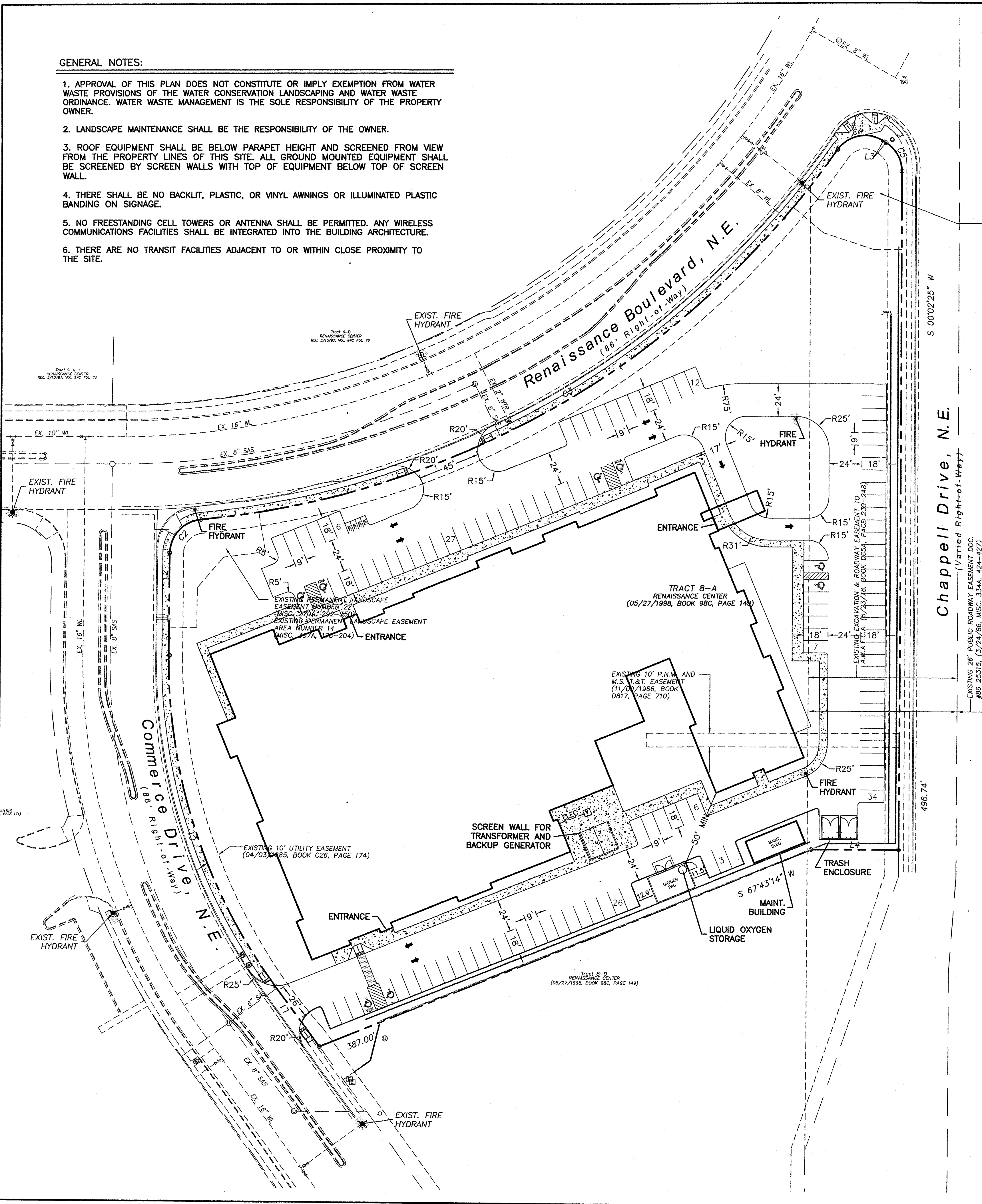


GENERAL NOTES:

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.



LEGEND

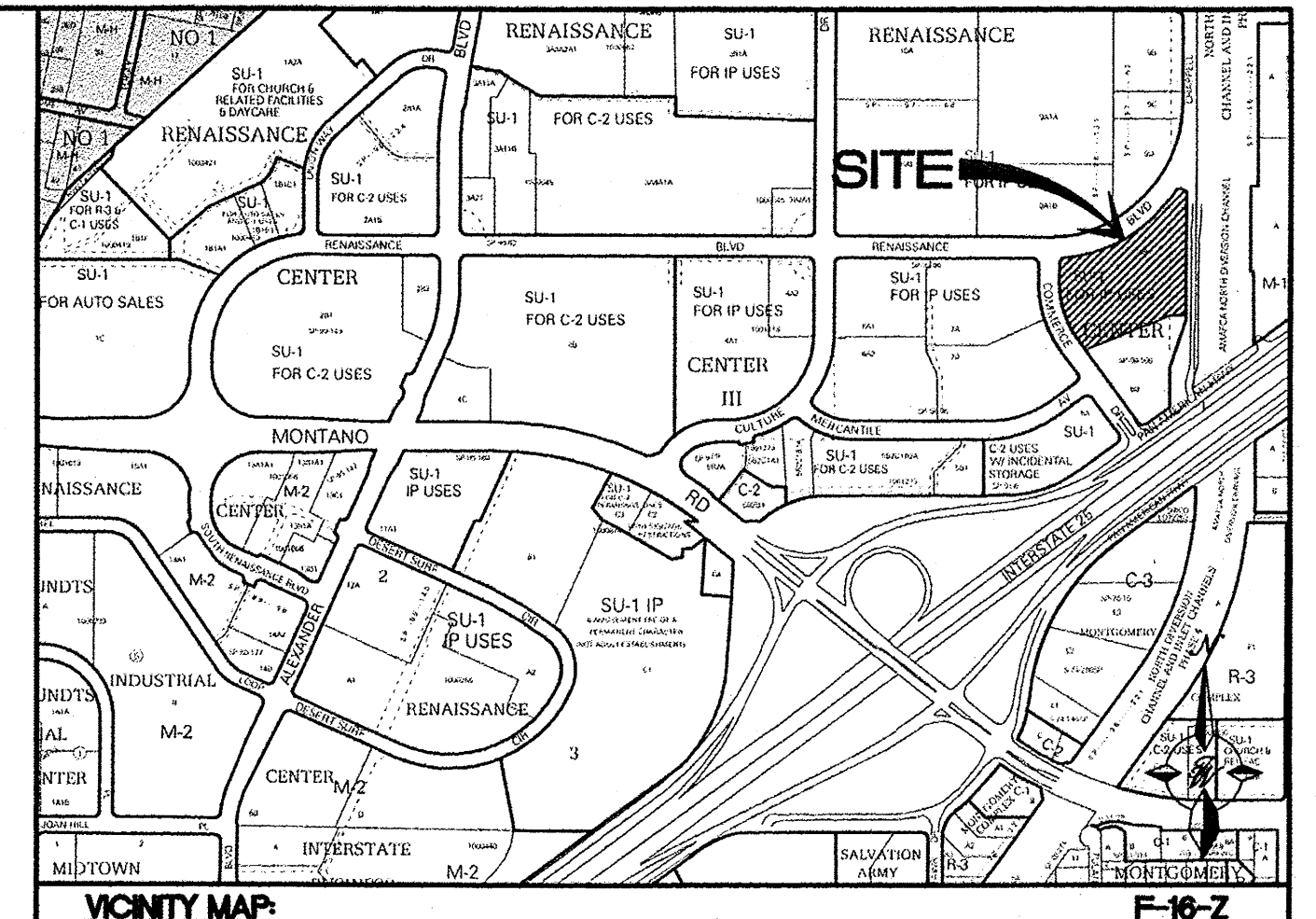
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING

SITE DATA

PROPOSED USAGE:	NURSING HOME (134 BEDS) 69,738 SF; MAX HEIGHT 33' (TO RIDGE OF HIGHEST ELEMENT) CONSTRUCTION TYPE V-A, OCCUPANCY GROUP 1-2
LOT AREA:	215,683 SF (4.95 ACRES)
BUILDING AREA:	SF
PARKING REQUIRED:	67 SPACES
PARKING PROVIDED:	121 SPACES
HC PARKING REQUIRED:	8 SPACES
HC PARKING PROVIDED:	8 SPACES 2 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED:	4 SPACES
MC PARKING PROVIDED:	4 SPACES
BICYCLE PARKING REQUIRED:	SPACES
BICYCLE PARKING PROVIDED:	SPACES
LANDSCAPE AREA REQUIRED:	SF
LANDSCAPE AREA PROVIDED:	SF

KEYED NOTE

- (A) 6" VALLEY GUTTER PER COA STD DWG #2420
- (B) 6" SIDEWALK PER COA STD DWG #2430
- (C) 6" STANDARD CURB AND GUTTER PER COA STD DWG #2415B
- (D) ZERO CURB
- (E) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET C5
- (F) HANDICAP PARKING SIGN PER DETAIL SHEET C5
- (G) TRASH ENCLOSURE PER DETAIL SHEET C5
- (H) NEW BIKE RACK



VICINITY MAP: F-16-Z
LEGAL DESCRIPTION:
TRACT 8A, PLAT OF TRACTS 8A AND 8-B, RENAISSANCE CENTER

NOTES:
ZONING: SU-1 FOR IP USES
SETBACKS: FRONT = PER PLAN
REAR = PER PLAN
SIDE (CORNER) = PER PLAN

PROJECT: 1010488
DATE: 6-17-15
APP: 15-70209
(SBP)

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

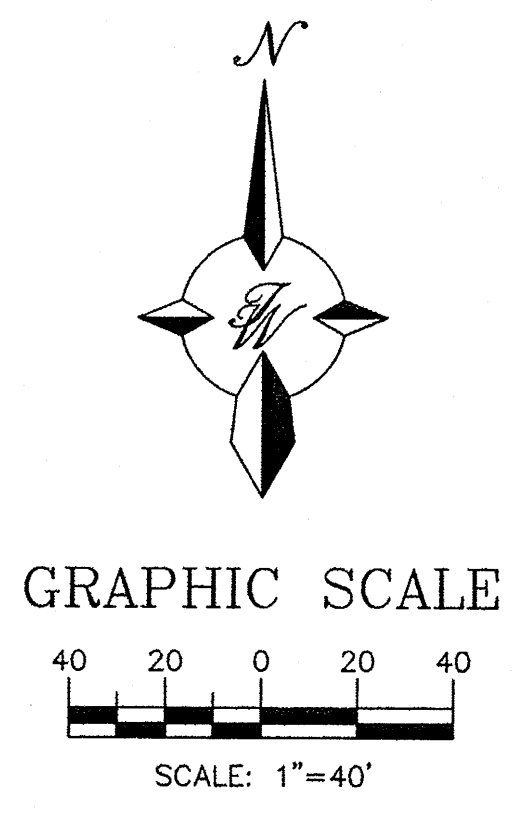
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

APD PLANS CHECKING OFFICE
924-3511
APPROVED/DISAPPROVED
SIGNATURE & DATE

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING AND DRAINAGE PLAN
 - C3. MASTER UTILITY PLAN
 - C4. BUILDING ELEVATIONS
 - C5. DETAIL SHEET
 - L1. LANDSCAPING PLAN



ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT	DATE 5/07/15
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2014088-SPE
		SHEET # C1
		JOB # 2014088

GENERAL NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
3. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
4. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
5. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
6. THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▬ BUILDING
- ▬ SIDEWALK
- ▬ SCREEN WALL
- ▬ RETAINING WALL
- ☼ STREET LIGHTS
- - - LANE
- - - STRIPING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING SIDEWALK
- - - EXISTING LANE
- - - EXISTING STRIPING

SITE DATA

PROPOSED USAGE: NURSING HOME (134 BEDS)
69,738 SF; MAX HEIGHT 33' (TO RIDGE OF HIGHEST ELEMENT)
CONSTRUCTION TYPE V-A, OCCUPANCY GROUP I-2

LOT AREA: 215,683 SF (4.95 ACRES)

BUILDING AREA: SF

PARKING REQUIRED: 67 SPACES
PARKING PROVIDED: 121 SPACES

HC PARKING REQUIRED: 8 SPACES
HC PARKING PROVIDED: 8 SPACES
2 SPACE VAN ACCESSIBLE

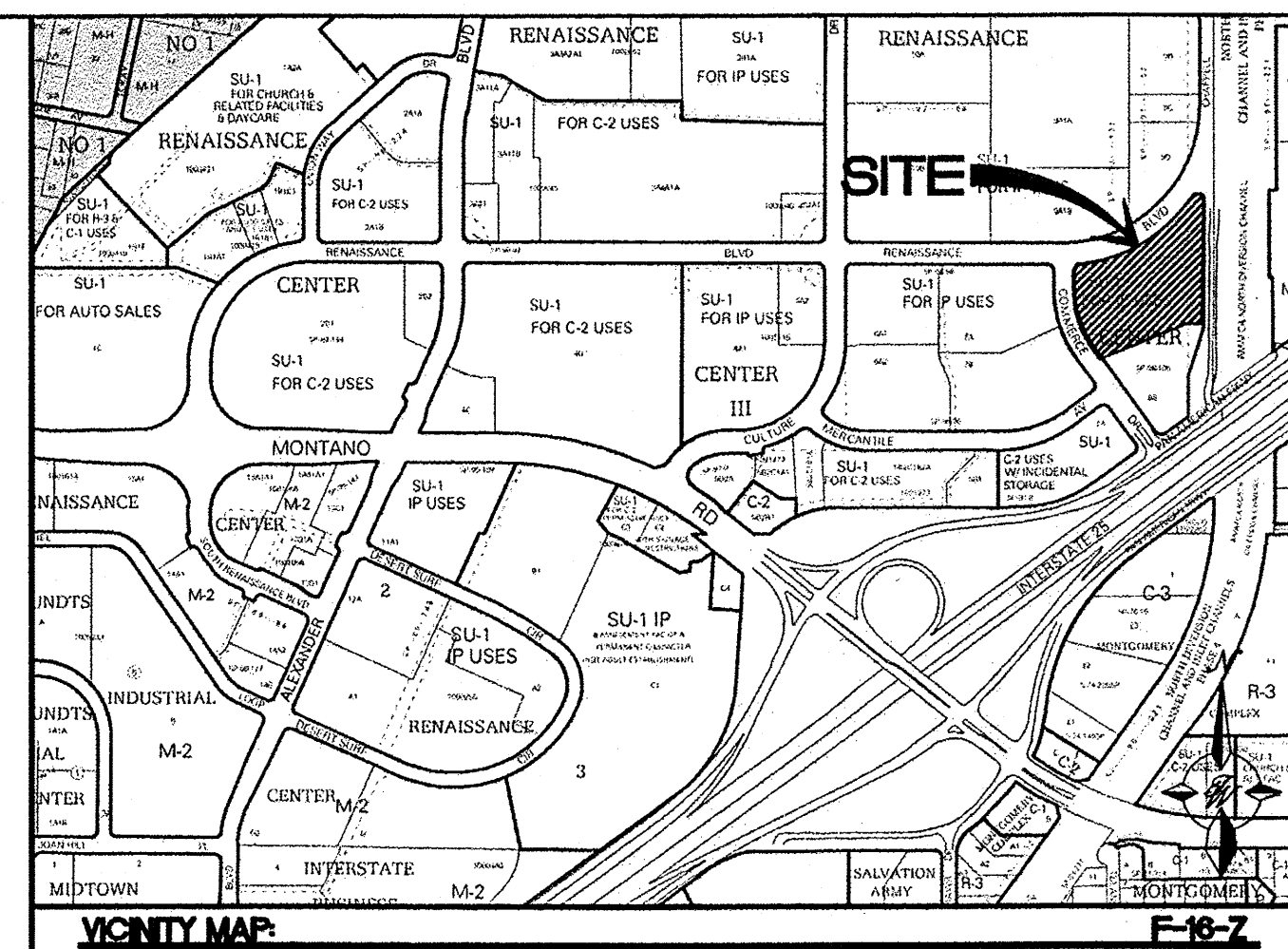
MC PARKING REQUIRED: 4 SPACES
MC PARKING PROVIDED: 4 SPACES

BICYCLE PARKING REQUIRED: SPACES
BICYCLE PARKING PROVIDED: SPACES

LANDSCAPE AREA REQUIRED: SF
LANDSCAPE AREA PROVIDED: SF

KEYED NOTE

- (A) 6" VALLEY GUTTER PER COA STD DWG #2420
- (B) 6" SIDEWALK PER COA STD DWG #2430
- (C) 6" STANDARD CURB AND GUTTER PER COA STD DWG #2415B
- (D) ZERO CURB
- (E) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET C5
- (F) HANDICAP PARKING SIGN PER DETAIL SHEET C5
- (G) TRASH ENCLOSURE PER DETAIL SHEET C5
- (H) NEW BIKE RACK



LEGAL DESCRIPTION:

TRACT 8A, PLAT OF TRACTS 8A AND 8-B, RENAISSANCE CENTER

NOTES:

ZONING: SU-1 FOR IP USES
SETBACKS: FRONT = PER PLAN
REAR = PER PLAN
SIDE (CORNER) = PER PLAN

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

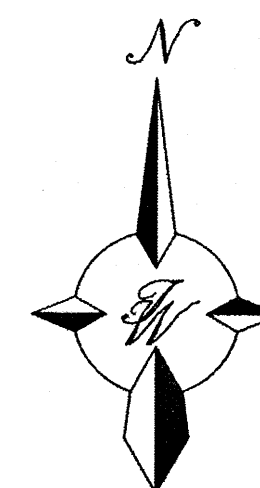
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

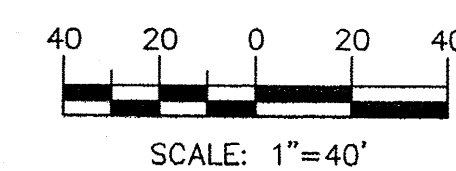
* Environmental Health, if necessary

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. BUILDING ELEVATIONS
- C5. DETAIL SHEET
- C6. DETAIL SHEET
- L1. LANDSCAPING PLAN



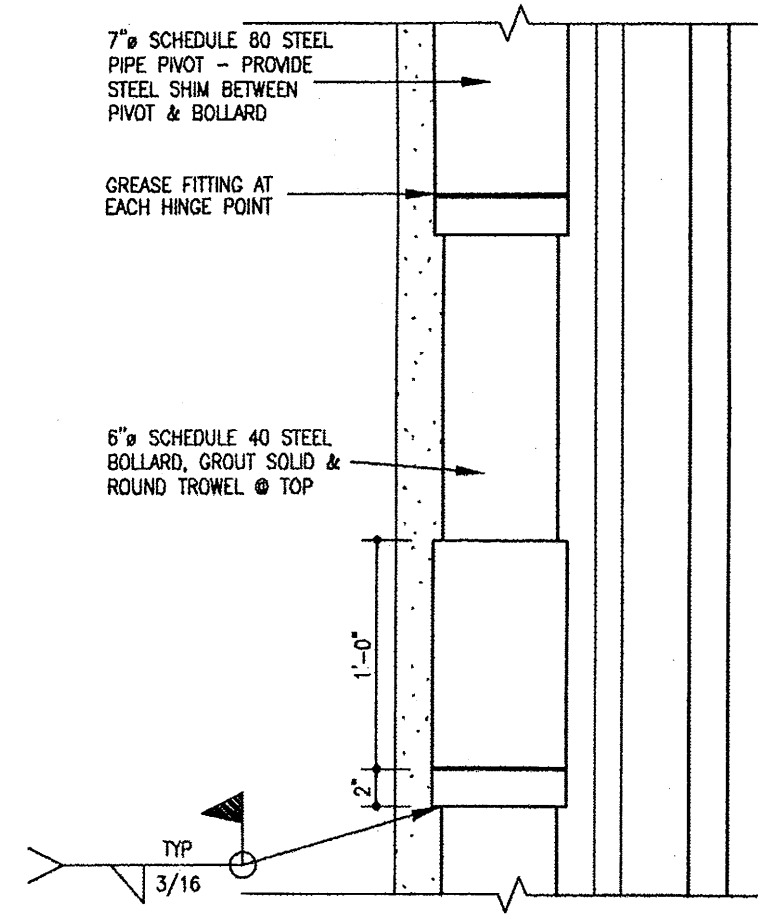
GRAPHIC SCALE



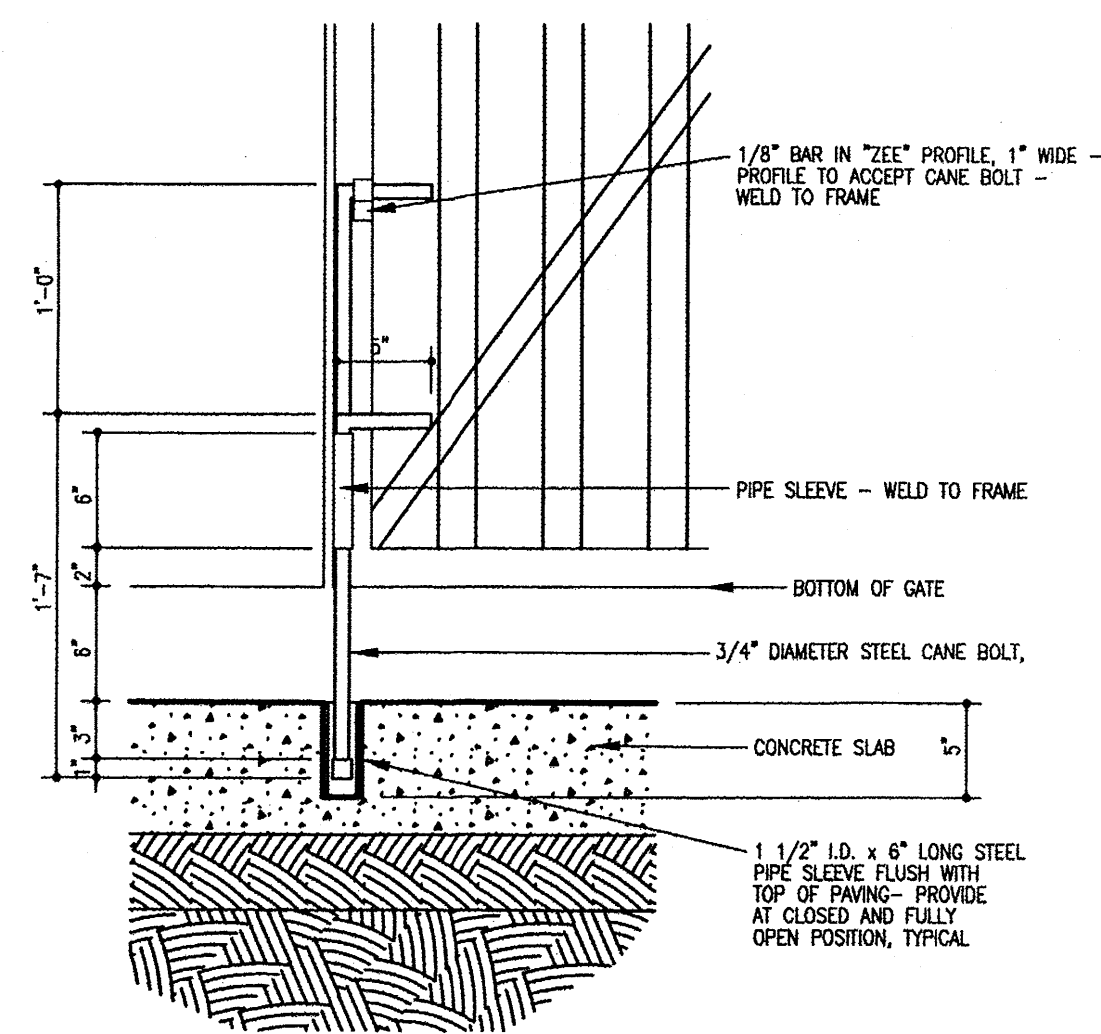
ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT	DATE 5/14/15
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2014088-SPE
		SHEET # C1
		JOB # 2014088

General Notes

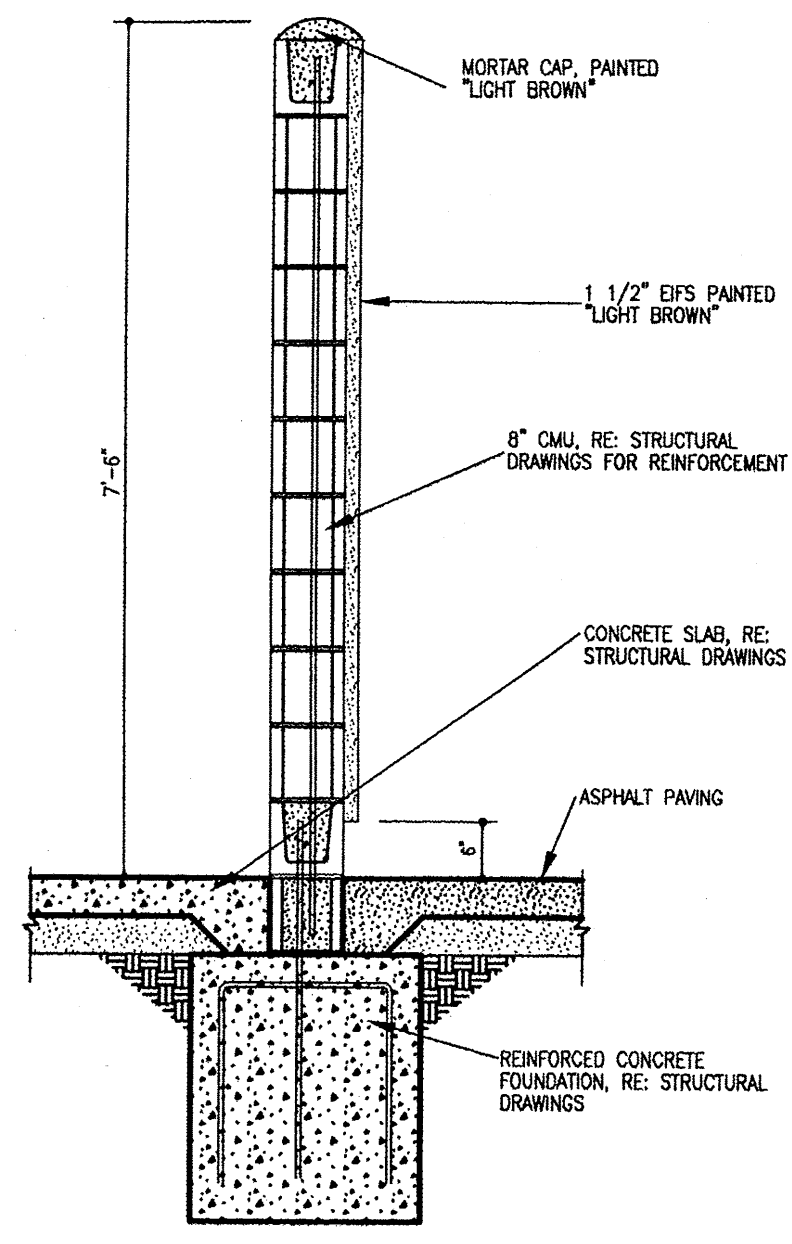
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENTS SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



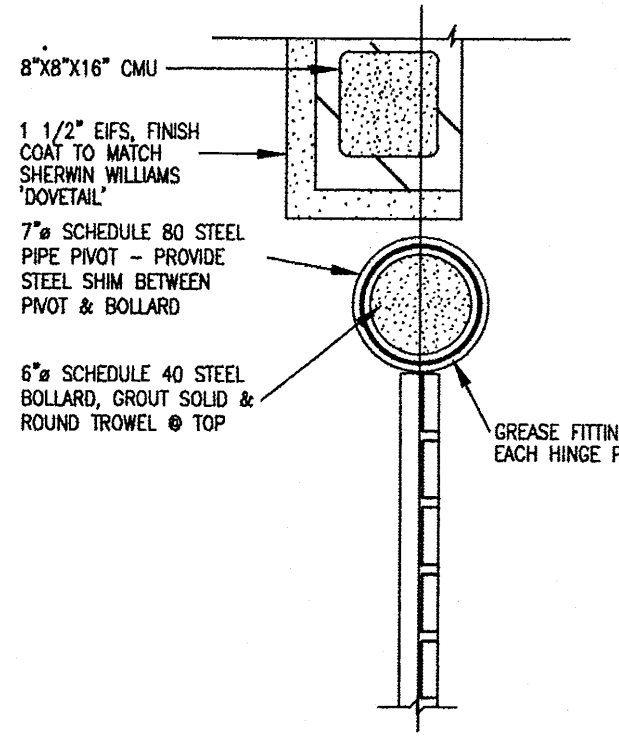
9 Dumpster Door Pivot
1 1/2" x 1 1/2"



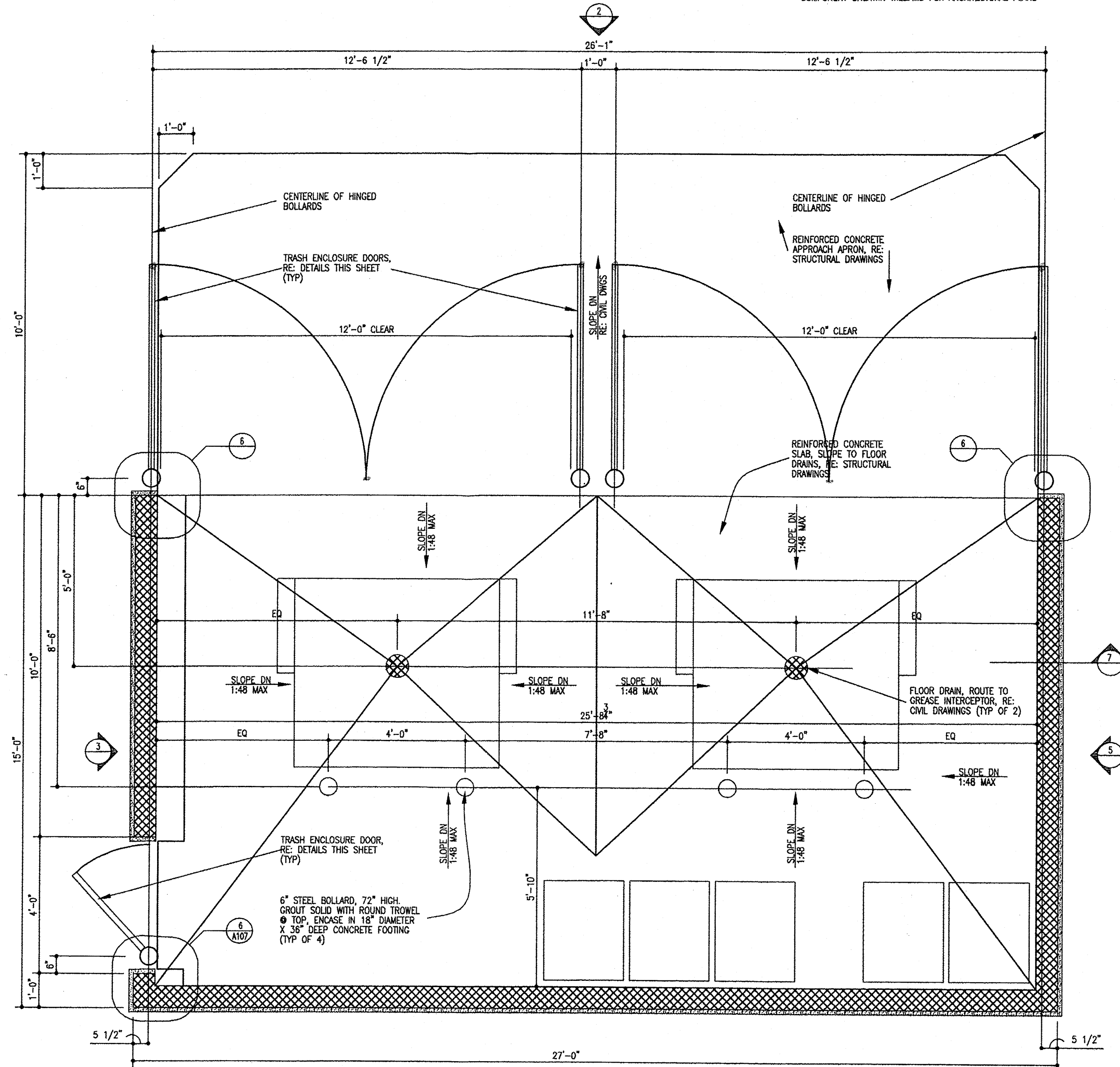
8 Cane Bolt Detail
1 1/2" x 1 1/2"



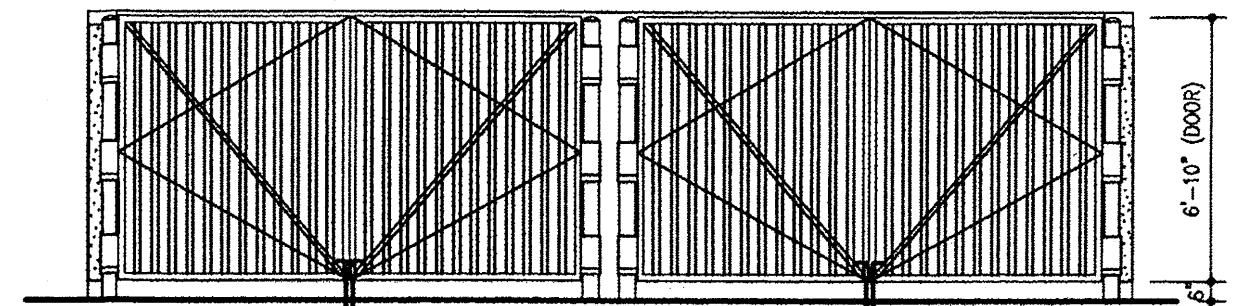
7 Wall Section
3 1/2" x 1 1/2"



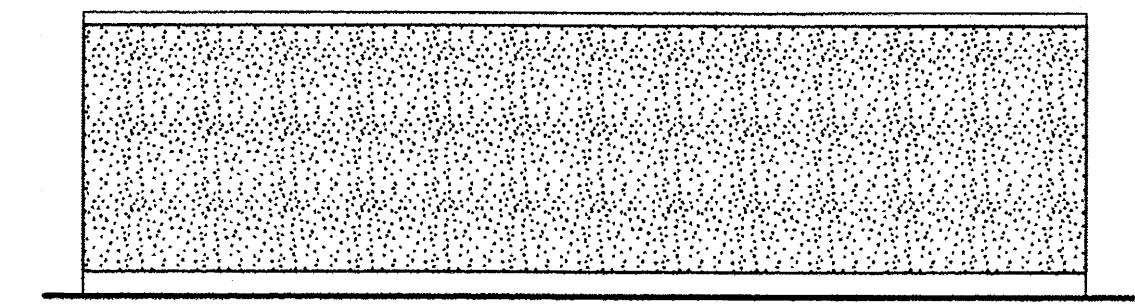
6 Plan Detail
1 1/2" x 1 1/2"



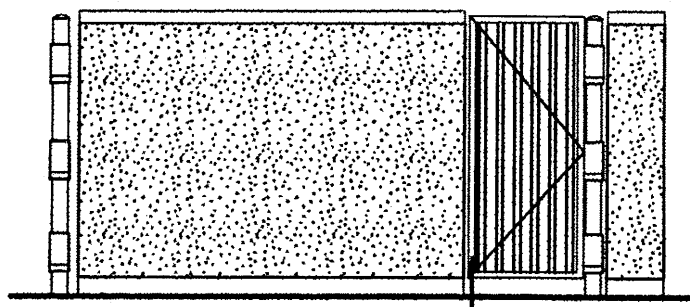
1 Dumpster Floor Plan
12' x 14'



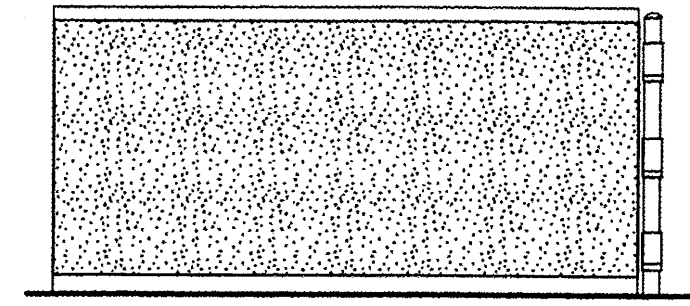
2 Front Elevation
14' x 14'



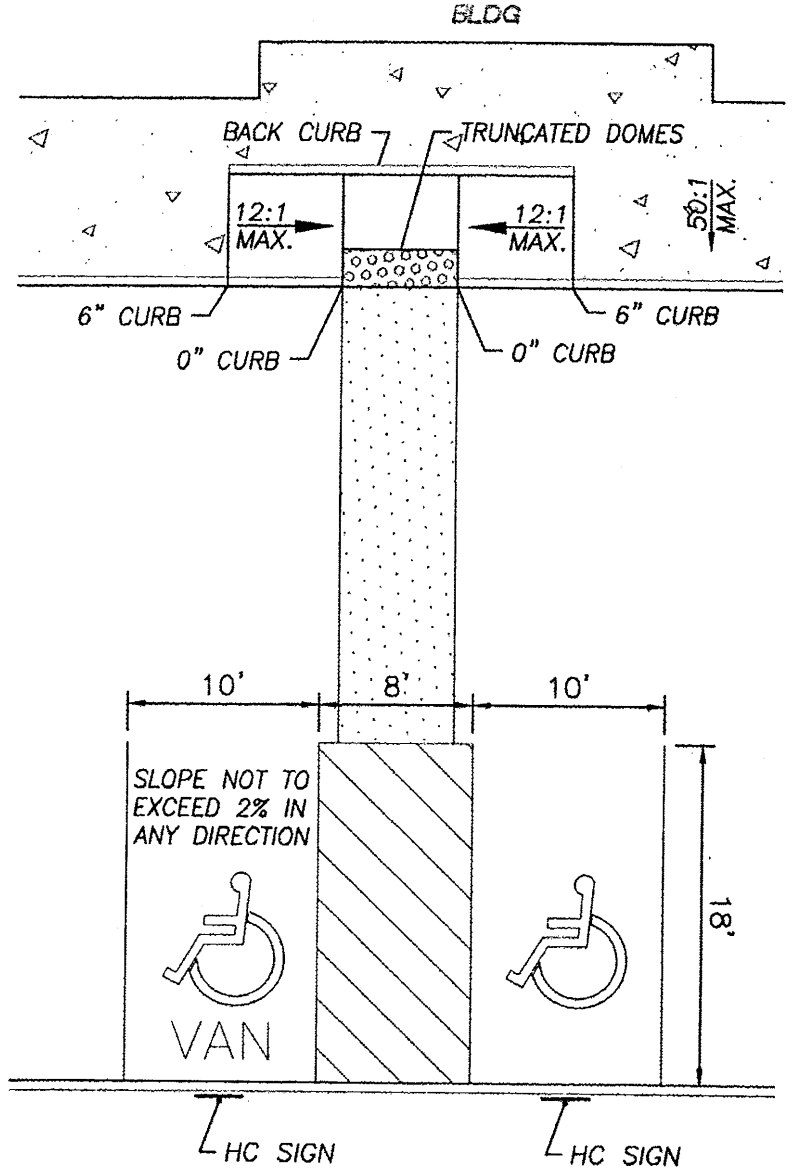
4 Back Elevation
14' x 14'



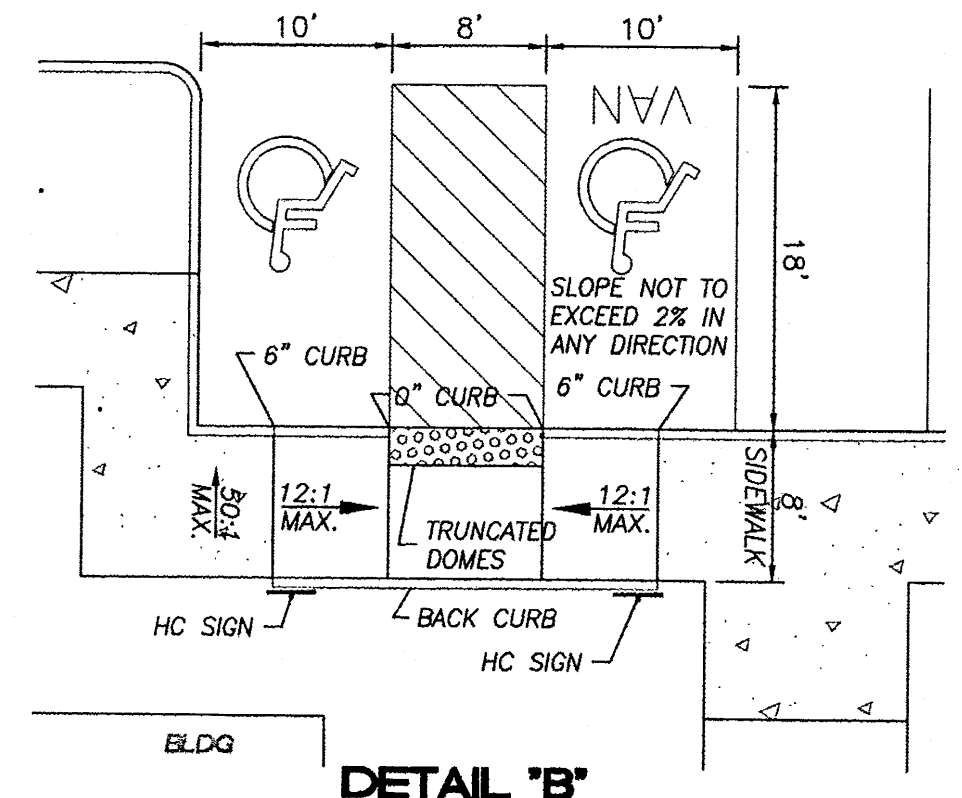
3 Side Elevation
14' x 14'



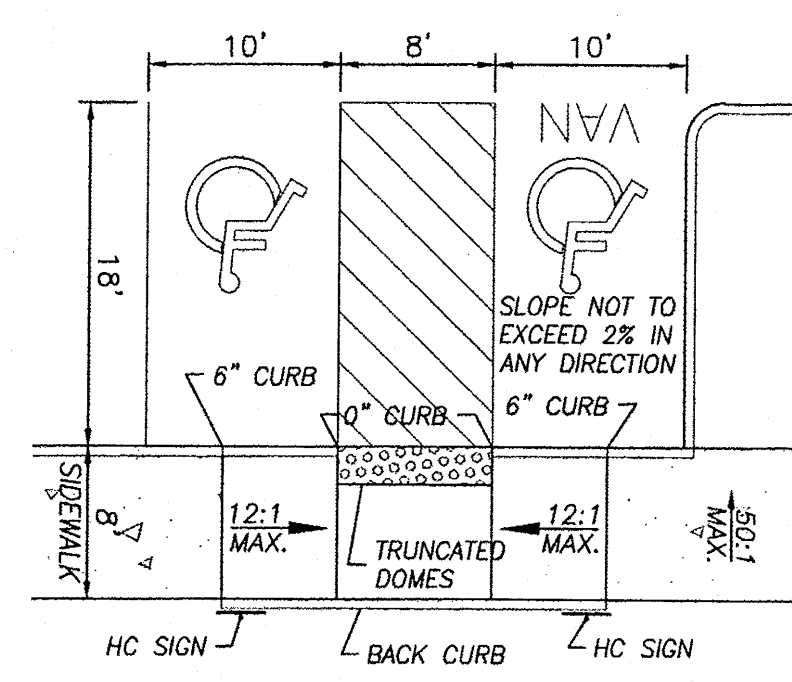
5 Side Elevation
14' x 14'



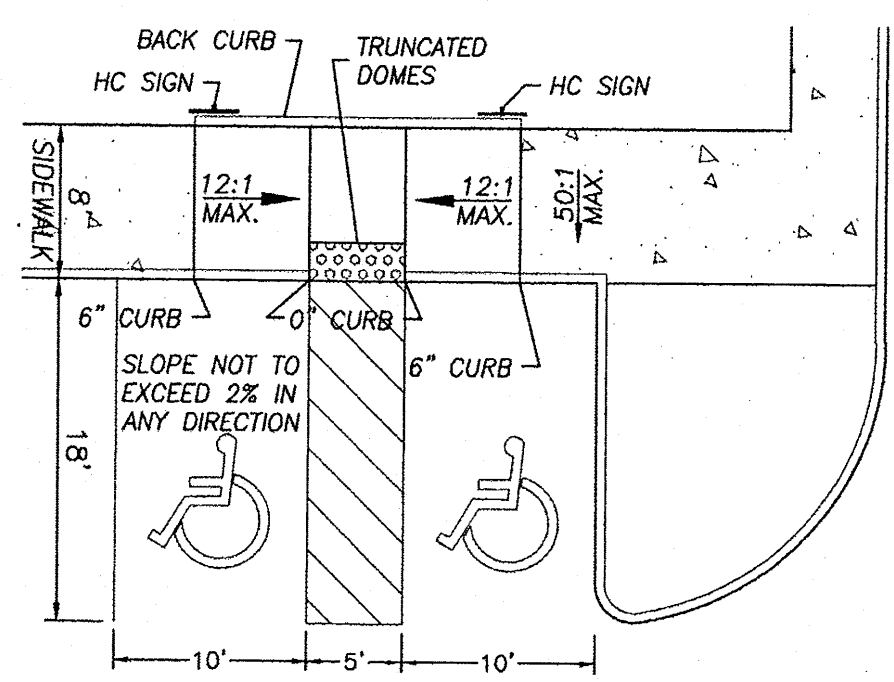
DETAIL 'A'
NTS



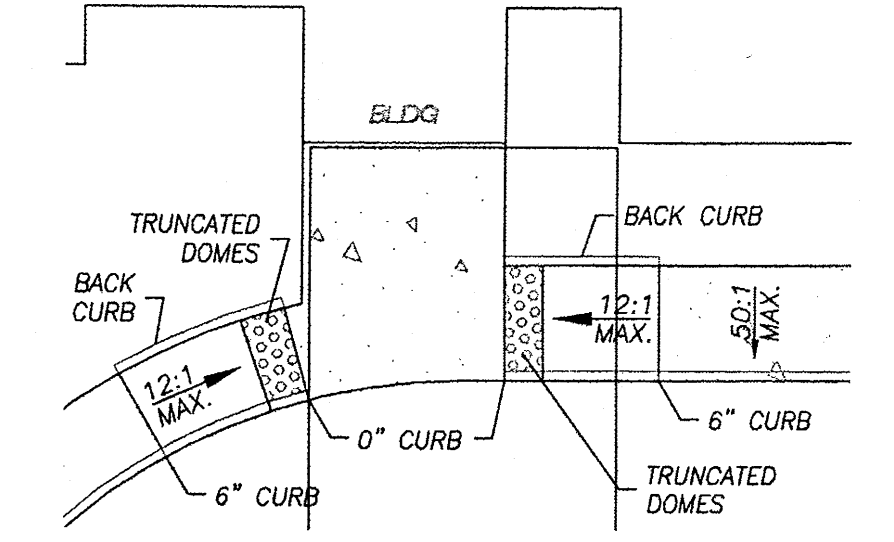
DETAIL 'B'
NTS



DETAIL 'C'
NTS



DETAIL 'D'
NTS



DETAIL 'E'
NTS

- NOTES:
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	DETAIL SHEET	DATE 5/13/15
		2014088-DTE
		SHEET # C6
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2014088
RONALD R. BOHANNAN P.E. #7868		

GENERAL NOTES:

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- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER INCLUDING THAT WITHIN THE CITY RIGHT-OF-WAY.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN J AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- RETAINING WALL
- EXISTING STREET LIGHTS
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- CONCRETE PAVERS
- PROPOSED ASPHALT
- PROPOSED PARKING LOT LIGHT

SITE DATA

PROPOSED USAGE: NURSING HOME (134 BEDS)
69,738 SF; MAX HEIGHT 33' (TO RIDGE OF HIGHEST ELEMENT)
CONSTRUCTION TYPE V-A, OCCUPANCY GROUP I-2

MAINTENANCE BUILDING
720 SF

LOT AREA: 215,683 SF (4.95 ACRES)

PARKING REQUIRED: 67 SPACES
PARKING PROVIDED: 106 SPACES

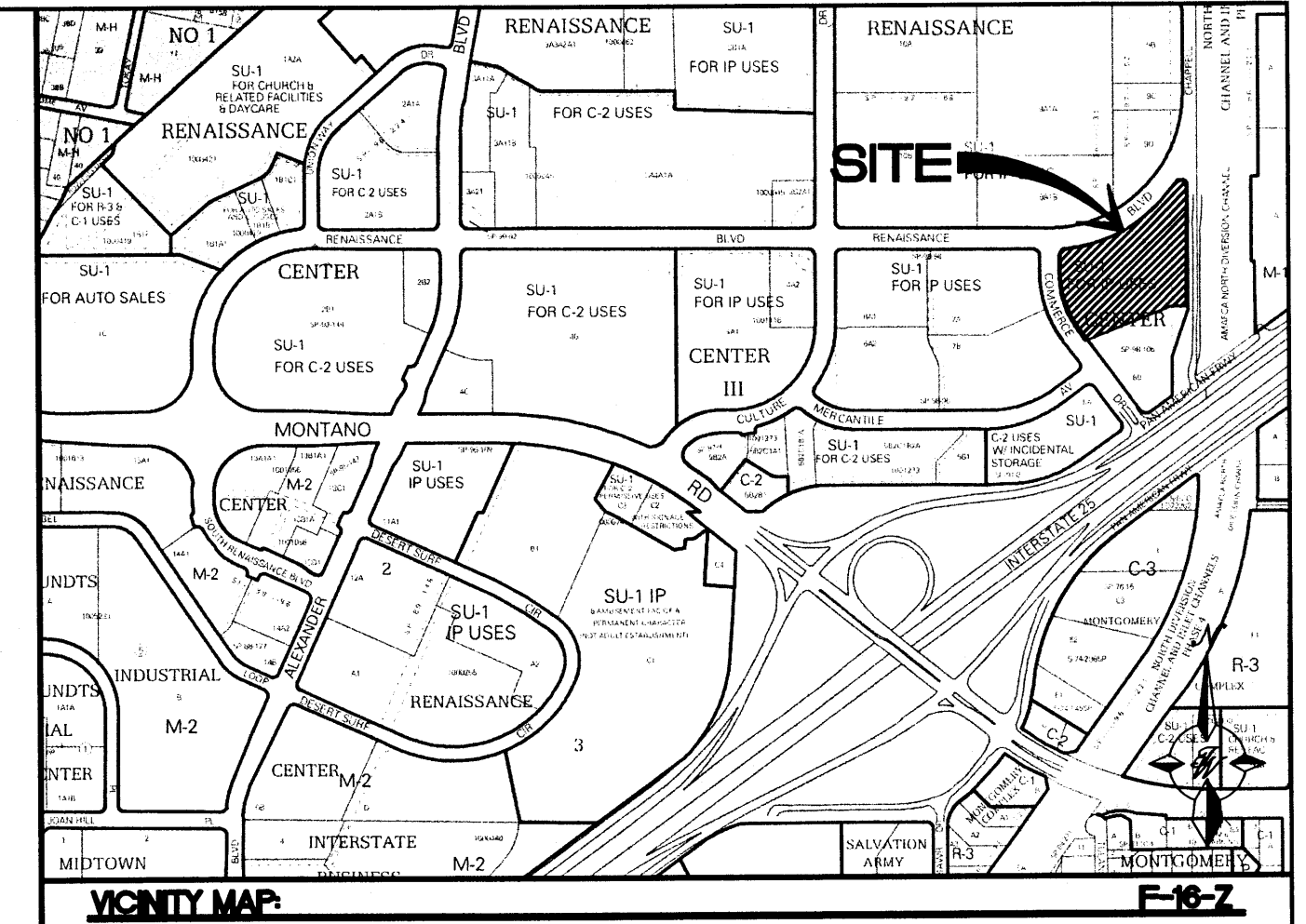
HC PARKING REQUIRED: 8 SPACES
HC PARKING PROVIDED: 8 SPACES
2 SPACE VAN ACCESSIBLE

MC PARKING REQUIRED: 4 SPACES
MC PARKING PROVIDED: 4 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

KEYED NOTE

- (A) 6" VALLEY GUTTER PER COA STD DWG #2420
- (B) SIDEWALK PER COA STD DWG #2430
- (C) 6" STANDARD CURB AND GUTTER PER COA STD DWG #2415B
- (D) ZERO CURB WITH TRUNCATED DOMES
- (E) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET C5
- (F) HANDICAP PARKING SIGN PER DETAIL SHEET C5
- (G) TRASH ENCLOSURE PER DETAIL SHEET C6
- (H) BIKE RACK (SEE DETAIL SHEET C5)
- (I) RETAINING WALLS (SEE GRADING PLAN SHEET C2)
- (J) SITE LIGHTING
- (K) EXISTING LIGHT TO BE RELOCATED
- (L) CROSSWALK STRIPING
- (M) CONCRETE SWALE, 2' WIDE, 6" THICK (SEE DETAIL SHEET C5)
- (N) CURB STOP (SEE DETAIL SHEET C5)
- (O) 12" SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD DWG #2236
- (P) CONCRETE PAVERS W/ 1"-6" CONCRETE BAND PER COA STD DWG #2412
- (Q) MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C5)
- (R) ACCESSIBLE PARKING PER ADA STANDARDS (SEE DETAIL SHEET C5)
- (S) STOP SIGN
- (T) TYPE "A" CURB RAMP PER COA STD DWG #2440
- (U1) ADA RAMP (SEE DETAIL "A" SHEET C6)
- (U2) ADA RAMP (SEE DETAIL "B" SHEET C6)
- (U3) ADA RAMP (SEE DETAIL "C" SHEET C6)
- (U4) ADA RAMP (SEE DETAIL "D" SHEET C6)
- (U5) ADA RAMP (SEE DETAIL "E" SHEET C6)
- (V) MONUMENT SIGN (SEE DETAIL SHEET A2.2)
- (W) SCREEN WALL & DETAIL (SEE DETAIL SHEET C6)
- (X) "DO NOT ENTER" SIGN
- (Y) RECYCLE ENCLOSURE PER DETAIL SHEET C7
- (Z) SIGHT TRIANGLE



LEGAL DESCRIPTION:
TRACT 8A, PLAT OF TRACTS 8A AND 8-B, RENAISSANCE CENTER

NOTES:

ZONING: SU-1 FOR IP USES
SETBACKS: FRONT = PER PLAN
REAR = PER PLAN
SIDE (CORNER) = PER PLAN

PROJECT NUMBER: 1010488
APPLICATION NUMBER: 15DRB-70209

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

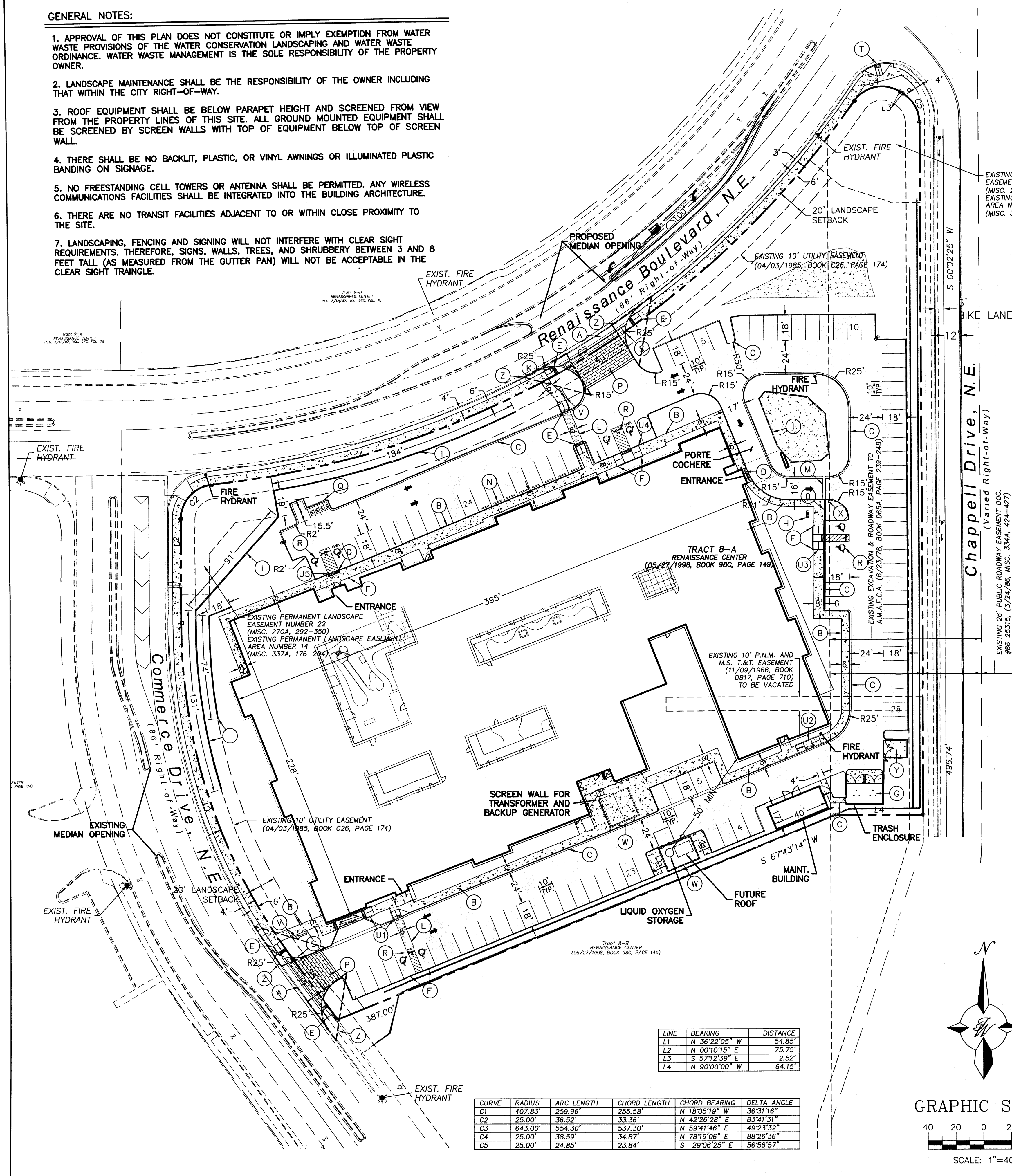
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	D

* Environmental Health, if necessary

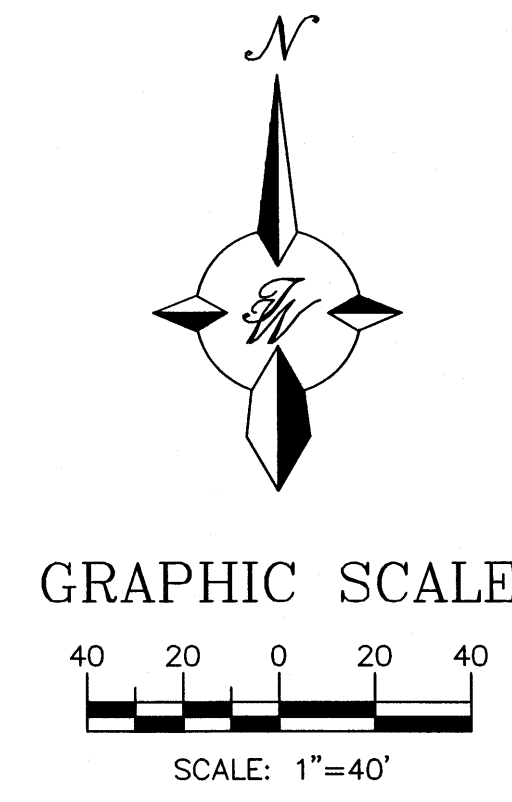
- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING AND DRAINAGE PLAN
 - C3. RETAINING WALL PLAN & PROFILE
 - C4. MASTER UTILITY PLAN
 - C5. DETAIL SHEET
 - C6. DETAIL SHEET
 - C7. DETAIL SHEET
 - L1. LANDSCAPING PLAN
 - A2.1 BUILDING ELEVATIONS
 - A2.2 ELEVATIONS (MONUMENT SIGN)

ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT	DATE 7/16/15
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierawestllc.com	2014088-SPE
		SHEET # C1
		JOB # 2014088



LINE	BEARING	DISTANCE
L1	N 36°22'05" W	54.85'
L2	N 02°10'15" E	25.75'
L3	S 57°12'39" E	2.52'
L4	N 90°00'00" W	64.15'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	407.83'	259.96'	255.58'	N 18°05'19" W	36°31'16"
C2	25.00'	36.52'	33.36'	N 42°26'28" E	83°41'31"
C3	643.00'	554.30'	537.30'	N 59°41'48" E	49°23'32"
C4	25.00'	36.59'	34.87'	N 78°19'06" E	88°28'36"
C5	25.00'	24.85'	23.84'	S 29°06'25" E	56°56'57"



PROJECT: 1010488
 DATE: 6-17-15
 APP: 15-70209 (SR)

EROSION CONTROL NOTES

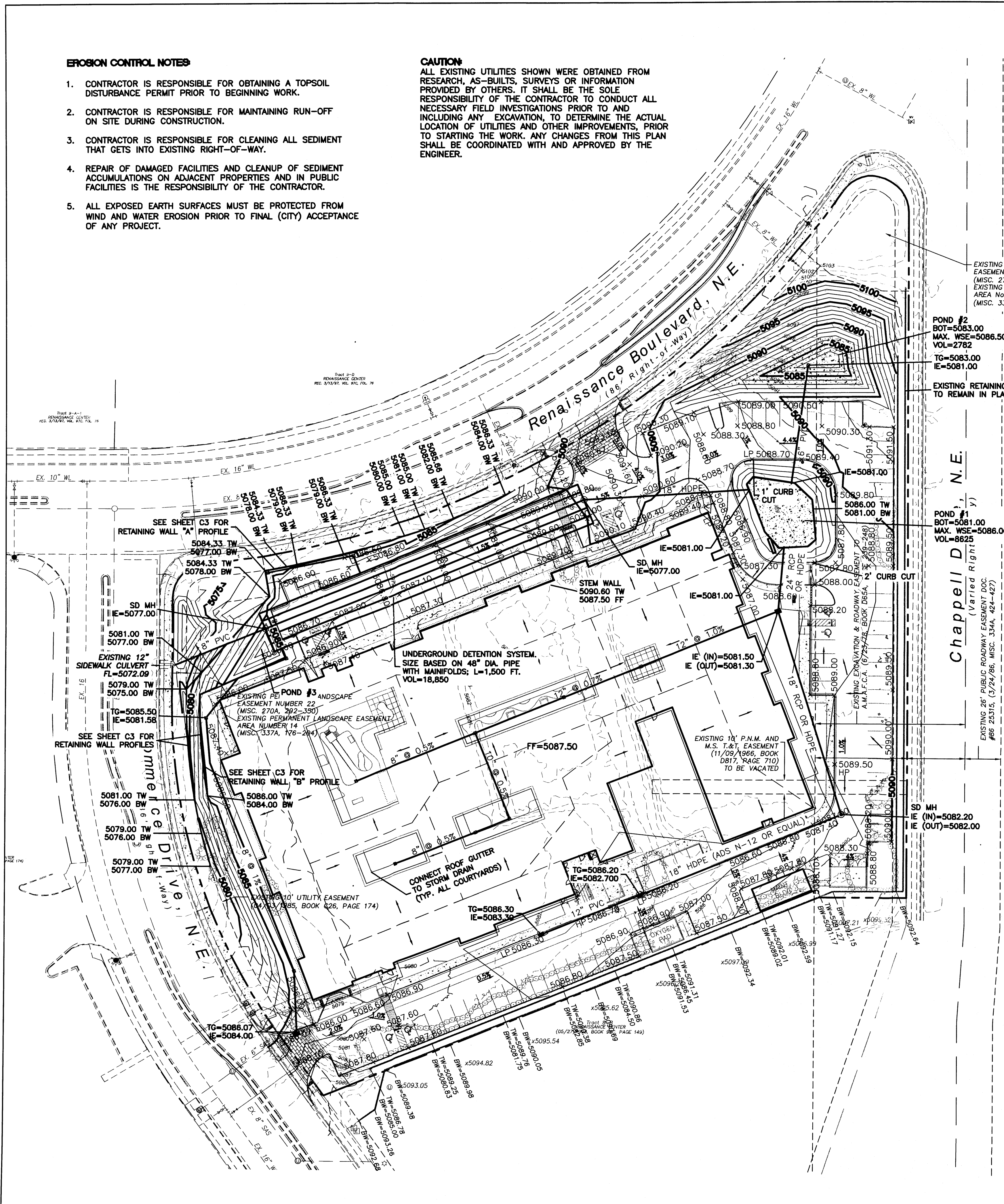
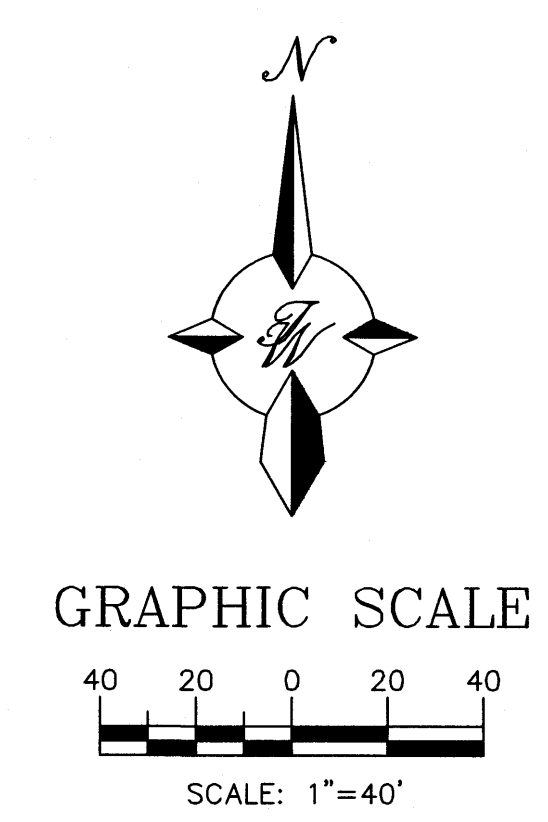
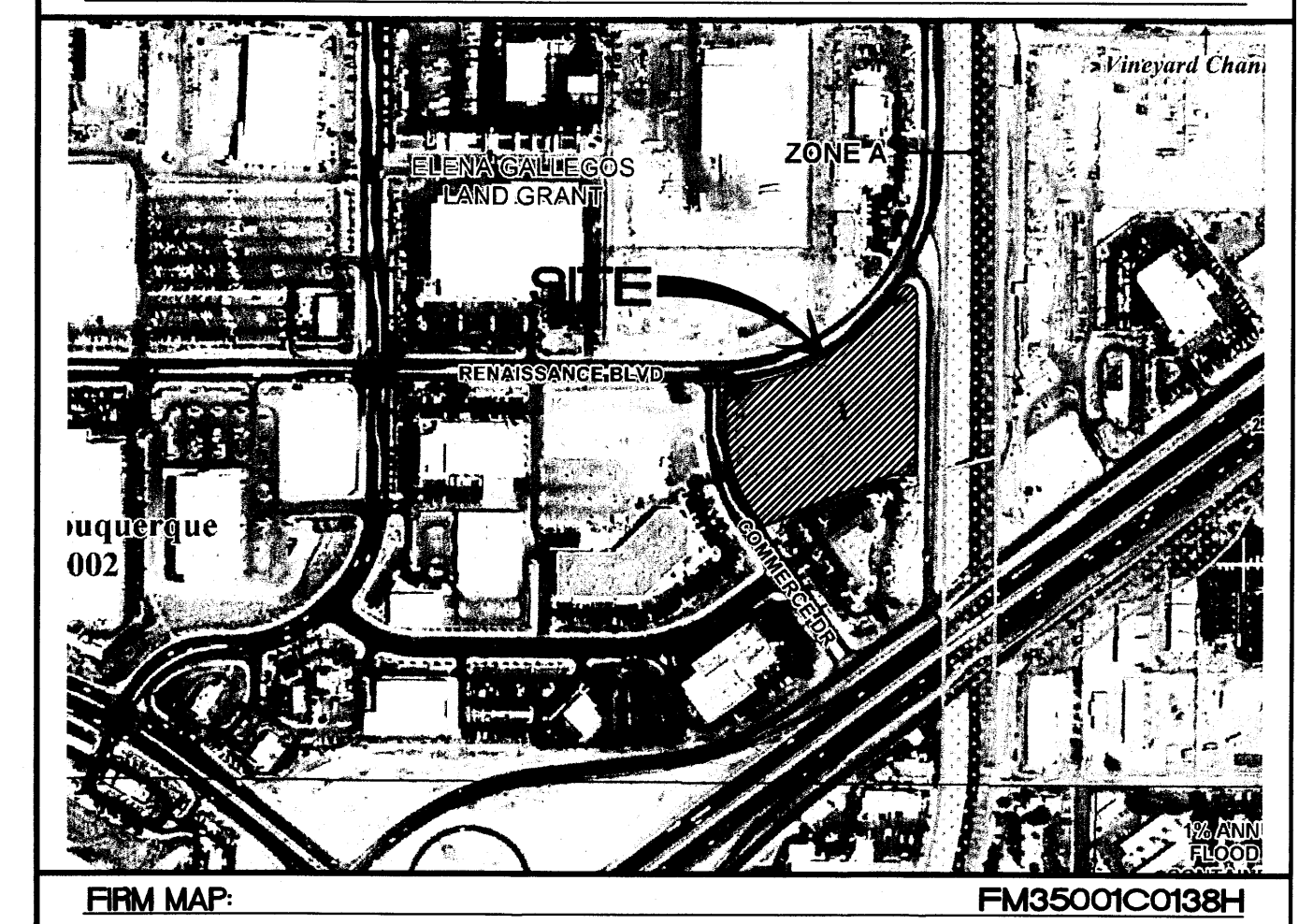
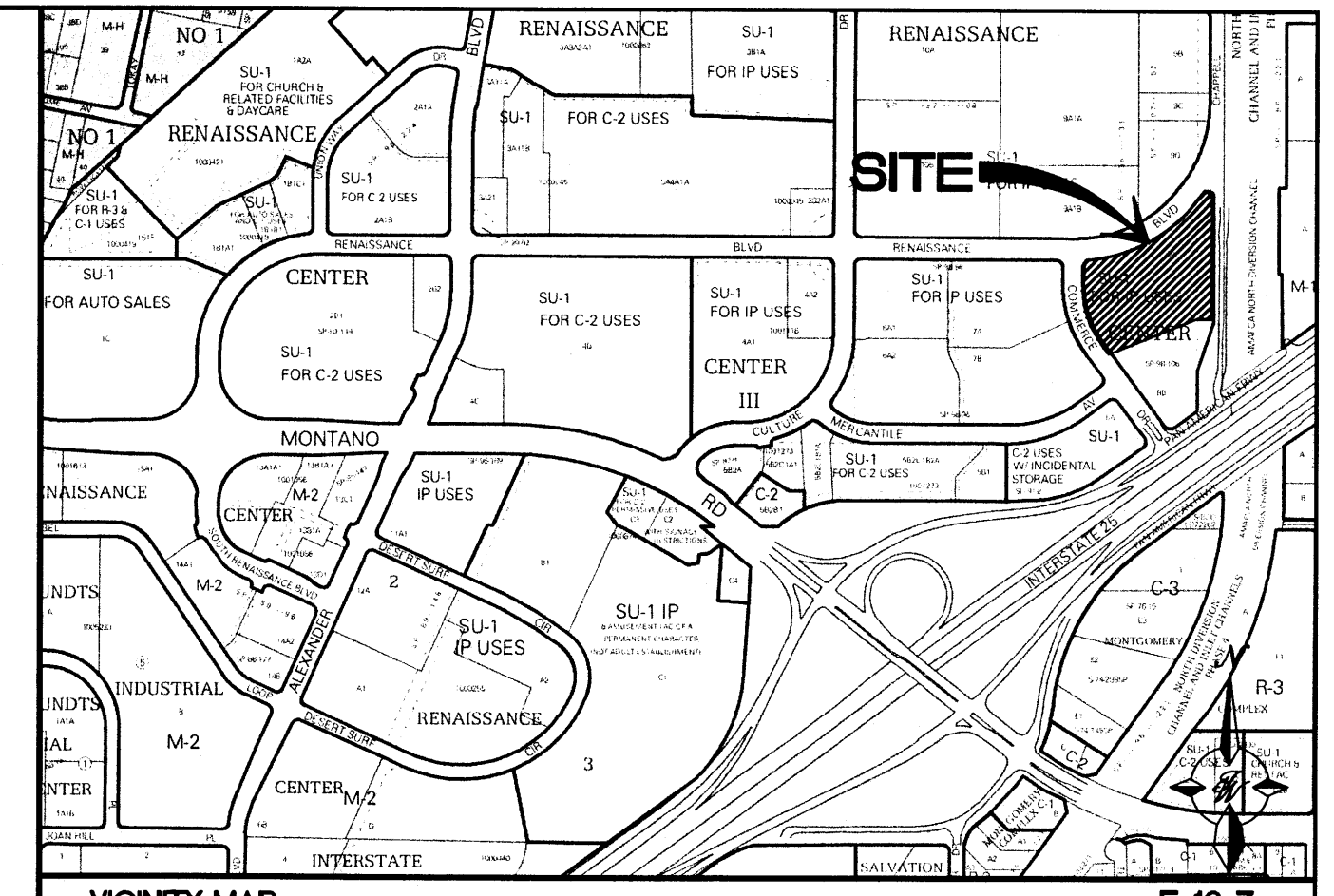
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION



Location

The project site is Tract 8-A of the Renaissance Center located on the southeast corner of Commerce Drive and Renaissance Boulevard, N.E. The site is bounded by Renaissance Boulevard on the north, Commerce Drive on the west, Chappell Road on the east, and Tract 8-B to the south which is an existing hotel.

Purpose

The purpose of this drainage report is to present a drainage solution for the proposed development consisting of a single-story building for a skilled nursing facility and associated parking facility. We are requesting conceptual grading approval and Site Development Plan for Building Permit approval.

Existing Drainage Conditions

The site falls within the approved Renaissance Drainage Master Plan, and is currently undeveloped, although previously rough graded with two pads. The plan allows a controlled release runoff of 0.10 cfs per acre from each tract. The existing conditions were analyzed using the criteria set by the City of Albuquerque DPM.

Existing conditions, analyzed as a single basin with a runoff rate of 15.3 cfs., generally sheet flows from the southeast to the northwest portion of the site discharging onto Commerce Drive through a sidewalk culvert near the Renaissance Boulevard intersection. No offsite runoff enters the site.

The site is located outside any mapped 100 year floodplain, as indicated on FEMA FIRM Map 35001C138H.

Proposed Drainage Management

Drainage from the majority of the developed site will be collected through a network of storm drain pipes and routed through above-ground detention ponds and an underground detention storage system, such as an ADS pipe and manifold system, before releasing flows onto Commerce Drive at the existing sidewalk culvert location where the site currently flows. An area at the northeast portion of the site (Basin C1) will flow into a pond (Pond #2) which has adequate capacity for full retention for its tributary area, and will be drained to Pond #1 with a small diameter pipe. Given that the allowable discharge rate is limited to only 0.10 cfs by the DMP, the detention storage volume is designed with the capacity to accommodate the entire volume from developed flows.

First flush management will be achieved by the existing regional pond in the southwest corner of the Master Plan area where discharge is controlled by a manual valve. Given the potential for collapsible soils onsite, a waiver for onsite retention of the first flush is requested with this project. A future request to offset a portion of the required detention pond volume onsite by enlarging the regional pond downstream may be submitted as an alternate prior to construction.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL

ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 7/16/15
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2014088-GRE
		SHEET # C2
		JOB # 2014088

EROSION CONTROL NOTES

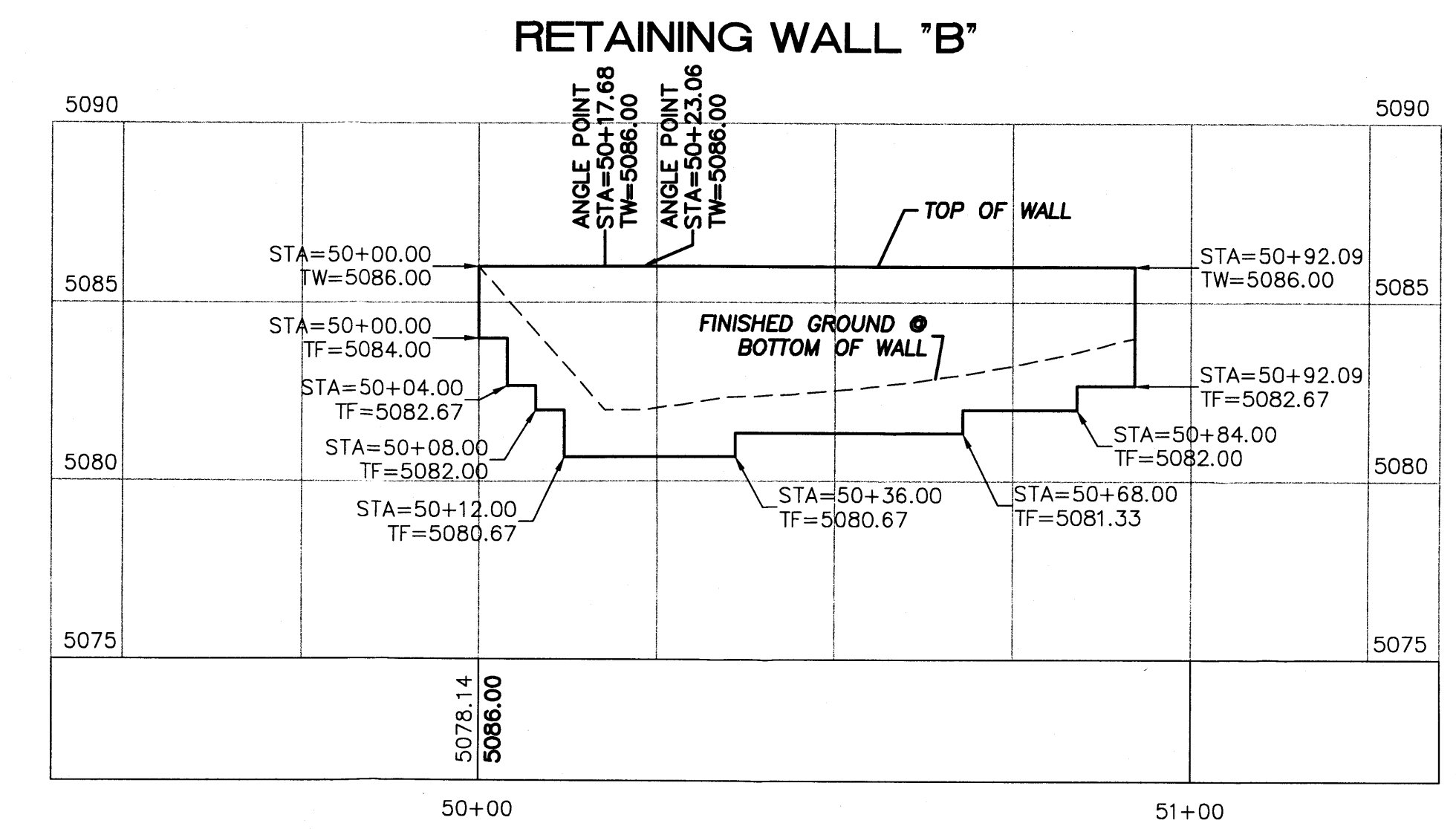
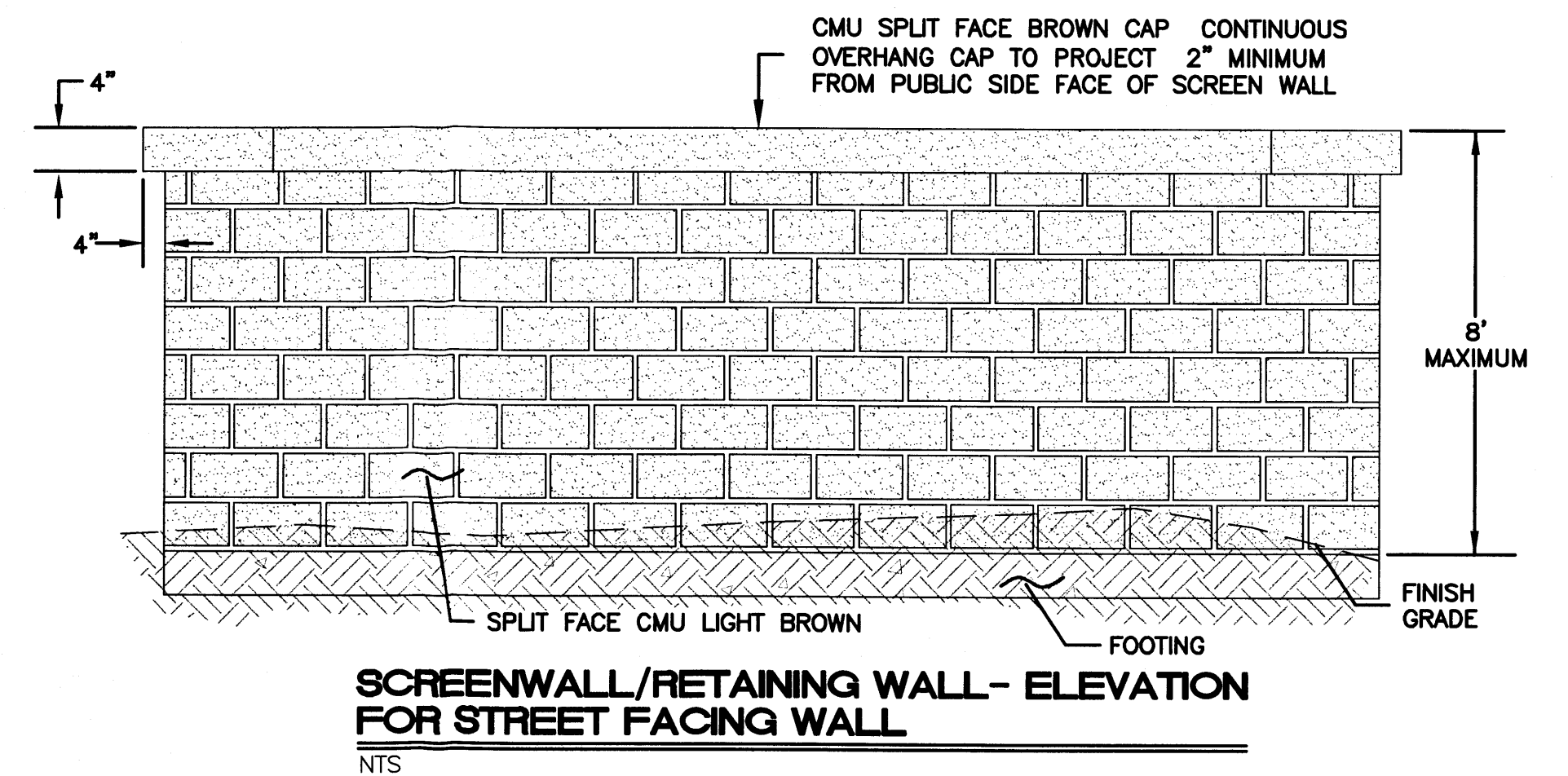
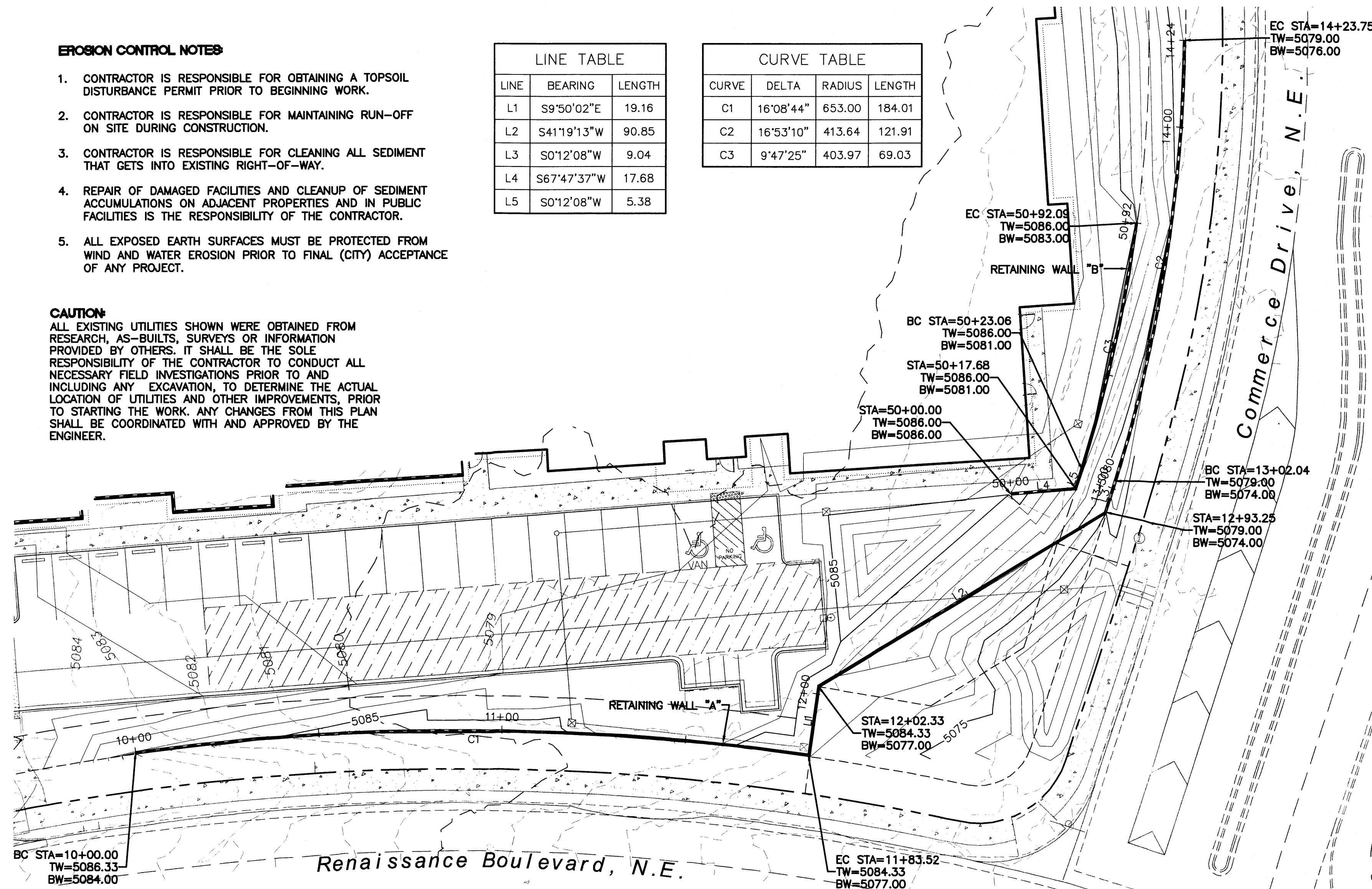
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION

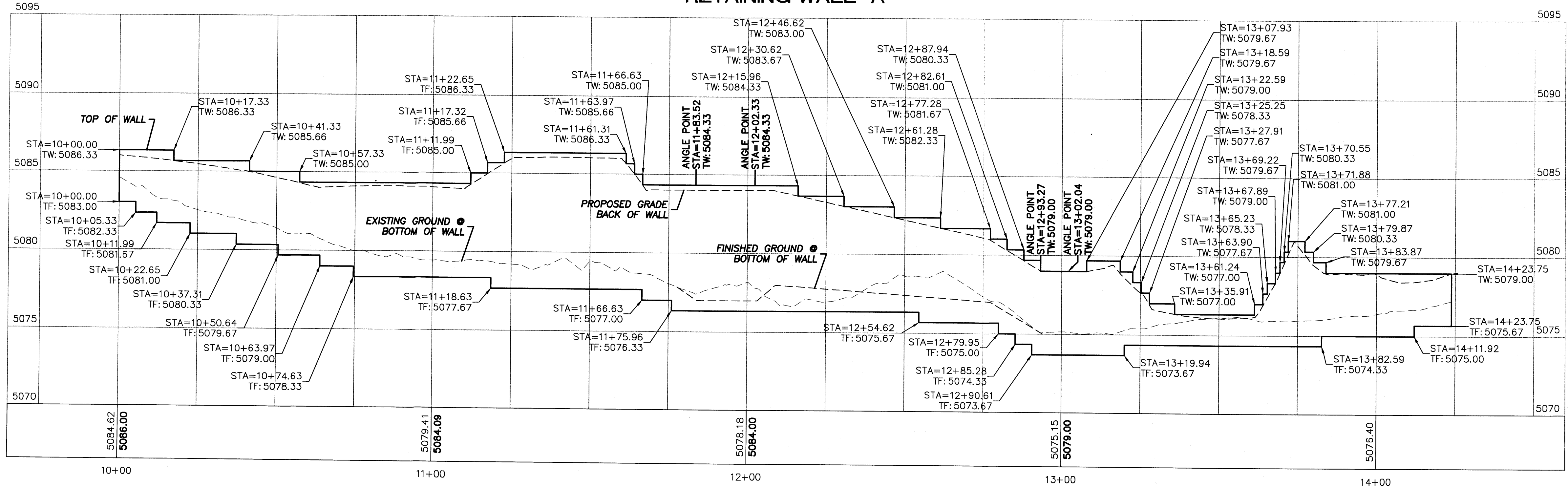
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LINE	BEARING	LENGTH
L1	S9°50'02"E	19.16
L2	S41°19'13"W	90.85
L3	S0°12'08"W	9.04
L4	S67°47'37"W	17.68
L5	S0°12'08"W	5.38

CURVE	DELTA	RADIUS	LENGTH
C1	16°08'44"	653.00	184.01
C2	16°53'10"	413.64	121.91
C3	9°47'25"	403.97	69.03



RETAINING WALL "A"

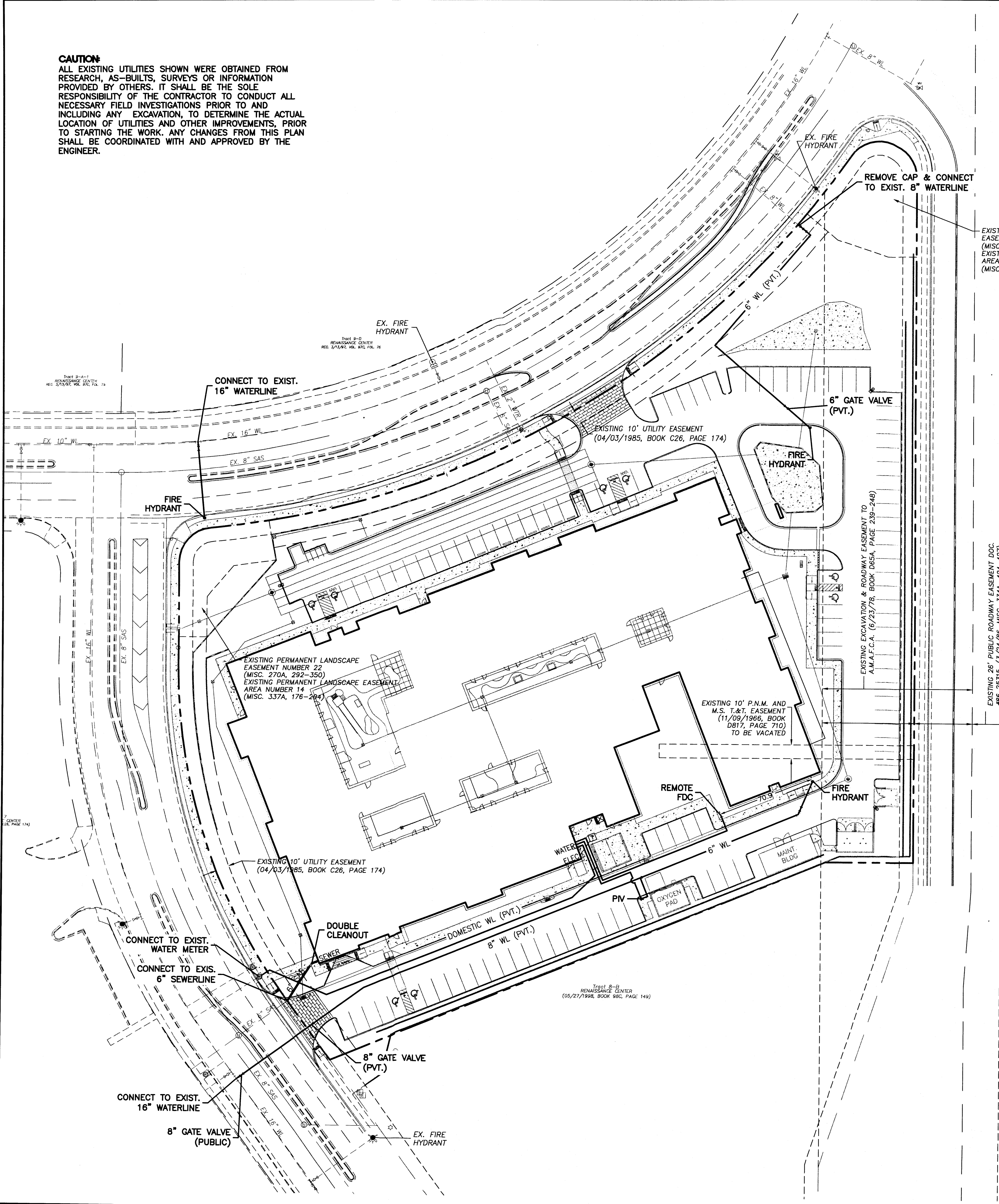


LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- ▭ BUILDING
- ▭ SIDEWALK
- ▭ RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - 5010 - - - EXISTING CONTOUR MAJOR
- - - 5011 - - - EXISTING CONTOUR MINOR

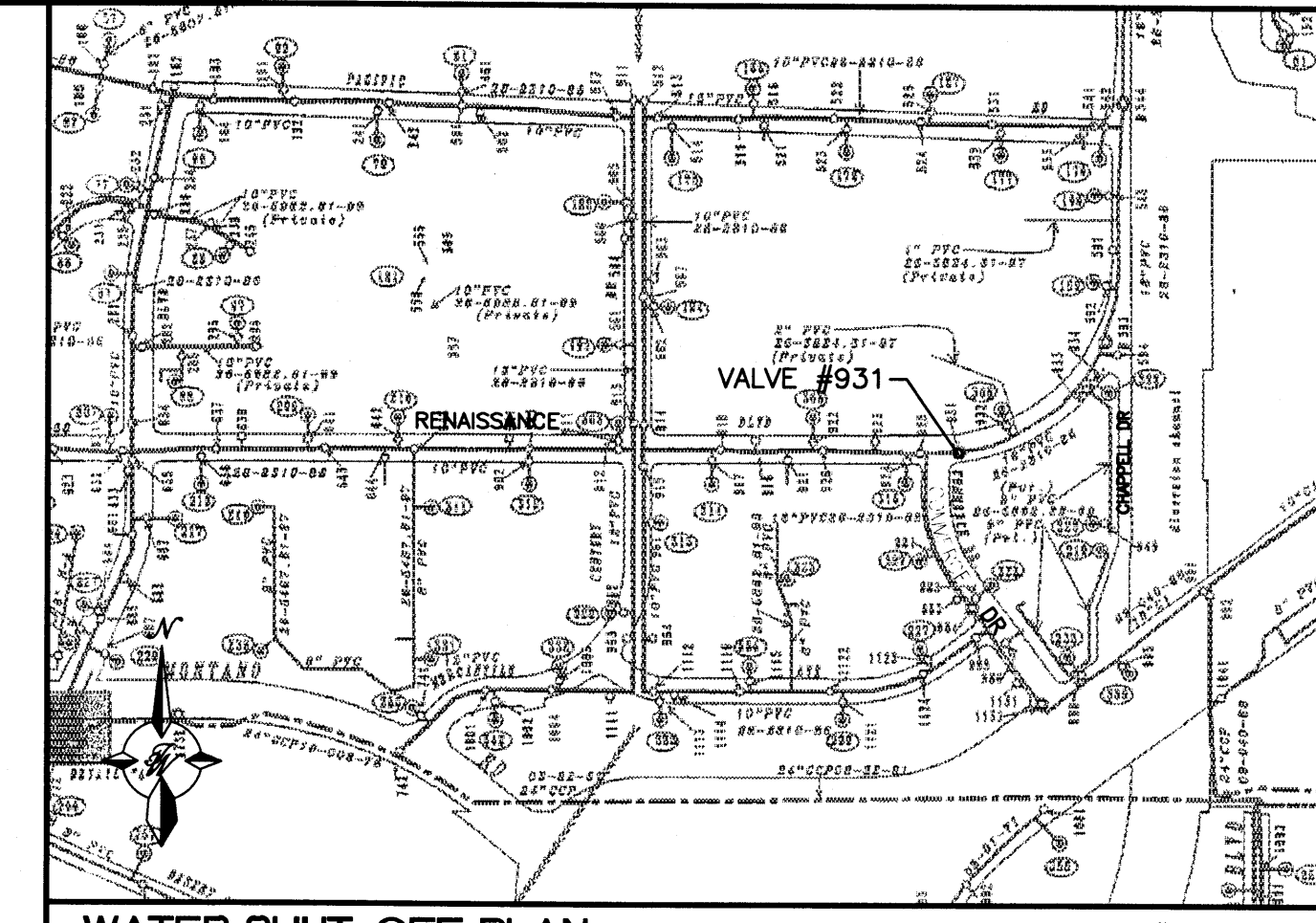
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	RETAINING WALL PLAN AND PROFILE	DATE 7/16/15
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2014088-RWALLS
		SHEET # C3
		JOB # 2014088

CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- ▭ BUILDING
- ▨ SIDEWALK
- ▧ SCREEN WALL
- ▩ RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - 36" SD STORM SEWER LINE
- - - 8" SAS SANITARY SEWER LINE
- - - 8" WL WATERLINE
- ⊙ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - EXISTING OVERHEAD UTILITIES
- - - EX. UGE EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS EXISTING GAS
- - - EX. 8" SAS EXISTING SANITARY SEWER LINE
- - - EX. 10" WL EXISTING WATER LINE
- - - EX. 18" RCP EXISTING STORM SEWER LINE



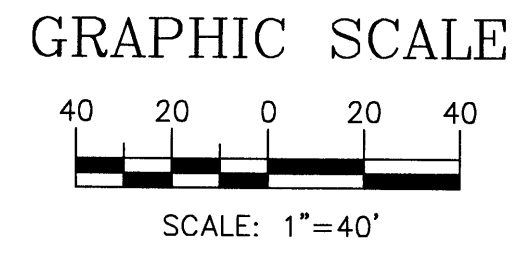
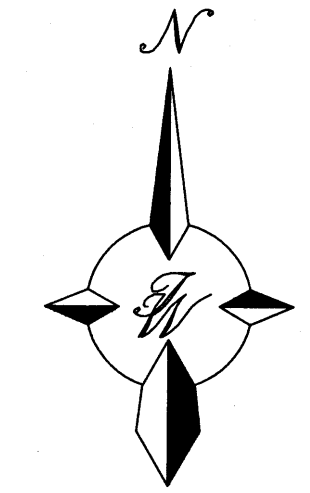
WATER SHUT-OFF PLAN SHUT OFF VALVES #931

WATER SHUTOFF NOTES

1. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE.
2. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK.
3. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES.
4. SHUTOFF REQUEST MUST BE MADE ONLINE AT (<http://abcwua.org/content/view/463/729/>)
5. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
6. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
7. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN. TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

GENERAL UTILITY NOTES

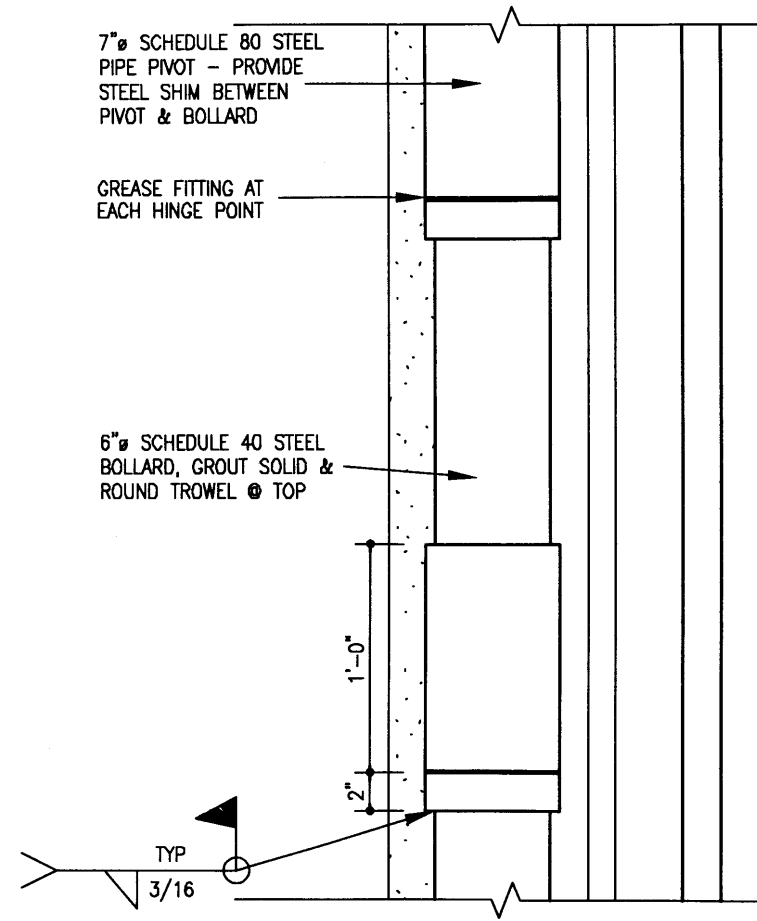
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. REFERENCE ARCHITECTURAL PLANS FOR LIGHTING POWER ROUTING.



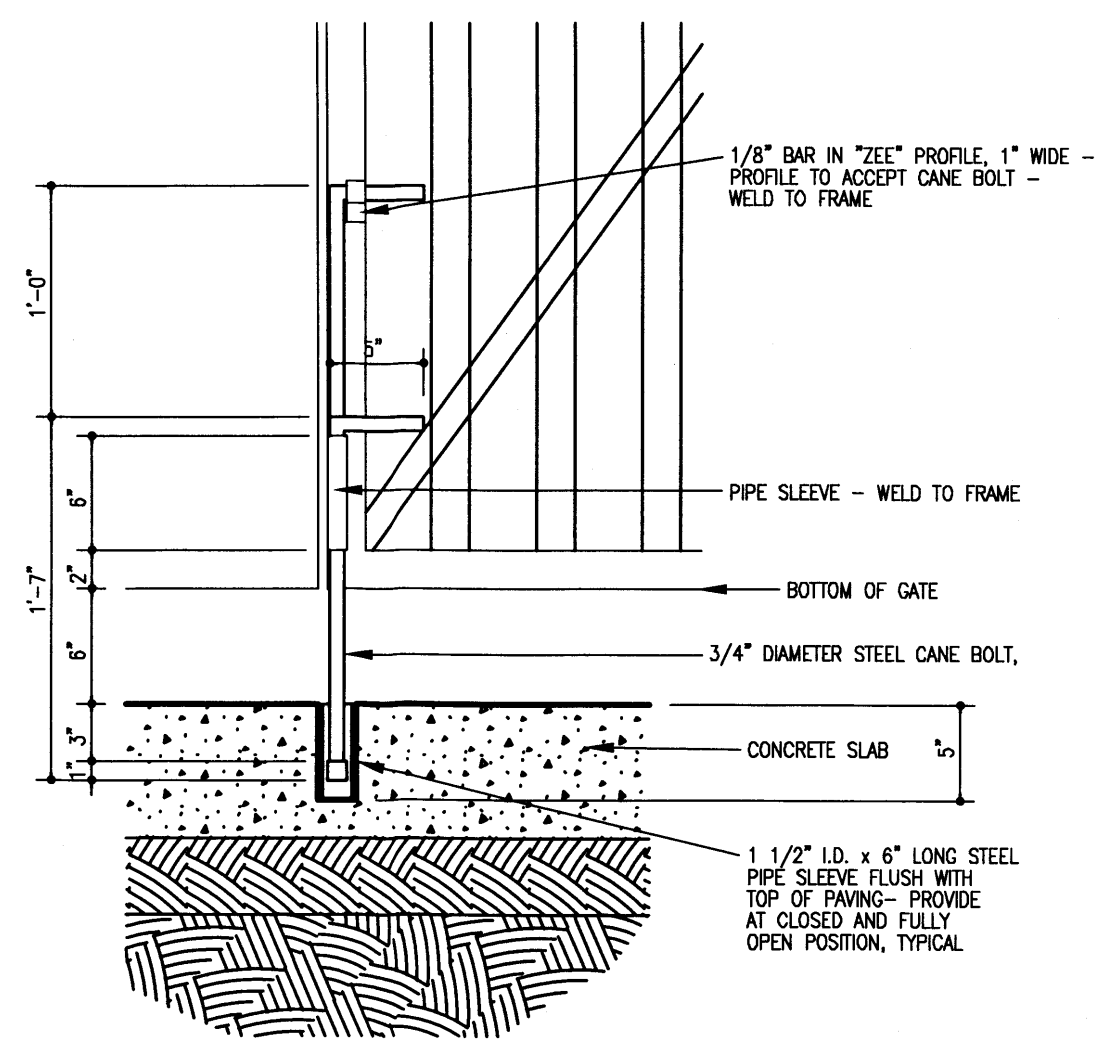
ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	MASTER UTILITY PLAN	DATE 7/16/15
		2014088-MUE
		SHEET #
		C4
		JOB #
		2014088

RONALD R. BOHANNAN
 P.E. #7868

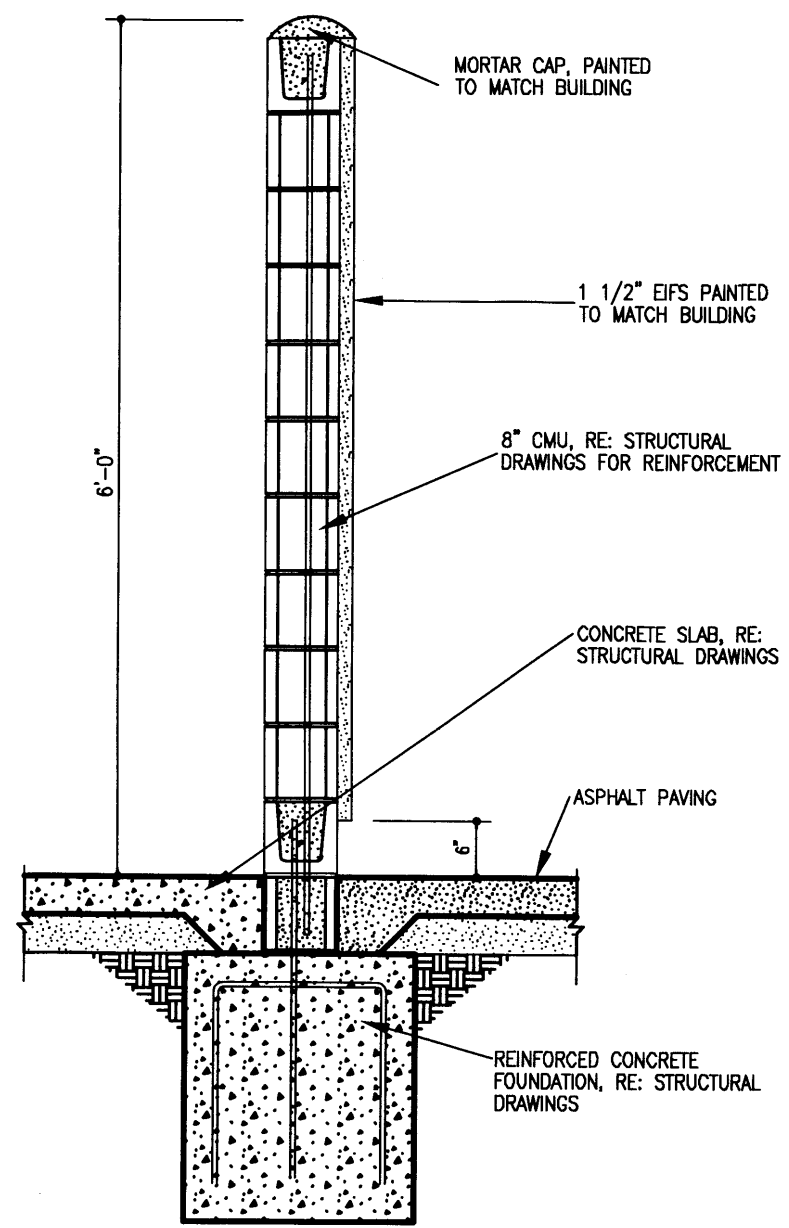
TERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tierwestllc.com



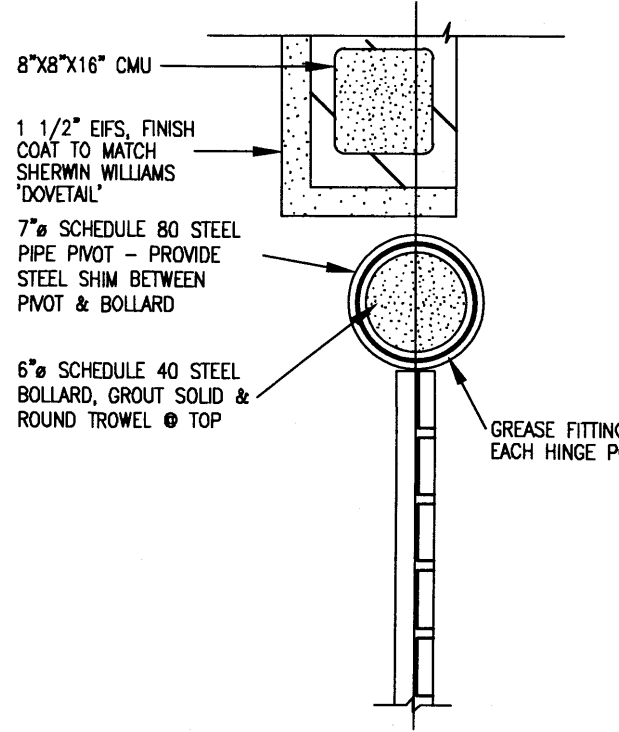
9 Dumpster Door Pivot
1'12" x 1'2"



8 Cane Bolt Detail
1'12" x 1'2"



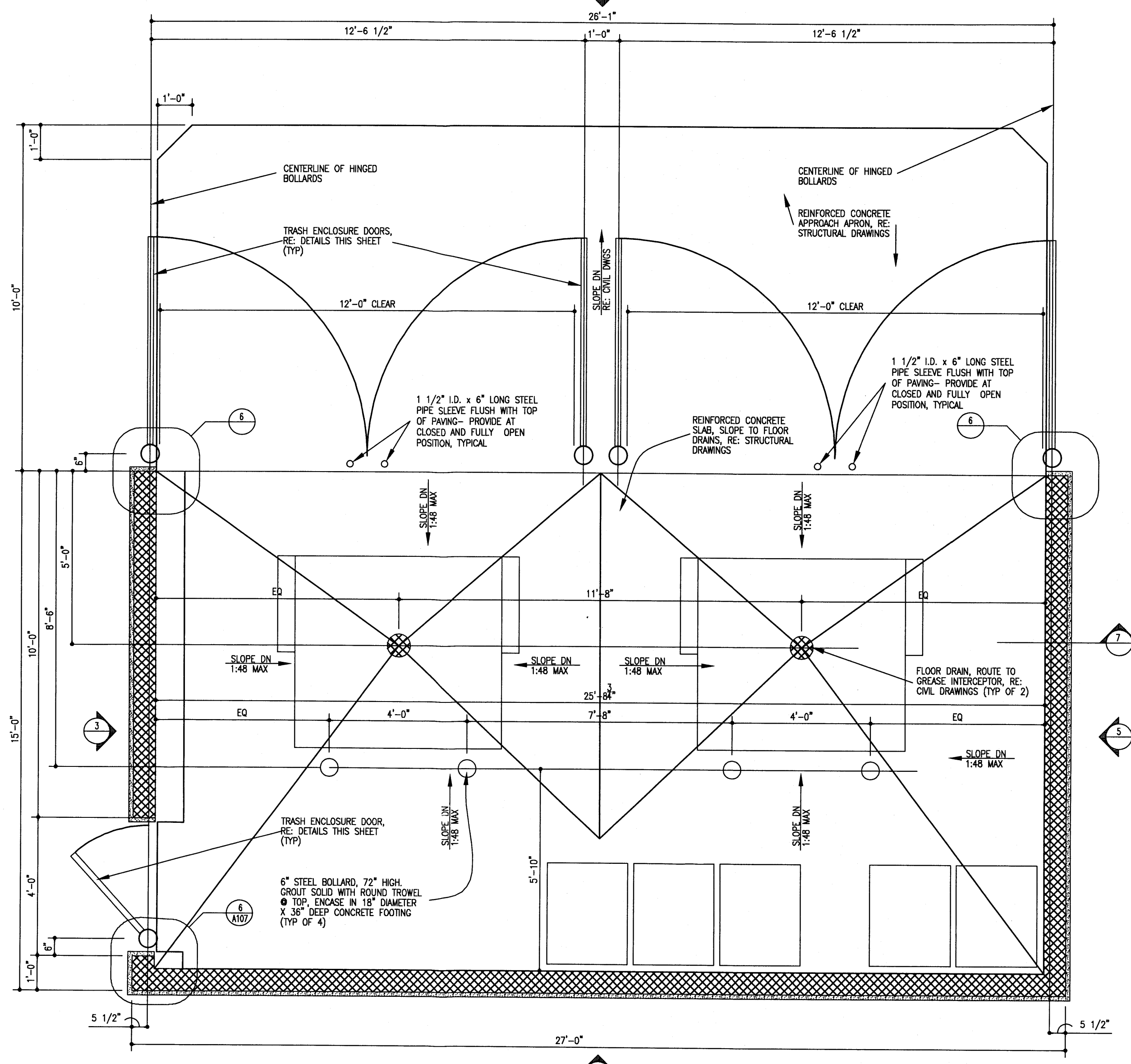
7 Wall Section (All Screen Walls & Trash Enclosure)
3'4" x 1'2"



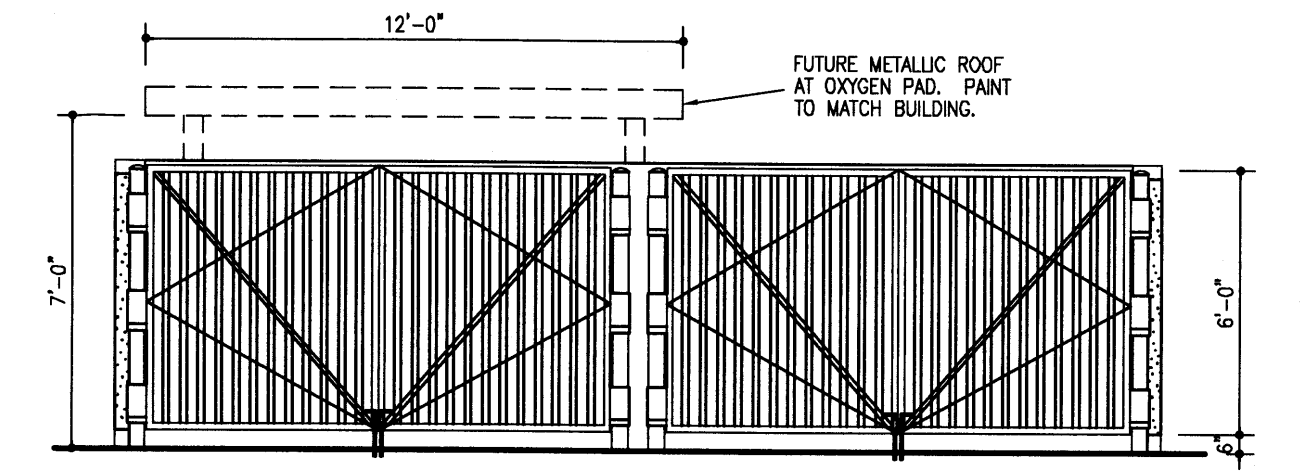
6 Plan Detail
1'12" x 1'2"

General Notes

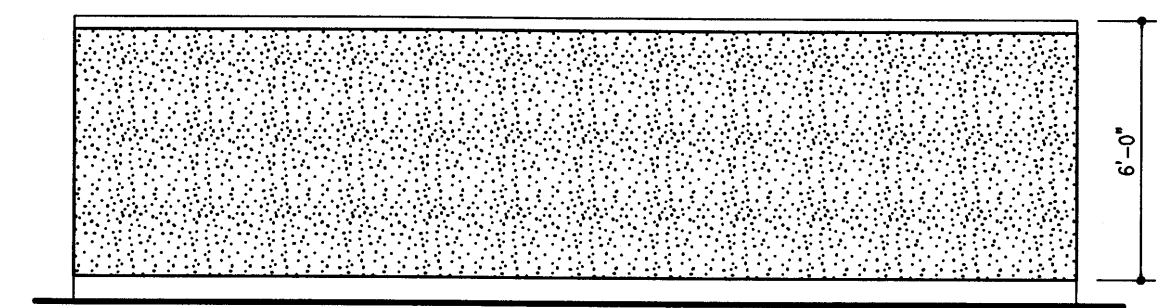
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS.



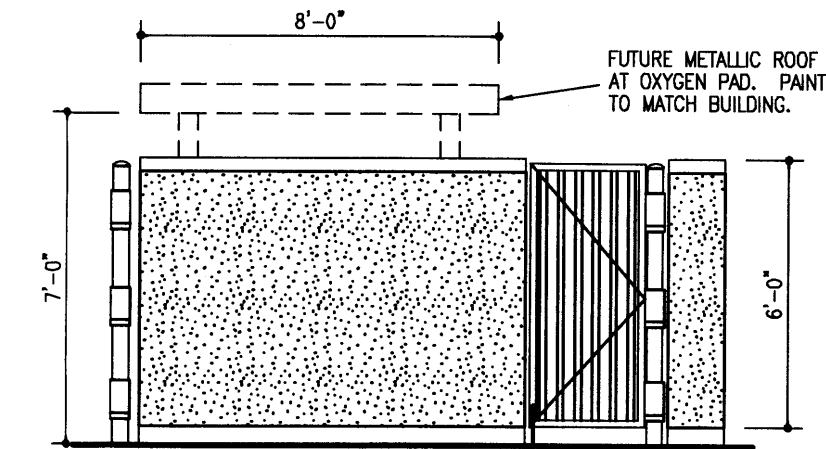
1 Dumpster Floor Plan
12' x 12'



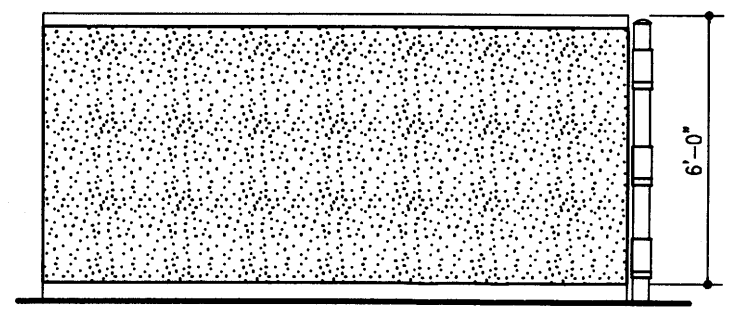
2 Front Elevation
12' x 12'



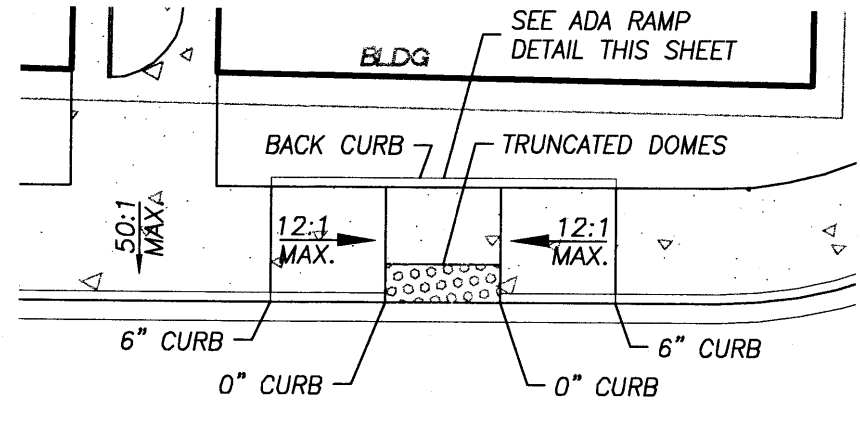
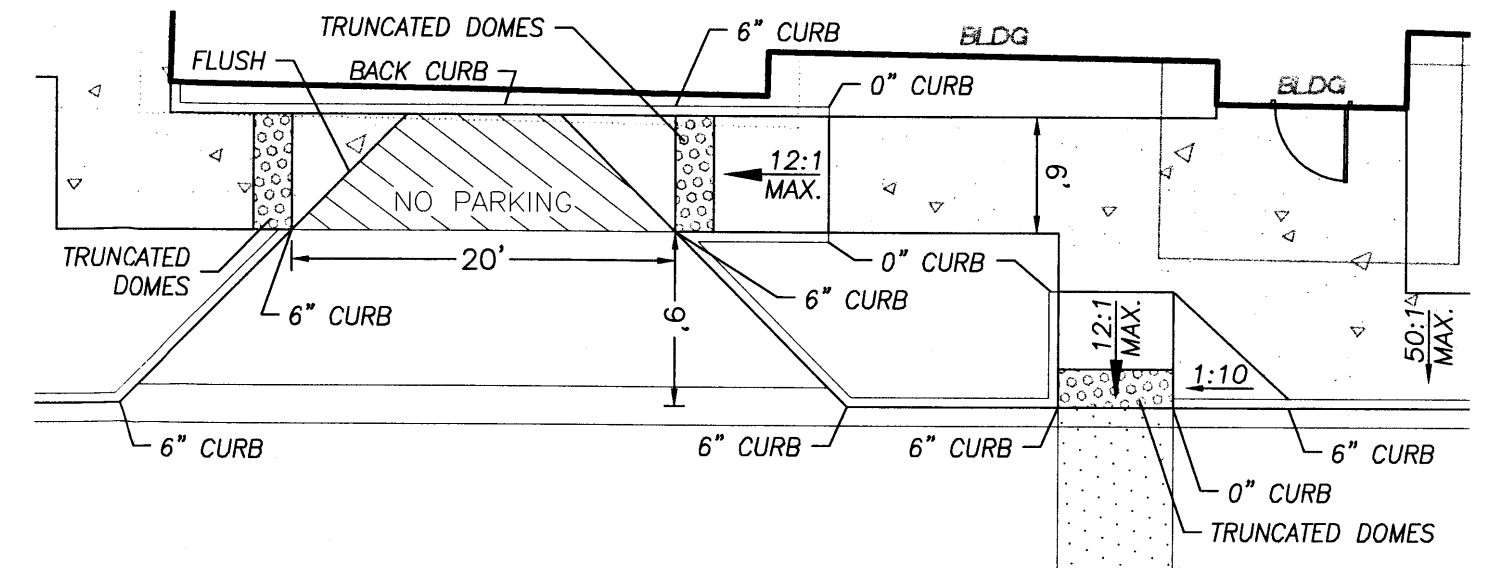
4 Back Elevation
12' x 12'



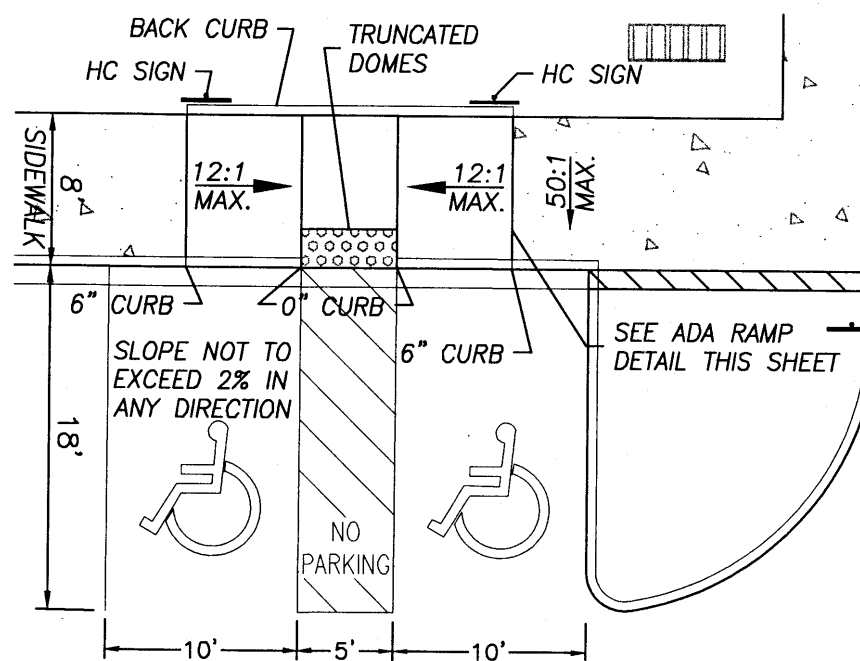
3 Side Elevation (Liquid Storage Enclosure, North Elevation Similar)
8' x 12'



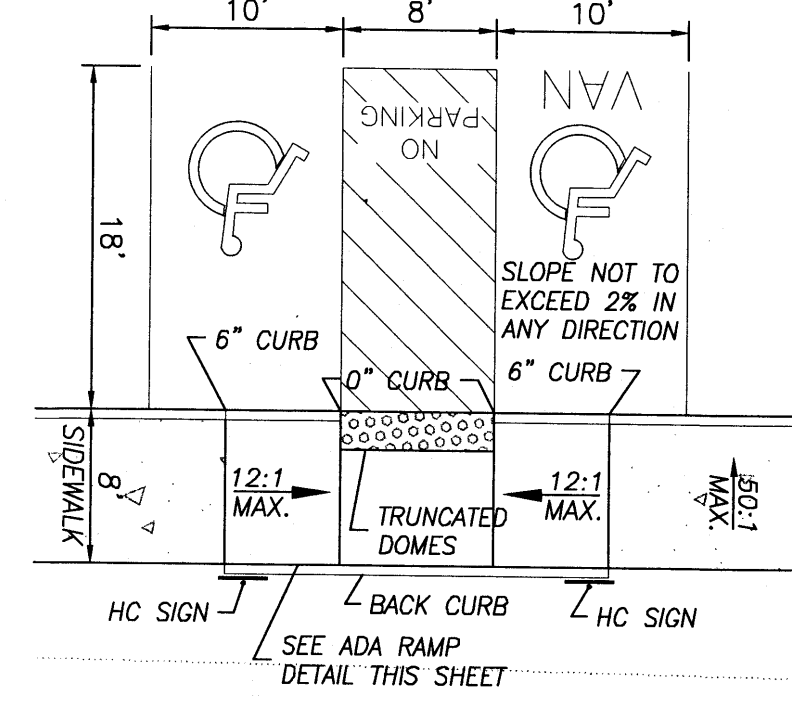
5 Side Elevation
8' x 12'



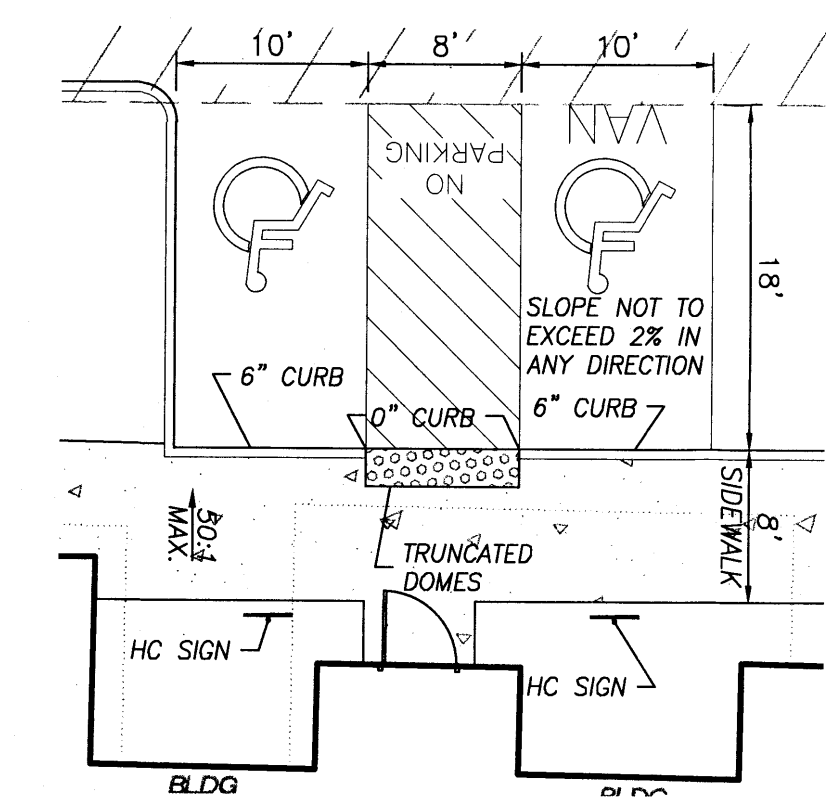
DETAIL 'B'
NTS



DETAIL 'C'
NTS

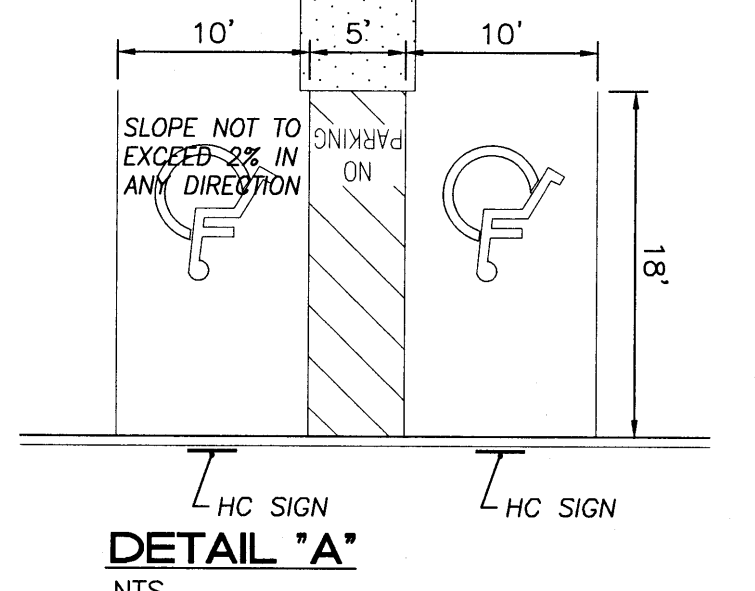


DETAIL 'D'
NTS

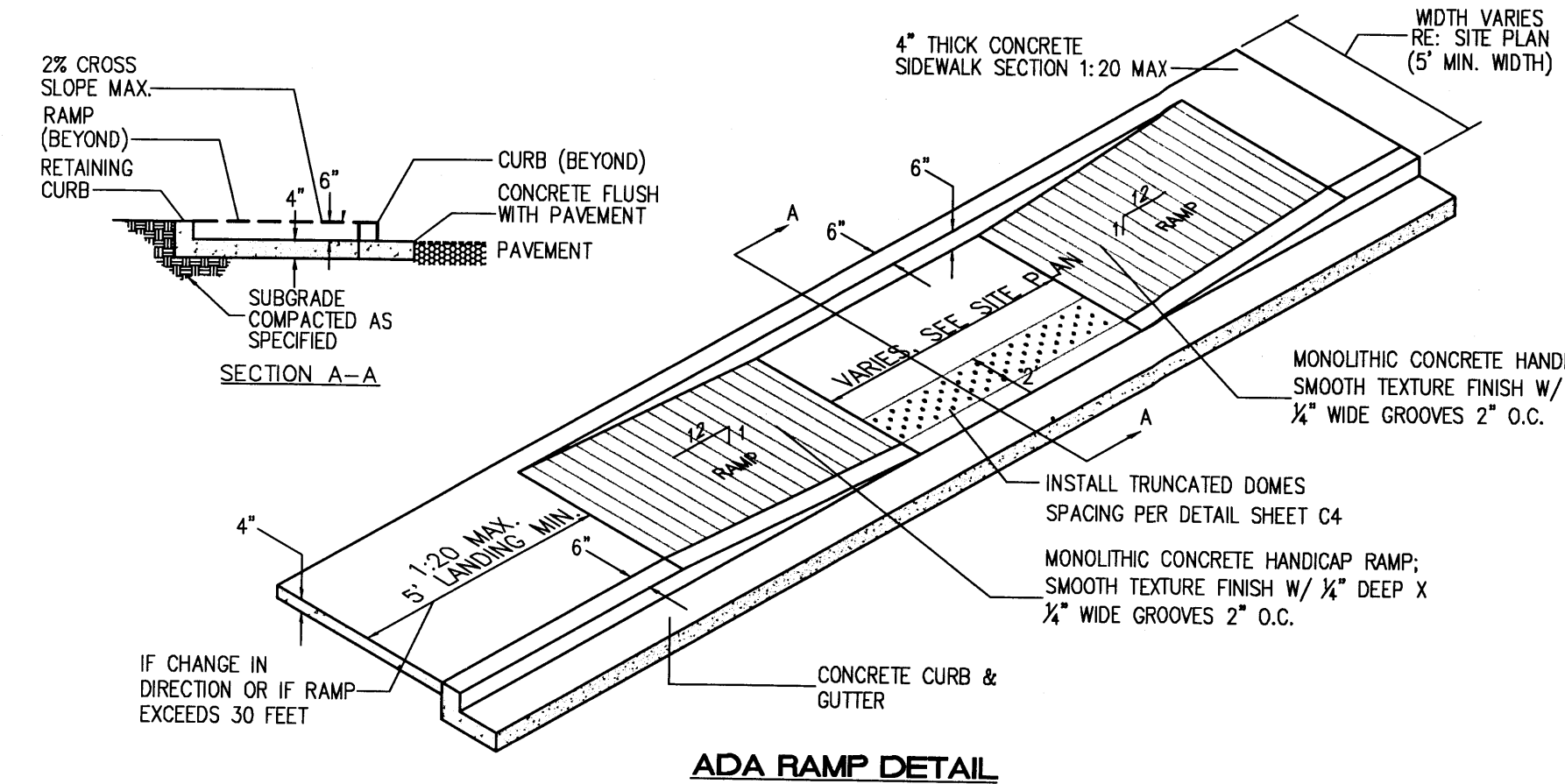


DETAIL 'E'
NTS

- NOTES:**
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

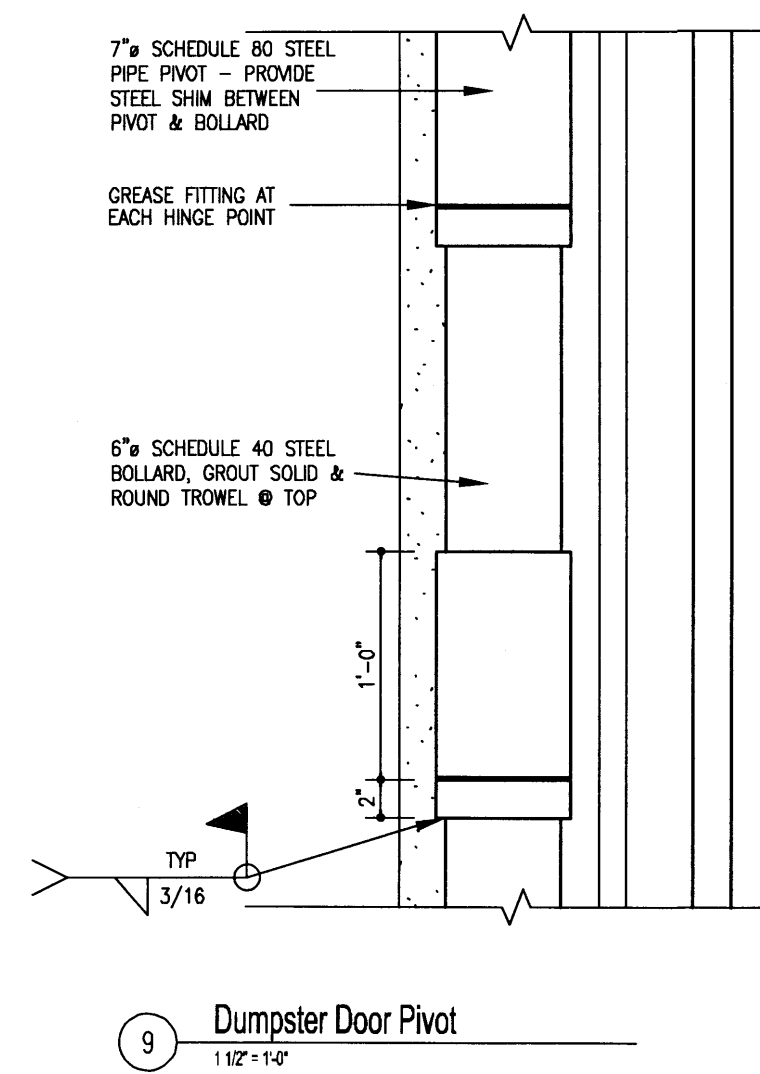


DETAIL 'A'
NTS

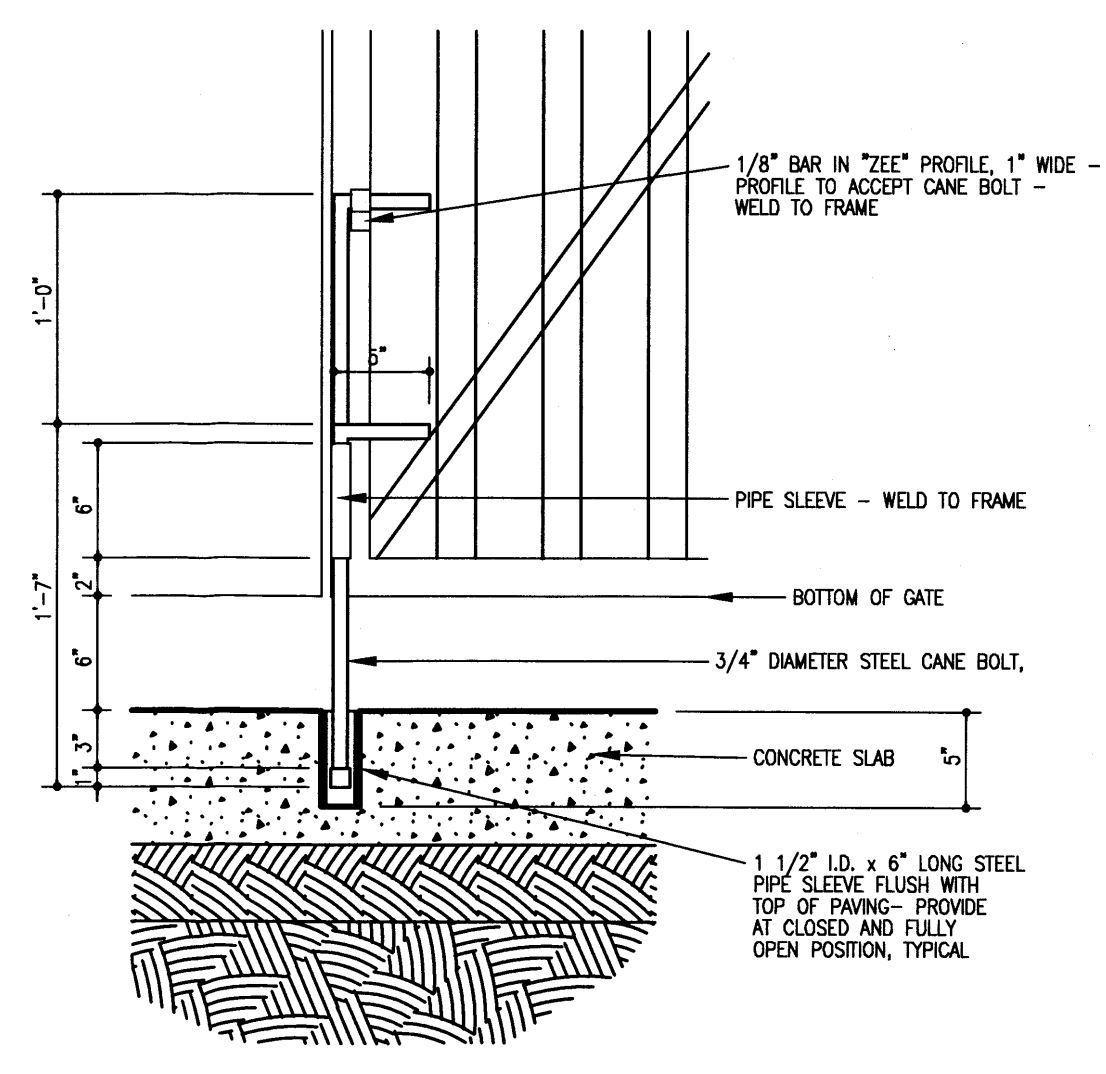


ADA RAMP DETAIL
SC: NTS

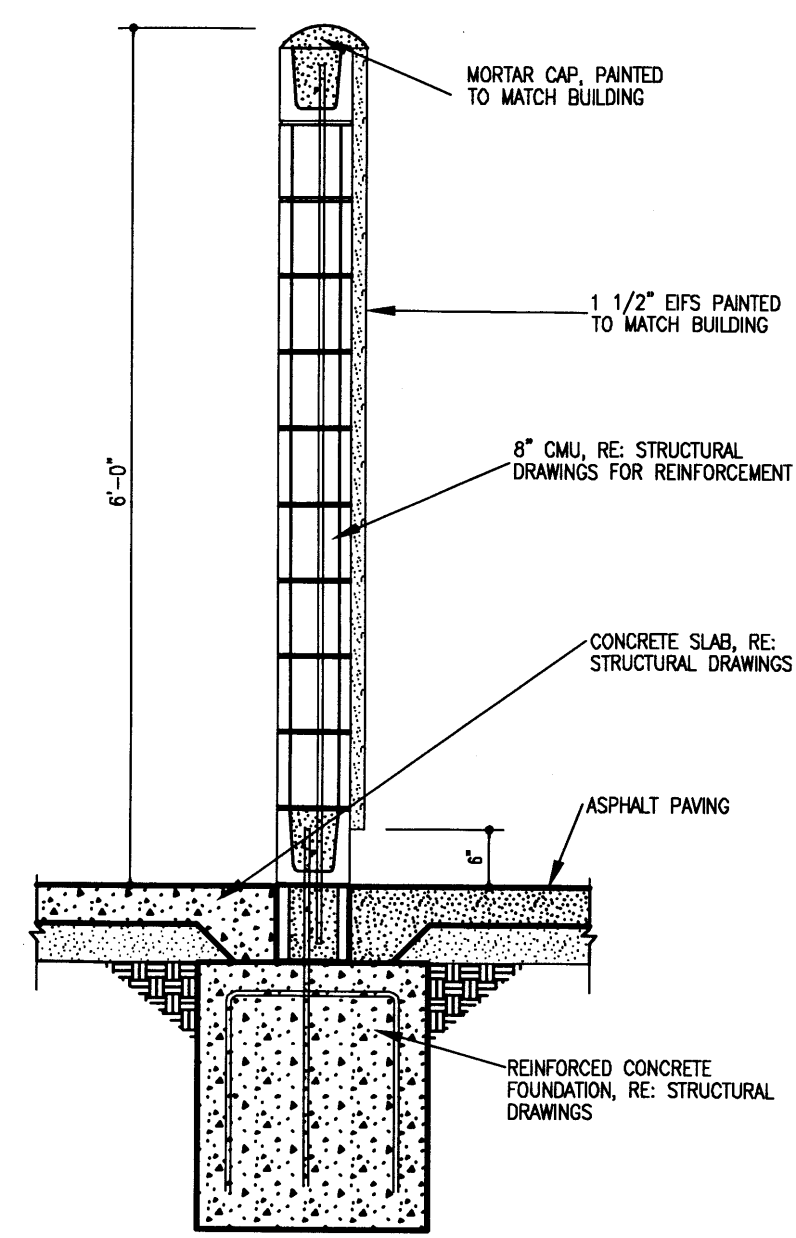
ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	DETAIL SHEET	DATE 7/10/15
 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2014088-DTE	SHEET # C6
	RONALD R. BOHANNAN P.E. #7868	JOB # 2014088



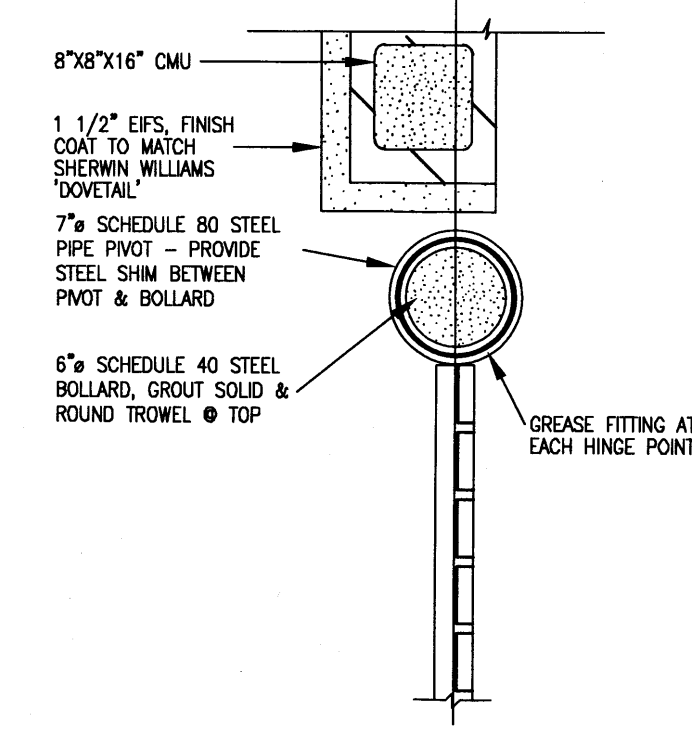
9 Dumpster Door Pivot
1 1/2" x 1 1/2"



8 Cane Bolt Detail
1 1/2" x 1 1/2"



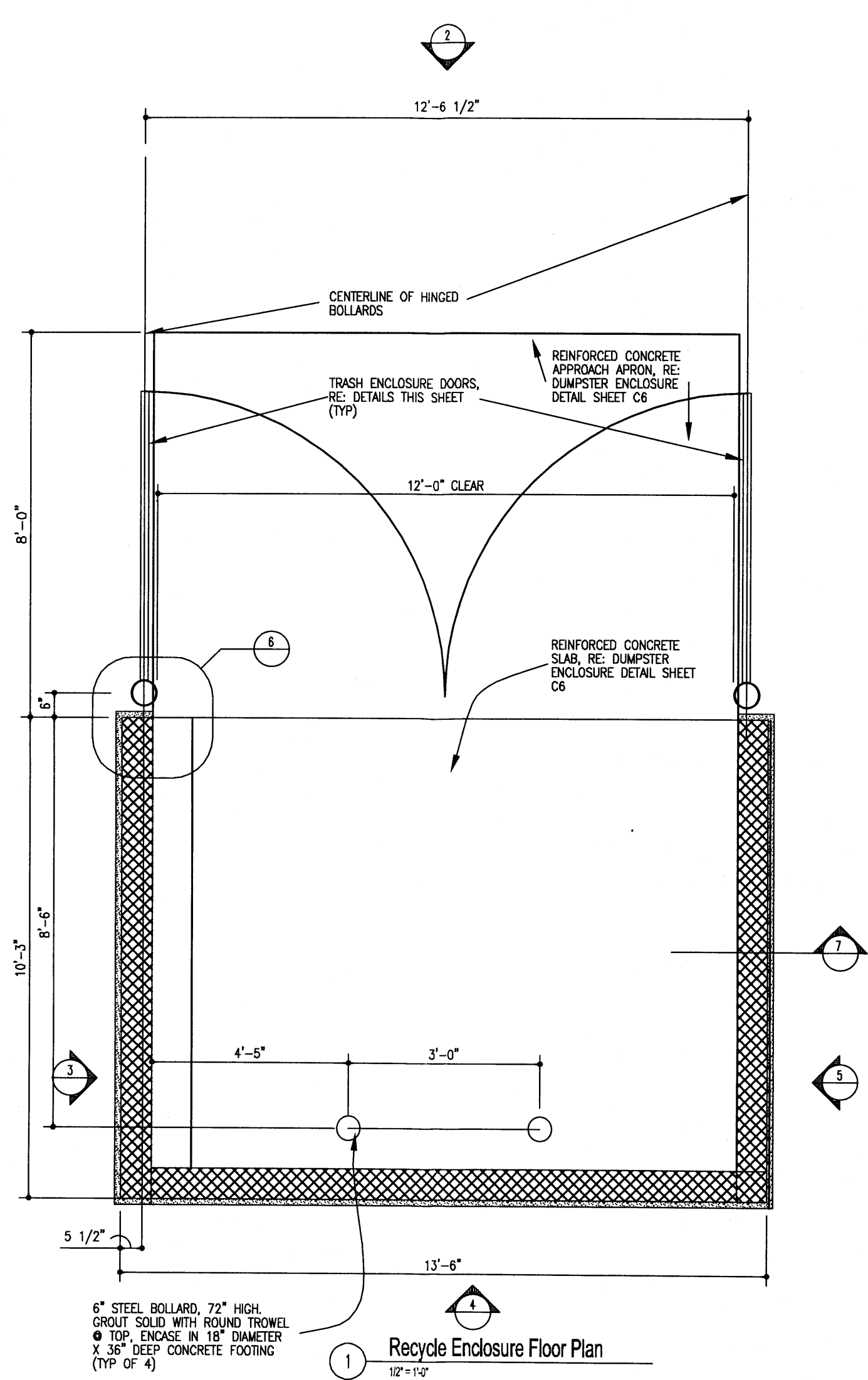
7 Wall Section (All Screen Walls & Trash Enclosure)
3/8" x 1 1/2"



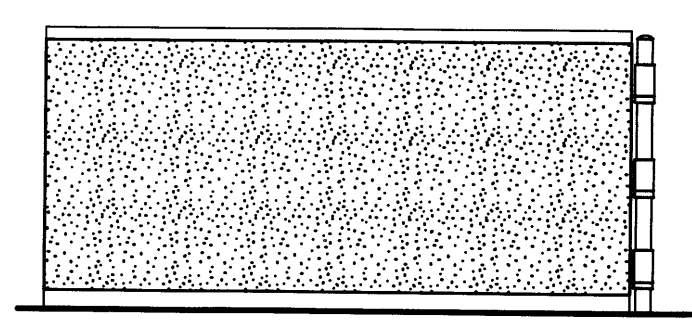
6 Plan Detail
1 1/2" x 1 1/2"

General Notes

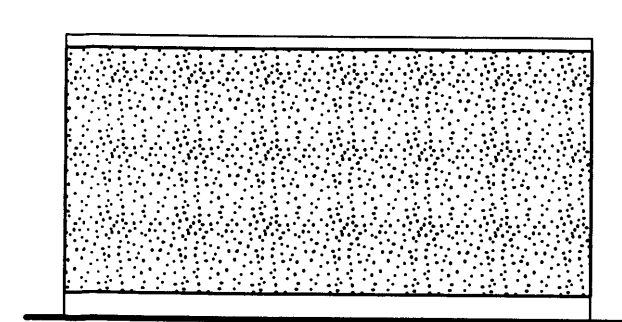
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



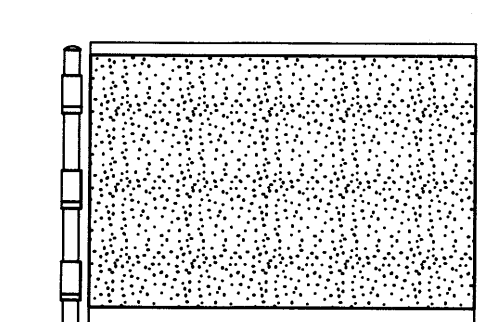
1 Recycle Enclosure Floor Plan
12" x 12"



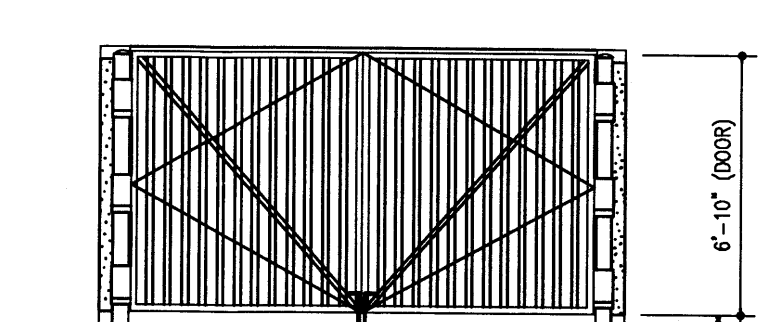
5 Side Elevation
NTS



4 Back Elevation
NTS



3 Side Elevation
NTS



2 Front Elevation
NTS

ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	DETAIL SHEET	DATE 7/10/15
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2014088-DTE
		SHEET # C7
		JOB # 2014088

GENERAL NOTES:

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.

LEGEND

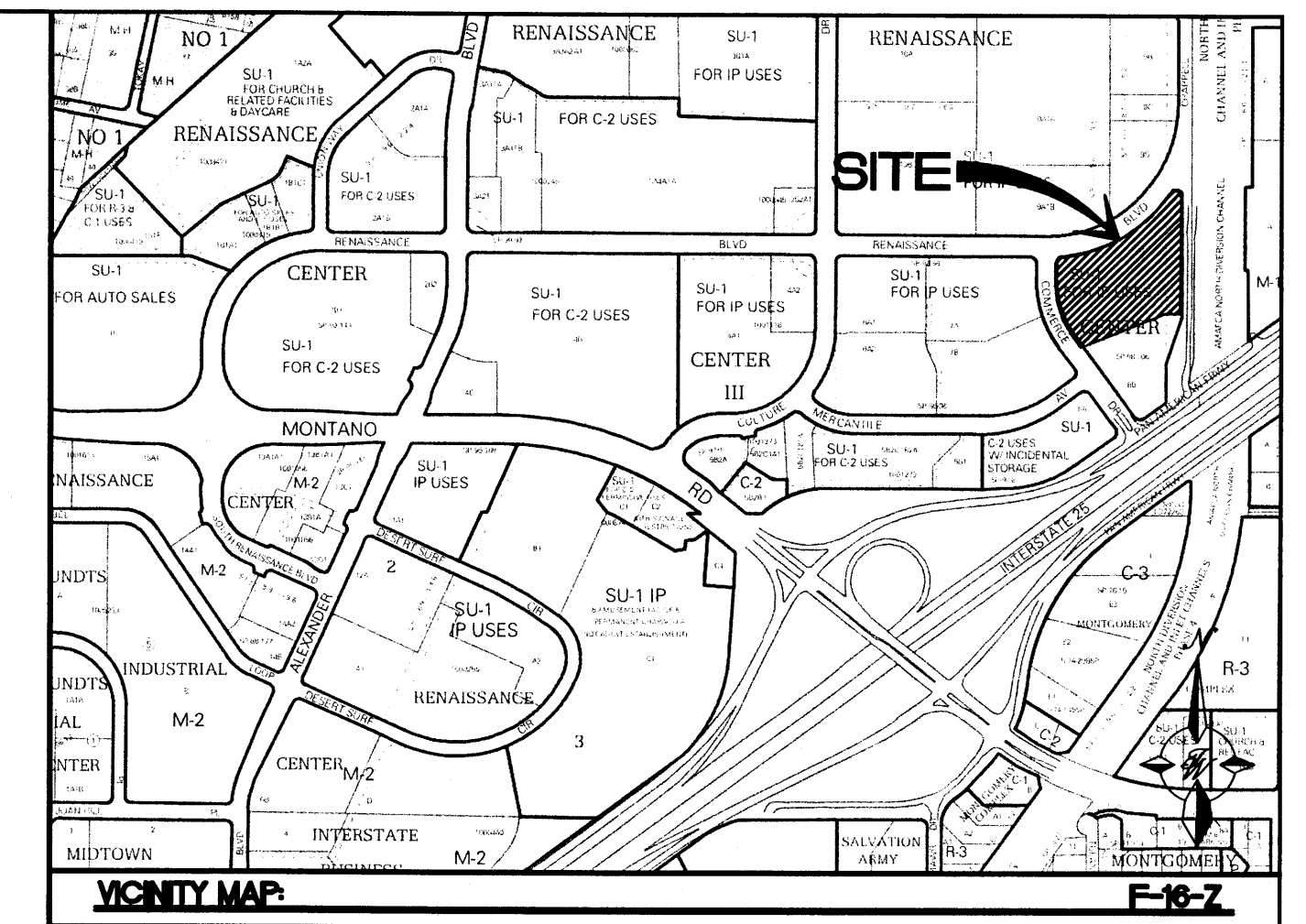
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- EXISTING STREET LIGHTS
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- CONCRETE PAVERS
- PROPOSED ASPHALT
- PROPOSED PARKING LOT LIGHT

SITE DATA

- PROPOSED USAGE: NURSING HOME (134 BEDS)
69,738 SF; MAX HEIGHT 33' (TO RIDGE OF HIGHEST ELEMENT)
CONSTRUCTION TYPE V-A, OCCUPANCY GROUP I-2
- MAINTENANCE BUILDING
720 SF
- LOT AREA: 215,683 SF (4.95 ACRES)
- PARKING REQUIRED: 67 SPACES
PARKING PROVIDED: 106 SPACES
- HC PARKING REQUIRED: 8 SPACES
HC PARKING PROVIDED: 8 SPACES
2 SPACE VAN ACCESSIBLE
- MC PARKING REQUIRED: 4 SPACES
MC PARKING PROVIDED: 4 SPACES
- BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

KEYED NOTE

- (A) 6" VALLEY GUTTER PER COA STD DWG #2420
- (B) SIDEWALK PER COA STD DWG #2430
- (C) 6" STANDARD CURB AND GUTTER PER COA STD DWG #2415B
- (D) ZERO CURB WITH TRUNCATED DOME
- (E) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET C4
- (F) HANDICAP PARKING SIGN PER DETAIL SHEET C4
- (G) TRASH ENCLOSURE PER DETAIL SHEET C5
- (H) BIKE RACK (SEE DETAIL SHEET C4)
- (I) RETAINING WALLS (SEE GRADING PLAN SHEET C2)
- (J) SITE LIGHTING
- (K) EXISTING LIGHT TO BE RELOCATED
- (L) CROSSWALK STRIPING
- (M) CONCRETE SWALE, 2' WIDE, 6" THICK (SEE DETAIL SHEET C4)
- (N) CURB STOP (SEE DETAIL SHEET C4)
- (O) 12" SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD DWG #2236
- (P) CONCRETE PAVERS W/ 1"-6" CONCRETE BAND PER COA STD DWG #2412
- (Q) MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C4)
- (R) ACCESSIBLE PARKING PER ADA STANDARDS (SEE DETAIL SHEET C4)
- (S) STOP SIGN
- (T) TYPE "A" CURB RAMP PER COA STD DWG #2440
- (U) ADA RAMP "C" (SEE DETAIL SHEET C5)
- (V) MONUMENT SIGN (SEE DETAIL SHEET A2.2)
- (W) SCREEN WALL & DETAIL (SEE DETAIL SHEET C5)



LEGAL DESCRIPTION

TRACT 8A, PLAT OF TRACTS 8A AND 8-B, RENAISSANCE CENTER

NOTES

- ZONING: SU-1 FOR IP USES
- SETBACKS: FRONT = PER PLAN
REAR = PER PLAN
SIDE (CORNER) = PER PLAN

Project: 1010488
DATE: 6-17-15
APP: 15-70209
(SRP)

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

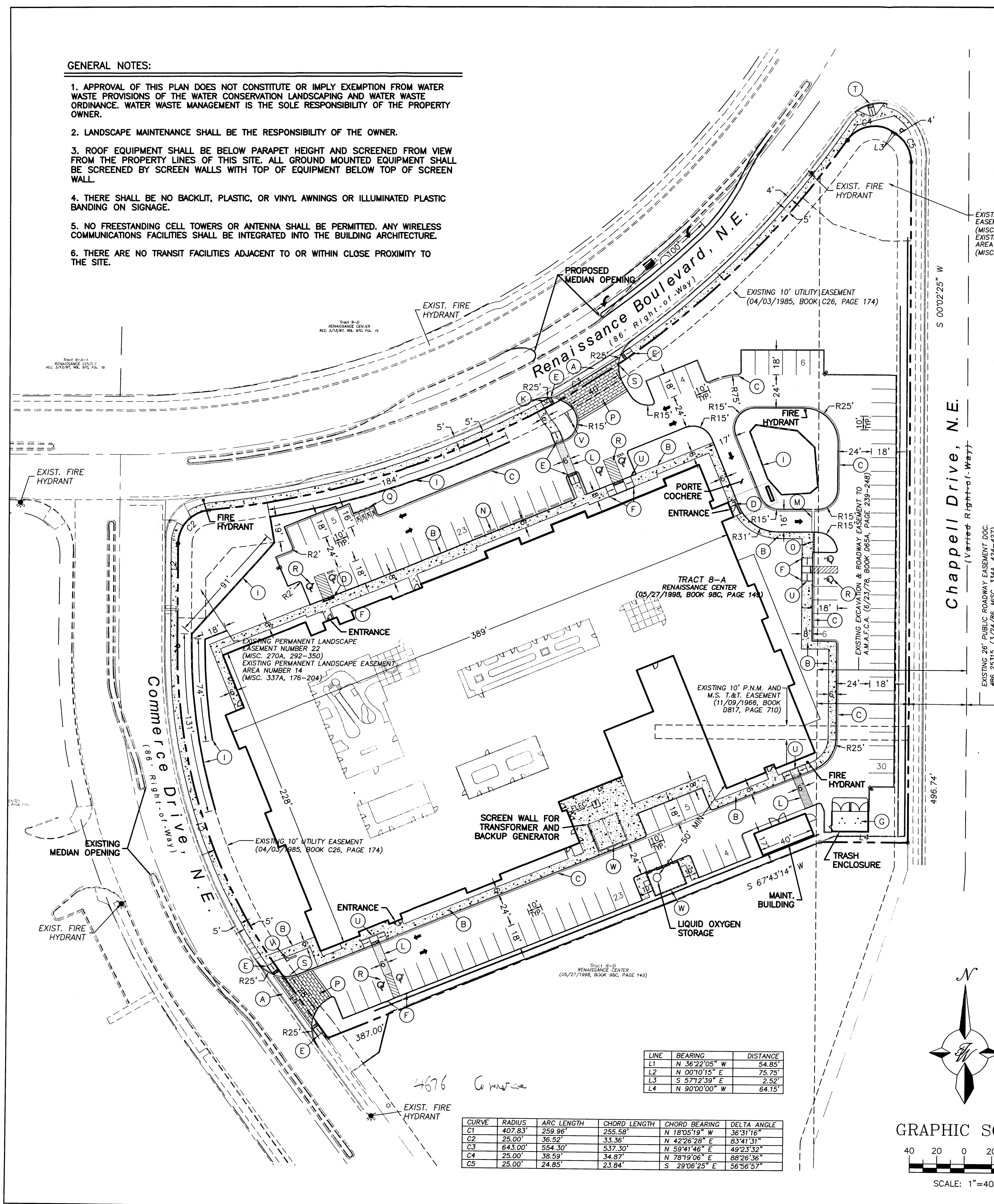
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. DETAIL SHEET
- C5. DETAIL SHEET
- L1. LANDSCAPING PLAN
- A2.1 BUILDING ELEVATIONS
- A2.2 ELEVATIONS (MONUMENT SIGN)

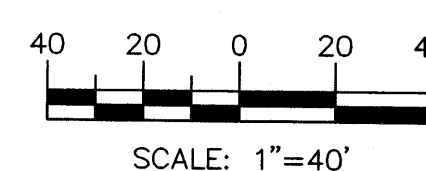
ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT	DATE 5/21/15
		2014088-SPE
		SHEET # C1
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2014088
RONALD R. BOHANNAN P.E. #7868		



LINE	BEARING	DISTANCE
L1	N 36°22'05" W	54.85'
L2	N 00°10'15" E	75.75'
L3	S 57°12'59" E	2.92'
L4	N 90°00'00" W	64.15'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	407.83'	259.96'	255.50'	N 18°35'19" W	36°31'16"
C2	25.00'	36.52'	33.36'	N 42°26'28" E	83°41'31"
C3	643.00'	554.30'	537.30'	N 59°41'46" E	49°23'32"
C4	25.00'	38.59'	34.87'	N 78°19'06" E	88°26'36"
C5	25.00'	24.85'	23.84'	S 29°06'25" E	56°58'57"

GRAPHIC SCALE

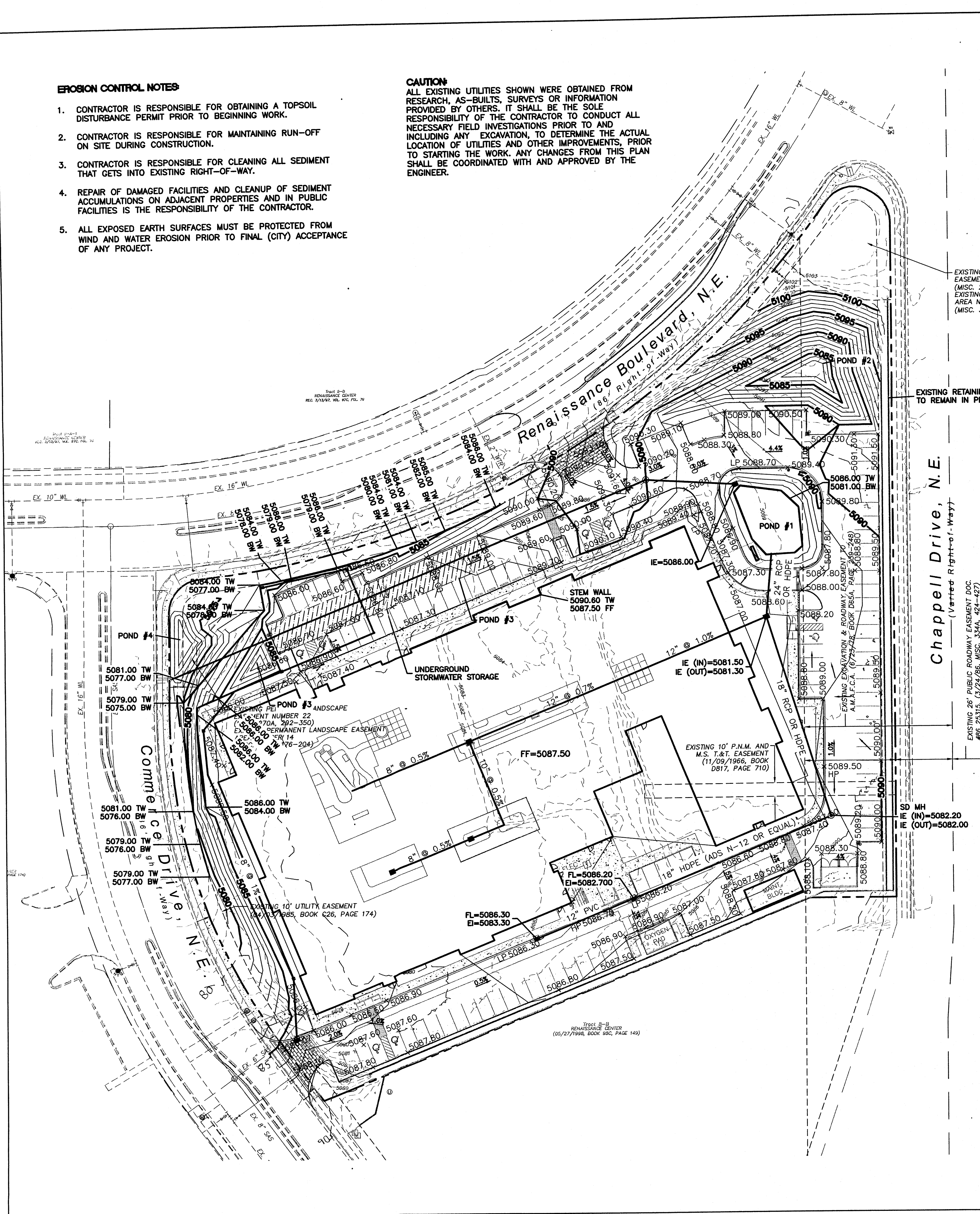


EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

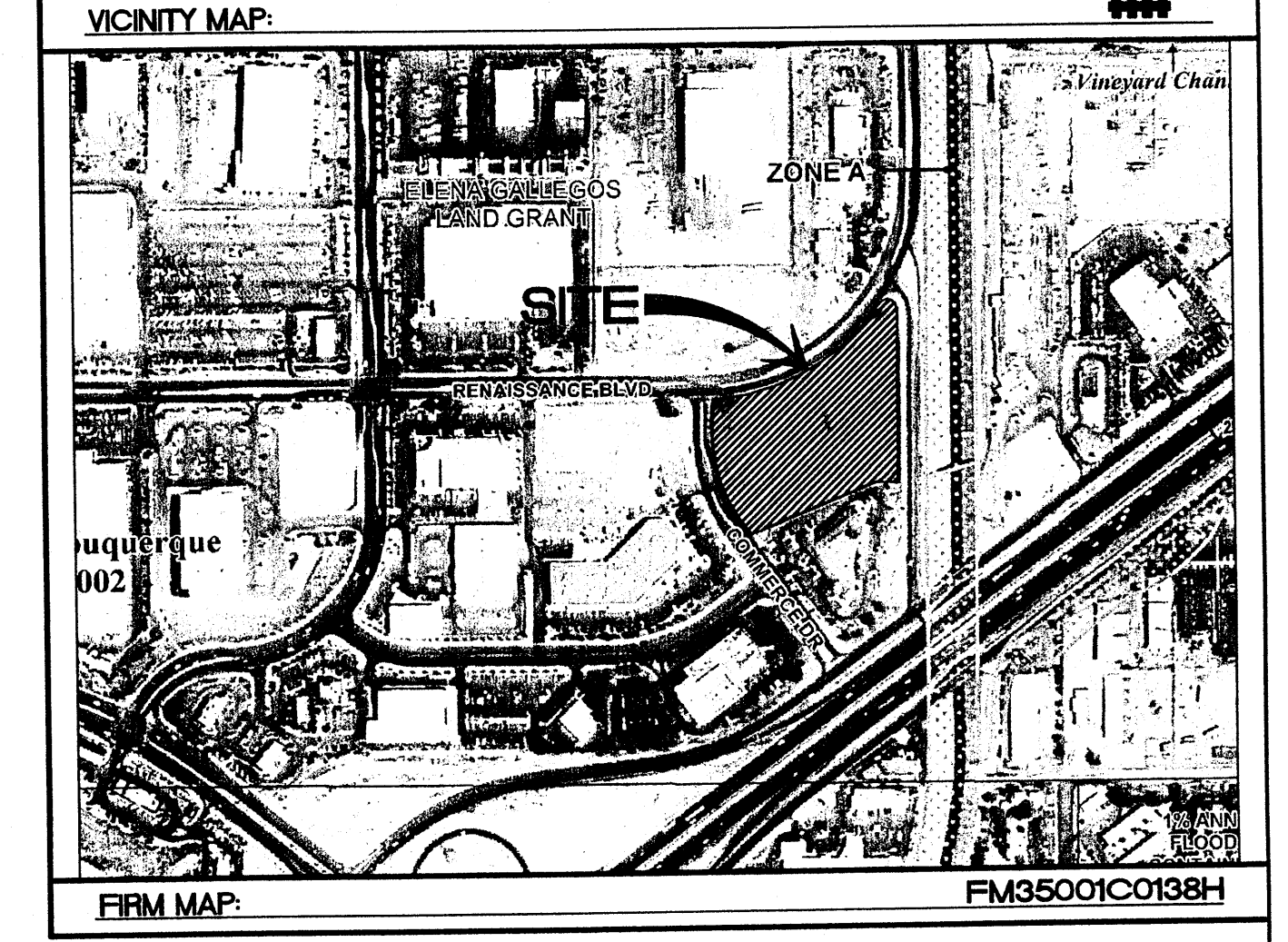
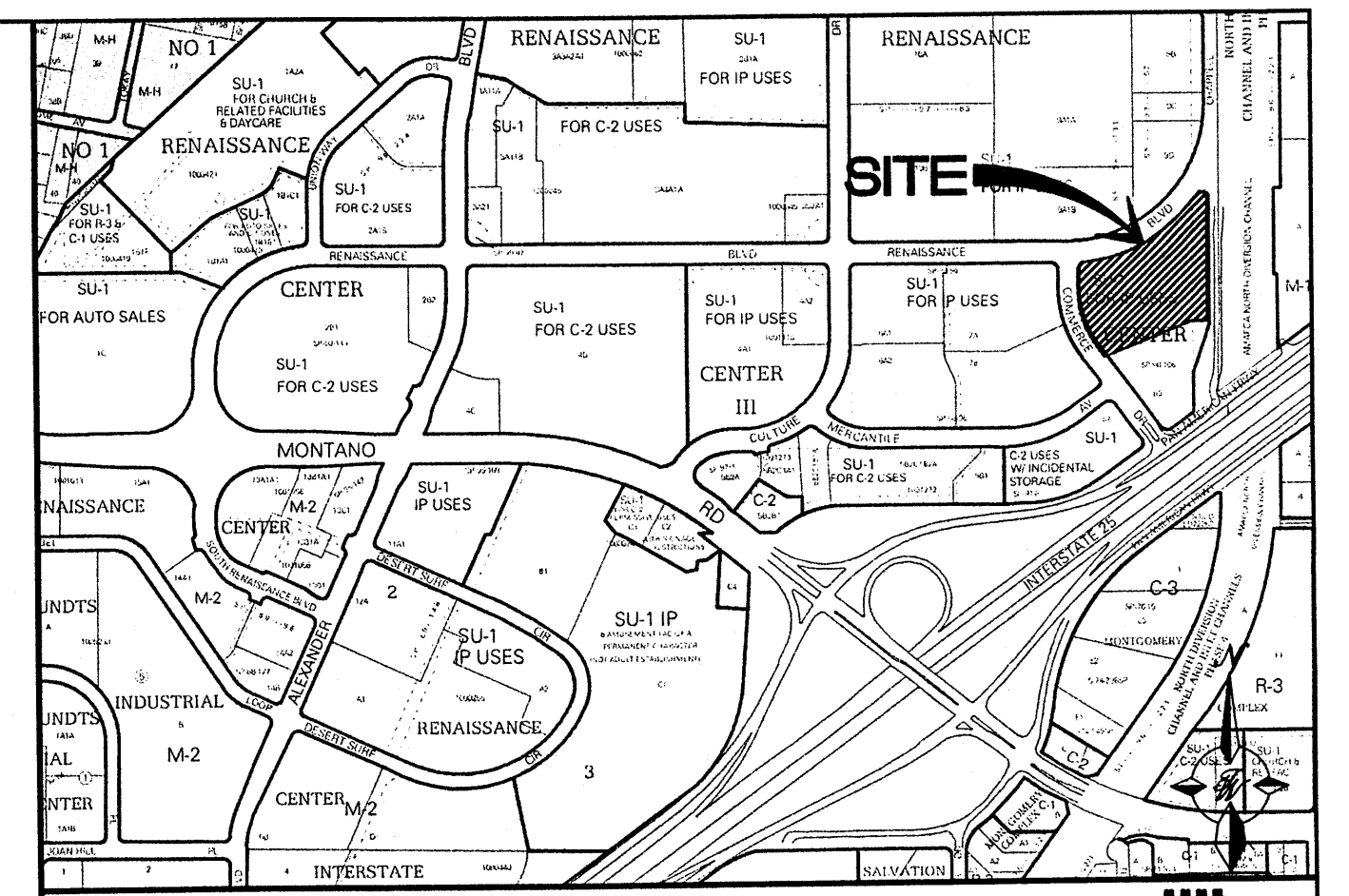
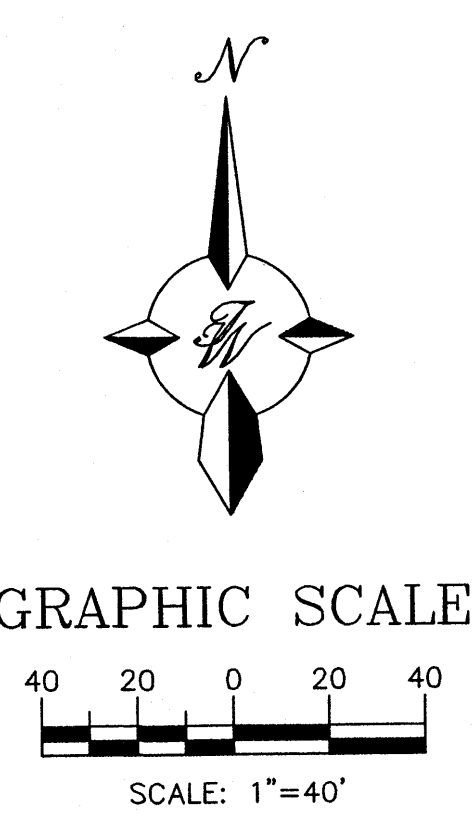
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- - - EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL

DATE

Location

The project site is Tract 8-A of the Renaissance Center located on the southeast corner of Commerce Drive and Renaissance Boulevard, NE. The site is bounded by Renaissance Boulevard on the north, Commerce Drive on the west, Chappell Road on the east, and Tract 8-B to the south which is an existing hotel.

Purpose

The purpose of this drainage report is to present a drainage solution for the proposed development consisting of a single-story building, for a skilled nursing facility and associated parking facility. We are requesting conceptual grading approval and Site Development Plan for Building Permit approval.

Existing Drainage Conditions

The site falls within the approved Renaissance Drainage Master Plan, and is currently undeveloped, although previously rough graded with two pads. The plan allows a controlled release runoff of 0.10 cfs per acre from each tract. The existing conditions were analyzed using the criteria set by the City of Albuquerque DPM.

Existing conditions, analyzed as a single basin with a runoff rate of 15.3 cfs, generally sheet flows from the southeast to the northwest portion of the site discharging onto Commerce Drive through a sidewalk culvert near the Renaissance Boulevard intersection. No offsite runoff enters the site.

The site is located outside any mapped 100 year floodplain, as indicated on FEMA FIRM Map 35001C0138H.

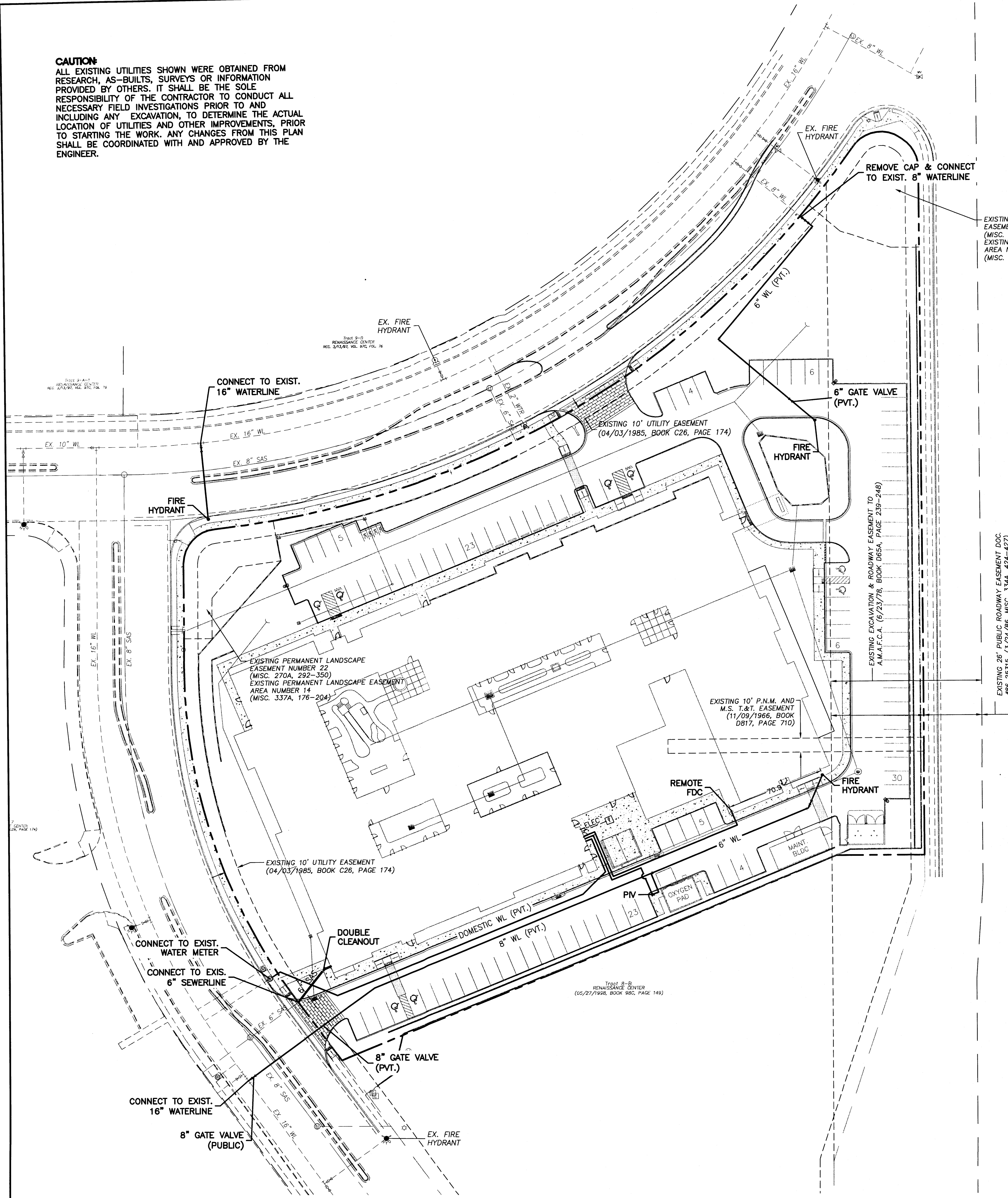
Proposed Drainage Management

Drainage from the majority of the developed site will be collected through a network of storm drain pipes and routed through a series of above-ground detention ponds and an underground detention storage system, such as StormChamber, before releasing flows onto Commerce Drive at the existing sidewalk culvert location where the site currently flows. An area at the northeast portion of the site will flow into a pond which has adequate capacity for full retention.

First flush management will be achieved by routing all flows from the proposed impervious areas through the detention ponds which are sized to detain the calculated first-flush volumes. The underground storm detention system will also be used for first-flush management by combining it with a sediment trap.

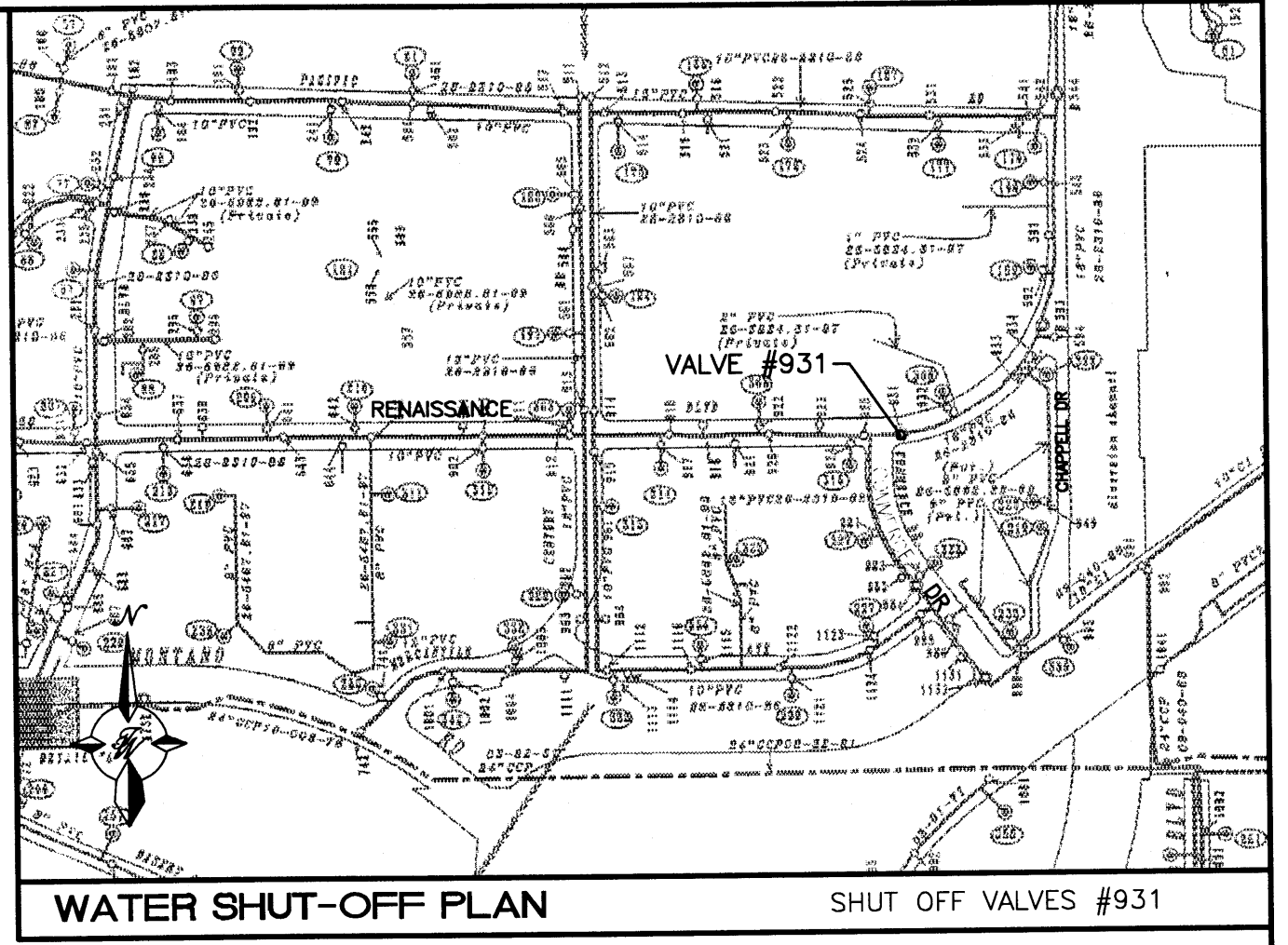
	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 5/21/15
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2014088-GRE
SHEET # C2		JOB # 2014088

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



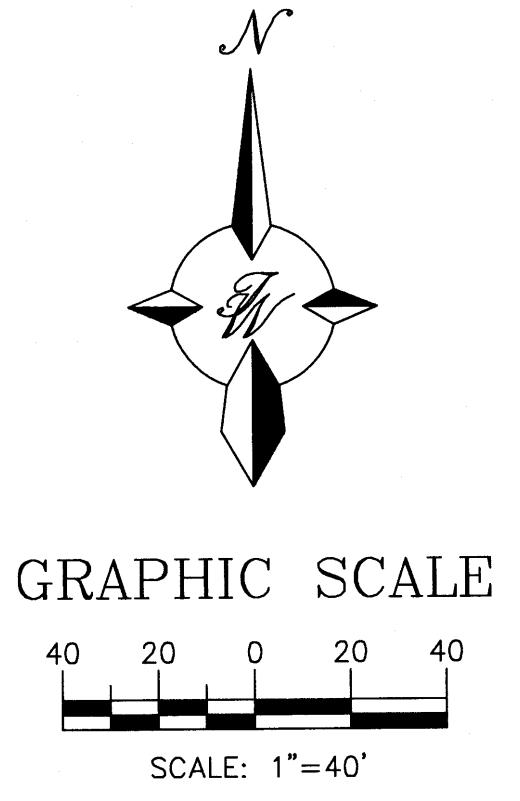
LEGEND

---	CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	CENTERLINE
---	BUILDING
---	SIDEWALK
---	SCREEN WALL
---	RETAINING WALL
---	EXISTING CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	36" SD STORM SEWER LINE
---	8" SAS SANITARY SEWER LINE
---	8" WL WATERLINE
⊕	DOUBLE CLEAN OUT
⊙	EXISTING SD MANHOLE
⊙	EXISTING INLET
⊙	EXISTING SAS MANHOLE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING WATER METER
⊙	EXISTING POWER POLE
⊙	EXISTING GAS VALVE
---	EXISTING OVERHEAD UTILITIES
---	EX. UGE. EXISTING UNDERGROUND UTILITIES
---	EX. 2" GAS EXISTING GAS
---	EX. 8" SAS EXISTING SANITARY SEWER LINE
---	EX. 10" WL EXISTING WATER LINE
---	EX. 18" RCP EXISTING STORM SEWER LINE



- WATER SHUTOFF NOTES**
1. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE.
 2. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK.
 3. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES.
 4. SHUTOFF REQUEST MUST BE MADE ONLINE AT (<http://abcwua.org/content/view/463/729/>)
 5. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 6. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
 7. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN, TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

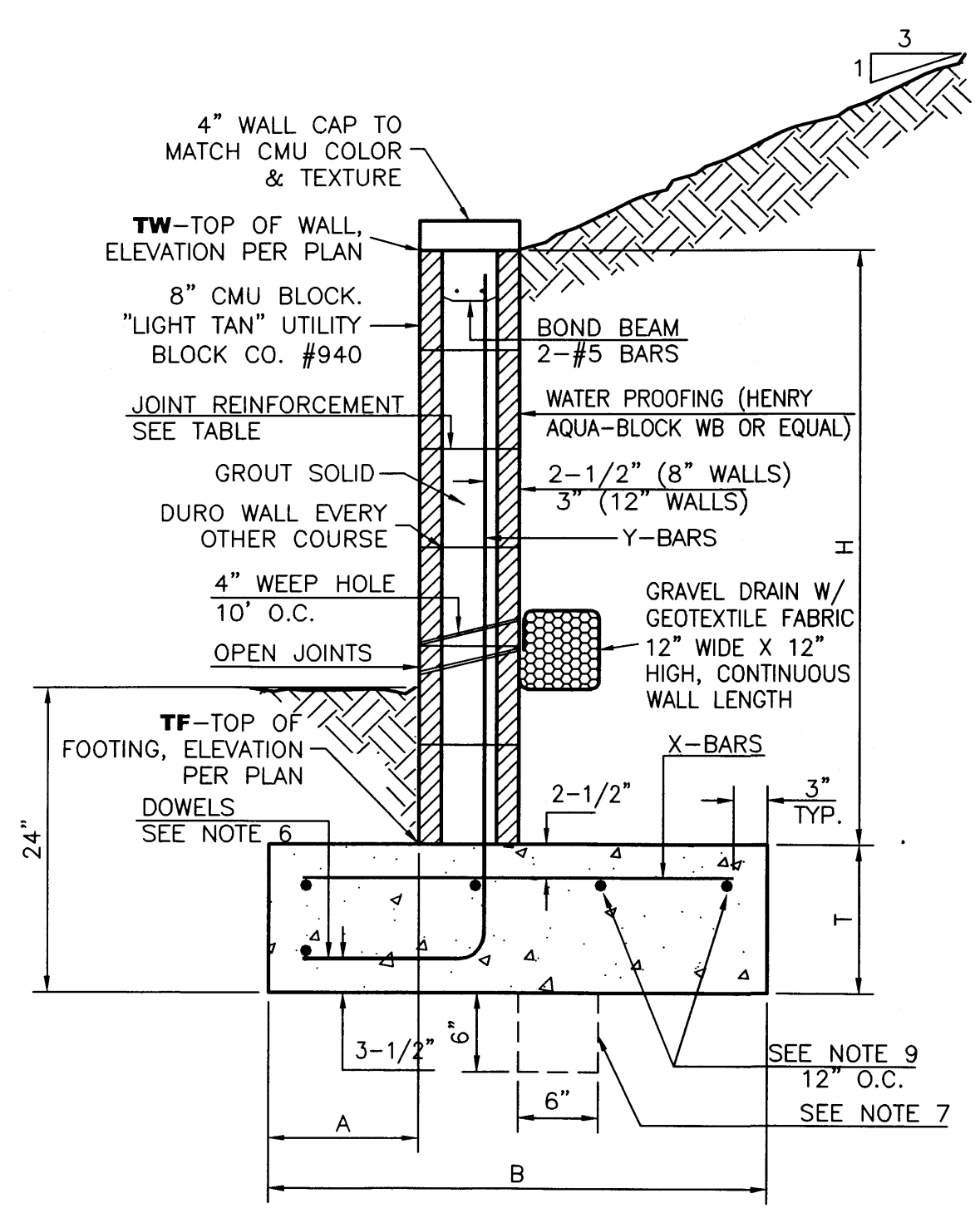
- GENERAL UTILITY NOTES**
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
 7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
 8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
 10. REFERENCE ARCHITECTURAL PLANS FOR LIGHTING POWER ROUTING.



ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	MASTER UTILITY PLAN	DATE 5/21/15
		2014088-MUE
		SHEET # C3
		JOB # 2014088

TERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
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RONALD R. BOHANNAN
 P.E. #7868

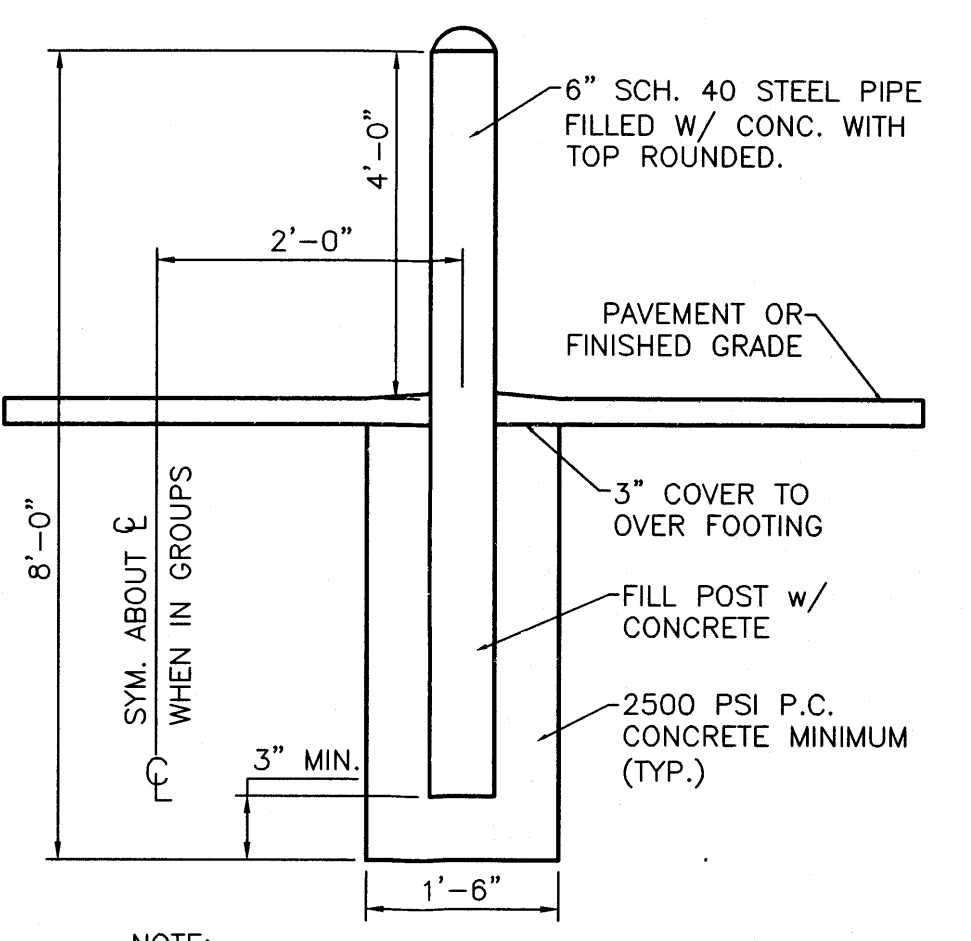


RETAINING WALL DETAIL
NTS

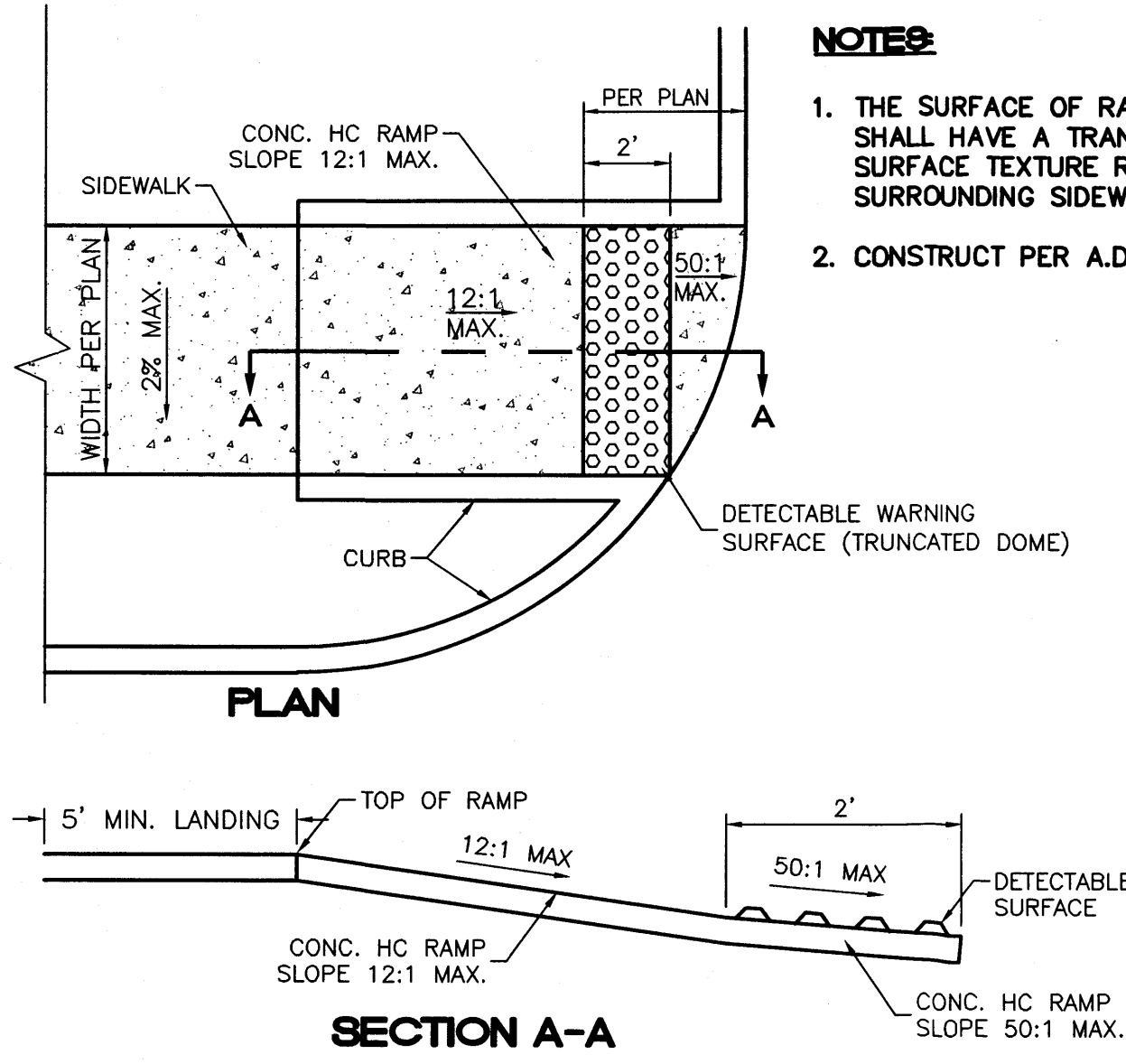
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

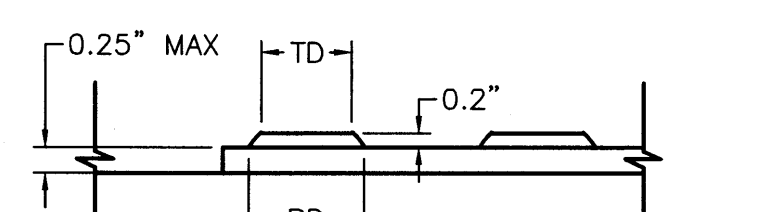


BOLLARD DETAIL
NTS

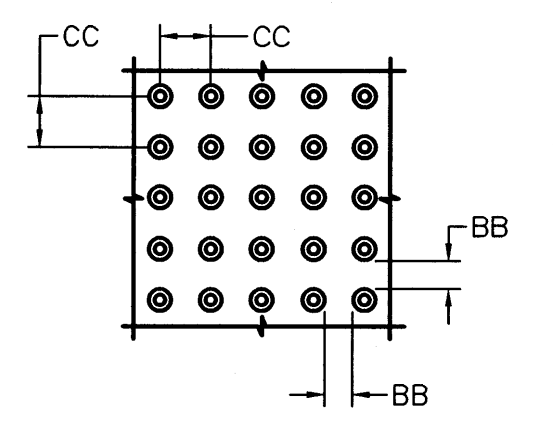


UNIDIRECTIONAL HC RAMP
NOT TO SCALE

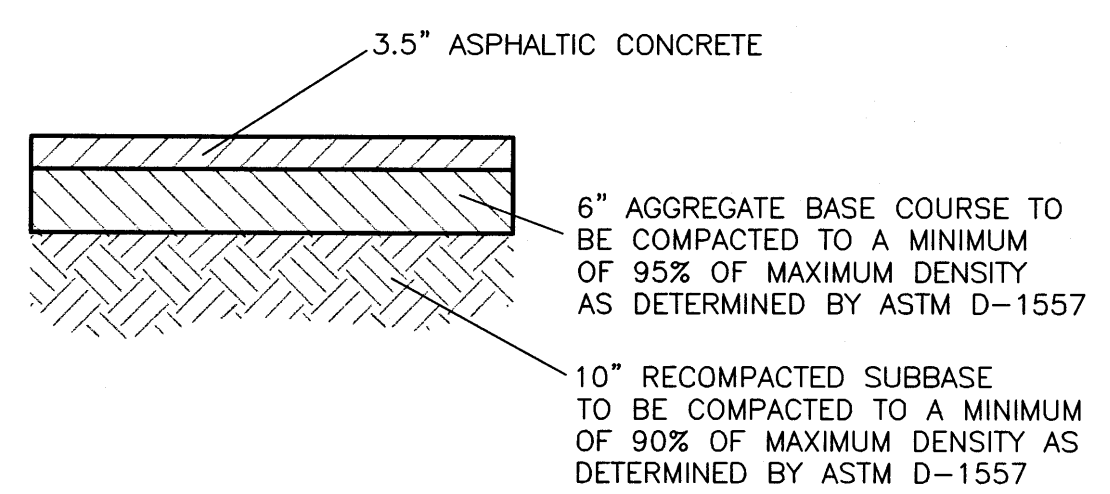
- NOTES:**
- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 - CONSTRUCT PER A.D.A. STANDARDS.



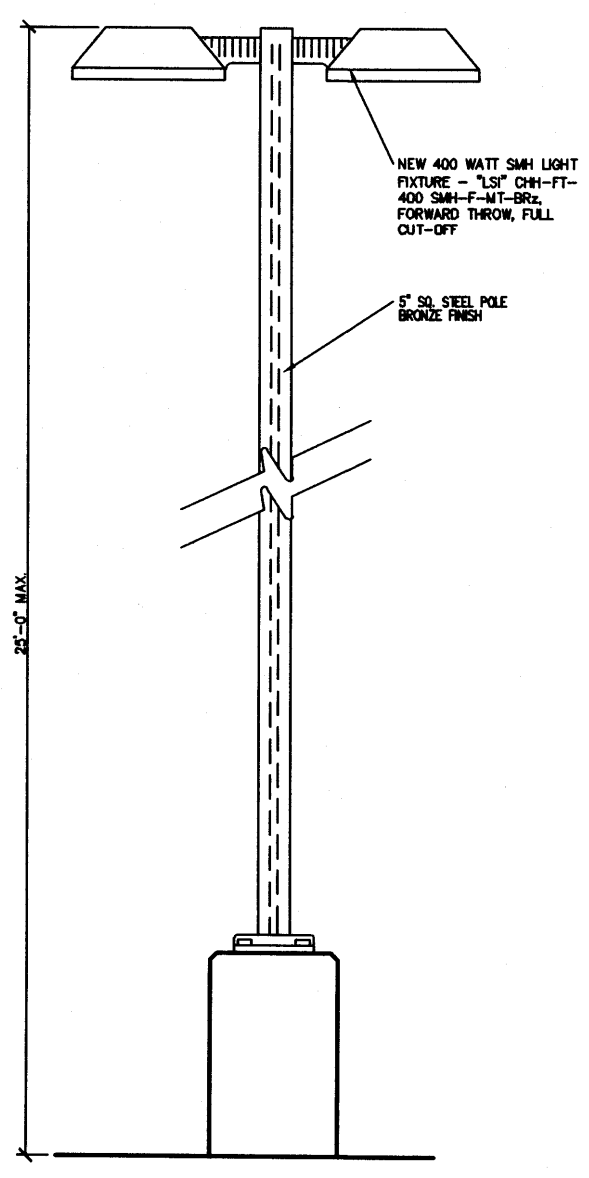
DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



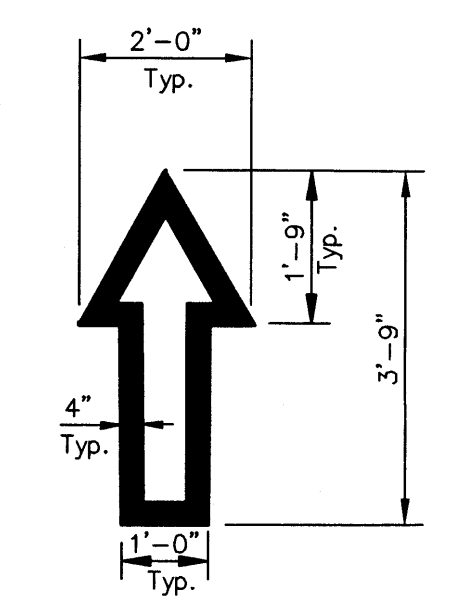
DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



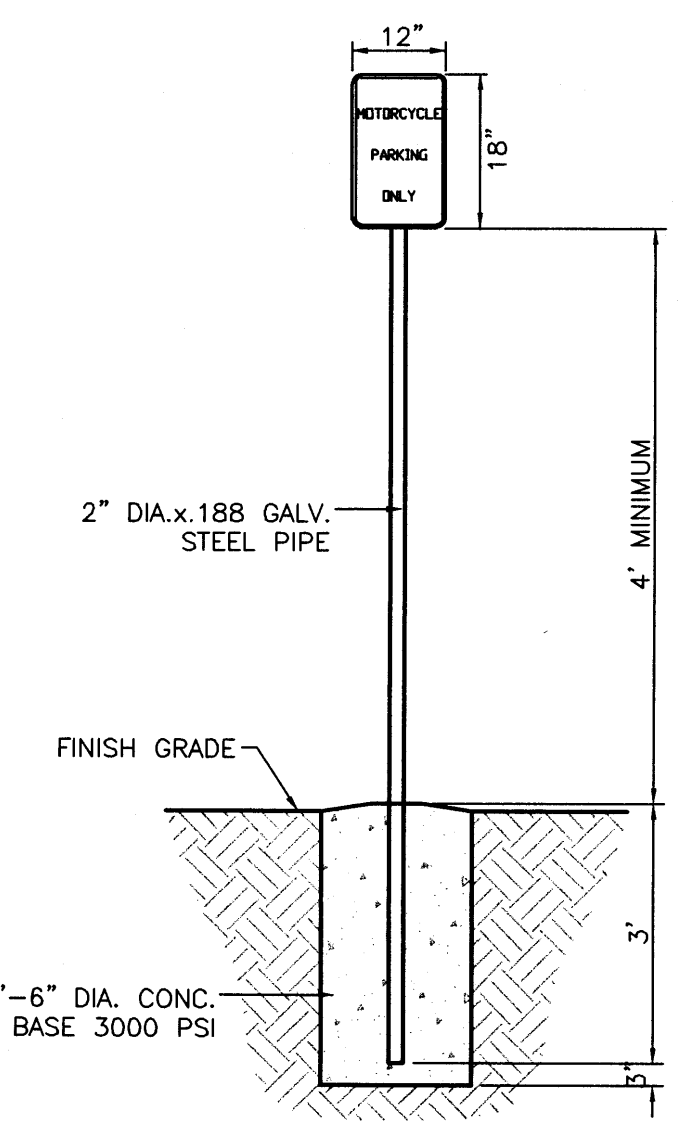
TYPICAL HEAVY DUTY PAVING SECTION
NTS



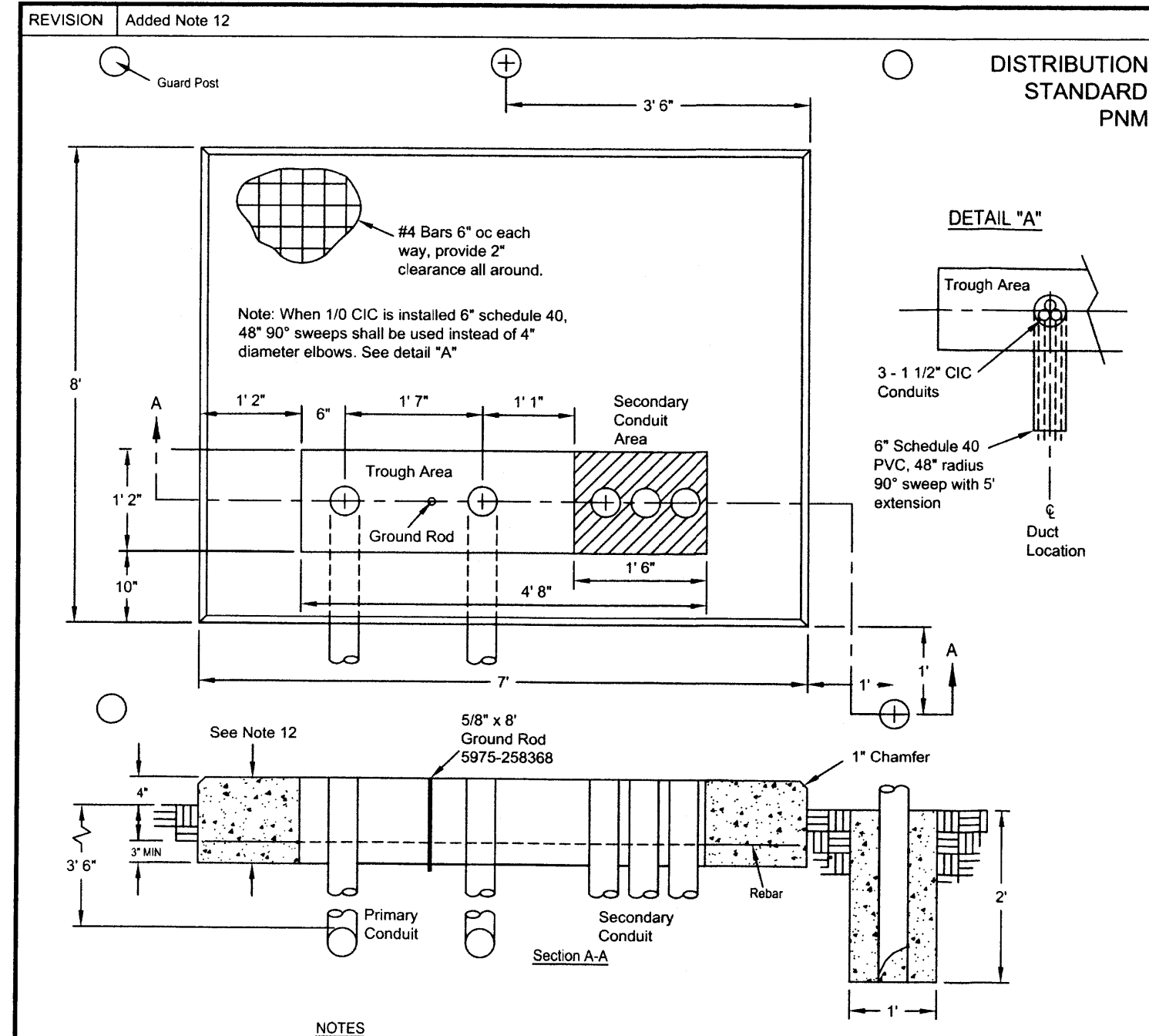
AREA LIGHT ELEVATION
SCALE: NTS



TRAFFIC FLOW ARROW
N.T.S.



MOTORCYCLE PARKING SIGN
NTS



NOTES:

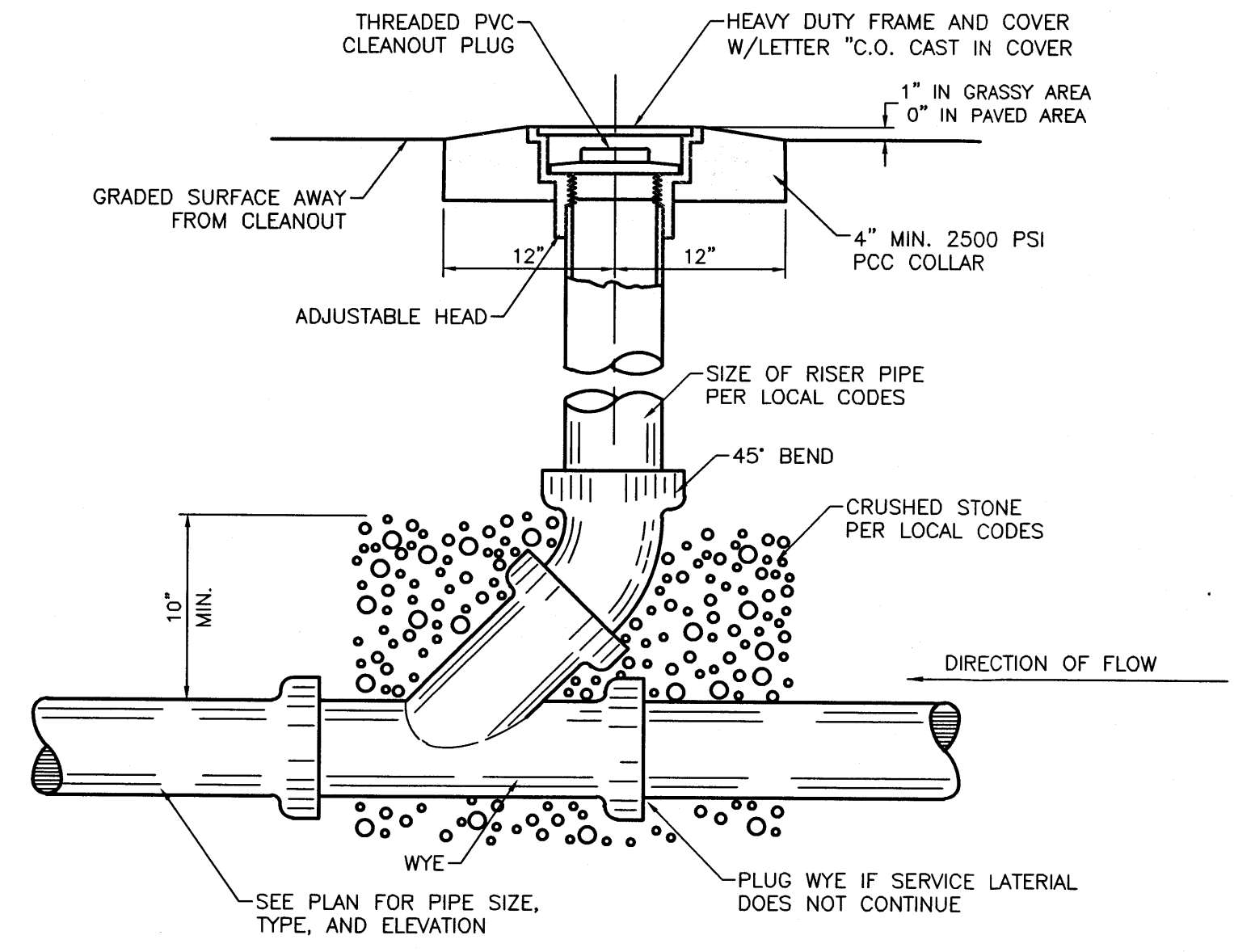
- No concrete in trough area.
- Bring conduit up flush with pad.
- Guard Posts are required in traffic areas.
- Concrete pad shall be 3000 psi concrete, level within $\pm 1/4"$ in 5' straight edge.
- Excavate grade and back fill under concrete pad shall be compacted to 95% in accordance with ASTM D1557.
- If the primary cable is direct buried contact engineer for secondary conduit orientation prior to installation.
- All stub outs must extend a minimum of 5' from edge of pad.
- For PHM direct buried primary system, customer shall install PVC elbows and PVC stub outs and threaded rigid stub outs or concrete encased rigid elbows with concrete encased rigid PVC stub outs. Schedule 40 PVC may be used without concrete encasement provided customer installs a 1/2" length minimum rigid galvanized IMC conduit at each vertical 45° or 90° elbow. Red warning tape shall be placed 12" above any PVC that is not concrete encased.
- Customer shall include a polyethylene pull string with a minimum breaking strength of 210 lbs in completed ducts for future use by PHM.
- Pre cast concrete pads are available through vendors.
- 1" if poured in place or 6" if precast pad.

REFERENCES:

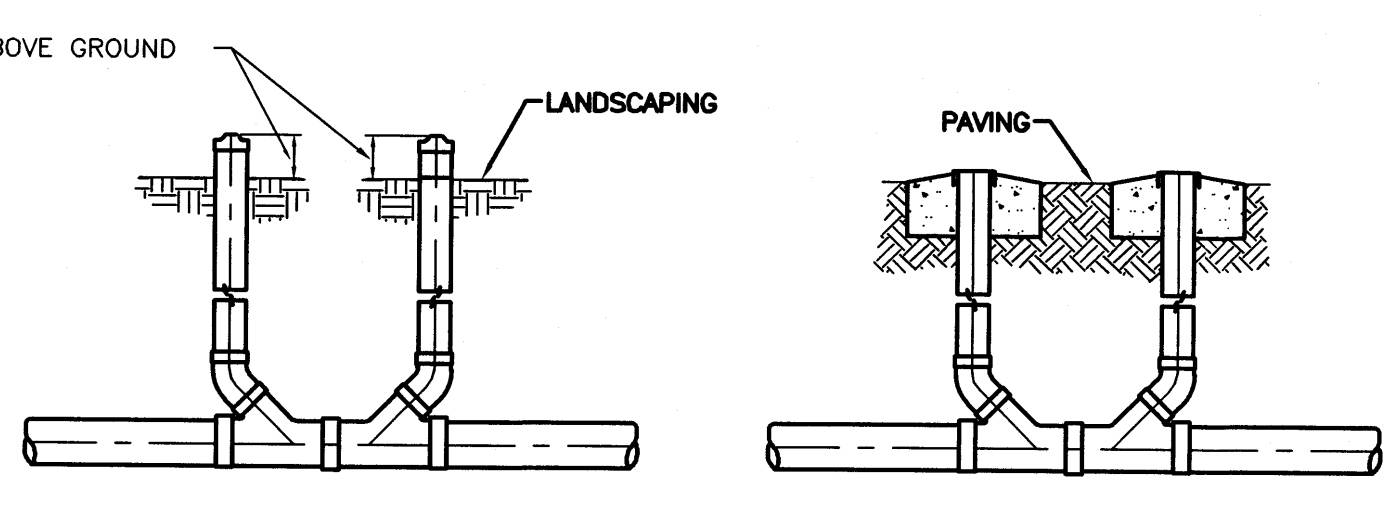
- See DS-7-16.8 Page 1 and 2 Transformer and Switchgear Pad Foundation Preparation and Inspection
- See DS-7-16.10 Guard Post
- See DS-7-16.12 Minimum Working Space and Fire Safety Requirements for Transformers
- See DS-19-20.0 Ground Assembly

750-1500 kVA Three-Phase Loop Fed Transformer Pad
DS-7-16.7.1
12/01/12 E

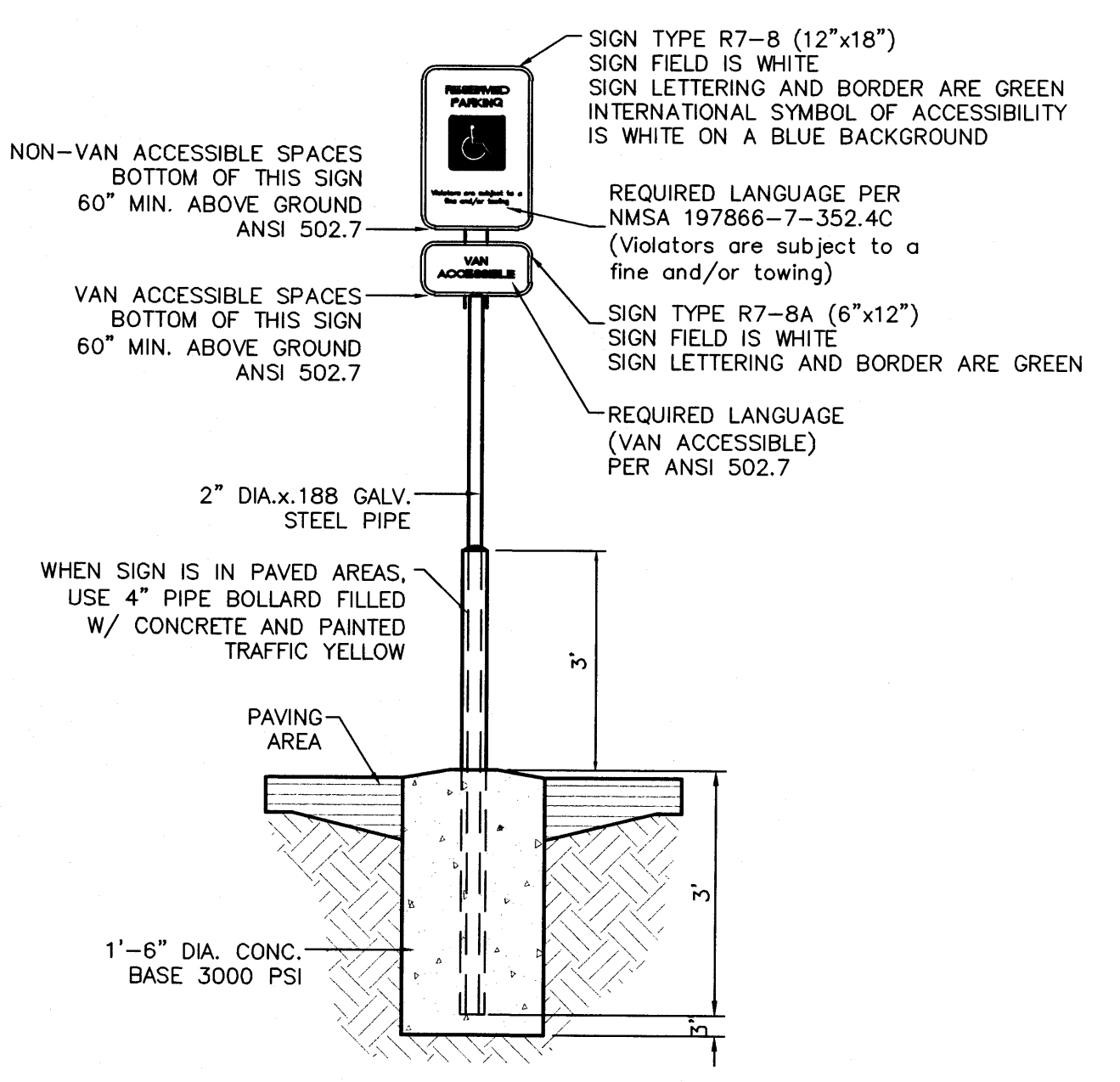
TRANSFORMER PAD DETAIL



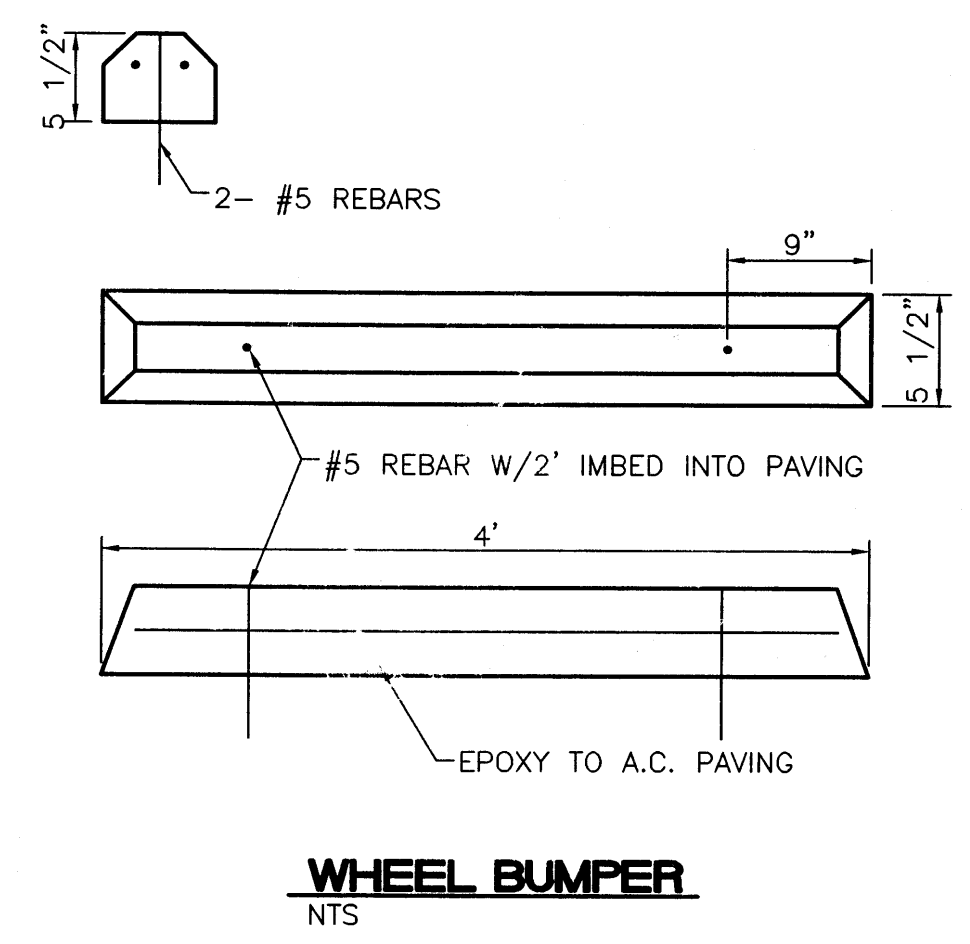
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



ACCESSIBLE PARKING SIGN
NTS

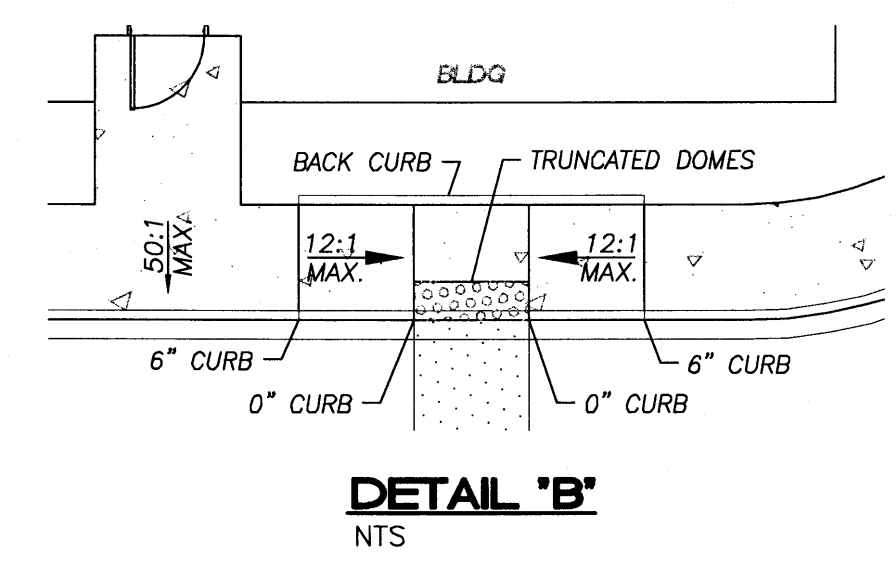
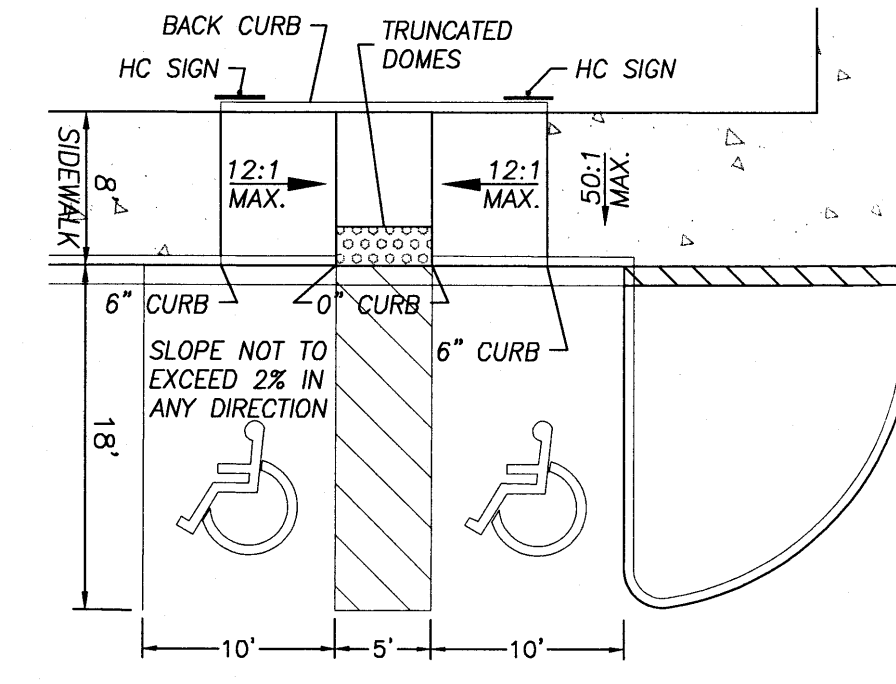
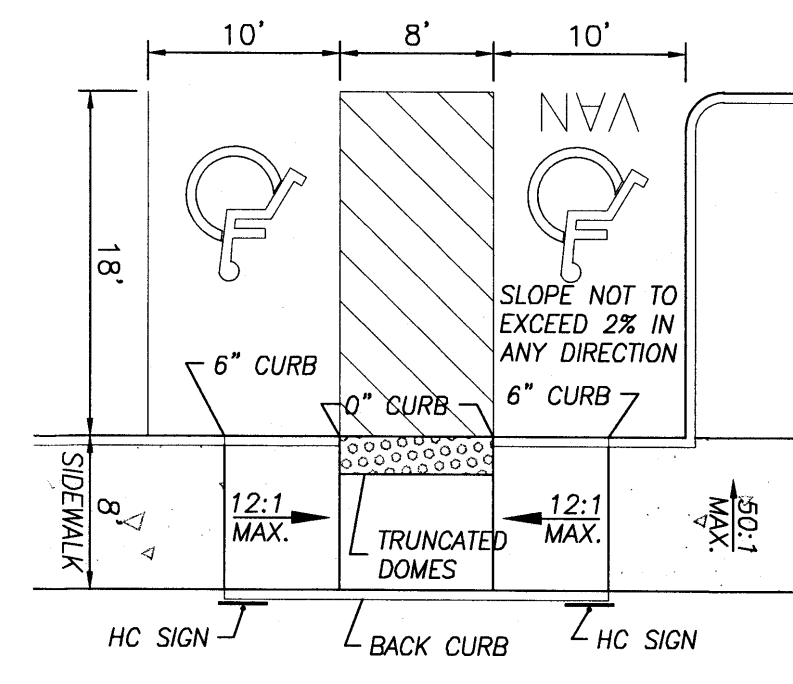
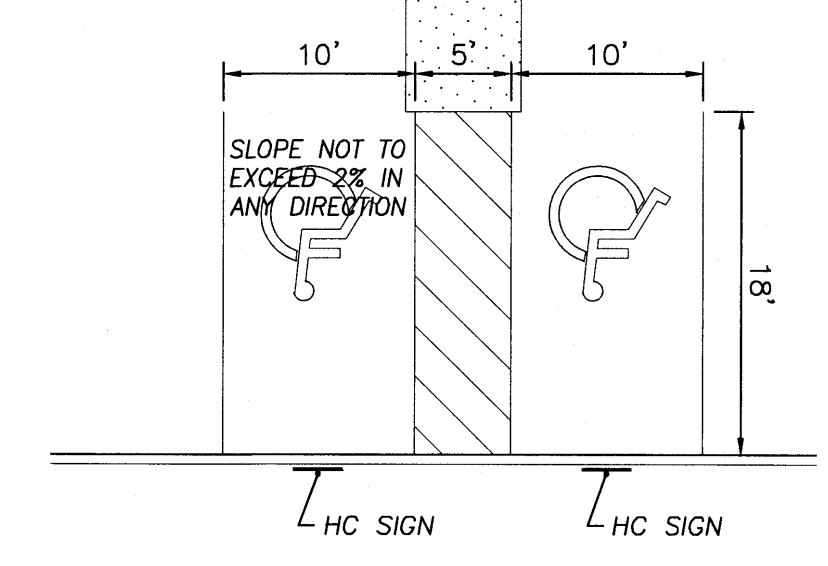
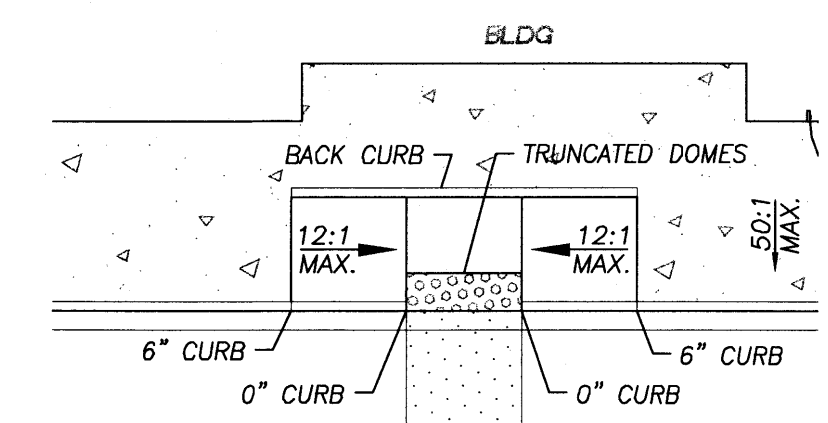
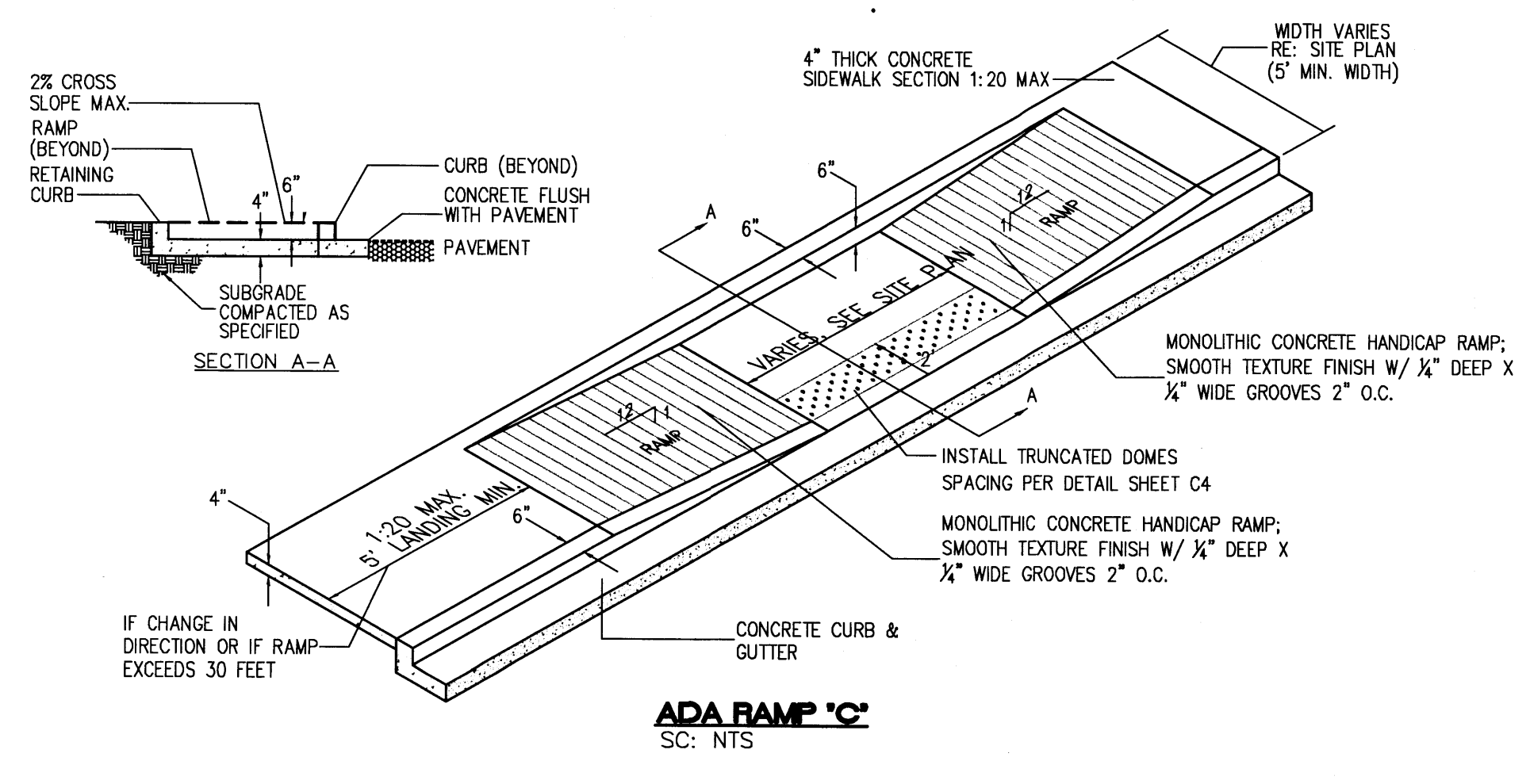
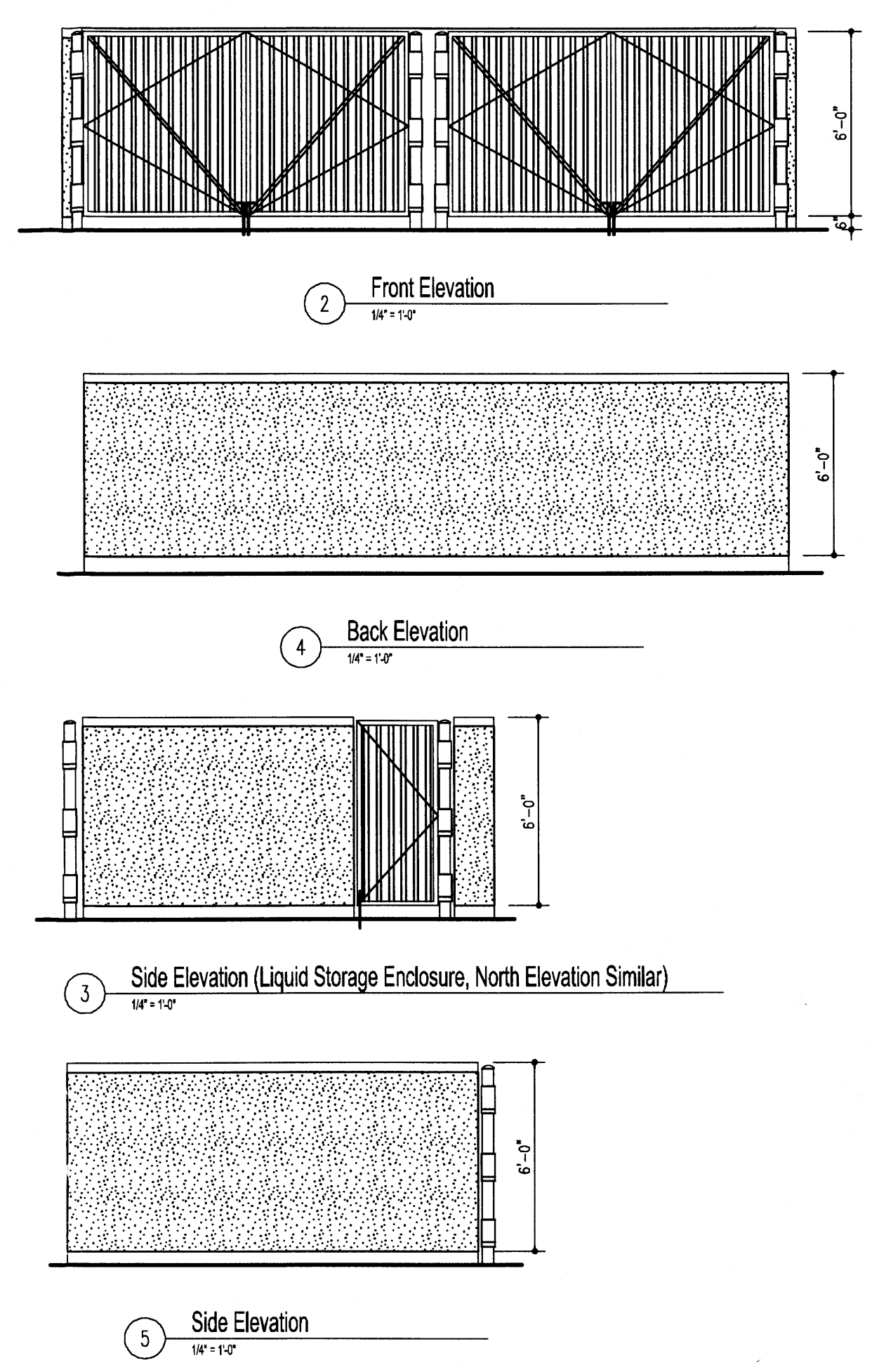
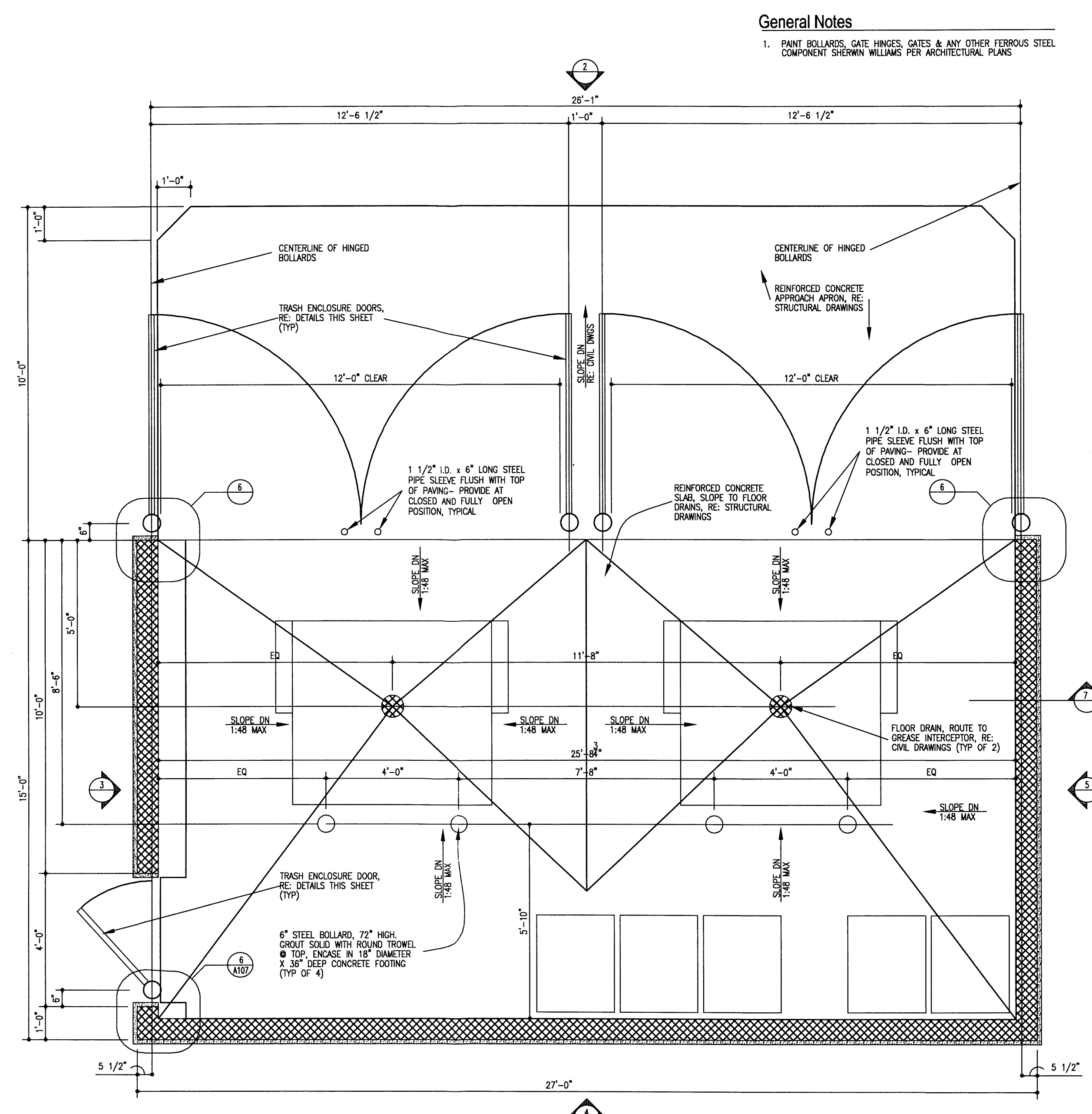
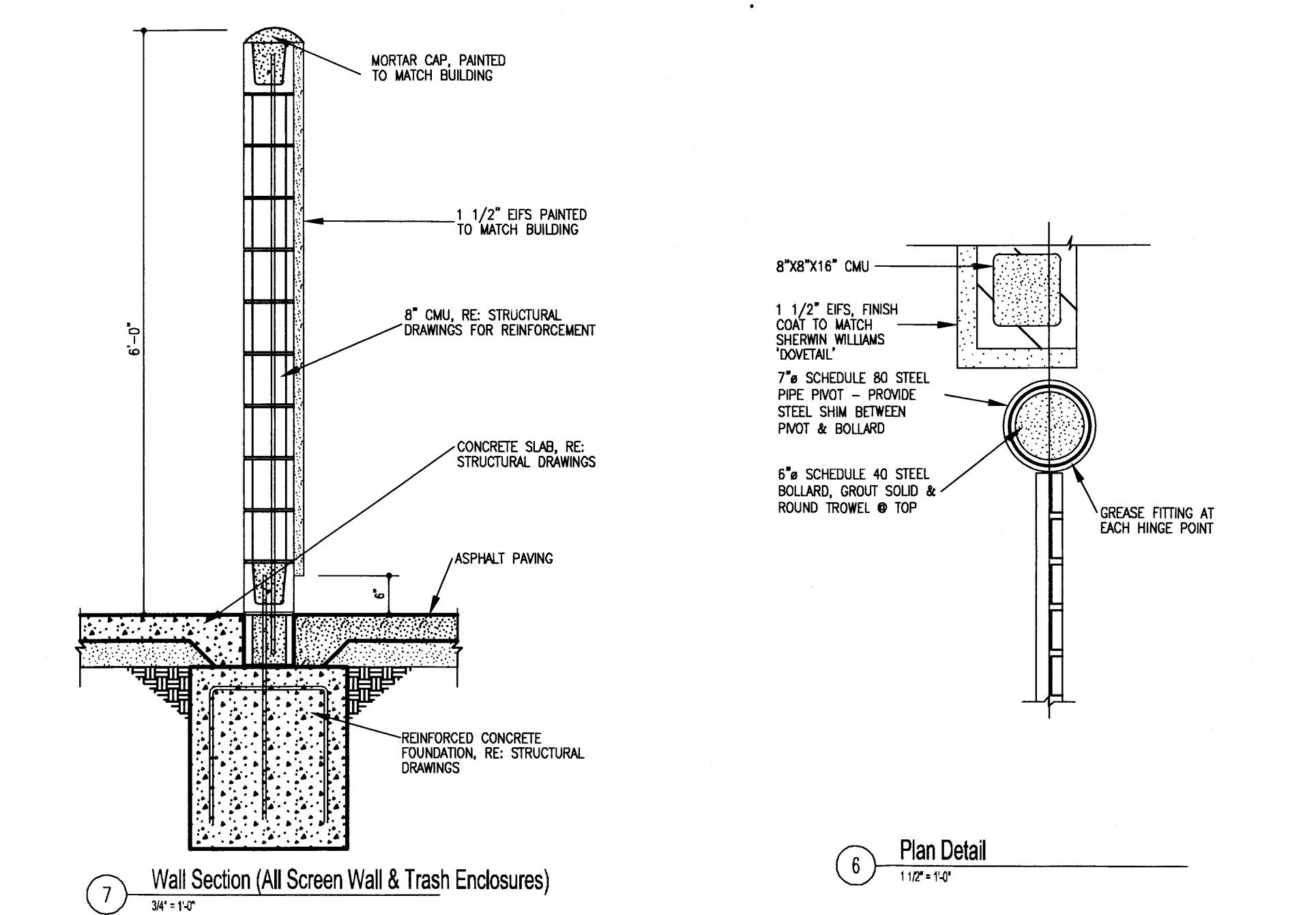
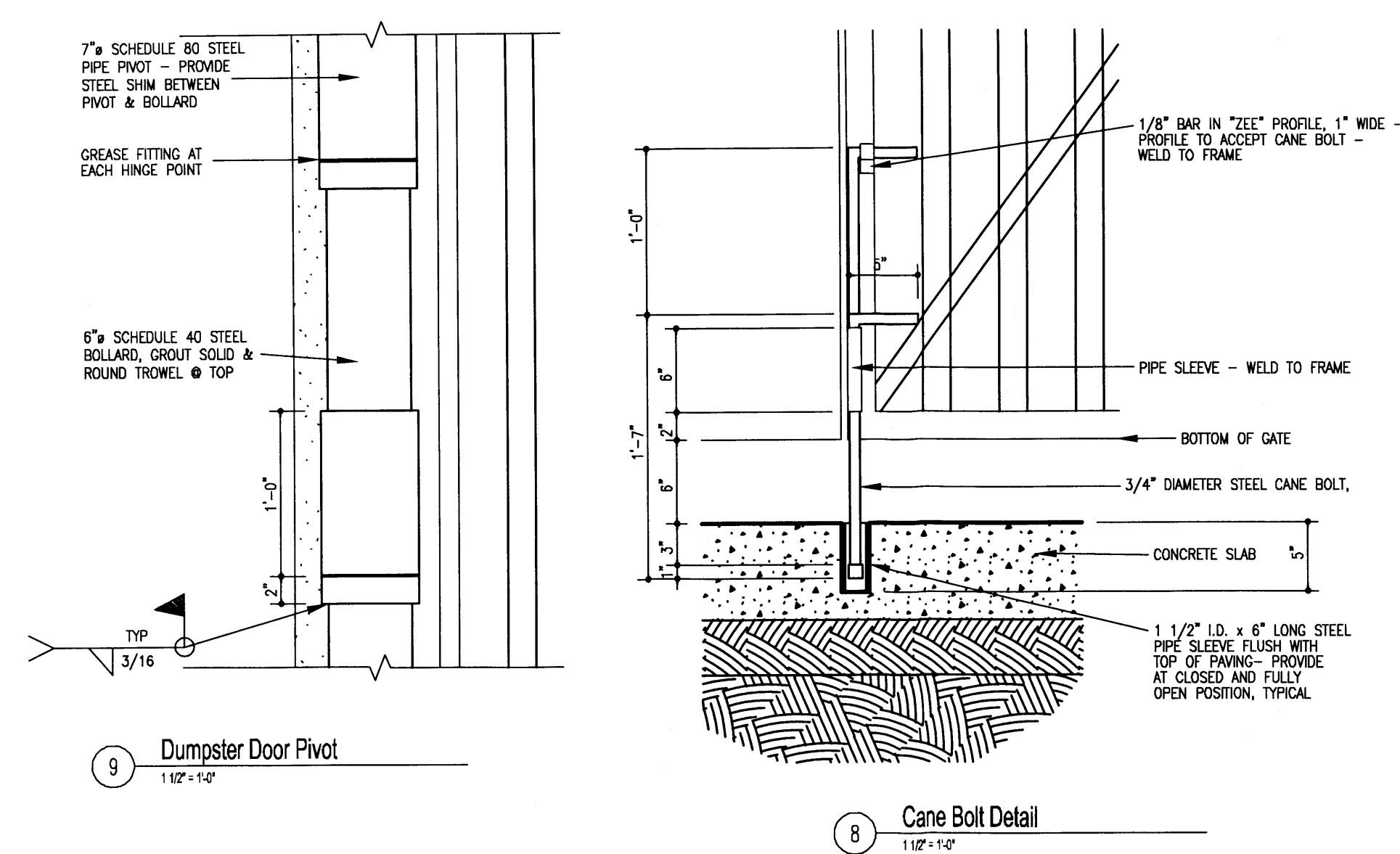


WHEEL BUMPER
NTS

ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	DETAIL SHEET	DATE 5/21/15
		2014088-DTE
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com	SHEET # C4
RONALD R. BOHANNAN P.E. #7868		JOB # 2014088

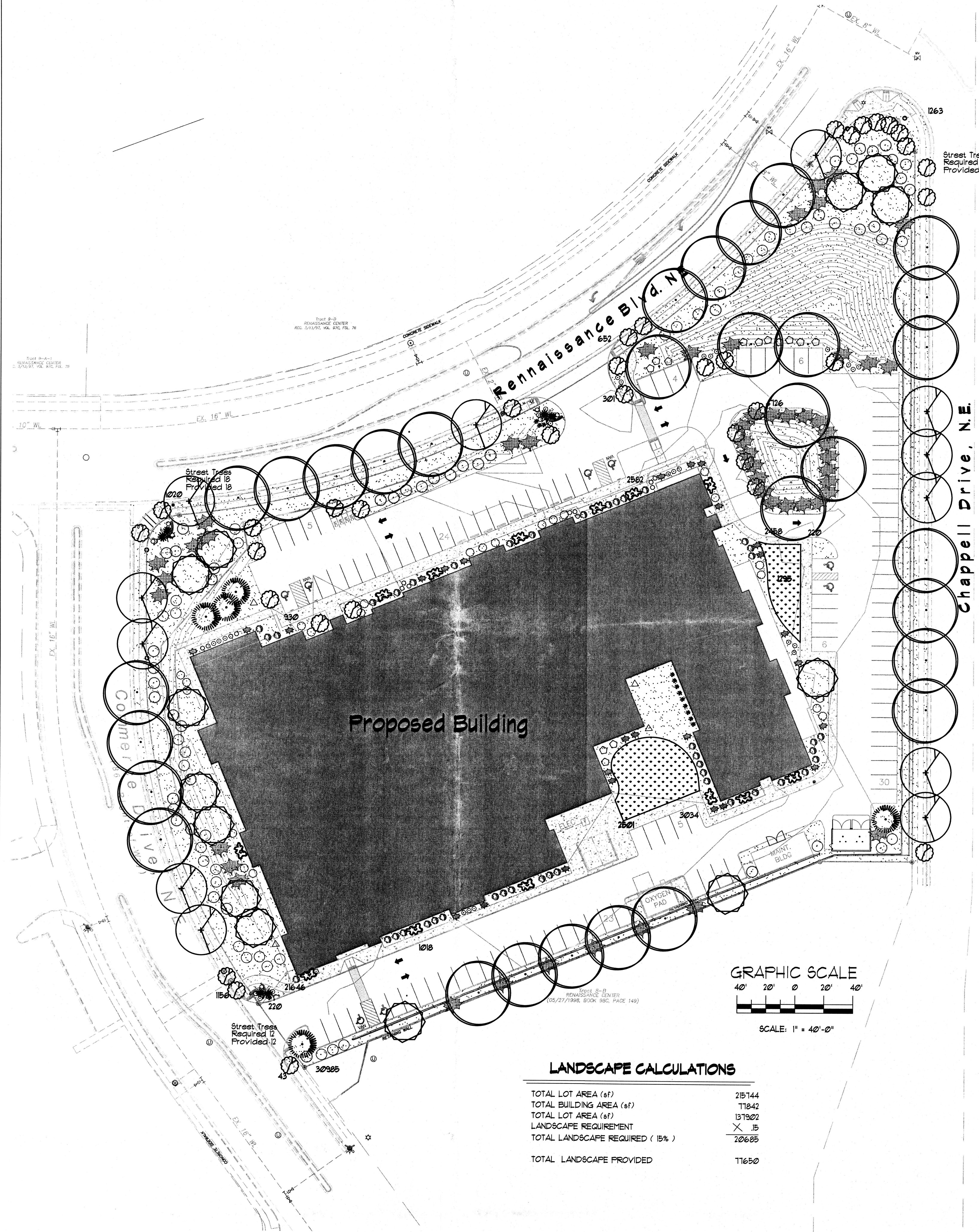
General Notes

1. PAINT BOLLARDS, GATE HINGES, GATES, & ANY OTHER FERROUS STEEL COMPONENTS PER ARCHITECTURAL PLANS



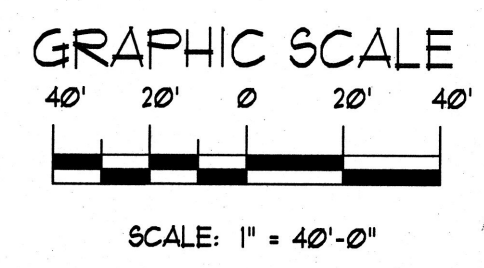
- NOTES:**
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	DETAIL SHEET	DATE 5/21/15
		2014088-DTE
		SHEET # C5
		JOB # 2014088
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		
RONALD R. BOHANNAN P.E. #7868		



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
12	3" cal	Chinese Pistache 40x35 <i>Pistacia chinensis</i>	1225 14100 M+
31	3" cal	Honey Locust 50x45 <i>Gleditsia triacanthos</i>	2025 62175 M
5	6-8	Austrian Pine 25x20 <i>Juniperus scopulorum</i>	400 2000 M
13	4 - 6'	Crape Myrtle 15x10 <i>Pinus edulis</i>	100 1300 M
6	4 - 6'	Palm Yucca 15x6 <i>Yucca faxoniana</i>	36 216 M
11	15 Gal.	Purple Leaf Plum 15x12 <i>Prunus spp.</i>	144 1584 M
9	15 Gal.	Oklahoma Redbud 15x12 <i>Cercis reniformis</i>	144 1236 M
Shrubs & Groundcovers			
13	4 - 6'	Desert Willow 20x25 <i>Chilopsis linearis</i>	625 8125 M
43	5 Gal	India Hawthorne 3x5 <i>Raphiolepis indica</i>	25 1075 M
13	5 Gal	Feather Reed Grass 2.5x2 <i>Calamagrostis arundinacea</i>	4 52 M
13	5 Gal	Grey Leaf Cotoneaster 5x5 <i>Cotoneaster glauca</i>	25 325 M
4	5 Gal	Butterfly Bush 5x5 <i>Buddleia davidii</i>	25 100 M
26	5 Gal	Carpet Roses 2x4 <i>Jasminum nudiflorum</i>	16 416 M
50	5 Gal	Buffalo Juniper 1x12 <i>Juniperus sabina 'Buffalo'</i>	144 7200 M
21	1 Gal	Cherry Sage 2x3 <i>Salvia greggii</i>	9 189 M
28	1 Gal	Blue Mist 3x3 <i>Caryopteris x clandonensis</i>	9 252 M
23	1 Gal	Fern Bush 5x6 <i>Chamaebotaria millefolium</i>	36 828 L
48	1 Gal	Apache Plume 6x1 <i>Fallugia paradoxa</i>	49 2352 L
31	1 Gal	Chenisa 5x5 <i>Chrysothamnus nauseosus</i>	25 715 L
16	2-3cf	Boulders To be placed at contractor discretion	12254
		Landscape Gravel / Filter Fabric Santa Fe Brown	1620
		Oversize Landscape Gravel / Filter Fabric 2-4" Santa Ana Tan	3796
		Sod Lawn 2-4" Santa Ana Tan	11650.00



LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	215144
TOTAL BUILDING AREA (sf)	11842
TOTAL LOT AREA (sf)	131902
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	20685
TOTAL LANDSCAPE PROVIDED	11650

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque, Landscape Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque, Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

Landscape Plan shall comply with the Landscape Requirements of the Renaissance Development guidelines.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

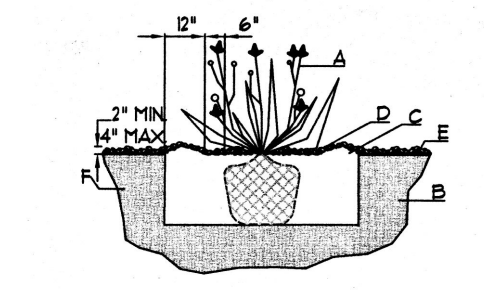
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

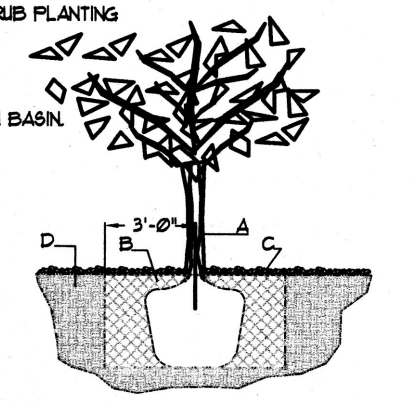
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Owner.



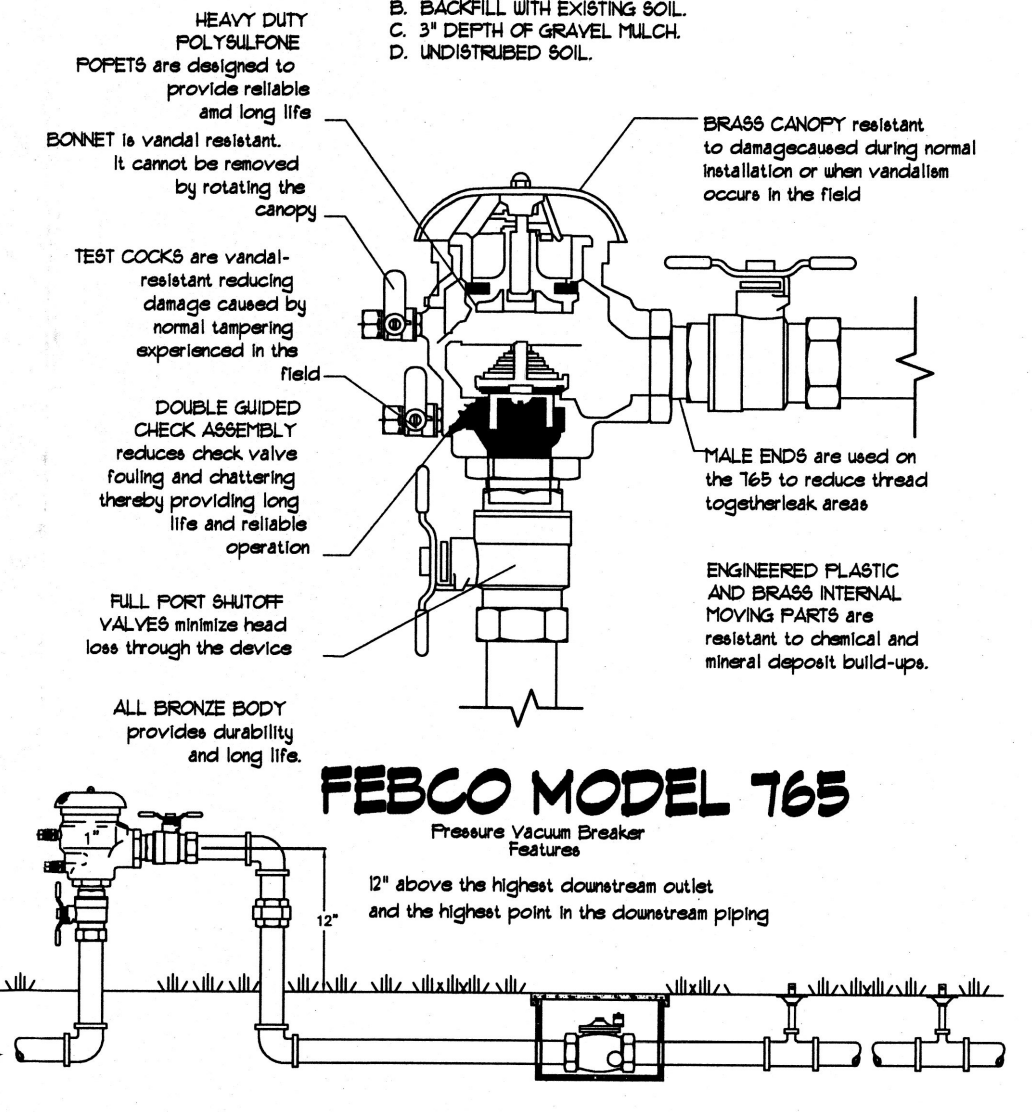
SHRUB PLANTING DETAIL
NTS

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE THREE TIMES THE DIAMETER OF THE SHRUB PLANTING.
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. FINISH GRADE.
E. UNDISTURBED SOIL.



TREE PLANTING DETAIL
NTS

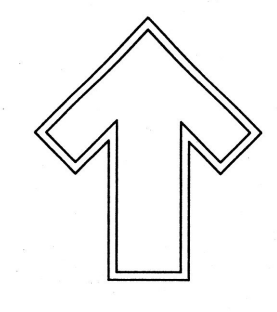
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DASH THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURIAL SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE.
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.



FEBCO MODEL 765
Pressure Vacuum Breaker Features

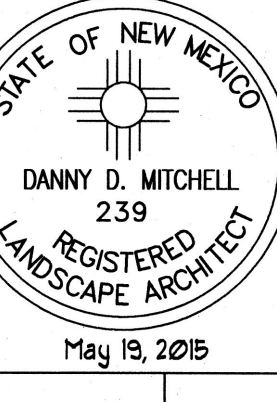
12" above the highest downstream outlet and the highest point in the downstream piping

FEBCO MODEL 765
Pressure Vacuum Breaker Outside Installation



The Hilltop
1309 Edith NE,
Albuquerque, NM 87104
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Fax: (505) 896-1137
danny@hilltoplandscape.com

Landscape Architect



Skilled Nursing Facility
Renaissance Center
Albuquerque, NM

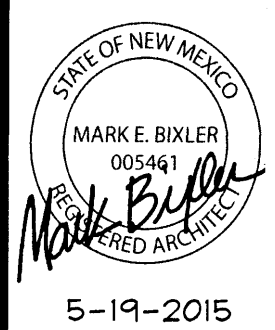
LANDSCAPE PLAN

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REVISION #
DATE
06/15/2015

SHEET •
LS-101



5-19-2015

ELEVATIONS

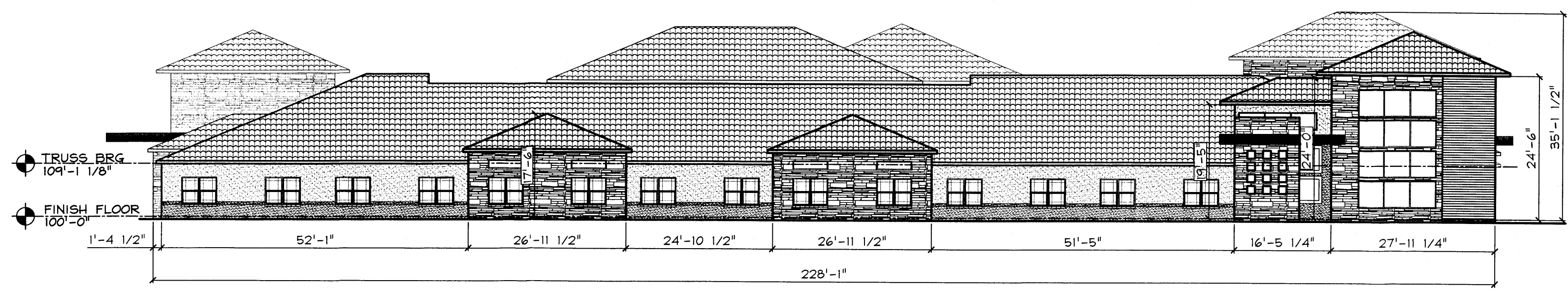
SKILLED NURSING FACILITY RENAISSANCE CENTER
134 BED SKILLED NURSING FACILITY
ALBUQUERQUE, NEW MEXICO

GENERAL NOTES

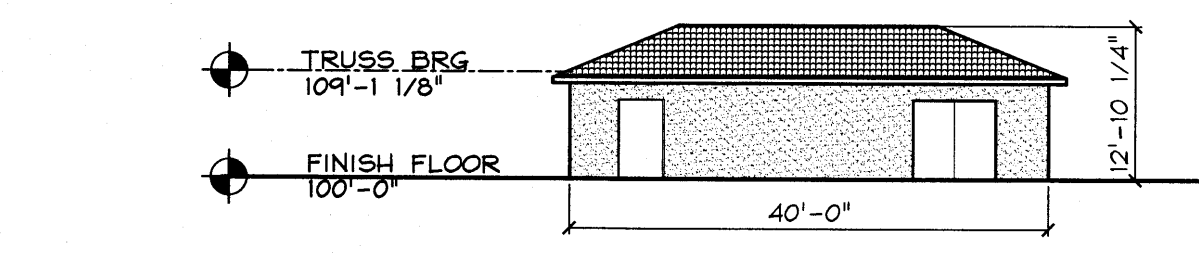
- A ALL WINDOWS SHALL BE DARK BRONZE VINYL WINDOWS WITH LOW-E GLAZING.
- B TO COMPLY WITH 14-16-3-18 - GENERAL BUILDING SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES, THE FOLLOWING DESIGN STANDARDS ARE USED.
 1. WALL PLANE PROJECTIONS OR RECESSES OF AT LEAST 2' IN DEPTH, OCCURRING AT LEAST EVERY 100' AND EXTENDING AT LEAST 25% OF THE LENGTH OF THE FACADE.
 2. A VERTICAL CHANGE IN COLOR, TEXTURE, OR MATERIAL OCCURRING EVERY 50 LINEAR FEET AND EXTENDING AT LEAST 20% OF THE LENGTH OF THE FACADE.
 3. A CHANGE IN VISIBLE ROOF PLANE OR PARAPET HEIGHT FOR EVERY 100' IN LENGTH, HOWEVER, EACH DISTINCT ROOF PLANE DOES NOT HAVE TO EQUAL 100' IN LENGTH.
- C MECHANICAL WELLS ARE PROVIDED PARALLEL TO THE RIDGE LINE TO HOUSE MECHANICAL EQUIPMENT.

LEGEND

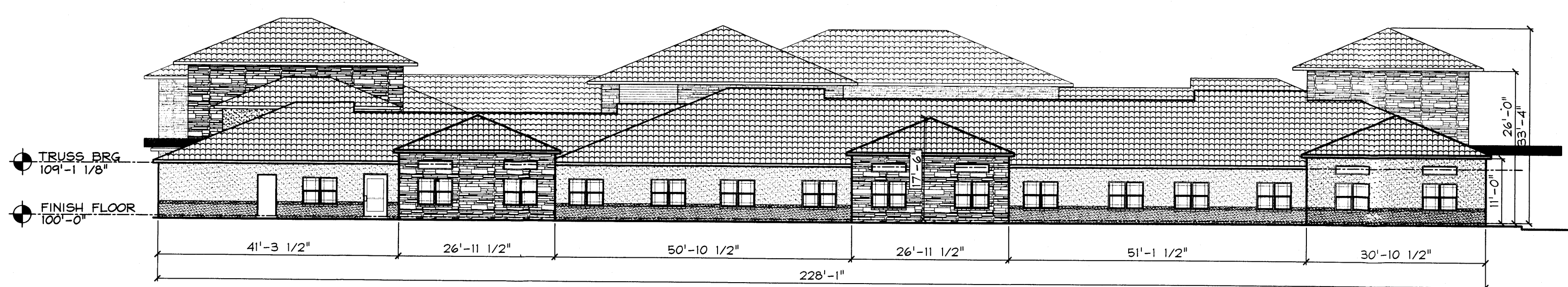
- 4" WOOD SIDING
- SMOOTH LIGHT TAN STUCCO
- ROUGH DARK TAN STUCCO
- STACKED STONE - EARTH TONE BLEND
- CLAY TILE ROOF - MARBLED TERRA COTTA TILE
- PRE-FINISHED METAL PANEL - BRONZE



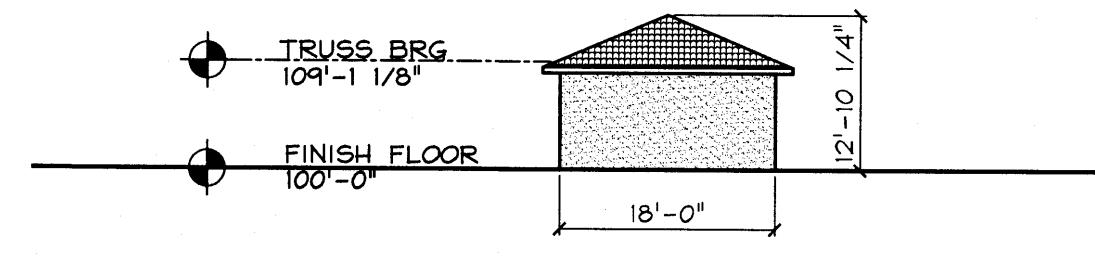
1 EAST ELEVATION
1/16" = 1'-0"



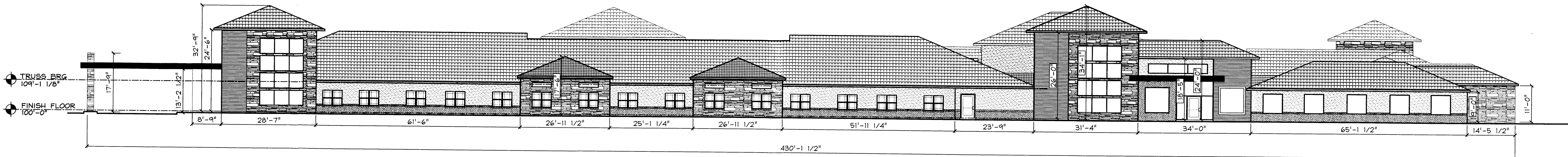
2 NORTH ELEVATION - MAINT. BLDG
1/16" = 1'-0"
(SOUTH ELEVATION SIMILAR - NO DOORS.)



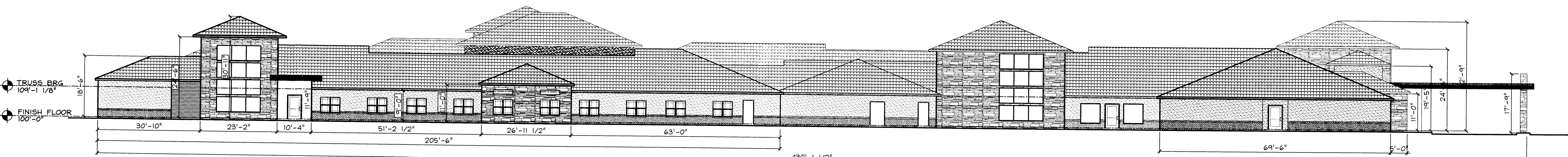
3 WEST ELEVATION
1/16" = 1'-0"



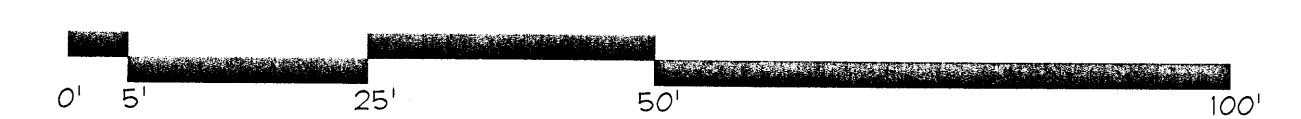
4 EAST & WEST ELEVATION - MAINT. BLDG
1/16" = 1'-0"



5 NORTH ELEVATION
1/16" = 1'-0"



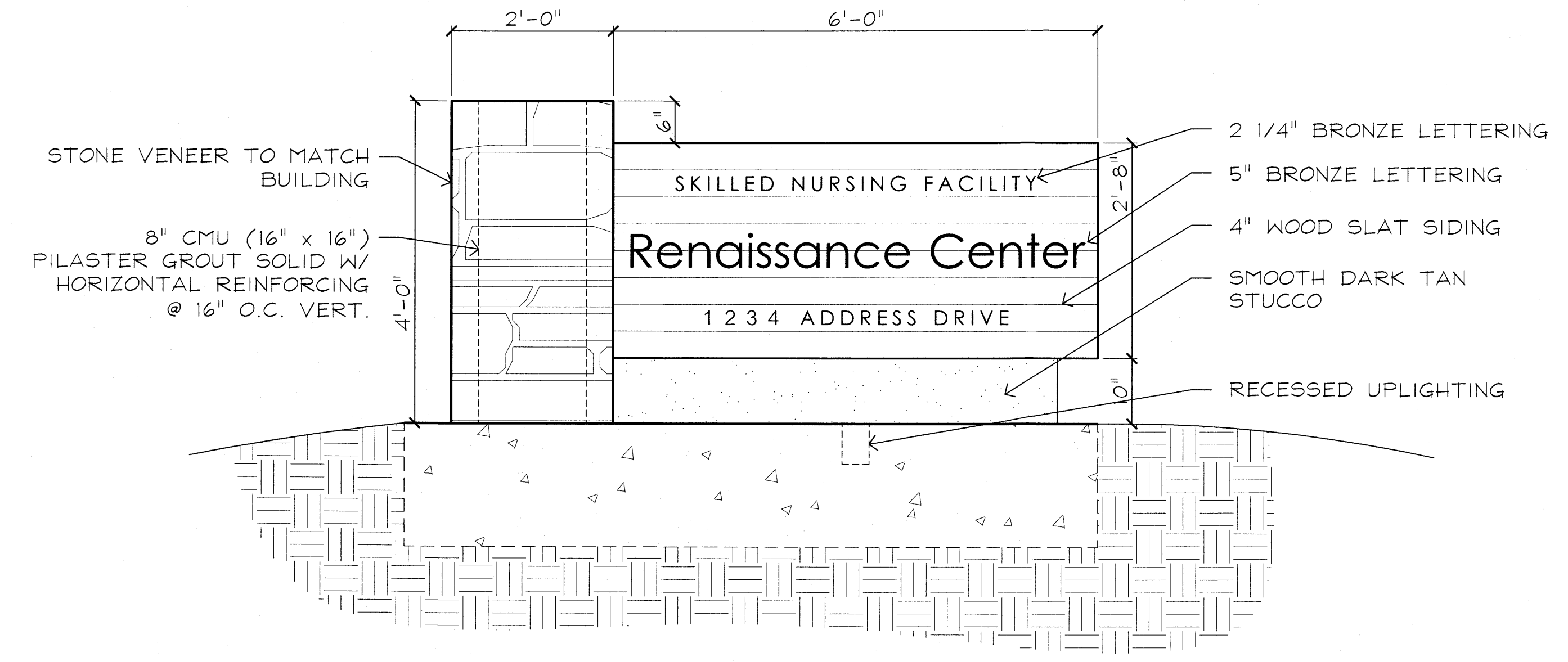
6 SOUTH ELEVATION
1/16" = 1'-0"



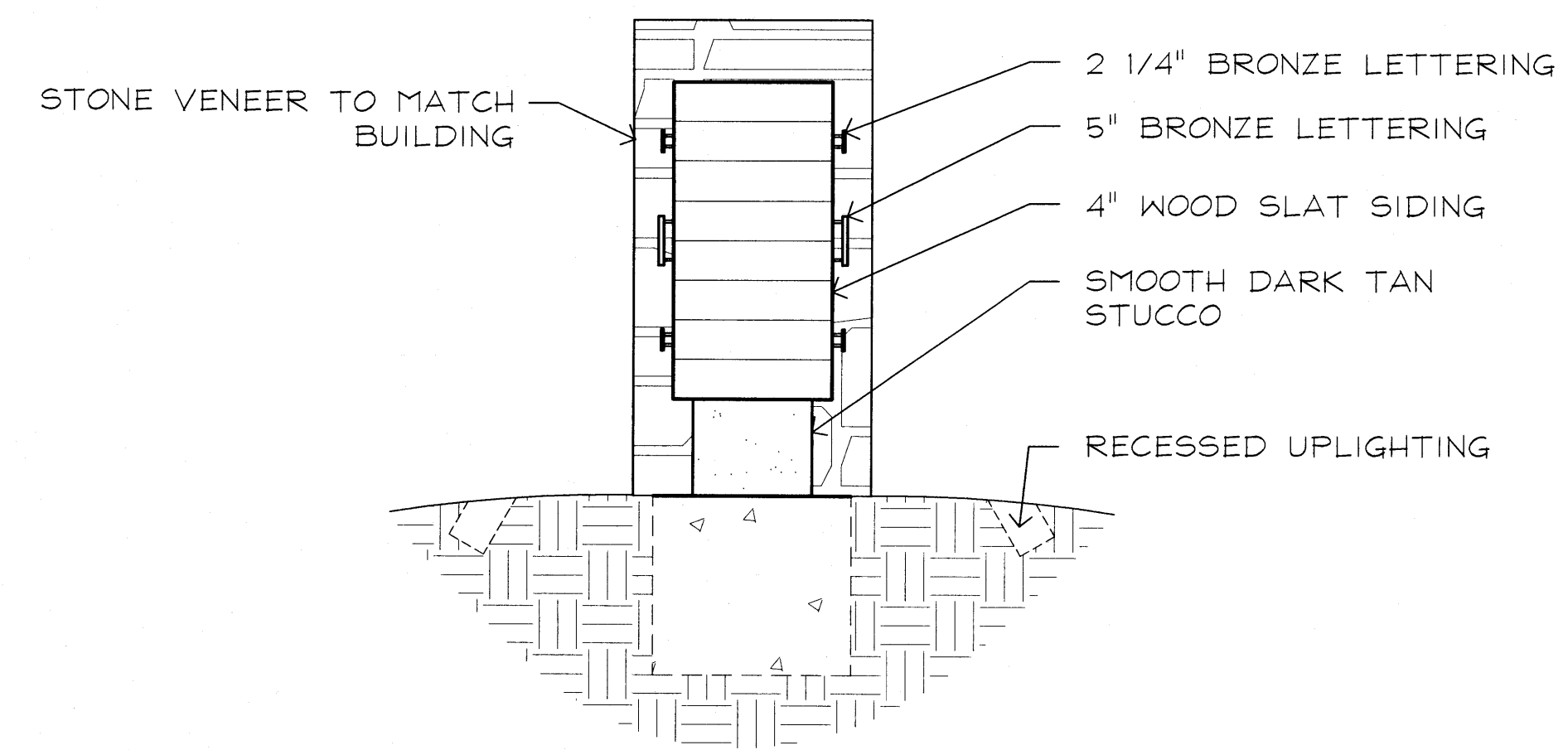
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P.O. BOX 117, BERNO, AR 71804
PHONE: 870.653.3382 FAX: 870.653.3092

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DATE: 5-19-2015
SHEET NUMBER:

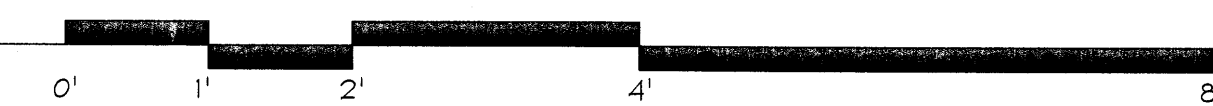
A2.1



1 FRONT ELEVATION
 3/4" = 1'-0"



2 SIDE ELEVATION
 3/4" = 1'-0"



**MONUMENT
 SIGN**

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