 W Palmer Lane
Bldg A, Suite 220
Austin, TX 78727

Bohannon-Houston, Inc
7500 Jefferson St NE
Albuquerque, NM 87109

Consensus Planning, Inc
302 Eighth St NW
Albuquerque, NM 87102

SHEET 3 OF 6
April 10, 2015





GENERAL NOTES

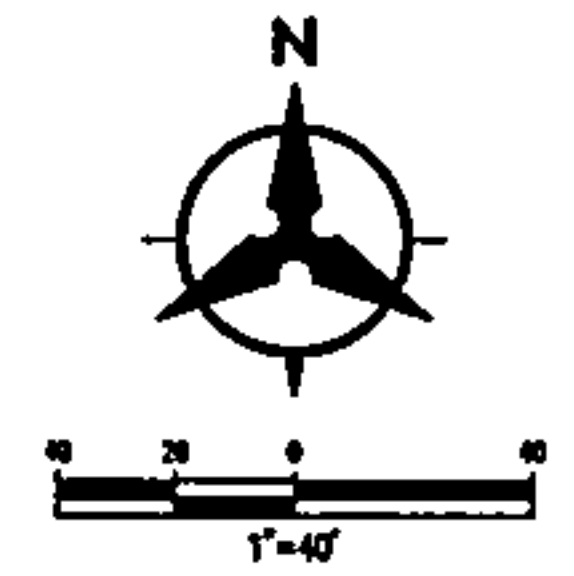
1. ALL WATER AND SANITARY SEWER LINES SHALL BE LOCATED WITHIN CITY OF ALBUQUERQUE (COA) PUBLIC RIGHT-OF-WAY OR WITHIN AN UTILITY EASEMENT THAT WILL BE DEDICATED TO ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) WITH FUTURE PLATS.
2. ALL EXISTING WATER AND SANITARY SEWER LINES ARE LOCATED WITHIN CITY OF ALBUQUERQUE (COA) PUBLIC RIGHT-OF-WAY OR WITHIN AN EXISTING UTILITY EASEMENT
3. UTILITY LINES AND FIRE HYDRANT'S SHALL BE LOCATED PER CRITERIA STATED IN THE COA'S DEVELOPMENT PROCESS MANUAL.
4. ALL FUTURE WATER AND SANITARY SEWER LINES SHALL BE DESIGNED IN ACCORDANCE WITH CRITERIA STATED IN THE APPROVED WATER-SANITARY SEWER AVAILABILITY LETTER PROVIDED BY ABCWUA.

UTILITY KEYED NOTES

1. INSTALL NEW DOMESTIC WATER SERVICE TO WITHIN 5' OF BUILDING.
2. INSTALL NEW FIRE SERVICE TO WITHIN 5' OF BUILDING.
3. INSTALL NEW SAS SERVICE LINE TO WITHIN 5' OF BUILDING.
4. CONNECT TO EXISTING 6" WL STUB.
5. CONNECT TO EXISTING 2" WATER METER SERVICE.
6. CONNECT TO EXISTING SAS STUB.
7. PROPOSED SAS CLEAN-OUT
8. INSTALL NEW PUBLIC FIRE HYDRANT
9. INSTALL FIRE DEPARTMENT CONNECTION (FDC)
10. INSTALL POST INDICATOR VALVE (PIV)
11. INSTALL 6" WL GATE VALVE
12. FIRE LANE DESIGNATION - PAINT CURB RED WITH ALTERNATING "NO PARKING" AND "FIRE LANE" RECALL @ 50'-INTERVALS, MAX.
13. EXISTING 2" IRRIGATION METER
14. 20' WATER LINE EASEMENT

LEGEND

	EXISTING EASEMENT
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING STORM DRAIN
	EXISTING WATER METER
	EXISTING CAP
	EXISTING VALVE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN
	PROPOSED SANITARY SEWER
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN LINE
	PROPOSED VALVE
	PROPOSED HYDRANT
	PROPOSED CAP
	PROPOSED WATER METER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN



**AMENITY CENTER
DEL WEBB @ MIREHAVEN**

UTILITY PLAN

Prepared for
PulteGroup
7601 Jefferson St NE
Albuquerque, NM 87109

Prepared by
SEC Planning LLC
4201 W Parmer Lane
Bldg A, Suite 220
Austin, TX 78727



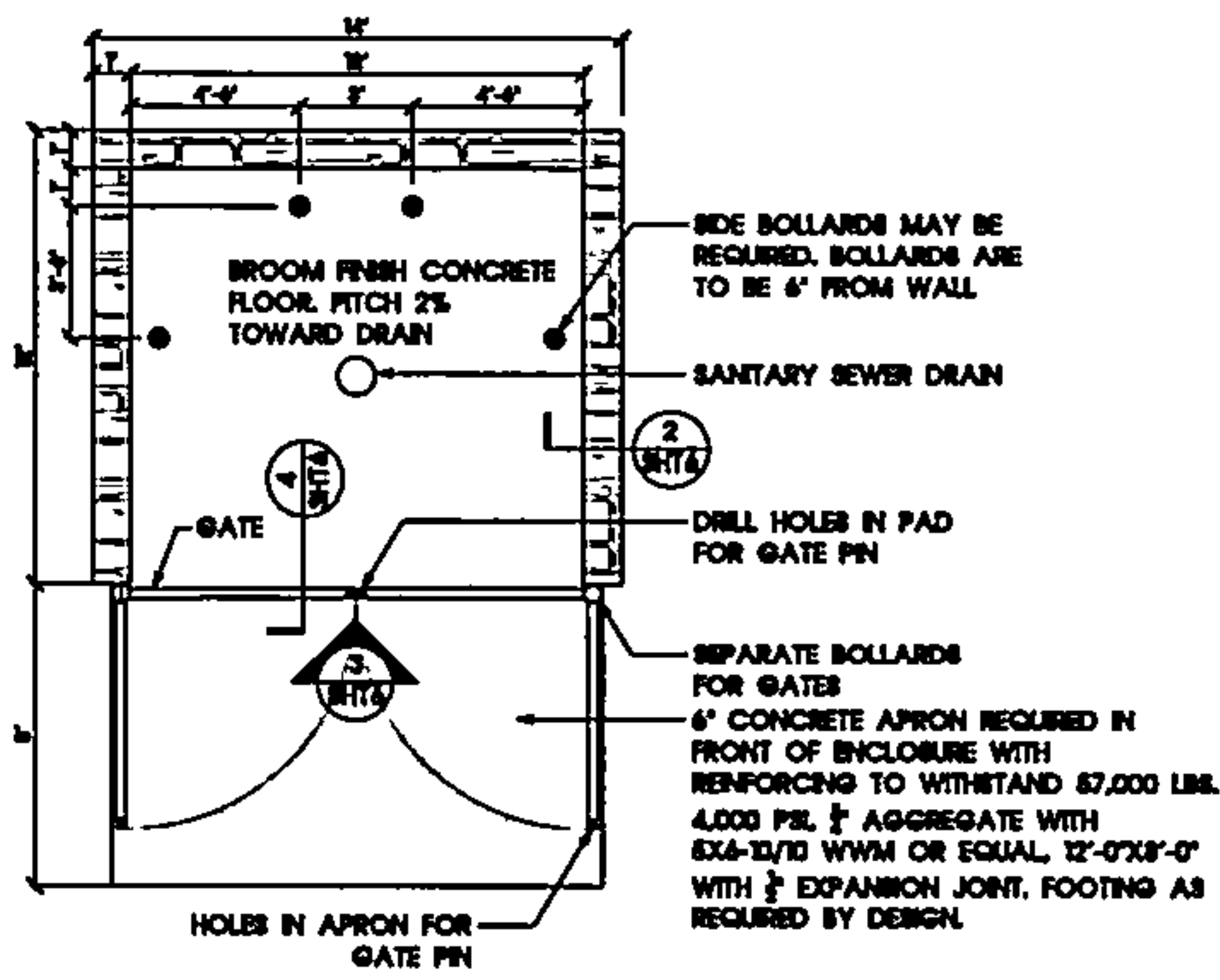
Bohannon Huston, Inc
7500 Jefferson St NE
Albuquerque, NM 87109

Consensus Planning, Inc
302 Eighth St NW
Albuquerque, NM 87102

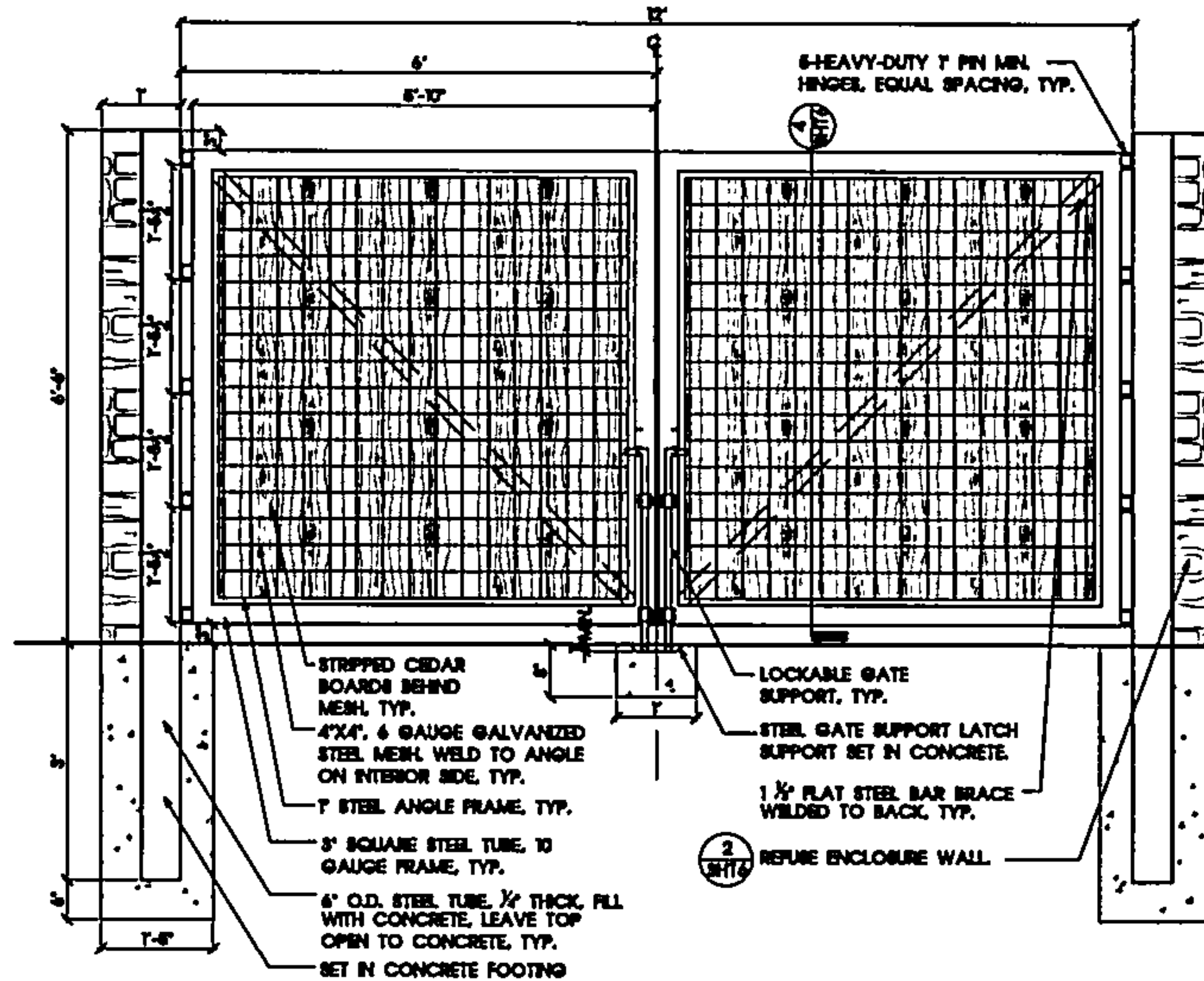
Bohannon & Huston

SHEET 4 OF 6
April 10, 2015

Wed, 8-Apr-2015 - 3:38 pm, Plotted by: ARCMERO
P:\20130375\CD\Plans\General\Amenity\20130375_Conceptual_UM1.dwg



1 TRASH ENCLOSURE
SCALE 1/4" = 1'-0"



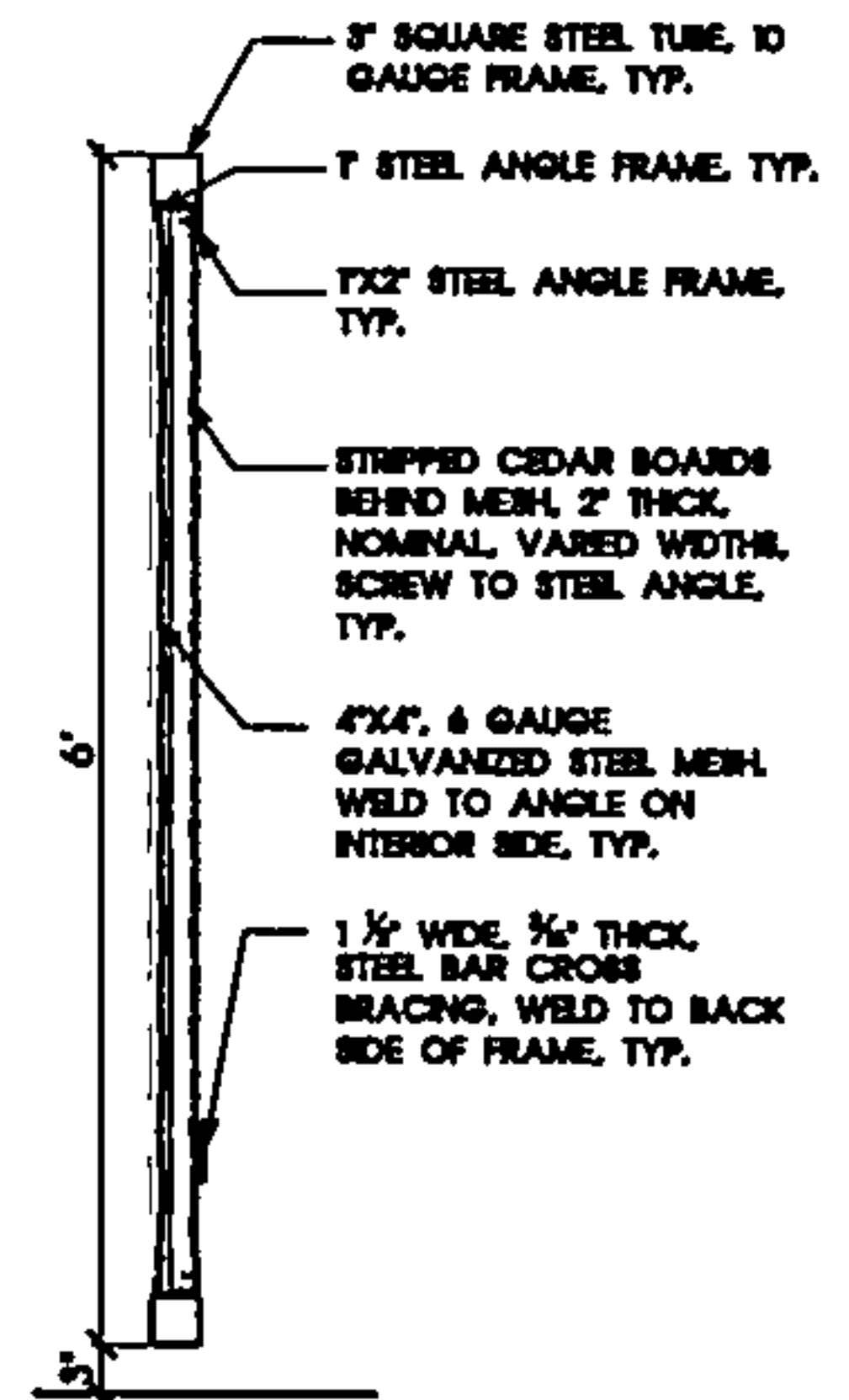
3 TRASH ENCLOSURE GATES
SCALE 3/4" = 1'-0"

GENERAL STEEL NOTES:

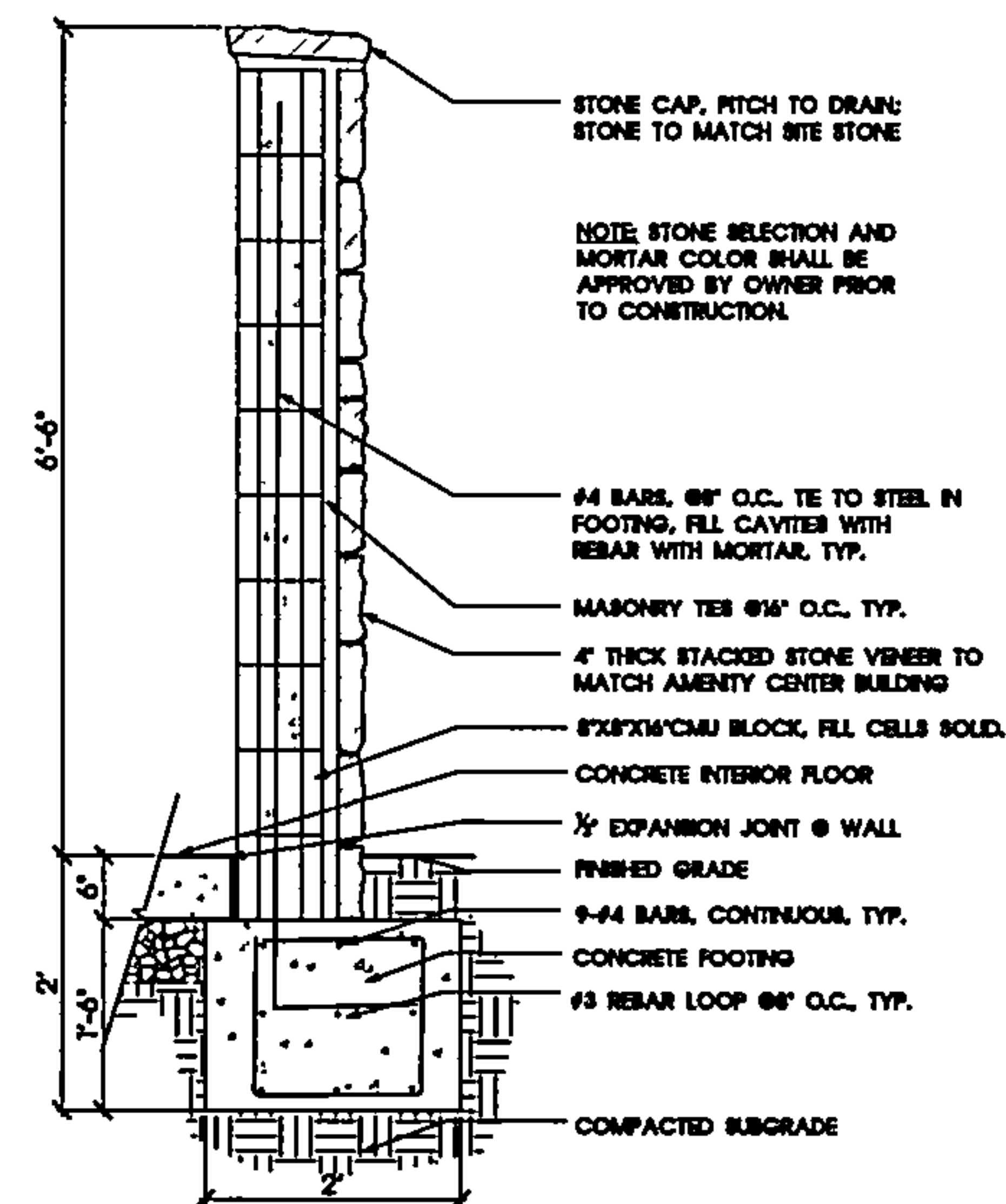
1. ALL GATE POSTS ARE TO BE CAPPED WITH WELDED STEEL CAP, UNLESS OTHERWISE NOTED.
2. ALL CONNECTIONS TO BE WELDED UNLESS OTHERWISE NOTED.
3. ALL WELDS GRIND SMOOTH, NO SLAG, DRIPS, ETC. WILL BE ACCEPTED.
4. ALL STEEL SHALL BE PRIMED PRIOR TO DELIVERY ON SITE.
5. ALL WELDS SHALL BE PRIMED AFTER FABRICATION.
6. ALL STEEL UNLESS OTHERWISE NOTED SHALL BE PAINTED WITH TWO COATS ALKYD ENAMEL PAINT, COLOR SHALL BE SELECTED BY OWNER'S REP TO MATCH BUILDING.
7. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF GATES AND FENCES FOR APPROVAL TWO WEEKS MINIMUM PRIOR TO CONSTRUCTION.

GENERAL WOOD NOTES:

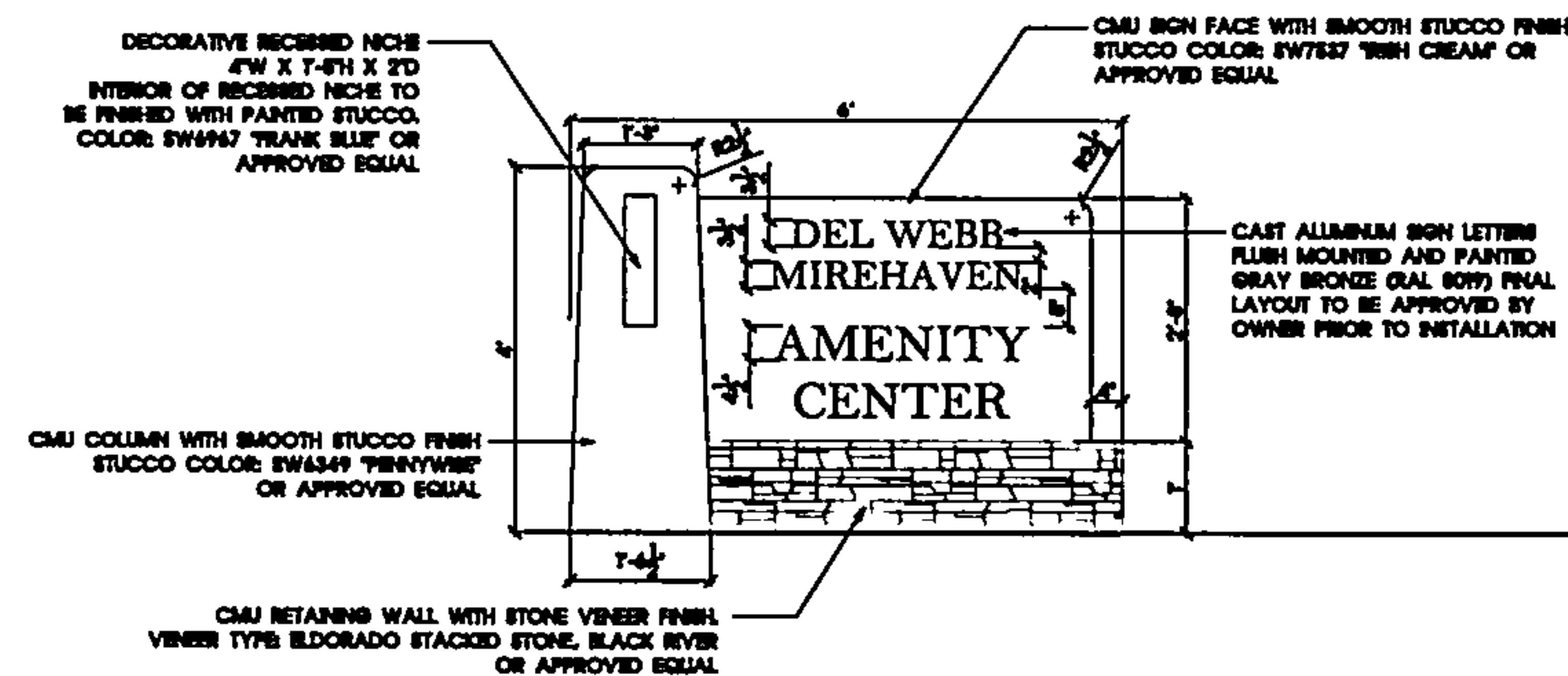
1. ALL EXPOSED WOOD SHALL BE CEDAR, STRIPPED AND SEALED WITH OLYMPIC CLEAR SEAL MAXIMUM WATERPROOFING SEALANT.



4 TRASH ENCLOSURE GATE SECTION
SCALE 1" = 1'-0"



2 TRASH ENCLOSURE WALL SECTION
SCALE 1" = 1'-0"



5 AMENITY CENTER SIGN
SCALE 3/4" = 1'-0"

AMENITY CENTER DEL WEBB @ MIREHAVEN

Site Plan for Building Permit SITE DETAILS

Prepared for:
PulteGroup
7601 Jefferson St NE
Albuquerque, NM 87109

Prepared by:
SEC Planning LLC
4201 W. Parmer Lane
Bldg. A, Suite 220
Austin, TX 78727

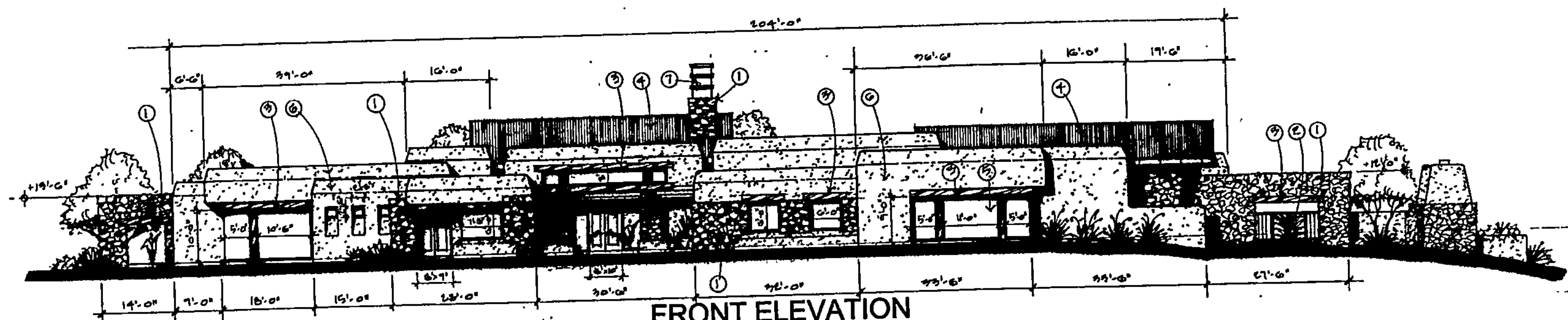


Bohannon Huston, Inc
7500 Jefferson St NE
Albuquerque, NM 87109

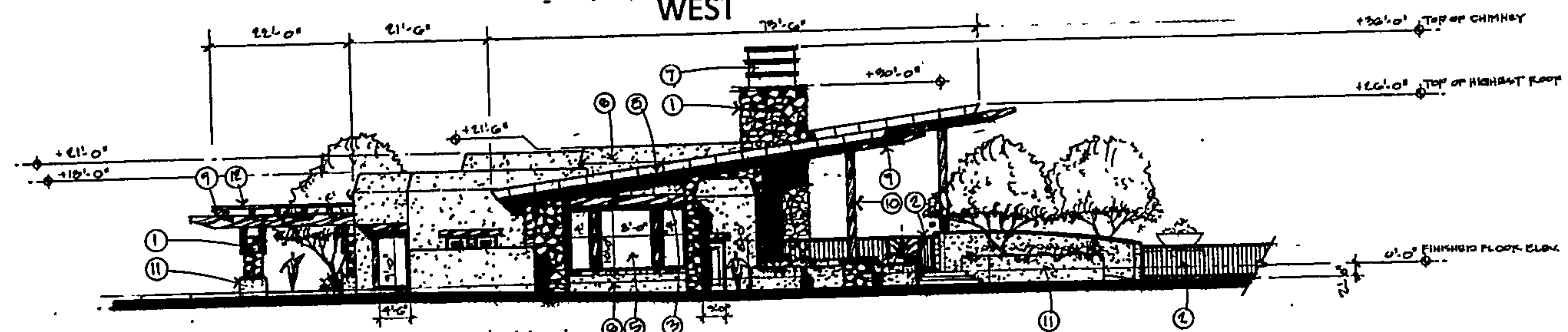
Consensus Planning, Inc
302 Eighth St. NW
Albuquerque, NM 87102

Bohannon & Huston

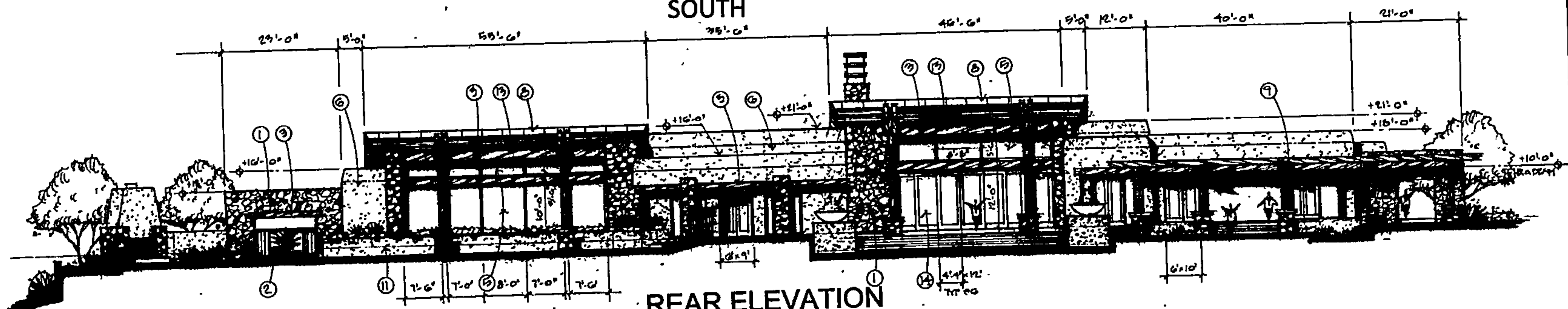
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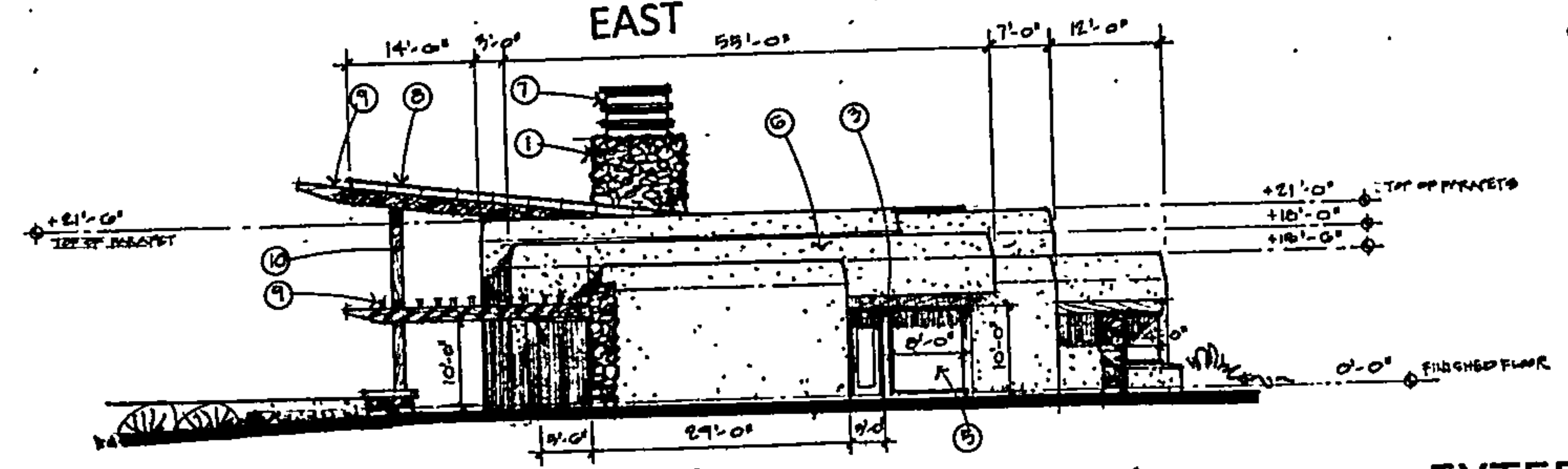
FRONT ELEVATION WEST



RIGHT SIDE ELEVATION SOUTH



REAR ELEVATION EAST



LEFT SIDE ELEVATION NORTH

GENERAL NOTE:
 • PROVIDE PREFINISHED SHEET METAL CAP FLASHING AT TOPS OF ALL EXPOSED WOOD BEAMS.

KEYED NOTES

1. THIN CUT NATURAL STONE - TANS AND BROWNS
2. PAINTED STEEL FENCING/GATES - NATURAL RUST COLOR
3. STAINED WOOD HEADER - DARK BROWN
4. PRE-FINISHED CORRUGATED SHEET METAL ROOFING - NATURAL RUST COLOR
5. INSULATED LOW-E GLAZING IN DARK BRONZE ALUM. FRAMES. GLASS IS CLEAR NON-TINTED
6. PAINTED INSULATED STUCCO SYSTEM - MEDIUM BROWN
7. PRE-FINISHED SHEET METAL CHIMNEY SHROUD - NATURAL RUST COLOR
8. PRE-FINISHED SHEET METAL FASCIA - NATURAL RUST COLOR
9. STAINED WOOD BEAMS - DARK BROWN
10. STAINED WOOD COLUMNS - DARK BROWN
11. PAINTED STUCCO ON CMU &/OR CONC. MEDIUM BROWN
12. STAINED WOOD LATTICE - DARK BROWN
13. 1 X 6 T&G SOFFIT - LIGHT BROWN
14. SLIDING GLASS WALL. INSULATED LOW-E GLAZING IN DARK BRONZE ALUM. FRAMES. GLASS IS CLEAR NON-TINTED.

REVISION:

AMENITY CENTER
 DEL WEBB
 @ MIREHAVEN

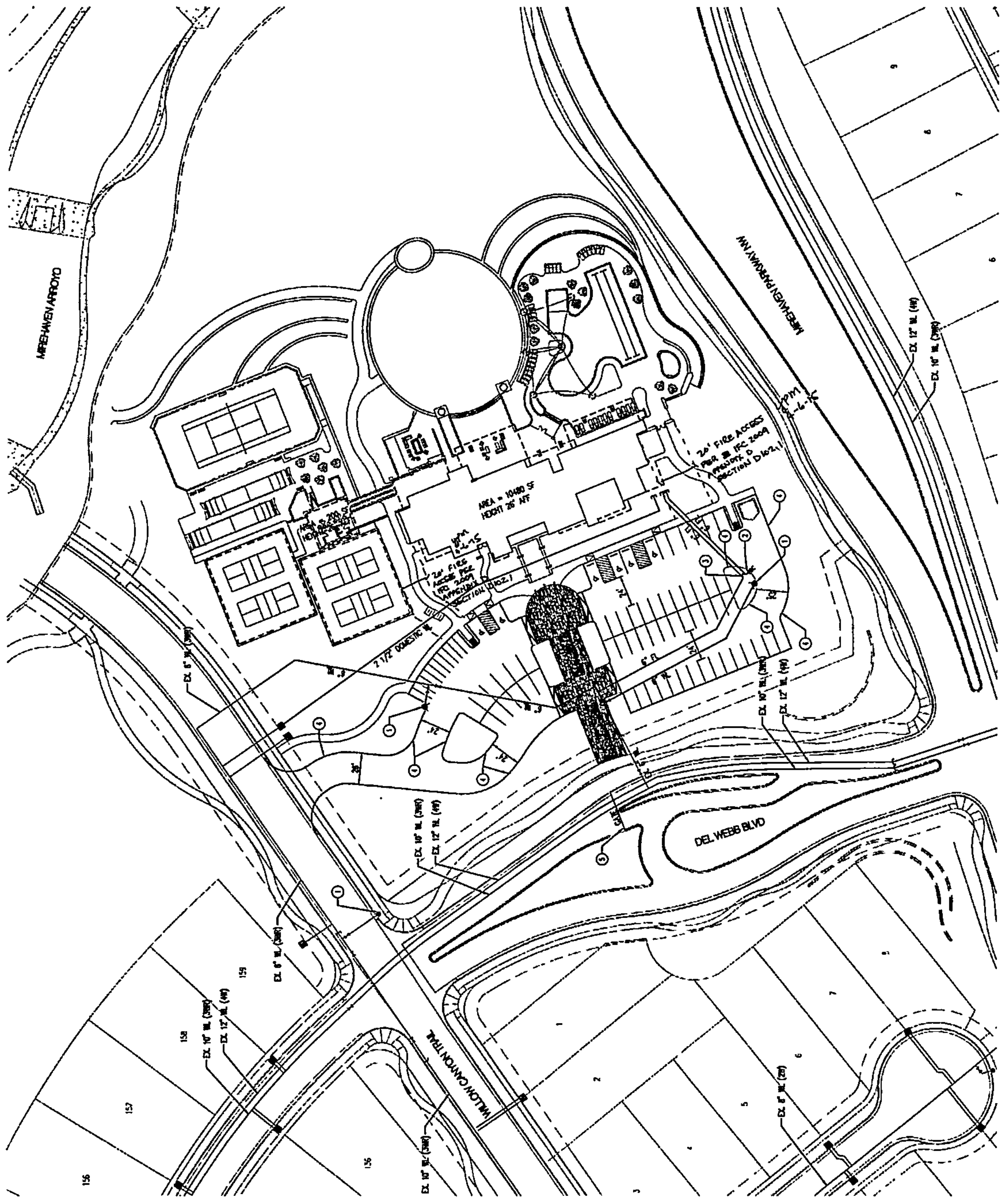
SHJ STUDIO
 1110 E. Missouri Ave #380
 Phoenix, Arizona 85014
 phone 602-248-4912
 facsimile 602-248-4967
 email info@shjstudio.com

BUILDING ELEVATIONS

DATE: 4-10-15
 PROJ. NO.:
 DRAWN:

EXTERIOR ELEVATIONS

3/32" = 1'-0" 0 2 4 8 16



- KEYED NOTES**
1. PUBLIC FIRE HYDRANT
 2. FIRE DEPARTMENT CONNECTION (FDC)
 3. FOSTER INDICATOR VALVE (FIV)
 4. FIRE LANE DESIGNATION - PART CURB RED WITH ALTERNATING "NO PARKING" AND "FIRE LANE" EVERY 8' SP INTERVALS, WALL
 5. HAZARDOUS WASTE

LEGEND

—	EXISTING EXISTENT
—	EXISTING SWAMPY SEWER
—	EXISTING WATER LINE
—	EXISTING STORM DRAIN
—	EXISTING WATER METER
—	EXISTING CAP
—	EXISTING VALVE
—	EXISTING FIRE HYDRANT
—	EXISTING SWAMPY SEWER MANHOLE
—	EXISTING STORM DRAIN
—	PROPOSED SWAMPY SEWER
—	PROPOSED WATER LINE
—	PROPOSED STORM DRAIN LINE
—	PROPOSED VALVE
—	PROPOSED HYDRANT
—	PROPOSED CAP
—	PROPOSED WATER METER
—	PROPOSED SWAMPY SEWER MANHOLE
—	PROPOSED STORM DRAIN

Fire Case # 1607-15
 ASPECT CONSULTING
 2250 14th Street, NE
 Albuquerque, NM 87109
 505.241.1111

AMENITY CENTER @ MIREHAVEN

SITE PLAN FOR BUILDING PERMIT

FIRE 1 PLAN

Prepared For:
 Public Group of New Mexico
 7801 Jefferson NE
 Albuquerque, NM 87109

Prepared By:
 Bohannon & Huston, Inc.
 Conaeneus Planning, Inc.
 SEC Planning, LLC
 SHU Studio, Inc.

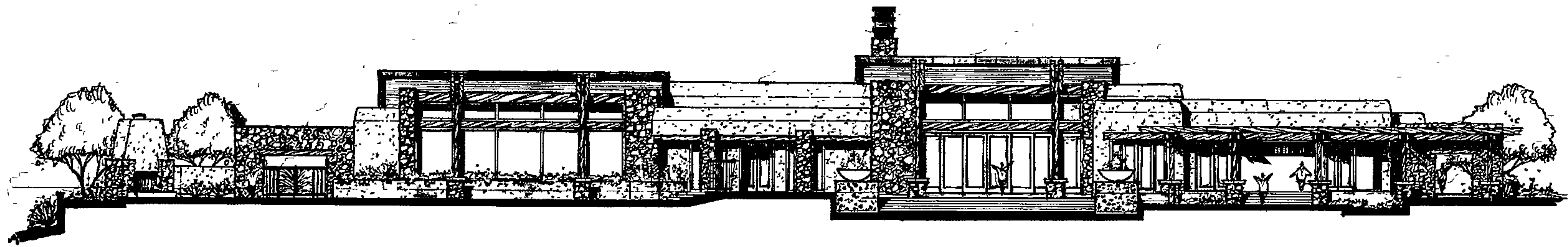


March 27, 2015

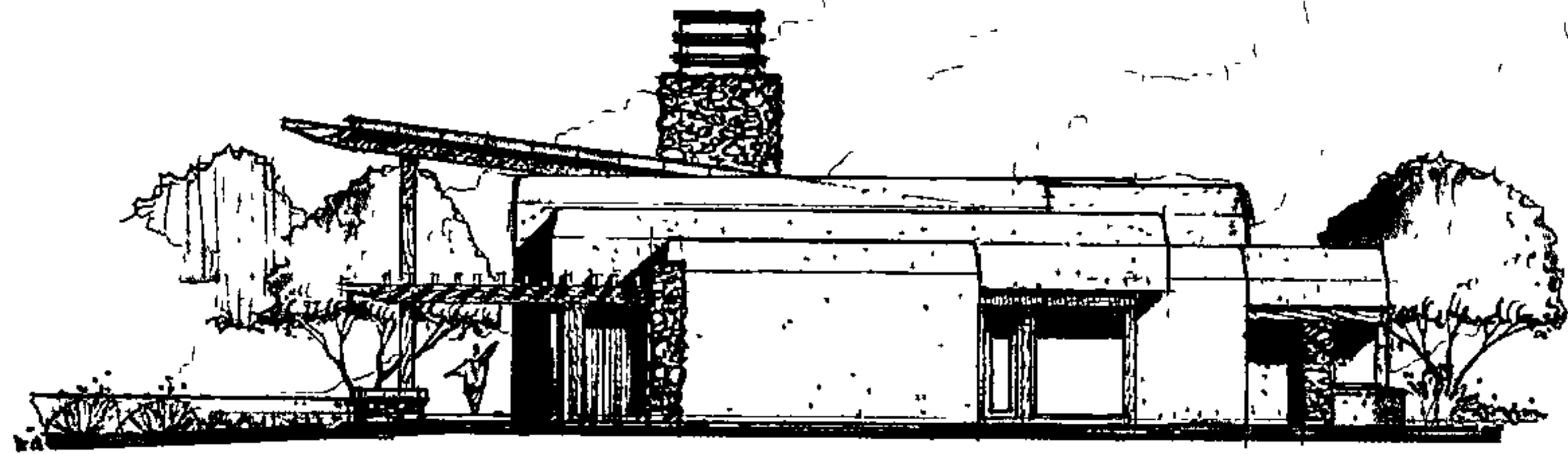
SHEET X OF X

Bohannon & Huston
 www.bhinc.com
 800.877.5332

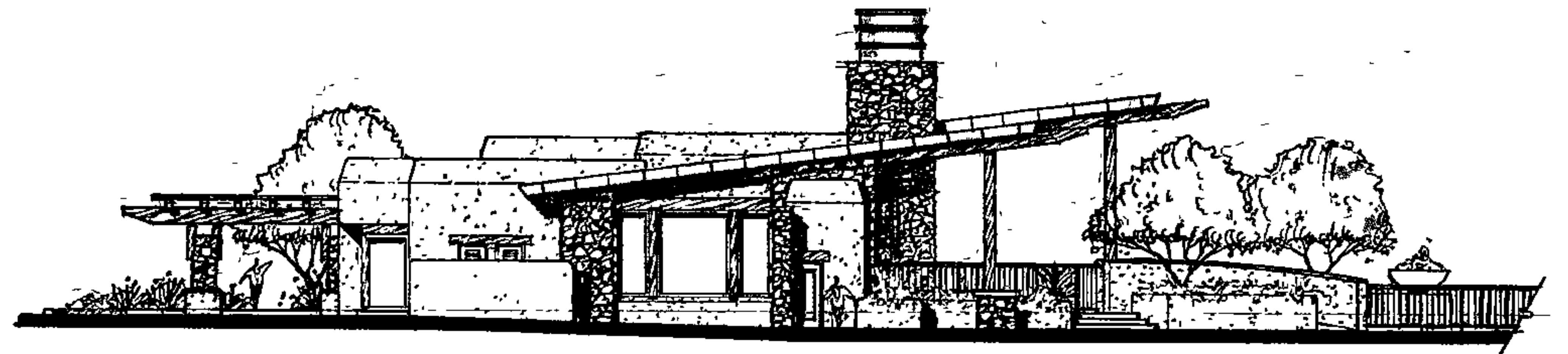
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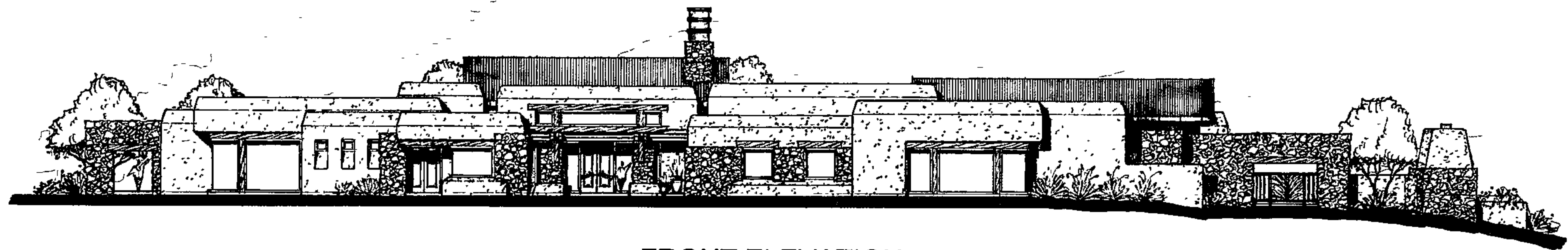
REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



FRONT ELEVATION



COMMUNITY CENTER

MIERHAVEN - 9100 DEL WEBB LANE - ALBUQUERQUE, NEW MEXICO



APRIL 3, 2015

#13014



City of Albuquerque

P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Suzanne Lubar, Director

Richard J. Berry, Mayor

November 25, 2013

Robert J. Perry, CAO

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance

Documentation

Project Number(s):

Case Number(s):

Agent: Consensus Planning

Applicant: Pulte Group

Legal Description: Watershed Subdivision, Tracts N-2A and N-2G

Zoning: SU-2 for Residential Resort

Acreage: 58.9 acres

Zone Atlas Page: H-8

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

On the Monument's Doorstep: A 685 Acre Survey on Albuquerque's West Mesa for the Proposed APS Westside School and Recreational Facility. by Robin M. Cordero (2011). Office of Contract Archeology, UNM (Richard Chapman, P.I.)

Data Recovery Plan for 31 Sites on the West Mesa, Albuquerque, Bernalillo County, NM. by Toni Goar (2011). Marron and Associates (Toni Goar P.I.)

A Preliminary Report of the Data Recovery Investigations for Western Albuquerque Land Holdings, and Albuquerque Public Schools on Parcels N - 1, N - 2 and D - 1/D - 2 Bernalillo County, New Mexico. by Toni Goar (2012). Marron and Associates (Toni Goar, P.I. conducted under NMHPD Permit No. ME - 024 and Permit No. SE - 310).

RECOMMENDATION(S):

- *CERTIFICATE OF APPROVAL IS ISSUED (ref O-07-72 Section 4C(1), preservation plan completed).*

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division

City Archaeologist

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.

 4/10/15
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale:
1.0 acre or less 1" = 10' Over 5 acres 1" = 50'
1.0 - 5.0 acres 1" = 20' Over 20 acres 1" = 100'
[other scales, if approved by staff]
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information;
proposed easements on the site
9. Phases of development including location and square footages of structures, circulation,
parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 63 provided: 63
Handicapped spaces (included in required total) required: 4 provided: 6
Motorcycle spaces (in addition to required total) required: 3 provided: 11
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 4 provided: 8
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

1. Scale - must be same as scale on sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
12. Verification of adequate sight distance
13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Building footprints
6. Location of Retaining walls

B. Grading Information

1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
3. Identify whether ponding is required
4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

5. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
6. In addition to the above, the following must be provided for DRB applications:
- A. Conceptual onsite drainage system
 - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required. *SUBMITTED & APPROVED AS PART OF OVERALL SUBDIVISION*

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1 *also see Fire 1 sheet*

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
 - a. Identify facade orientation (north, south, east, & west)
 - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
 - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
 - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

July 11, 2013

Pulte Homes
7601 Jefferson NE, Ste. 180
Albuquerque, NM 87109

Project# 1006864
13EPC-40115 Site Dev. Plan for Subdivision

LEGAL DESCRIPTION:

For all or a portion of Tracts N-2 & M, Watershed Subdivision, located west of Tierra Pintada Blvd., and south and east of the Petroglyph National Monument, containing approximately 285 acres.

Staff Planners: Catalina Lehner and Carrie Barkhurst

PO Box 1293

Albuquerque

NM 87103

On July 11, 2013, the Environmental Planning Commission (EPC) voted to **APPROVE** Project 1006864, 13EPC-40115, a request for a Site Development Plan for Subdivision, based on the following Findings and Conditions:

FINDINGS:

1. This request is for a site development plan for subdivision with design standards for Tracts N-2 and M, Watershed subdivision, an approximately 285 acre area located north of 98th Street/Arroyo Vista Boulevard NW, west of Tierra Pintada Boulevard, and south and east of the Petroglyph National Monument (the "subject site").
2. The subject site is zoned SU-2 for PDA (Planned Development Area) pursuant to the Westland Sector Development Plan and Westland Master Plan. The SU-2 for PDA zone is intended to provide for "a mix of residential uses" that are "special because of the relationship of this property to Petroglyph National Monument."
3. The proposed development consists of approximately 950 residential units with pocket parks and a private clubhouse. Approximately 565 units would be for an "active adult," gated subdivision. The remainder would be non-gated subdivisions.

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OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 2 of 13

4. The subject site lies within the boundaries of the Developing Urban area of the Comprehensive Plan. Additional applicable plans include the Westside Strategic Plan (WSSP), the Facilities Plan for Arroyos, the Trails & Bikeways Facilities Plan, the Western Albuquerque Land Holdings Sector Development Plan, the Westland Master Plan and the Northwest Mesa Escarpment Plan (NWMEP). The site is also within the boundaries of the Impact Area of the NWMEP Design Overlay Zone and is subject to the applicable design regulations.
5. The Albuquerque/Bernalillo County Comprehensive Plan, Westside Strategic Plan (WSSP), the Facilities Plan for Arroyos, the Trails & Bikeways Facilities Plan, the Western Albuquerque Land Holdings Sector Plan, the Westland Master Plan and the Northwest Mesa Escarpment Plan (NWMEP) and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request is generally consistent with the following Comprehensive Plan (CP), West Side Strategic Plan (WSSP), and Facility Plan for Arroyos (FPA) Goals and Policies:
 - A. CP Open Space Goal: Provide visual relief from urbanization and to offer opportunities for education, recreation, cultural activities, and conservation of natural resources - The request includes parks of varying sizes and one significant open space area (Mirehaven Arroyo). Three open space corridors are proposed that provide trail connections to the street networks. Some open space corridors dead-end at streets and do not connect with each other.
 - B. CP Policy II.B.5k: land adjacent to arterial streets - Residential development, consistent with the existing zoning, is proposed adjacent to a large arterial street, Tierra Pintada Blvd. All proposed streets are indicated as local streets. Bicycle facilities and trails have been provided, which improve transportation options.
 - C. CP Policy II.B.5e: New growth contiguous to existing facilities and services - Urban infrastructure and services exist in the area. A water serviceability statement was issued by ABCWUA in 2012 and is currently being updated and there is an existing development agreement with the ABCWUA for all development within the Western Albuquerque Land Holdings Sector Development Plan.
 - D. WSSP Policy 1.1: Communities shall develop with areas of higher density (in Community and Neighborhood Centers), surrounded by areas of lower density - The subject site is located within the Westland North Community (WSSP, page 70) but not within a designated activity center. Average densities for the proposed residential project would be 4 du/acre, which is consistent with the zoning established in the WMP, and therefore, appropriate outside of designated activity centers.
 - E. WSSP Policy 2.5: When considering approval of subdivisions for residential development, the City Planning Department shall consider whether local public schools have sufficient capacity to support the increased number of homes - The Planning Department is considering school capacity. The request would result in approx. 950 new households, a portion of which would not impact the local school

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 3 of 13

system. (565 homes are active adult and will not allow children). A future APS campus will develop adjacent SW of the subject site and will help ease school overcrowding.

- F. WSSP Policy 3.81: The City of Albuquerque and Bernalillo County shall, through their land use and design decisions, minimize negative impacts upon the National Monument - The EPC, acting for the City, will in this case make land use and design decisions regarding the request that will affect the National Monument. The WSSP states that the City shall minimize negative impacts, which in this case include impacts to natural resources and scenic resources, access to a public resource, and possibly cultural impacts. The applicant and agent have been working directly with National Park Service staff on concerns related to the Monument and have adequately addressed those concerns as indicated in correspondence provided to Planning staff. The proposed site plan provides for single family residential uses, a 50 foot buffer including a public trail along the northern boundary (within the Impact Area of the NWMEP), trails, and design standards ensuring compliance with the height and color restrictions (within the Impact Area of the NWMEP), from the NWMEP to mitigate potential negative impacts to the National Monument.
- G. FPA Policy 1: The City shall encourage the development of parks adjacent to the drainage channels of designated Urban Recreational Arroyos, and along segments of arroyos connecting significant activity areas - Tract F, the private Clubhouse & Social Lawn/Park, two "private pocket parks," landscaping, and private trails are proposed adjacent to the Mirehaven Arroyo (Urban Recreational Arroyo). The arroyo's location within the gated subdivision may limit the potential to connect adjacent parks with significant activity areas.
- H. FPA Policy 4: The location of crossing structures shall be determined on a case-by-case basis according to the specific channel characteristics - One street crossing of the Mirehaven Arroyo is proposed. The crossing would allow vehicular, bicycle, and pedestrian residents to access lots on the north side of the Mirehaven Arroyo. Proposed crossings of the Mirehaven are within the jurisdiction of AMAFCA.
7. The request partially furthers the following Comprehensive Plan (CP), West Side Strategic Plan (WSSP), and Facility Plan for Arroyos (FPA) Goals and Policies:
- A. CP Noise Goal: Enhance the quality of life by reducing noise and by preventing new land use/noise conflicts - The request would locate approximately 950 high-end homes on the subject site. About half of them may be impacted by the nearby APS campus and sports stadium; a land use/noise conflict is possible. The proposed development, does not propose any uses that would produce noise beyond the usual residential level.
- B. CP Housing Goal: Increase the supply of affordable housing; conserve and improve the quality of housing - Provision of 20% affordable housing is required in the Westland Master Plan area, though this project is not proposed or required to be developed with affordable housing.
- C. CP Transportation and Transit Goal: Develop a balanced circulation system through efficient placement of employment and services, alternatives to automobile travel, and

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 4 of 13

sufficient roadway capacity to meet mobility and access needs - The request aims to encourage walking and bicycling within the residential development, and there are 5 pedestrian connections provided to Tierra Pintada. However, much of the development is proposed to be low density and gated, which limits potential for alternatives to automobile travel. The existing zoning does not allow any employment or service uses. Roadway capacity is sufficient in the area.

8. Through application of the recommended Conditions of Approval, the request could be generally consistent with the following Comprehensive Plan (CP), West Side Strategic Plan (WSSP), Facility Plan for Arroyos (FPA) Goals and Policies:
 - A. CP Policy II.B.1f: Open Areas and trail corridors shall be acquired, regulated, or appropriately managed to protect natural features, views, drainage and other functions or to link other areas within the Open Space network - Multi-use trails are proposed along the development's entire north and west edges and between neighborhoods, and along the Mirehaven Arroyo (some are private and access-controlled and some may be semi-public). The Design Standards address the views to the Petroglyph National Monument from the development. The drainage section addresses bank stabilization that will protect natural features. Additional details to explain how the trails would connect and function as a system may benefit future development.
 - B. CP Policy II.B.5f: Clustering of homes and housing oriented towards pedestrian and bikeways - The submittal proposes two large "open space" tracts and a "Private Clubhouse & Social Lawn/Park" tract. There are additional private pocket parks identified in the 5 residential tracts. It is currently not known how housing will be oriented and if clustering is proposed.
 - C. CP Water Management Goal: Efficient water management and use - Preservation of the Mirehaven arroyo with a soft/unlined bottom and the use of mostly xeric plant materials (as described in the WMP) will contribute to efficient water management. High water use turf will be limited, and water harvesting is encouraged. The proposed design standards will address water management in this area with some additional verbiage.
 - D. Policy II.D.2a: Measures shall be adopted to discourage wasteful water uses, such as extensive landscape-water runoff to uncultivated areas - Most of the WMP designated plants are xeric, and plant spacing will be based on xeric principles. This policy could be more substantially furthered with a design standard regarding rainwater harvesting into landscaped areas.
 - E. CP Policy II.D.2b: Maximum absorption of precipitation shall be encouraged through retention of natural arroyos and other means of runoff conservation within the context of overall water resource management - Water management is especially important in this area because of the limited water supply. Most of the proposed plants are low-water users. Runoff conservation techniques in the context of the development could help address overall water management techniques. The Design Standards state that the Mirehaven Arroyo will be maintained in a partially natural state with stabilized banks, drop structures, and with a soft (natural) bottom.

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 5 of 13

- F. Goal 2 of the Trails and Bikeways Facility Plan: Accommodate the following users in the trail system recognizing that not all can be accommodated on every trail: cyclists (both mountain and touring), pedestrians, runners, equestrians, and the physically challenged - The Trails Design Standards indicate that pedestrians, runners, and bicyclists would be accommodated within the trail system. A standard indicating that some or all of the trails would use Barrier-Free Design would help accommodate physically challenged individuals as trail users.
9. The submittal complies with the following Impact Area Regulations of the Northwest Mesa Escarpment Plan:
- A. Regulation 9.3: Height of the walls and fences shall not exceed 6'0". Color of finish materials shall match Approved Color List (Appendix E) - The proposed design standards address wall and/or fence colors, and indicate the maximum fence/wall height is 6 feet.
- B. Regulation 12.1: Structure height shall not exceed 15'0" - Residential building heights in the Impact Area are proposed to not exceed the 15-foot height limitation of the regulations.
- C. Regulation 12.4: Glass on any façade shall not be reflective or mirror glass - Proposed structures in the Impact Area are required to use clear, non-reflective glass.
- D. Regulation 12.5: No exposed roof-mounted heating or air-conditioning equipment shall be permitted. Roof mounted heating and air conditioning equipment shall be fully screened from views, both from the ground and from the escarpment. Screening materials shall be of Approved Colors (Appendix E) - Proposed structures in the Impact Area would comply with this policy. Screening of roof-mounted equipment with materials that are the same as the primary building materials would be required.
- E. Regulation 13.4.a: Site lighting- Height of luminaries shall not exceed 20'0" - A design standard indicates that the maximum height of street lights shall be 20 feet
- F. Regulation 15.3: Street lighting- Height of luminaries shall not exceed 28'0" - The request complies with Policy 15.3. The proposed standards state that the maximum height of street lights shall be 20 feet.
- G. Regulation 13: Sites which cannot be set aside as open space, including recreational facilities, and sites adjacent to open space, shall have minimum visual impact - Proposed structures in the Impact Area would comply with the NWMEP height restrictions. A view section is provided in the design standards.
- H. Regulation 13.1.c: There shall be wheel stops or curbs around all landscaped areas in order to protect landscaping from vehicles - There is a statement of general compliance on Sheet 5 with the parking regulations contained in the Zoning Code.
- I. Regulation 13.2.a: Plants selected for landscaping on privately or publicly owned land shall be selected from the Plant Species List (Appendix D). Landscaping plans shall indicate a pattern that does not obscure major public views of the escarpment as defined in this document - Parks and Recreation Department provided the applicant with a preferred list of plant materials for the naturalized and private open space areas.

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 6 of 13

- J. Regulation 13.4.b: Light fixtures shall be of a type that throws light downward and have baffles, hoods, or diffusers so that any light point source is not directly visible from a distance greater than 1000 feet - The lighting section states that lights shall be shielded.
- K. Regulation 19: Drainage facilities' design shall be sensitive to the character of the existing escarpment. Arroyo corridor and drainage management plans are the appropriate planning level for specific channel treatment recommendations for arroyos identified in the "Facility Plan for Arroyos" - The Mirehaven Arroyo is designated as an Urban Recreational Arroyo. There is no specified treatment for this arroyo type, outside of dedicated parks. Because no dedicated parks are proposed along this arroyo, Policy 2 (FPA, p. 53) would not apply.
10. Through application of the recommended Conditions of Approval and/or through review of future development, the request could comply with the following Impact Area Regulations of the Northwest Mesa Escarpment Plan:
- A. Regulation 9.1: Development at the edge of public or private open space shall be designed to complement and enhance the open space. On-site open areas shall be designed to connect with adjacent public or private open space and to be visually integrated with the open space system. Orientation of the on-site open areas to the larger open space system is required - In three locations along the Mirehaven Arroyo, on-site open space areas are connected with adjacent open space. The proposed density is 3.34 du/ac, lower than the allowed 4 du/ac, which will provide greater protection to the natural features and the Monument. However, the proposed open space system is fragmented and its component parts do not connect with each other. The opportunity for open space to be oriented to the larger open space system is possible with future development.
- B. Regulation 9.2: Where the adjacent land use requires visual privacy, non-continuous, non-perimeter walls may be constructed. The request indicates the residential perimeter walls will be off-set every 3 lots, but the standard does not require that the properties have non-perimeter walls.
- C. Regulation 12: Structures shall not block views of the Escarpment or visually contrast with the natural environment - Proposed structures in the Impact Area would comply with the NWMEP height restrictions and are limited to 15 feet in height. The example of structures proposed (sheet 7) should show that they would not visually contrast with the natural environment.
- D. Regulation 12.3: The exterior surfaces of structures must be Approved Colors (Appendix E) - Proposed structures in the Impact Area are limited to a neutral, earth-toned palette, including the mechanical devices and roof vents. More information is needed regarding the specific NWMEP approved exterior colors.
- E. Regulation 13.3.a: Free-standing signs other than street signs, traffic signs or informational signs shall be limited to 6 square feet of sign area - Free-standing signs are limited to monument signs and would be a uniform style; the four proposed sign sizes can be no larger than 6 sf in area.

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 7 of 13

- F. Regulation 15.3.b: Street lighting- Light fixtures shall be of a type that projects light downward and have baffles, hoods or diffusers so that any light point source is not directly visible from a distance greater than 100 feet - The proposed lighting section requires that all light fixtures be shielded-source and respect Night Skies. A design standard indicates that generally "placement of fixtures and standards shall conform to state and local safety and illumination standards." Review of future development will ensure compliance.
- G. Regulation 15.8: Where the road surface cannot be at grade with the prevailing adjacent contours, the exposed embankment must be stabilized. The covering of that stabilization shall be with a combination of basalt, earth, and vegetation that is in similar proportion to the surrounding portions of the escarpment - Typical street sections demonstrate landscaped medians that accommodate grade changes. Review of future development will ensure compliance.
11. A facilitated meeting was held on May 21, 2013. Though there is general support for the single-family home use, there is concern about the gates, mass grading, homogeneous development, relationship with the Monument, impacts to services in the area, and water resources.
12. The applicant is working toward addressing the comments of other departments and agencies, which are detailed as Conditions of Approval.
13. Any access to the Petroglyph National Monument is contingent on approval from the National Park Service. It has been determined that the National Park Service cannot allow a private-only or exclusionary access to Petroglyph National Monument.
14. It is warranted that the EPC retain its approval authority of future site development plans until the EPC determines that delegation is warranted.
- A. Specific details regarding how the Petroglyph National Monument boundary is to be treated have not yet been provided, including the extent of cut and fill, the maximum height of a series of retaining walls, the treatment of drainage corridors, and the design of the each parcel's required non-perimeter walls (see NWMEP page 54). The environmental, cultural, topographical, and visual sensitivity of this area warrant that the EPC retain its approval authority for future site development plans of land adjacent to the Petroglyph National Monument until the EPC determines that authority delegation is appropriate.
- B. The proposed design standards need additional information to warrant delegation of the EPC's approval authority to the Development Review Board (DRB). As a technical body, the DRB relies on the work of the EPC to ensure compliance with regulations and consistency with Goals and policies. At this time, the submittal provides insufficient guidance for future reviewers and developers with clear, consistent expectations.

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 8 of 13

CONDITIONS OF APPROVAL:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner(s) to ensure that all conditions of approval are met.
3. A Process section shall be added to the design standards and General Note 2 shall be revised to state:
 - A. The first tract to develop adjacent to the Petroglyph National Monument shall return to the EPC for review of the Site Development Plan for Subdivision. At that time, the EPC can choose to delegate future site development plans for subdivision to administrative review or to retain its approval authority and review a subsequent submittal. Administrative review would consist of the Planning Director or her/his designee, and an EPC staff planner, performing a design review analysis with each site development plan for subdivision for the proposed tracts to ensure compliance with applicable rules, regulations, standards, and policies prior to submittal to the DRB.
 - B. The applicant shall consult with the National Park Service and Parks and Recreation prior to approval of development adjacent to the Petroglyph National Monument.
4. The Required Information narrative section, Sheet 1, shall be revised as follows:

Revise the second sentence of the subsection entitled "The Site" to indicate that the subject site is within the boundaries of the listed plans and subject to the regulations of those Plans.
5. Lighting, Utilities & Screening: The language from the WMP regarding antennas and towers (see p. 88) shall be added as a standard to the Utilities section.
6. Signage:
 - A. A standard shall be added to state that signage in the NWMEP Impact Area cannot exceed 6 square feet of sign face area (NWMEP, p. 61).
 - B. The illustration for prototypical Facilities Sign Type D, when located in the Impact Area, shall be revised correspondingly.

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 9 of 13

7. Sidewalks, Trails & Pedestrian Crossings:

- A. A standard shall be added indicating that trails would use Barrier-Free Design, physically challenged individuals would also be accommodated as trail users where feasible.**
- B. A trail feasibility study shall be required prior to development of Tract A for the northern perimeter trail for public access to the Petroglyph National Monument and submitted to the Planning Director, City Parks and Recreation Department/Open Space Division, and Petroglyph National Monument for review. The study shall consider existing soils, grade, slope and parking. If it is determined by the Planning Director that this trail is not feasible, the applicant shall not be required or allowed to construct the trail or access to the Petroglyph National Monument. This shall be added to Section 10, Petroglyph National Monument.**

8. The Walls/Fences Design Standards shall be revised as follows:

A new standard shall be added for development in the Impact Area of the NWMEP that states: Development at the edge of public or private open space shall be designed to complement and enhance the open space. Where the adjacent land use requires visual privacy, non-continuous, non-perimeter walls may be constructed. Varied setbacks and landscaping are required, NWMEP Regulation 9.2.

9. Streets & Streetscapes:

Add text that states: Where possible, street design shall maximize water harvesting for landscaping.

10. The Grading & Surface Disturbance Standards shall be revised as follows:

- A. NWMEP Policy 11.8 regarding damaged areas/re-vegetation shall be included as a standard.**
- B. A phasing plan shall be included to indicate the order in which the tracts are to be graded.**

11. Clarification & "Clean-Up":

- A. For clarity for future review, each illustration, plan, diagram or cross-section contained in the design standards shall be identified as either illustrative (conceptual) or as a standard (regulatory).**
- B. The landscaping standards shall be numbered as 13, with renumbering of subsequent sections.**
- C. Numbers shall be added to sections 9 and 10.**
- D. Sheet 1, Line 7: the term "private clubhouse" shall be used.**

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 10 of 13

E. Utility Plan: Add a symbol for the new line type.

12. Conditions of Approval from the Open Space Division:

- A. Please show the boundary line of the gated community (i.e., the proposed location of the view fence) on all sheets.
- B. The west perimeter trail will require monitoring and protection from residents. If residents of the gated community begin encroaching on, or creating unofficial entrances to the PETR, HOA should take financial responsibility for repairing fence along the boundary.
- C. Typical sections on drawing should be labeled and referenced to the plan. Sections showing double-loaded street with housing and PETR boundary should be included in drawings for full disclosure of intent.
- D. Need consistent information about intent for arroyo bottom; either "natural" and "allowed to degrade and drop," or containing "drop structures" that will "stabilize the bottom."

13. Conditions of Approval from the Parks & Recreation Department, Strategic Planning Division:

- A. COMMUNITY. Throughout the Site Plan for Subdivision, the word "community" is used and it is not clear if the "community" amenity such as "community trail" is intended to refer to the gated community residents or all of the Watershed Subdivision "community". It is confusing. In sections and plan views the term is used interchangeably so it is not clear what is public and what is private. For example, the section on the Mirehaven Arroyo states that the "Access to the Mirehaven Arroyo shall be restricted to the residents of the community". That would be "the residents of the gated community"? Another example, the private linear parks... "also serve as a recreational amenity for the "community" when in this case, some sections of the linear parks are for both the gated and non-gated residents as we understand from the illustration of "Pedestrian Circulation". Please clarify.
- B. PEDESTRIAN CIRCULATION. Page Three, item #7 the diagram showing "Pedestrian Circulation" is unclear as to what trails are public and what are private for the gated residents. Please clarify.
- C. STREETS AND STREETSCAPES. Section Eleven item H, please add a sentence stating "All landscaping along streets and medians are to be maintained by the HOA". Landscaping of medians and/or streetscapes by the Developer within the City ROW will require a Streetscape Agreement between the Developer and the City.
- D. LANDSCAPE. Is there a percentage of minimum landscape coverage required? If so, please identify what percentage that would be.

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 11 of 13

- E. **GRADING AND SURFACE DISTURBANCE.** Defer to Environmental Health on this section of the Plan regarding dust control. However, item B is vague as to how the minimum of cut and fill have been addressed and who determines that more cut and fill results in "construction materially (that) improves the site plan"? Our concern here has to do with the cut and fill solutions for home sites and roads potentially affecting the feasibility of a trail alignment.
- F. **DRAINAGE.** Item D. We realize this is a difficult site with the Monument on two sides and steep slopes so that retaining walls will be or may be necessary in certain locations. We have concerns about terracing walls next to the Monument such as those in Watershed One development adjacent the Well Tank Site. Terracing walls should protect views of the Monument and view fences used as much as possible. Item H, please add "private" to ...parks...so that it is clear that it is "private open space" and "private parks"....
- G. **CONCEPTUAL GRADING AND DRAINAGE PLAN.** The Diversion Bank proposed along the northwest boundary of the site appears to be in the approximate location of the proposed perimeter trail, housing, and a road. There is not enough information on this Plan which does not show proposed grades, only existing grades, to identify if there is a potential conflict that would preclude a trail in that location. Our Department supports and encourages water harvesting when possible. The statement that "water harvesting techniques will try to be incorporated with future subdivision as possible" is vague and non-committal. We would suggest "Water harvesting techniques will be implemented where possible".
14. Conditions of Approval from the National Park Service: Vehicular access at the northeastern corner of the proposed project (by the existing water tank with an existing gate) shall be provided for emergency services response in the event of an incident.
15. Conditions of Approval from the City Engineer:
- A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - B. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/ requirements. Any necessary variances must go through the standard variance process.
 - C. All easements, access agreements and property lines must be shown and labeled on Site Plan. Provide recording information.
 - D. Right-of-way dedication to the City of Albuquerque may be required at DRB.
 - E. Public ROW location for Primary Trails shall be as designated by the Long Range bikeway System Map and the Trails and Bikeways Facility Plan and shall be built in accordance with the standards detailed in the DPM.

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 12 of 13

- F. The developer shall coordinate with the DMD to ensure that transportation infrastructure is provided as planned and included in the 2030 MTP.
 - G. Add to the end of drainage standard E: "Hydrology will evaluate whether and how ponds should overflow into the roadway on a case-by-case basis."
 - H. Remove the phrase "pedestrian ways" from the sentence in drainage standard I.
16. Traffic Operations: A note shall be added to state the following: An analysis of the operation and mitigation necessary to return traffic operations to that of the no build condition at the Ladera and Unser Intersection is required. This analysis shall be performed and submitted to the City and NMDOT for review prior to the first subdivision plat approval by the DRB.
17. Conditions of Approval from AMAFCA:
- A. Bank stabilization on the Mirehaven Arroyo will be required. This can be bank protection and drop structures backfilled with native material like what has been installed on the downstream section of the arroyo.
 - B. AMAFCA has Temporary Floodplain Easements on the Mirehaven Arroyo and the arroyo north of Arroyo Vista Boulevard. Any drainage improvements that will alter the easements will require a vacation action through the City DRB and a quitclaim / release approval from the AMAFCA Board of Directors.
 - C. The West I-40 Drainage Management Plan Update (2011) identifies a potential storage capacity deficiency in Ladera Dam 12. Development of this subdivision will require a more detailed analysis of the Ladera Dam system capacity and possibly funding contribution for upgrade of the dam.
18. Conditions of Approval from the Public Service Company of New Mexico:
- A. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 - B. Any existing or proposed public utility easements are to be indicated on the site plan utility sheet prior to DRB review.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **JULY 26, 2013**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; Rather a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's

OFFICIAL NOTICE OF DECISION

Project #1006864

July 11, 2013

Page 13 of 14

decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

CMarone

for Suzanne Lubar
Acting Director, Planning Department

SL/CLL/KCB/mc

cc: Consensus Planning, Inc., 302 Eighth Street NW, Albuquerque, NM 87102
Thomas Borst, 1908 Selway Pl, Albuquerque, NM 87120
Art Retberg, 9732 Summer Shower Pl, Albuquerque, NM 87120
Diane Souder, 6001 Unser Blvd. NW, Albuquerque, NM 87120
Jay Lee Evans, P.O. Box 1293, Albuquerque, NM 87104
Rene Horvath, 5515 Palomino Dr. NW, Albuquerque, NM 87120
Candelaria Patterson, 7608 Elderwood NW, Albuquerque, NM 87120
Matt Schmader, COA, Open Space
Jolene Wolfley, 7216 Carson Trl NW, Albuquerque, NM 87120



DEVELOPER INQUIRY SHEET

To obtain NA/HOA Contact Information for Application Submittal to the Planning Department.

11-11-11

The Office of Neighborhood Coordination (ONC) located in Room 440 (4th floor) of the Plaza Del Sol Building, 600 Second Street NW, Fax: **(505) 924-3913** -OR- you can e-mail the Zone Map and Developer Inquiry Sheet to: Stephani Winklepleck, e-mail: swinklepleck@cabaq.gov. ONC will need the following information **BEFORE** NA/HOA Contact Information will be released to the Applicant/Agent on any Project being presented to the Planning Department. If you have any questions, please feel free to contact our office at **(505) 924-3914**.

Zone Map and this Developer Inquiry Sheet MUST be provided with request.

Please mark/hatch Zone Map where Property is located.

Your Developer Inquiry is for the following:

- Cell Tower Submittal: Free-Standing Tower -OR- Concealed Tower
- EPC Submittal DRB Submittal LUCC Submittal Liquor Submittal
- Administrative Amendments (AA's) Submittal City Project Submittal

CONTACT NAME: Malak Hakim

COMPANY NAME: Consensus Planning, Inc.

ADDRESS/ZIP: 302 Eighth Street NW, Albuquerque, NM 87102

PHONE: 505-764-9801 FAX: 505-842-5495

LEGAL DESCRIPTION INFORMATION

LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT SUBMITTAL IS DESCRIBED BELOW (i.e., Lot A, Block A, of the For Your Information Subdivision):

Tract N-2-F, Watershed Subdivision

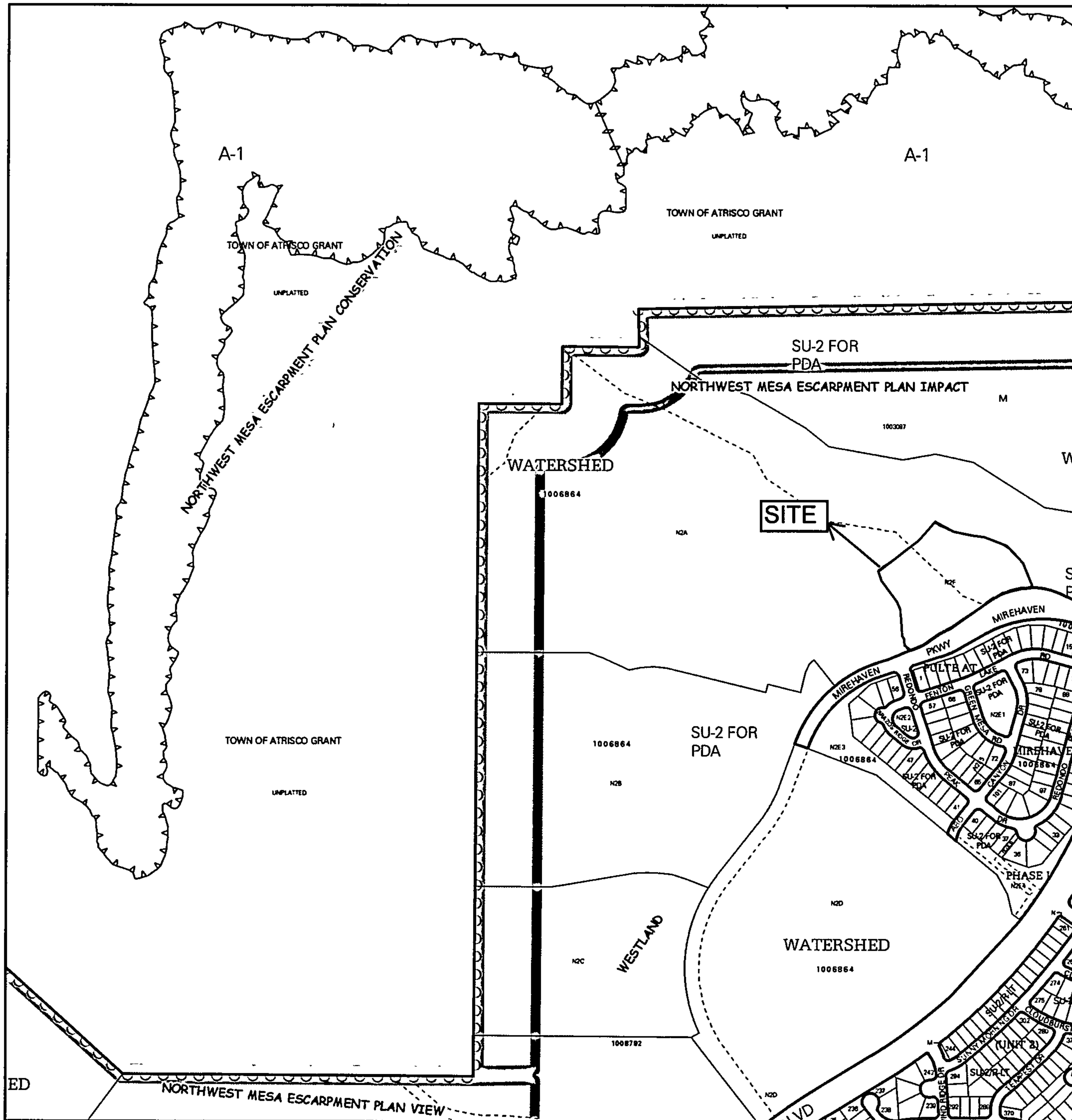
LOCATED ON West side of Tierra Pinatada NW LEGAL DESCRIPTION

Arroyo Vista BETWEEN West Creek AND

STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE (H-08-Z).



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

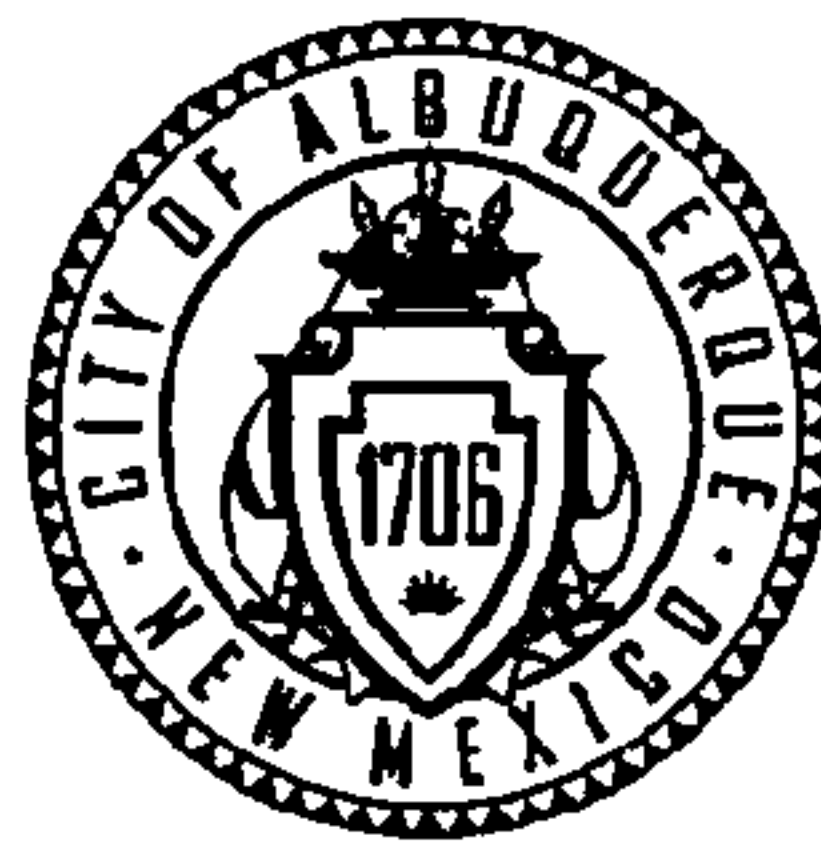
Zone Atlas Page:
H-08-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 9/2/2014



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

March 23, 2015

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **March 23, 2015:**

Contact Name: MALAK HAKIM
Company or Agency: CONSENSUS PLANNING, INC.
302 8TH STREET NW/87102
PHONE: 505-764-9801/FAX: 505-841-5495

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – TRACT N-2-F, WATERSHED SUBDIVISION, LOCATED ON THE WEST SIDE OF TIERRA PINATADA NW BETWEEN ARROYO VISTA NW AND WEST CREEK NW** zone map **H-8**.

Our records indicate that as of March 23, 2015, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

11:00 AM
11:05 AM
11:10 AM
11:15 AM
11:20 AM
11:25 AM
11:30 AM
11:35 AM
11:40 AM
11:45 AM
11:50 AM
11:55 AM
12:00 PM

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- [X] **The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.**
- [] Copies of Letters to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **03/23/15** Time Entered: **12:55 p.m.** ONC Rep. Initials: **siw**

PROJECT#

1010412

May 6. 2015

SBS