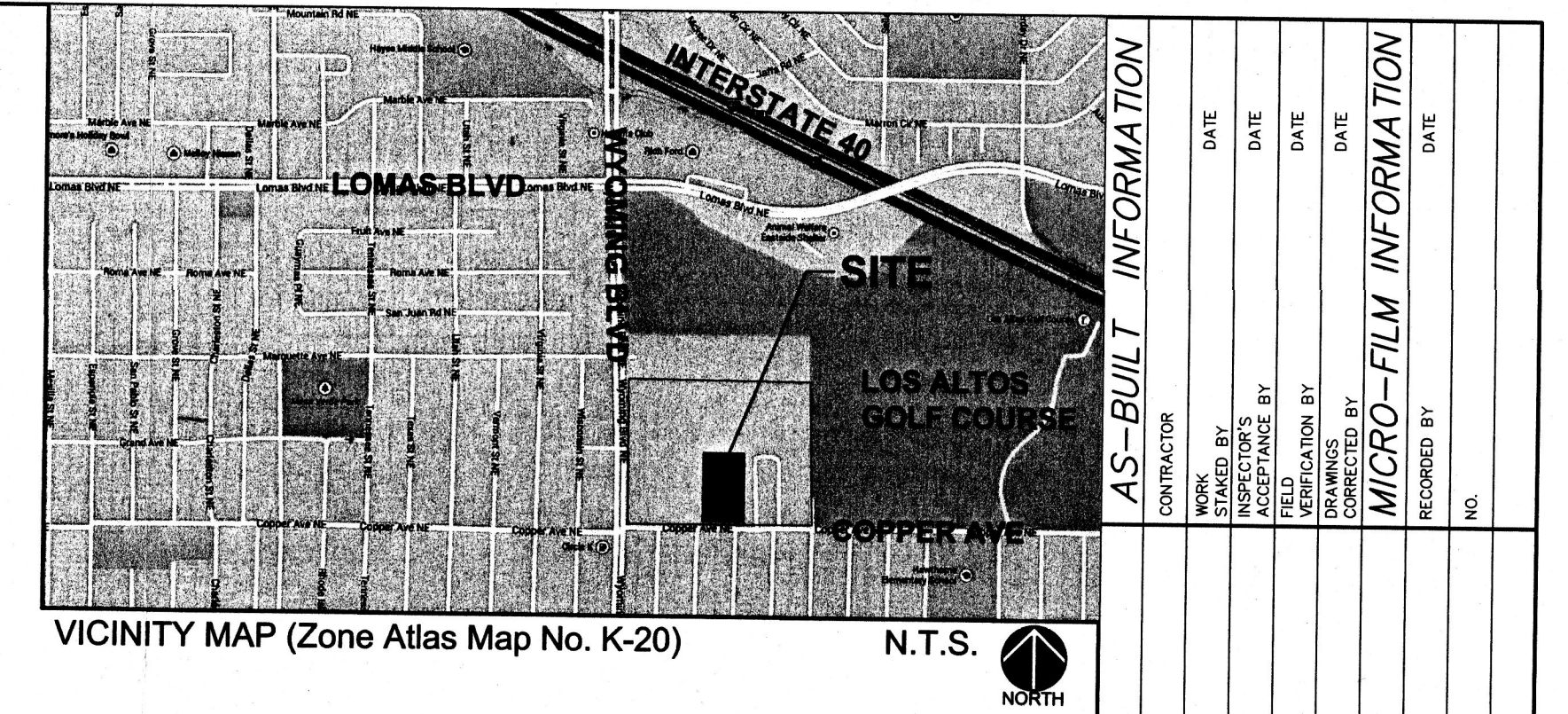
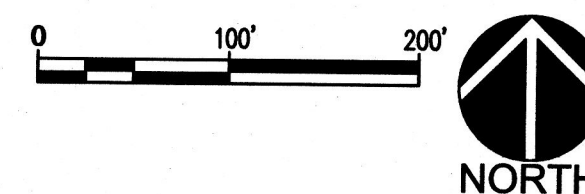


OVERALL PROPERTY MAP
1" = 100'



SITE INFORMATION

Site Area: 4.35 acres (approx.)
 Legal Description: Municipal Addition No. 2, Tract 3, Exc Nly 354' and Portions out to RW Cont.
 Current Zoning: SU-1 National Guard Army and PRD
 Existing Land Use: Public/Institutional
 Proposed Zoning: SU-1 Parks and Recreation
 Proposed Land Use: park, active and passive recreation
 Applicable Plans: none
 Pedestrian Ingress and Egress: See Sheet 2
 Vehicular Ingress and Egress: See Sheet 2
 Internal Circulation: See Sheet 2
 Maximum Building Height: n/a
 Maximum Building Setback: n/a
 Maximum Floor Area Ratio (F.A.R.): n/a

PARKING CALCULATIONS

- Standard Parking Spaces Required: Pursuant to 14.16.22(c), off-street parking shall be provided as required by Planning Commission in SU-1 zone. No specific off-street requirements for park facilities are included in zoning code.
- Standard Parking Spaces Provided: 9
- Accessible Parking Spaces Required: 1 (1 per 25)
- Accessible Parking Spaces Provided: 4 (all Van Accessible)
- Motorcycle Spaces Required: 1 (1 per 25)
- Motorcycle Spaces Provided: 2
- Bicycle Parking Required: 2
- Bicycle Parking Provided: 5

OPERATIONS AND MAINTENANCE NOTES

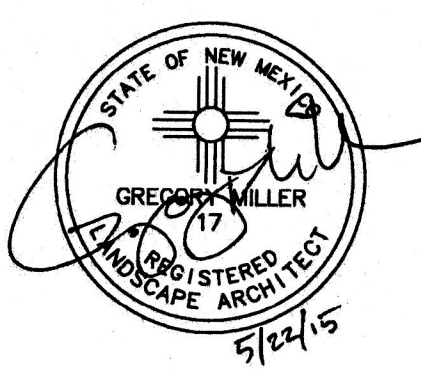
- Noise
 - No park feature that may possibly be constructed in the future will exceed noise levels permitted by City Noise Ordinance.
- Vending
 - If farmers' market or food truck vending are proposed in the future, all vending will occur within Park boundaries proper with access from existing parking lot.
- Hours of Operation
 - Park will be open the standard hours of 6:00 am to 10:00 pm.

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STATED BY	DATE
ACCEPTANCE BY	DATE
FIELD CHECKED BY	DATE
DRAWING BY	DATE
CHECKED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	
BY	

ARCHITECTURAL SEAL



REVISIONS

NO.	DATE	REMARKS	BY
1	5/22/15	EPC	
2	8/4/15	DRB	

DESIGNED BY	DATE
GM/AZ	X/X/XXXX
DRAWN BY	DATE
AZ	X/X/XXXX
CHECKED BY	DATE
GM	X/X/XXXX

PROJECT: 1010458
 DATE: 8-12-15
 APP: 15-10278
 REQUEST:
 - SITE PLAN SUBD -

PROJECT NUMBER:
 APPLICATION NUMBER:
 IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
 DRB SITE DEVELOPMENT PLAN APPROVAL:

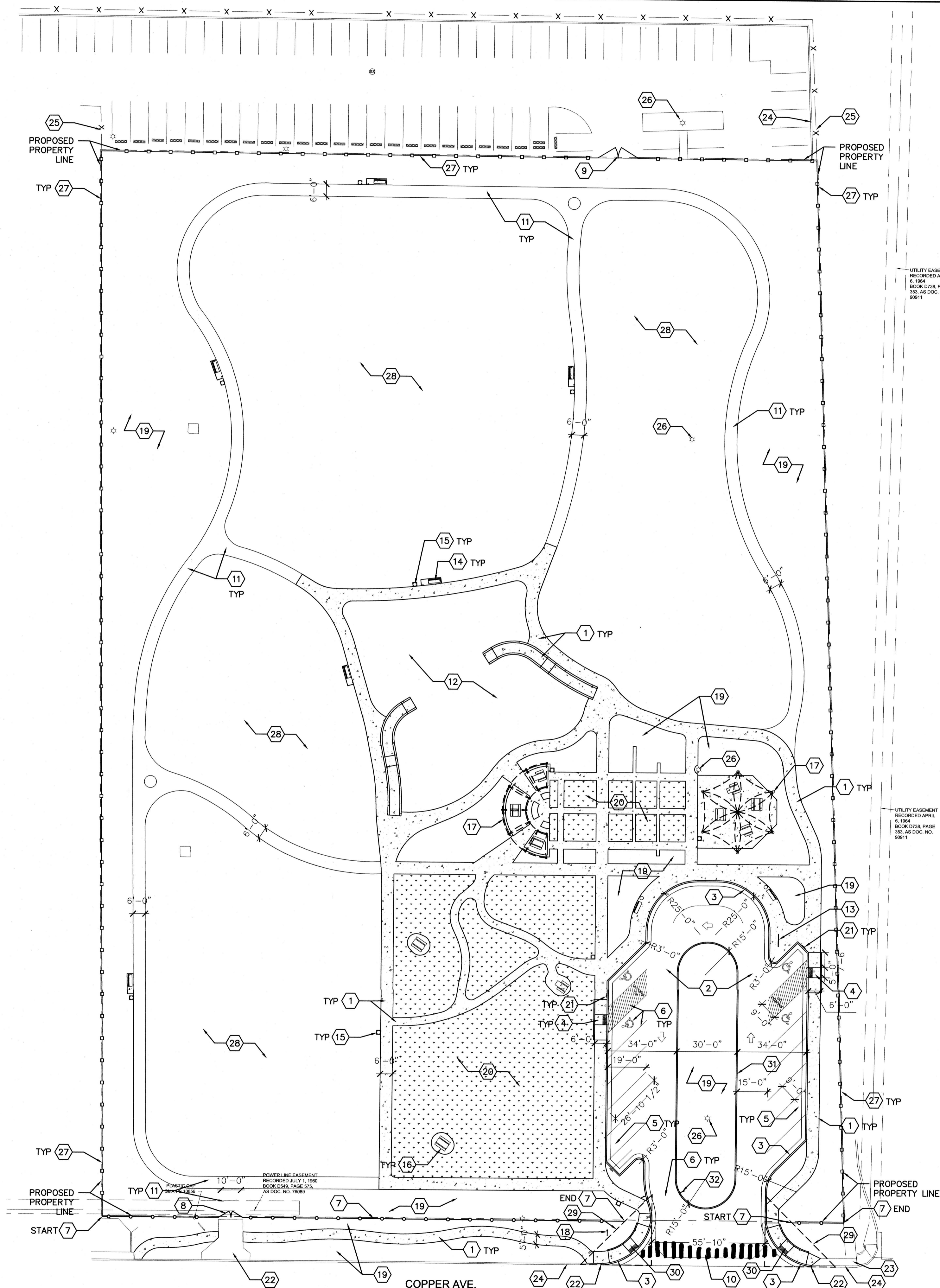
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT - (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

MIRWWM
 LANDSCAPE ARCHITECTS
 Morrow Reardon Wilkinson Miller, Ltd.
 mirwmla.com 505 268 2266

CITY OF ALBUQUERQUE
 STRATEGIC PLANNING AND DESIGN
 PARKS AND RECREATION DEPARTMENT

**SOUTH LOS ALTOS CHILDREN'S PARK
 SITE PLAN FOR SUBDIVISION**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Last Design Update			
City Project No.	Zone Map No.	Sheet	Of
613592	K-20	1	4



A1 SITE PLAN FOR SUBDIVISION
SCALE: 1"=30'-0"

DETECTABLE SURFACE NOTES

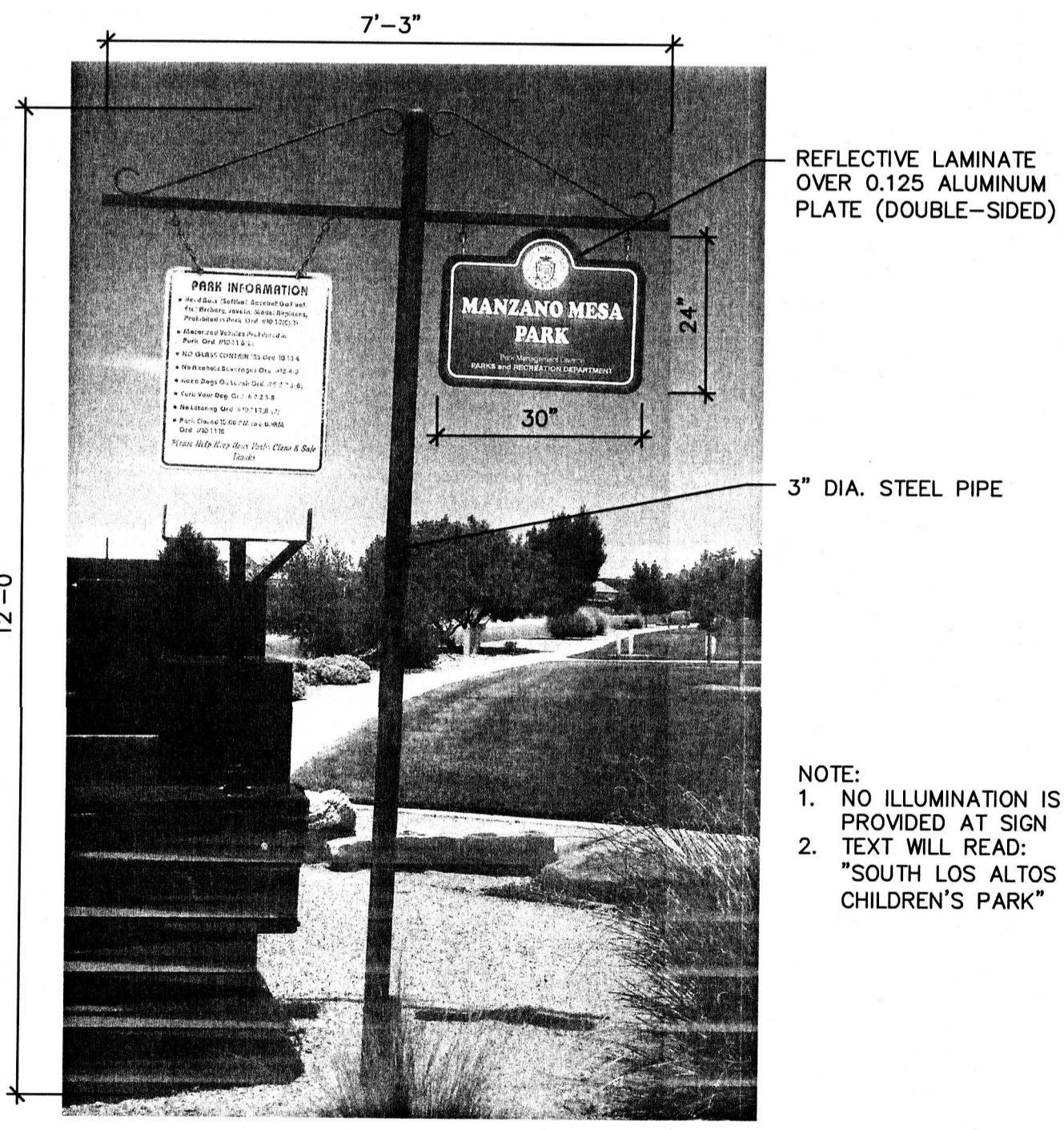
- DETECTABLE WARNING SURFACES SHALL BE INSTALLED ON ALL ADA RAMPS. SURFACES SHALL BE 'ARMOR-TILE TACTILE SYSTEM', OR APPROVED EQUAL. COLOR: RED.
- DETECTABLE WARNING SURFACES AT ACCESSIBLE RAMPS SHALL EXTEND MINIMUM 24" IN THE DIRECTION OF TRAVEL AND FULL WIDTH OF THE CURB RAMP, LANDING, OR TRANSITION. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
- DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB FLOWLINE IS 8" MINIMUM AND 10" MAXIMUM FROM THE FLOWLINE.

KEYED NOTES

- STANDARD GRAY CONCRETE WALK PER COA STD. DWG. 2720. MAXIMUM LONGITUDINAL SLOPE OF 5%.
- ASPHALT PAVING PER COA STD. DWG. 2405A.
- STANDARD CONCRETE CURB AND GUTTER PER COA STD. DWG. 2415A.
- WHEELCHAIR ACCESS RAMP WITH INTEGRAL HEADER CURB PER COA STD. DWG. 2441. PROVIDE DETECTABLE WARNING SURFACES PER DETECTABLE SURFACE NOTES.
- CONCRETE PARKING BUMPER.
- PAVEMENT MARKINGS.
- RETROFIT EXISTING ORNAMENTAL STEEL FENCE.
- 12' WIDE DOUBLE-SWINGING ORNAMENTAL STEEL GATE.
- 20' WIDE DOUBLE-SWINGING VINYL-COATED CHAINLINK GATE.
- CROSSWALK PAVEMENT MARKING.
- ASPHALT PATH PER COA STD. DWG. 2722, SIMILAR. MAXIMUM LONGITUDINAL SLOPE OF 5%.
- PLAY AREA WITH PLAY EQUIPMENT AND SAFETY SURFACING.
- 5-BIKE CAPACITY BIKE RACK.
- 6' BENCH.
- TRASH RECEPTACLE.
- PICNIC TABLE ON CONCRETE SLAB.
- FABRIC SHADE STRUCTURE.
- PARK SIGN.
- PLANTING BED.
- TURF AREA.
- HANDICAP PARKING SIGN, INCLUDING VAN ACCESSIBLE SIGN AND REQUIRED LANGUAGE READING "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- TIE INTO EXISTING CURB & GUTTER.
- EXISTING CONCRETE PAVING TO REMAIN.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING 6' HT. CHAINLINK FENCE TO REMAIN.
- NEW 6' HT. CHAINLINK FENCING.
- EXISTING LIGHT POLE TO REMAIN.
- NEW 6' HT. CHAINLINK FENCING.
- FUTURE RECREATION AREA, SUBJECT TO PHASED DEVELOPMENT. SEE NOTE 4, SHEET 1.
- 35' X 35' CLEAR SIGHT TRIANGLE - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- WHEELCHAIR ACCESS RAMP PER COA STD. DWG. 2418. PROVIDE DETECTABLE WARNING SURFACES PER DETECTABLE SURFACE NOTES.
- CONCRETE HEADER CURB PER COA STD. DWG. 2415B.
- "DO NOT ENTER" SIGN, TYP. OF 2 AT PARKING LOT EGRESS.

GENERAL NOTES

- Landscaping
 - Extensive tree cover will be a hallmark of this park, including a 'river of trees' intended to represent Albuquerque's bosque. The majority of trees, shrubs and plants will be native and low water use. An area of turf will be provided that will include low berms and trees around the edges.
 - A sample of the tree varieties provided include: Rio Grande Cottonwood, Chinese Pistache, Lacebark Elm, Honey Locust, Bur Oak, Flowering Pear, Chokecherry, Sensation Maple, Doodar Cedar, Australian Pine, Desert Willow, Vitex, Goldenrain Tree, and NM Olive.
 - All landscape beds will be depressed below grade.
 - Curb notches shall be provided when adjacent to landscape beds to allow storm water to flow into them and provide supplemental irrigation of the plantings.
 - All proposed turf will be low water use blend.
- Lighting Standards
 - Parking lot will use existing lighting fixtures.
 - Park area lighting will use dark sky compliant fixtures only.
 - Additional light poles may be provided in the future, if desired.
- Parking
 - Parking will be allowed in off-street parking lot constructed per site development plan. There will be 4 handicap parking spaces, 9 standard parking spaces, 2 motorcycle parking spaces, and a provision for bus/van pull-in. Due to the special nature of this park, more than the required number of handicap spots will be provided.
 - The existing parking lot to the north will not be accessible to the proposed park site, except temporarily via vehicle access gate during construction only. Gate will remain locked at all other times and park users will not have access to this lot for parking.
- Phasing
 - The park will be constructed in recreation "modules" which will allow us to address funding limitations and to respond to changing user needs and advances in recreational and play equipment. The first phase will include all features shown on the site development plan, including: off-street parking, infrastructure for irrigation, pedestrian circulation, perimeter fencing, site furnishings, lawn and passive recreation areas, large "inclusive" playground, multi-use plaza with shade, and extensive tree planting. All future modules will adhere to the Site Plan for Subdivision and these Design Guidelines.
- Pedestrian Circulation
 - Accessible interior paths will be provided and a loop path for walking and jogging that encircles the park will be constructed. Accessible surfacing will be provided under and around all play equipment.
 - Longitudinal slopes on all pedestrian paths will not exceed 5%.
 - The existing sidewalk at back of curb along Copper Ave. will be removed and replaced with a new 5' wide meandering sidewalk, separated from the street with a landscape buffer. New ADA curb ramps will be installed.
- Vehicular Ingress/Egress
 - The existing 55' wide curb cut at Copper Ave. will remain as the primary ingress/egress point for a new one-way parking lot. The existing gate will be removed and perimeter fencing along Copper Ave. will be modified to eliminate obstructions within the clear sight triangle.
 - A second smaller curb cut at Copper Ave. will remain to the west to provide maintenance access to the park.
- Walls/Fencing
 - Existing fencing at roadway will be re-utilized and made more visually attractive with undulating top edge and with repainting.
 - New fencing at other boundaries will be chain link or wrought iron along east and north sides. Due to security concerns from other City Departments, existing chain link fencing along west boundary with other City property will eventually be replaced with CMU or wrought iron.
- Site furnishings
 - Play equipment and site furnishings will focus on accessibility and inclusivity. Many components will be of custom design, and manufactured components will be carefully selected for quality and variety.
- Inclusive/Accessible Park Design
 - This park will feature a variety of play and recreational components that will maximize accessibility and inclusivity for all abilities and ages. The design intent is to appeal to all citizens of Albuquerque regardless of ability or age and to provide opportunities for a wide range interactions amongst all users.
- Buildings
 - No buildings are proposed for this site, including in future phases of work. Therefore, maximum building height, maximum building setback, and maximum FAR are not provided.



A3 TYPICAL PARK SIGN
SCALE: N.T.S.

HATCH LEGEND

- CONCRETE PAVING
- ASPHALT PAVING
- PLAY SURFACING
- TURF

AS-BUILT INFORMATION		CONTRACTOR		DATE	
WORK		DATE		DATE	
STAMPED BY		DATE		DATE	
ACCEPTED BY		DATE		DATE	
DRAWINGS FOR		DATE		DATE	
CORRECTED BY		DATE		DATE	
MICRO-FILM INFORMATION		NO.		DATE	
RECORDED BY		NO.		DATE	
BENCH MARKS		FIELD NOTES		NO.	
SURVEY INFORMATION		DATE		NO.	
ARCHITECTURAL SEAL		BY		DATE	
REVISIONS		EPC		DATE	
REMARKS		DRB		DATE	
NO. DATE		BY		DATE	
DESIGNED BY GM/AZ		DATE		DATE	
DRAWN BY AZ		DATE		DATE	
CHECKED BY GM		DATE		DATE	

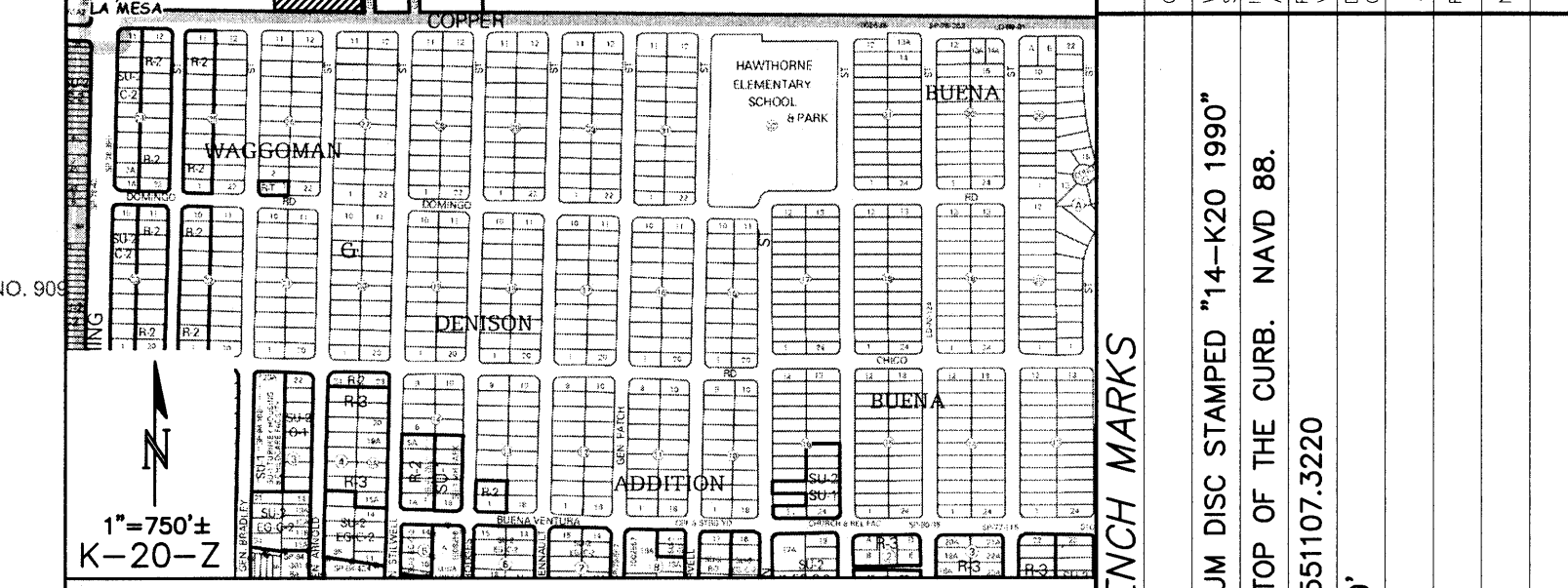
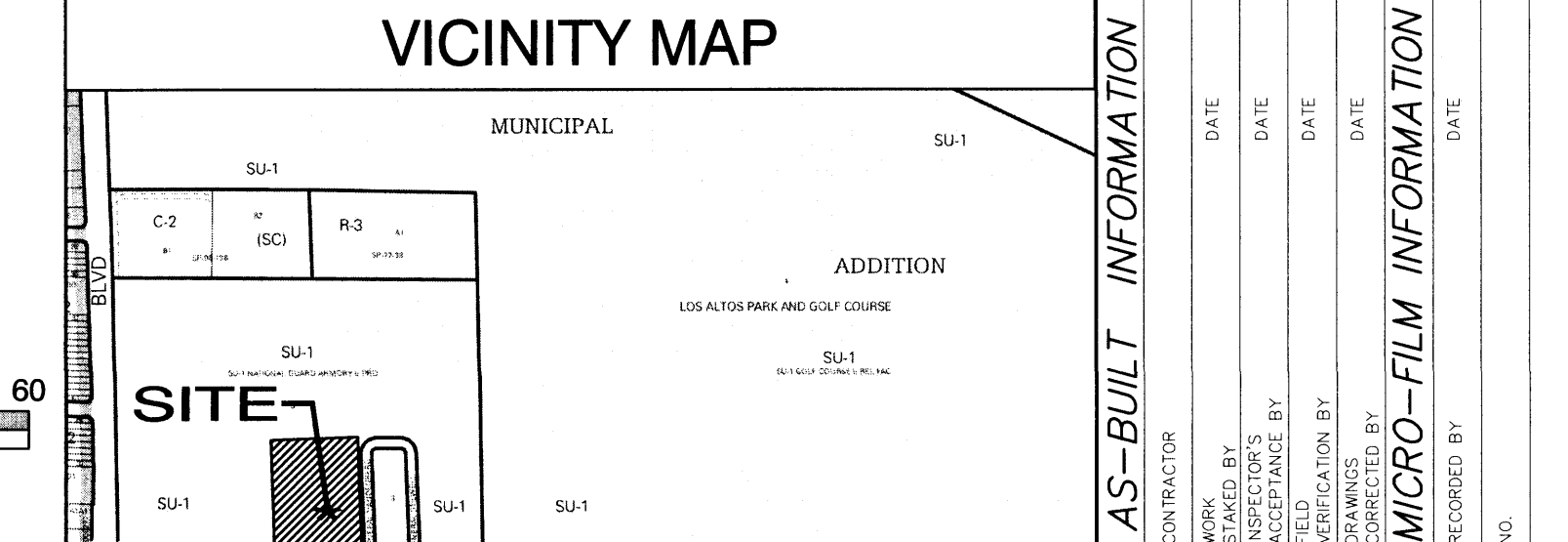
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mrwmla.com 505 268 2266

CITY OF ALBUQUERQUE
STRATEGIC PLANNING AND DESIGN
PARKS AND RECREATION DEPARTMENT

**SOUTH LOS ALTOS CHILDREN'S PARK
SITE PLAN FOR SUBDIVISION**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 613592	Zone Map No. K-20	Sheet 2	Of 4

MATCHLINE
SEE GRADING AND DRAINAGE PLAN - NORTH



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ARCHITECTURAL SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WILSON & COMPANY	8/4/2015	1	5/22/15	1	5/22/15	1	5/22/15
INSPECTOR'S NAME	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> <td>NO. <td>DATE</td> </td></td>	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
FIELD VERIFICATION BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> <td>NO. <td>DATE</td> </td></td>	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
VERIFICATION BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> <td>NO. <td>DATE</td> </td></td>	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
CONTRACTOR'S NAME	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> <td>NO. <td>DATE</td> </td></td>	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE
RECORDED BY	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> <td>NO. <td>DATE</td> </td></td>	DATE	NO. <td>DATE</td> <td>NO. <td>DATE</td> </td>	DATE	NO. <td>DATE</td>	DATE

REVISIONS	DATE	REMARKS	BY
1	5/22/15	EPC	
2	8/4/15	DRB	

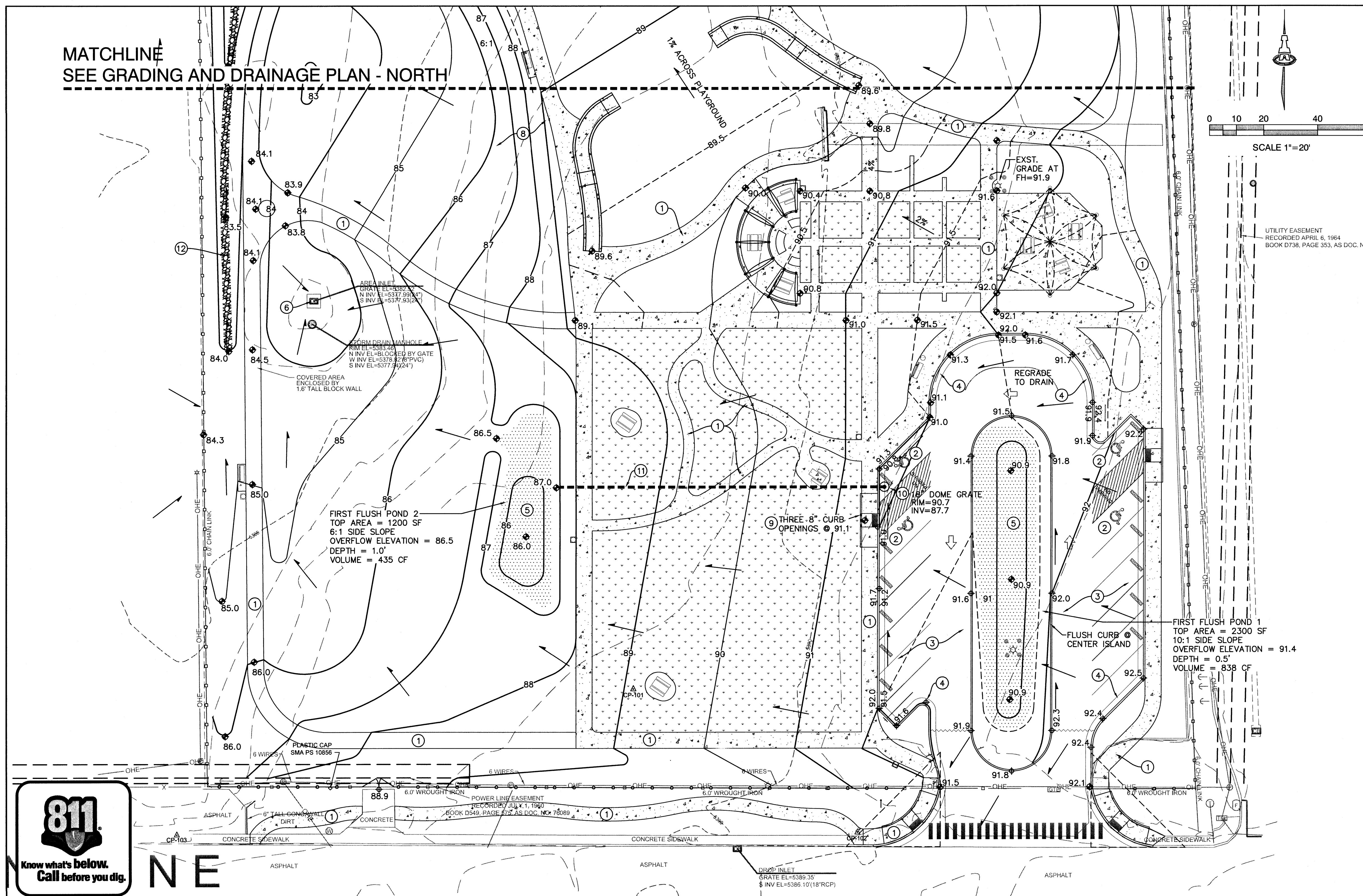
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CITY OF ALBUQUERQUE
STRATEGIC PLANNING AND DESIGN
PARKS AND RECREATION DEPARTMENT

SOUTH LOS ALTOS CHILDREN'S PARK
GRADING AND DRAINAGE PLAN - SOUTH

Design Review Committee City Engineer Approval

City Project No. 613592 Zone Map No. K-20 Sheet 3 Of 4



811
Know what's below.
Call before you dig.

CALCULATIONS: Los Altos Childrens Park : July 31, 2015
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE			
AREA OF SITE:	189655 SF	=	4.4
100-year, 6-hour DEVELOPED FLOWS:			
Treatment SF	%	Treatment SF	%
Area A = 0	0%	Area A = 0	0%
Area B = 18965.5	10%	Area B = 75862	40%
Area C = 94827.5	50%	Area C = 79655	42%
Area D = 75862	40%	Area D = 34138	18%
Total Area = 189655	100%	Total Area = 189655	100%

EXCESS PRECIP: Precip. Zone 3
E_A = 0.66
E_B = 0.92
E_C = 1.29
E_D = 2.36

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$
Historic E = 1.68 in. | Developed E = 1.33 in.

On-Site Volume of Runoff: V₃₆₀ = E*A / 12
Historic V₃₆₀ = 26568 CF | Developed V₃₆₀ = 21093 CF

On-Site Peak Discharge Rate: Q_p = Q_{pA}A_A + Q_{pB}A_B + Q_{pC}A_C + Q_{pD}A_D / 43,560
For Precipitation Zone 3
Q_{pA} = 1.87 | Q_{pC} = 3.45
Q_{pB} = 2.60 | Q_{pD} = 5.02
Historic Q_p = 17.4 CFS | Developed Q_p = 14.8 CFS

CALCULATIONS

DESCRIPTION	OVERALL SITE - DEVELOPED CONDITIONS
Area of basin flows = 189655 SF	4.4 Ac
The following calculations are based on Treatment areas as shown in table to the right	
Sub-basin Weighted Excess Precipitation (see formula above)	Weighted E = 1.33 in.
Sub-basin Volume of Runoff (see formula above)	V ₃₆₀ = 20976 CF
Sub-basin Peak Discharge Rate: (see formula above)	Q _p = 14.7 cfs
	LAND TREATMENT
	A = 0%
	B = 42%
	C = 40%
	D = 18%
	FIRST FLUSH VOL
	967 CF

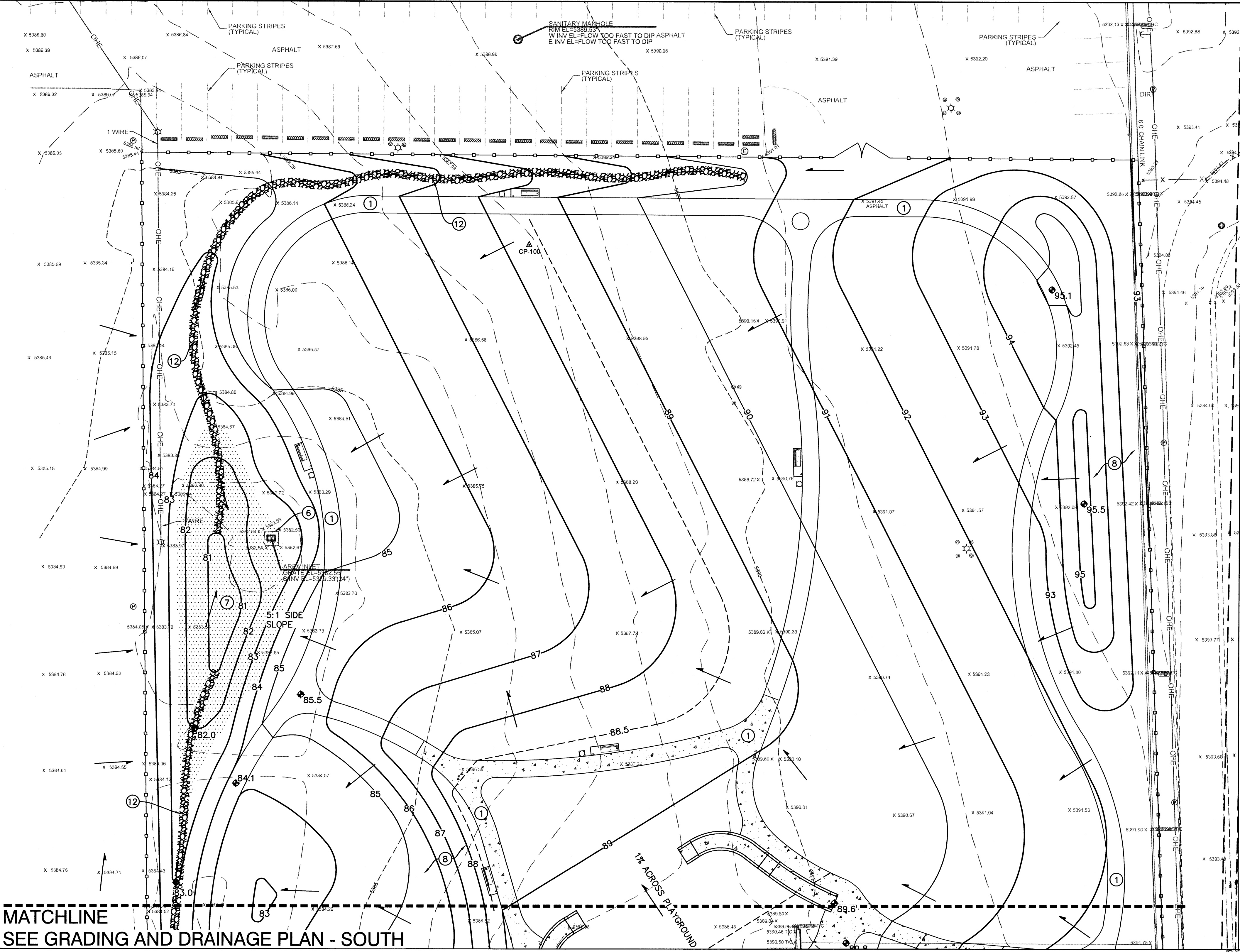
STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE ESTIMATED PONDING VOLUME REQUIRED IS 0.34" * TYPE 'D' AREA: = 967 CF. TOTAL PONDING PROVIDED WITHIN FIRST FLUSH PONDS 1 AND 2 = 1273 CF.

DISCHARGE FROM IMPERVIOUS AREAS WILL BE DIRECTED TO RETENTION PONDS LOCATED WITHIN THE LANDSCAPE AREAS. OVERFLOW WILL BE ROUTED TO THE ON-SITE STORM DRAIN INLETS.

- KEYED NOTES**
- THESE KEYED NOTES ARE FOR USE ON GRADING AND DRAINAGE PLANS CG-101 AND CG-102 (NORTH AND SOUTH)
- NEW WALK. ALL WALKS TO BE ADA ACCESSIBLE (5% MAX SLOPE, 2% MAX CROSS-SLOPE).
 - SLOPES WITHIN HANDICAP PARKING AREA(S) TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - EXISTING ASPHALT PAVED PARKING.
 - NEW CONCRETE CURB.
 - NEW SHALLOW FIRST FLUSH RETENTION POND.
 - EXISTING STORM DRAIN INLET.
 - DEPRESS NEW LANDSCAPING.
 - GRADE TRANSITION SLOPES TO ACHIEVE GRADE DIFFERENCES SHOWN. MAXIMUM SLOPE = 6:1 UNLESS NOTED.
 - PROVIDE THREE 8" WIDE OPENING IN CURB.
 - NEW 18" DOMED INLET.
 - NEW 12" DIA. STORM DRAIN.
 - NEW 3" WIDE X 6" DEPRESSED FRACTURED FACE ROCK DRAINAGE SWALES.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com
2122 CG-101 EPC.dwg Aug 04, 2015



- ### KEYED NOTES
- THESE KEYED NOTES ARE FOR USE ON GRADING AND DRAINAGE PLANS CG-101 AND CG-102 (NORTH AND SOUTH)
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 - NEW 3' WIDE X 6" DEPRESSED FRACTURED FACE ROCK DRAINAGE SWALES.

- ### LEGEND
- EXISTING CONTOUR (1' INCREMENTS)
 - FLOW DIRECTION
 - 90— PROPOSED CONTOUR (1' INCREMENTS)
 - 91.5--- PROPOSED 0.5' CONTOUR
 - PROPOSED EROSION CONTROL
 - PROPOSED STORM DRAIN

SURVEY INFORMATION

NO.	BY	DATE

ARCHITECTURAL SEAL

FRED C. ARFMAN
NEW MEXICO
7322
PROFESSIONAL ENGINEER
08-04-15

REVISIONS

NO.	DATE	REMARKS	BY

MRWM
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CITY OF ALBUQUERQUE
STRATEGIC PLANNING AND DESIGN
PARKS AND RECREATION DEPARTMENT

SOUTH LOS ALTOS CHILDREN'S PARK
DRAINAGE AND GRADING PLAN - NORTH

Design Review Committee City Engineer Approval

City Project No. 613592 Zone Map No. K-20 Sheet 4 of 4

MATCHLINE
SEE GRADING AND DRAINAGE PLAN - SOUTH

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE AND NMDOT STANDARDS APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.
- ALL SUBGRADE, OVEREXCAVATION, BACKFILL, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.
- THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE. IF ANY PERMITS HAVE BEEN OBTAINED, THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0% FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT.
- MAXIMUM SLOPES SHALL BE 4:1.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.
- THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS.) A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
- POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.
- STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" (DEFINED AS THE 90TH PERCENTILE STORM EVENT) PER THE CITY DRAINAGE ORDINANCE, THE 90TH PERCENTILE STORM EVENT, WHICH IS 44 INCHES, IS TO BE MANAGED. REDUCE 0.44 INCH BY THE 0.1 INCH FOR THE INITIAL IMPERVIOUS ABSTRACTION IN TABLE A-6 OF SECTION 22 OF THE DPM. MULTIPLY THE REMAINING 0.34 INCH BY YOUR IMPERVIOUS AREA. THIS IS THE PORTION TO RETAIN.
- ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '+', TRANSITIONS SHALL BE SMOOTH.
- ALL EROSION PROTECTION TO BE FRACTURED FACE ROCK (F.F. ROCK) TO BE MINIMUM 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.).
- CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.
- POND DESIGN PARAMETERS (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES.
- ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND

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