



DEVELOPMENT REVIEW BOARD
Action Sheet
Plaza del Sol Building Basement Hearing Room

May 13, 2015

MEMBERS:

- Jack Cloud..... DRB Chair
Racquel Michel Transportation Development
Kris Cadena ABCWUA
Rita HarmonCity Engineer
Carol Dumont..... Parks & Recreation

Angela Gomez ~ Administrative Assistant

SITE DEVELOPMENT PLANS, AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

1. Project# 1010465
15DRB-70190 AMENDED SDP FOR
BUILDING PERMIT

RBA ARCHITECTS agent(s) for CAR CRAFTERS
request(s) the above action(s) for all or a portion of Lot(s)
8B & 8C, Tract(s) A, NORTH ALBUQUERQUE ACRES
zoned SU-2 M-1, located on HOLLY AND SAN PEDRO
containing approximately 1.2 acre(s). (C-18) THE SITE
DEVELOPMENT PLAN FOR BUILDING PERMIT WAS
APPROVED WITH FINAL SIGN-OFF DELEGATED TO
ABCWUA FOR AVAILABILITY STATEMENT AND TO
PLANNING FOR ZONING INFORMATION.

2. Project# 1010401
15DRB-70183 - SDP FOR SUBDIVISION
[Icon]

CONSENSUS PLANNING agent(s) for WOODMONT
PASEO, LLC request(s) the above action(s) for all or a
portion of Tract(s) 7 & 8, THE TRAILS Unit(s) 3A,
zoned SU-2/VTRD AND SU-2/VTML VOLCANO
TRAILS/RESIDENTIAL DEVELOPING AREA ZONE,
located on WOODMONT AVE WEST OF RAINBOW
BLVD containing approximately 26.8 acre(s). (C-9)
DEFERRED TO 5/20/15

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet **must** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

PROJECT NUMBER: Project# 1010465 - 15DRB-70190 AMENDED SDP FOR BUILDING PERMIT

NAME: NORTH ALBUQUERQUE ACRES

AGENT: RBA ARCHITECTS

Your request was approved on 5-13-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA:

Availability Statement

City Engineer:

Parks and Recreation :

Planning:

Zoning Approval RE: Zoning Code North I-25

PLATS:

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:**
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.

DRB CASE ACTION LOG - BLUE SHEET

Done 6-25-15

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

PROJECT NUMBER: Project# 1010465 - 15DRB-70190 AMENDED SDP FOR BUILDING PERMIT

NAME: NORTH ALBUQUERQUE ACRES

AGENT: RBA ARCHITECTS

Your request was approved on 5-13-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA: Availability, Stated

City Engineer:

Parks and Recreation :

Planning: approval from zoning RE: zoning code, North J-25

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:**
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<input type="checkbox"/> SUBDIVISION	<input type="checkbox"/> S	<input type="checkbox"/> Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action			<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input type="checkbox"/> V		<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	<input type="checkbox"/> P		<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/> for Subdivision			<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)			<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> D		L A APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
STORM DRAINAGE (Form D)			
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RBA Architects, PC PHONE: (505) 242-1859
 ADDRESS: 1104 Park Ave SW FAX: _____
 CITY: ABQ STATE: NM ZIP: 87102 E-MAIL: rick@rba81.com

APPLICANT: Car Crafters PHONE: (505) 881-8889
 ADDRESS: 600 Montano NE FAX: _____
 CITY: ABQ STATE: NM ZIP: 87107 E-MAIL: _____

Proprietary interest in site: _____ List all owners: Jim Guthrie

DESCRIPTION OF REQUEST: Remodel & addition to existing building.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 8B+8C Tract A Block: 18 Unit: B
 Subdiv/Addn/TBKA: North ABQ ACRES
 Existing Zoning: SUZ, M-1 Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): C-18 UPC Code: 101806417202930206

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: _____ Total area of site (acres): 1.2

LOCATION OF PROPERTY BY STREETS: On or Near: _____
 Between: Holly and San Pedro

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 4/28/15
 (Print) Rick Bennett Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>ISDRB- 70190</u>	<u>ASBP</u>		\$ <u>50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>May 13, 2015</u>			Total \$ <u>70.00</u>

[Signature] 5-5-15 Project # 1010465
 Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ✓ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ~~NOTE~~ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ✓ Zone Atlas map with the entire property(ies) clearly outlined
 - ✓ Letter briefly describing, explaining, and justifying the request
 - ✓ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ~~N/A~~ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Solid Waste Management Department signature on Site Plan for Building Permit
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RICK BENNETT
 Applicant name (print)
Douglas Halley
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 15DRB - 7090

V. J.
 Planner signature / date
 Project # 1010465

S-S-15



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: CAR CRAFTERS Building Permit #: T201590751 City Drainage #: C18-D044

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 8B & 8C BLOCK 18 TRACTA UNIT B NORTH ALBU. ACRES

City Address: 5600 HOLLY AVE NE, ALBU. NM. 87113

Engineering Firm: LORENZ DESIGN & CONSULTING Contact: DENNIS LORENZ

Address: 2501 RIO GRANDE BLVD. UNIT SUITE A

Phone#: 505-888-6088 Fax#: _____ E-mail: dennisl@lorenznm.com

Owner: CAR CRAFTERS Contact: JIM GUTHERIE

Address: 600 MONTANO NE, ALBU. NM 87107

Phone#: 505-881-8889 Fax#: _____ E-mail: _____

Architect: RBA ARCHITECTS Contact: Doug Gallagher

Address: 1104 PARK AVE SW, ALBU. NM 87102

Phone#: 505-242-1859 Fax#: 505-242-6630 E-mail: doug@rba81.com

Surveyor: WILL PLOTNER; CARTESIAN SURVEYS, INC Contact: WILL PLOTNER

Address: P.O. Box 44414, RIO RANCHO, NM 87174

Phone#: 505-896-3050 Fax#: 505-891-0244 E-mail: wplotner@gmail.com

Contractor: OBSIDIAN CONTRACTORS Contact: RICK OSBOURNE

Address: 3800A MIDWAY PLACE SE, ALBU. NM 87109

Phone#: 505-573-0011 Fax#: _____ E-mail: ricke.obsidiancontractors.com

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

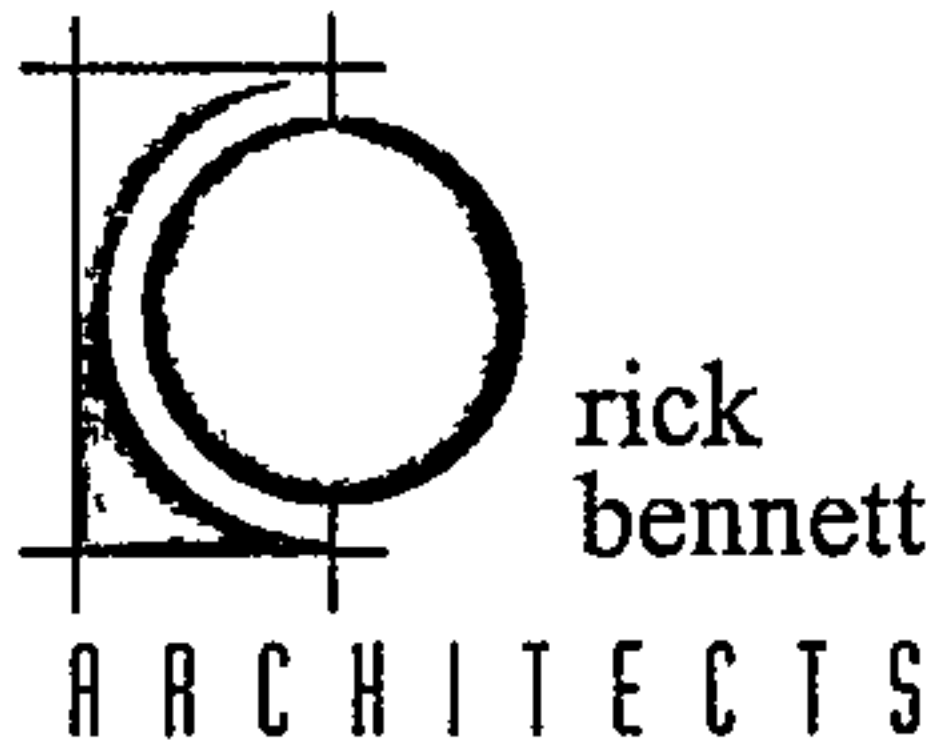
- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided _____

DATE SUBMITTED: 7/28/15 By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



April 21, 2015

City of Albuquerque
Planning Department
Plaza del Sol
600 2nd NW
Albuquerque, NM 87102

Re: Car Crafters
5600 Holly Ave NE
Albuquerque, NM

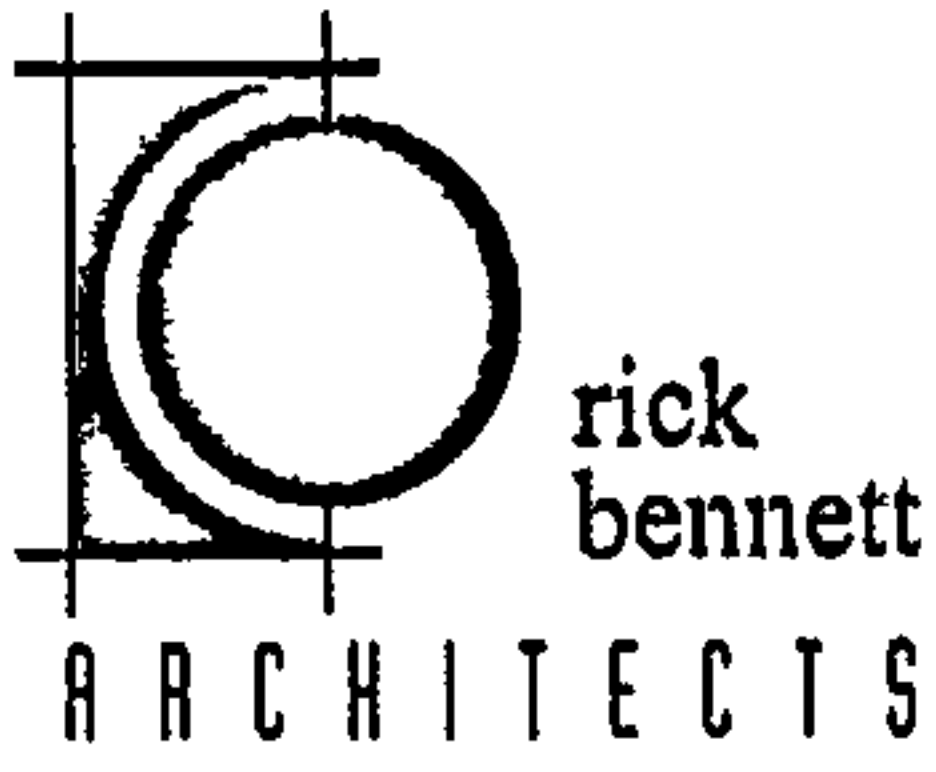
To Whom It May Concern:

The current facility is located in the North I-25 Sector Plan, zoned SU-2, M-1 for Commercial Development. Sector Development plan was implemented after the building was constructed in the early 1980's. Building's past use has been used as a Commercial Shooting Range (Charters). Project involves a tenant improvement to the existing building and addition changing from a shooting range to an automobile specialized body shop.

Sincerely,



RBA Architecture
1104 Park Ave. SW
Albuquerque, NM 87102
(505) 242-1859



LETTER OF AUTHORIZATION

April 21, 2015

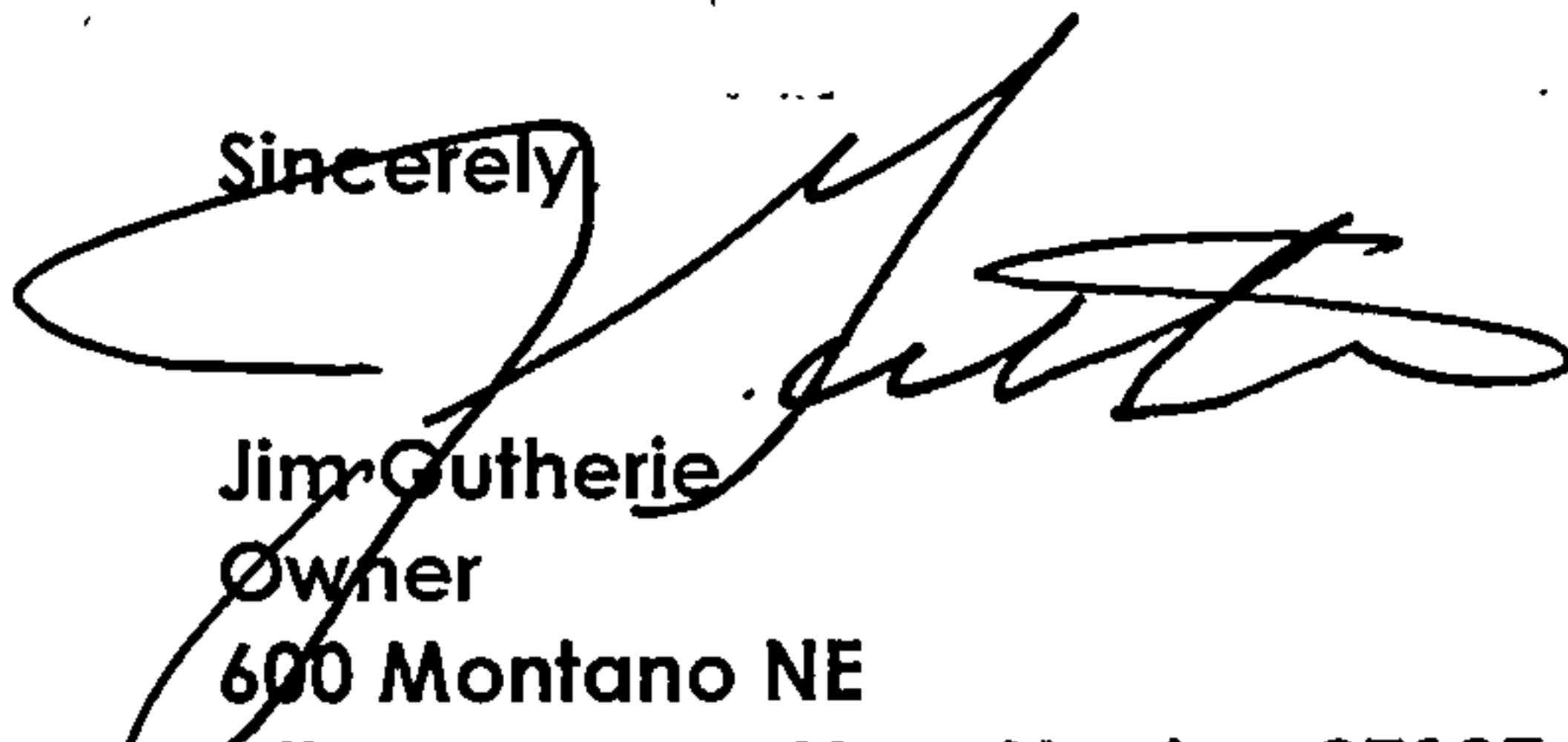
**City of Albuquerque
Planning Department
Plaza del Sol
600 2nd NW
Albuquerque, NM 87102**

**Re: Car Crafters
5600 Holly Ave NE**

To Whom It May Concern:

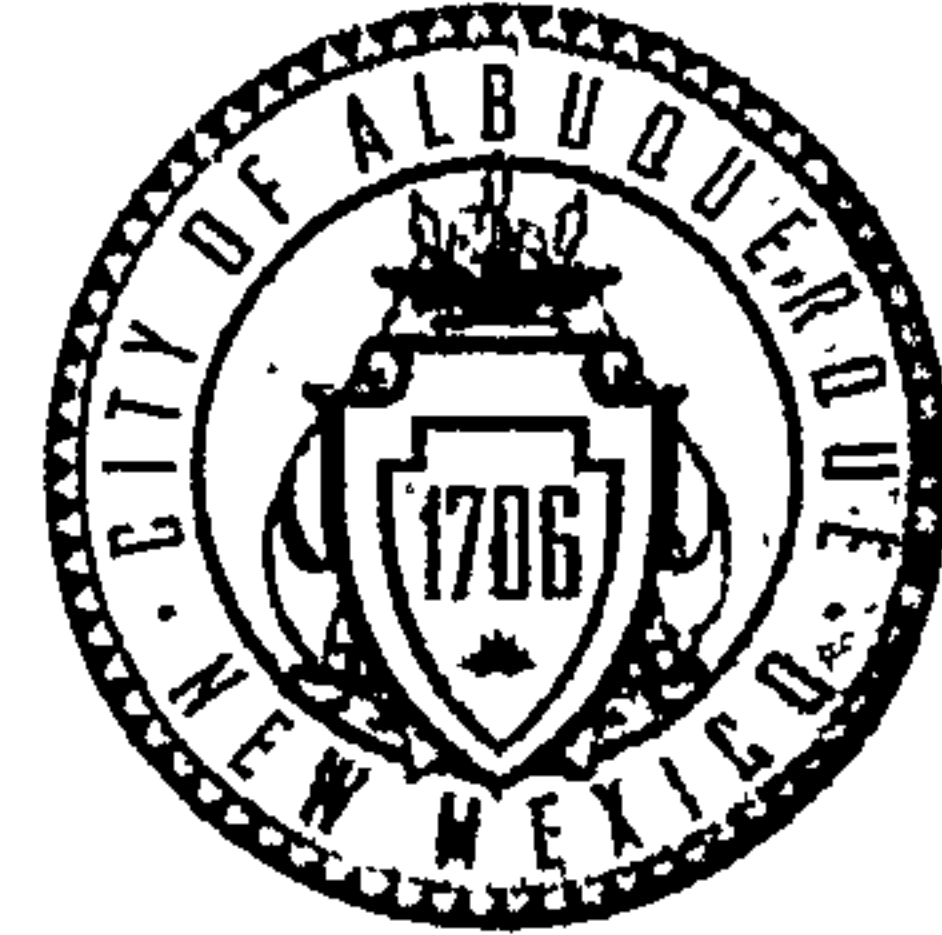
RBA Architects is authorized to act as the agent for Car Crafters for obtaining a Development Review Approval for building permit. If you have any questions, please feel free to call or email.

Sincerely,



**Jim Guthrie
Owner
600 Montano NE
Albuquerque, New Mexico 87107
Ph: (505) 881-8889**

CITY OF ALBUQUERQUE



February 5, 2015

Dennis Lorenz, P.E.
Lorenz Design & Consulting
2501 Rio Grande Blvd. NW Suite A
Albuquerque, New Mexico 87107

RE: **Car Crafters
Grading and Drainage Plan
Engineers Stamp Date 1/29/15 (C18-D044)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 1/29/2015, the above referenced Grading and Drainage Plan is accepted for Grading Permit and Building Permit. Attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation or barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order. To obtain a permanent CO the sidewalk culvert must be inspected and accepted. Please contact Jason Rodriguez, 235-8016, to schedule an inspection.

In the future if lots 8B and 8C are sold separately, a cross lot drainage agreement should be obtained.

If you have any questions please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Department
Development and Review Services

RR/CC
C: File

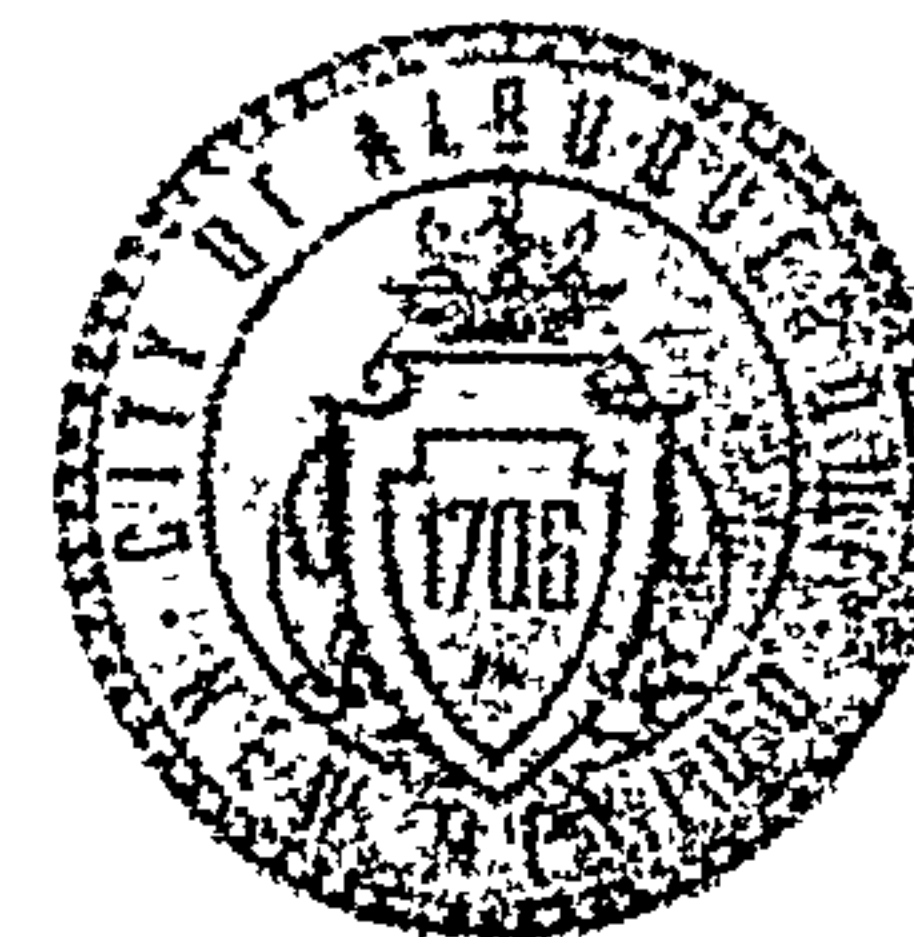
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



March 12, 2015
Approval on 3/11/2015

Mr. Doug Gallagher,

Please attach a copy of this letter to all submittals to the Planning Department for this project.

This Letter serves as Approval for Landfill Gas Requirements for the Car Crafters Project located at 5600 Holly Avenue with two conditions.

Conditions of approval:

- 1) The project must install all mitigations per requirements of the landfill gas engineer Ralph Abeyta with Vineyard X8e which includes a liner under the new foundation.
- 2) The installation must be certified by a registered NM PE or Architect

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure health and safety of the public and workers. Recommendation by Vineyard X8e should be followed.

Thank you,

A handwritten signature in black ink, appearing to read "Paul Olson".

Paul Olson, PE
Environmental Health ESD
505/768-2633

Landfill Gas Assessment

of

5600 Holly Avenue NE
Albuquerque, New Mexico
X8e Vinyard Project No.: 15-5-014

for

Mr. Jim Guthrie
Car Crafters
600 Montano Road NE
Albuquerque, NM 87107
March 12, 2015

Performed by



8916-A Adams Street NE
Albuquerque, NM 87113
Office: 505-797-9743
Fax: 505-797-9749

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FIGURES

Figure 1	Site Location Map
Figure 2	Landfill Gas Buffer Zone Map
Figure 3	Sacramento Landfill Gas Sample Locations adjacent to Subject Property
Figure 4	Impermeable Membrane Details
Figure 5	Membrane Stemwall Details

1.0 INTRODUCTION AND BACKGROUND

X8e Vinyard was retained by Mr. Jim Guthrie, owner of Car Crafters to develop a landfill gas report and mitigation design for an addition to a current structure. The subject property is located at 5600 Holly Avenue in northeast Albuquerque, New Mexico (Figure 1). The legal description for the subject property is, all of lots 11 and 18, Block 18, Track A, Unit B North Albuquerque Acres within The Elena Gallegos Land Grant, Projected Section 13, Township 11 North, Range 3 East, NMPH City Albuquerque, Bernalillo County, New Mexico. The subject property is owned by Mr. Jim Guthrie.

The subject property contains a total of approximately 1.2 acres. The current structure (previously the Calibers Shooting Sports Center) is located in the southeast corner of the subject property. The west edge of the existing paved parking area is delineated by a gravel landscaped strip with junipers, sagebrush, and other shrubs. Additionally, there are a few other scattered shrubs and weeds and trees at localized areas near the property lines. The existing asphalt pavement is in poor condition. Much of the site is relatively flat and slopes moderately towards the existing silt fence and then continues to slope gently to the west. Configuration of the site is indicated on the Site Plan, Figure 1.

The proposed Car Crafters will consist of a new 5,620 square foot building addition on the west side of an existing 11,500 square foot building, formerly known as Calibers Shooting Sports Center. Approximately 4,810 square feet of the new addition will consist of single story construction and 810 square feet of two-story construction. The proposed construction will consist of metal stud walls with an exterior stucco finish. No basements or below grade structures are anticipated. Paved parking lots and access drives are proposed as part of the new development.

No city infrastructure (sanitary sewer, storm water drop inlets, public road, sidewalk, curb and gutter, etc.) is proposed for construction at this time within public right-of-way. Storm water will flow west and north by surface sheet flow to a detention pond in the northwest portion of the site then through a sidewalk culvert and onto Holly Avenue (north). A public drainage channel is located at the west end of Holly Avenue. Underground sanitary sewer, potable water, and natural gas lines will connect with the existing underground lines along Holly Avenue. Electricity is accessed from a transformer at the southeast corner of the current building at this time. Approximately 2,400 square feet of existing low-water landscaping along the west side of the property will remain. Existing trees and shrubs on the north side of the current building and north side of the site will remain. No additional landscaping is planned at this time.

Site elevation is approximately 5,210 feet above mean sea level (msl) along the east side of the site and approximately 5,204 feet above msl along the west side of the site. Regional

topography slopes downhill to the west. The subject property is located outside of the 100-year flood plain (FEMA FIRM Panel No. 35001C137H, effective date August 16, 2012).

The site is bound to the north by Holly Avenue NE, a paved street and commercial property across Holly Avenue., to the east by a commercial building and vacant lot, to the south by Paseo Del Norte Boulevard NE, and to the west by the Sacramento Landfill with the Pan American Frontage Road beyond.

The City of Albuquerque Environmental Health Department informed RBA Architects; by a letter dated February 2, 2015 that a landfill gas assessment report would need to be developed prior to approving the building addition project. According to the Albuquerque Environmental Health Department (AEHD), the site is located along the east side of the closed Sacramento Landfill. AEHD believes the landfill at one time was under the current building based on current information in their files.

X8e Vinyard was retained to assist with the project after RBA Architects had received a letter dated February 2, 2015, from the City of Albuquerque stating that a landfill gas assessment report would need to be produced. AEHD provided X8eVinyard with copies of a past landfill study done by Daniel B. Stephens and Associates in 2002, a copy of the quarterly landfill gas monitoring results performed by SCS Engineers, and a Terracon drawing showing the waste contour thickness for the site.

1.1 REASON FOR LANDFILL GAS ASSESSMENT

Degradation of subsurface debris in landfills contributes to the generation of methane (CH₄), hydrogen sulfide (H₂S), and other potentially hazardous landfill gases. The City of Albuquerque detected methane migrating along utility corridors approximately 900 feet outside of a landfill in the northeast quadrant of the city in 2001. Subsequently, the City of Albuquerque Environmental Health Department (AEHD) developed their Interim Guidelines for Development within City-Designated Landfill Buffer Zones (*Interim Guidelines*) to address the issue. The most recent version of the *Interim Guidelines* was dated October 2007. The *Interim Guidelines* require that an assessment for landfill gases should be performed for proposed construction projects that are located within the specified buffer zones of a landfill (1,000 feet for undocumented landfills, while some landfills have reduced buffer zones).

Landfill gas assessments are performed to determine whether migrating landfill gases are likely to present a hazard to construction crews or to potential future occupants and structures at a site. The subject property is located within an area known to contain subsurface debris and development of the subject property is subject to the AEHD *Interim Guidelines*.

X8e Vinyard proposed in a letter dated February 26, 2015, to the AEHD to forego conducting a landfill gas assessment since the Sacramento Landfill was currently being monitored on a quarterly basis with two landfill gas monitoring wells located on the boundary with the subject property (one is directly across from the existing building) and previous reports had indicated that the potential for landfill gas offsite migration to be low.

Following is information that was included in the X8e Vinyard letter dated February 26, 2015:

1. The 2002, Daniel B. Stephens and Associates, Landfill Study report for the Sacramento Landfill found the following:
 - In regards to methane concentrations, “relatively low methane levels indicate a low potential for off-site gas migration.”
 - The waste characterization program was not implemented at the Sacramento Landfill “due primarily to its relatively small size in comparison to the six other former landfills studied.”
 - The report states that a landfill gas generation rate for the Sacramento Landfill was estimated with the EPA computer model, LandGEM. The peak year for landfill gas generation was 1963, one year after the landfill closed. The model indicates that landfill gas generation will continue to steadily decline as long as conditions do not change.
 - The report also states the projected landfill gas generation rate in 2002 ranged from 8 to 9 cubic feet per minute. “This is a relatively low gas generation rate for this small landfill, which indicates there is a low potential for off-site migration.”
 - The report recommends the City implement a landfill gas monitoring plan, maintain positive drainage across the landfill, continue to require design, monitoring, and/or landfill gas abatement, and implement a landfill gas control plan if sustained, elevated levels are found.
2. The SCS Engineers, Fourth Quarter Landfill Gas Monitoring Report for the Sacramento Landfill found that methane concentrations were recorded at gas probes ranging from 0.0 to 0.3 percent (in volume) according to our review of the reports’ spread sheet for the latest round of sampling on December 17, 2014. The highest reading (1.2 volume in %), in 2011, is slightly greater than 4 times below the LEL (lower explosive limit) of five percent for methane. This was in well No. SCMW-03 which is directly west of the addition to the current building (Figure 3).

3. The City had not deemed it necessary to implement a landfill gas control plan due to the low levels of landfill gas generated at the Sacramento Landfill. The Sacramento Landfill was closed in 1962, making the landfill fifty-three (53) years old since closure.
4. The X8e Vinyard Geotechnical Investigation did not identify any trash or landfill material in the two boreholes that were drilled on November 20, 2014 in the area of the foundation for the addition to the current building.

The City of Albuquerque, AEHD denied the request to waive the requirement for a landfill gas assessment report in a letter dated February 26, 2015. The City indicated that additional information was needed to complete the report and should include proposed mitigations, proposed required inspection during construction, proposed required continued monitoring, if deemed necessary and stamped by a registered New Mexico engineer would complete the report.

The contractor for the owner over excavated the foundation for the new addition by approximately six feet. No evidence of landfill trash/debris was found in the excavated area. X8e Vinyard inspected the excavation and pile of soil on February 20, 2015 and no landfill trash/debris was found.

AEHD has provided a previous study by Terracon in 1995. The Terracon report indicates a portion of the landfill to be located on the west side of the subject property. Inspection of the Terracon Estimated Waste Thickness Map appears to indicate that landfill waste was found to be located to approximately twenty-five feet east of the subject property west boundary. The zero waste thickness contour line is just west of the proposed addition.

Further review of the SCS quarterly landfill gas monitoring report for the Sacramento landfill found that Hydrogen Sulfide (H₂S), a common landfill gas was reported as not detected at seven soil gas sampling locations.

A trench dug to approximately ten feet in depth and approximately two feet wide near the center of the parking area west of the proposed building addition on March 9, 2015 found a small amount of trash/debris consisting of broken glass, plastic, rusted metal and wood fragments on top of the pile. The trench confirmed that landfill debris was present on the subject property west of the proposed building addition.

2.0 CONCLUSIONS

The subject property is located at 5600 Holly Avenue in northeast Albuquerque, New Mexico (Figure 1). The legal description for the subject property is, all of lots 11 and 18, Block 18, Track A, Unit B North Albuquerque Acres within The Elena Gallegos Land Grant, Projected

Section 13, Township 11 North, Range 3 East, NMPH City Albuquerque, Bernalillo County, New Mexico. The subject property is owned by Mr. Jim Guthrie.

Information for this Landfill Gas Survey was collected using the following methods:

- Collecting and reviewing historical information about the landfill site.
- Reviewing data from quarterly monitoring of landfill gas from the Sacramento Landfill by SCS for the City of Albuquerque. Two wells are adjacent to the subject property and have been monitored since 2010.

Based on the results of the data collected and information reviewed, the following conclusions are made.

- The subject property is located within the 500-foot buffer zone of the Sacramento Landfill (Figure 2).
- Subsurface municipal solid waste debris appears to have been buried at the subject property during the early 1960's. Solid Waste Bureau regulations regarding landfills were not written until approximately 1990. Therefore, there is a potential that asbestos-containing materials, waste oil, chlorinated solvents, and other contaminants may be encountered during development of the site.
- Subsurface debris appears to extend along the west side of the subject property from north to south to approximately 25 feet east of the west property line according to the Terracon Estimated Waste Thickness Map.
- Debris may not be excavated or removed from the site without a Waste Excavation Plan that has been approved by the New Mexico Environment Department Solid Waste Bureau.
- Development of the subject property should proceed according to AEHD guidelines.
- Construction workers at the site may be at risk of exposure to landfill gases, landfill debris, and contaminated material. Their Health and Safety Plan (HASP) for construction workers at the site should incorporate risks for exposure to subsurface debris and landfill gases if the area of subsurface debris is disturbed or excavated.
- No further assessment for landfill gases is recommended at this time.
- Based on our review of the data, landfill gas mitigation measures appear to be warranted during development of the subject property.

Landfill gases are dynamic and subsurface conditions may vary significantly over time.

3.0 PRELIMINARY LANDFILL GAS MITIGATION DESIGN

A potential exists that subsurface landfill gases and landfill debris may present an environmental concern during development and occupancy of the subject property. X8e Vinyard provides the following recommendations regarding potential development of the site:

1. A letter from the owner should be submitted to AHED, committing to developing the site according to the landfill gas mitigation design.
2. Cracks and utility penetrations through the slabs and stem walls shall be sealed with non-hardening caulk.
3. The concrete slab should be underlain by an impermeable membrane (Figure 4). The barrier should be attached to the concrete stem walls using an appropriate adhesive per manufacturer's specifications. If impermeable membrane sheets overlap, the overlap should be a minimum of 16 inches and the sheet seams should be attached (mastic, fusion or solvent welded) per the manufacturer's specifications. If seam sealant procedures are not provided by the manufacturer, then we recommend placing adhesive between the two membranes and sealing the top flap with 4-inch wide tape. The contractor should verify the integrity of the impermeable membrane prior to placing the concrete slab. If desired, two inches of clean sand may be placed over the impermeable membrane to protect it during construction and to aid slab curing. Sand should be placed ahead of equipment so that the membrane is not torn or punctured. Tears or rips should be repaired. Utility penetrations through the membrane should be appropriately sealed per Figure 4. An impermeable membrane is defined as having the following characteristics:
 - A minimum thickness of 15-mil;
 - A minimum puncture resistance of 2,200 grams per ASTM D-1709;
 - A minimum tensile strength of 55 lbf/in per ASTM D-638; and
 - A maximum water vapor permeance of 0.025 U.S. perms per ASTM F-1249.

If the contractor is concerned with compaction test results (95% of maximum density as determined by ASTM D-1557), then a geo-membrane may be placed over the impermeable membrane.

4. Review the quarterly monitoring data for landfill gases collected at the Sacramento Landfill by the City of Albuquerque for one year after site completion. If landfill gas shows significant increase in the two wells (SCMW-04 and 03) adjacent to the subject

property after site completion then other alternatives for landfill gas mitigation would be reviewed.

5. Based on our assessment of conditions at the site, secondary utilities that contain electrical conduit (electric lines to signs, light poles, and sign posts, etc.) do not need to be vented. The *Interim Guidelines* provide AEHD with opportunity to review the complete plan set. The following information should be provided on the plan set:

- A disclosure statement regarding the proximity of the landfill shall be on the first page of the plan set. Wording for the disclosure statement is provided on the AEHD website (<http://www.cabq.gov/envhealth/interim.html>).
- A signature block for the AEHD shall be on the first page of the plan set.
- A copy of this Landfill Gas Assessment report should be included with the plan set.
- A detail showing how utility penetrations through the slab and membrane shall be sealed (Figure 4).
- A detail showing how the impermeable membrane is to be constructed beneath the concrete slab and how the membrane is to be attached to the stem wall (Figure 5).

The plan set shall be reviewed, approved, and stamped by a professional engineer with expertise in landfills and landfill gases prior to submittal to the AEHD. The AEHD may request additional information or changes to the above recommendations. Following approval of the plan set, no changes with a potential to impact methane mitigation may be made without prior approval of the AEHD. When this report is submitted to the AEHD, the contents become public domain. AEHD will also require a letter from the owner committing to developing the site according to the landfill gas mitigation recommendations.

Construction of the landfill gas mitigation systems should be documented by photographing. Inspection and photographing of the methane engineering controls can be provided by our office for an additional charge. Upon completion of the project, this office can provide a letter certifying that the landfill gas barriers were constructed according to the recommendations.

4.0 LIMITATIONS AND CLOSURE

This report has been prepared for the use of Jim Guthrie and Car Crafters to assist in their assessment of potential landfill gas conditions at the subject property. Any other use of this report may be inappropriate.

Project tasks were performed in accordance with generally accepted environmental investigation and assessment practices within New Mexico. This report's conclusions and recommendations are based on the observations of the investigator at the time of the site visit, on reviews of publicly available information, and on information provided by persons familiar with the property. The information has been accepted at face value. The information and conclusions in this report are subject to the accuracy, completeness, and availability of the information obtained during the project. This information may not be appropriate for assessing conditions at other locations or at other times.

If conditions are encountered during development of this property which differ from those presented herein, this office should be contacted for additional evaluation and recommendations. The staff of X8e Vinyard is available for additional consultation as necessary.

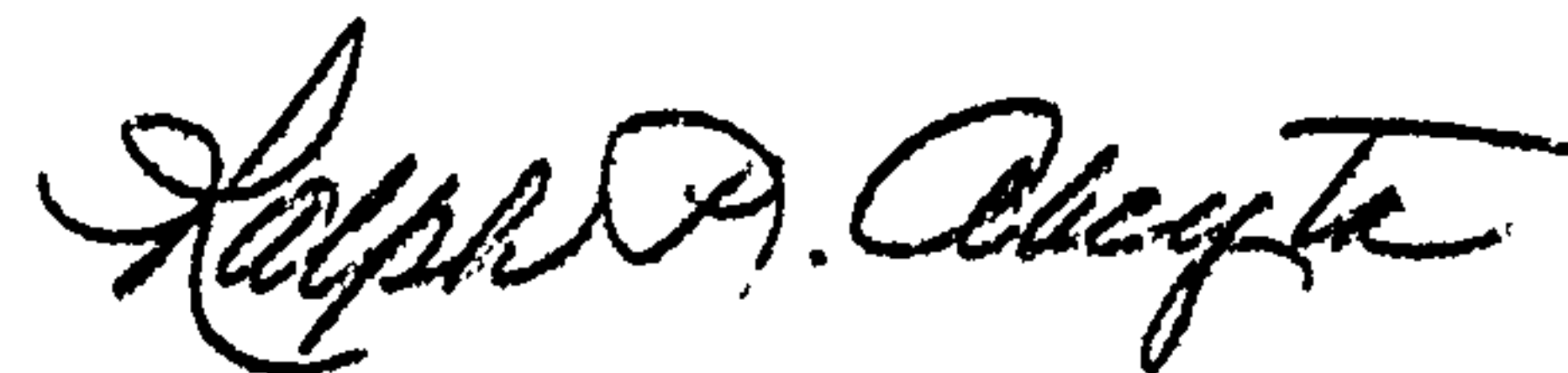
X8e Vinyard

Prepared by



David Plante
Environmental Professional

Reviewed by



Ralph L. Abeyta, P.E.M. ASCE
Senior Geotechnical Engineer

DLP/cm

FIGURES

Site Location Map



Landfill Gas Report
Site: 5600 Holly Ave NE
Albuquerque, New Mexico
Source: USGS 2011 Topographic Map

AN

Client: Jim Guthrie
X8e Vinyard Project No. 15-5-014
Approximate Scale: No Scale
Figure 1

Landfill Gas Buffer Zone Map



Landfill Gas Report
Site: 5600 Holly Ave NE
Albuquerque, New Mexico
Source: USGS 2011 Topographic Map

AN

Client: Jim Guthrie
X8e Vinyard Project No. 15-5-014
Approximate Scale: No Scale
Figure 2

Sacramento Landfill Gas Sampling Points adjacent to Subject Property



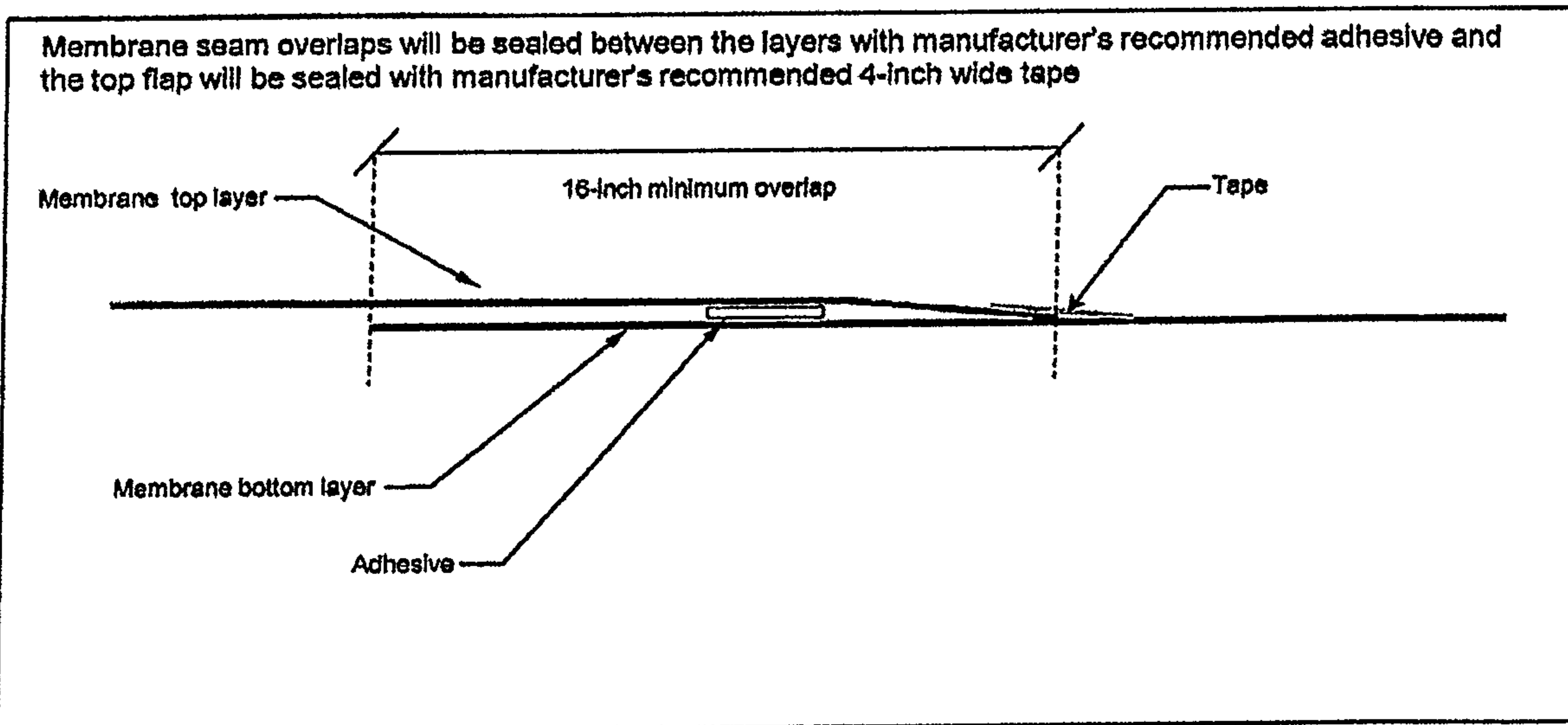
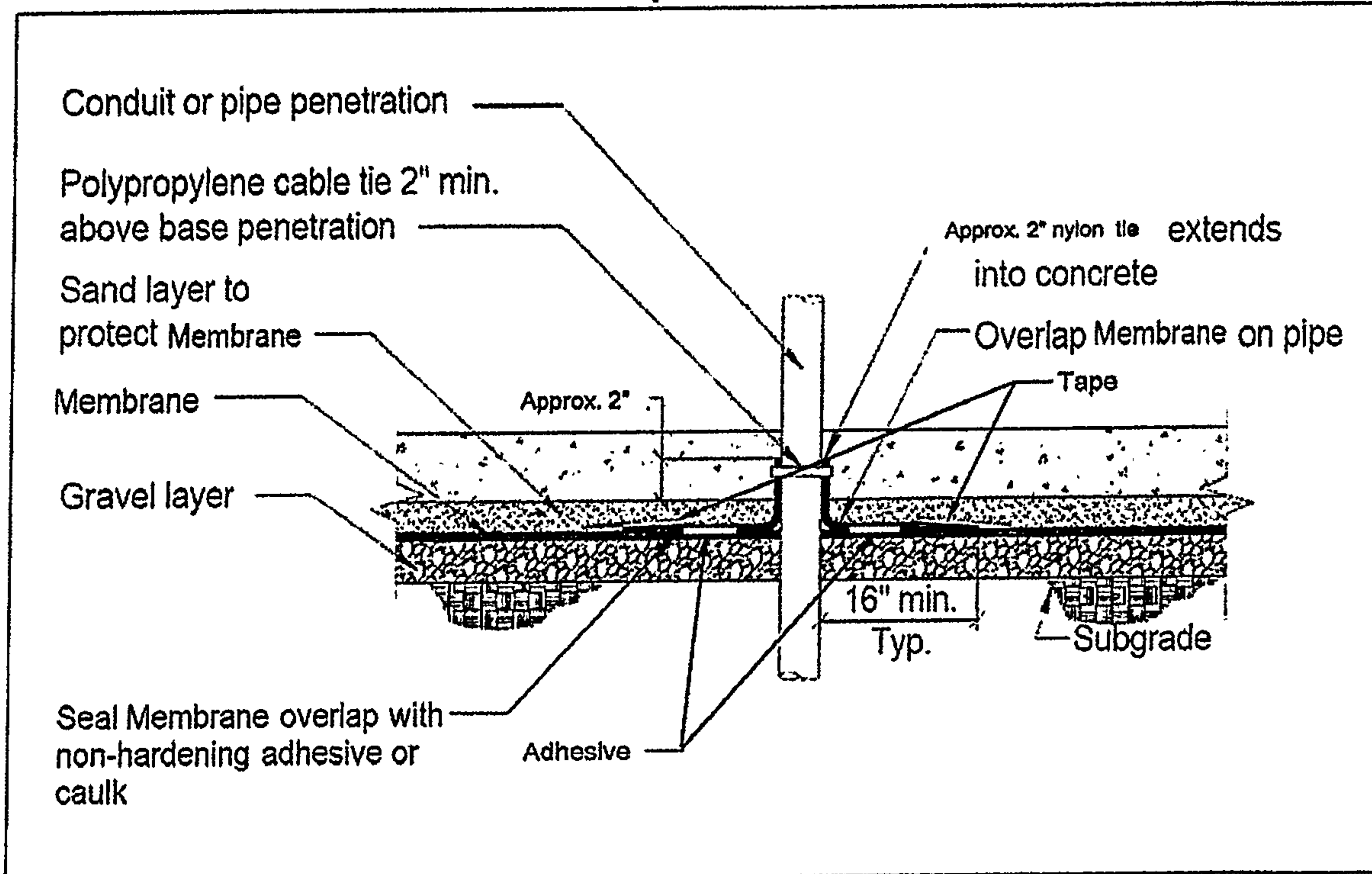
Landfill Gas Report
Site: 5600 Holly Ave NE
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Source: USGS 2011 Topographic Map

AN

Client: Jim Guthrie
X8e Vinyard Project No. 15-5-014
Approximate Scale: No Scale

Figure 3

Utility Penetration through Membrane Slab Details



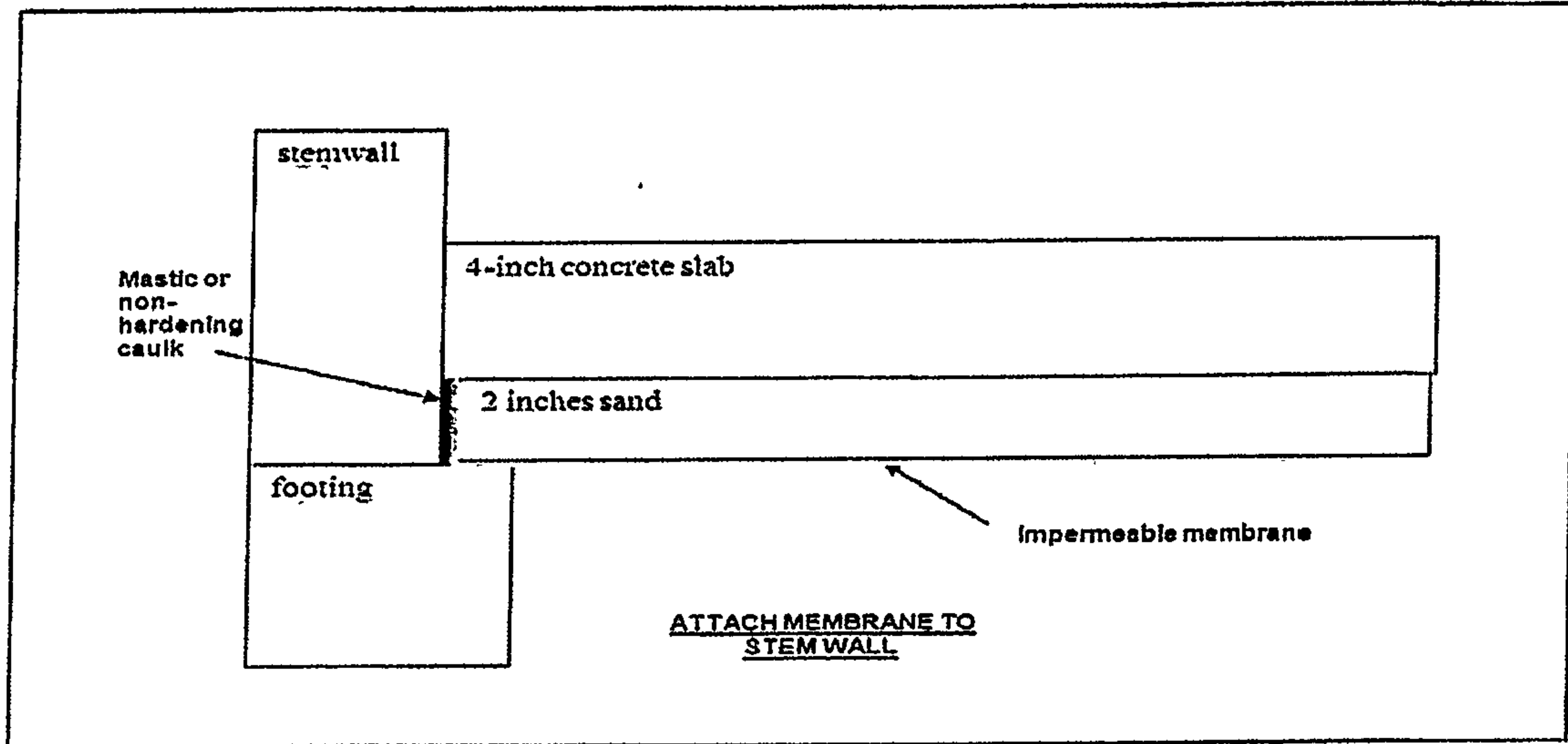
Landfill Gas Report
 Site: 5600 Holly Ave NE
 Albuquerque, New Mexico
 Source: USGS 2011 Topographic Map

AN

Client: Jim Guthrie
 X8e Vinyard Project No. 15-5-014
 Approximate Scale: No Scale

Figure 4

Membrane Stemwall Details



Note: sand chairs may be used to lift rebar and protect membrane while pouring concrete slab.

Landfill Gas Report
Site: 5600 Holly Ave NE
Albuquerque, New Mexico
Source: USGS 2011 Topographic Map

AN

Client: Jim Guthrie
X8e Vinyard Project No. 15-5-014
Approximate Scale: No Scale

Figure 5



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

April 29, 2015

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **April 29, 2015:**

Contact Name: DOUG GALLAGHER

Company or Agency: RBA ARCHITECTS
1104 PARK AVENUE SW/87102
PHONE: 505-242-1859/FAX: 505-242-6630
E-mail: doug@rba81.com

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – LOT 8B AND 8C, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, LOCATED AT 5600 HOLLY AVENUE NE BETWEEN PASEO DEL NORTE NE AND SAN PEDRO DRIVE NE** zone map **C-18**.

Our records indicate that as of April 29, 2015, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924 -3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

11-11-15

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- [X] **The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.**
- [] Copies of Letters to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **04/29/15** Time Entered: **12:25 p.m.** ONC Rep. Initials: **siw**

PROJECT #

1010465

May 13, 2015

ASD