

Renaissance Blvd, N.E.

Weighted E Method

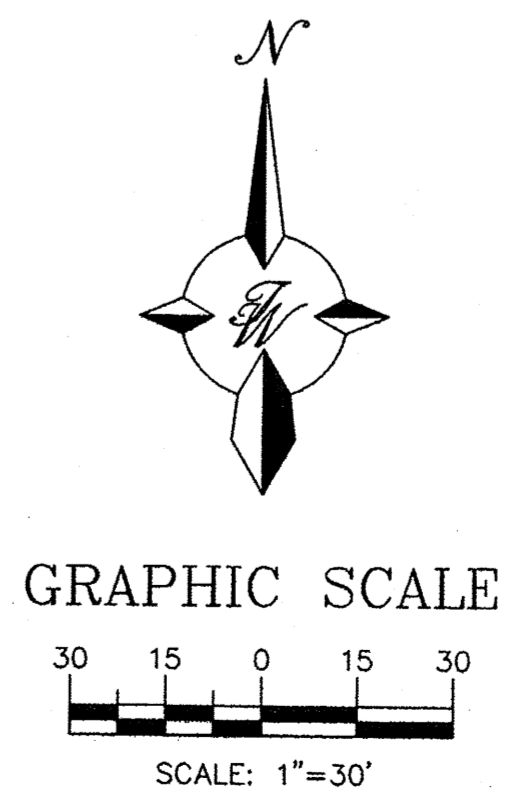
On-Site Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
1	41,955	0.96	0%	0	2%	0.02	0%	0.00	98%	0.94	2,093	0.168	4.48	1,319	0.106	2.98
2	28,583	0.66	0%	0	8%	0.05	0%	0.00	92%	0.60	2,013	0.110	2.96	1,255	0.069	1.95
3	3,220	0.07	0%	0	0%	0.00	0%	0.00	100%	0.07	2,120	0.013	0.35	1,340	0.008	0.23
4	16,617	0.38	0%	0	8%	0.03	0%	0.00	92%	0.35	2,013	0.064	1.72	1,255	0.040	1.13
5	3,577	0.08	0%	0	100%	0.08	0%	0.00	0%	0.00	0.780	0.005	0.19	0.280	0.002	0.08
6	8,593	0.20	0%	0	25%	0.05	0%	0.00	75%	0.15	1,785	0.029	0.81	1,075	0.018	0.51
7	67,804	1.56	0%	0	30%	0.47	0%	0.00	70%	1.09	1,718	0.223	6.19	1,022	0.133	3.86
8	14,040	0.32	0%	0	100%	0.32	0%	0.00	0%	0.00	0.780	0.021	0.73	0.280	0.008	0.31
											16.68					

Equations:			
Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$			
Volume = Weighted D * Total Area			
Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$			

Excess Precipitation, E (inches)			
Zone	2	100-Year	10-Year
E _a	0.53	0.13	
E _b	0.78	0.28	
E _c	1.13	0.52	
E _d	2.12	1.34	

Peak Discharge (cfs/acre)			
Zone	2	100-Year	10-Year
Q _a	1.56	0.38	
Q _b	2.28	0.95	
Q _c	3.14	1.71	
Q _d	4.70	3.14	

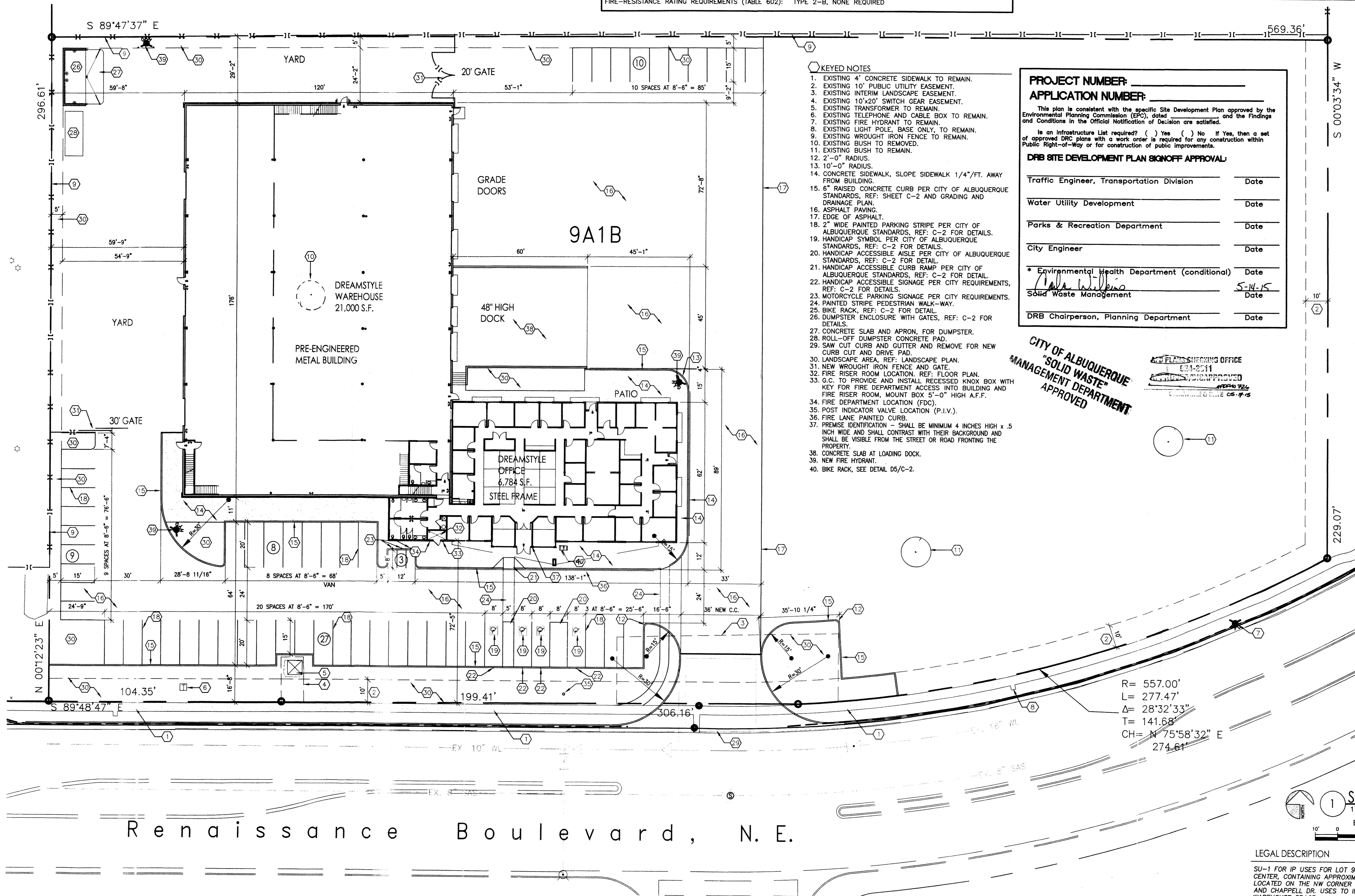
PROJECT: 1010484
 DATE: 6-17-15
 APP: 15-70204 (S3P)



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	TRACT 9A RENAISSANCE CENTER GRADING AND DRAINAGE PLAN	DRAWN BY BJF DATE 06/18/15 2015009-GRB
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # D2 JOB # 2015009

INTERNATIONAL BUILDING CODE 2009	
OCCUPANCY AND USE CLASSIFICATION:	B-OFFICE S2-STORAGE BUILDING WITH AUTOMATIC SPRINKLER SYSTEM
TYPE OF CONSTRUCTION (TABLE 503):	2-B
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503):	3 STORY, 23,000 S.F. (B GROUP)
SECTION 907 FIRE ALARM AND DETECTION SYSTEM:	NOT REQUIRED FOR B GROUP
ACTUAL BUILDING AREA:	B, OFFICE (1ST FLOOR) = 6,784 S.F. S2, WAREHOUSE = 21,000 S.F. B, OFFICE (2ND FLOOR WH) = 2,565 S.F. TOTAL GROSS BUILDING S.F. = 30,349 S.F. (GROSS S.F.)
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601):	TYPE 2-B, NONE REQUIRED
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 602):	TYPE 2-B, NONE REQUIRED

PARKING REQUIREMENTS	
PARKING REQUIRED:	FIRST FLOOR OFFICE AREA: 6,784 S.F./200 = 34 SPACES FIRST FLOOR WAREHOUSE AREA: 21,000 S.F./2000 = 11 SPACES SECOND FLOOR OFFICE WH AREA: 2,565 S.F./300 = 9 SPACES TOTAL PARKING SPACES: = 54 SPACES
H.C. SPACES REQUIRED:	51 TO 100 SPACES = 4 H.C. SPACES (1 VAN SPACE)
PARKING PROVIDED:	29- 8'6"x20' PARKING SPACES 21- 8'6"x15' PARKING SPACES 4- 8'0"x20' H.C. PARKING SPACES
TOTAL PARKING PROVIDED:	54 3- 4'0"x8' MOTORCYCLE SPACES



- KEYED NOTES**
- EXISTING 4" CONCRETE SIDEWALK TO REMAIN.
 - EXISTING 10' PUBLIC UTILITY EASEMENT.
 - EXISTING INTERIM LANDSCAPE EASEMENT.
 - EXISTING 10"x20" SWITCH GEAR EASEMENT.
 - EXISTING TRANSFORMER TO REMAIN.
 - EXISTING TELEPHONE AND CABLE BOX TO REMAIN.
 - EXISTING FIRE HYDRANT TO REMAIN.
 - EXISTING LIGHT POLE, BASE ONLY, TO REMAIN.
 - EXISTING WROUGHT IRON FENCE TO REMAIN.
 - EXISTING BUSH TO REMOVED.
 - EXISTING BUSH TO REMAIN.
 - 2'-0" RADIUS.
 - 10'-0" RADIUS.
 - CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
 - 6" RAISED CONCRETE CURB PER CITY OF ALBUQUERQUE STANDARDS, REF: SHEET C-2 AND GRADING AND DRAINAGE PLAN.
 - ASPHALT PAVING.
 - EDGE OF ASPHALT.
 - 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAILS.
 - HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAILS.
 - HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAIL.
 - HANDICAP ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAIL.
 - HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: C-2 FOR DETAILS.
 - MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
 - PAINTED STRIPE PEDESTRIAN WALK-WAY.
 - BIKE RACK, REF: C-2 FOR DETAIL.
 - DUMPSTER ENCLOSURE WITH GATES, REF: C-2 FOR DETAILS.
 - CONCRETE SLAB AND APRON, FOR DUMPSTER.
 - ROLL-OFF DUMPSTER CONCRETE PAD.
 - SAW CUT CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD.
 - LANDSCAPE AREA, REF: LANDSCAPE PLAN.
 - NEW WROUGHT IRON FENCE AND GATE.
 - FIRE RISER ROOM LOCATION, REF: FLOOR PLAN.
 - G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO BUILDING AND FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F.
 - FIRE DEPARTMENT LOCATION (FDC).
 - POST INDICATOR VALVE LOCATION (P.I.V.).
 - FIRE LANE PAINTED CURB.
 - PREMISE IDENTIFICATION - SHALL BE MINIMUM 4 INCHES HIGH x 5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 - CONCRETE SLAB AT LOADING DOCK.
 - NEW FIRE HYDRANT.
 - BIKE RACK, SEE DETAIL D5/C-2.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

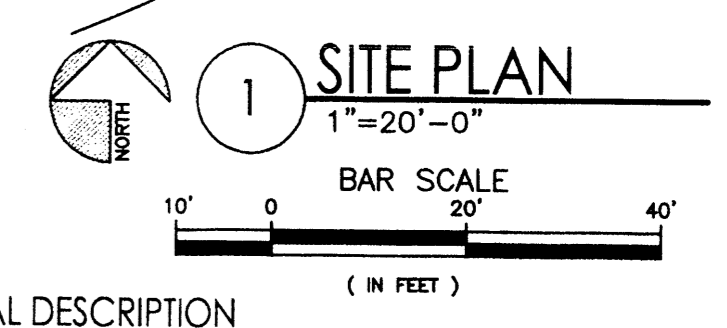
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>Anna Williams</i> Solid Waste Management	5-14-15 Date
DRB Chairperson, Planning Department	Date

**CITY OF ALBUQUERQUE
 "SOLID WASTE"
 MANAGEMENT DEPARTMENT
 APPROVED**

PLANS CHECKING OFFICE
 681-8011
 APPROVED
 5/14/15
 05-17-15

R= 557.00'
 L= 277.47'
 Δ= 28°32'33"
 T= 141.68'
 CH= N 75°58'32" E
 274.61'

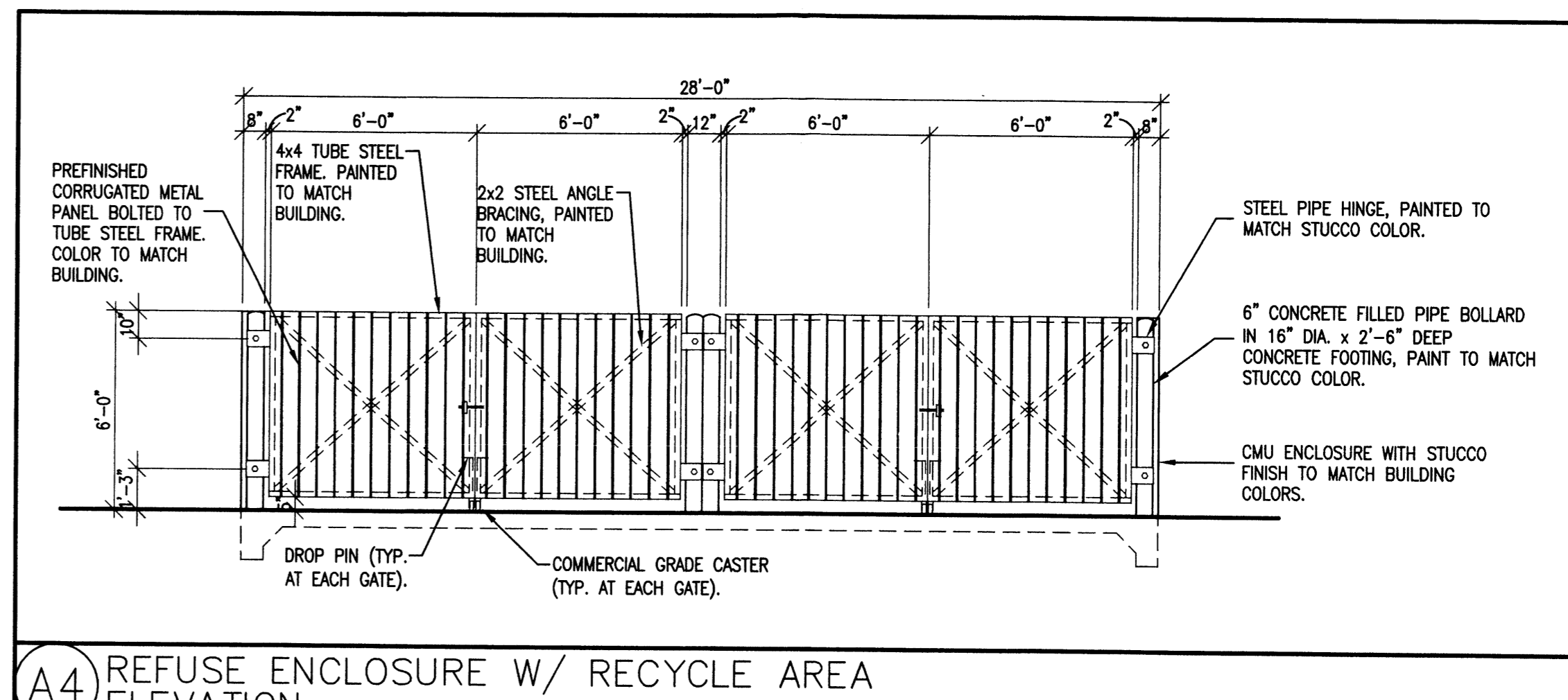
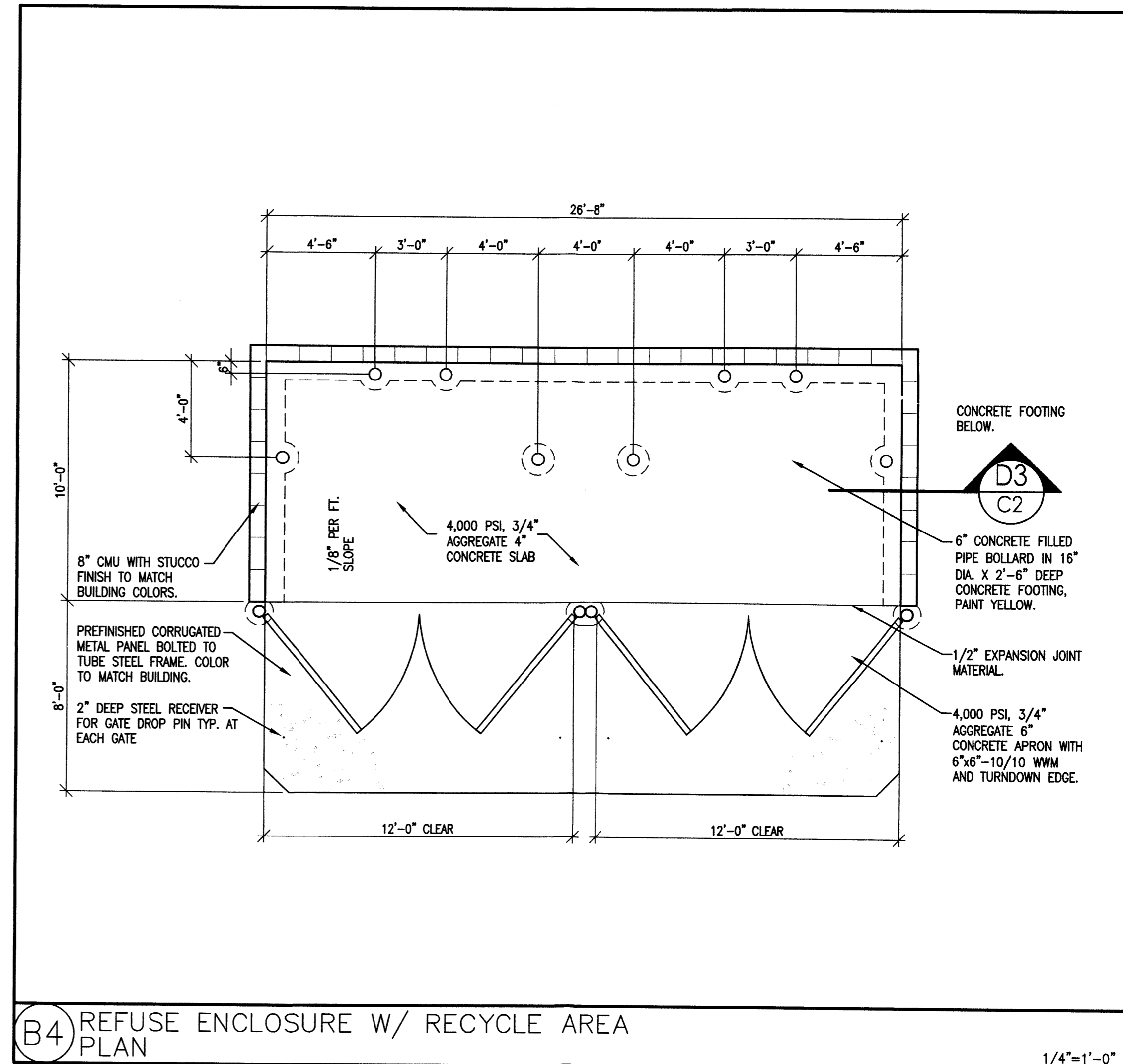
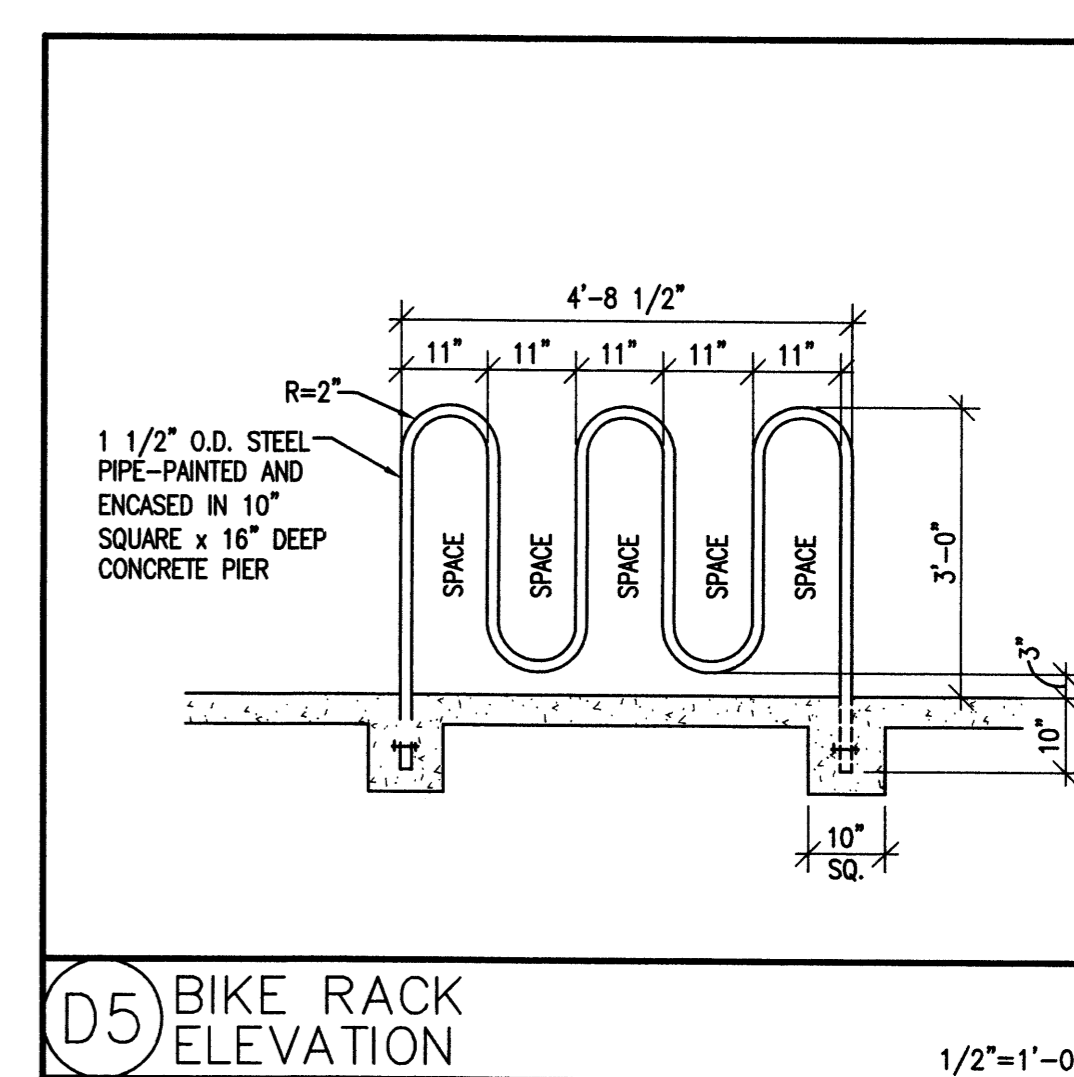
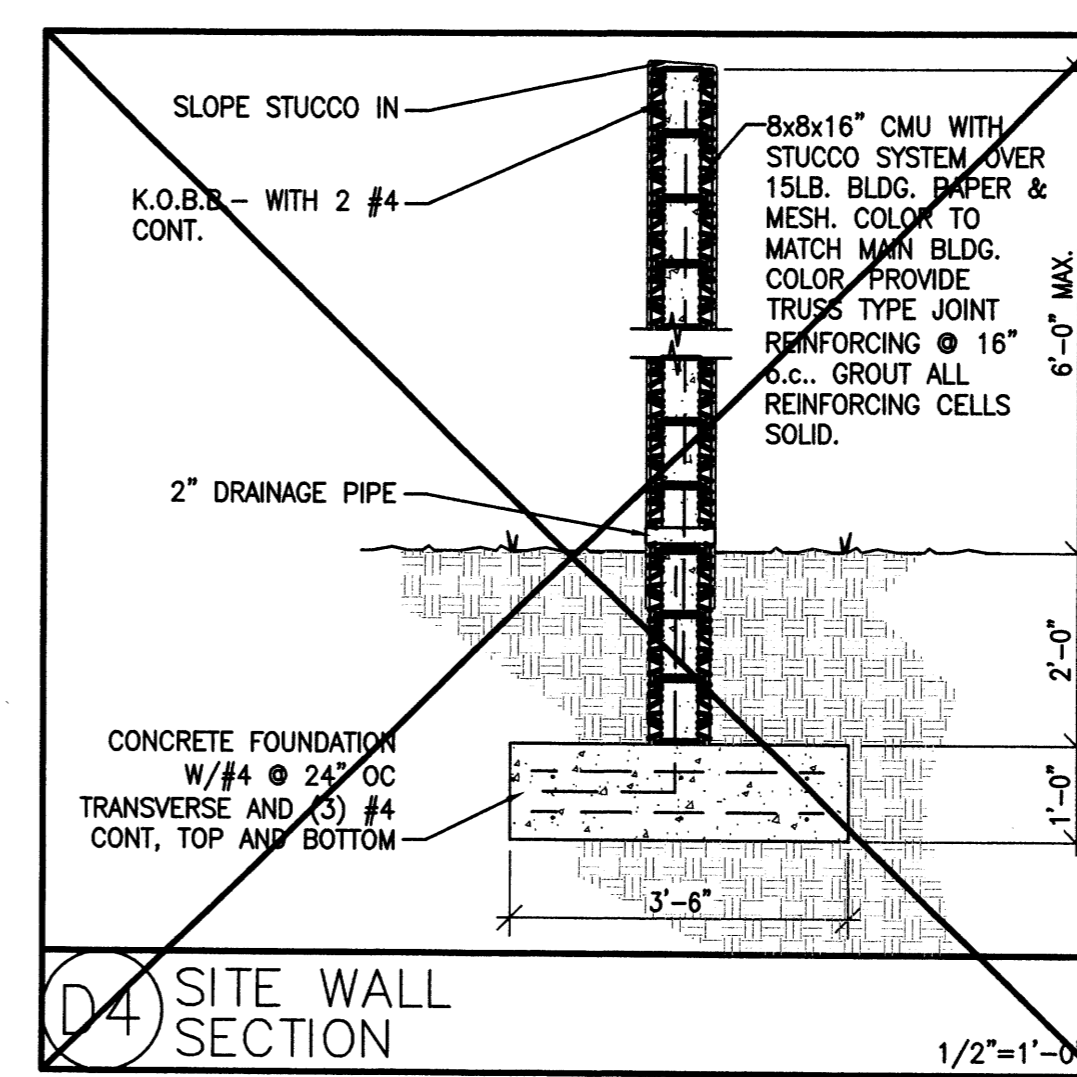
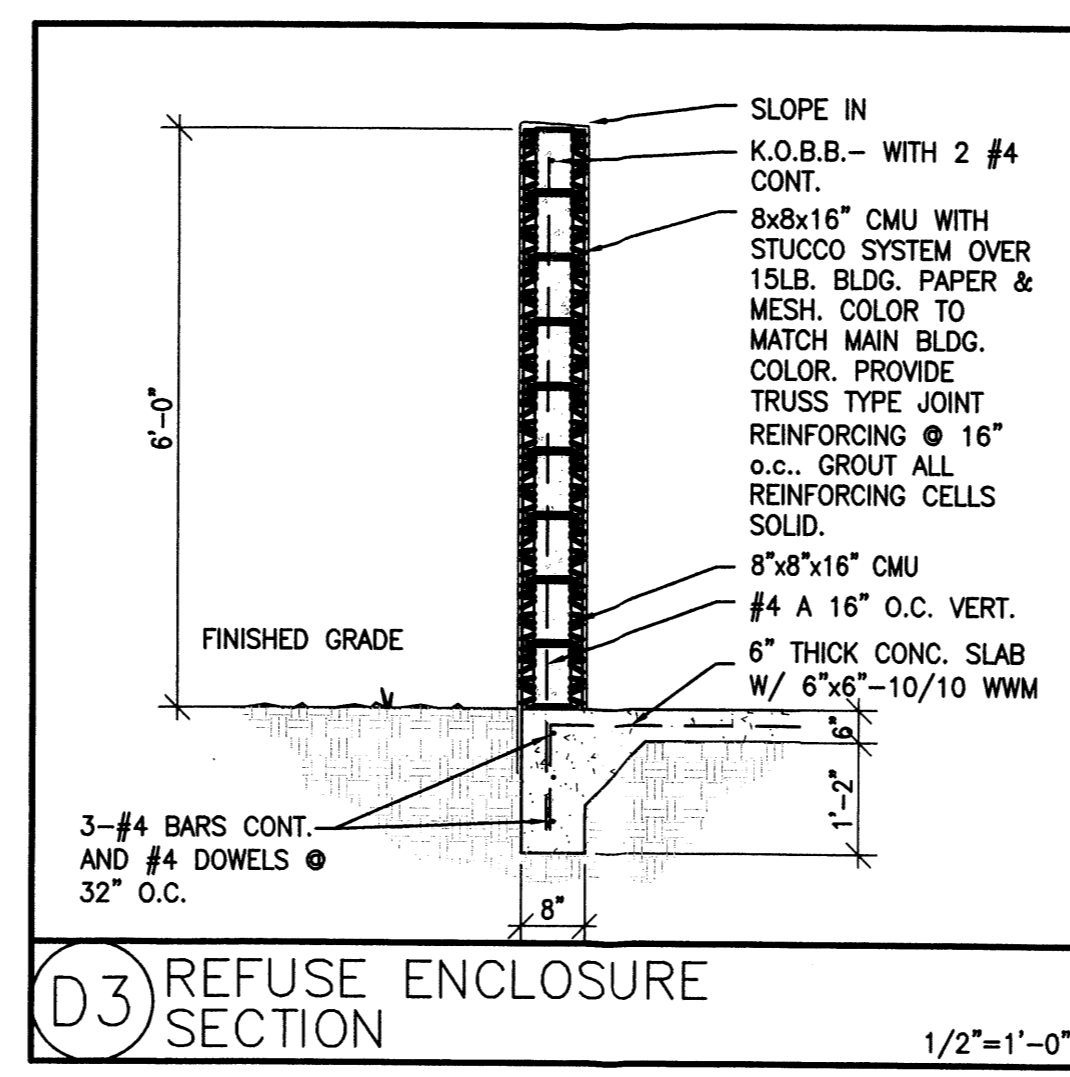
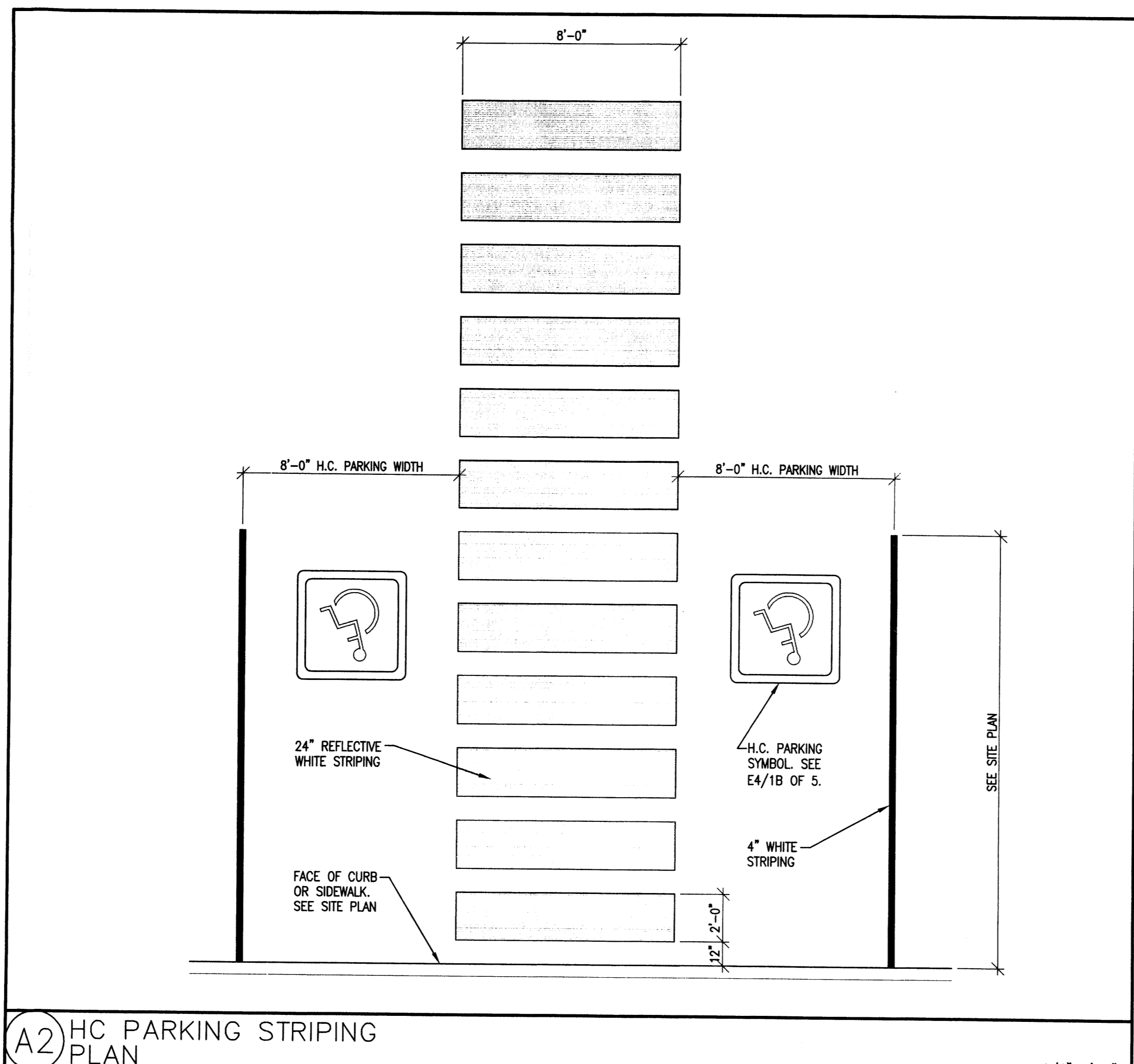
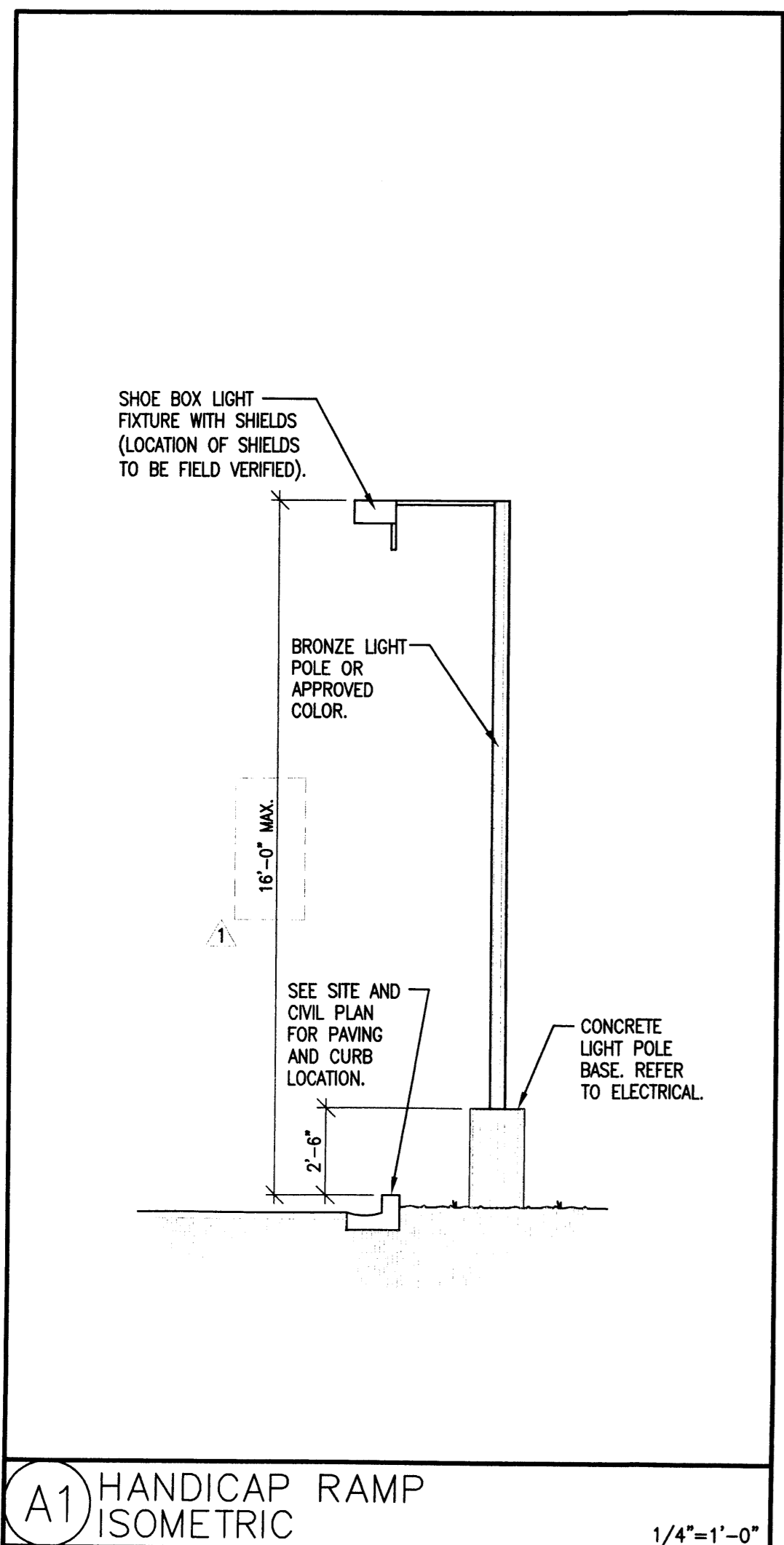
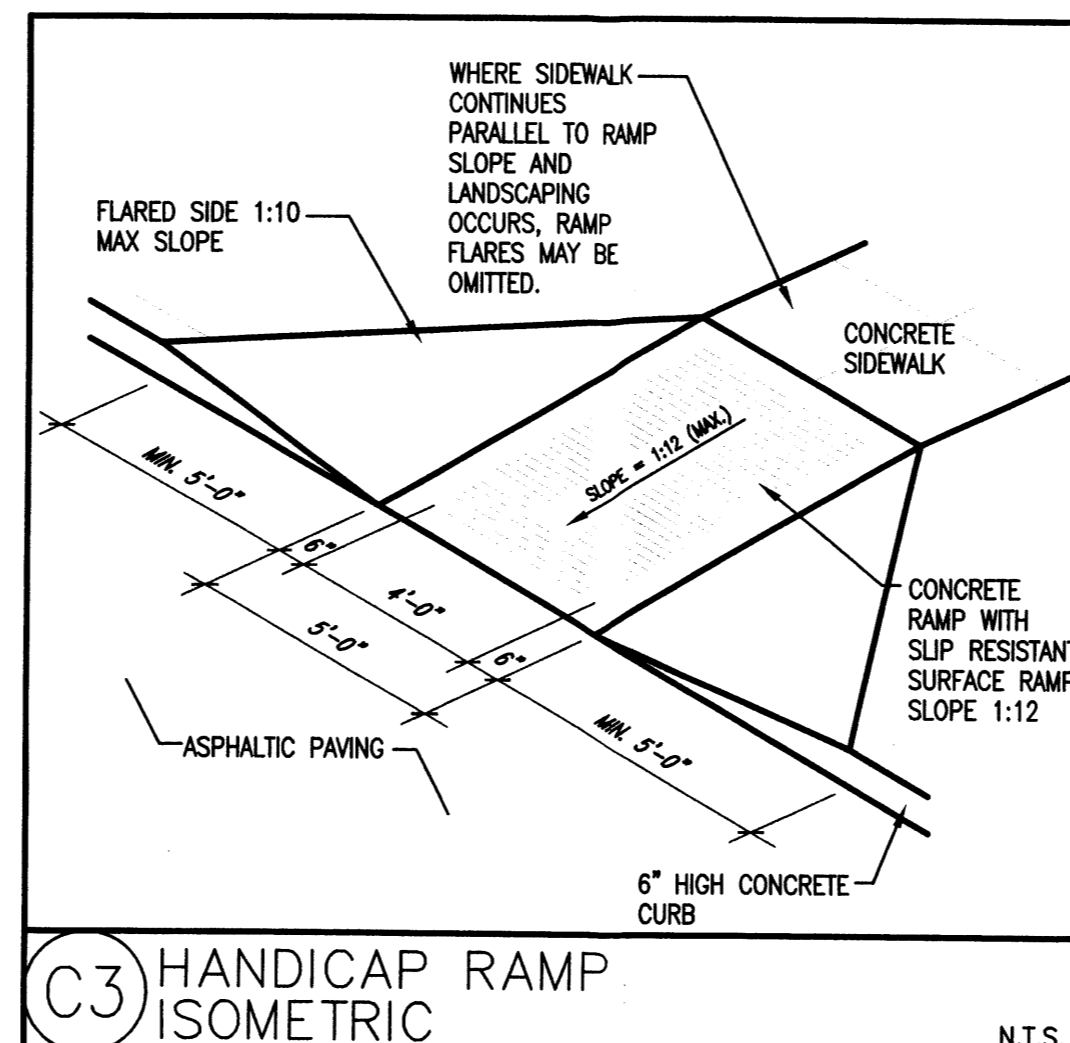
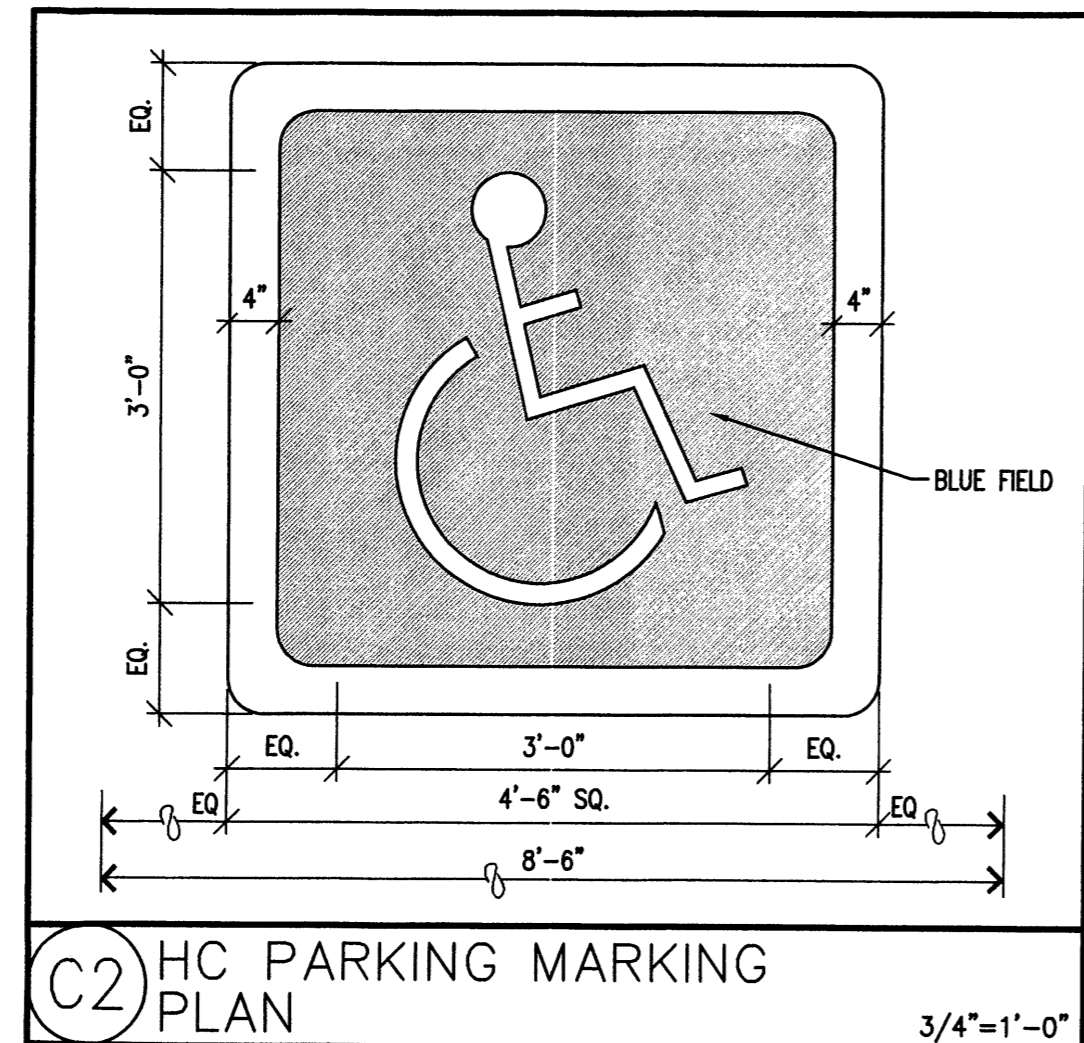
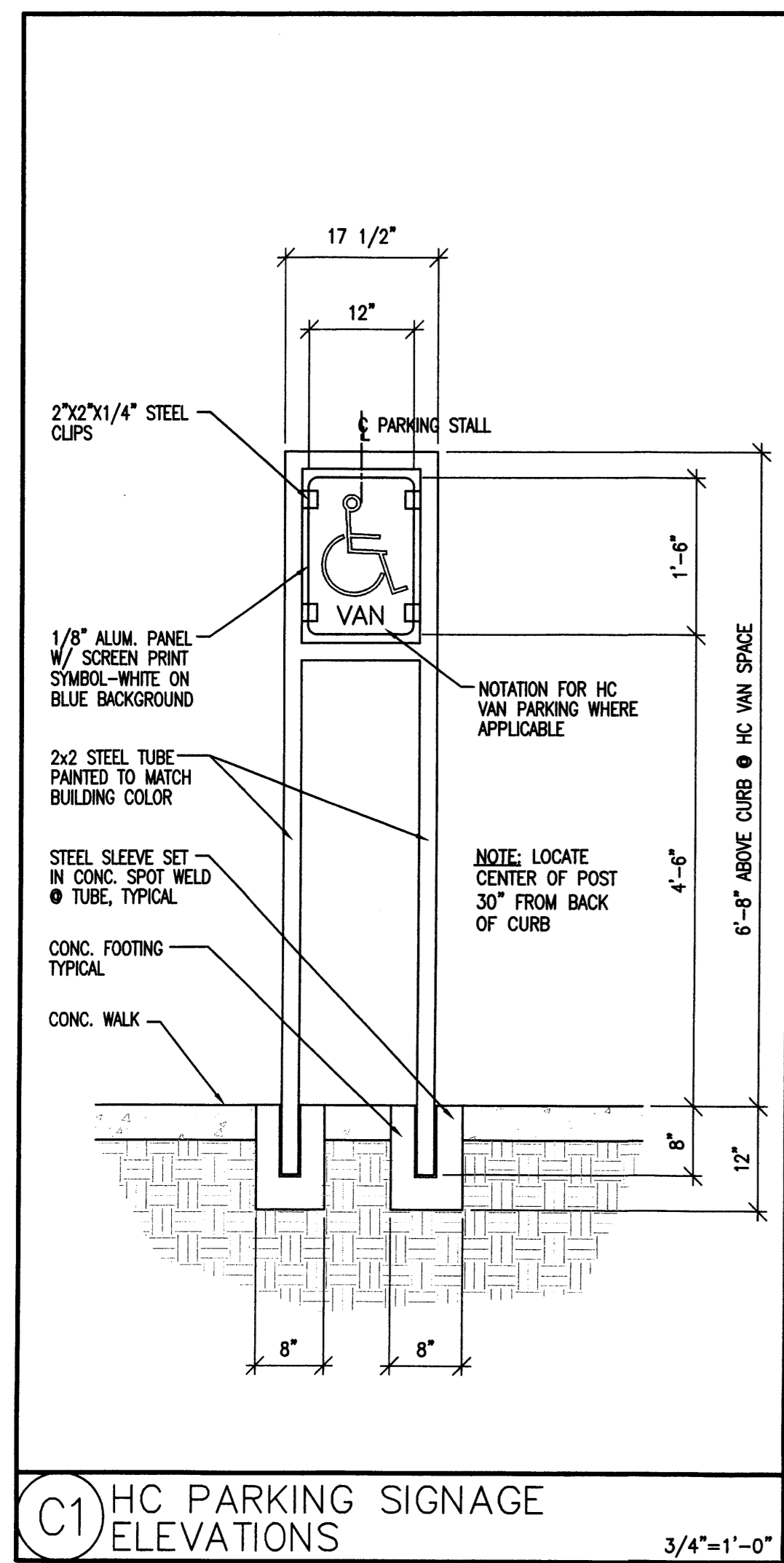


LEGAL DESCRIPTION
 SU-1 FOR IP USES FOR LOT 9A1B RENAISSANCE CENTER, CONTAINING APPROXIMATELY 3.74 ACRES AND LOCATED ON THE NW CORNER OF RENAISSANCE BLVD. AND CHAPPELL DR. USES TO INCLUDE OFFICES WITH WAREHOUSE SPACE.

PROJECT: 1010-18-1
 DATE: 6-17-15
 APP: 15-702041(SB)

DREAMSTYLE WAREHOUSE
 SITE PLAN
 ALBUQUERQUE, NM
 PROJECT #1465

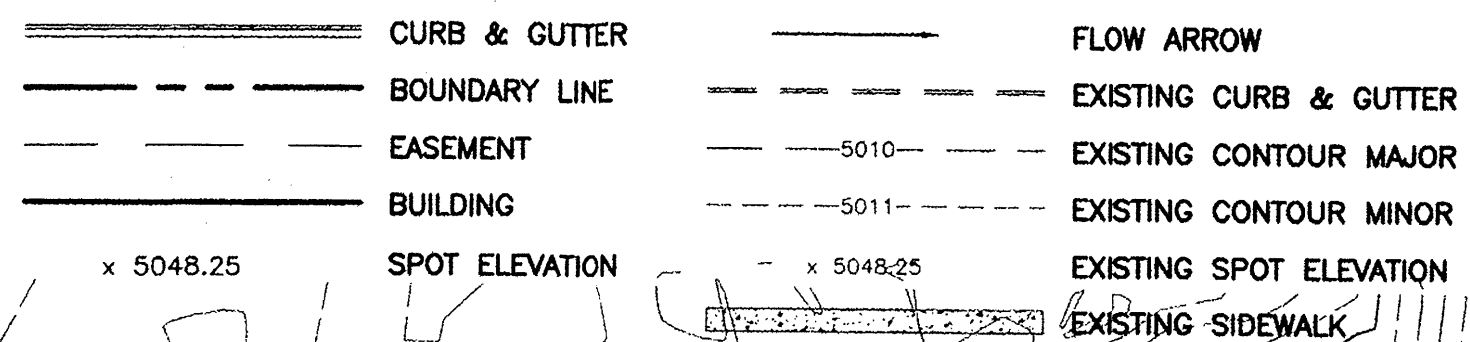
REVISION DATE	
DATE	5-12-2015
SHEET NUMBER	C-1



DREAMSTYLE WAREHOUSE
SITE DETAILS
ALBUQUERQUE, NM
PROJECT # 1465

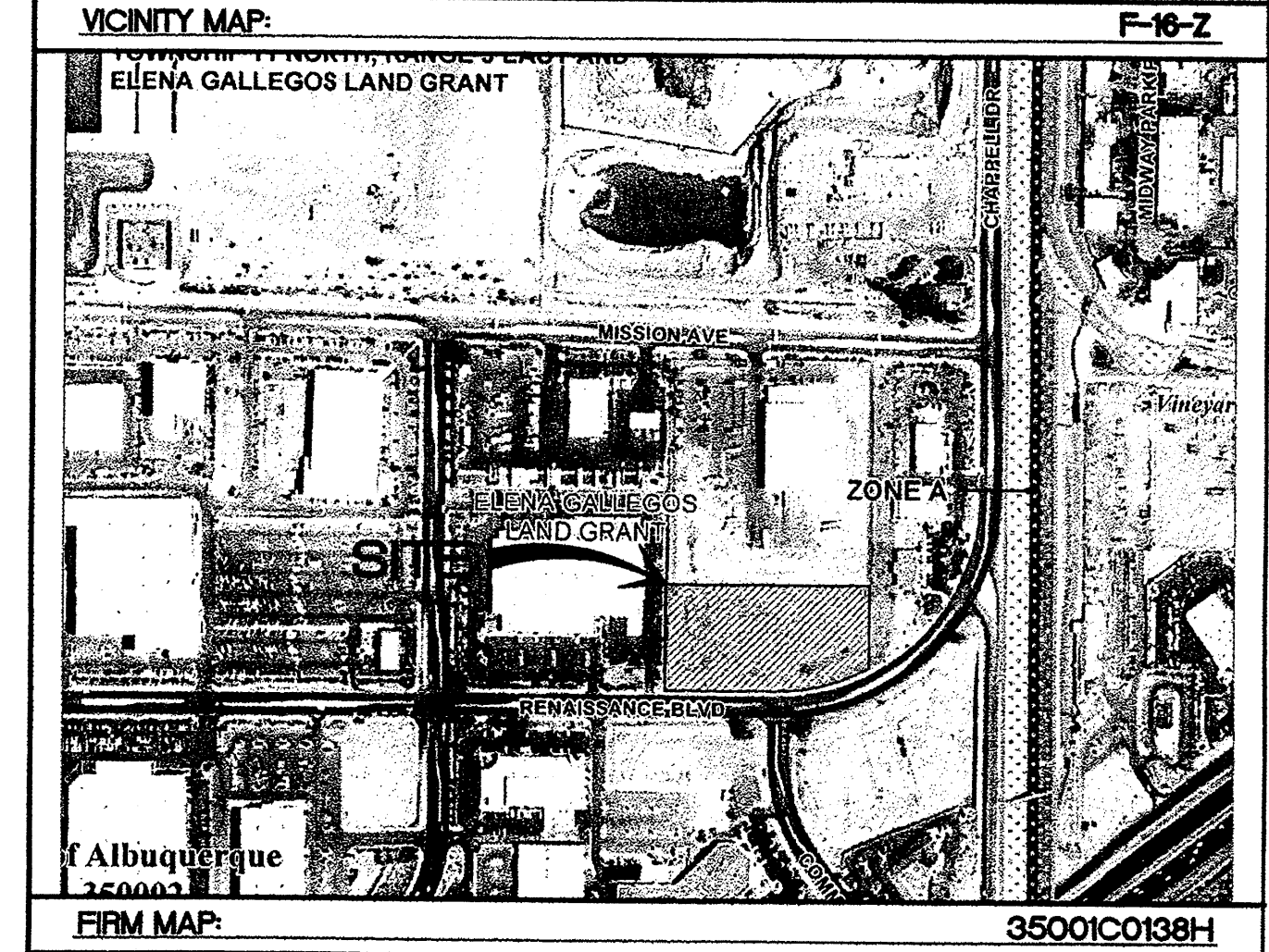
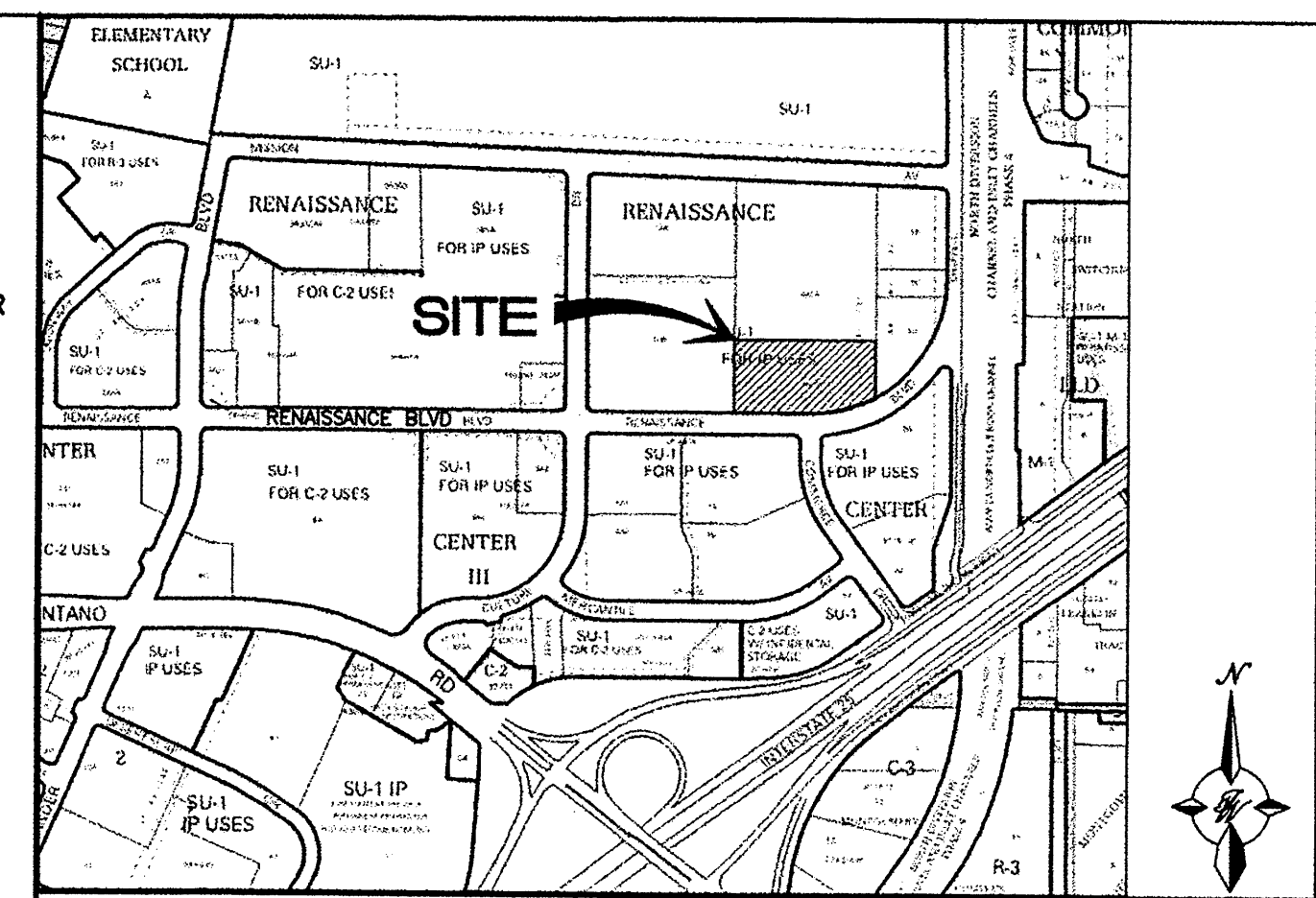
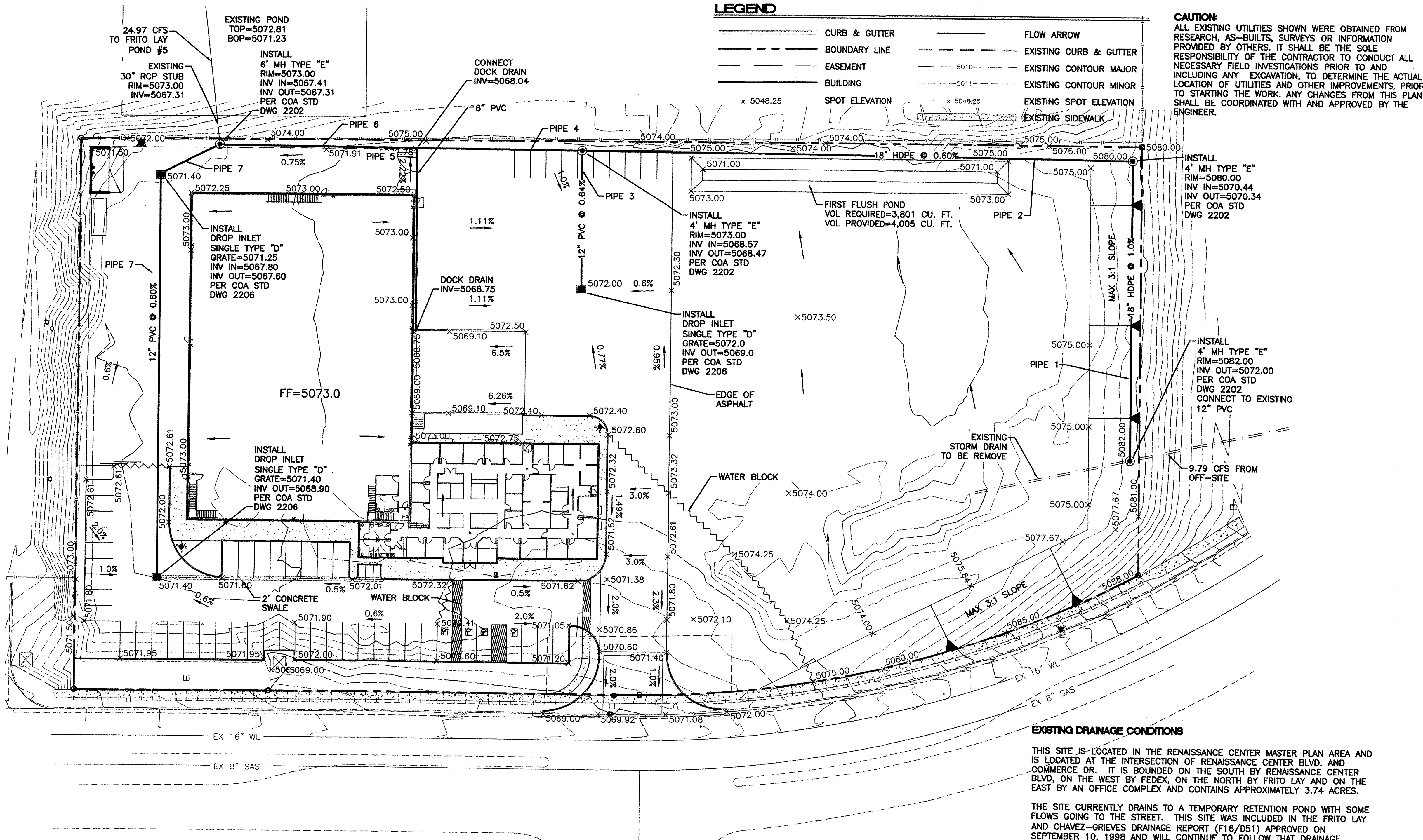
REVISION DATE
DATE 05-18-2015
SHEET NUMBER C-2.00

LEGEND



CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.60	1.77	0.375	10.61	9.79	5.54
2	18	0.60	1.77	0.375	10.61	9.79	5.54
3	12	0.64	0.79	0.250	3.72	3.68	4.69
4	24	0.60	3.14	0.500	22.84	13.47	4.29
5	6	2.22	0.20	0.125	1.09	0.35	1.78
6	24	0.60	3.14	0.500	22.84	13.82	4.40
7	18	0.60	1.77	0.375	10.61	4.46	2.52
8	12	0.60	0.79	0.250	3.60	2.96	3.77

Manning's Equation:
 $Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

A = Area
 R = D/4
 S = Slope
 n = 0.01 HDPE/PVC

FIRST FLUSH CALCULATIONS:

3.08 ACRES OF IMPERVIOUS AREA = 134,165 SQ. FT
 $134,165 \text{ SQ. FT} \cdot (0.34/12) = 3,801 \text{ CU. FT} = 0.087 \text{ AC-FT}$
 OF VOLUME REQUIRED TO BE RETAINED ON-SITE.

EXISTING DRAINAGE CONDITIONS

THIS SITE IS LOCATED IN THE RENAISSANCE CENTER MASTER PLAN AREA AND IS LOCATED AT THE INTERSECTION OF RENAISSANCE CENTER BLVD. AND COMMERCE DR. IT IS BOUNDED ON THE SOUTH BY RENAISSANCE CENTER BLVD, ON THE WEST BY FEDEX, ON THE NORTH BY FRITO LAY AND ON THE EAST BY AN OFFICE COMPLEX AND CONTAINS APPROXIMATELY 3.74 ACRES.

THE SITE CURRENTLY DRAINS TO A TEMPORARY RETENTION POND WITH SOME FLOWS GOING TO THE STREET. THIS SITE WAS INCLUDED IN THE FRITO LAY AND CHAVEZ-GRIEVES DRAINAGE REPORT (718/051) APPROVED ON SEPTEMBER 10, 1998 AND WILL CONTINUE TO FOLLOW THAT DRAINAGE SCHEME THAT ALLOWS ALL OF THE DRAINAGE TO FLOW TO FRITO LAY DETENTION POND #5.

THE SITE DOES ACCEPT OFF-SITE FLOWS (9.79 CFS) FROM THE OFFICE COMPLEX WHICH IS ALSO CONTAINED IN THE TEMPORARY RETENTION POND. NO OTHER OFF-SITE FLOWS ENTER THE SITE. AS SHOWN ON THE FIRM MAP THERE ARE NO FLOOD PLAINS ON THIS PROPERTY.

PROPOSED DRAINAGE CONDITIONS

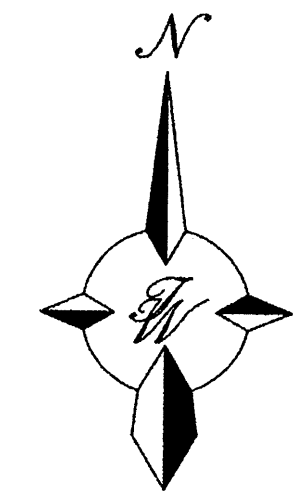
THIS SITE WILL CONTAIN SEVEN BASINS WITH FIVE OF THE BASINS DRAINING TO AN EXISTING STORM SEWER STUB THAT IS CONNECTED TO FRITO LAY POND #5. THE EXISTING STORM SEWER PIPE FROM THE OFFICE COMPLEX WILL BE INTERCEPTED WITH A NEW STORM SEWER AND ROUTED AROUND THE PERIMETER OF THE SITE AND CONNECT TO THE EXISTING STUB MENTIONED ABOVE.

BASINS 1, 2 AND 4 WILL DRAIN TO AREA INLETS THAT ARE CONNECTED TO THE STORM SEWER. BASIN 3 WILL DRAIN THE TRUCK DOCK AREA THROUGH A STORM DRAIN OPENING ON THE NORTH SIDE OF THE DOCK.

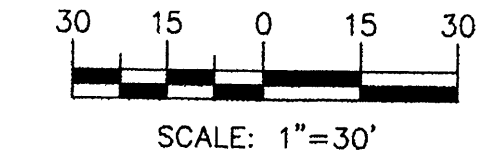
BASINS 5 AND 6 WILL DRAIN TO THE STREET GENERATING 1.62 CFS. THE ORIGINAL FRITO LAY DRAINAGE PLAN ALLOWED FOR 0.66 CFS TO BE DISCHARGED TO THE STREET. THE ADDITIONAL 0.96 CFS BEING DISCHARGED WILL BE COMPENSATED BY REMOVING THAT FLOW FROM THE OVERALL SYSTEM WITH THE REQUIREMENT OF THE FIRST FLUSH POND FOUND IN BASIN 7.

BASIN 7 WILL REMAINED UNDEVELOPED AT THIS TIME AND WILL DRAIN TO A FIRST FLUSH POND DESIGNED TO HOLD 4,008 CUBIC FEET OR WATER WHICH IS GREATER THAN THE 3,801 CUBIC FEET REQUIRED. THE POND WILL OVERFLOW TO THE AREA INLET LOCATED IN BASIN 1 NEAR THE TRUCK DOCK AND BE CONVEYED TO FRITO LAY DETENTION POND #5.

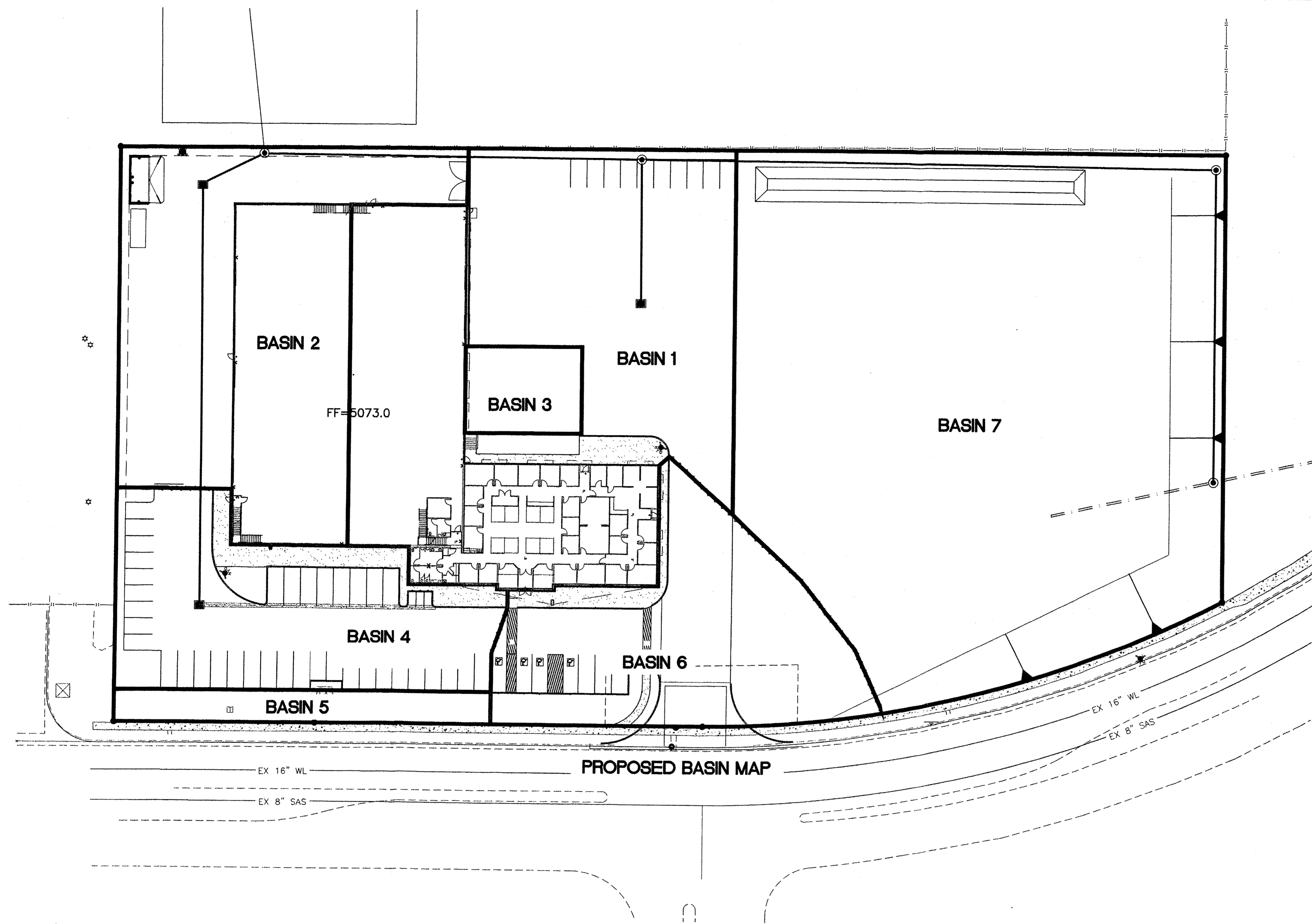
THIS SITE WILL DISCHARGE A TOTAL OF 24.16 CFS TO FRITO LAY POND #5 WHICH IS LESS THAN THE 24.97 ALLOWED IN THE APPROVED DRAINAGE PLAN. THAT TOTAL INCLUDES THE 9.79 CFS BEING PASSED THROUGH FROM THE ADJACENT OFFICE COMPLEX.



GRAPHIC SCALE



	TRACT 9A RENAISSANCE CENTER GRADING AND DRAINAGE PLAN	DRAWN BY BJF DATE 05/18/15
	ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com



Weighted E Method

On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment				100-Year			10-Year						
			%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs				
1	34,424	0.79	0%	0	2%	0.02	0%	0.00	98%	0.77	2.093	0.138	3.68	1.319	0.087	2.45
2	28,583	0.66	0%	0	8%	0.05	0%	0.00	92%	0.60	2.013	0.110	2.96	1.255	0.069	1.95
3	3,220	0.07	0%	0	0%	0.00	0%	0.00	100%	0.07	2.120	0.013	0.35	1.340	0.008	0.23
4	14,542	0.33	0%	0	8%	0.03	0%	0.00	92%	0.31	2.013	0.056	1.50	1.255	0.035	0.99
5	3,377	0.08	0%	0	100%	0.08	0%	0.00	0%	0.00	0.780	0.005	0.18	0.280	0.002	0.07
6	14,470	0.33	0%	0	15%	0.05	0%	0.00	85%	0.28	1.919	0.053	1.44	1.181	0.033	0.93
7	64,488	1.48	0%	0	30%	0.44	0%	0.00	70%	1.04	1.718	0.212	5.88	1.022	0.126	3.68
		3.74						3.08					15.99			

Equations:

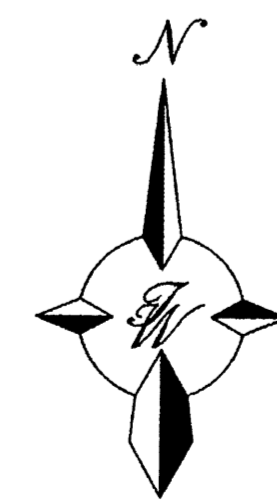
Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

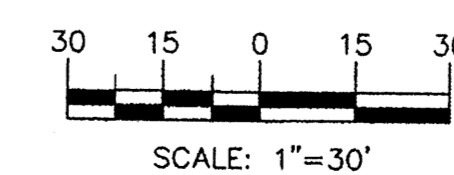
Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)			
Zone 2	100-Year	10-Year	
E _a	0.53	0.13	
E _b	0.78	0.28	
E _c	1.13	0.52	
E _d	2.12	1.34	

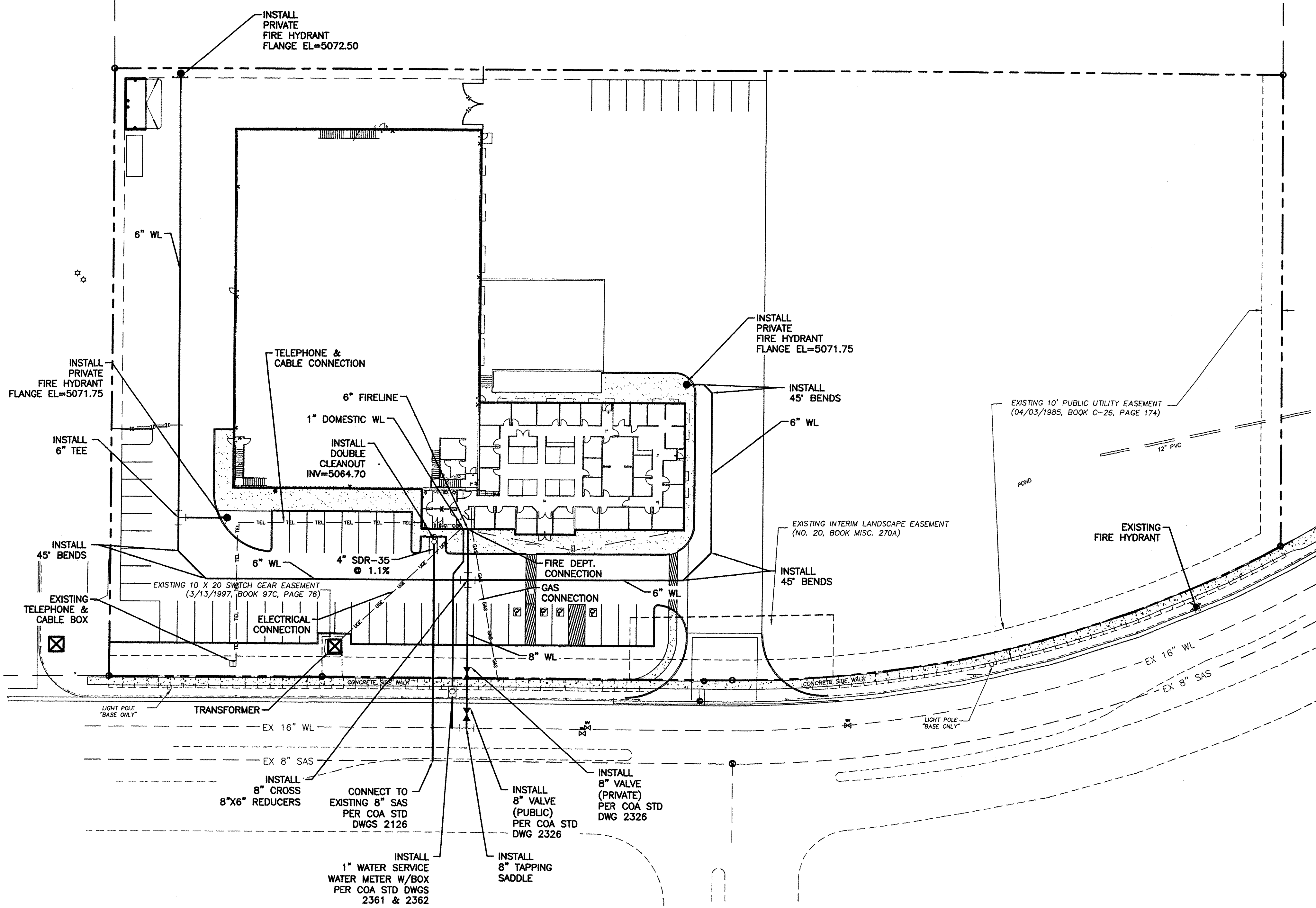
Peak Discharge (cfs/acre)			
Zone 2	100-Year	10-Year	
Q _a	1.56	0.38	
Q _b	2.28	0.95	
Q _c	3.14	1.71	
Q _d	4.70	3.14	



GRAPHIC SCALE



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		TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com



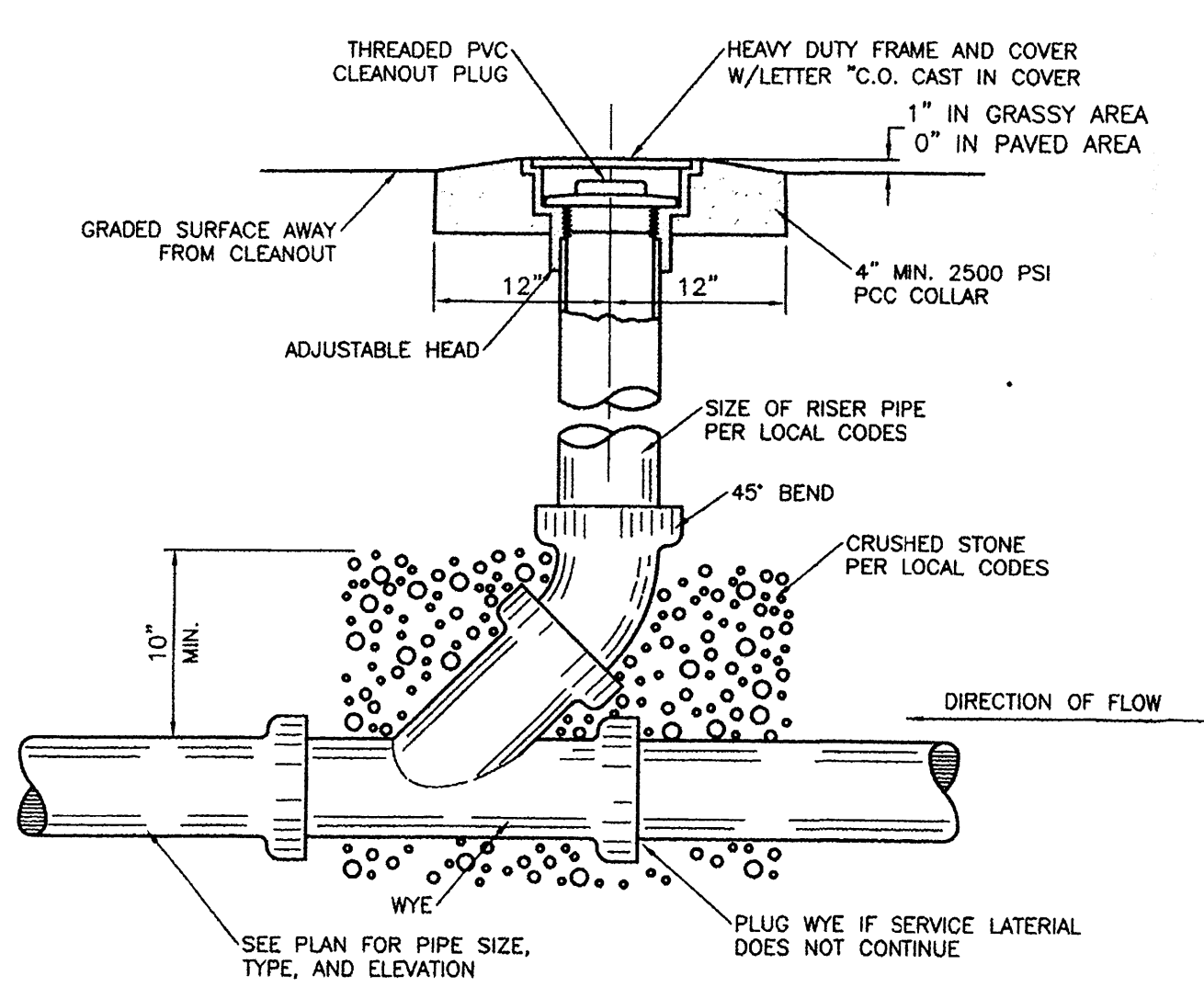
LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	6" SAS
	8" WL
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

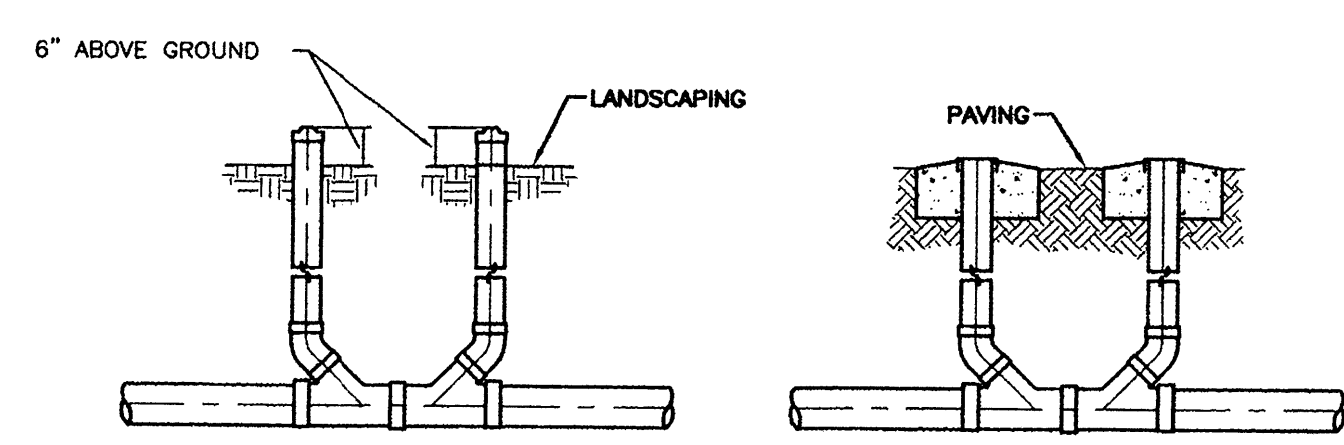
- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- | APPROVAL | NAME | DATE |
|-----------|------|------|
| INSPECTOR | | |

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

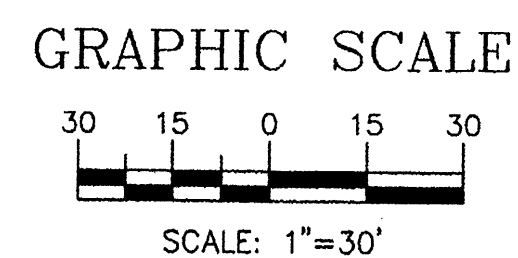
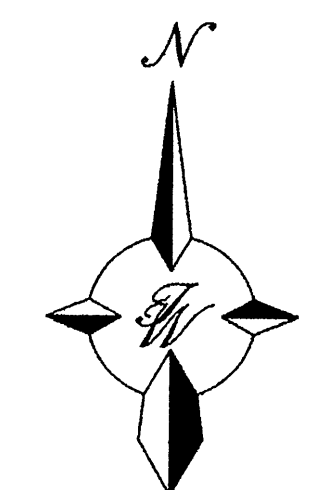
- GENERAL UTILITY NOTES:**
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
 7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.



SANITARY SEWER CLEAN-OUT
 NTS



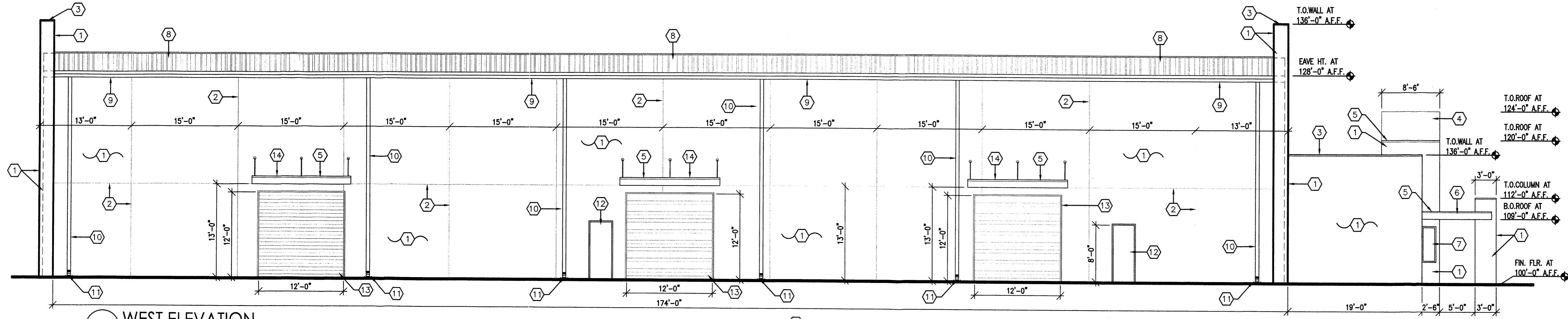
SANITARY SEWER DOUBLE CLEAN-OUTS
 NTS



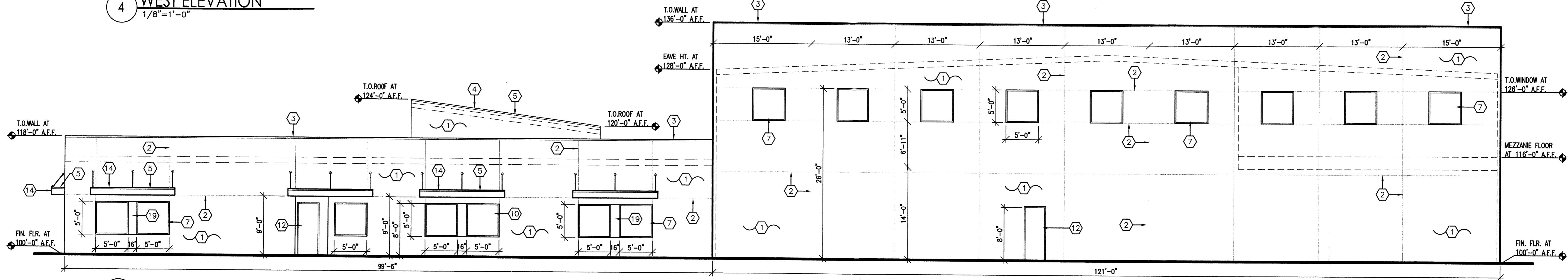
ENGINEER'S SEAL	TRACT 9A RENAISSANCE CENTER	DRAWN BY BJF	
		DATE 05/18/15	
		MASTER UTILITY PLAN	2015009_MUB
		SHEET #	D3
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	JOB #	2015009

KEYED NOTES

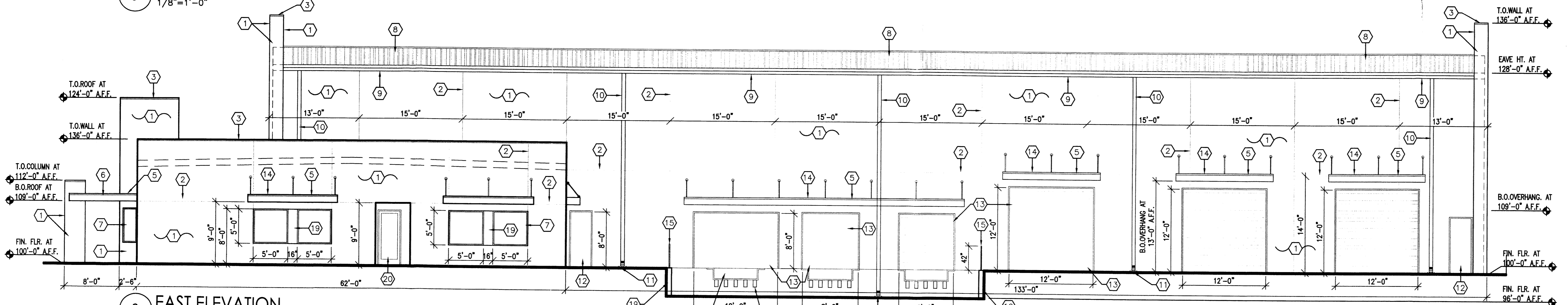
1. 2 COAT STUCCO SYSTEM - COLOR TO BE DETERMINED (C.T.B.D.), REF: COLORS ELEVATIONS.
2. STUCCO CONTROL JOINT, TYPICAL.
3. CONTINUOUS PRE-FINISHED METAL COPING CAP - C.T.B.D.
4. TAN COLOR 60 MIL TPO ROOFING SYSTEM
5. CONTINUOUS PRE-FINISHED METAL GRAVEL STOP FLASHING - C.T.B.D.
6. STEEL FRAMED ROOF OVERHANG WITH TAN COLOR TPO ROOFING SYSTEM, PAINT ALL EXPOSED STEEL - C.T.B.D.
7. INSET INTO WALL RESIDENTIAL TYPE VINYL CLAD DOUBLE INSULATED WINDOW, C.T.B.D.
8. METAL ROOF PANEL, BY METAL BUILDING MANUFACTURER (M.B.M.) - C.T.B.D.
9. CONT. ALUM. GUTTER, TYPICAL, BY M.B.M. - C.T.B.D.
10. ALUM. DOWNSPOUT, TYP., BY M.B.M. - C.T.B.D.
11. CONCRETE SPLASH BLOCK, TYP.
12. INSULATED METAL DOOR IN H.M. FRAME, PAINT DOOR AND FRAME TO MATCH STUCCO COLOR - C.T.B.D.
13. STEEL ROLL-UP DOOR IN STEEL FRAME - C.T.B.D.
14. ALUM. OVERHANG WITH TURN-BUCKLE WITH T.P.O. ROOFING SYSTEM.
15. 1 1/4" DIA. PAINTED STEEL GUARDRAIL - C.T.B.D.
16. DOCK BUMPERS, TYPICAL.
17. DOCK LEVELER, TYPICAL.
18. CONCRETE RETAINING WALL AT DOCK, PARGE COAT TO MATCH STUCCO COLOR, REF: STRUCTURAL FOR RETAINING WALL DETAILS.
19. BREAK METAL TO MATCH WINDOW FRAME COLOR, TYPICAL.
20. STOREFRONT DOORS AND FRAME - C.T.B.D.



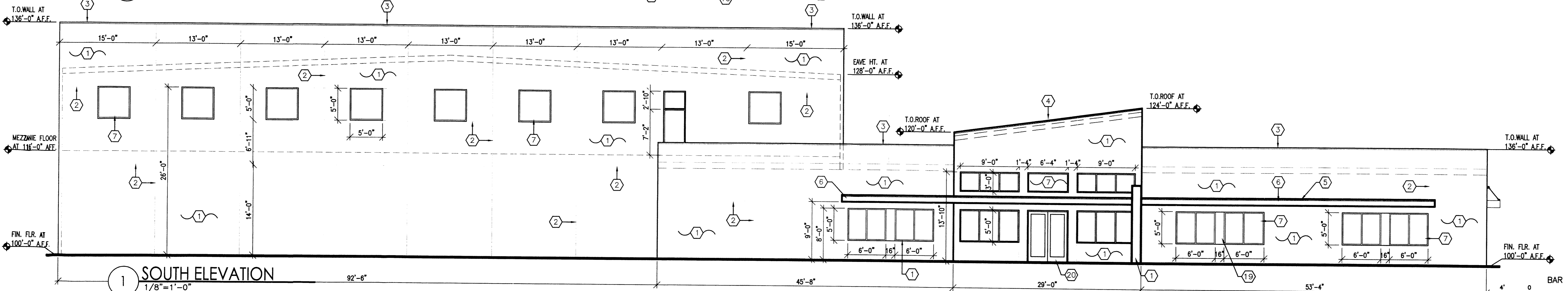
4 WEST ELEVATION
1/8"=1'-0"



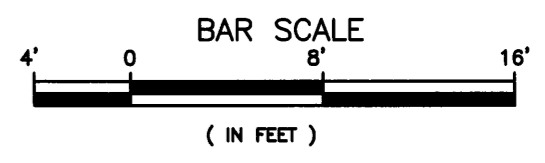
3 NORTH ELEVATION
1/8"=1'-0"



2 EAST ELEVATION
1/8"=1'-0"

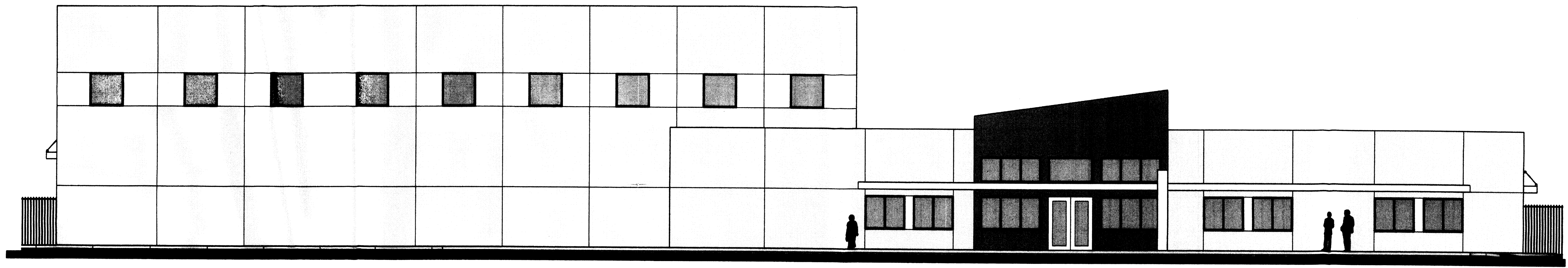


1 SOUTH ELEVATION
1/8"=1'-0"

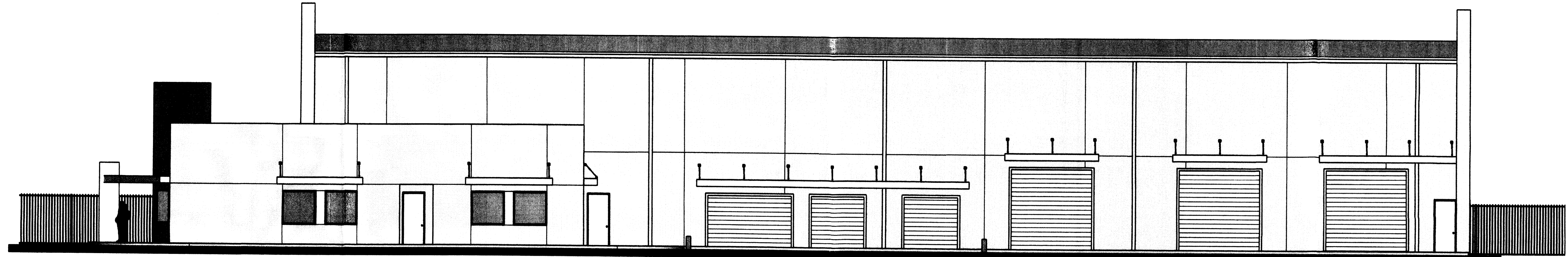


DREAMSTYLE OFFICE - WAREHOUSE
ENLARGED OFFICE FLOOR PLAN
ALBUQUERQUE, NM
 PROJECT # 1465

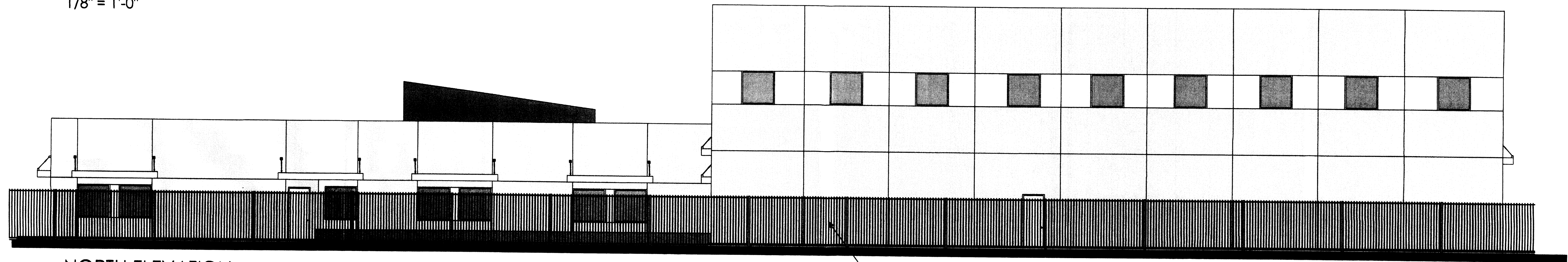
REVISION DATE
RBA ARCHITECTURE, PC <small>ARCHITECTS & DESIGNERS</small> <small>1100 Park Ave. SW, 2ND FLOOR</small> <small>ALBUQUERQUE, NM 87102</small> <small>(505) 243-8881</small> <small>www.rbaarch.com</small>
DATE
05-15-2015
SHEET NUMBER
A-7.0



SOUTH ELEVATION
1/8" = 1'-0"

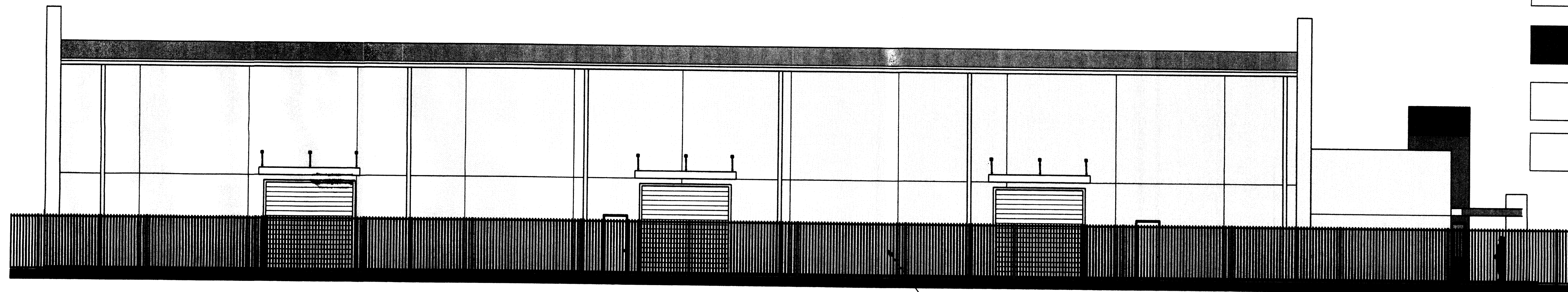


EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

EXISTING 6'-0" WROUGHT
IRON FENCE



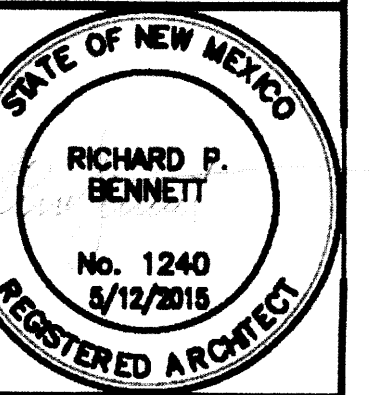
WEST ELEVATION
1/8" = 1'-0"

EXISTING 6'-0" WROUGHT
IRON FENCE

- TAN COLOR: BUFFALO
PAREX 537
- RED COLOR: RIO SAND
PAREX 537
- GREY COLOR: MOONDANCE
PAREX 537
- FRAME COLOR: SANDTONE

DREAMSTYLE OFFICE - WAREHOUSE
 EXTERIOR ELEVATIONS
 ALBUQUERQUE, NM
 PROJECT # 1465

REVISION DATE



RBA
ARCHITECTURE PC
1000 PASEO AVENUE, SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
www.rbaa.com

DATE
5-12-15

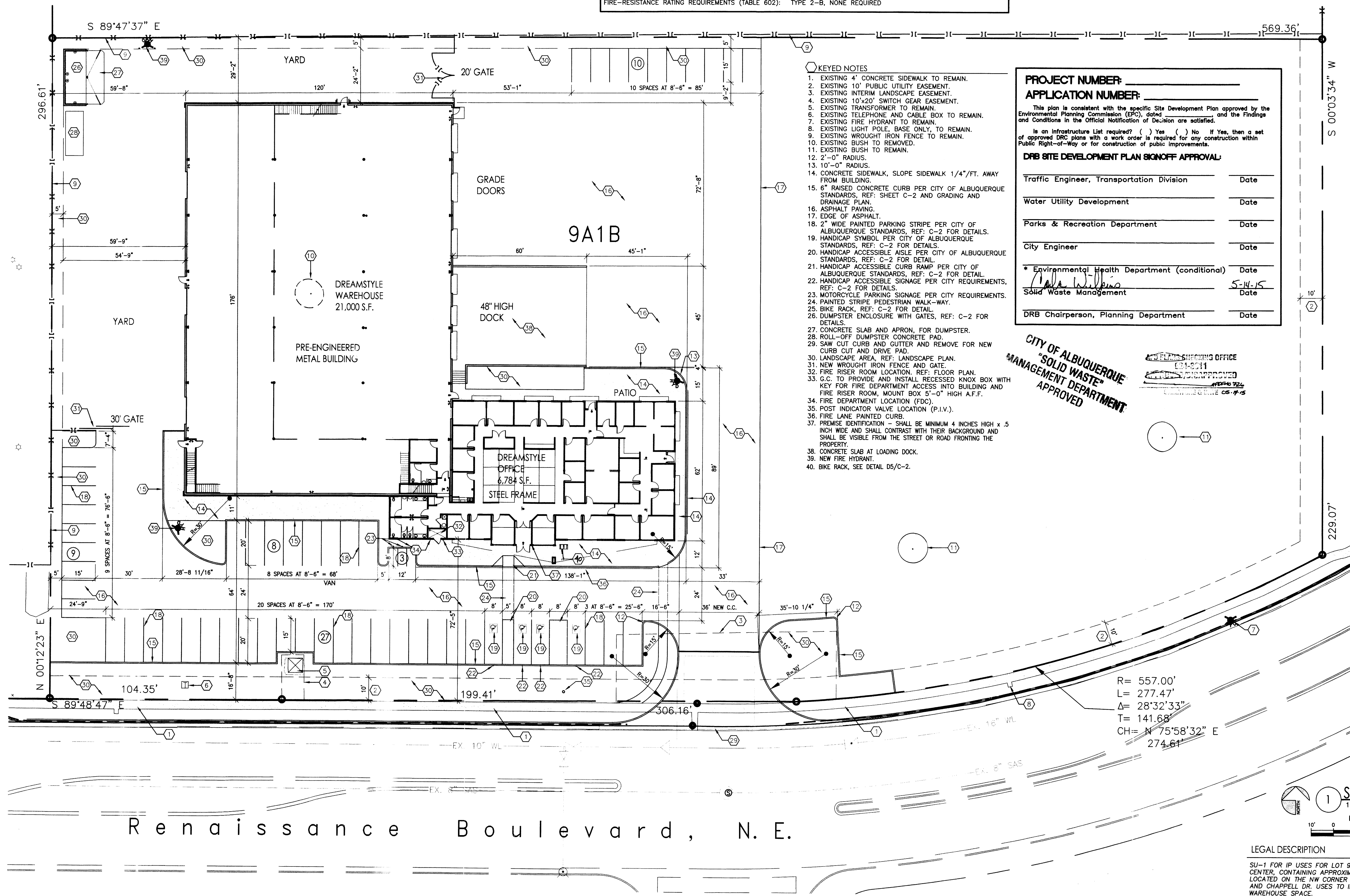
SHEET NUMBER
A-7.0

INTERNATIONAL BUILDING CODE 2009

OCCUPANCY AND USE CLASSIFICATION:		B-OFFICE S2-STORAGE BUILDING WITH AUTOMATIC SPRINKLER SYSTEM
TYPE OF CONSTRUCTION (TABLE 503):		2-B
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503):		3 STORY, 23,000 S.F. (B GROUP)
SECTION 907 FIRE ALARM AND DETECTION SYSTEM:		NOT REQUIRED FOR B GROUP
ACTUAL BUILDING AREA:		B, OFFICE (1ST FLOOR) = 6,784 S.F. S2, WAREHOUSE = 21,000 S.F. B, OFFICE (2ND FLOOR WH) = 2,565 S.F. TOTAL GROSS BUILDING S.F. = 30,349 S.F. (GROSS S.F.)
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601):		TYPE 2-B, NONE REQUIRED
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 602):		TYPE 2-B, NONE REQUIRED

PARKING REQUIREMENTS

PARKING REQUIRED:	FIRST FLOOR OFFICE AREA: 6,784 S.F./200 = 34 SPACES
	FIRST FLOOR WAREHOUSE AREA: 21,000 S.F./2000 = 11 SPACES
	SECOND FLOOR OFFICE WH AREA: 2,565 S.F./300 = 9 SPACES
	TOTAL PARKING SPACES: = 54 SPACES
HC. SPACES REQUIRED:	51 TO 100 SPACES = 4 HC. SPACES (1 VAN SPACE)
PARKING PROVIDED:	29- 8'6"x20' PARKING SPACES
	21- 8'6"x15' PARKING SPACES
	4- 8'0"x20' H.C. PARKING SPACES
TOTAL PARKING PROVIDED:	54
	3- 4'0"x8' MOTORCYCLE SPACES



- KEYED NOTES**
- EXISTING 4' CONCRETE SIDEWALK TO REMAIN.
 - EXISTING 10' PUBLIC UTILITY EASEMENT.
 - EXISTING INTERIM LANDSCAPE EASEMENT.
 - EXISTING 10'x20' SWITCH GEAR EASEMENT.
 - EXISTING TRANSFORMER TO REMAIN.
 - EXISTING TELEPHONE AND CABLE BOX TO REMAIN.
 - EXISTING FIRE HYDRANT TO REMAIN.
 - EXISTING LIGHT POLE, BASE ONLY, TO REMAIN.
 - EXISTING WROUGHT IRON FENCE TO REMAIN.
 - EXISTING BUSH TO BE REMOVED.
 - EXISTING BUSH TO REMAIN.
 - 2'-0" RADIUS.
 - 10'-0" RADIUS.
 - CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
 - 6" RAISED CONCRETE CURB PER CITY OF ALBUQUERQUE STANDARDS, REF: SHEET C-2 AND GRADING AND DRAINAGE PLAN.
 - ASPHALT PAVING.
 - EDGE OF ASPHALT.
 - 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAILS.
 - HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAILS.
 - HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAIL.
 - HANDICAP ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAIL.
 - HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: C-2 FOR DETAILS.
 - MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
 - PAINTED STRIPE PEDESTRIAN WALK-WAY.
 - BIKE RACK, REF: C-2 FOR DETAIL.
 - DUMPSTER ENCLOSURE WITH GATES, REF: C-2 FOR DETAILS.
 - CONCRETE SLAB AND APRON, FOR DUMPSTER.
 - ROLL-OFF DUMPSTER CONCRETE PAD.
 - SAW CUT CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD.
 - LANDSCAPE AREA, REF: LANDSCAPE PLAN.
 - NEW WROUGHT IRON FENCE AND GATE.
 - FIRE RISER ROOM LOCATION, REF: FLOOR PLAN.
 - G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO BUILDING AND FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F.
 - FIRE DEPARTMENT LOCATION (FDC).
 - POST INDICATOR VALVE LOCATION (P.I.V.).
 - FIRE LANE PAINTED CURB.
 - PREMISE IDENTIFICATION - SHALL BE MINIMUM 4 INCHES HIGH x 5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 - CONCRETE SLAB AT LOADING DOCK.
 - NEW FIRE HYDRANT.
 - BIKE RACK, SEE DETAIL D5/C-2.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

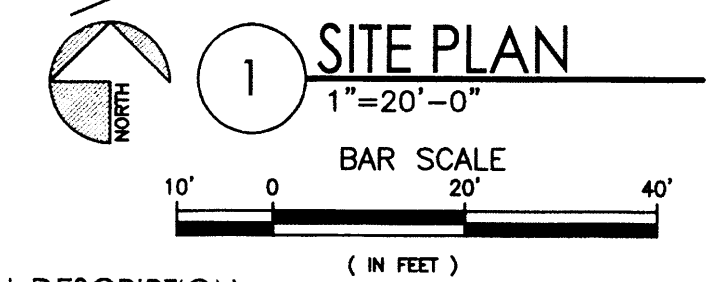
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	5-14-15 Date
DRB Chairperson, Planning Department	Date

**CITY OF ALBUQUERQUE
 "SOLID WASTE"
 MANAGEMENT DEPARTMENT
 APPROVED**

PLANNING OFFICE
 05-11-15
 APPROVED
 05-14-15

R = 557.00'
 L = 277.47'
 Δ = 28°32'33"
 T = 141.68'
 CH = N 75°58'32" E
 274.61'

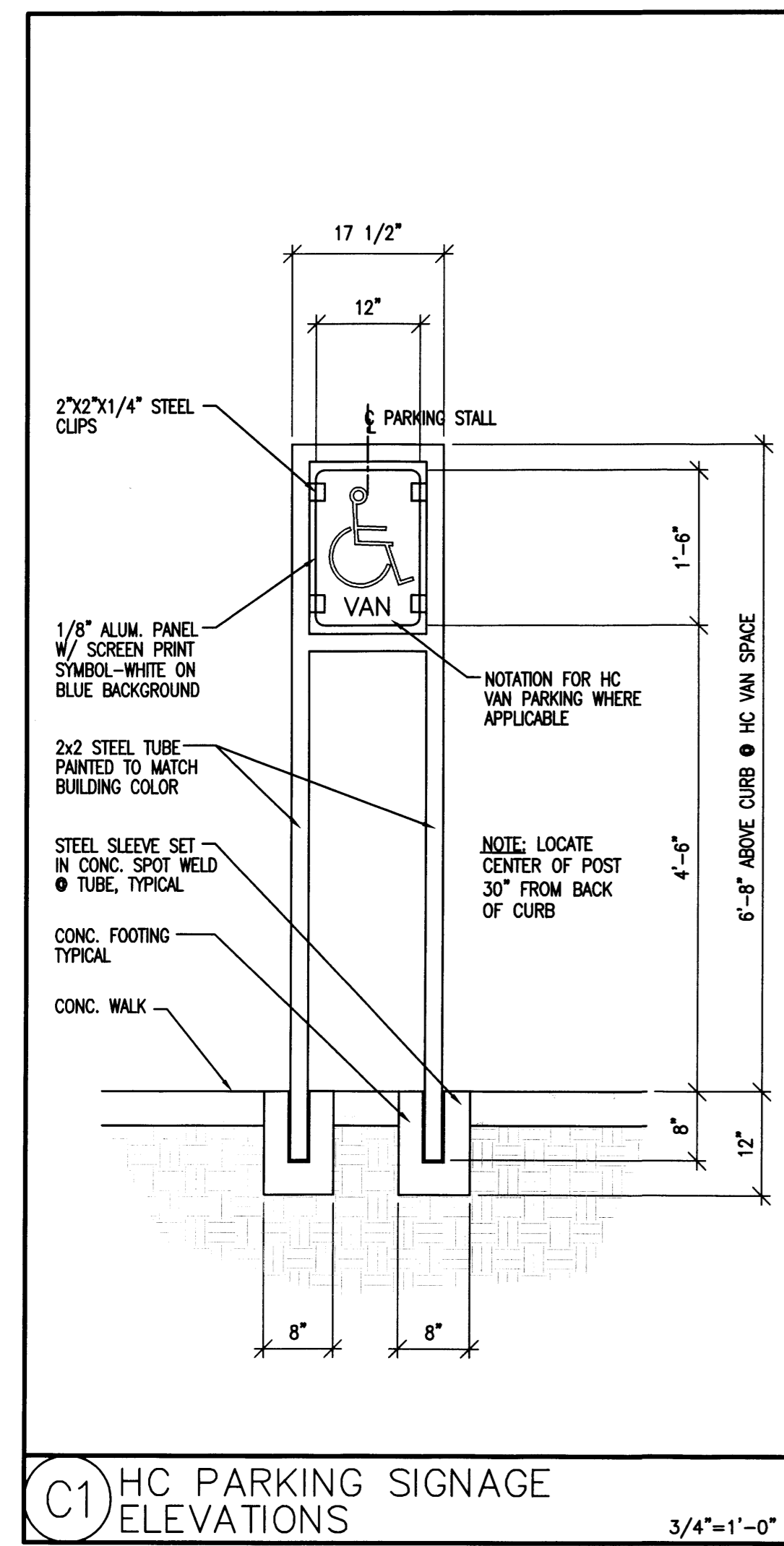


LEGAL DESCRIPTION
 SU-1 FOR IP USES FOR LOT 9A1B RENAISSANCE CENTER, CONTAINING APPROXIMATELY 3.74 ACRES AND LOCATED ON THE NW CORNER OF RENAISSANCE BLVD. AND CHAPPELL DR. USES TO INCLUDE OFFICES WITH WAREHOUSE SPACE.

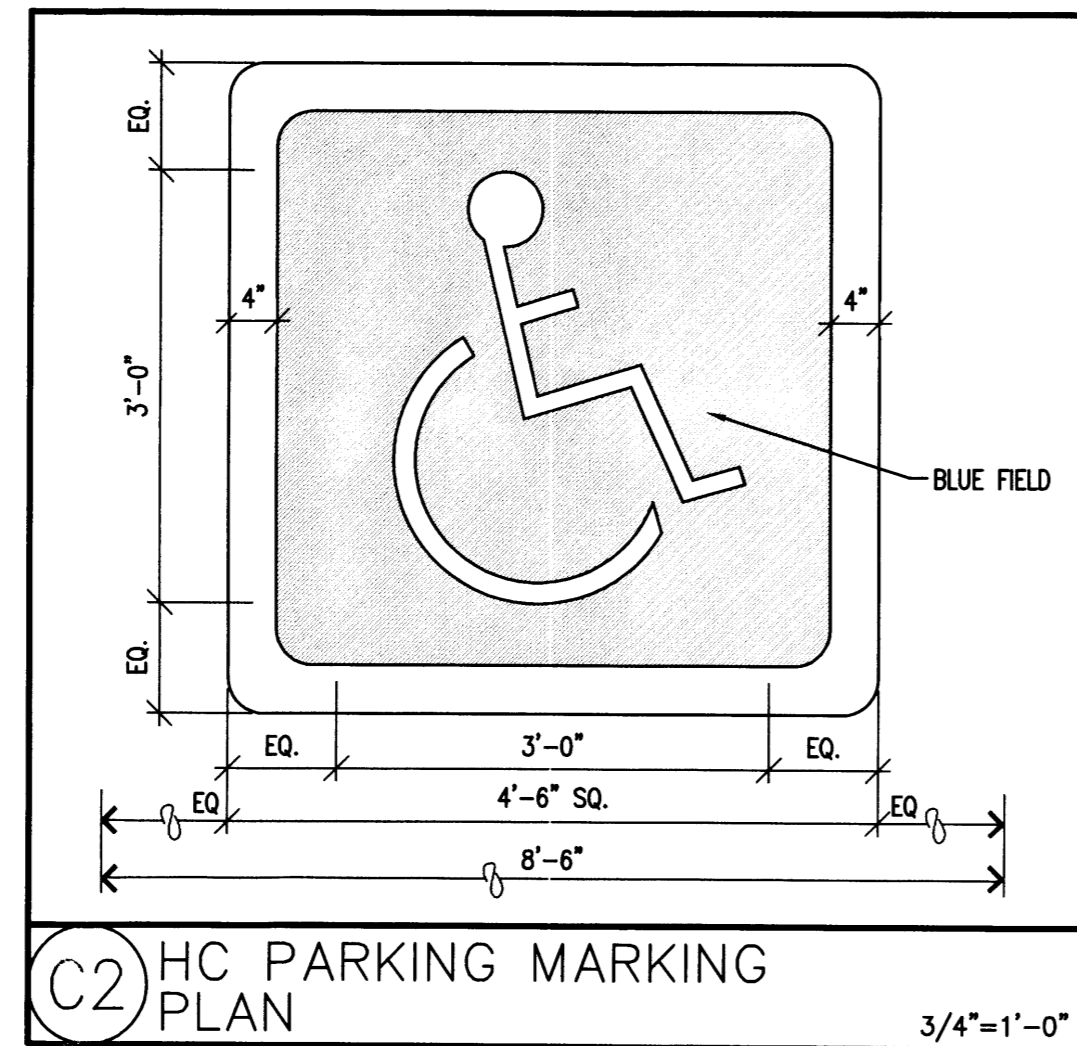
PROJECT: 101041841
 DATE: 6-17-15
 APP: 15-70204(SB)

DREAMSTYLE WAREHOUSE
 SITE PLAN
 ALBUQUERQUE, NM
 PROJECT #1465

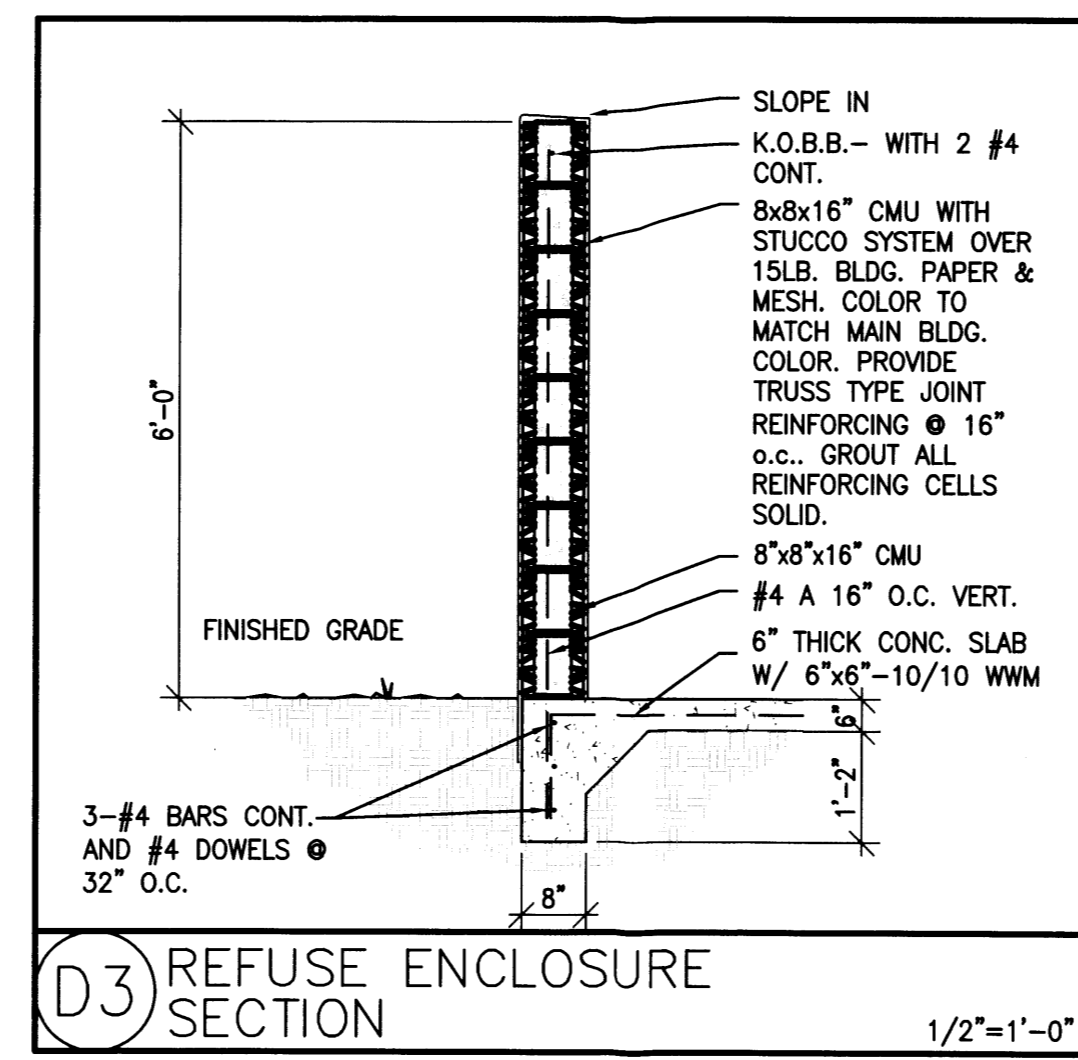
REVISION DATE	
STATE OF NEW MEXICO REGISTERED ARCHITECT RICHARD P. BENNETT No. 1240 5/12/15	
RBA ARCHITECTURE, PC ARCHITECTURE, PLANNING, DESIGN	
DATE	5-12-2015
SHEET NUMBER	C-1



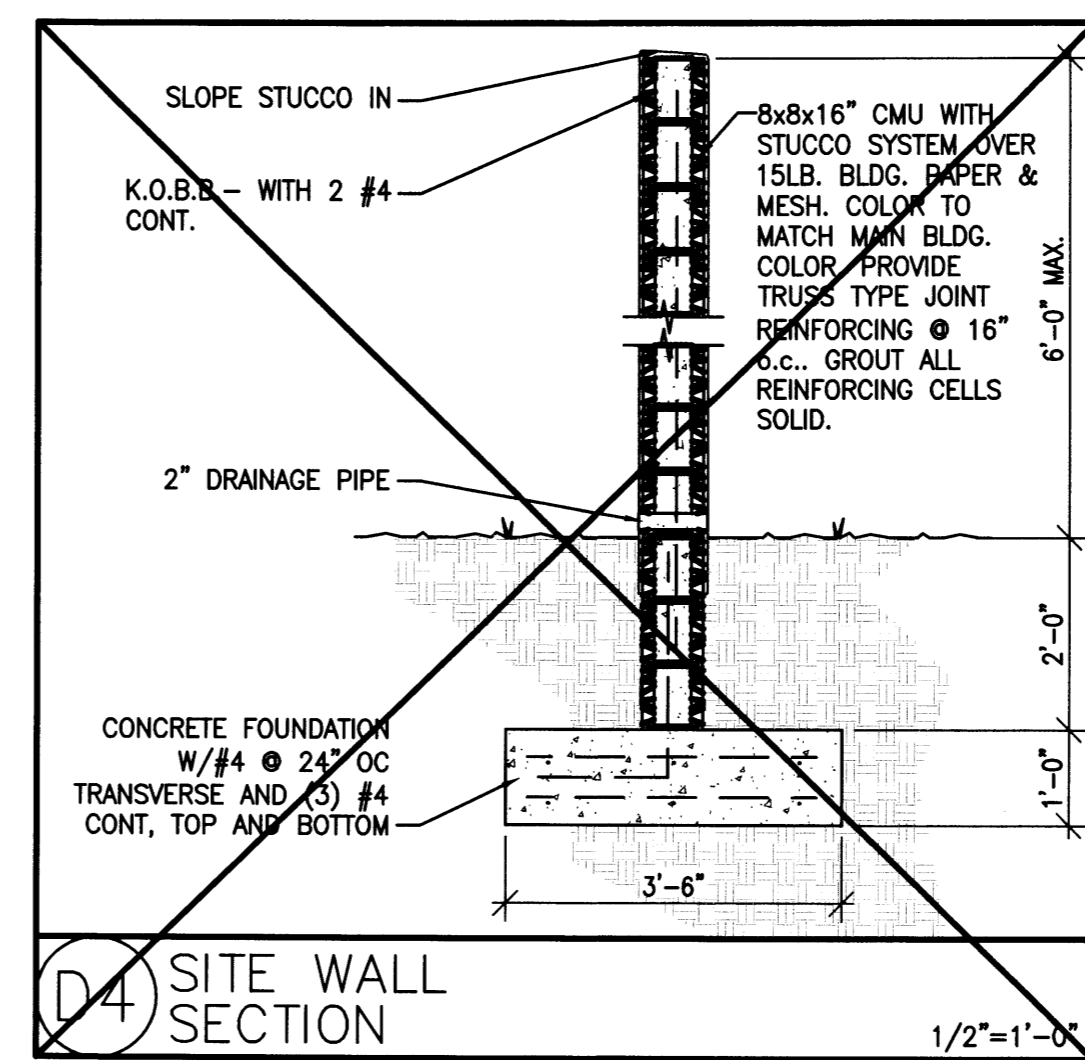
C1 HC PARKING SIGNAGE ELEVATIONS 3/4"=1'-0"



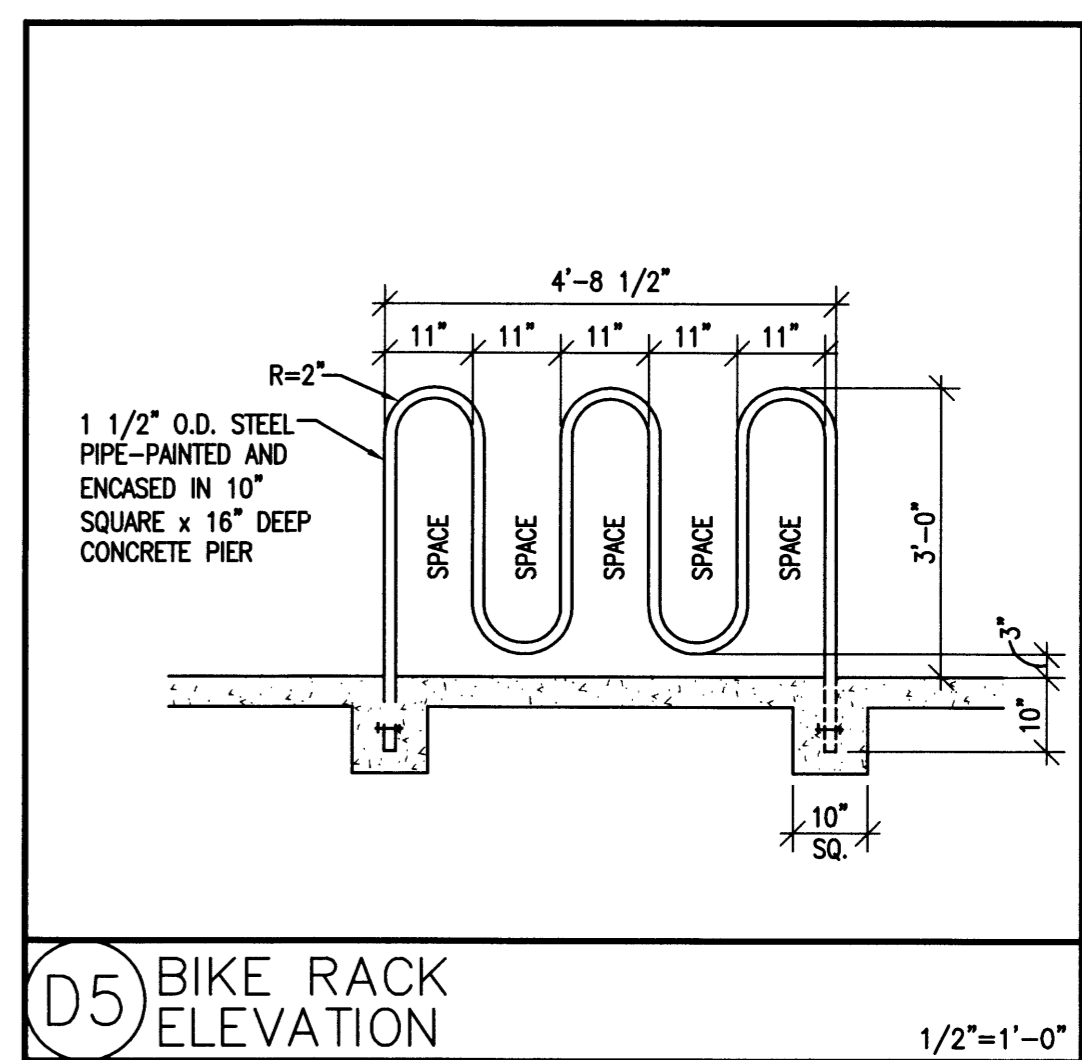
C2 HC PARKING MARKING PLAN 3/4"=1'-0"



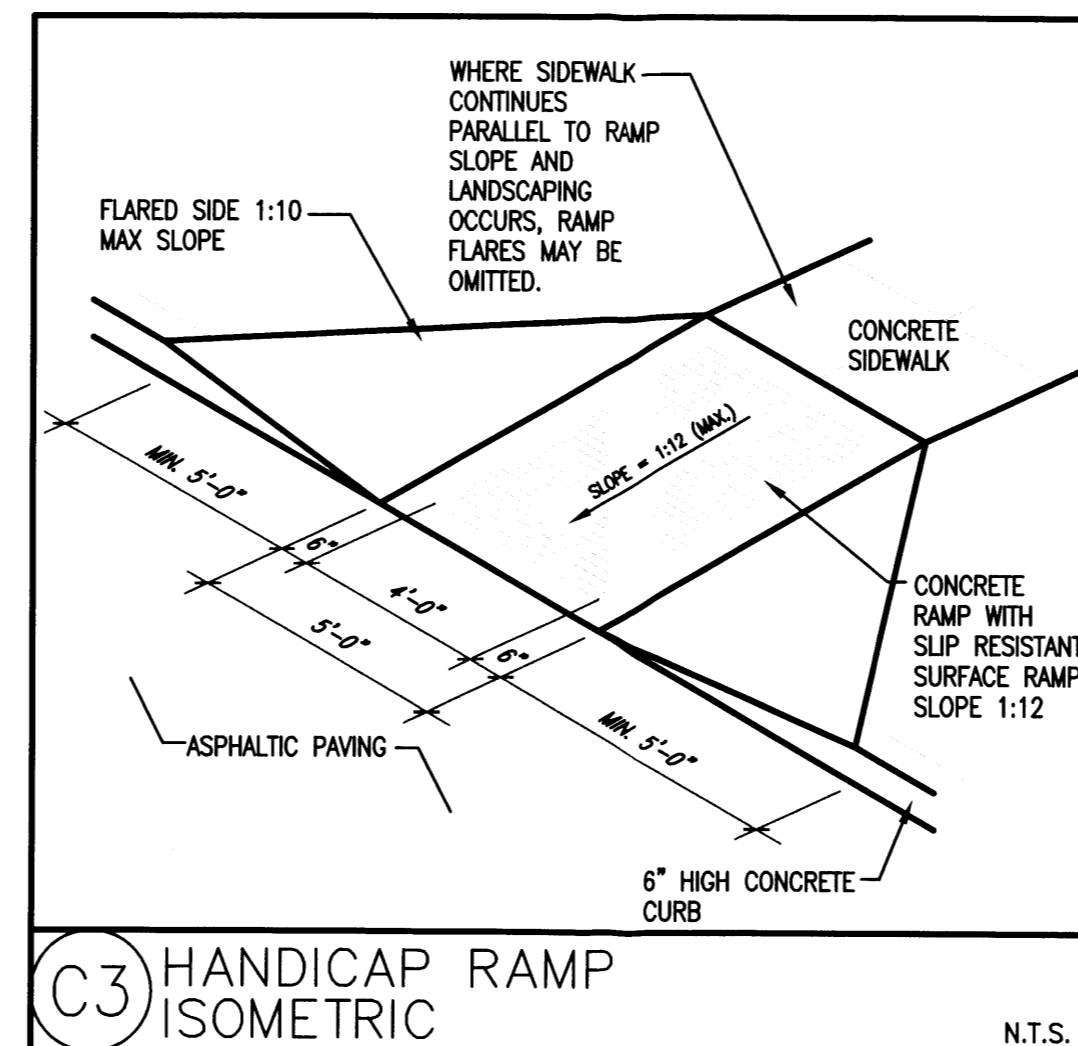
D3 REFUSE ENCLOSURE SECTION 1/2"=1'-0"



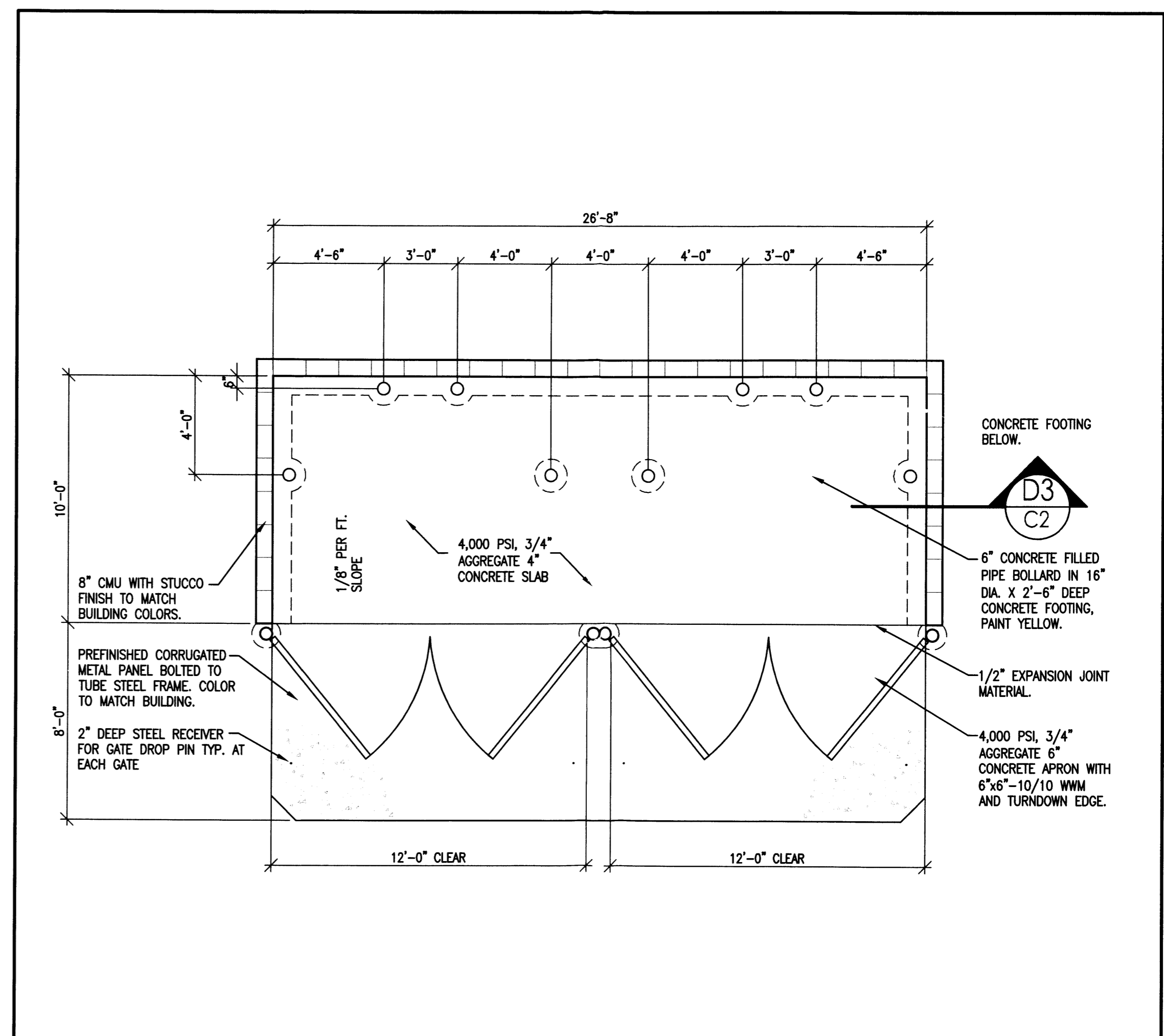
D4 SITE WALL SECTION 1/2"=1'-0"



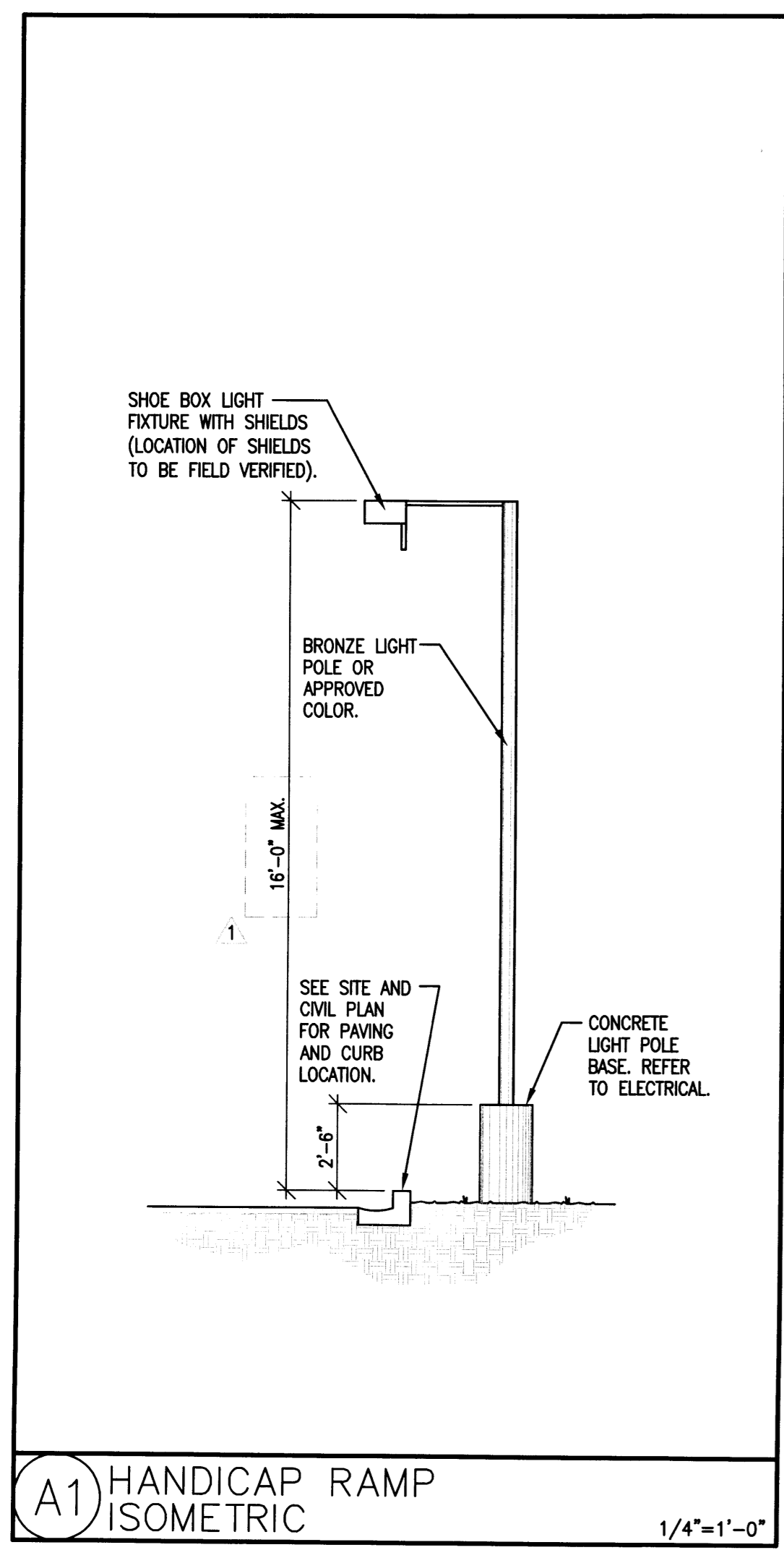
D5 BIKE RACK ELEVATION 1/2"=1'-0"



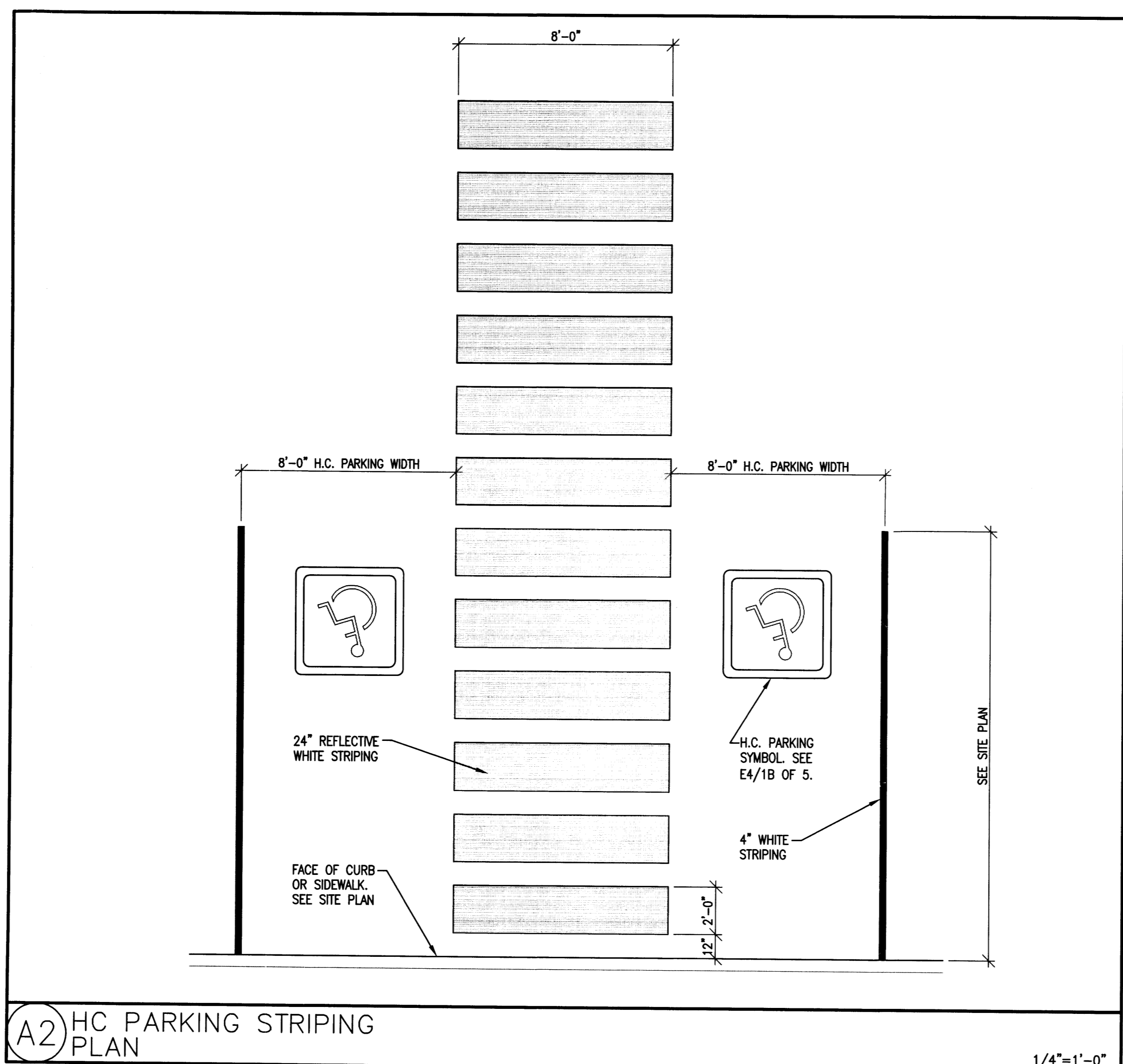
C3 HANDICAP RAMP ISOMETRIC N.T.S.



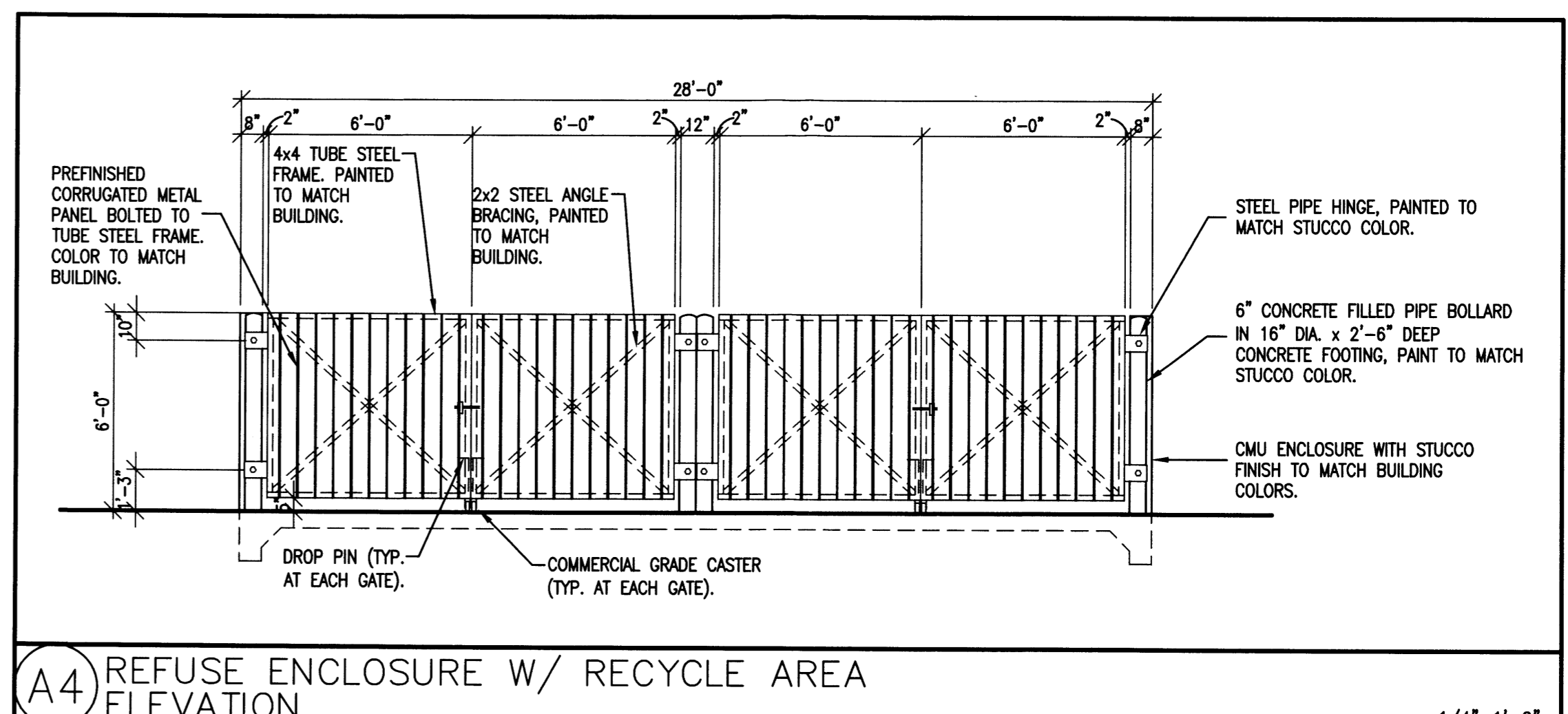
B4 REFUSE ENCLOSURE W/ RECYCLE AREA PLAN 1/4"=1'-0"



A1 HANDICAP RAMP ISOMETRIC 1/4"=1'-0"



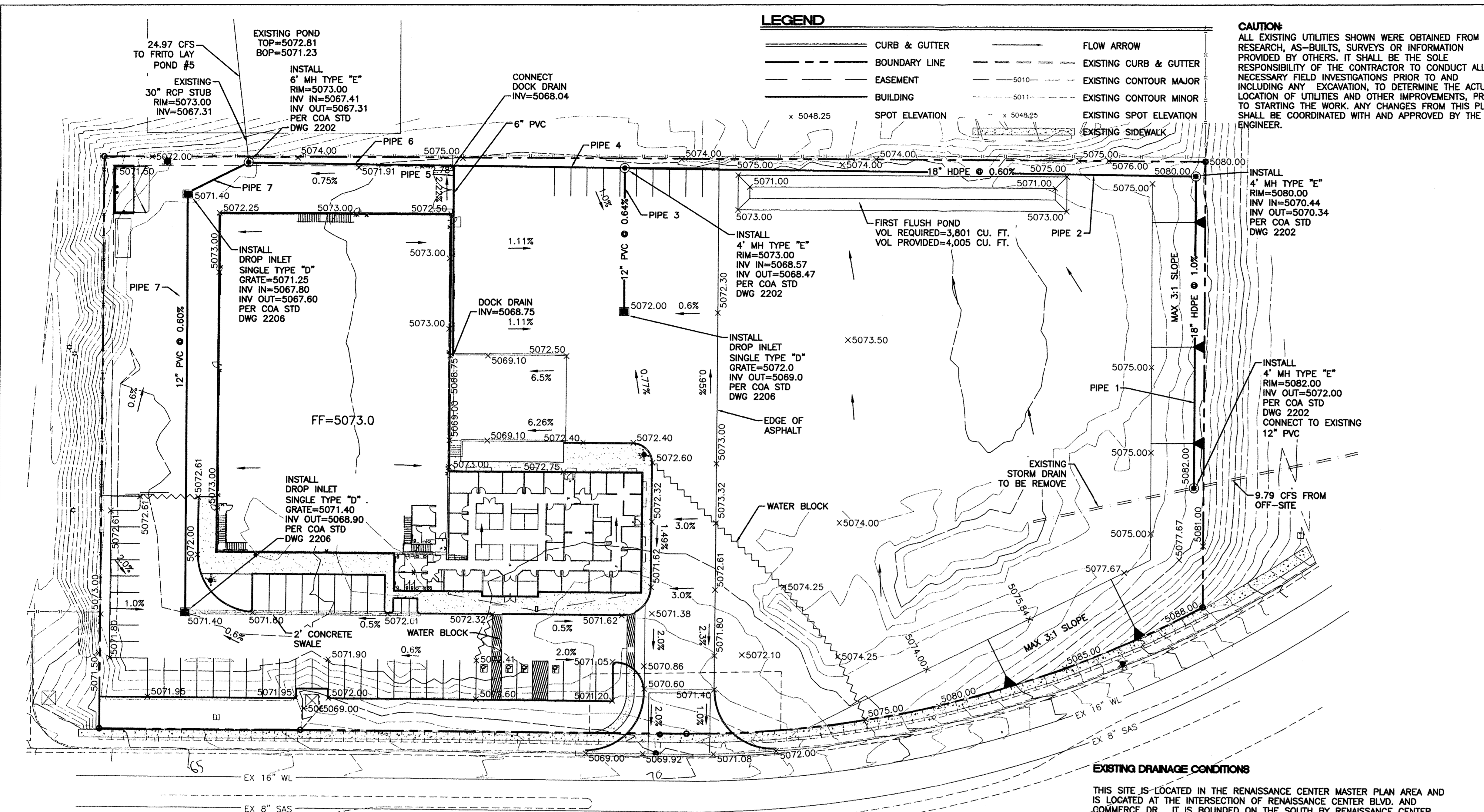
A2 HC PARKING STRIPING PLAN 1/4"=1'-0"



A4 REFUSE ENCLOSURE W/ RECYCLE AREA ELEVATION 1/4"=1'-0"

DREAMSTYLE WAREHOUSE
 SITE DETAILS
 ALBUQUERQUE, NM
 PROJECT #1465

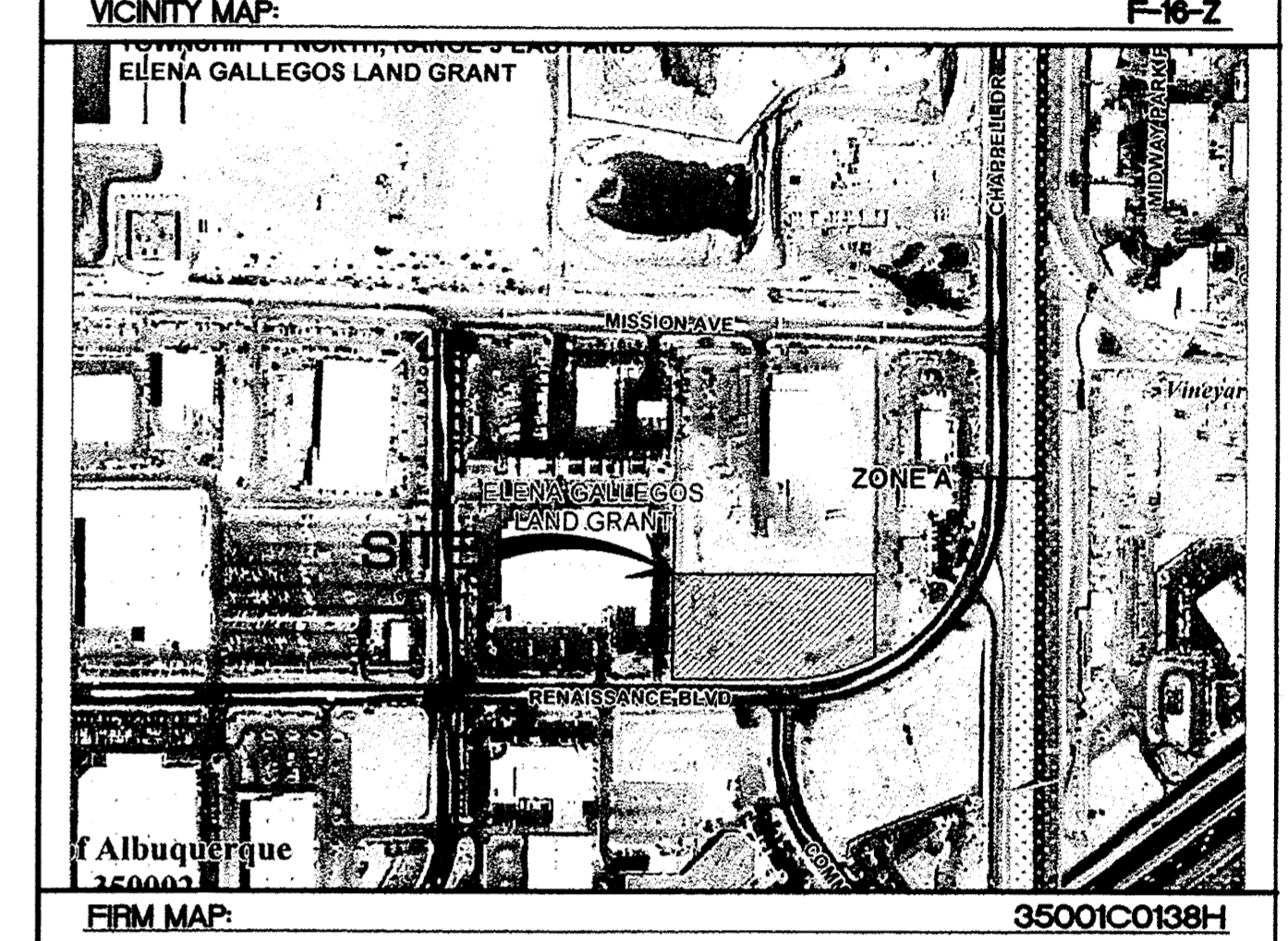
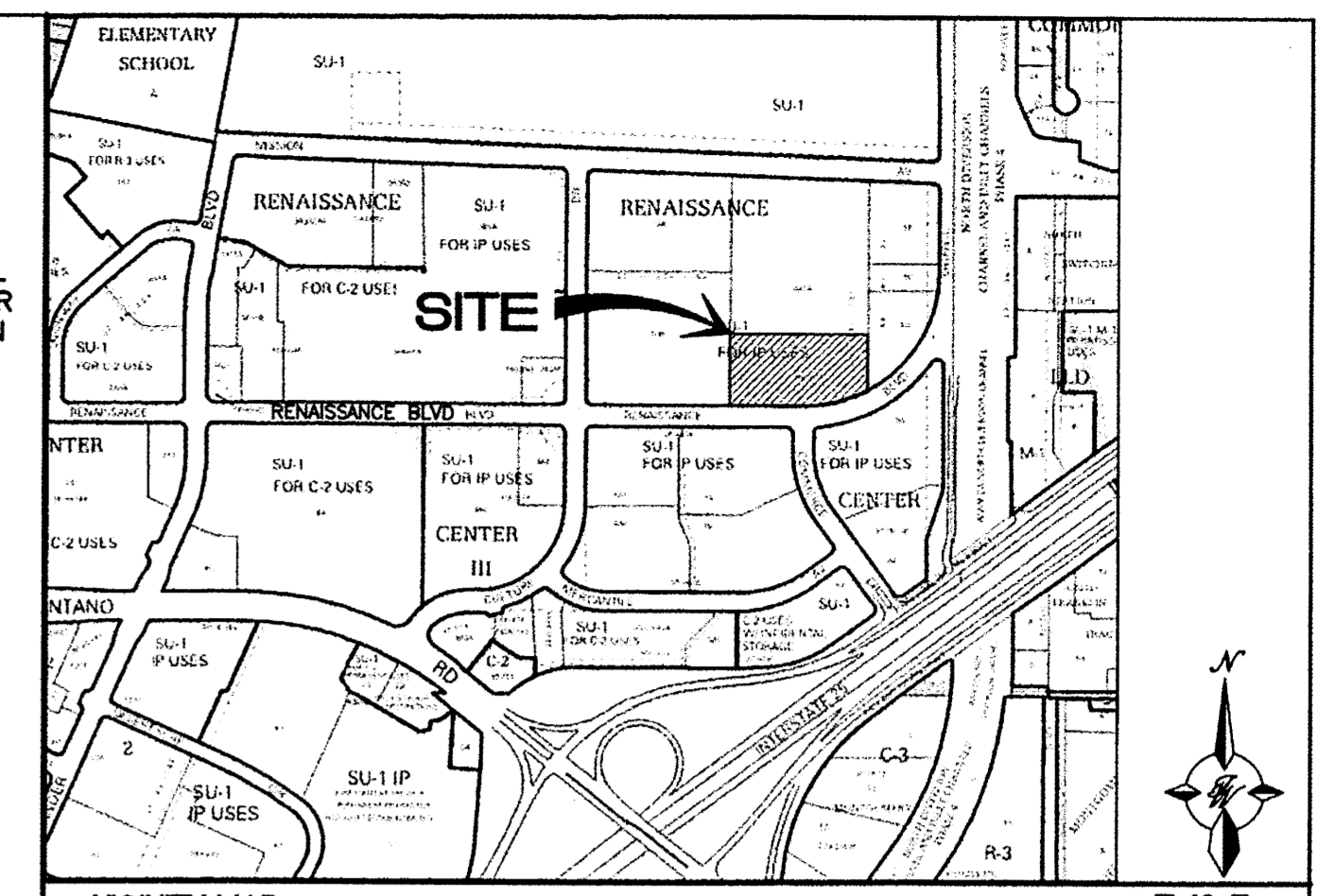
REVISION DATE
DATE
05-18-2015
SHEET NUMBER
C-2.00



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- ▭ BUILDING
- x SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- EXISTING SIDEWALK

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



EXISTING DRAINAGE CONDITIONS

THIS SITE IS LOCATED IN THE RENAISSANCE CENTER MASTER PLAN AREA AND IS LOCATED AT THE INTERSECTION OF RENAISSANCE CENTER BLVD. AND COMMERCE DR. IT IS BOUNDED ON THE SOUTH BY RENAISSANCE CENTER BLVD, ON THE WEST BY FEDEX, ON THE NORTH BY FRITO LAY AND ON THE EAST BY AN OFFICE COMPLEX AND CONTAINS APPROXIMATELY 3.74 ACRES.

THE SITE CURRENTLY DRAINS TO A TEMPORARY RETENTION POND WITH SOME FLOWS GOING TO THE STREET. THIS SITE WAS INCLUDED IN THE FRITO LAY AND CHAVEZ-GRIEVES DRAINAGE REPORT (F16/D51) APPROVED ON SEPTEMBER 10, 1998 AND WILL CONTINUE TO FOLLOW THAT DRAINAGE SCHEME THAT ALLOWS ALL OF THE DRAINAGE TO FLOW TO FRITO LAY DETENTION POND #5.

THE SITE DOES ACCEPT OFF-SITE FLOWS (9.79 CFS) FROM THE OFFICE COMPLEX WHICH IS ALSO CONTAINED IN THE TEMPORARY RETENTION POND. NO OTHER OFF-SITE FLOWS ENTER THE SITE. AS SHOWN ON THE FIRM MAP THERE ARE NO FLOOD PLAINS ON THIS PROPERTY.

PROPOSED DRAINAGE CONDITIONS

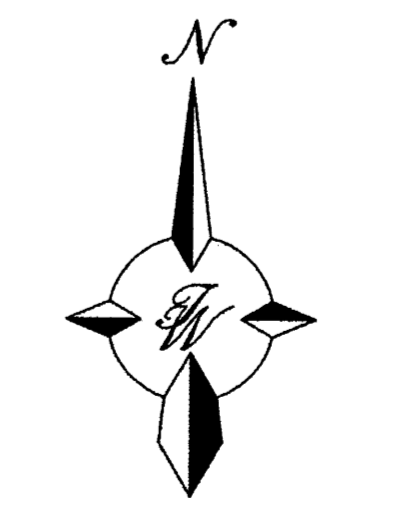
THIS SITE WILL CONTAIN SEVEN BASINS WITH FIVE OF THE BASINS DRAINING TO AN EXISTING STORM SEWER STUB THAT IS CONNECTED TO FRITO LAY POND #5. THE EXISTING STORM SEWER PIPE FROM THE OFFICE COMPLEX WILL BE INTERCEPTED WITH A NEW STORM SEWER AND ROUTED AROUND THE PERIMETER OF THE SITE AND CONNECT TO THE EXISTING STUB MENTIONED ABOVE.

BASINS 1, 2 AND 4 WILL DRAIN TO AREA INLETS THAT ARE CONNECTED TO THE STORM SEWER. BASIN 3 WILL DRAIN THE TRUCK DOCK AREA THROUGH A STORM DRAIN OPENING ON THE NORTH SIDE OF THE DOCK.

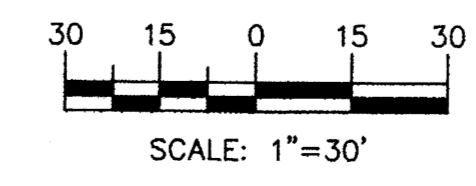
BASINS 5 AND 6 WILL DRAIN TO THE STREET GENERATING 1.62 CFS. THE ORIGINAL FRITO LAY DRAINAGE PLAN ALLOWED FOR 0.68 CFS TO BE DISCHARGED TO THE STREET. THE ADDITIONAL 0.96 CFS BEING DISCHARGED WILL BE COMPENSATED BY REMOVING THAT FLOW FROM THE OVERALL SYSTEM WITH THE REQUIREMENT OF THE FIRST FLUSH POND FOUND IN BASIN 7.

BASIN 7 WILL REMAINED UNDEVELOPED AT THIS TIME AND WILL DRAIN TO A FIRST FLUSH POND DESIGNED TO HOLD 4,008 CUBIC FEET OR WATER WHICH IS GREATER THAN THE 3,801 CUBIC FEET REQUIRED. THE POND WILL OVERFLOW TO THE AREA INLET LOCATED IN BASIN 1 NEAR THE TRUCK DOCK AND BE CONVEYED TO FRITO LAY DETENTION POND #5.

THIS SITE WILL DISCHARGE A TOTAL OF 24.16 CFS TO FRITO LAY POND #5 WHICH IS LESS THAN THE 24.97 ALLOWED IN THE APPROVED DRAINAGE PLAN. THAT TOTAL INCLUDES THE 9.79 CFS BEING PASSED THROUGH FROM THE ADJACENT OFFICE COMPLEX.



GRAPHIC SCALE



Pipe Capacity

Pipe	D (in)	Slope (%)	Area (ft ²)	R	Q Provided (cfs)	Q Required (cfs)	Velocity (ft/s)
1	18	0.60	1.77	0.375	10.61	9.79	5.54
2	18	0.60	1.77	0.375	10.61	9.79	5.54
3	12	0.64	0.79	0.250	3.72	3.68	4.69
4	24	0.60	3.14	0.500	22.84	13.47	4.29
5	6	2.22	0.20	0.125	1.09	0.35	1.78
6	24	0.60	3.14	0.500	22.84	13.82	4.40
7	18	0.60	1.77	0.375	10.61	4.46	2.52
8	12	0.60	0.79	0.250	3.60	2.96	3.77

Manning's Equation:
 $Q = 1.49/n * A * R^{(2/3)} * S^{(1/2)}$

A = Area
 R = D/4
 S = Slope
 n = 0.01 HDPE/PVC

FIRST FLUSH CALCULATIONS:

3.08 ACRES OF IMPERVIOUS AREA = 134,165 SQ. FT
 $134,165 \text{ SQ. FT} * (0.34^3/12) = 3,801 \text{ CU. FT} = 0.087 \text{ AC-FT}$
 OF VOLUME REQUIRED TO BE RETAINED ON-SITE.

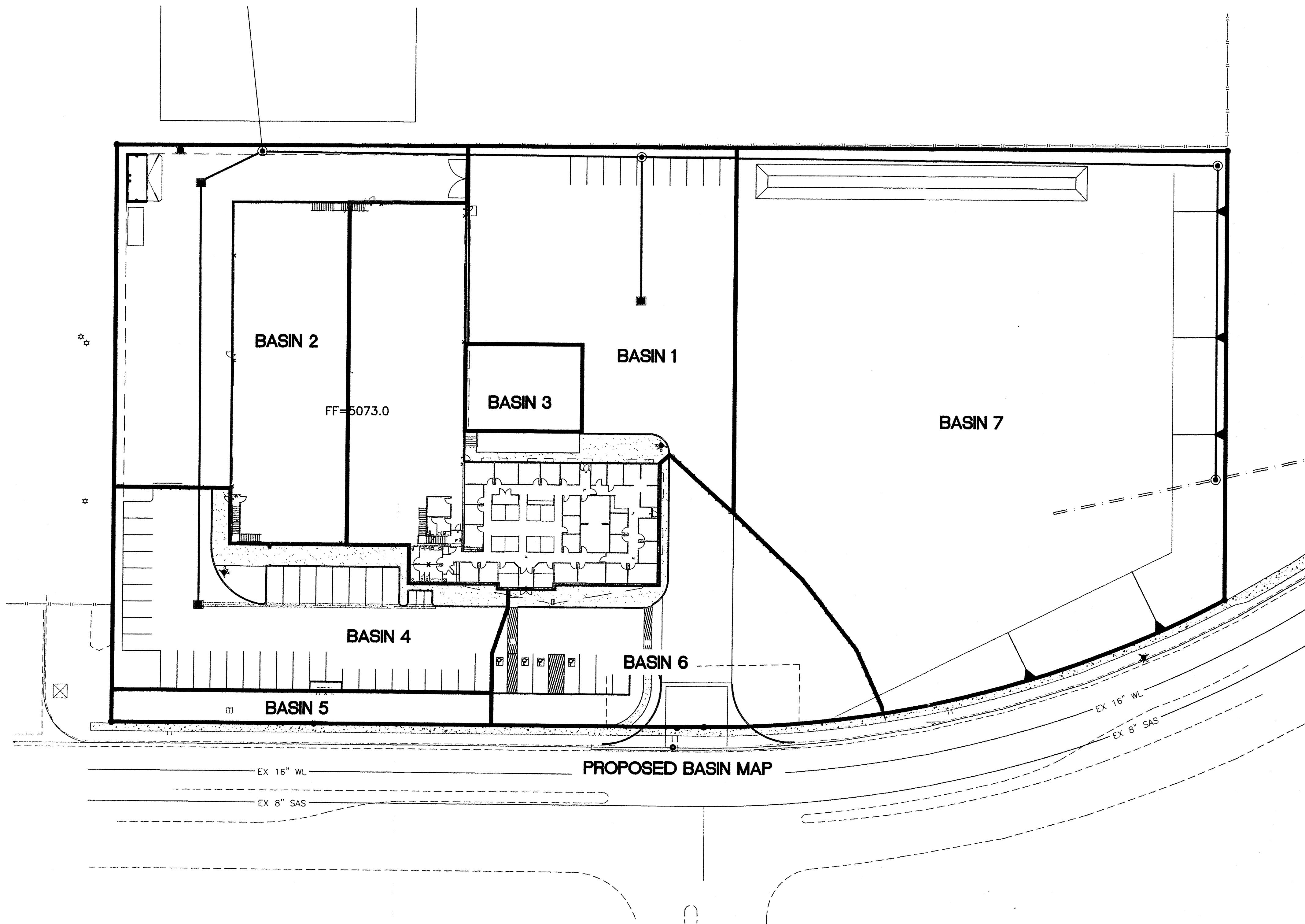
NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

	TRACT 9A RENAISSANCE CENTER GRADING AND DRAINAGE PLAN	DRAWN BY B/JF DATE 05/18/15
		SHEET # D1
RONALD R. BOHANNAN P.E. #7869	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2015009



PROPOSED BASIN MAP

Weighted E Method

On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment				100-Year			10-Year						
			%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs				
1	34,424	0.79	0%	0	2%	0.02	0%	0.00	98%	0.77	2.093	0.138	3.68	1.319	0.087	2.45
2	28,583	0.66	0%	0	8%	0.05	0%	0.00	92%	0.60	2.013	0.110	2.96	1.255	0.069	1.95
3	3,220	0.07	0%	0	0%	0.00	0%	0.00	100%	0.07	2.120	0.013	0.35	1.340	0.008	0.23
4	14,542	0.33	0%	0	8%	0.03	0%	0.00	92%	0.31	2.013	0.056	1.50	1.255	0.035	0.99
5	3,377	0.08	0%	0	100%	0.08	0%	0.00	0%	0.00	0.780	0.005	0.18	0.280	0.002	0.07
6	14,470	0.33	0%	0	15%	0.05	0%	0.00	85%	0.28	1.919	0.053	1.44	1.181	0.033	0.93
7	64,488	1.48	0%	0	30%	0.44	0%	0.00	70%	1.04	1.718	0.212	5.88	1.022	0.126	3.68
		3.74								3.08			15.99			

Equations:

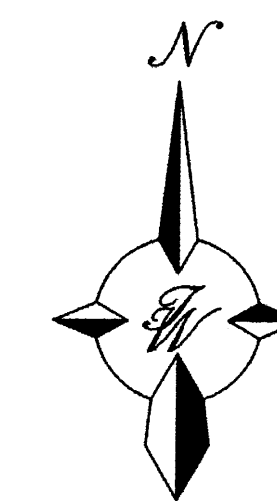
Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted E * Total Area

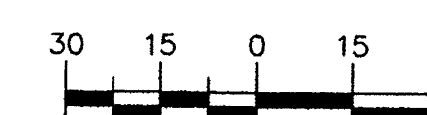
Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)		
Zone 2	100-Year	10-Year
E _a	0.53	0.13
E _b	0.78	0.28
E _c	1.13	0.52
E _d	2.12	1.34

Peak Discharge (cfs/acre)		
Zone 2	100-Year	10-Year
Q _a	1.56	0.38
Q _b	2.28	0.95
Q _c	3.14	1.71
Q _d	4.70	3.14

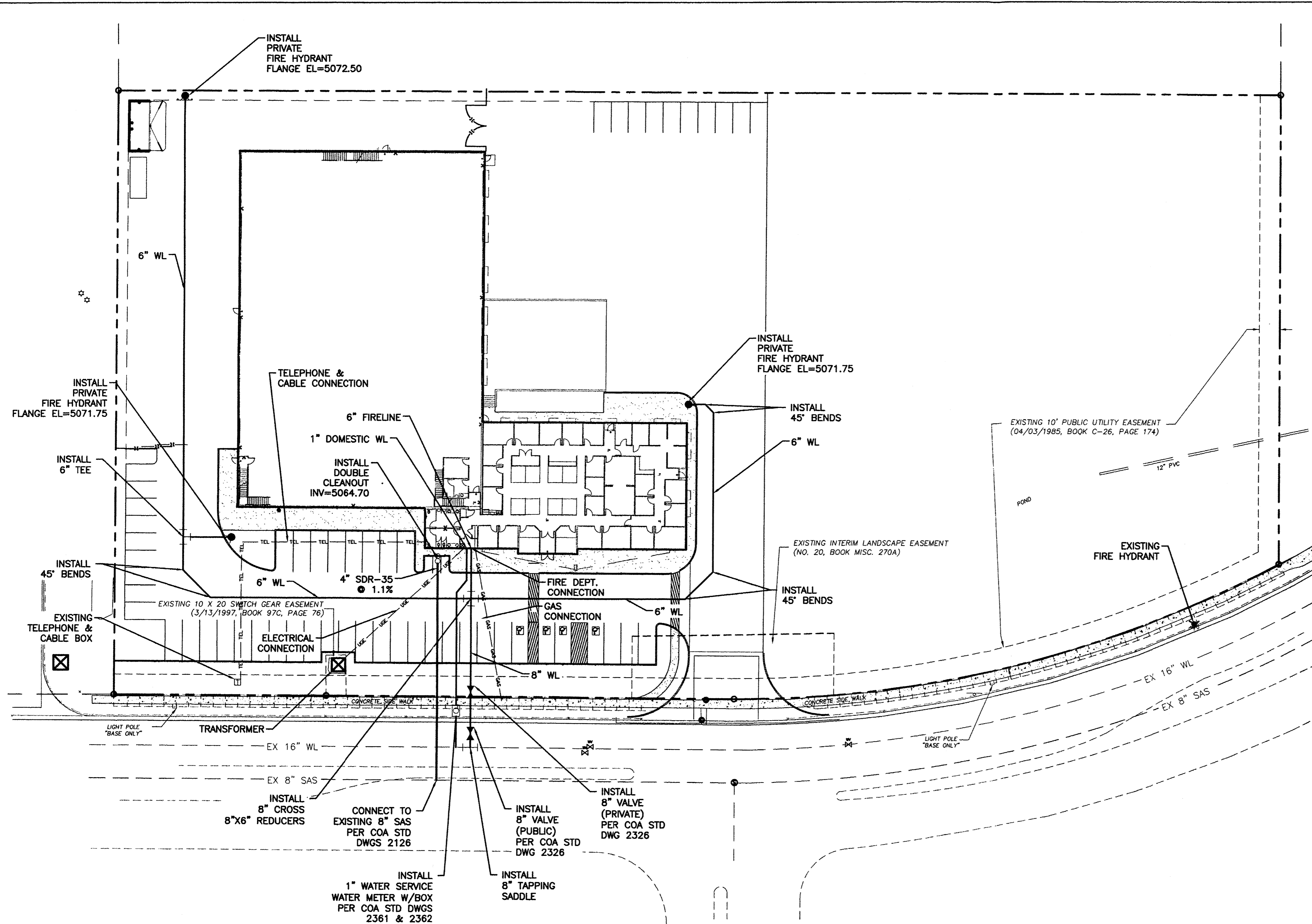


GRAPHIC SCALE



SCALE: 1"=30'

	TRACT 9A RENAISSANCE CENTER GRADING AND DRAINAGE PLAN	DRAWN BY B/JF DATE 05/15/15
		SHEET # D2
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	JOB # 2015009



LEGEND

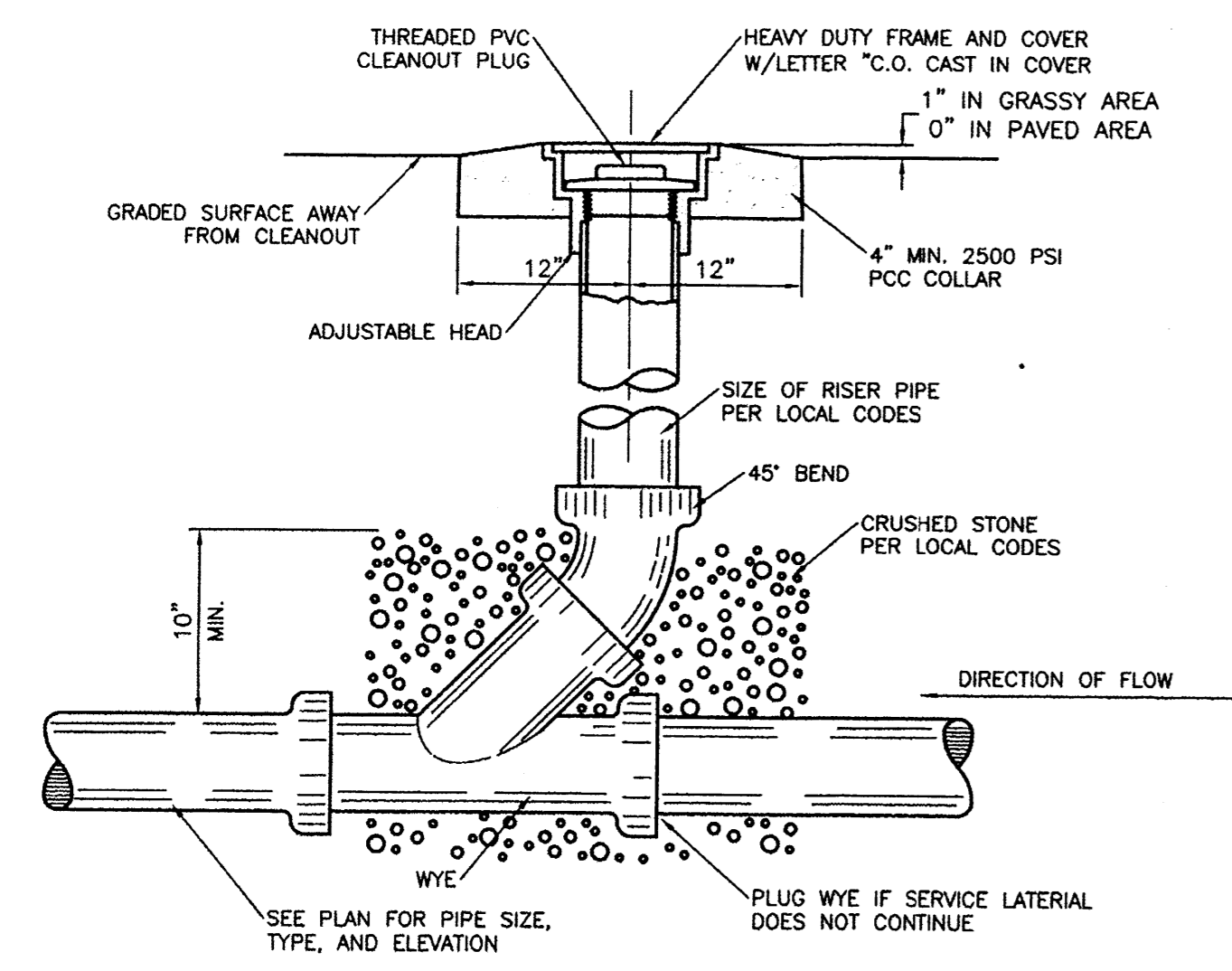
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING GAS VALVE
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

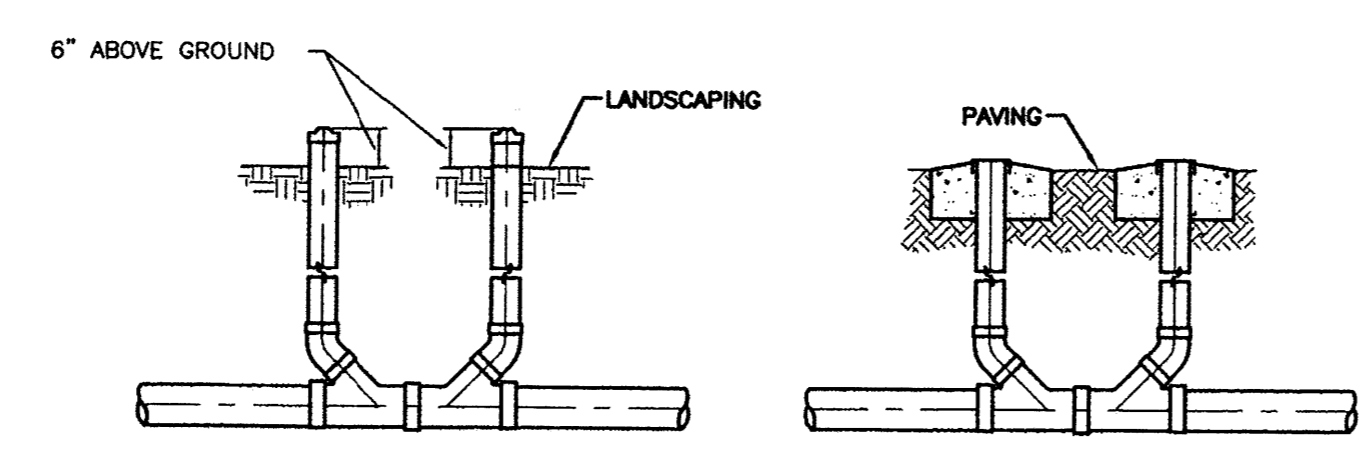
APPROVAL	NAME	DATE
INSPECTOR		

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

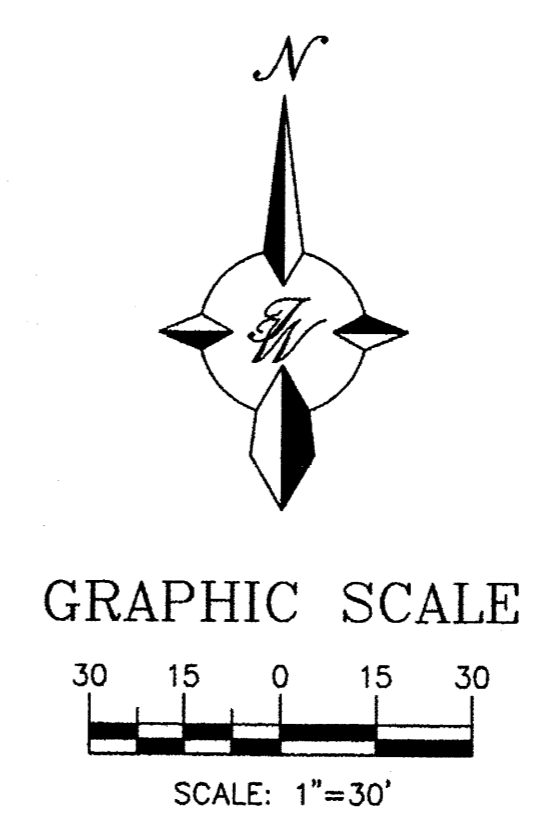
- GENERAL UTILITY NOTES:**
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 - FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 - ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.



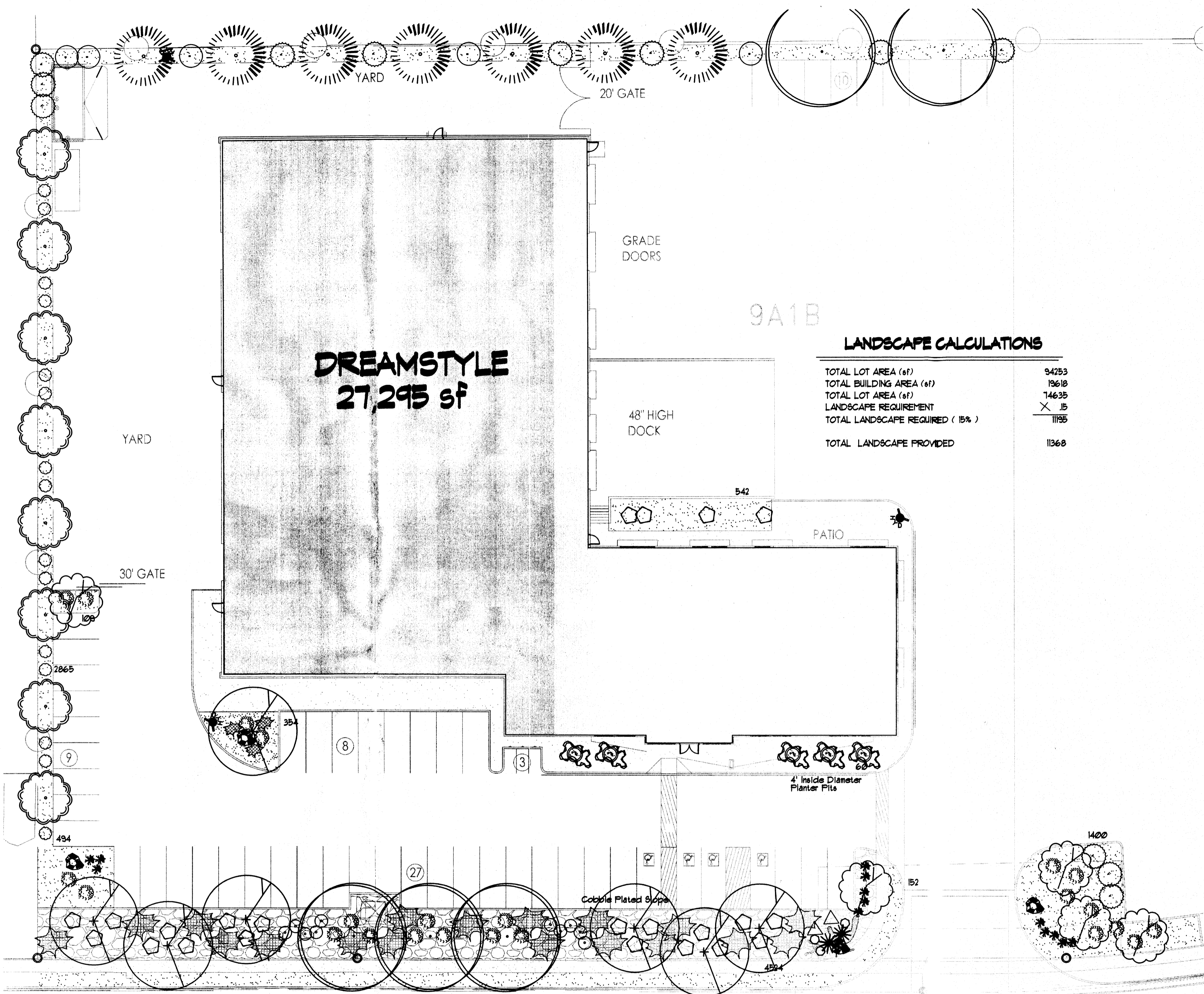
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



	TRACT 9A RENAISSANCE CENTER	DRAWN BY B.J.F.
	MASTER UTILITY PLAN	DATE 05/18/15
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2015009_MUB
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC	SHEET # D3
		JOB # 2015009



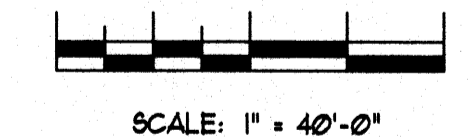
LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	94253
TOTAL BUILDING AREA (sf)	19618
TOTAL LOT AREA (sf)	146635
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	11855
TOTAL LANDSCAPE PROVIDED	11368

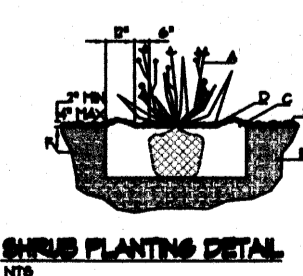
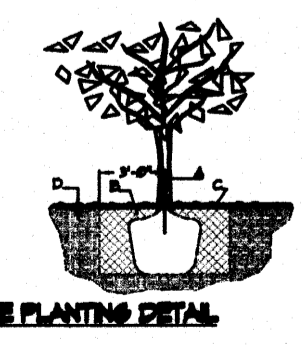
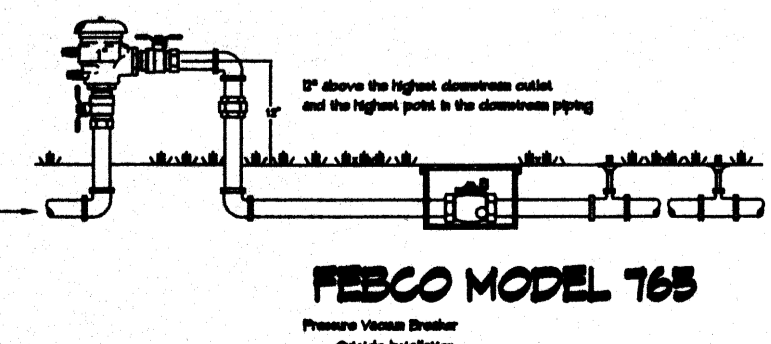
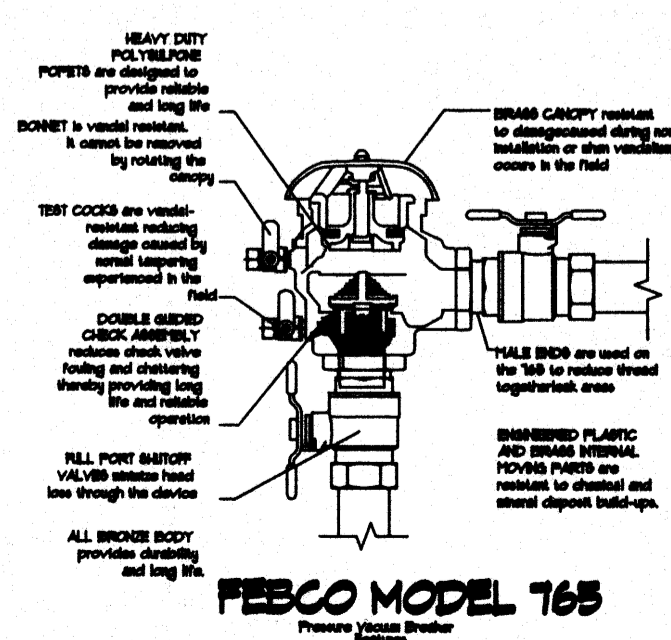
LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
1	3" cal	Chinese Pistache <i>Pistacia chinensis</i>	1225 8575 M+
5	3" cal	Honey Locust <i>Gleditsia triacanthos</i>	2025 10125 M
1	15 Gal.	Rocky Mountain Jun. <i>Juniperus scopulorum</i>	400 2800 M
5	4 - 6'	Crape Myrtle <i>Pinus edulis</i>	100 600 M
2	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	36 72 M
11	15 Gal.	Purple Leaf Plum <i>Prunus spp.</i>	144 1296 M
5	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	144 576 M
Shrubs & Groundcovers			
1	4 - 6'	Desert Willow <i>Chilopsis linearis</i>	625 625 M
22	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	25 500 M
13	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	4 52 M
22	5 Gal	Grey Leaf Cotoneaster <i>Cotoneaster glauca</i>	25 450 M
4	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5 25 100 M
3	5 Gal	Carpet Roses <i>Jasminum nudiflorum</i>	2x4 16 48 M
18	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12 144 2592 M
3	1 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 27 M
10	1 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 90 M
18	1 Gal	Fern Bush <i>Chamaebotaria millefolium</i>	5x6 36 648 L
12	1 Gal	Apache Plum <i>Fallugia paradoxa</i>	6x1 49 588 L
5	1 Gal	Chanina <i>Chrysothamnus nauseosus</i>	5x5 25 125 L
5	2-3cf	Boulders	Total Live Cover 75000
To be placed at contractor discretion			
Landscape Gravel / Filter Fabric Santa Fe Brown			
Oversize Landscape Gravel / Filter Fabric 2-4" Santa Ana Tan			

GRAPHIC SCALE



SCALE: 1" = 40'-0"



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque, Landscape Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque, Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

Landscape Plan shall comply with the Landscape Requirements of the Renaissance Development guidelines.

IRRIGATION NOTES:

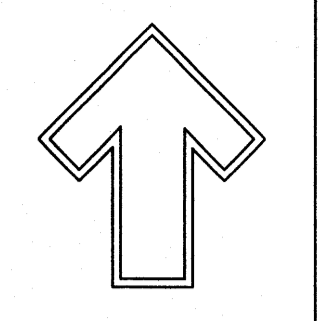
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, primed in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

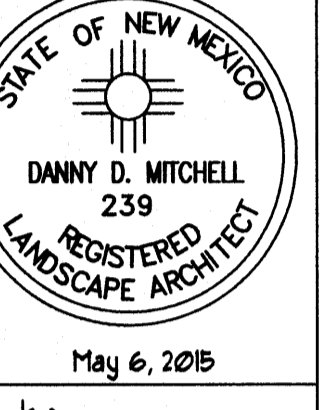
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner. Water and Power source shall be the responsibility of the Owner.



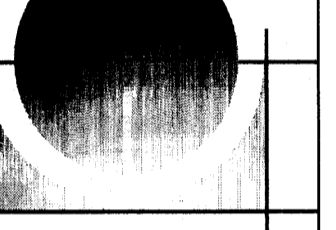
The Hilltop
1309 Edith NE
Albuquerque, NM 87104
Cont. Lic. #16468
Ph. (505) 898-3630
Fax (505) 898-1131
danny@hilltoplandscaping.com

Landscape Architect



May 6, 2015

RBA
ARCHITECTURE PC
ARCHITECTURAL
DESIGN
100 First Ave SW
Albuquerque, NM 87102-4400
www.rba.com



Dreamstyle
Renaissance Blvd.
Albuquerque, NM

LANDSCAPE PLAN

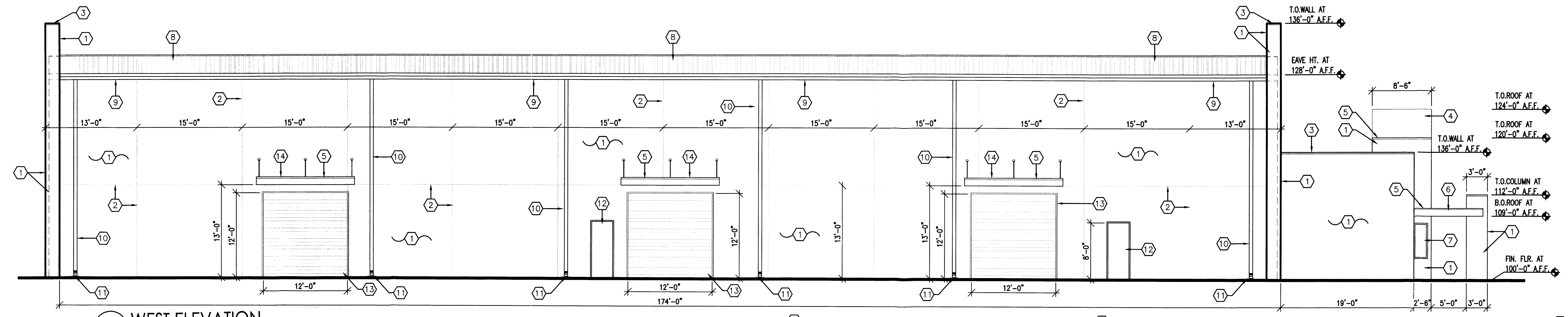
The design contained herein is the property of The Hilltop Landscape Architects and Contractors and is protected by copyright laws. This is an original design and shall not be released or copied unless applicable laws have been paid for a job order packet.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

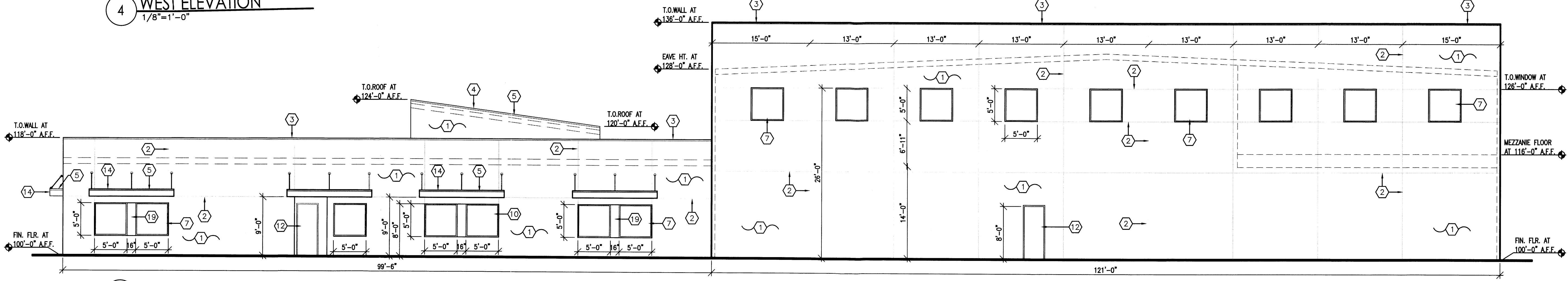
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cm
DATE
05/06/2015

SHEET #
LS-101

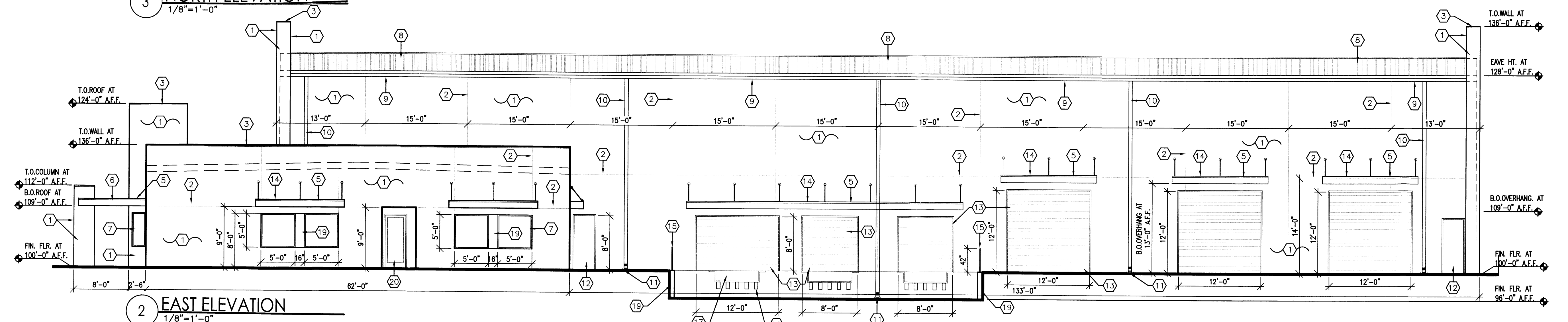
- KEYED NOTES**
- 2 COAT STUCCO SYSTEM - COLOR TO BE DETERMINED (C.T.B.D.), REF: COLORS ELEVATIONS.
 - STUCCO CONTROL JOINT, TYPICAL.
 - CONTINUOUS PRE-FINISHED METAL COPING CAP - C.T.B.D.
 - TAN COLOR 60 MIL TPO ROOFING SYSTEM
 - CONTINUOUS PRE-FINISHED METAL GRAVEL STOP FLASHING - C.T.B.D.
 - STEEL FRAMED ROOF OVERHANG WITH TAN COLOR TPO ROOFING SYSTEM, PAINT ALL EXPOSED STEEL - C.T.B.D.
 - INSERT INTO WALL RESIDENTIAL TYPE VINYL CLAD DOUBLE INSULATED WINDOW. C.T.B.D.
 - METAL ROOF PANEL, BY METAL BUILDING MANUFACTURER (M.B.M.) - C.T.B.D.
 - CONT. ALUM. GUTTER, TYPICAL, BY M.B.M. - C.T.B.D.
 - ALUM. DOWNSPOUT, TYP., BY M.B.M. - C.T.B.D.
 - CONCRETE SPLASH BLOCK, TYP.
 - INSULATED METAL DOOR IN H.M. FRAME, PAINT DOOR AND FRAME TO MATCH STUCCO COLOR - C.T.B.D.
 - STEEL ROLL-UP DOOR IN STEEL FRAME - C.T.B.D.
 - ALUM. OVERHANG WITH TURN-BUCKLE WITH T.P.O. ROOFING SYSTEM.
 - 1 1/4" DIA. PAINTED STEEL GUARDRAIL - C.T.B.D.
 - DOCK BUMPERS, TYPICAL.
 - DOCK LEVELER, TYPICAL.
 - CONCRETE RETAINING WALL AT DOCK, PARGE COAT TO MATCH STUCCO COLOR, REF: STRUCTURAL FOR RETAINING WALL DETAILS.
 - BREAK METAL TO MATCH WINDOW FRAME COLOR, TYPICAL.
 - STOREFRONT DOORS AND FRAME - C.T.B.D.



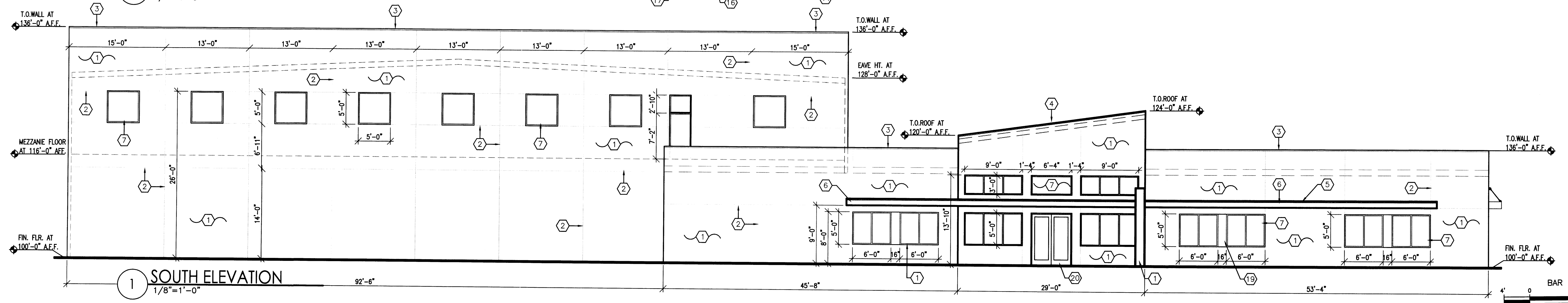
4 WEST ELEVATION
1/8"=1'-0"



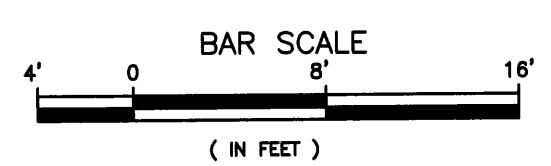
3 NORTH ELEVATION
1/8"=1'-0"



2 EAST ELEVATION
1/8"=1'-0"

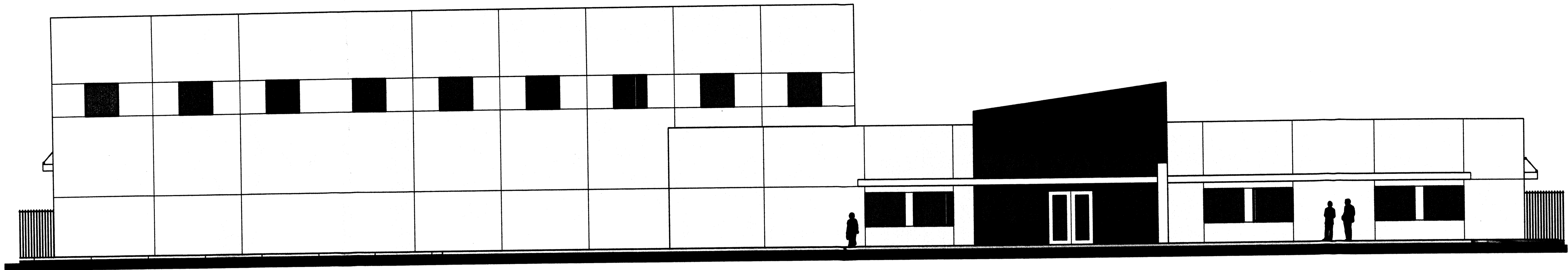


1 SOUTH ELEVATION
1/8"=1'-0"

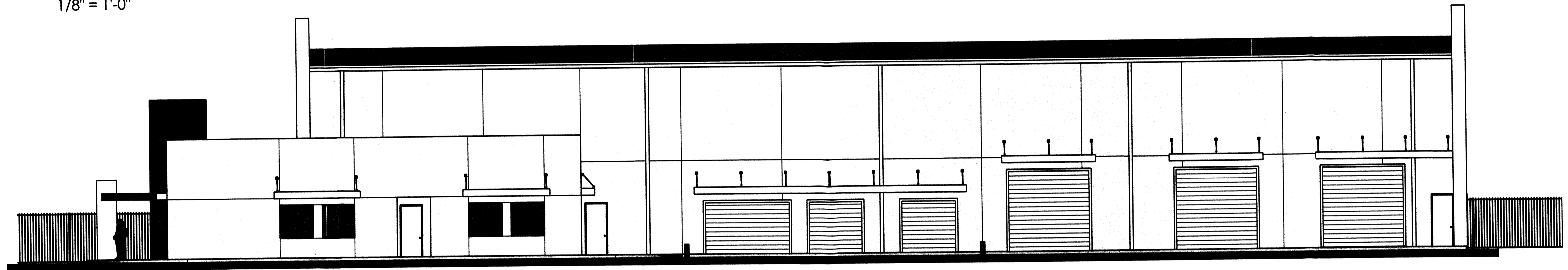


DREAMSTYLE OFFICE - WAREHOUSE
 ENLARGED OFFICE FLOOR PLAN
 ALBUQUERQUE, NM
 PROJECT # 1465

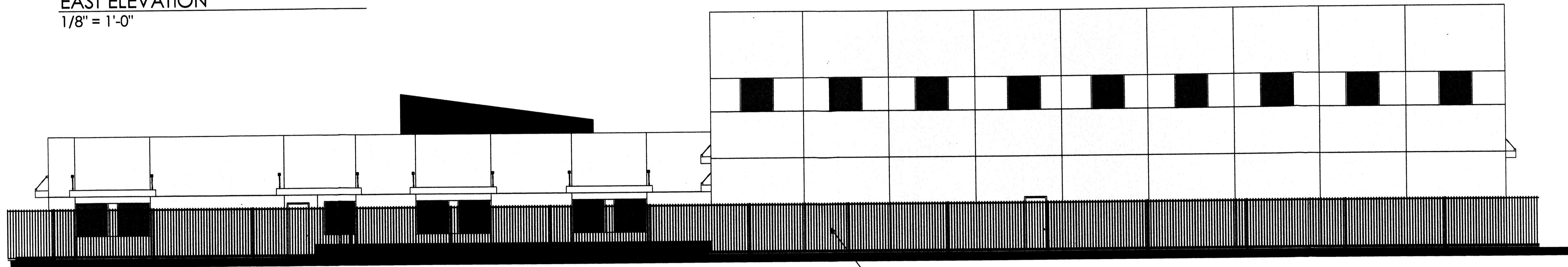
REVISION DATE
DATE 05-15-2015
SHEET NUMBER A-7.0



SOUTH ELEVATION
1/8" = 1'-0"

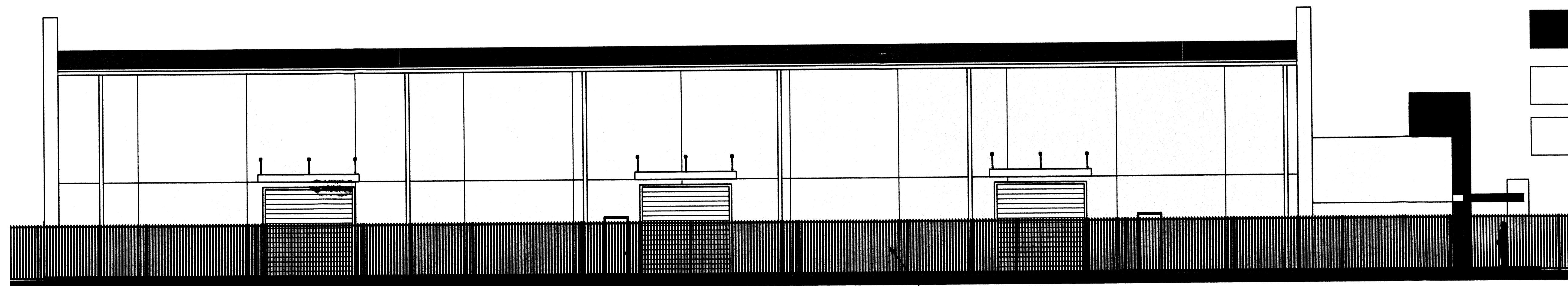


EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

EXISTING 6'-0" WROUGHT
IRON FENCE



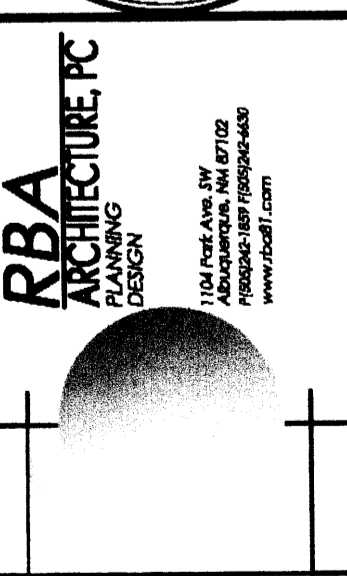
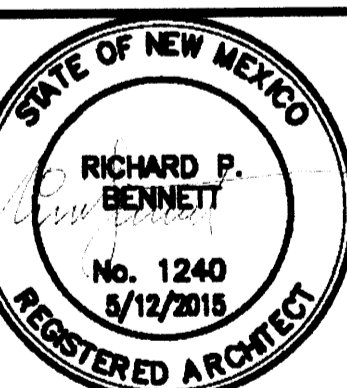
WEST ELEVATION
1/8" = 1'-0"

EXISTING 6'-0" WROUGHT
IRON FENCE

- TAN COLOR: BUFFALO PAREX 537
- RED COLOR: RIO SAND PAREX 537
- GREY COLOR: MOONDANCE PAREX 537
- FRAME COLOR: SANDTONE

DREAMSTYLE OFFICE - WAREHOUSE
 EXTERIOR ELEVATIONS
 ALBUQUERQUE, NM
 PROJECT #1465

REVISION DATE



DATE
5-12-15

SHEET NUMBER
A-7.0