





2. **Project# 1007050**  
 15DRB-70213 - VACATION OF PUBLIC EASEMENTS  
 15DRB-70214 - SIDEWALK WAIVER  
 15DRB-70215 - TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION  
 15DRB-70216 - PRELIMINARY PLAT  
 

BOHANNAN HUSTON INC agents for RCS TRAILS TRACT 8, LLC request the referenced/ above actions for Tract 8, **THE TRAILS UNIT 2**, zoned SU-2/ VTRD, located in the southeast corner of WOODMONT AVE NW and UNIVERSE BLVD NW containing approximately 9.45 acres. (C-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT IN THE PLANNING FILE. WITH AN APPROVED GRADING AND DRAINAGE PLAN ENGINEER STAMP DATED 4/23/15 AND WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/24/15, THE PRELIMINARY PLAT WAS APPROVED.**

3. **Project# 1010484**  
 15DRB-70204 MAJOR - SITE DEVELOPMENT PLAN FOR BUILDING PERMIT 

RBA ARCHITECTS agent(s) for DREAM STYLE request the referenced/ above action for Lot 9A1B, **RENAISSANCE CENTER** zoned SU-1/ IP USES, located on the north side of N RENAISSANCE BLVD NE between CULTURE DR NE and CHAPPELL DR NE containing approximately 3.748 acres. (F-16) *[Deferred from 6/17/15]* **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR PARKS AND PLANNING COMMENTS.**

4. **Project# 1000649**  
 15DRB-70199 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT 

STUDIO SW ARCHITECTS agents for IPMI 6, LLC request the referenced/ above action for a portion of Tract 84E, **MRGCD MAP #35** zoned SU-1/ C-2, located on the east side of 12TH ST NW between INDIAN SCHOOL RD NW and MENAUL BLVD NW, containing approximately 3.45 acres. (H-13) *[Deferred from 6/10/15]* **DEFERRED TO 7/8/15.**

DEVELOPMENT REVIEW BOARD  
HYDROLOGY SECTION

HEARING DATE: June 24, 2015

DRB Project Number: 1010484

**AGENDA ITEM NO: 3**

PROJECT: Renaissance Center / Tract 9A Warehouse/offices

**SUBJECT & ENGINEERING COMMENTS:**

Sketch Plat, Minor Preliminary/ Final Plat, Preliminary Plat(I.L.), Final Plat,  
Sidewalk Deferral, Sidewalk Waiver/Variance,  
Site Plan for Building Permit, Site Plan for Subdivision,  
SIA Extension – 2 Year, SIA Extension – Sidewalk,  
Vacation of Public Easements, Vacation of Public Right-of-Way

- Hydrology has a grading plan, stamp date 6-15-15, approved for DRB action.

**RESOLUTION/COMMENTS:**

Parks & Rec:

Water:

Transportation:

Planning:

APPROVED \_\_; DELEGATED\_\_ TO: (TRANS) (HYD) (WUA) (PRKS) (PLNG)

SIGNED-OFF: \_\_ (I.L.) (SPSD) (SPBP) (FINAL PLAT) (OTHER\_\_\_\_\_)

DEFERRED \_\_DATE\_\_\_\_\_ ; DENIED \_\_;

SIGNED: Rita Harmon, P.E.  
Hydrology Section; City Engineer Designee  
505-924-3695



**Development Review Board (DRB)  
Review Comments  
Utility Development Section  
Reviewer: Kristopher Cadena, P.E.  
Phone: 505.289.3301**

<b>D.R.B. Case No:</b>  1010484	<b>Date:</b>  06/24/2015	<b>Item No:</b>  #3
<b>Zone Atlas Page:</b>  F-16	<b>LOCATION: Lot 9A1B Renaissance Center  STREETS N. Renaissance Blvd between Commerce Dr. &amp; Chappell Rd.</b>	
<b>Request For:</b>  15DRB-70204 SDP for Building Permit		

**ABCWUA Comment:**

1. The availability statement is awaiting signature. No objection to request.

DEVELOPMENT REVIEW BOARD  
TRANSPORTATION DEVELOPMENT

DRB Project Number: 1010484  
DreamStyle\_Warehouse\_-\_Renaissance\_Center

AGENDA ITEM NO: 03

SUBJECT: Site Plan for Building Permit

ENGINEERING COMMENTS:

1. No objection to the request.
2. A TCL was approved for this site with the stamp date of 06/03/2015. Please ensure that the approved TCL is in the building permit plan set.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: \_\_\_\_\_ TO: (TRANS) (HYD) (WUA) (PRKS) (PLNG)

SIGNED: Racquel M. Michel, P.E.  
Transportation Development  
505-924-3630 or [rmichel@cabq.gov](mailto:rmichel@cabq.gov)

DATE: June 24, 2015

# DRB CASE ACTION LOG - BLUE SHEET

Complete  
7-30-15  
VS

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

*Site Plans:* It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

PROJECT NAME: 1010484  
PROJECT NAME: Renaissance Ctr  
AGENT: RBA Architects

\*\*Your request was approved on 6-24-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:\*\*

Transportation:

ABCWUA:

City Engineer:

Parks and Recreation :

Planning: address parks & planning comments,  
15 day appeal period  
Landscaping Maintenance Adj property owner  
Responsibility Note

## PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:**
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

## ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.

2 pds

PROJECT #

1010181

June 17, 2015

SBP



June 19, 2015

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

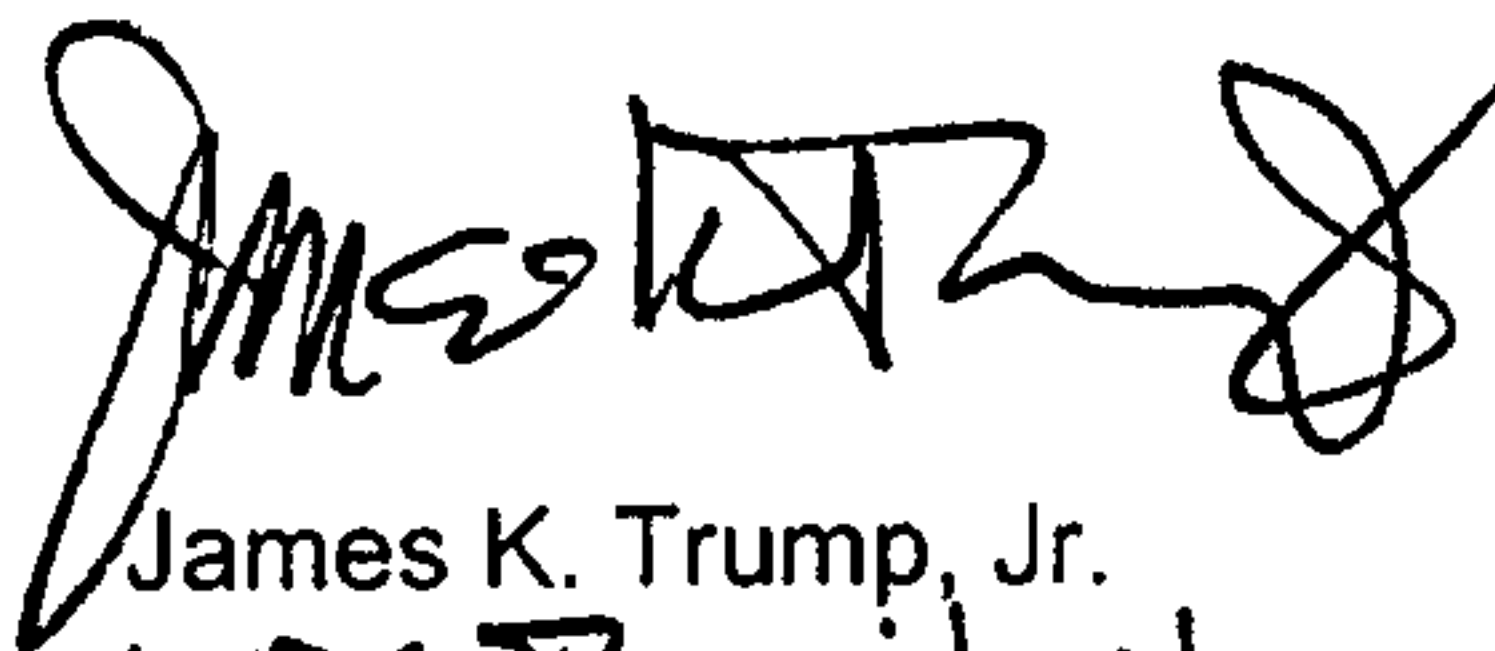
**RE: ARCHITECTURAL GUIDELINES COMPLIANCE REVIEW  
DREAMSTYLE WAREHOUSE  
1525 RENAISSANCE BLVD  
TRACT 9A1B PLAT OF TRACTS 9A1A & 9A1B  
RENAISSANCE CENTER**

Dear Mr. Cloud:

The Renaissance Association has reviewed the Site Development Plan for Building Permit drawings for the site referenced above. We find the site plan and architectural building elevations to be in compliance with the guidelines established in the Master Declaration for the Renaissance Center. The Association also finds the landscape plan in conformance provided the screening requirements are met as discussed in the review letter dated June 19, 2015 from Tierra West, LLC.

If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,



James K. Trump, Jr.  
UDC President

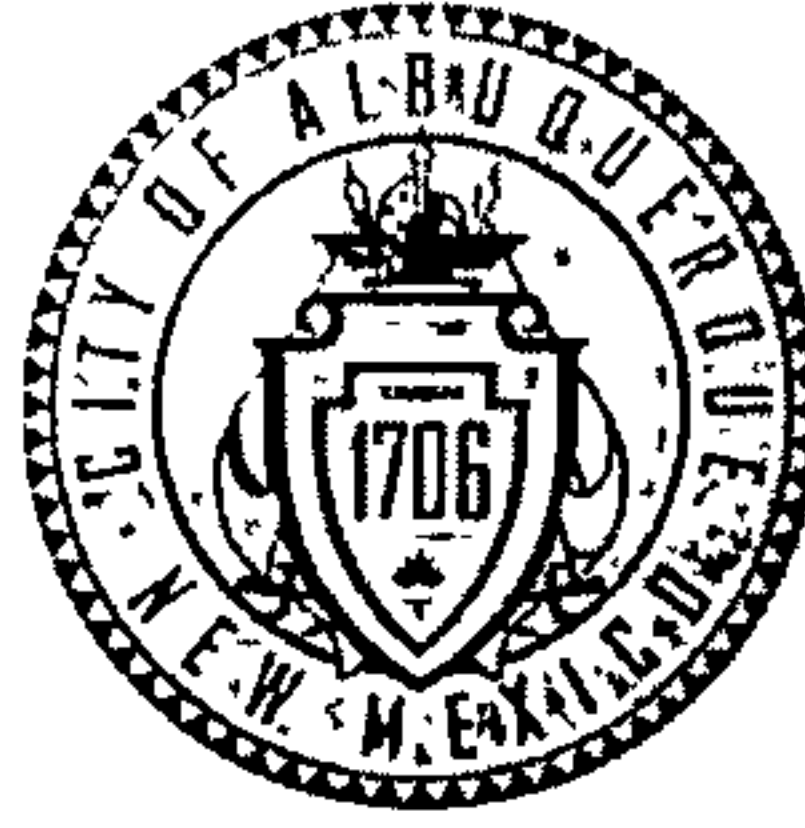
Enclosure/s

cc: Larry Chavez  
Ronald R. Bohannon, PE – Tierra West, LLC

**A MEMBER OF BUILD NEW MEXICO**

122 TULANE DR. SE, ALBUQUERQUE, NEW MEXICO 87106 PHONE: (505) 268-1200 FAX: (505) 268-0449





**INTER-OFFICE MEMORANDUM**

**COMMENTING AGENCIES**

TRANSPORTATION DEVELOPMENT .....*John MacKenzie*  
TRANSIT & PARKING DEPARTMENT .....*Shabih Rizvi*  
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*  
AMAFCA.....*Lynn Mazur*  
APD CRIME PREVENTION.....*Steve Sink*  
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*  
FIRE DEPARTMENT.....*Antonio Chinchilla*  
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*  
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*  
PNM.....*Daniel Aragon*  
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*  
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*  
COMCAST CABLE.....*Mike Mortus*  
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*  
ENVIRONMENTAL HEALTH.....*Paul Olson*

*Your comments on the following case(s) are requested.*

PROJECT # 1010484

**Board hearing date:**

**WEDNESDAY, June 17, 2015**



# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<b>SUBDIVISION</b>	<b>S</b>	<b>Z</b>	<b>ZONING &amp; PLANNING</b>
<input type="checkbox"/> Major Subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action			<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<b>V</b>		<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>		<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)			<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	<b>D</b>		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>	<b>A</b>	<b>APPEAL / PROTEST of...</b>
<b>STORM DRAINAGE (Form D)</b>			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): RBA ARCHITECTURE, PC PHONE: 505-242-1859  
 ADDRESS: 1104 PARK AVE SW FAX: 505-242-6630  
 CITY: ABQ STATE NM ZIP 87102 E-MAIL: David@rba81.com

APPLICANT: LARRY CHAVEZ - Dreamstyle PHONE: 453-7783  
 ADDRESS: 1160 RENAISSANCE BLVD NE FAX: \_\_\_\_\_  
 CITY: ABQ STATE NM ZIP 87107 E-MAIL: lchavez@rba81.com

Proprietary interest in site: NEW WAREHOUSE List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: CONSTRUCT A NEW STEEL FRAME OFFICE AND A PRE-ENGINEERED METAL BUILDING WAREHOUSE

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 9A13 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: RENAISSANCE CENTER  
 Existing Zoning: SU-1 FOR IP USES Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): F-16-2 UPC Code: 101606141927010215

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes  No Within 1000FT of a landfill?  Yes  No  
 No. of existing lots 1 No. of proposed lots: 1 Total area of site (acres): 3.74  
 LOCATION OF PROPERTY BY STREETS: On or Near: N RENAISSANCE BLVD NE 1525  
 Between: CULTURE DR and CHAPPELL RD

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 5/18/15  
 (Print) RICK BENNETT Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>KSDRB- 70204</u>	<u>SBP</u>		<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>ADV</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CME</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>June 17, 2015</u>			Total <u>\$ 480.00</u>

[Signature] S-21-15 Project # 1010484  
 Planner signature / date

**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB *Sector Plan*
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

*Remona Luna*  
 Applicant name (print)  
*Remona Luna*  
 Applicant signature / date



- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 15DRB - 70204

Form-revised **October 2007**  
*Kay* 8-21-15  
 Planner signature / date  
 Project # 1010484

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from June 2, 2015 To June 17 2015

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

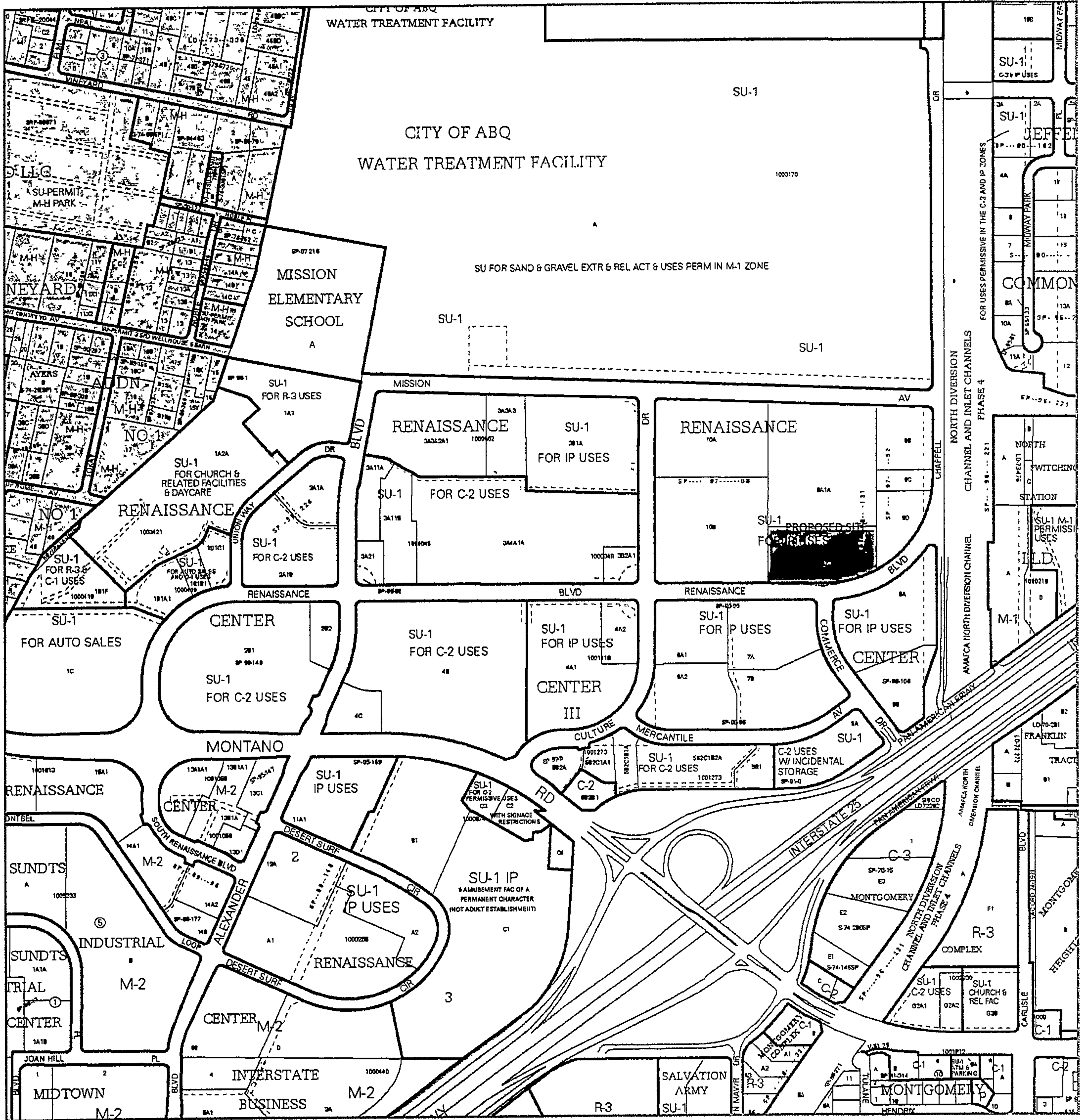
Ramona Diana  
(Applicant or Agent)

5/21/15  
(Date)

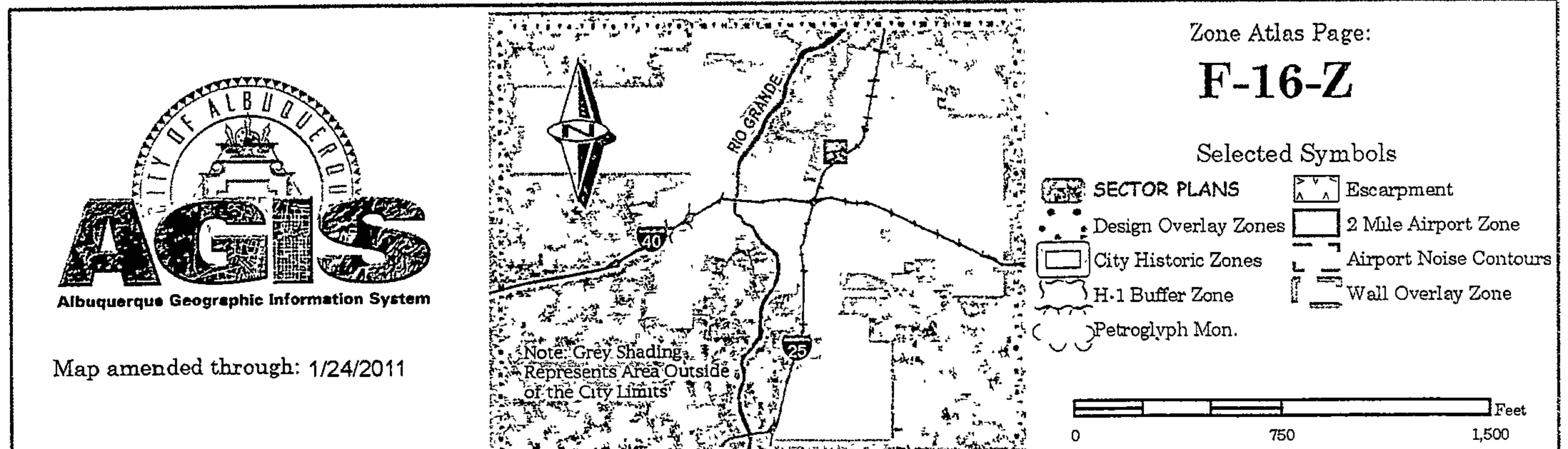
I issued 1 signs for this application, 5-21-15  
(Date)

[Signature]  
(Staff Member)

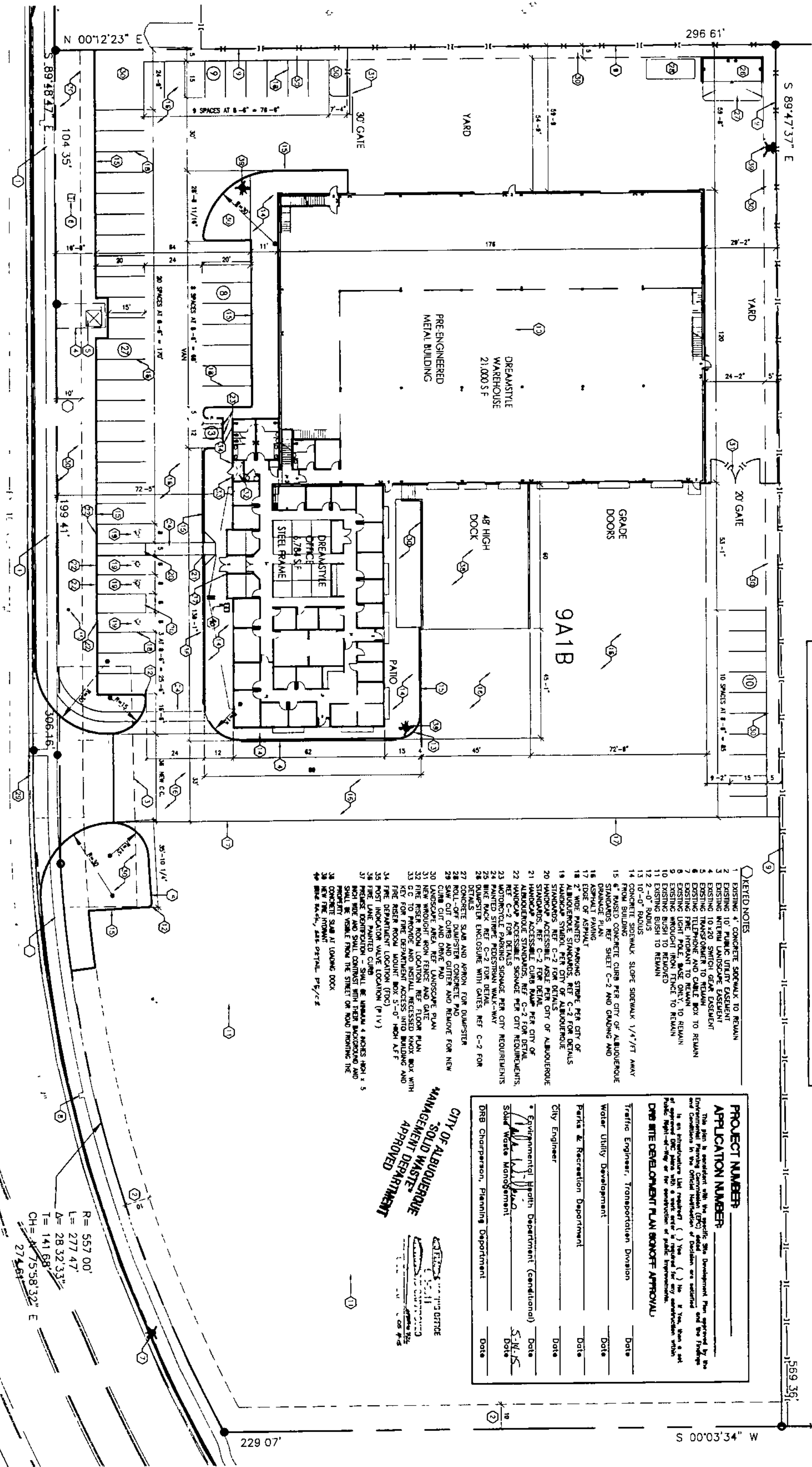
DRB PROJECT NUMBER: 1010484



For more current information and more details visit: <http://www.cabq.gov/gis>



# Renaissance Boulevard, N.E.



INTERNATIONAL BUILDING CODE 2009	
OCCUPANCY AND USE CLASSIFICATION	B-1 OFFICE BUILDING WITH AUTOMATIC SPRINKLER SYSTEM
TYPE OF CONSTRUCTION (TABLE 503)	2-B
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503)	3 STORY 23,000 SF (B GROUP)
SECTION 907 FIRE ALARM AND DETECTION SYSTEM	NOT REQUIRED FOR B GROUP
ACTUAL BUILDING AREA	<ul style="list-style-type: none"> <li>■ OFFICE (1ST FLOOR) = 8,734 SF</li> <li>■ WAREHOUSE = 21,000 SF</li> <li>■ OFFICE (2ND FLOOR WH) = 2,563 SF</li> <li>TOTAL GROSS BUILDING SF = 30,297 SF (GROSS SF)</li> </ul>
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601)	TYPE 2-B, NONE REQUIRED
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 602)	TYPE 2-B, NONE REQUIRED

PARKING REQUIREMENTS	
PARKING REQUIRED	FIRST FLOOR OFFICE AREA 8,734 SF / 200 SF PER SPACE = 44 SPACES
	SECOND FLOOR OFFICE WH AREA 2,563 SF / 200 SF PER SPACE = 13 SPACES
	TOTAL PARKING SPACES = 57 SPACES
HC SPACES REQUIRED	51 TO 100 SPACES = 4 HC SPACES (1 VAN SPACE)
PARKING PROVIDED	29 - 8.7x20 PARKING SPACES
	21 - 8.7x15 PARKING SPACES
	4 - 6.0x20 HC PARKING SPACES
TOTAL PARKING PROVIDED	54 - 4.0x8' MOTORCYCLE SPACES

- NOTED NOTES**
1. CONCRETE SPRAWL TO REMAIN
  2. EXISTING TO PUBLIC UTILITY EXISTENT
  3. EXISTING INTERNAL LANDSCAPE EXISTENT
  4. EXISTING 10x20 SWITCH GEAR EXISTENT
  5. EXISTING TRANSFORMER TO REMAIN BOX TO REMAIN
  6. EXISTING LIGHT POLE, MAKE ONLY, TO REMAIN
  7. EXISTING FIRE HYDRANT TO REMAIN
  8. EXISTING BUSH TO REMAIN
  9. EXISTING BUSH TO REMAIN
  10. EXISTING BUSH TO REMAIN
  11. EXISTING BUSH TO REMAIN
  12. 2'-0" RADIUS
  13. 10'-0" RADIUS
  14. FROM BUILDING, SLOPE SIDEWALK 1/4"/FT AWAY
  15. 6" BASED CONCRETE CURB PER CITY OF ALBUQUERQUE STANDARDS PER SHEET C-2 AND GRADING AND ASPHALT PAVING
  16. ASPHALT PAVING
  17. EDGE OF ASPHALT
  18. 2" WIDE PAINTED MARKING STRIPES PER CITY OF ALBUQUERQUE PER SHEET C-2 FOR DETAILS
  19. STANDAARDS PER CITY OF ALBUQUERQUE
  20. HANDICAP ACCESSIBLE ASSE PER CITY OF ALBUQUERQUE PER SHEET C-2 FOR DETAILS
  21. HANDICAP ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE PER SHEET C-2 FOR DETAILS
  22. HANDICAP ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE PER SHEET C-2 FOR DETAILS
  23. MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS
  24. PAINTED STRIPES PEDESTRIAN WALK-WAY
  25. DUMPSTER ENCLOSURE WITH GATES, PER C-2 FOR DETAILS
  26. CONCRETE SLAB AND GORON FOR DUMPSTER
  27. CONCRETE SLAB AND GORON FOR DUMPSTER
  28. SAW CUT CURB AND CUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD
  29. LANDSCAPE WITH PER SCAPING PLAN
  30. LANDSCAPE WITH PER SCAPING PLAN
  31. FIRE RISER ROOM LOCATION, REF. FLOOR PLAN WITH FIRE RISER ROOM HOUR BOX 5'-0" HIGH 4'-0" WIDE
  32. FIRE RISER ROOM LOCATION, REF. FLOOR PLAN WITH FIRE RISER ROOM HOUR BOX 5'-0" HIGH 4'-0" WIDE
  33. FIRE RISER ROOM LOCATION, REF. FLOOR PLAN WITH FIRE RISER ROOM HOUR BOX 5'-0" HIGH 4'-0" WIDE
  34. FIRE RISER ROOM LOCATION, REF. FLOOR PLAN WITH FIRE RISER ROOM HOUR BOX 5'-0" HIGH 4'-0" WIDE
  35. FIRE RISER ROOM LOCATION, REF. FLOOR PLAN WITH FIRE RISER ROOM HOUR BOX 5'-0" HIGH 4'-0" WIDE
  36. FIRE RISER ROOM LOCATION, REF. FLOOR PLAN WITH FIRE RISER ROOM HOUR BOX 5'-0" HIGH 4'-0" WIDE
  37. FIRE RISER ROOM LOCATION, REF. FLOOR PLAN WITH FIRE RISER ROOM HOUR BOX 5'-0" HIGH 4'-0" WIDE
  38. FIRE RISER ROOM LOCATION, REF. FLOOR PLAN WITH FIRE RISER ROOM HOUR BOX 5'-0" HIGH 4'-0" WIDE
  39. FIRE RISER ROOM LOCATION, REF. FLOOR PLAN WITH FIRE RISER ROOM HOUR BOX 5'-0" HIGH 4'-0" WIDE
  40. FIRE RISER ROOM LOCATION, REF. FLOOR PLAN WITH FIRE RISER ROOM HOUR BOX 5'-0" HIGH 4'-0" WIDE

CITY OF ALBUQUERQUE  
SOLID WASTE  
MANAGEMENT DEPARTMENT  
APPROVED

**PROJECT NUMBER** \_\_\_\_\_

**APPLICATION NUMBER** \_\_\_\_\_

This plan is submitted with the specific site development plan approved by the Environmental Planning Commission (EPC) under the authority of the City of Albuquerque and Conditions by the Official Notification of Decision on the Final EPC Decision.

It is an irrevocable, full and complete, and exclusive right of the applicant to develop the site in accordance with the approved site plan and conditions of the Official Notification of Decision.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Professional	Date
Traffic Engineer, Transportation Division	
Water Utility Development	
Parks & Recreation Department	
City Engineer	
Environmental Health Department (conditional)	
Solid Waste Management	
DRB Chairperson, Planning Department	

LEGAL DESCRIPTION

SUBJECT TO THE USES FOR LOT B AND RENAISSANCE CENTER CONTAINING APPROXIMATELY 3.55 ACRES AND SHOWN ON THE PLAT OF RENAISSANCE CENTER AND CHAMPEL, OR USES TO INCLUDE OFFICES WITH WAREHOUSE SPACE

**DREAMSTYLE WAREHOUSE**  
SITE PLAN  
ALBUQUERQUE, NM  
PROJECT # 1465

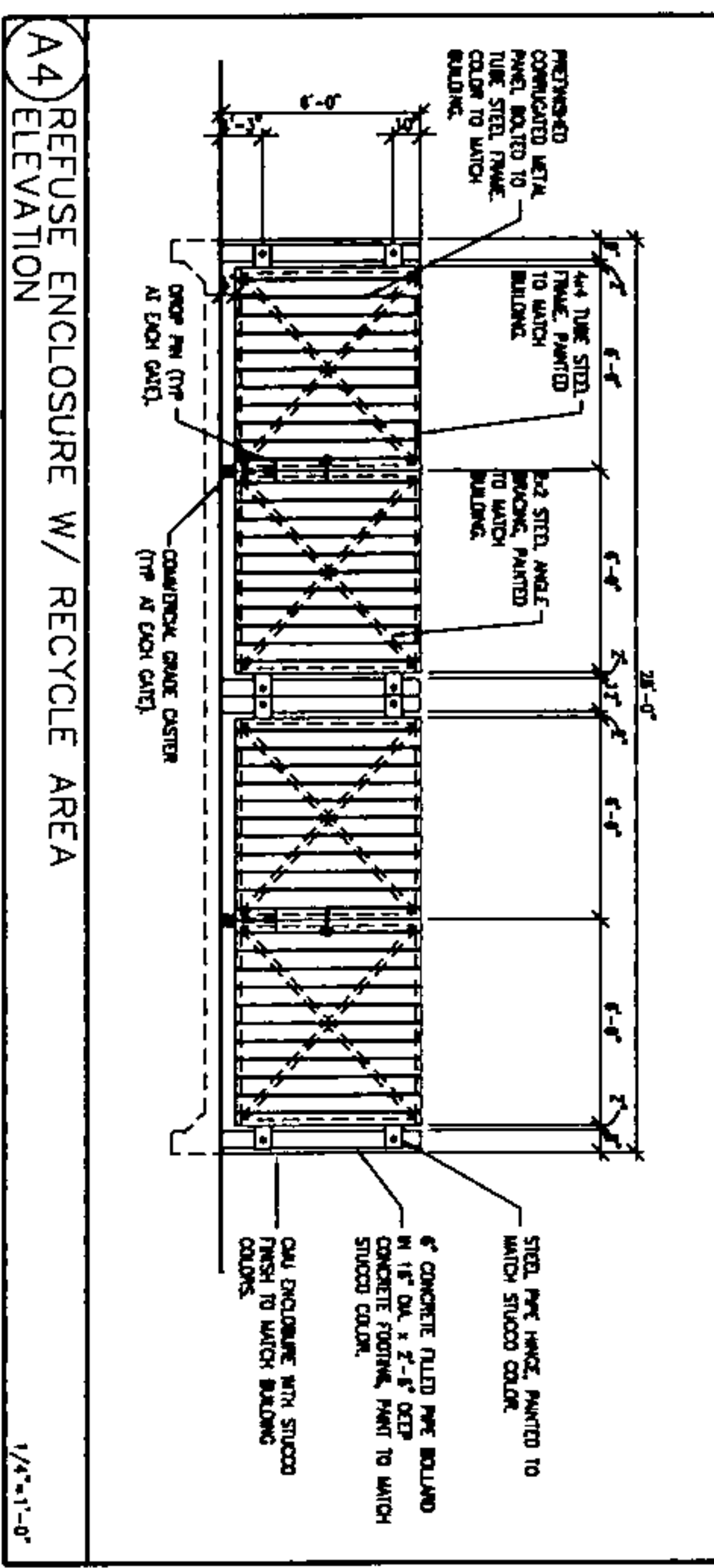
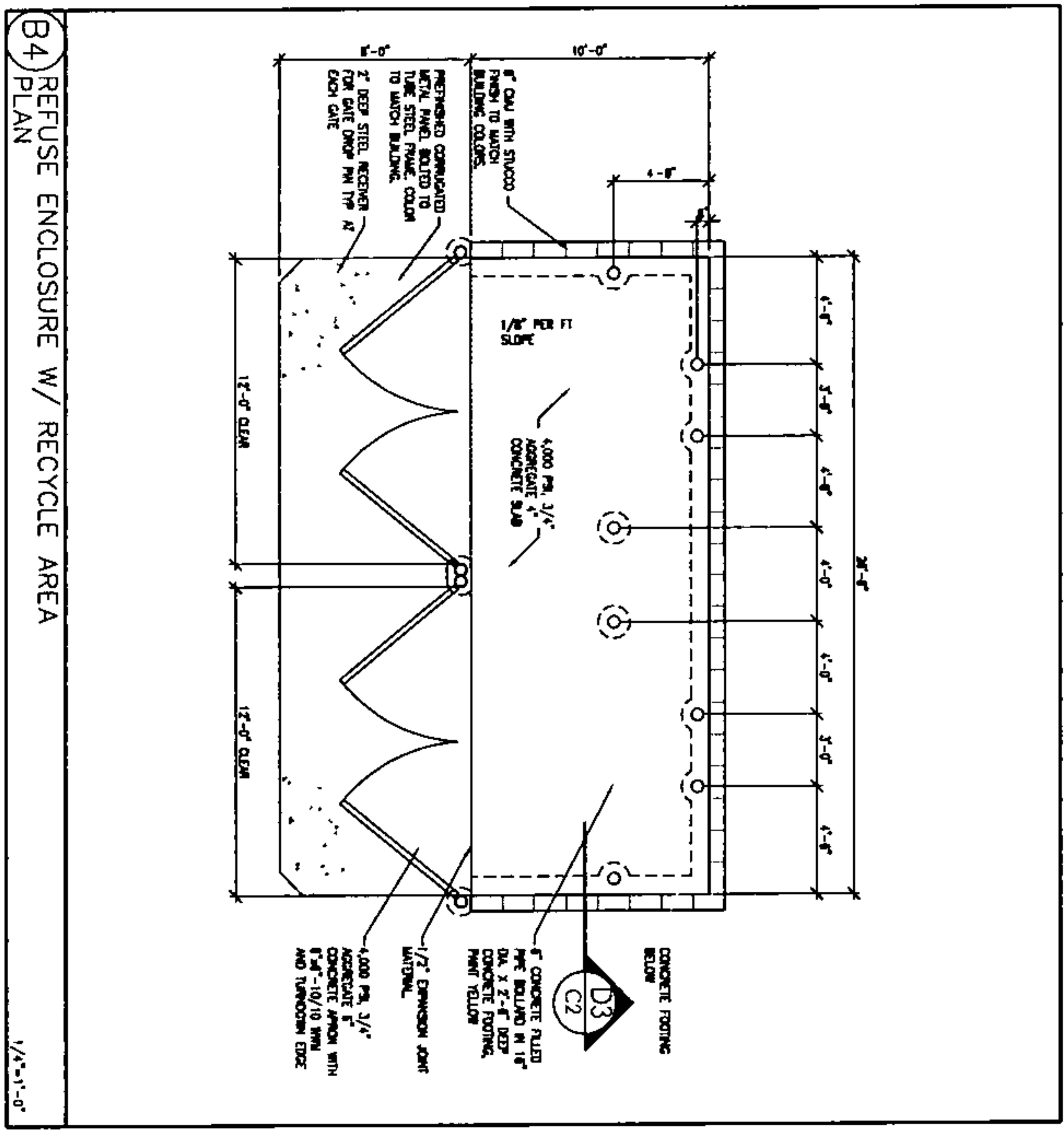
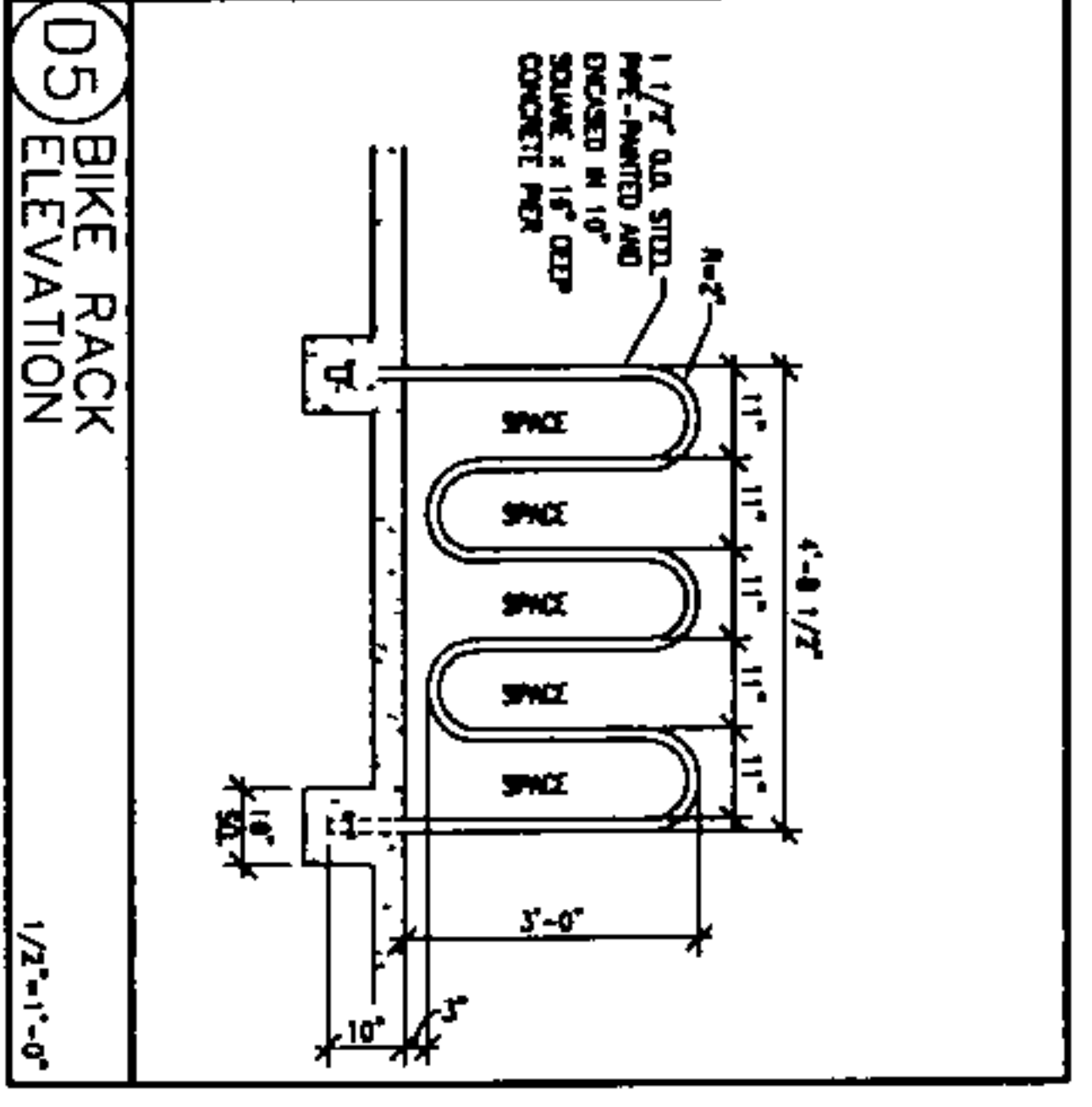
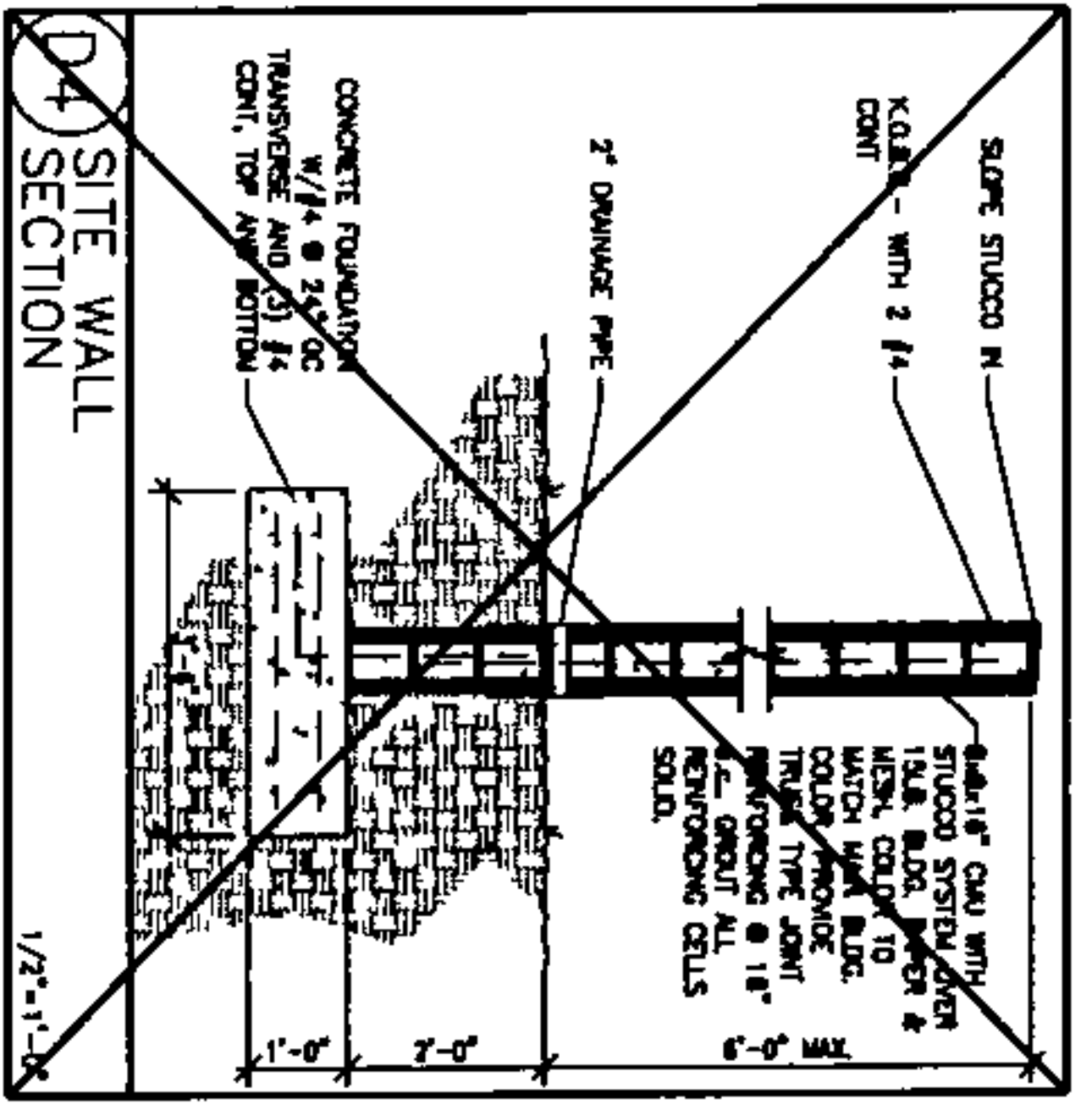
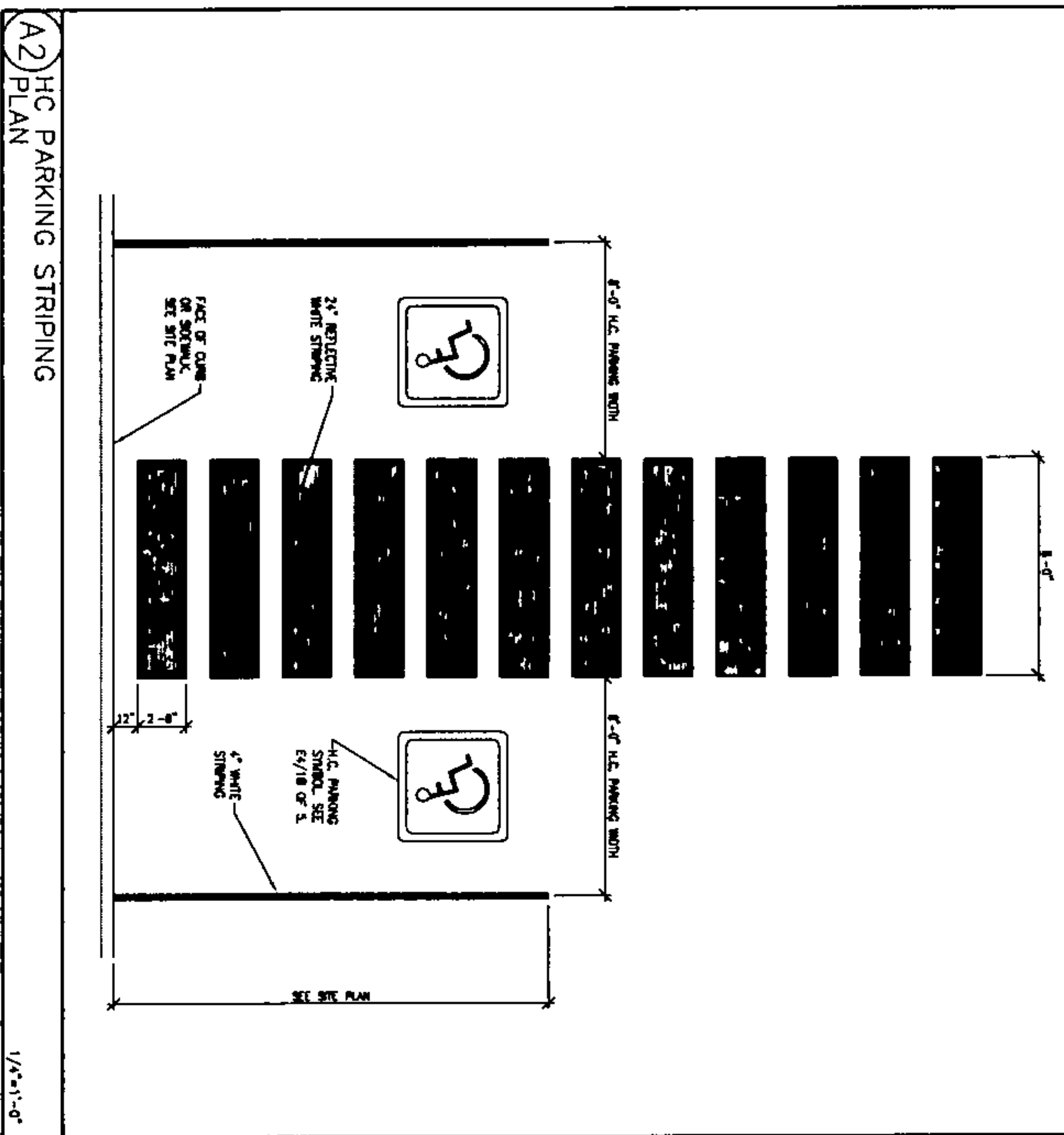
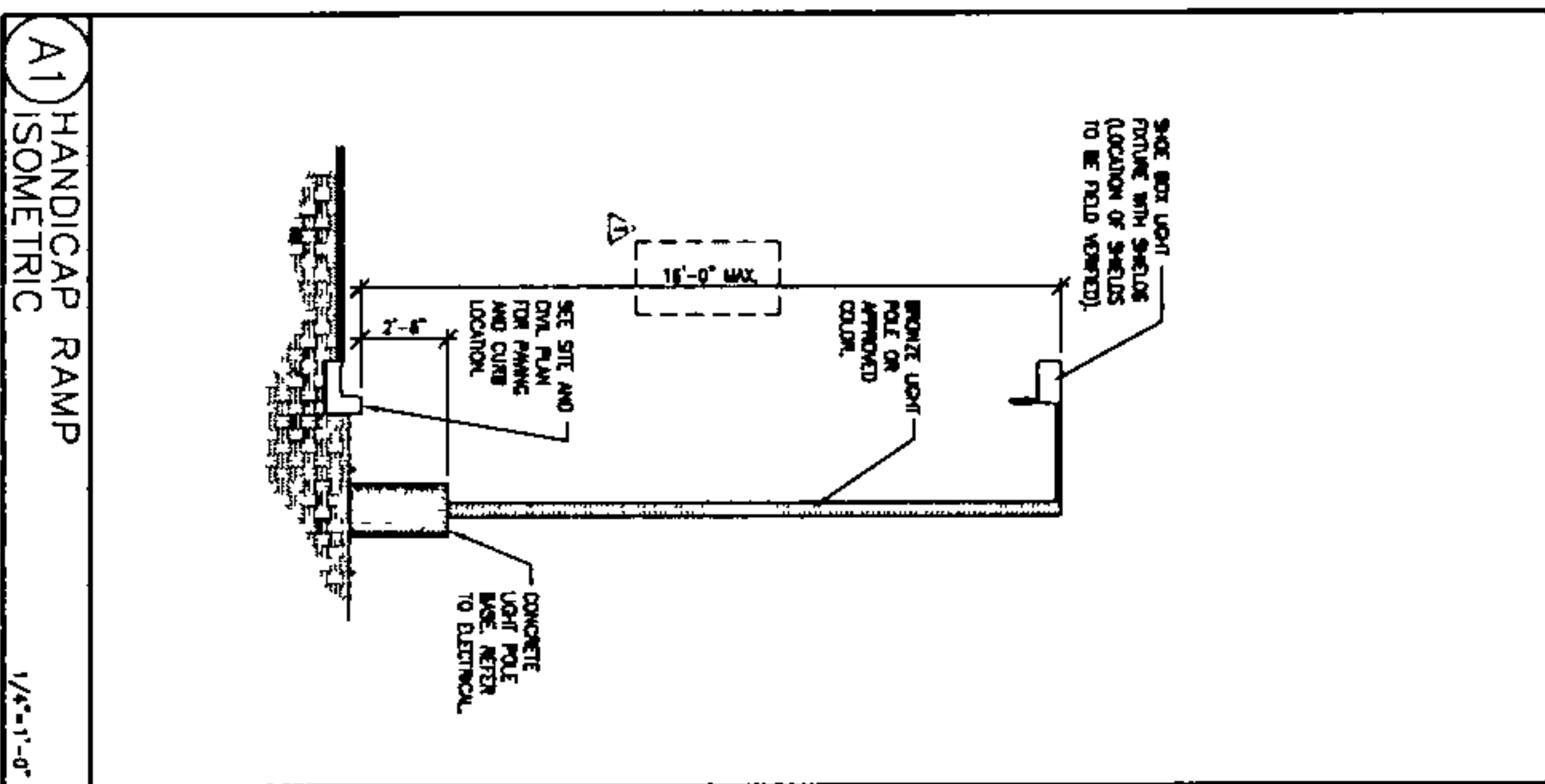
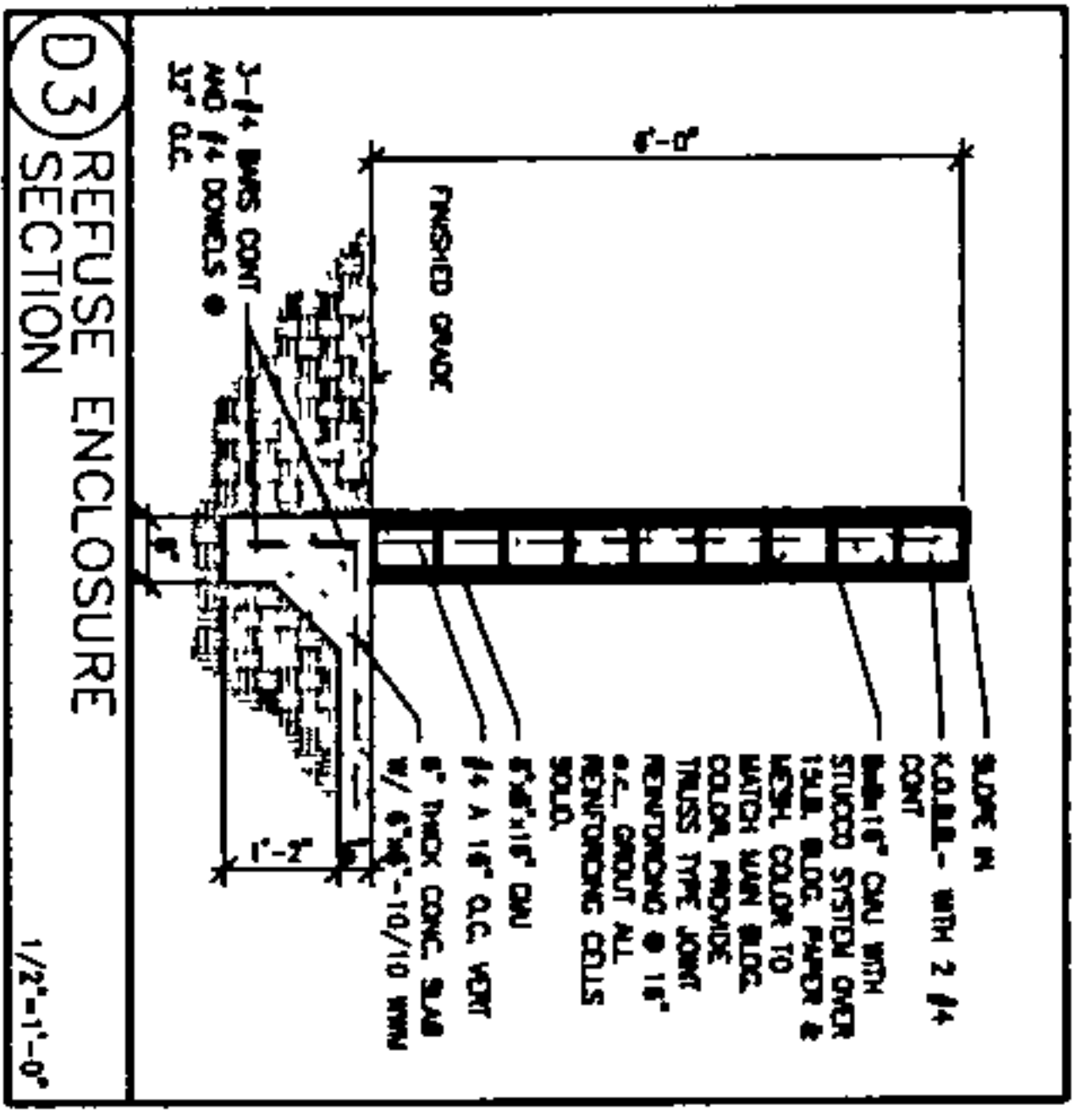
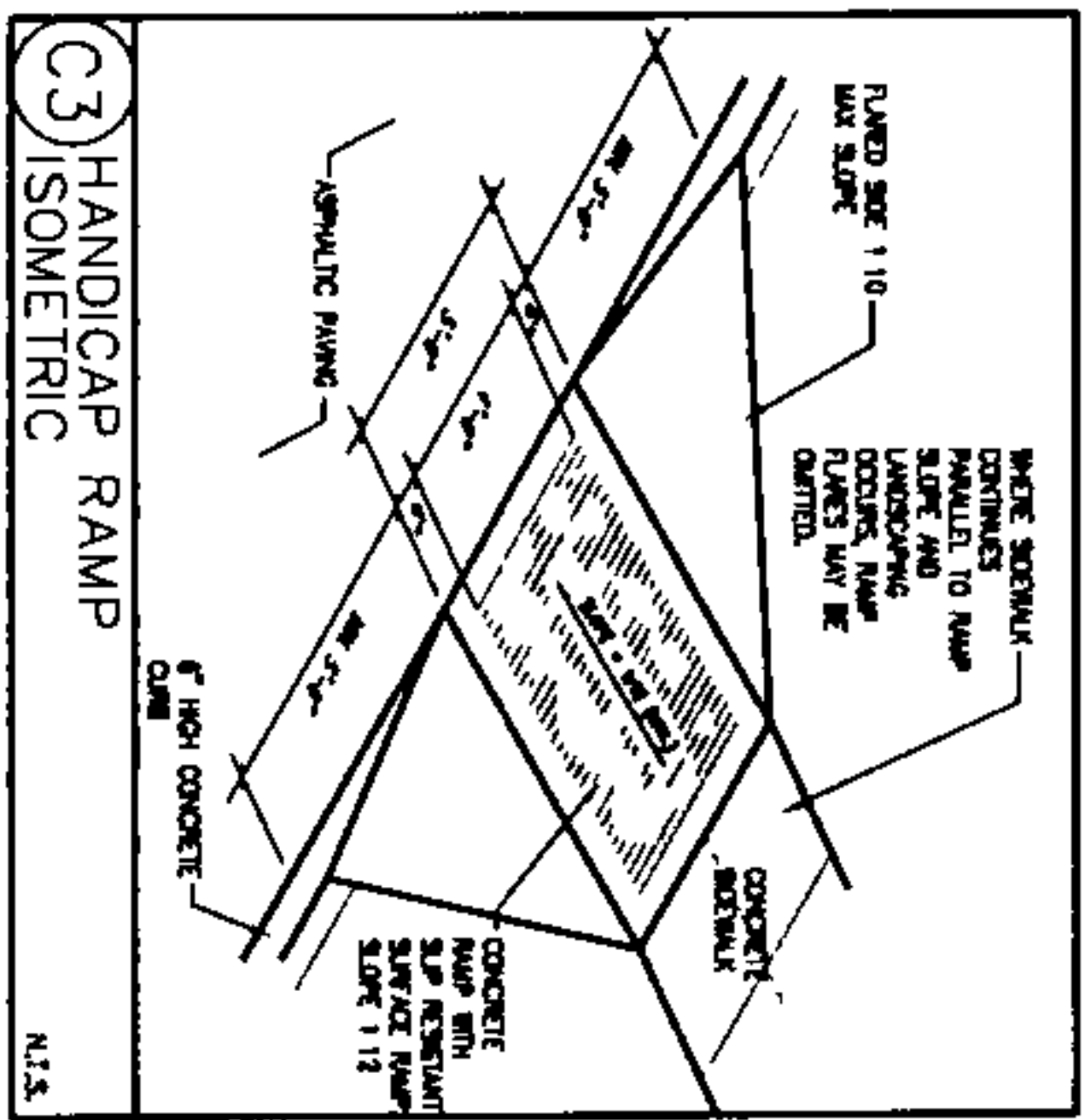
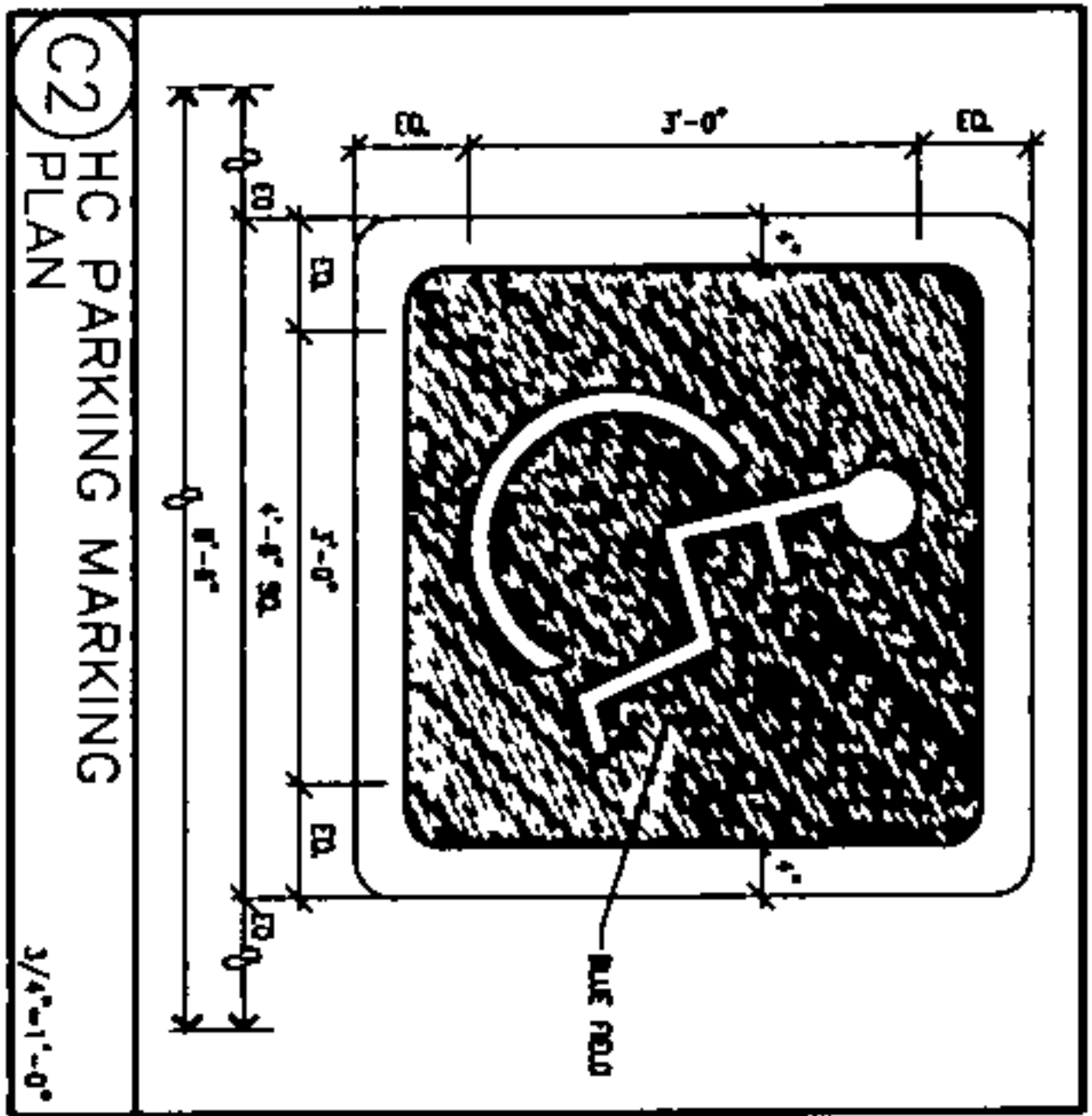
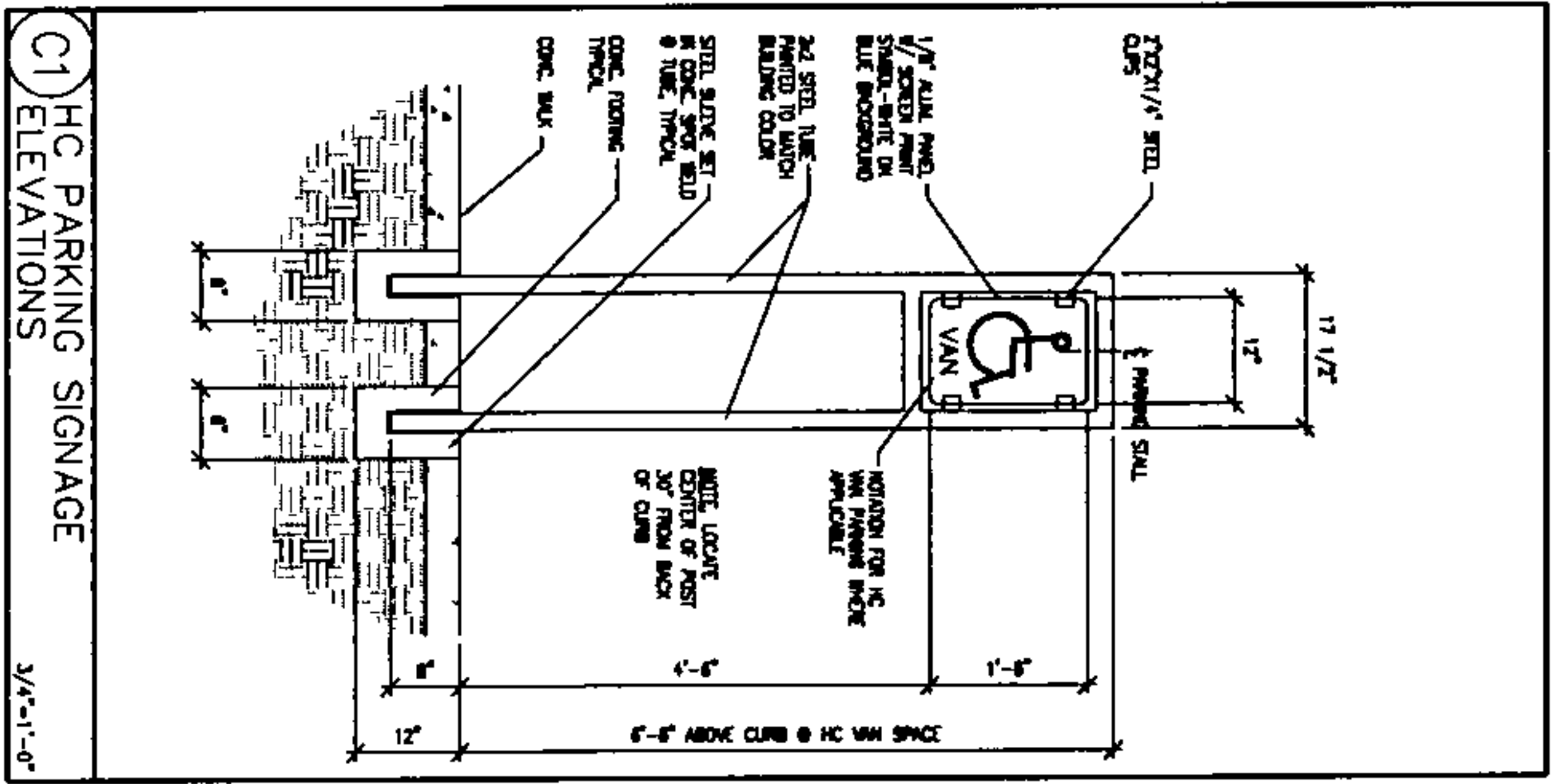
REVISION DATE

**RBA ARCHITECTURE, PC**

DATE: 5-12-2015

SHEET NUMBER: C-1

SCALE: 1"=20'-0"

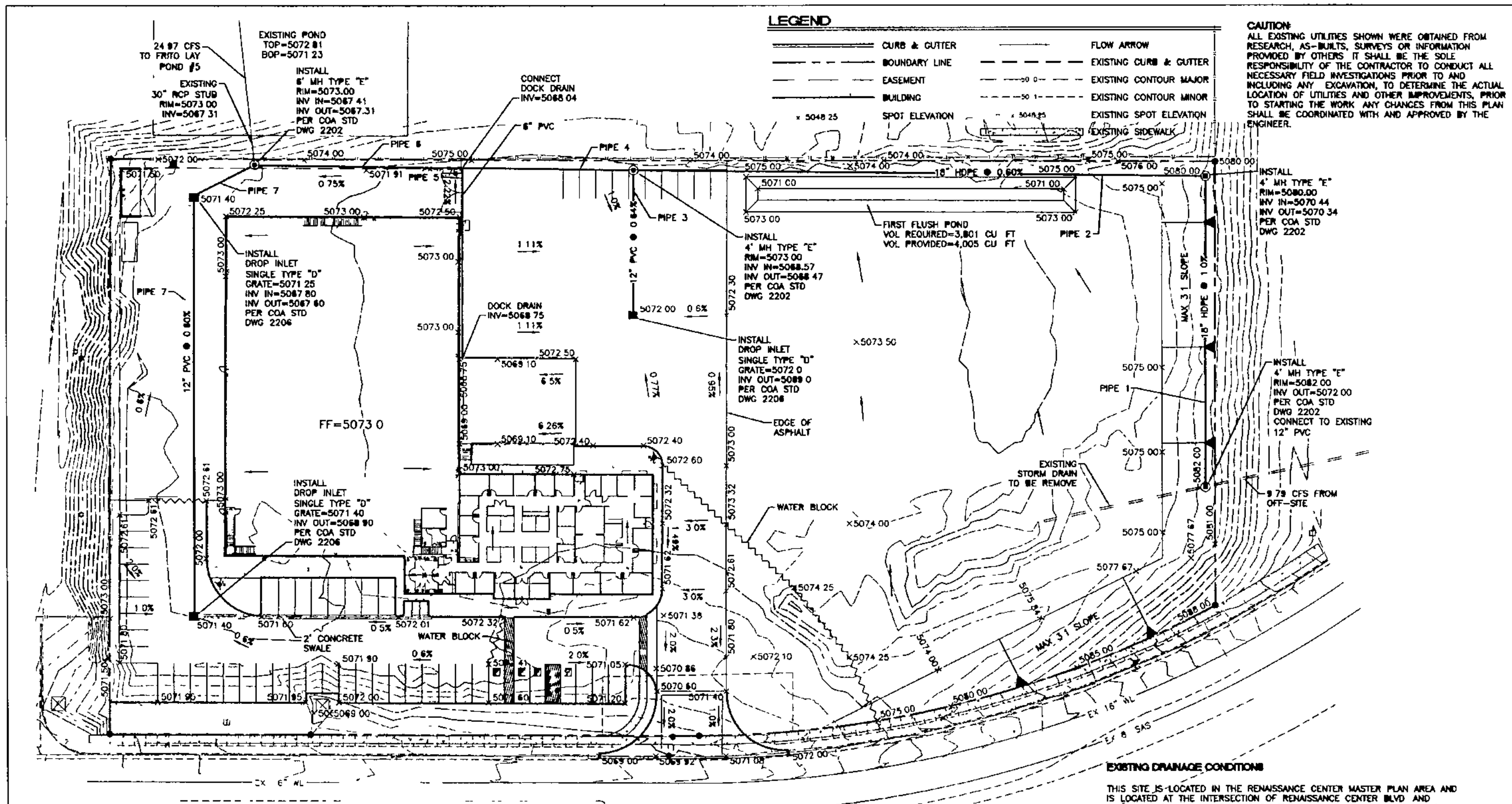


REVISION DATE

DREAMSTYLE WAREHOUSE  
SITE DETAILS  
ALBUQUERQUE, NM  
PROJECT #1465

RBA ARCHITECTURE PC  
10000  
10000  
10000

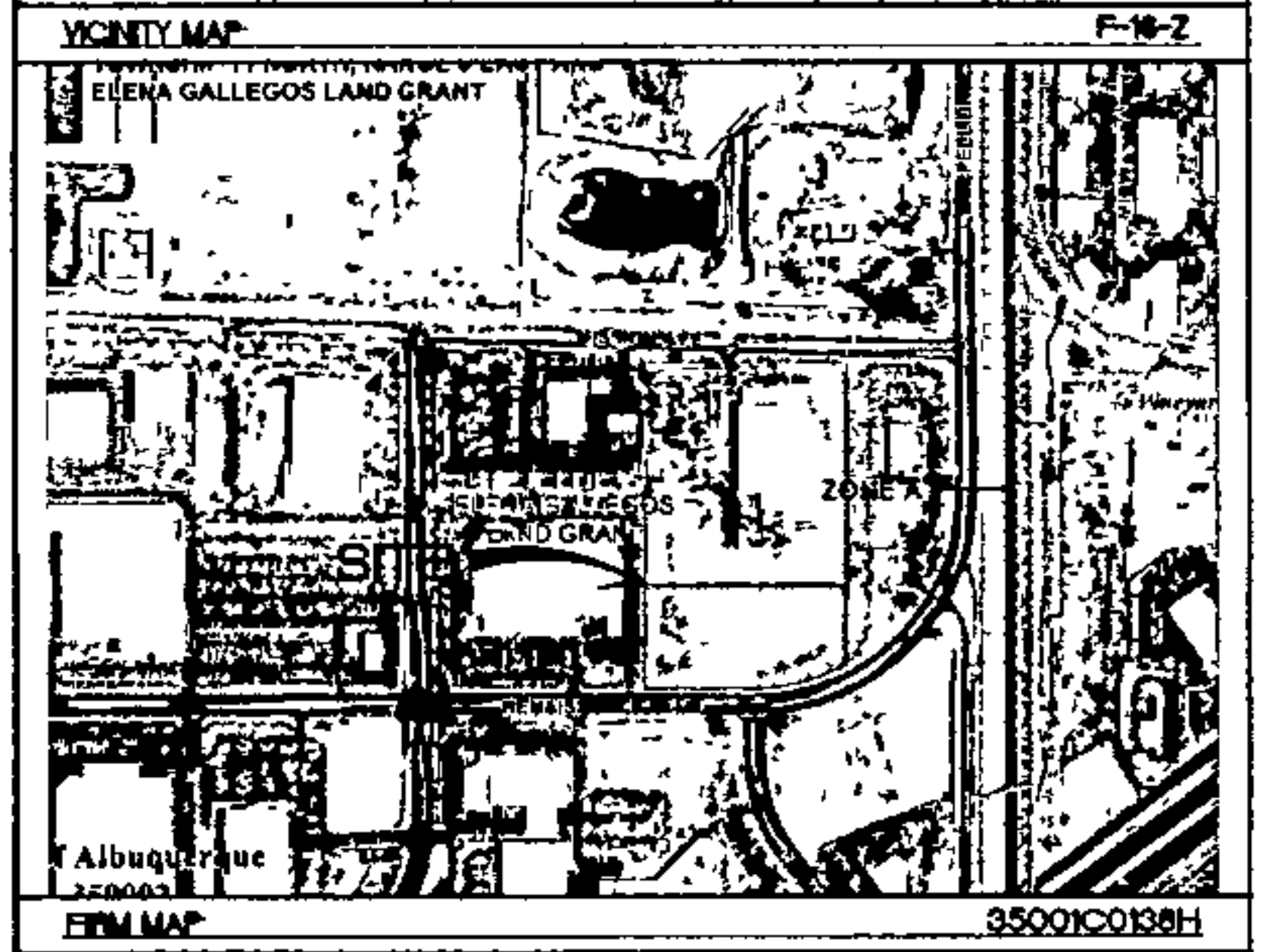
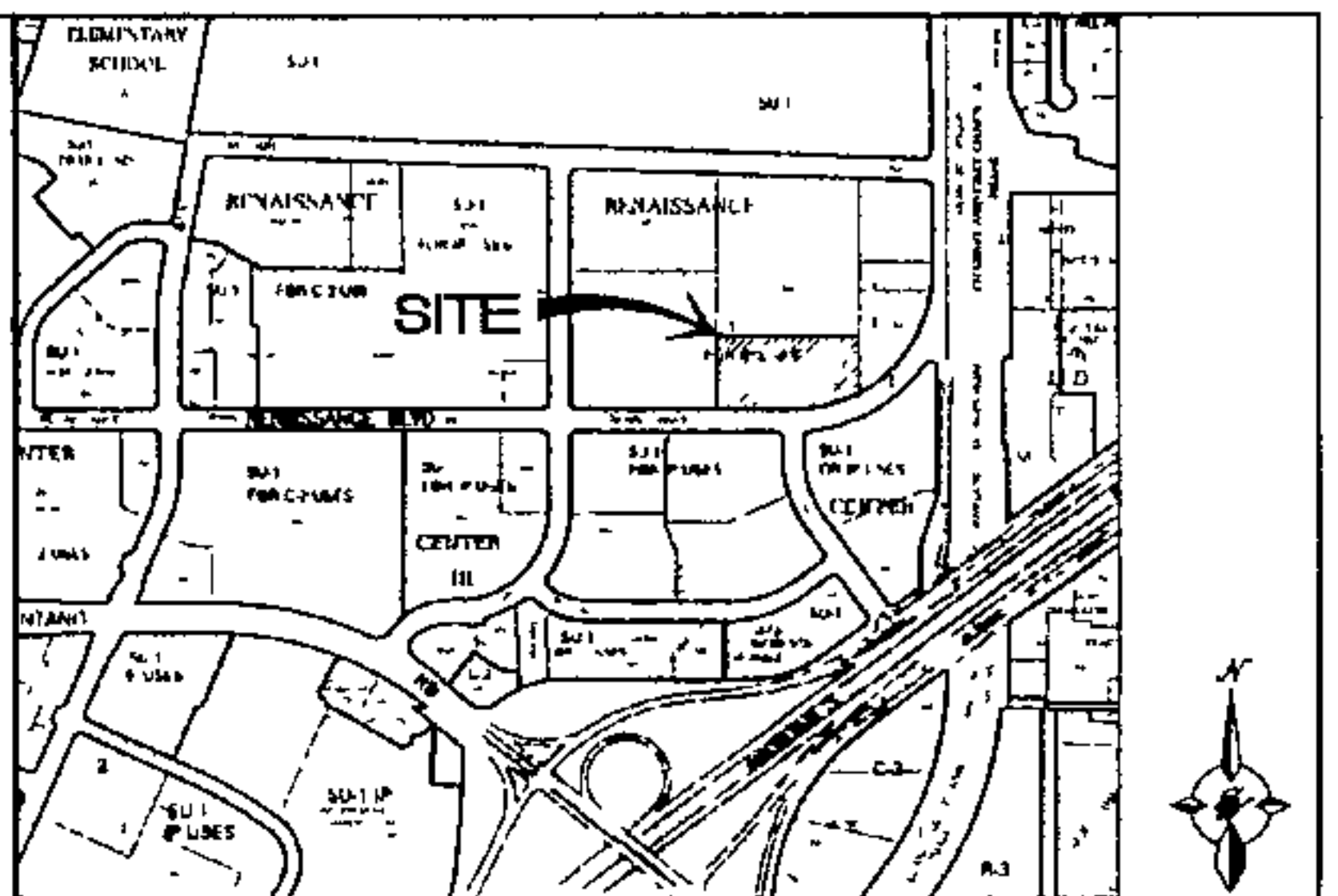
C-2.00



**LEGEND**

—	CURB & GUTTER	→	FLOW ARROW
- - -	BOUNDARY LINE	- - -	EXISTING CURB & GUTTER
- - -	EASEMENT	- - -	EXISTING CONTOUR MAJOR
- - -	BUILDING	- - -	EXISTING CONTOUR MINOR
•	SPOT ELEVATION	•	EXISTING SPOT ELEVATION
- - -	EXISTING SIDEWALK		

**CAUTION:**  
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



- NOTICE TO CONTRACTORS**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**Pipe Capacity**

Pipe	D (in)	Slope (%)	Area (ft <sup>2</sup> )	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.80	1.77	0.375	10.61	9.79	5.54
2	18	0.60	1.77	0.375	10.61	9.79	5.54
3	12	0.64	0.79	0.250	3.72	3.65	4.89
4	24	0.80	3.14	0.500	22.84	13.47	4.29
5	6	2.22	0.20	0.125	1.09	0.35	1.78
6	24	0.60	3.14	0.500	22.84	13.82	4.40
7	18	0.80	1.77	0.375	10.61	4.48	2.52
8	12	0.80	0.79	0.250	3.00	2.95	3.77

**Manning's Equation:**  
 $Q = 1.49m^3 \cdot A \cdot R^{2/3} \cdot S^{1/2}$   
 A = Area  
 R = D/4  
 S = Slope  
 n = 0.01 HDPE/PVC

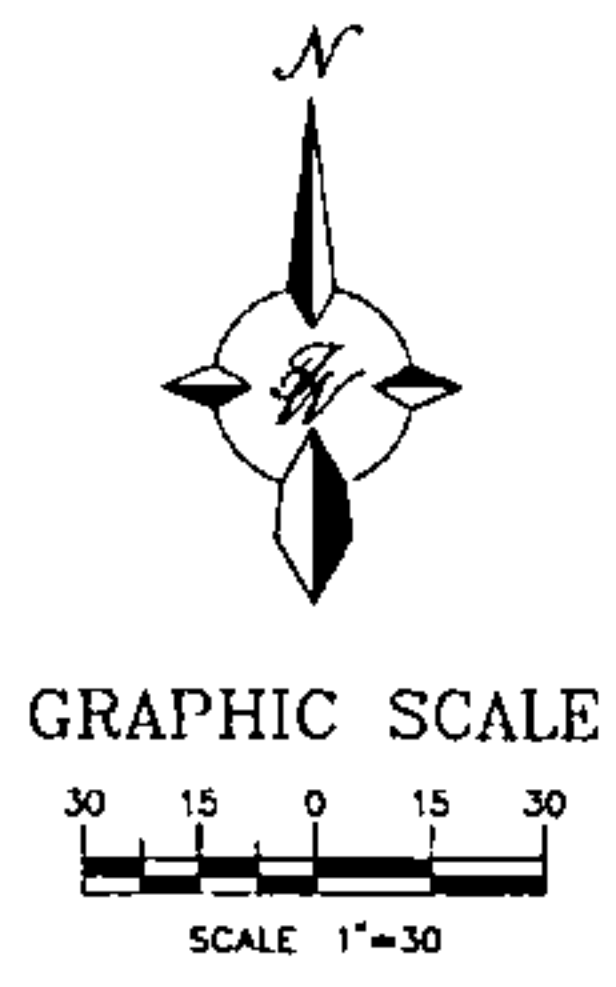
**FIRST FLUSH CALCULATION:**  
 3.08 ACRES OF IMPERVIOUS AREA = 134,165 SQ FT  
 $134,165 \text{ SQ FT} \cdot (0.34/12) = 3,801 \text{ CU FT} = 0.087 \text{ AC-FIT}$   
 OF VOLUME REQUIRED TO BE RETAINED ON-SITE.

**PROPOSED DRAINAGE CONDITIONS:**  
 THIS SITE WILL CONTAIN SEVEN BASINS WITH FIVE OF THE BASINS DRAINING TO AN EXISTING STORM SEWER STUB THAT IS CONNECTED TO FRITO LAY POND #5. THE EXISTING STORM SEWER PIPE FROM THE OFFICE COMPLEX WILL BE INTERCEPTED WITH A NEW STORM SEWER AND ROUTED AROUND THE PERIMETER OF THE SITE AND CONNECT TO THE EXISTING STUB MENTIONED ABOVE.

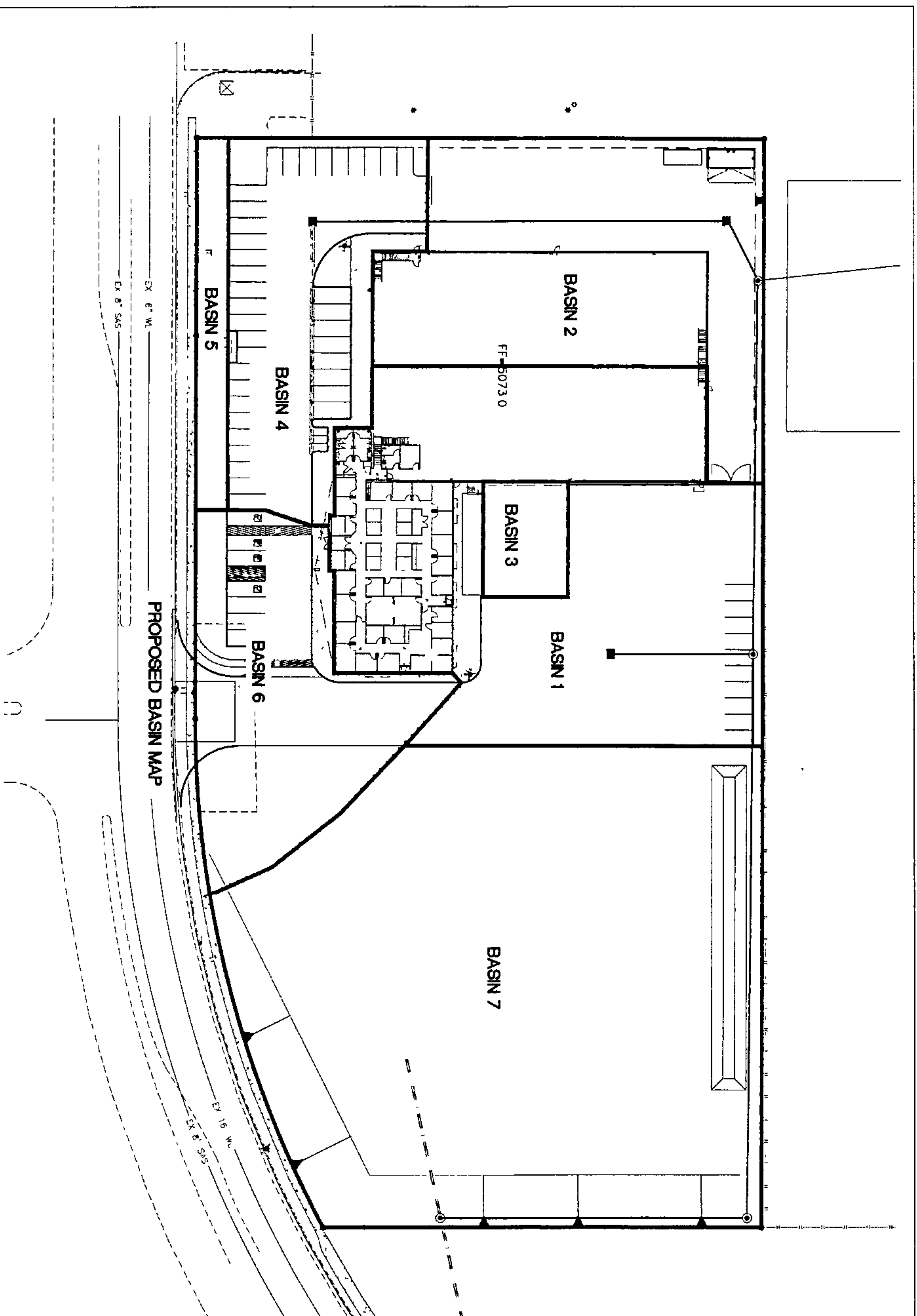
BASINS 1, 2 AND 4 WILL DRAIN TO AREA INLETS THAT ARE CONNECTED TO THE STORM SEWER. BASIN 3 WILL DRAIN THE TRUCK DOCK AREA THROUGH A STORM DRAIN OPENING ON THE NORTH SIDE OF THE DOCK.  
 BASINS 5 AND 6 WILL DRAIN TO THE STREET GENERATING 1.62 CFS THE ORIGINAL FRITO LAY DRAINAGE PLAN ALLOWED FOR 0.66 CFS TO BE DISCHARGED TO THE STREET. THE ADDITIONAL 0.96 CFS BEING DISCHARGED WILL BE COMPENSATED BY REMOVING THAT FLOW FROM THE OVERALL SYSTEM WITH THE REQUIREMENT OF THE FIRST FLUSH POND FOUND IN BASIN 7.

BASIN 7 WILL REMAINED UNDEVELOPED AT THIS TIME AND WILL DRAIN TO A FIRST FLUSH POND DESIGNED TO HOLD 4,008 CUBIC FEET OF WATER WHICH IS GREATER THAN THE 3,801 CUBIC FEET REQUIRED. THE POND WILL OVERFLOW TO THE AREA INLET LOCATED IN BASIN 1 NEAR THE TRUCK DOCK AND BE CONVEYED TO FRITO LAY DETENTION POND #5.

THIS SITE WILL DISCHARGE A TOTAL OF 24.16 CFS TO FRITO LAY POND #5 WHICH IS LESS THAN THE 24.97 ALLOWED IN THE APPROVED DRAINAGE PLAN THAT TOTAL INCLUDES THE 0.79 CFS BEING PASSED THROUGH FROM THE ADJACENT OFFICE COMPLEX.



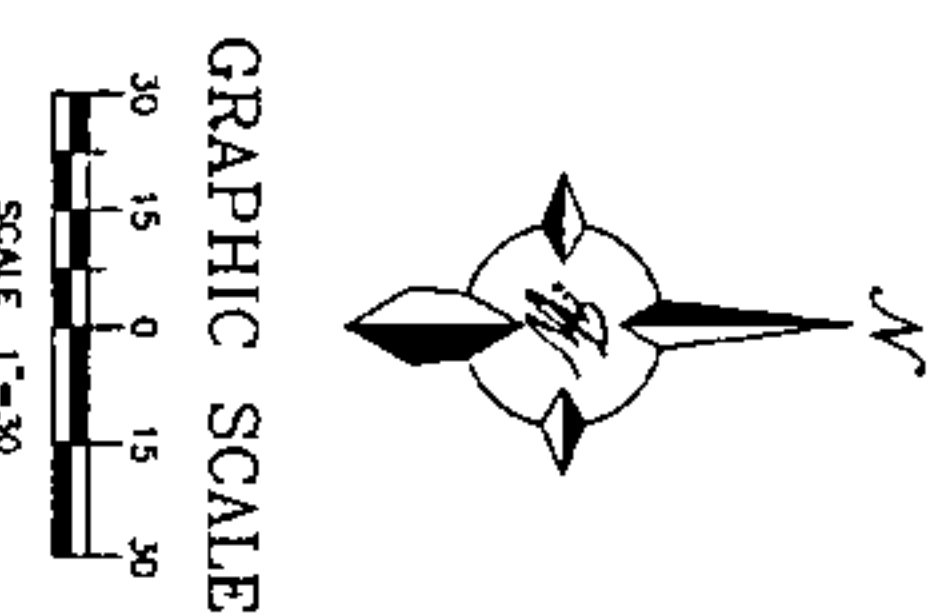
	<b>TRACT 9A</b> <b>RENAISSANCE CENTER</b>	DRAWN BY BJF
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 05/18/15
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrewestllc.com	2015009-GRB
		SHEET # <b>D1</b>
		JOB # 2015009



**Weighted E Method**

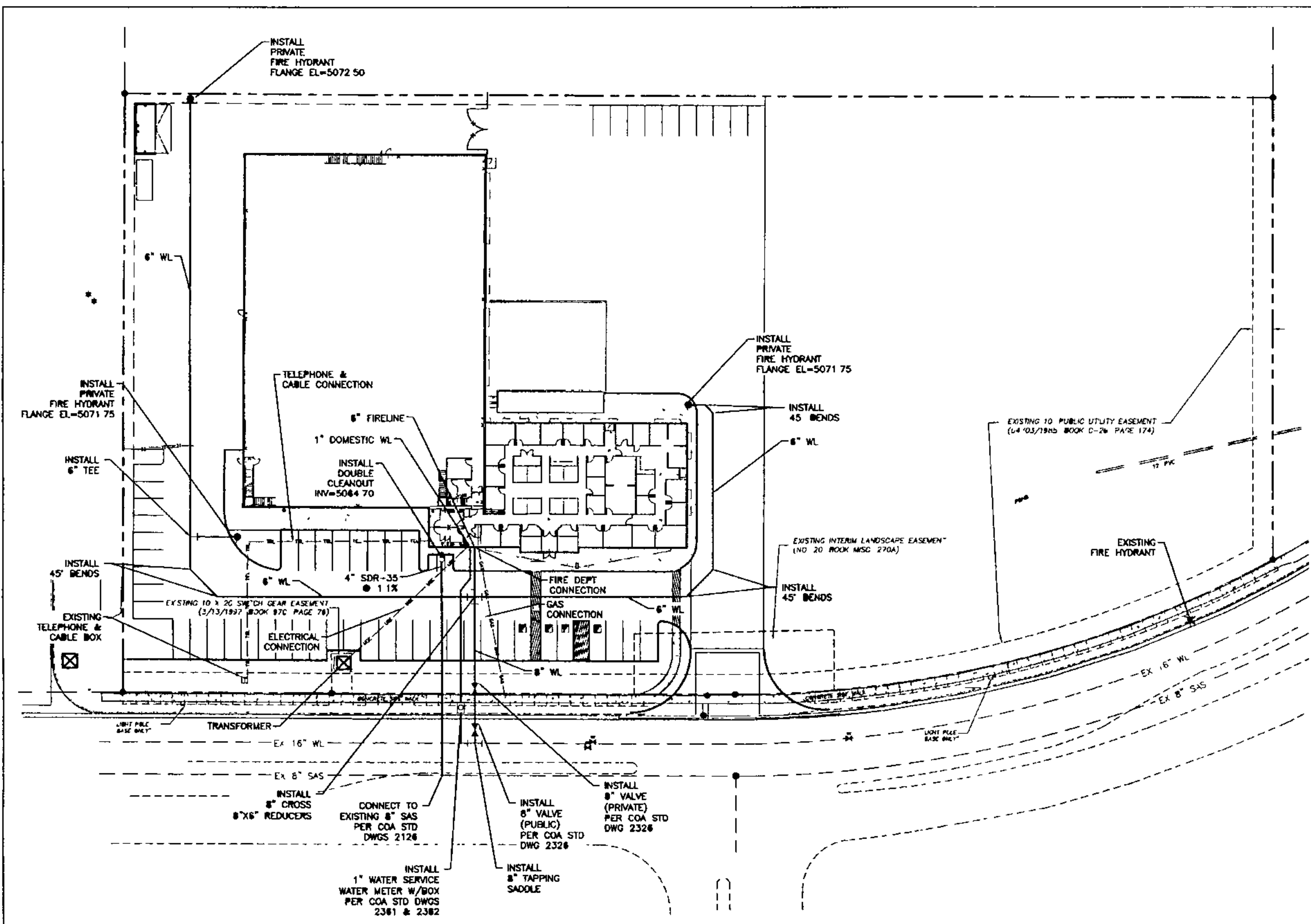
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	100-Year					
			%	(acres)	%	(acres)	%	(acres)	%	(acres)		Flow (cfs)	Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)		
1	34,424	0.78	0%	0	0%	0%	0.00	92%	0.77	2,093	0.138	3,888	1,319	0.087	2,455		
2	28,563	0.66	0%	0	8%	0.05	0.00	92%	0.80	2,013	0.110	2,965	1,255	0.089	1,955		
3	3,220	0.07	0%	0	0%	0.00	0.00	100%	0.07	2,120	0.135	2,355	1,240	0.008	0,223		
4	14,542	0.33	0%	0	8%	0.03	0.00	92%	0.31	2,013	0.056	1,500	1,265	0.035	0,999		
5	3,377	0.08	0%	0	100%	0.00	0.00	0%	0.00	0.780	0.005	0.18	0.280	0.002	0.077		
6	14,470	0.33	0%	0	15%	0.05	0.00	85%	0.26	1,919	0.053	1,44	1,181	0.033	0,833		
7	64,488	1.48	0%	0	30%	0.44	0.00	70%	1.04	1,718	0.212	6,848	1,022	0.126	3,048		
<b>Equations:</b>																	
Weighted E = E <sub>1</sub> A <sub>1</sub> + E <sub>2</sub> A <sub>2</sub> + E <sub>3</sub> A <sub>3</sub> + E <sub>4</sub> A <sub>4</sub> + E <sub>5</sub> A <sub>5</sub> + E <sub>6</sub> A <sub>6</sub> + E <sub>7</sub> A <sub>7</sub> (Total Area)																	
Volume = Weighted D + Total Area																	
Flow = Q <sub>1</sub> + Q <sub>2</sub> + Q <sub>3</sub> + Q <sub>4</sub> + Q <sub>5</sub> + Q <sub>6</sub> + Q <sub>7</sub> + Q <sub>8</sub>																	

Excess Precipitation, E (inches)		Peak Discharge (cfs)	
Zone 2	100-Year	10-Year	10-Year
E <sub>1</sub>	0.53	0.13	0.38
E <sub>2</sub>	0.78	0.28	0.95
E <sub>3</sub>	1.13	0.52	1.71
E <sub>4</sub>	2.12	1.34	3.14



	ENGINEER'S SEAL	<b>TRACT 9A</b> <b>RENAISSANCE CENTER</b> <b>GRADING AND DRAINAGE PLAN</b>	DRAWN BY: RJC DATE: 05/15/15 JOB # 2015009-018
	<b>TRACYA WEST, LLC</b> 3571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 www.tracyawest.com	SHEET # <b>D2</b> JOB # 2015009	





**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

**NOTICE TO CONTRACTORS**

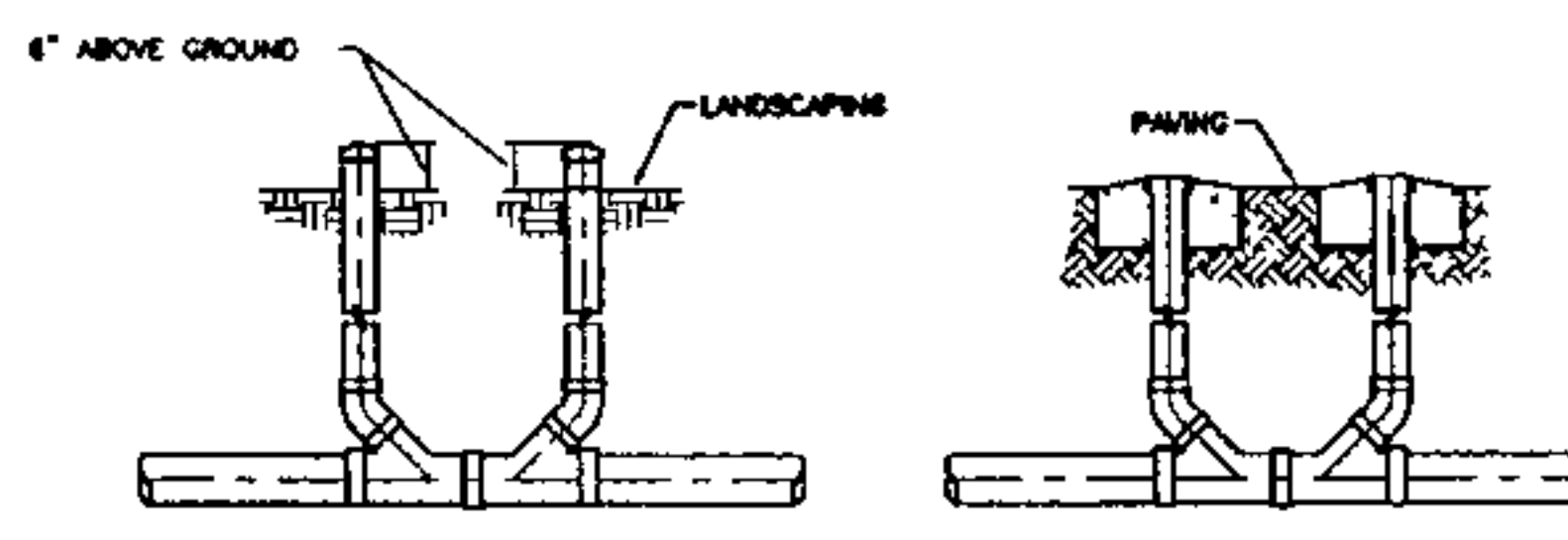
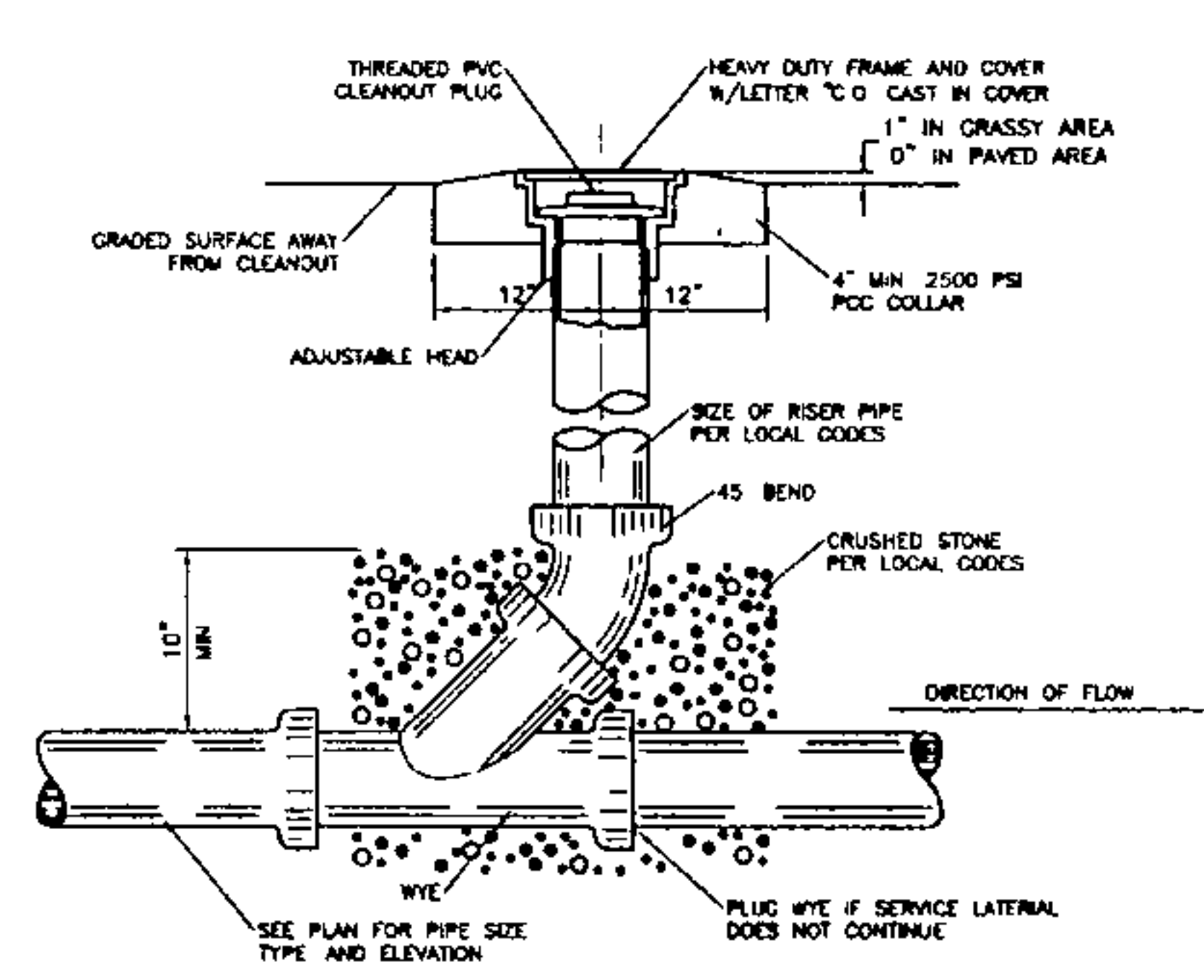
- 1 AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
- 2 ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985
- 3 TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES
- 4 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY
- 5 BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE
- 6 MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED 7 WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS

APPROVAL	NAME	DATE
INSPECTOR		

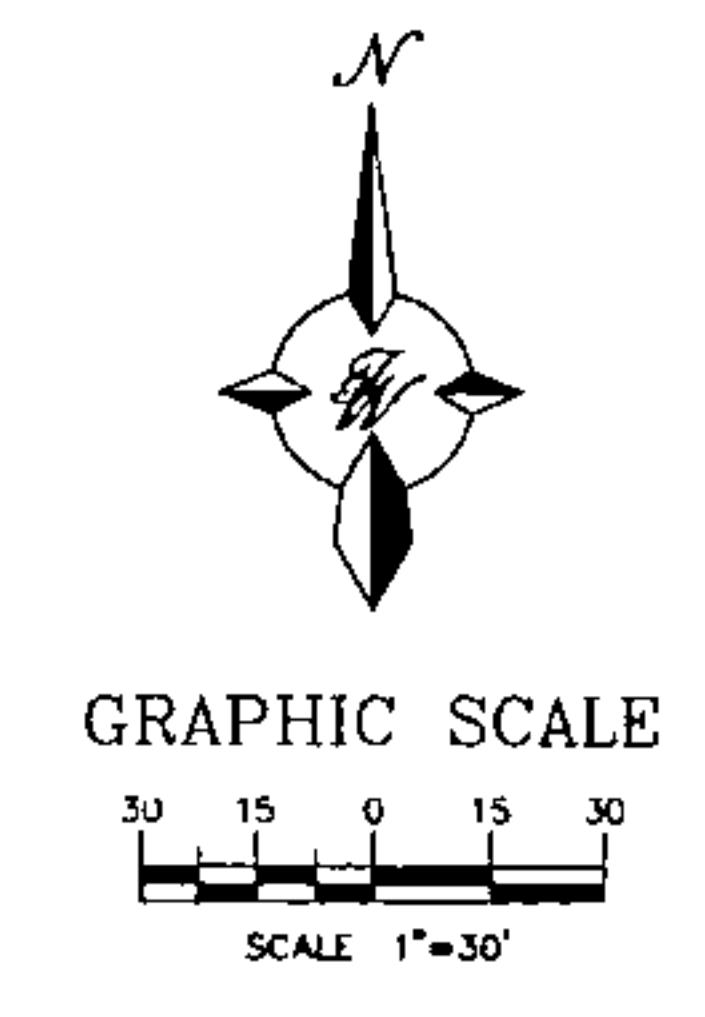
**CAUTION**

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- GENERAL UTILITY NOTES:**
- 1 ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION
  - 2 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED
  - 3 REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS
  - 4 CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS
  - 5 ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC
  - 6 FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED
  - 7 ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P
  8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY



**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS



	<b>TRACT 9A</b> <b>RENAISSANCE CENTER</b>	DRAWN BY BJF
	<b>MASTER UTILITY PLAN</b>	DATE 05/18/15
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com	SHEET # <b>D3</b>
RONALD R. BOHANNON P.E. #7068		JOB # 2015009

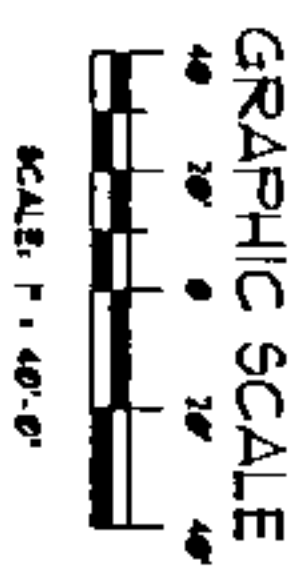
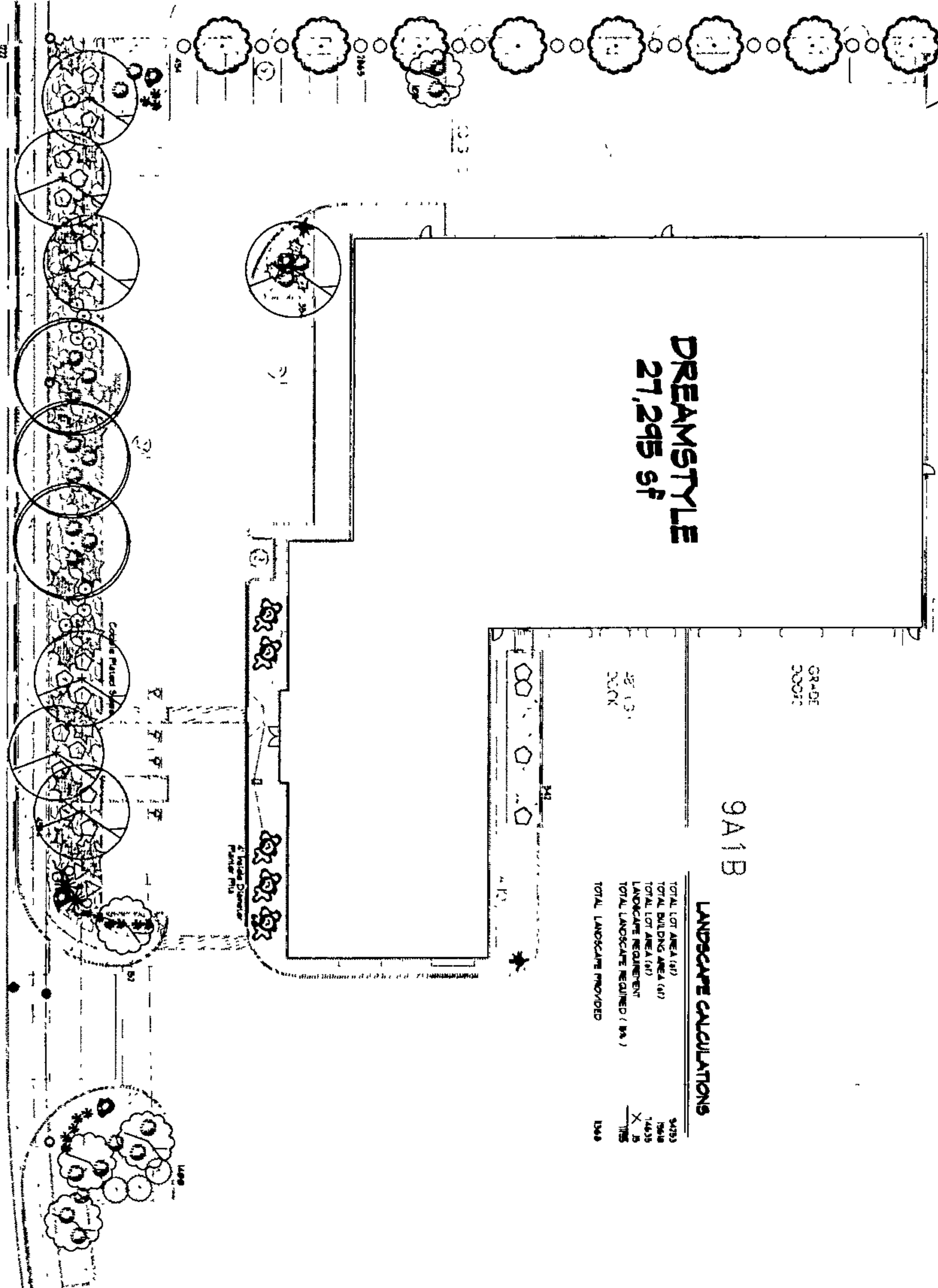


# DREAMSTYLE 27,245 SF

9A1B

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (SQ FT)	34033
TOTAL BUILDING AREA (SQ FT)	2848
TOTAL LOT AREA (AV)	1433
LANDSCAPE REQUIREMENT	X 2
TOTAL LANDSCAPE REQUIRED (SQ FT)	1786
TOTAL LANDSCAPE PROVIDED	1844



**LANDSCAPE NOTES**

1. Landscape maintenance will be the responsibility of the Property Owner. The Property Owner shall be responsible for the maintenance and watering of all plants and trees shown in this plan, including any plants and trees that may be added to the plan in the future.

2. It is the intent of this plan to comply with the City of Albuquerque Landscape Ordinance. Approval of this plan does not constitute a warranty of any kind by the City of Albuquerque. The City of Albuquerque is not responsible for the design and construction of any landscape or other site improvements.

3. Water management is the sole responsibility of the Property Owner. All landscape plants and trees shown on this plan shall be installed in accordance with the City of Albuquerque Landscape Ordinance. The Property Owner shall be responsible for the design and construction of any irrigation system and for the maintenance and watering of all plants and trees shown on this plan.

4. Show Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas shown on this plan. The Property Owner shall be responsible for the design and construction of any irrigation system and for the maintenance and watering of all plants and trees shown on this plan.

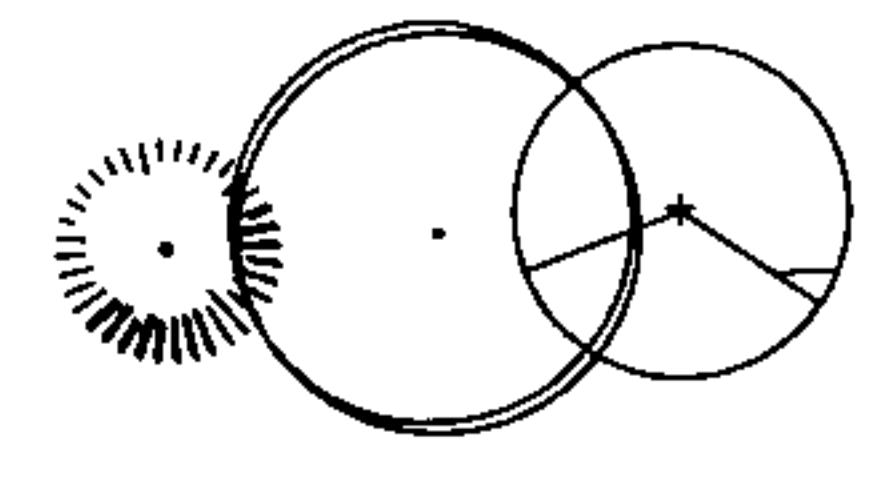
**IRRIGATION NOTES**

1. Irrigation will be a computer underground system with timers to receive input from a weather station. The system shall be designed to provide 1 inch of water per week. The system shall be designed to provide 1 inch of water per week. The system shall be designed to provide 1 inch of water per week.

2. The system shall be designed to provide 1 inch of water per week. The system shall be designed to provide 1 inch of water per week. The system shall be designed to provide 1 inch of water per week.

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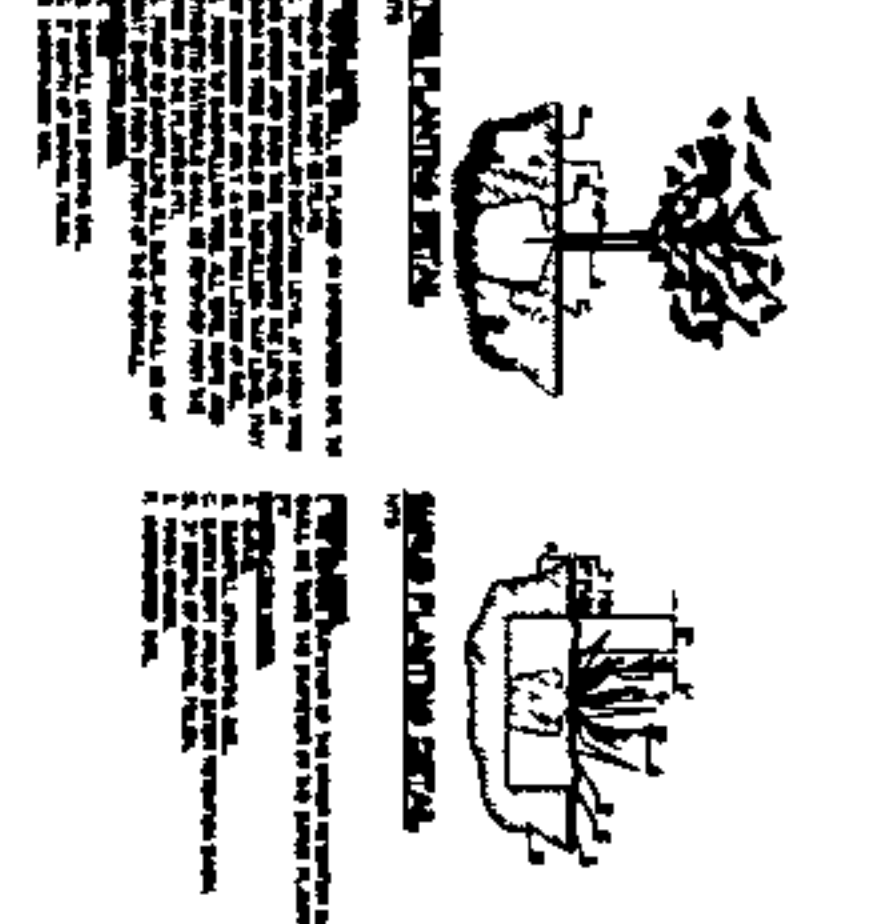
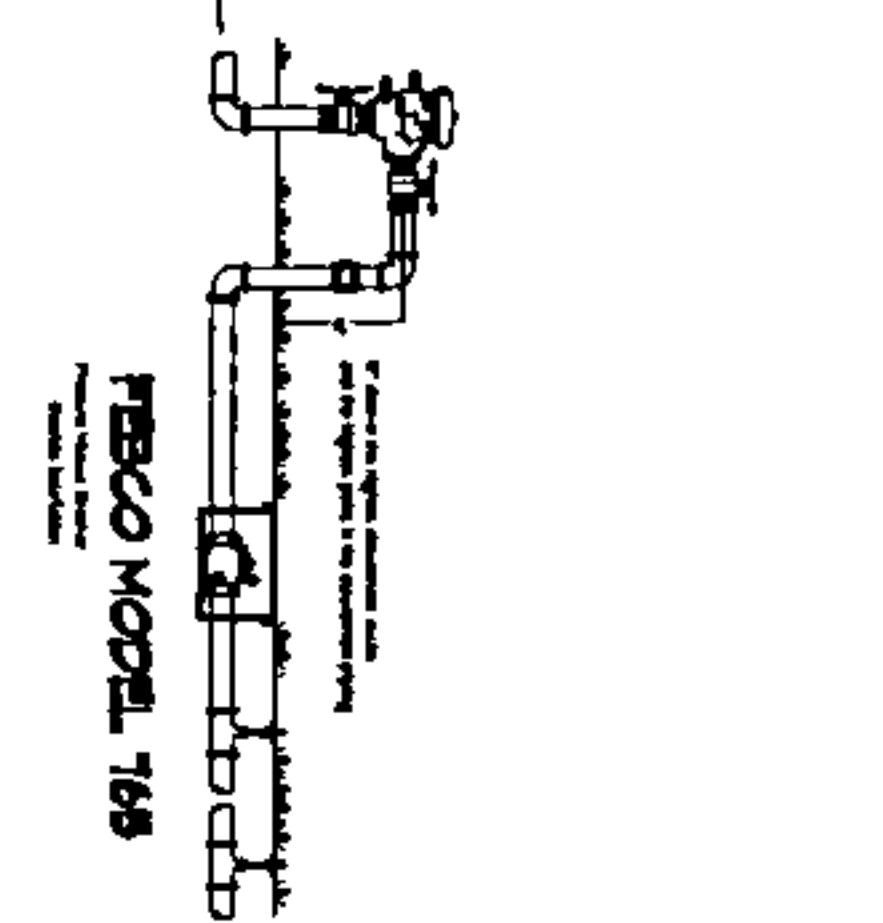
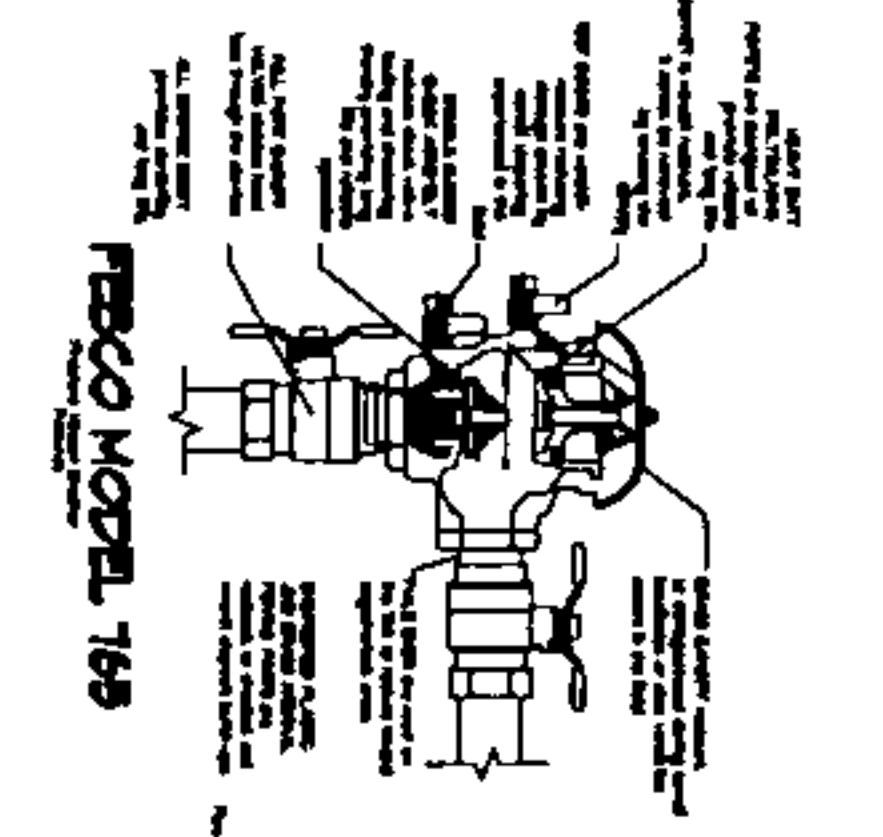


**LANDSCAPE LEGEND**

QTY	SIZE	CERTIFICATION	140 W4E
<b>Trees</b>			
1	3" cal	Orange Plectranthus 4000	075 8079 H
		Parsons Shrubbery	
3	3" cal	Orange Plectranthus	3075 8079 H
		Castanea incantherae	
1	6" cal	Neoyucca elata 2000	400 2000 H
		Juniperus scopulorum	
3	4" - 6"	Orange Plectranthus	125 1000 H
		Parsons Shrubbery	
2	4" - 6"	Pala Yucca	30 72 H
		Yucca fasciata	
3	6" cal	Orange Plectranthus	144 076 H
		Parsons Shrubbery	
<b>Shrubs &amp; Groundcovers</b>			
1	4" - 6"	Desert Willow	675 575 H
		Chrysothamnus	
22	3" cal	Red Yucca	22 500 H
		Agave parviflora	
3	3" cal	Fallow Reed Grass 2500	4 32 H
		Carex pensilvanica	
22	3" cal	Orange Plectranthus	22 499 H
		Parsons Shrubbery	
4	3" cal	Orange Plectranthus	22 100 H
		Parsons Shrubbery	
3	3" cal	Cyperus tenuiflorus	14 48 H
		Parsons Shrubbery	
3	3" cal	Orange Plectranthus	14 703 H
		Parsons Shrubbery	
3	3" cal	Orange Plectranthus	22 21 H
		Parsons Shrubbery	
1	1" cal	Blue Yucca	3 39 H
		Parsons Shrubbery	
3	3" cal	Orange Plectranthus	22 149 L
		Parsons Shrubbery	
1	1" cal	Orange Plectranthus	22 49 300 L
		Parsons Shrubbery	
1	1" cal	Orange Plectranthus	22 75 L
		Parsons Shrubbery	
3	3" cal	Orange Plectranthus	22 75 L
		Parsons Shrubbery	

**Notes:**

- 1. All plants shall be installed in accordance with the City of Albuquerque Landscape Ordinance.
- 2. The Property Owner shall be responsible for the design and construction of any irrigation system and for the maintenance and watering of all plants and trees shown on this plan.
- 3. The system shall be designed to provide 1 inch of water per week. The system shall be designed to provide 1 inch of water per week. The system shall be designed to provide 1 inch of water per week.



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

The design contained herein remains the property of The Hilltop Landscape Architecture and Contractors and shall not be reproduced or copied in any form without the written consent of The Hilltop Landscape Architecture and Contractors.

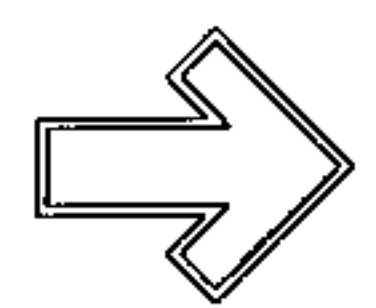
Dreamstyle  
Renaissance Blvd  
Albuquerque, NM

**LANDSCAPE PLAN**

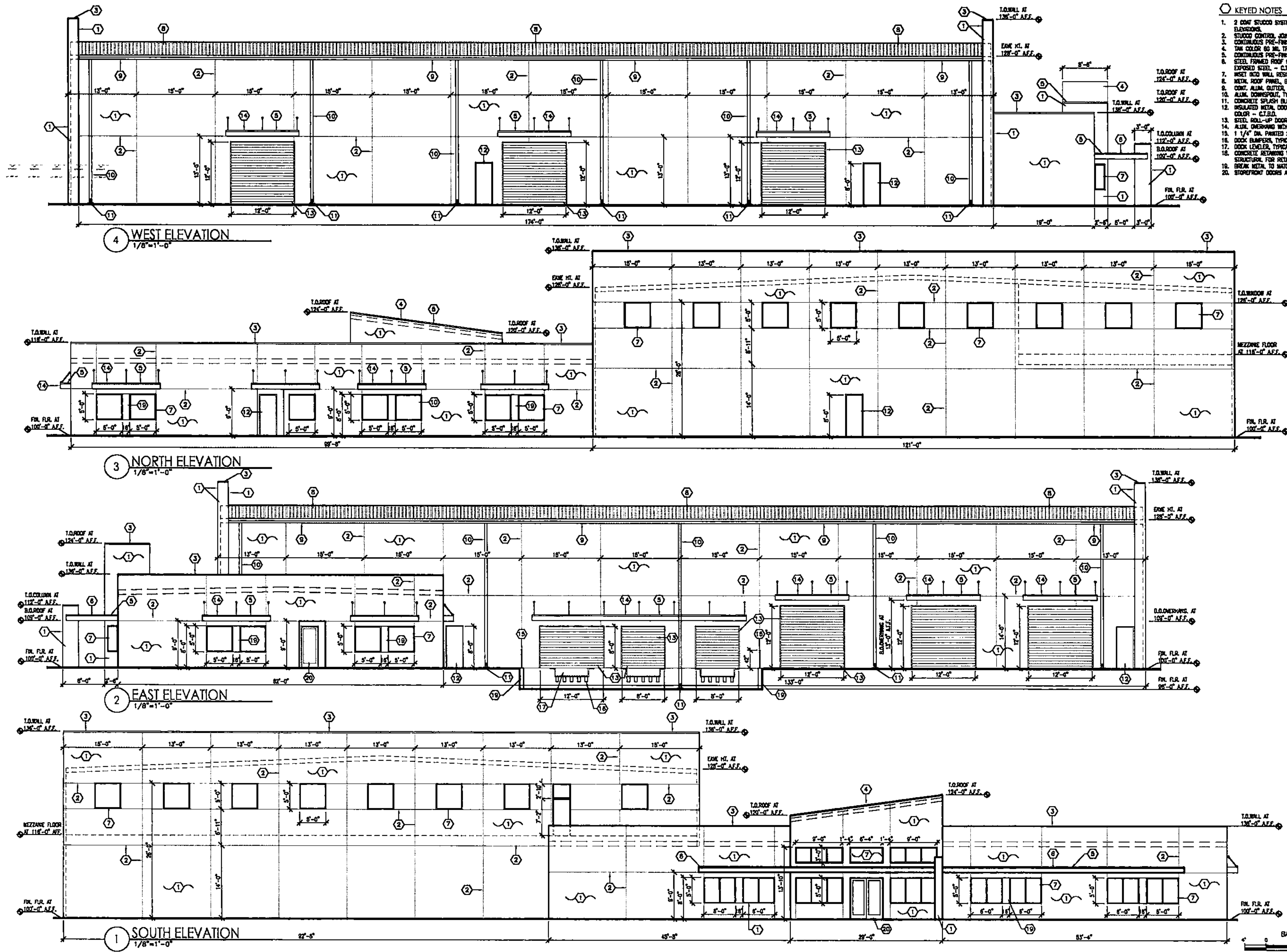
**RBA ARCHITECTURE PC**  
ARCHITECTS

STATE OF NEW MEXICO  
DEPARTMENT OF REVENUE  
LANDSCAPE ARCHITECT

The Hilltop  
1500 Edith NE  
Albuquerque NM 87104  
Cont. Lic. 26-456  
Ph: (505) 838-3630  
Fax: (505) 838-1311



LS-101  
SHEET 1



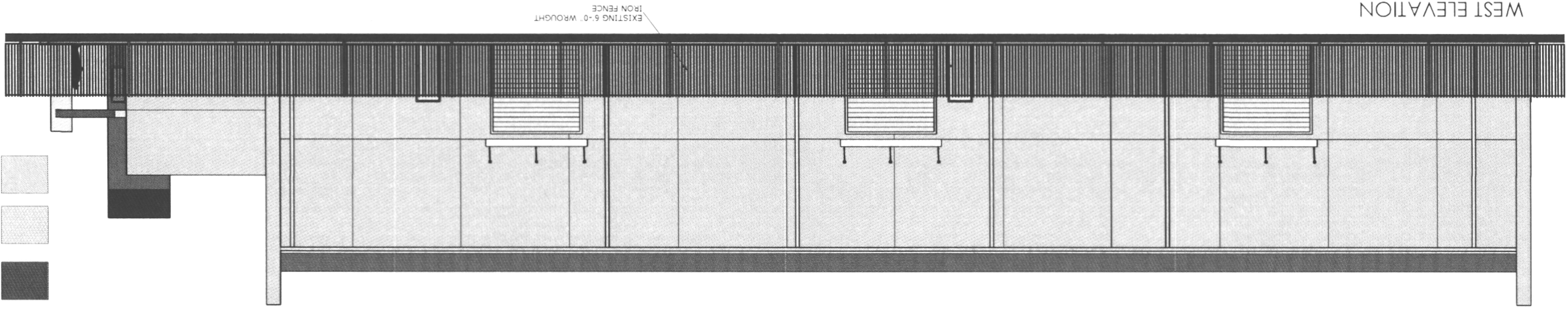
- KEYED NOTES**
- 2 BAY STUCCO SYSTEM - COLOR TO BE DETERMINED (C.T.A.D.), REF: COLORS EXISTING.
  - STUCCO CONTROL JOINT, TYPICAL.
  - CONTINUOUS PRE-FINISHED METAL COPING CAP - C.T.A.D.
  - TAN COLOR 60 MIL TPO ROOFING SYSTEM.
  - CONTINUOUS PRE-FINISHED METAL GROUND SLOP FLASHING - C.T.A.D.
  - STEEL FRAMED ROOF OVERHANG WITH TAN COLOR TPO ROOFING SYSTEM, PAINT ALL EXPOSED STEEL - C.T.A.D.
  - WET SET WALL RESISTORIAL TYPE VINYL CLAD DOUBLE INSULATED WINDOW, C.T.A.D.
  - MECH. ROOF PANEL BY METAL BUILDING MANUFACTURER (M.B.M.) - C.T.A.D.
  - CONT. ALUM. GUTTER, TYPICAL, BY M.B.M. - C.T.A.D.
  - ALUM. DOWNSPOUT, TYP. BY M.B.M. - C.T.A.D.
  - CONCRETE SPLASH BLOCK, TYP.
  - INSULATED METAL DOOR IN M.B.M. FRAME, PAINT DOOR AND FRAME TO MATCH STUCCO COLOR - C.T.A.D.
  - STEEL ROLL-UP DOOR IN STEEL FRAME - C.T.A.D.
  - ALUM. OVERHANG WITH TURN-BUCKLE WITH TPO ROOFING SYSTEM.
  - 1 1/4" DIA. PINKED STEEL QUORFORM - C.T.A.D.
  - DOCK BUMPERS, TYPICAL.
  - DOCK LEADERS, TYPICAL.
  - CONCRETE RETAINING WALL AT DOCK, PAINT COAT TO MATCH STUCCO COLOR, REF: STRUCTURE FOR RETAINING WALL DETAILS.
  - BREAK METAL TO MATCH WINDOW FRAME COLOR, TYPICAL.
  - STREETFRONT DOORS AND FRAME - C.T.A.D.

DREAMSTYLE OFFICE - WAREHOUSE  
 ENLARGED OFFICE FLOOR PLAN  
 ALBUQUERQUE, NM  
 PROJECT # 1465

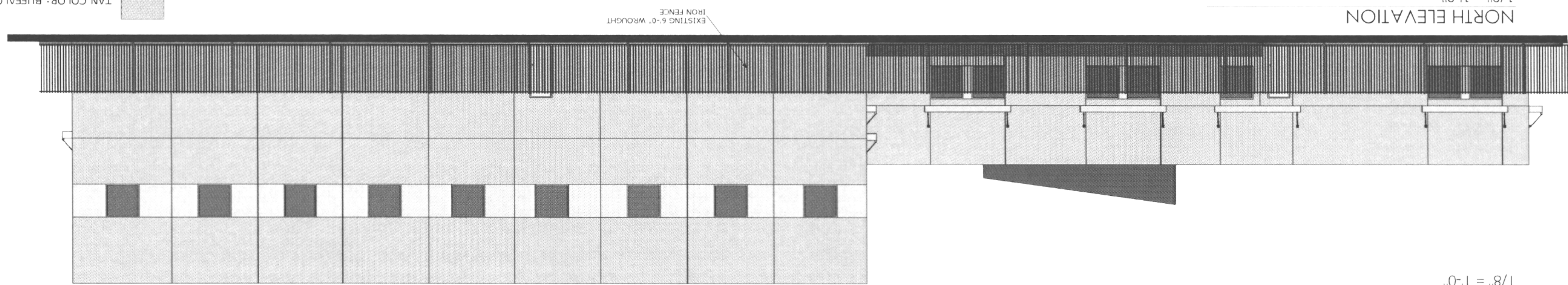
REVISION DATE
DATE 05-15-2015
SHEET NUMBER A-7.0



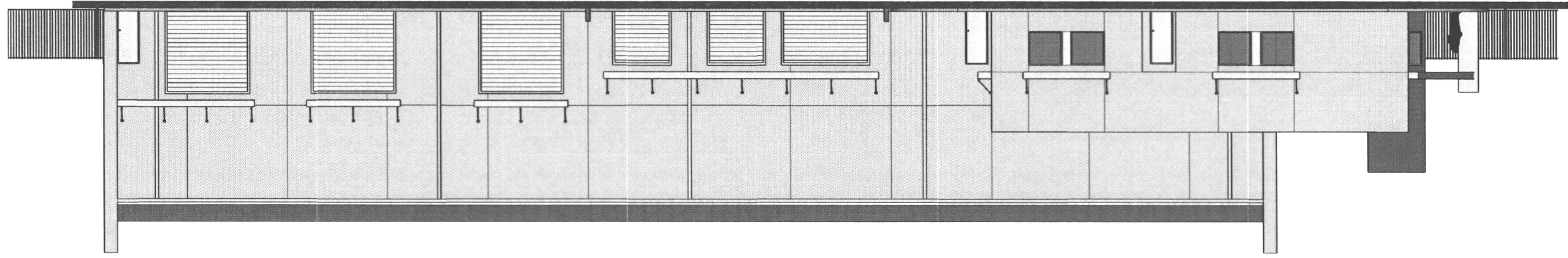
WEST ELEVATION  
1/8" = 1'-0"



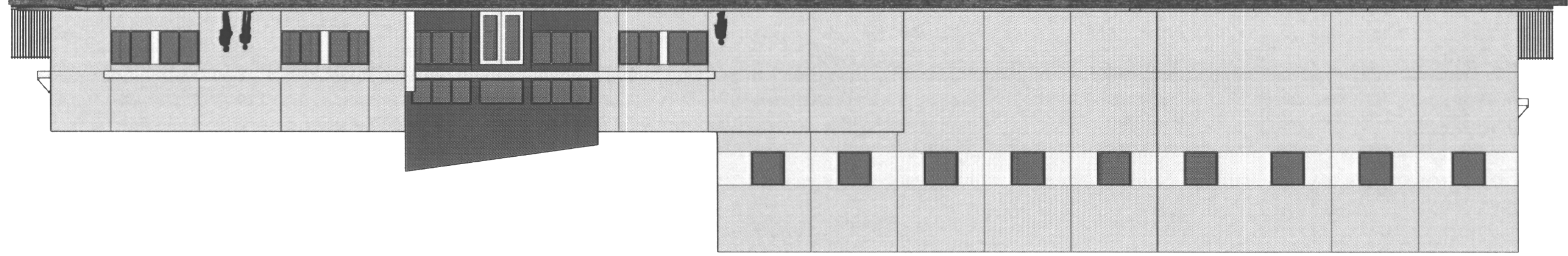
NORTH ELEVATION  
1/8" = 1'-0"



EAST ELEVATION  
1/8" = 1'-0"



SOUTH ELEVATION  
1/8" = 1'-0"



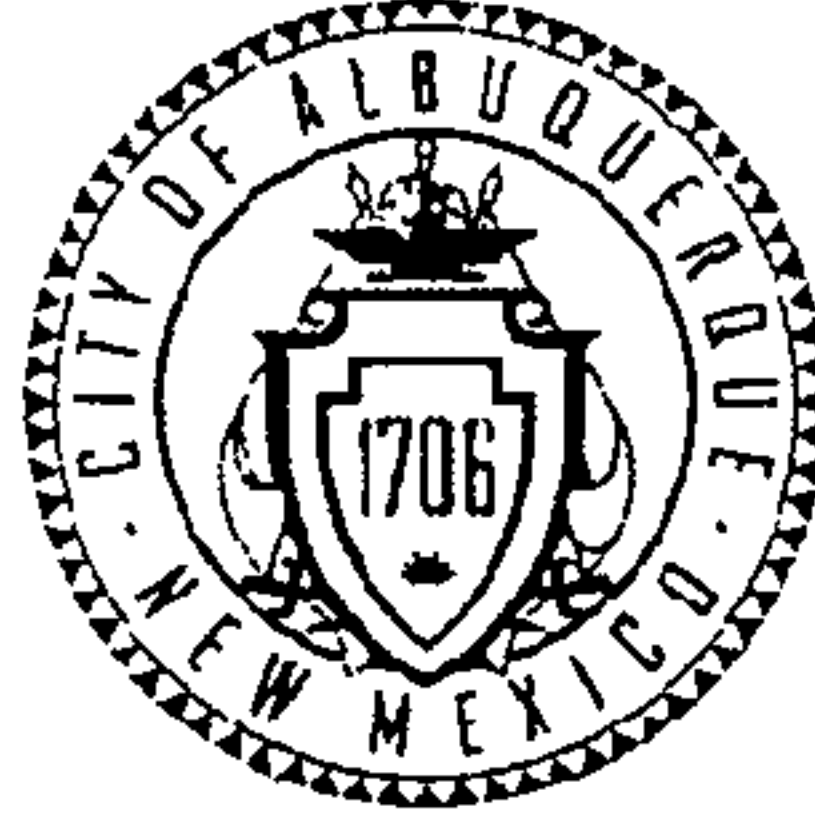
- TAN COLOR: BUFFALO
- RED COLOR: RIO SAND
- PAREX 537
- GREY COLOR: MOONDANCE
- PAREX 537
- FRAME COLOR: SANDTONE

A-7.0  
SHEET NUMBER  
5-12-15  
DATE

RBA ARCHITECTURE PC  
REGISTERED ARCHITECT  
No. 1240  
5/12/2015

REVISION DATE

DREAMSTYLE OFFICE - WAREHOUSE  
EXTERIOR ELEVATIONS  
ALBUQUERQUE, NM  
PROJECT # 1445



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: May 19, 2015

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on May 19, 2015 (date)

TO CONTACT NAME: David McEachern
COMPANY/AGENCY: RBA Architecture PC
ADDRESS/ZIP: 1104 Park Ave SW 87102
PHONE/FAX #: 242-1859 / 242-4630

Contacted the Office of Neighborhood Coordination requesting the contact names for ALL Affected Neighborhood and/or Homeowner Associations affected by their request concerning a Zoning Action or Site Development Plan, etc at Lot 9A1B Renaissance Center located at NW corner of Renaissance Blvd & Chappell Dr between Culture Dr and Chappell Dr. zone map page(s) F-16.

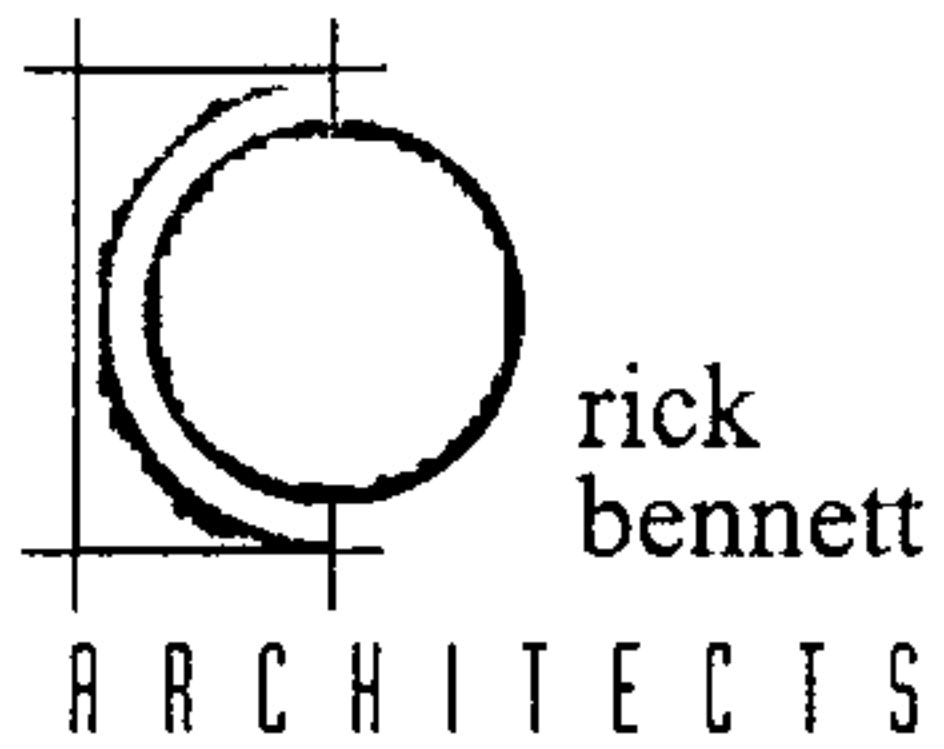
Our records indicate that as of 5-19-15 (date), there were No Affected Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalana A. Carmona

OFFICE OF NEIGHBORHOOD COORDINATION



May 13, 2015

City of Albuquerque Planning Department  
PO Box 1293  
Albuquerque, NM 87013  
(505) 924-3860

**Attn: Jack Cloud**

This submittal is for an Office/Warehouse space located at Renaissance Blvd and Chappell Rd. The project is zoned SU-1, for IP (Industrial Park) uses. Our project falls within the Renaissance Sector Plan, we are requesting an approval from DRB to continue in our permit process. The proposed building consists of a new steel frame building of 6,784 s.f and a metal building warehouse consisting of 21,000 s.f on the ground and a second floor space of offices consisting of 2,565 s.f.

We feel this is an exciting project which meets all zoning and planning requirements. Please contact our office with any questions.

Thank you

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Bennett", with a long horizontal flourish extending to the right.

Rick Bennett

May 12, 2015

City of Albuquerque – Planning Department  
Attn: Jack Cloud  
Plaza Del Sol  
600 2<sup>nd</sup> NW  
Albuquerque, NM 87102

**RE: Agent authorization for DRB for Site Development for Building Permit**

I, Larry Chavez, owner, give RBA Architects the right to act as agent for the purpose of this application being submitted for Design Review Board Site Development Plan approval.

Please contact my office with any questions.

Thank you

Sincerely,

A handwritten signature in black ink, appearing to read "Larry Chavez", written in a cursive style.

Larry Chavez  
Dreamstyle  
1460 Renaissance Blvd NE  
Albuquerque, NM 87107  
lchavez@rbafs.com

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

NA 5. Cross Sections

Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.

X 6. In addition to the above, the following must be provided for DRB applications:

A Conceptual onsite drainage system

B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

## SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

X 1. Fire hydrant locations, existing and proposed.

X 2. Distribution lines

X 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.

X 4. Existing water, sewer, storm drainage facilities (public and/or private).

X 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

X 1. Scale (minimum of 1/8" or as approved by Planning Staff)

X 2. Bar Scale

X 3. Detailed Building Elevations for each facade

X a. Identify facade orientation (north, south, east, & west)

X b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)

? X c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.

X d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)

→ ? X 4. Dimensions, colors and materials of Refuse Enclosure

X 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

### B. Signage

\_\_\_ 1. Site location(s)

\_\_\_ 2. Sign elevations to scale

\_\_\_ 3. Dimensions, including height and width

\_\_\_ 4. Sign face area - dimensions and square footage clearly indicated

\_\_\_ 5. Lighting

\_\_\_ 6. Materials and colors for sign face and structural elements

\_\_\_ 7. Verification of adequate sight distance



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
  - A. Type, location and size of trees (common and/or botanical names)
  - B. Type and location of all ground cover material (organic/inorganic)
  - C. Existing vegetation, indicating whether it is to be preserved or removed
  - D. Ponding areas either for drainage or landscaping/recreational use
  - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
  - A. Required and Provided Landscape Area – square footage and percent
  - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

## SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

### B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## B. Proposed Development

### 1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

### 2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.

- 1. **Location and typical dimensions**, including handicapped spaces

- 2. **Calculations:** spaces required: 54 provided: 54

Handicapped spaces (included in required total) required: 4 provided: 4

Motorcycle spaces (in addition to required total) required: 3 provided: 3

- B. Bicycle parking & facilities

- 1. Bicycle racks, spaces required: 3 provided: 3

- 2. Bikeways and other bicycle facilities, if applicable

- C. Public Transit

- 1. Bus facilities, including routes, bays and shelters existing or required

- D. Pedestrian Circulation

- 1. Location and dimensions of all sidewalks and pedestrian paths

- 2. Location and dimension of drive aisle crossings, including paving treatment

- 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk

- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)

- 1. Ingress and egress locations, including width and curve radii dimensions

- 2. Drive aisle locations, including width and curve radii dimensions

- 3. End aisle locations, including width and curve radii dimensions

- 4. Location & orientation of refuse enclosure, with dimensions

- 5. Curb cut locations and dimensions

- 6. Existing and proposed street widths, right-of-way widths and curve radii

- 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions

- 8. Location of traffic signs and signals related to the functioning of the proposal

- 9. Identify existing and proposed medians and median cuts

### 3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.**

\_\_\_\_\_  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

**Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

## Accompanying Material

A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan

B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 – SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale:  
1.0 acre or less 1" = 10'                      Over 5 acres 1" = 50'  
1.0 - 5.0 acres 1" = 20'                      Over 20 acres 1" = 100'  
[other scales, if approved by staff]
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
9. Phases of development including location and square footages of structures, circulation, parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site