

GENERAL NOTES:

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER INCLUDING THAT WITHIN THE CITY RIGHT-OF-WAY.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- RETAINING WALL
- EXISTING STREET LIGHTS
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- CONCRETE PAVERS
- PROPOSED ASPHALT
- PROPOSED PARKING LOT LIGHT

SITE DATA

PROPOSED USAGE: NURSING HOME (134 BEDS)
69,738 SF; MAX HEIGHT 33' (TO RIDGE OF HIGHEST ELEMENT)
CONSTRUCTION TYPE V-A, OCCUPANCY GROUP I-2

MAINTENANCE BUILDING
720 SF

LOT AREA: 215,683 SF (4.95 ACRES)

PARKING REQUIRED: 67 SPACES
PARKING PROVIDED: 106 SPACES

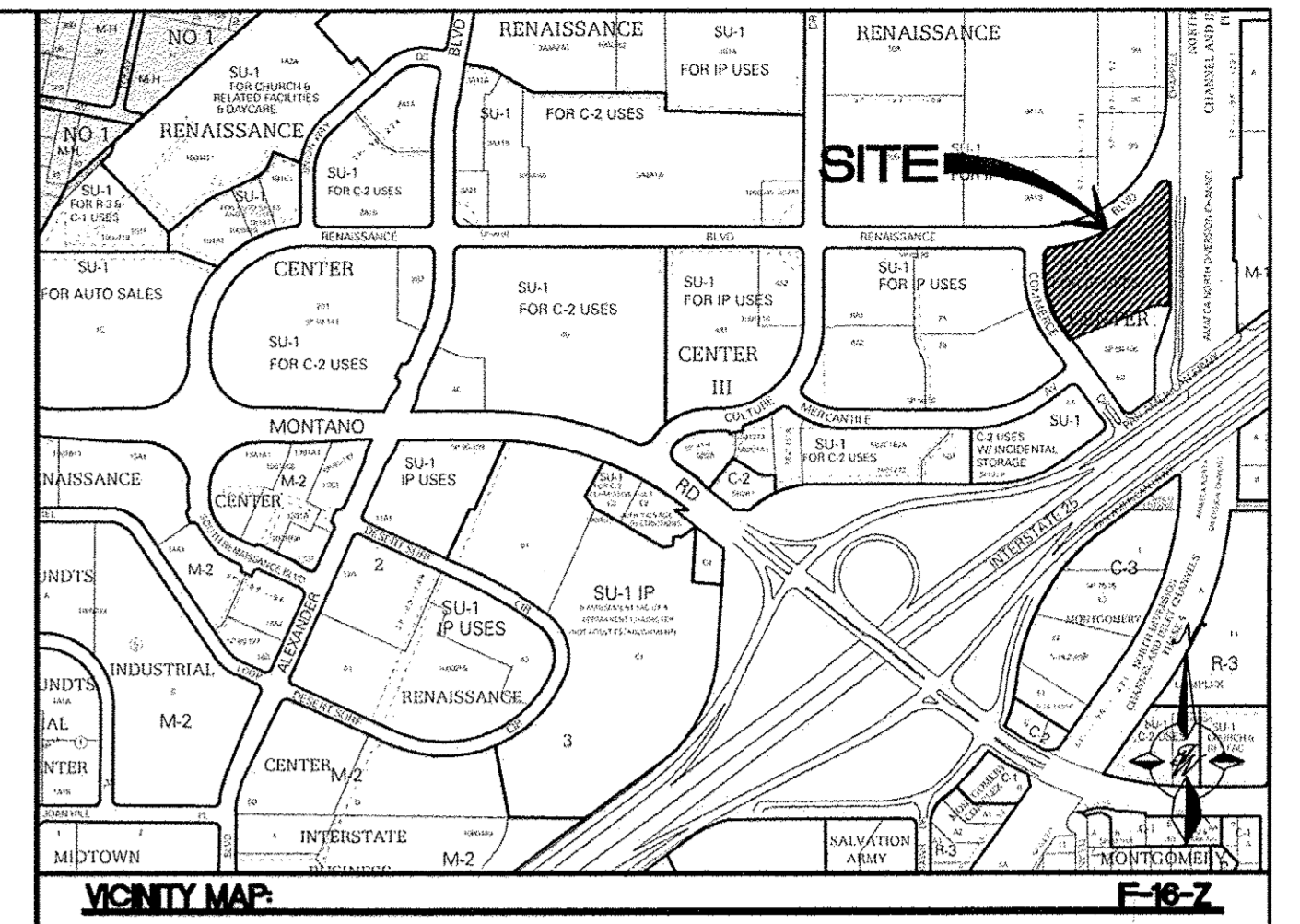
HC PARKING REQUIRED: 8 SPACES
HC PARKING PROVIDED: 8 SPACES
2 SPACE VAN ACCESSIBLE

MC PARKING REQUIRED: 4 SPACES
MC PARKING PROVIDED: 4 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

KEYED NOTE

- (A) 6" VALLEY GUTTER PER COA STD DWG #2420
- (B) SIDEWALK PER COA STD DWG #2430
- (C) 6" STANDARD CURB AND GUTTER PER COA STD DWG #2415B
- (D) ZERO CURB WITH TRUNCATED DOMES
- (E) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET C5
- (F) HANDICAP PARKING SIGN PER DETAIL SHEET C5
- (G) TRASH ENCLOSURE PER DETAIL SHEET C6
- (H) BIKE RACK (SEE DETAIL SHEET C5)
- (I) RETAINING WALLS (SEE GRADING PLAN SHEET C2)
- (J) SITE LIGHTING
- (K) EXISTING LIGHT TO BE RELOCATED
- (L) CROSSWALK STRIPING
- (M) CONCRETE SWALE, 2' WIDE, 6" THICK (SEE DETAIL SHEET C5)
- (N) CURB STOP (SEE DETAIL SHEET C5)
- (O) 12" SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD DWG #2236
- (P) CONCRETE PAVERS W/ 1'-6" CONCRETE BAND PER COA STD DWG #2412
- (Q) MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C5)
- (R) ACCESSIBLE PARKING PER ADA STANDARDS (SEE DETAIL SHEET C5)
- (S) STOP SIGN
- (T) TYPE "A" CURB RAMP PER COA STD DWG #2440
- (U1) ADA RAMP (SEE DETAIL "A" SHEET C6)
- (U2) ADA RAMP (SEE DETAIL "B" SHEET C6)
- (U3) ADA RAMP (SEE DETAIL "C" SHEET C6)
- (U4) ADA RAMP (SEE DETAIL "D" SHEET C6)
- (U5) ADA RAMP (SEE DETAIL "E" SHEET C6)
- (V) MONUMENT SIGN (SEE DETAIL SHEET A2.2)
- (W) SCREEN WALL & DETAIL (SEE DETAIL SHEET C6)
- (X) "DO NOT ENTER" SIGN
- (Y) RECYCLE ENCLOSURE PER DETAIL SHEET C7
- (Z) SIGHT TRIANGLE



LEGAL DESCRIPTION
TRACT 8A, PLAT OF TRACTS 8A AND 8-B, RENAISSANCE CENTER

NOTES

ZONING: SU-1 FOR IP USES
SETBACKS: FRONT = PER PLAN
REAR = PER PLAN
SIDE (CORNER) = PER PLAN

PROJECT NUMBER: 1010488
APPLICATION NUMBER: 15DRB-70209

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

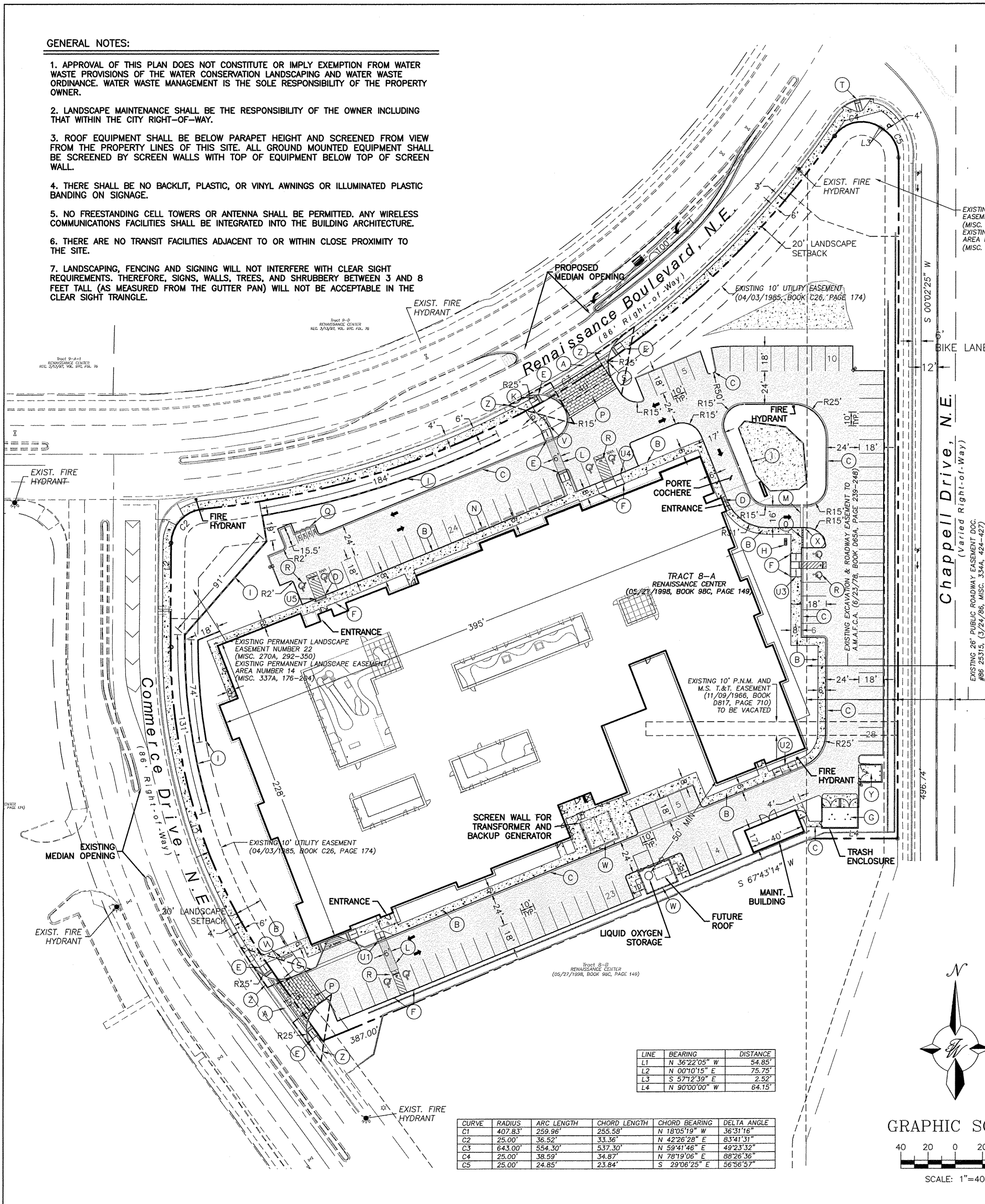
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Ronald R. Bohannon</i> Traffic Engineer, Transportation Division	7/22/15 Date
<i>Walter J. Caden</i> Water Utility Development	07/22/15 Date
<i>Carl S. Dumont</i> Parks & Recreation Department	7-22-15 Date
<i>Rita J. [Signature]</i> City Engineer	7-22-15 Date
* Environmental Health Department (conditional)	7-2-16 Date
Solid Waste Management	5-7-16 Date
DRB Chairperson, Planning Department	5-2-16 Date

* Environmental Health, if necessary

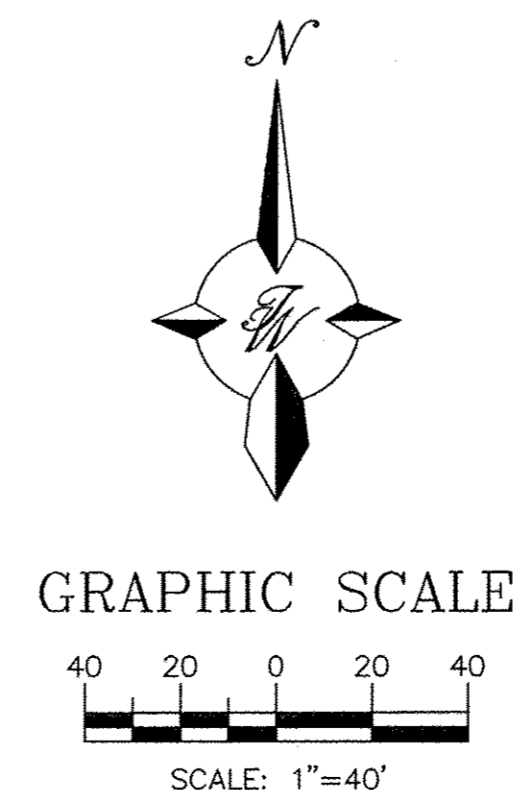
- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING AND DRAINAGE PLAN
 - C3. RETAINING WALL PLAN & PROFILE
 - C4. MASTER UTILITY PLAN
 - C5. DETAIL SHEET
 - C6. DETAIL SHEET
 - C7. DETAIL SHEET
 - L1. LANDSCAPING PLAN
 - A2.1 BUILDING ELEVATIONS
 - A2.2 ELEVATIONS (MONUMENT SIGN)

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT	DATE 7/16/15
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		201408B-SPE
		SHEET # C1
		JOB # 2014088



LINE	BEARING	DISTANCE
L1	N 36°22'05" W	54.85'
L2	N 00°10'15" E	25.75'
L3	S 57°12'39" E	2.52'
L4	N 90°00'00" W	64.15'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	407.83'	259.96'	255.59'	N 18°05'19" W	36°31'16"
C2	25.00'	36.52'	33.36'	N 42°26'28" E	83°41'31"
C3	643.00'	554.30'	537.30'	N 59°41'46" E	49°23'32"
C4	25.00'	38.59'	34.87'	N 78°19'06" E	88°26'36"
C5	25.00'	24.85'	23.84'	S 29°06'25" E	96°56'57"



EROSION CONTROL NOTES

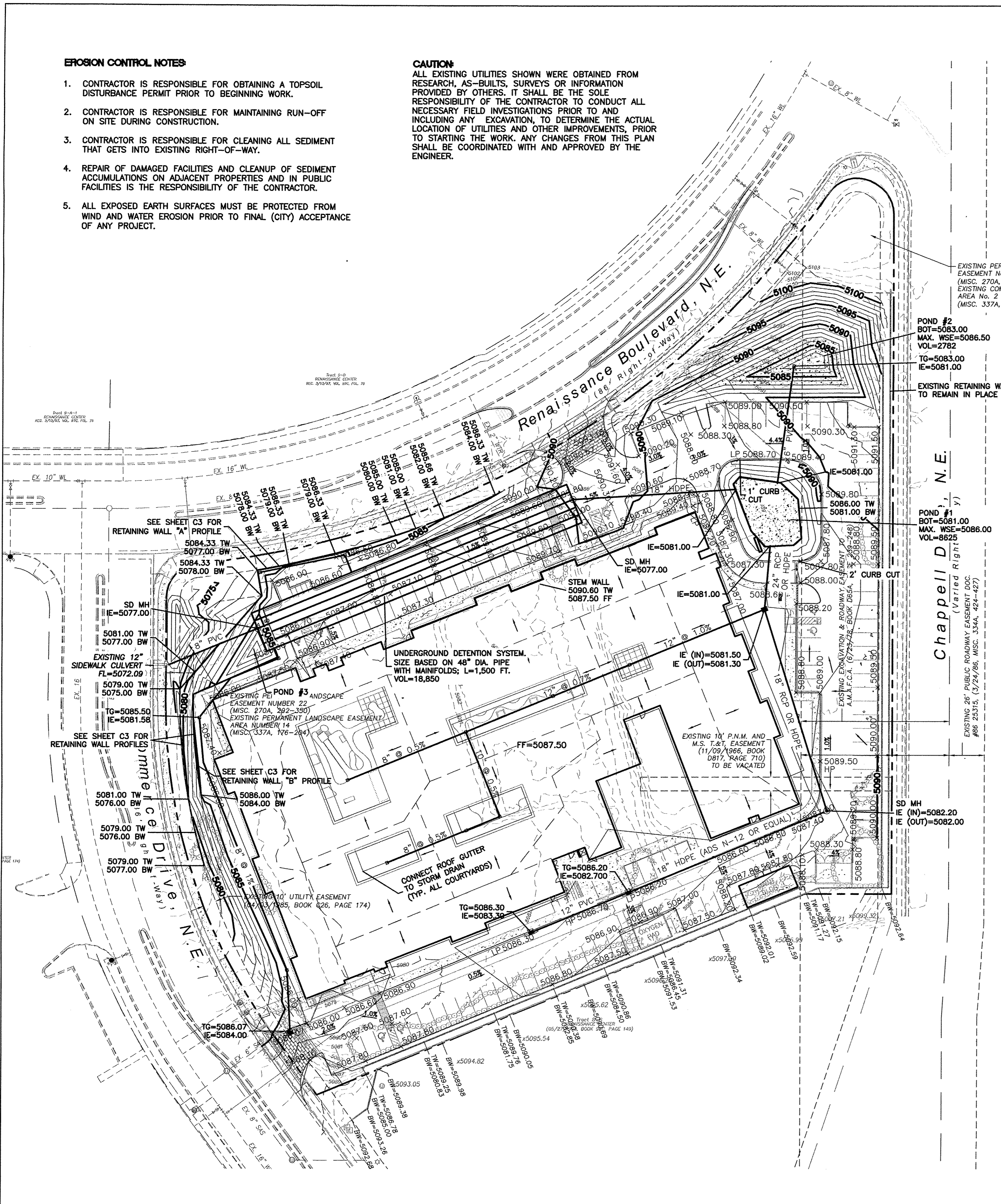
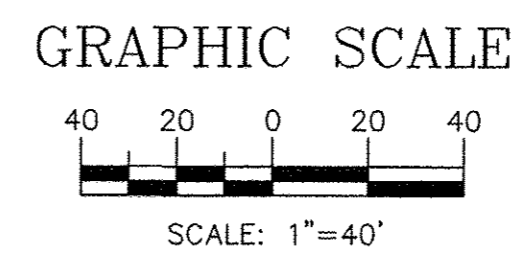
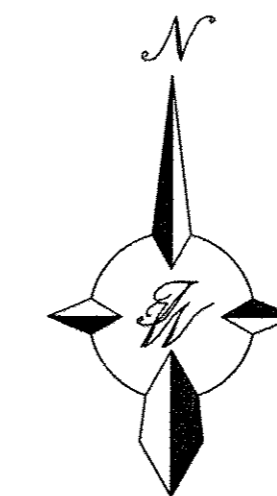
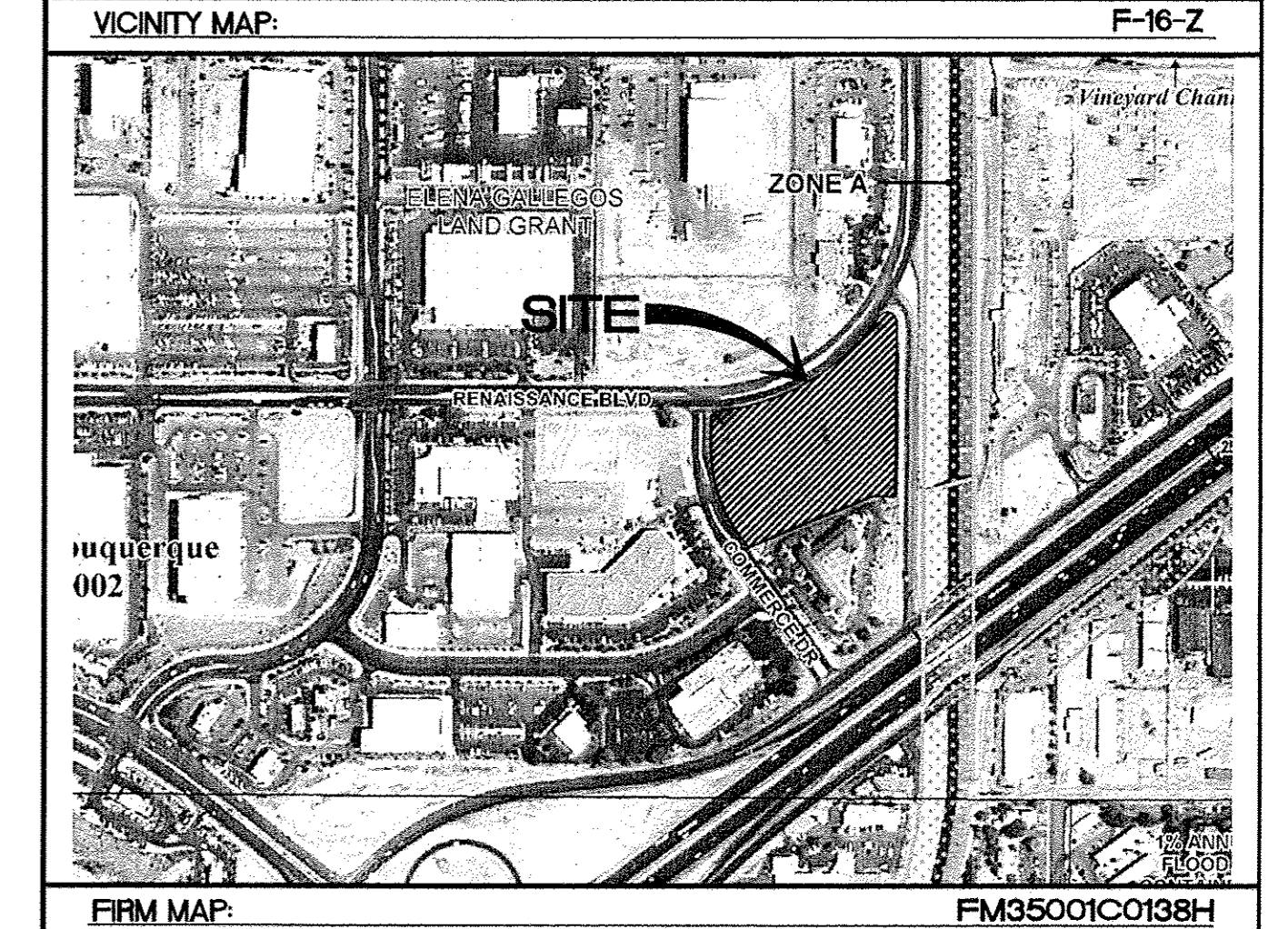
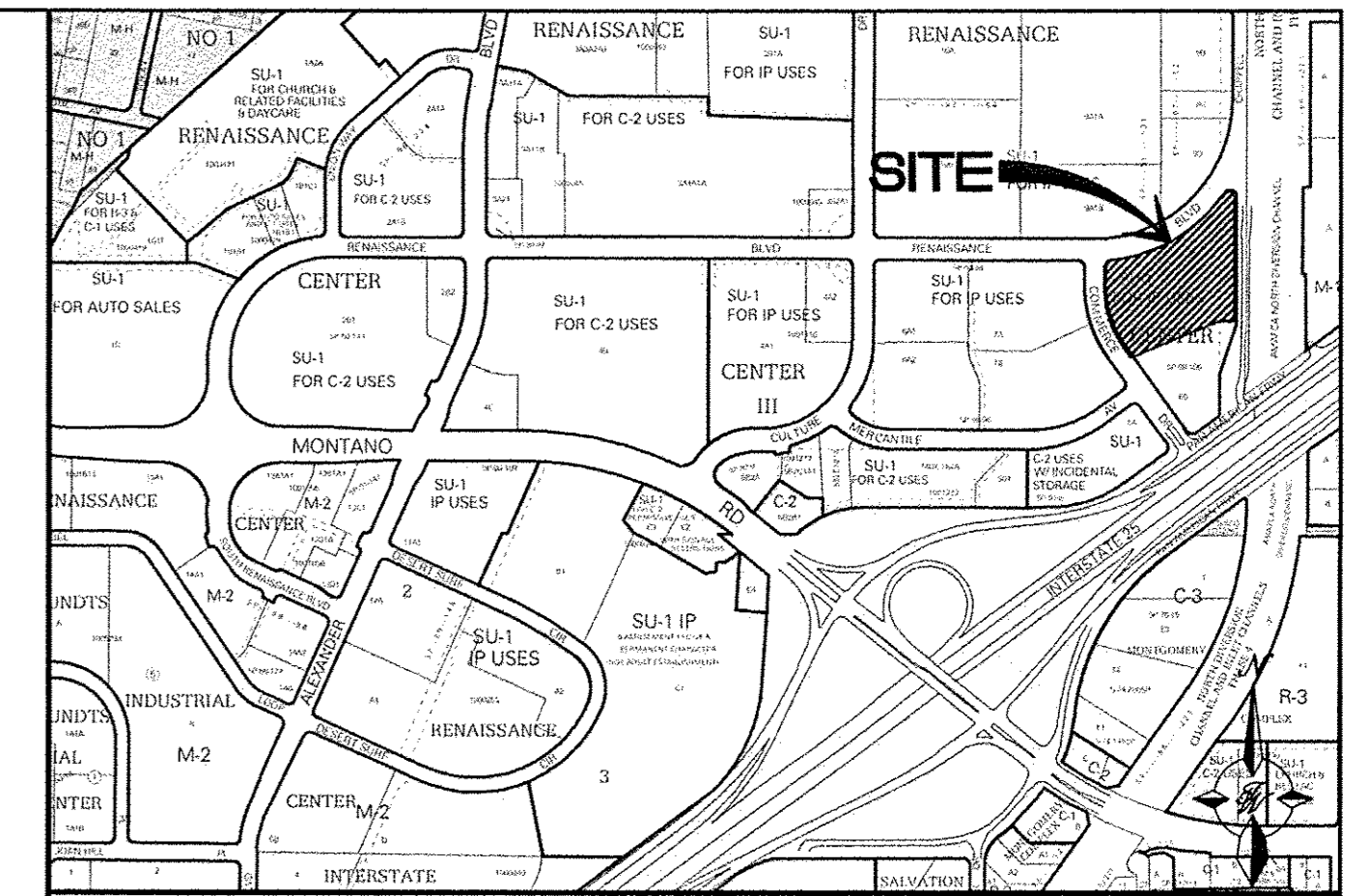
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 8010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION



Location

The project site is Tract 8-A of the Renaissance Center located on the southeast corner of Commerce Drive and Renaissance Boulevard, NE. The site is bounded by Renaissance Boulevard on the north, Commerce Drive on the west, Chappell Road on the east, and Tract 8-B to the south which is an existing hotel.

Purpose

The purpose of this drainage report is to present a drainage solution for the proposed development consisting of a single-story building for a skilled nursing facility and associated parking facility. We are requesting conceptual grading approval and Site Development Plan for Building Permit approval.

Existing Drainage Conditions

The site falls within the approved Renaissance Drainage Master Plan, and is currently undeveloped, although previously rough graded with two pads. The plan allows a controlled release runoff of 0.10 cfs per acre from each tract. The existing conditions were analyzed using the criteria set by the City of Albuquerque DPM.

Existing conditions, analyzed as a single basin with a runoff rate of 15.3 cfs., generally sheet flows from the southeast to the northwest portion of the site discharging onto Commerce Drive at the existing sidewalk culvert location where the site currently flows. An area at the northeast portion of the site (Basin C1) will flow into a pond (Pond #2) which has adequate capacity for full retention for its tributary area, and will be drained to Pond #1 with a small diameter pipe. Given that the allowable discharge rate is limited to only 0.10 cfs by the DMP, the detention storage volume is designed with the capacity to accommodate the entire volume from developed flows.

The site is located outside any mapped 100 year floodplain, as indicated on FEMA FIRM Map 35001C0138H.

Proposed Drainage Management

Drainage from the majority of the developed site will be collected through a network of storm drain pipes and routed through above-ground detention ponds and an underground detention storage system, such as an ADS pipe and manifold system, before releasing flows onto Commerce Drive at the existing sidewalk culvert location where the site currently flows. An area at the northeast portion of the site (Basin C1) will flow into a pond (Pond #2) which has adequate capacity for full retention for its tributary area, and will be drained to Pond #1 with a small diameter pipe. Given that the allowable discharge rate is limited to only 0.10 cfs by the DMP, the detention storage volume is designed with the capacity to accommodate the entire volume from developed flows.

First flush management will be achieved by the existing regional pond in the southwest corner of the Master Plan area where discharge is controlled by a manual valve. Given the potential for collapsible soils onsite, a waiver for onsite retention of the first flush is requested with this project. A future request to offset a portion of the required detention pond volume onsite by enlarging the regional pond downstream may be submitted as an alternate prior to construction.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL _____ DATE _____

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 7/16/15
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2014088-GRE
		SHEET # C2
		JOB # 2014088

EROSION CONTROL NOTES

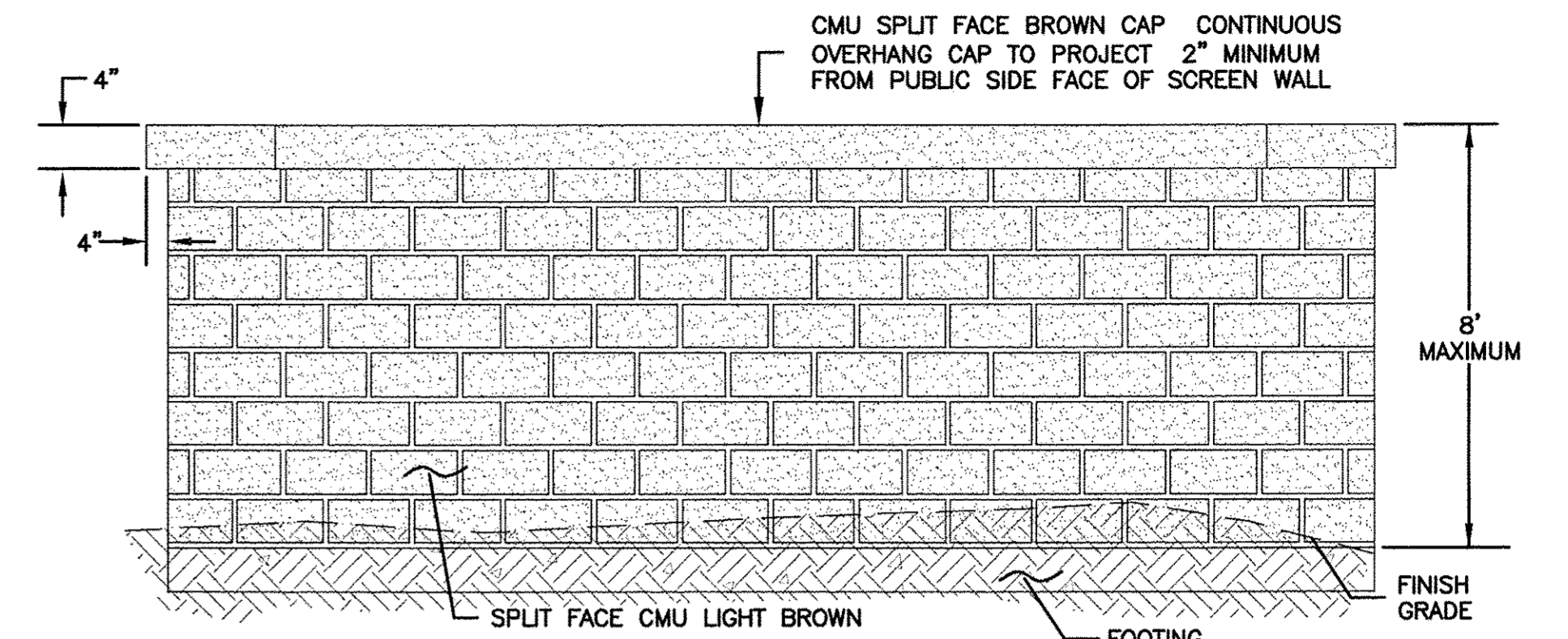
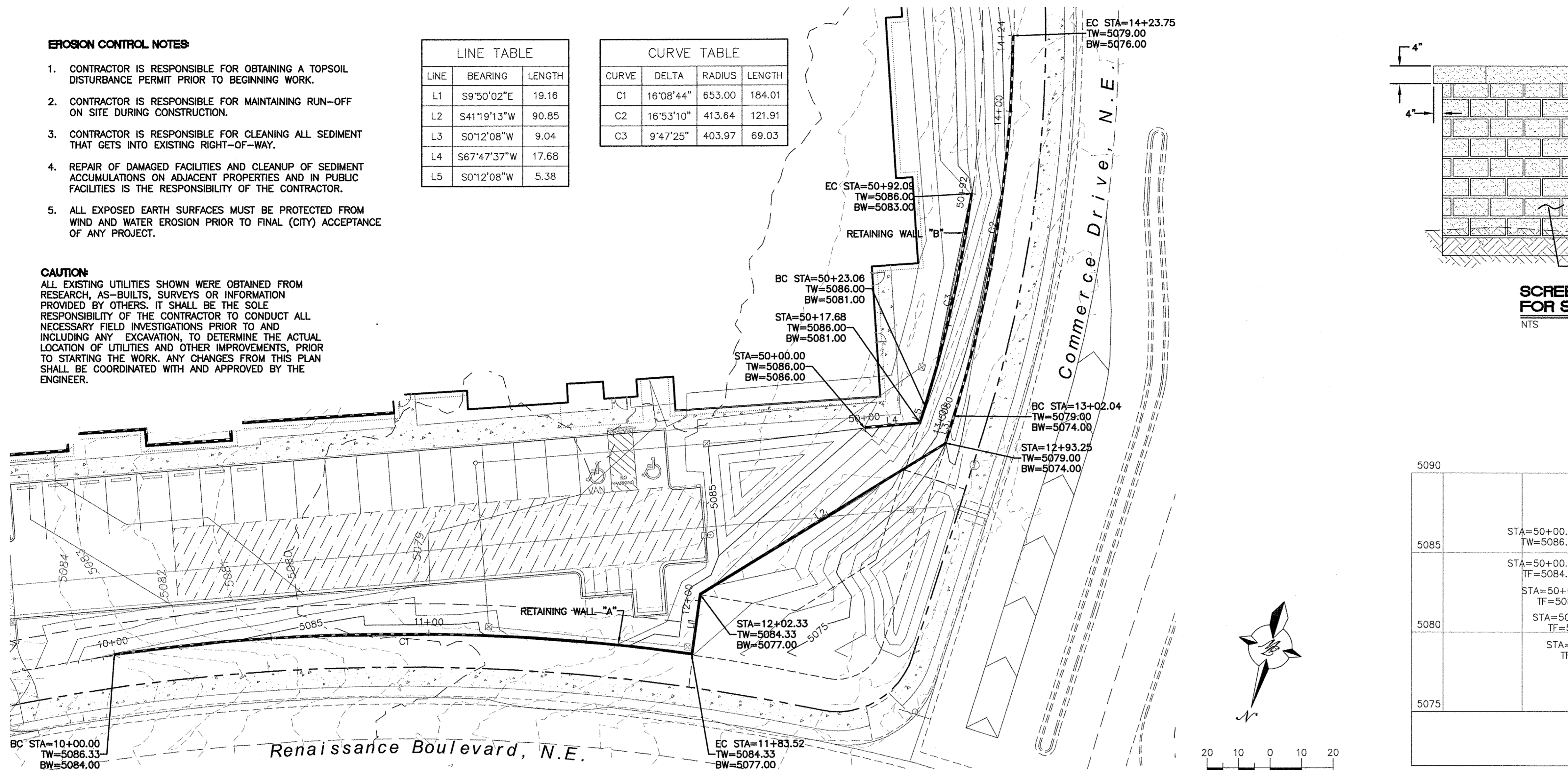
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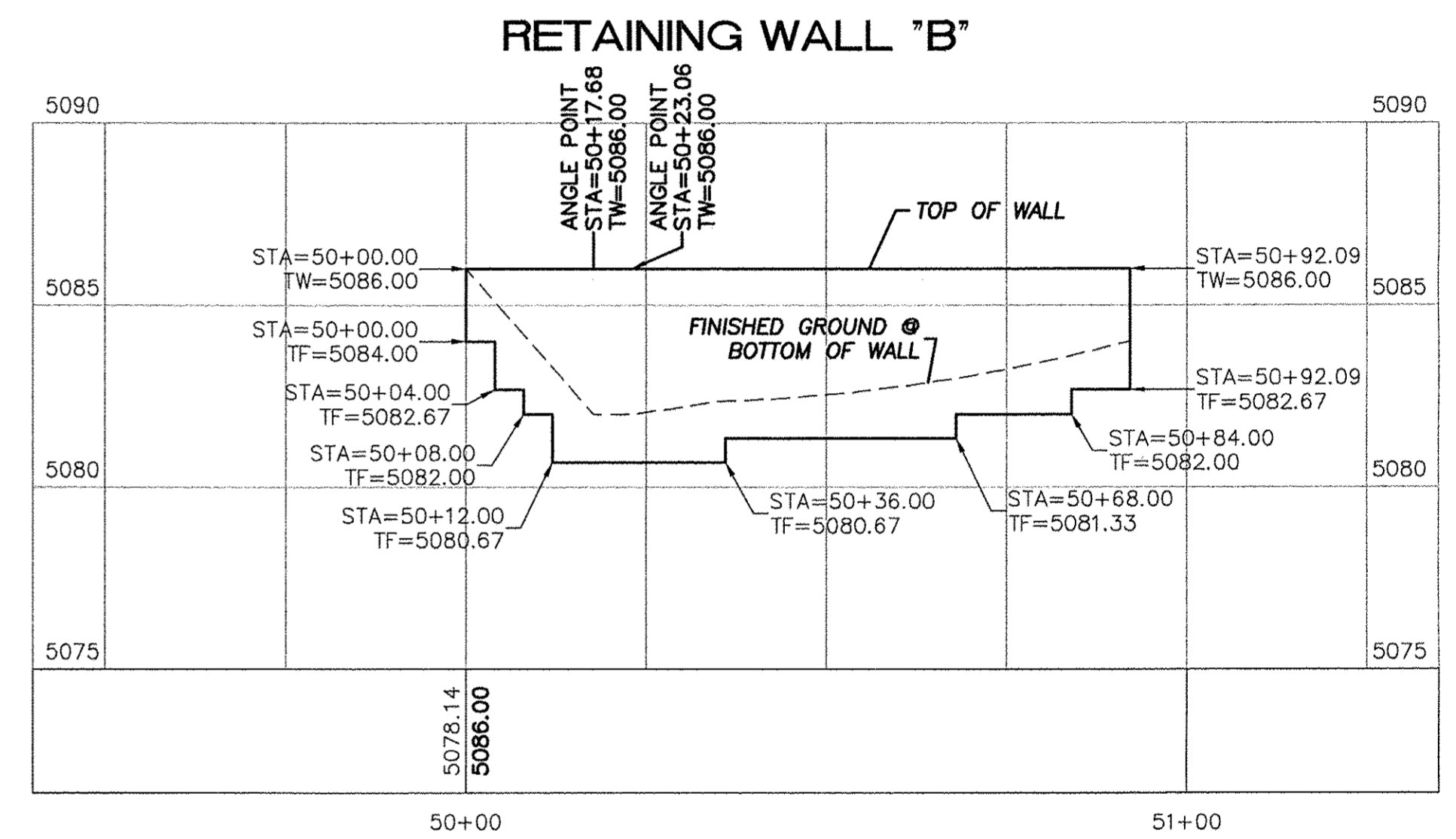
LINE	BEARING	LENGTH
L1	S9°50'02"E	19.16
L2	S41°19'13"W	90.85
L3	S0°12'08"W	9.04
L4	S67°47'37"W	17.68
L5	S0°12'08"W	5.38

CURVE	DELTA	RADIUS	LENGTH
C1	16°08'44"	653.00	184.01
C2	16°53'10"	413.64	121.91
C3	9°47'25"	403.97	69.03

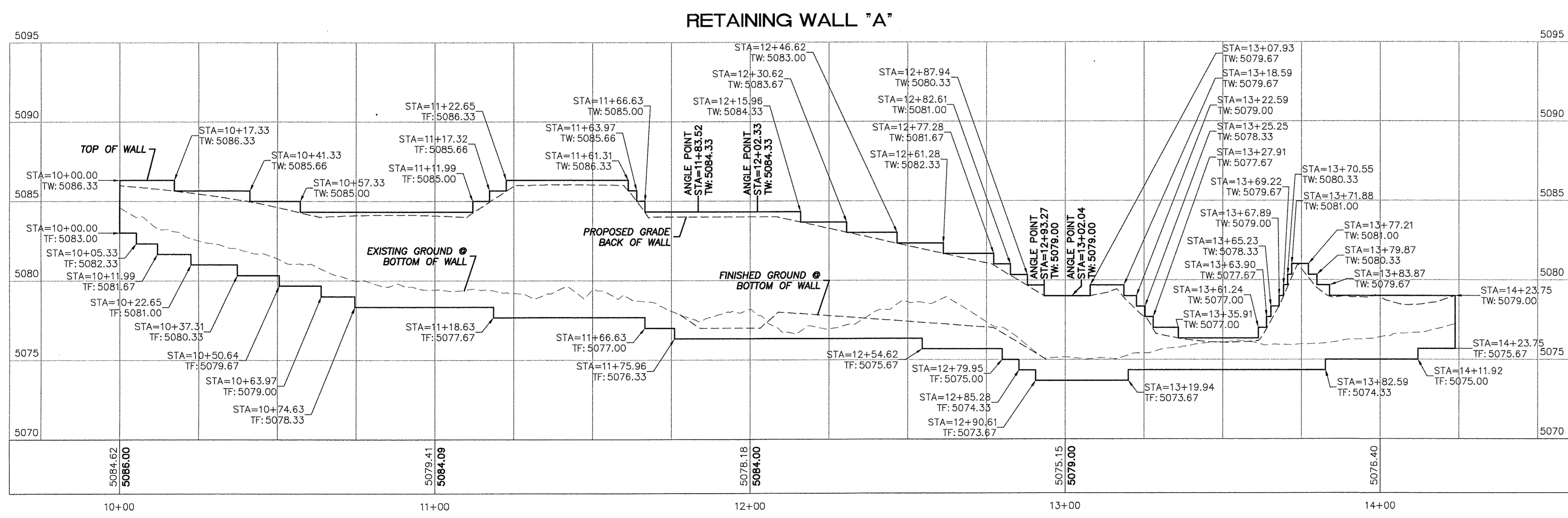
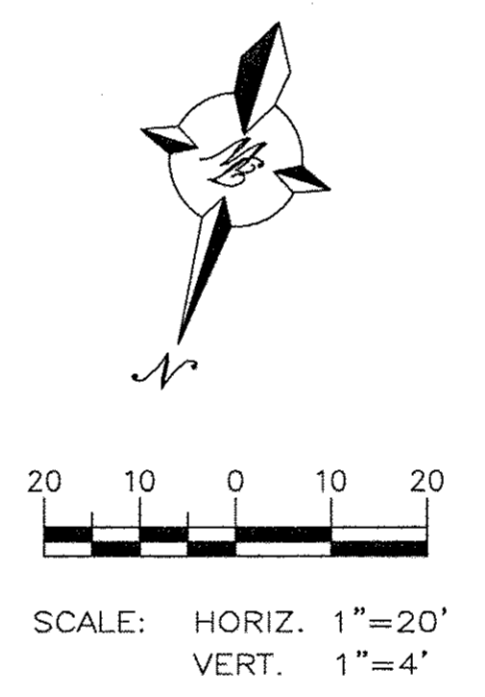


SCREENWALL/RETAINING WALL- ELEVATION FOR STREET FACING WALL

NTS



RETAINING WALL "B"



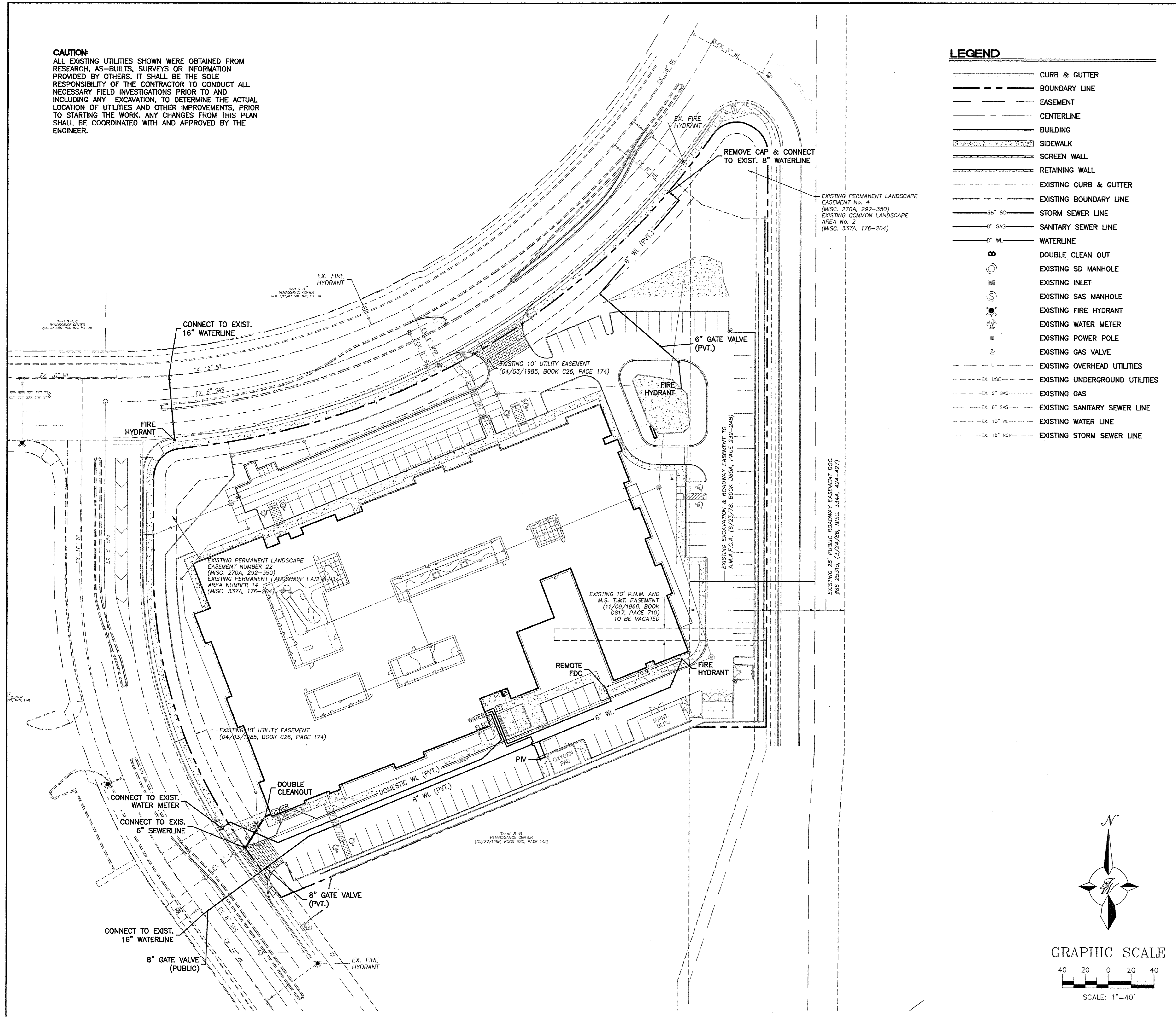
RETAINING WALL "A"

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR

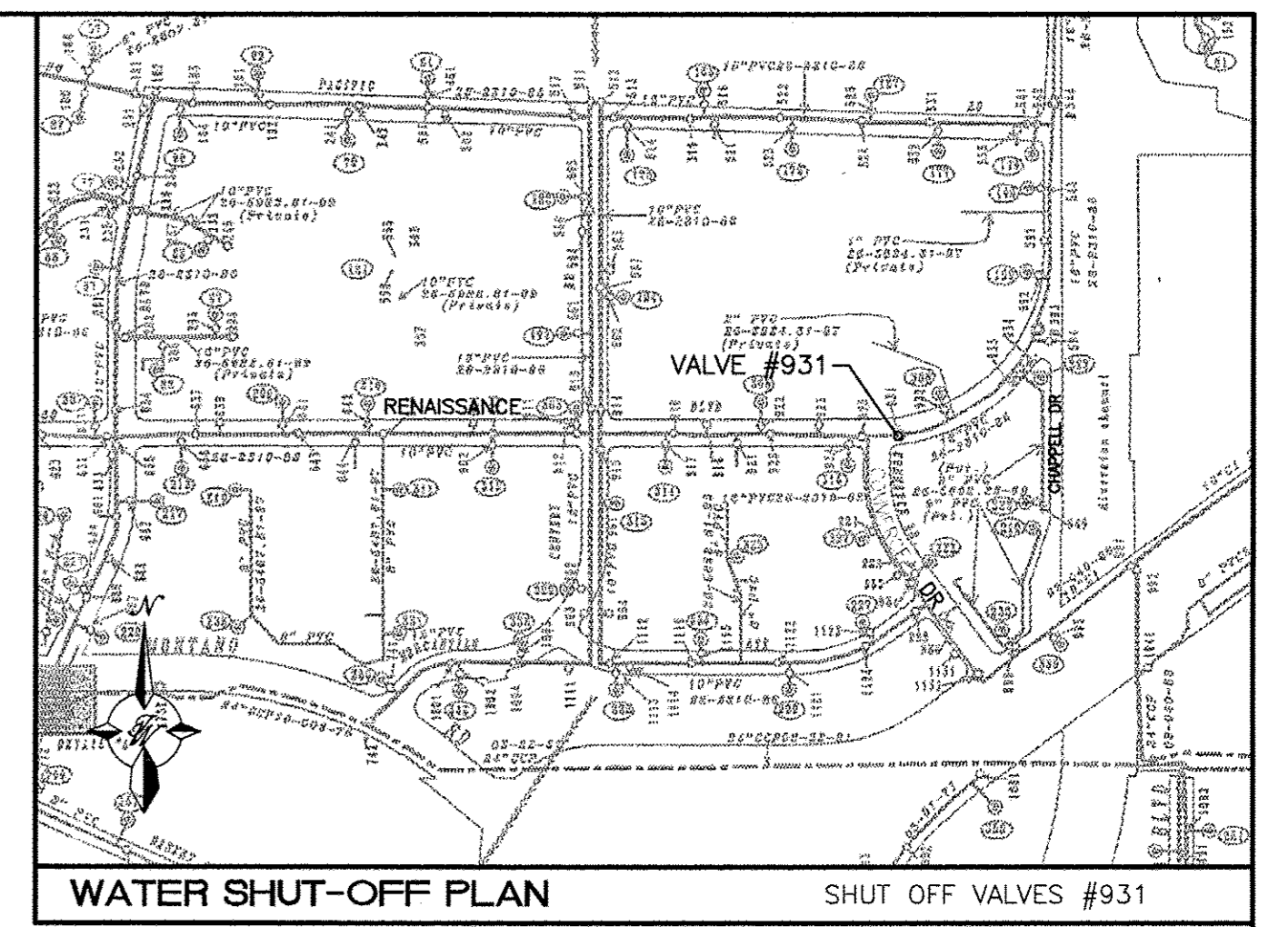
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	RETAINING WALL PLAN AND PROFILE	DATE 7/16/15
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		201408B-RWALLS
		SHEET # C3
		JOB # 201408B

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LEGEND

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- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- ⊕ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- EX. UOC — EXISTING OVERHEAD UTILITIES
- - - EX. UG — EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS — EXISTING GAS
- - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
- - - EX. 10" WL — EXISTING WATER LINE
- - - EX. 18" RCP — EXISTING STORM SEWER LINE

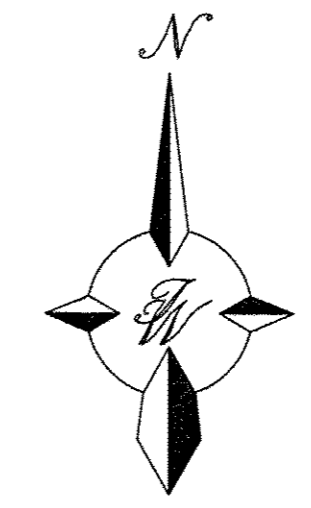


WATER SHUTOFF NOTES:

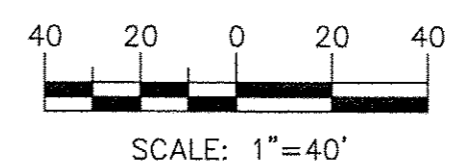
1. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE.
2. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK.
3. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES.
4. SHUTOFF REQUEST MUST BE MADE ONLINE AT (<http://abcwua.org/content/view/463/729/>)
5. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
6. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
7. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN, TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

GENERAL UTILITY NOTES:

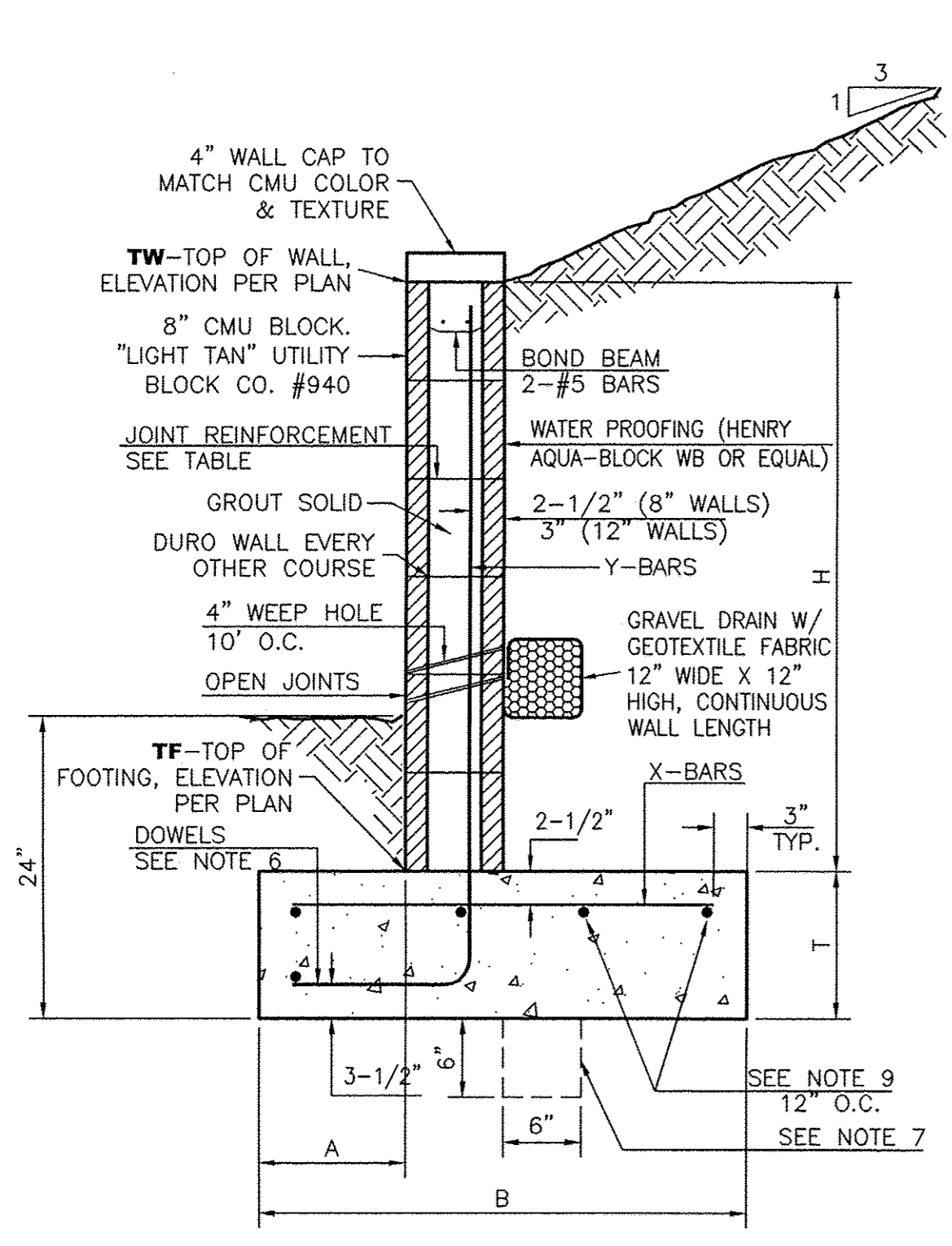
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. REFERENCE ARCHITECTURAL PLANS FOR LIGHTING POWER ROUTING.



GRAPHIC SCALE



ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	MASTER UTILITY PLAN	DATE 7/16/15
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2014088-MUE
		SHEET # C4
		JOB # 2014088



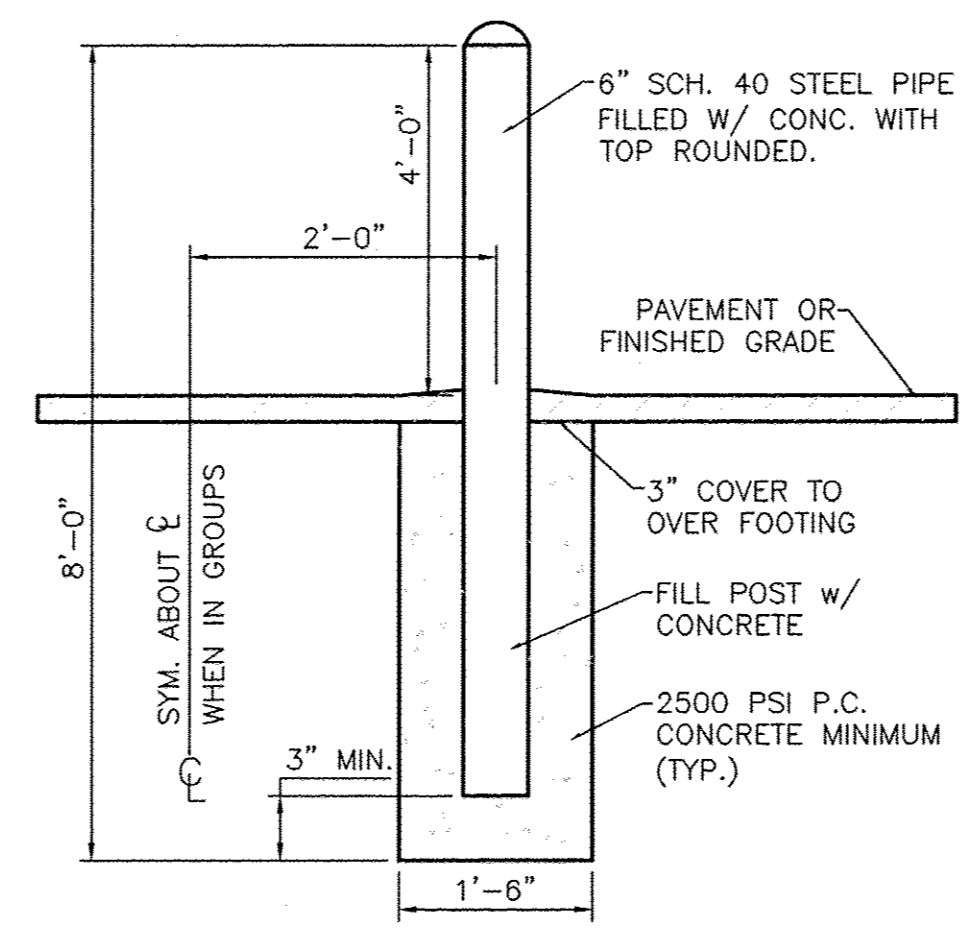
8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

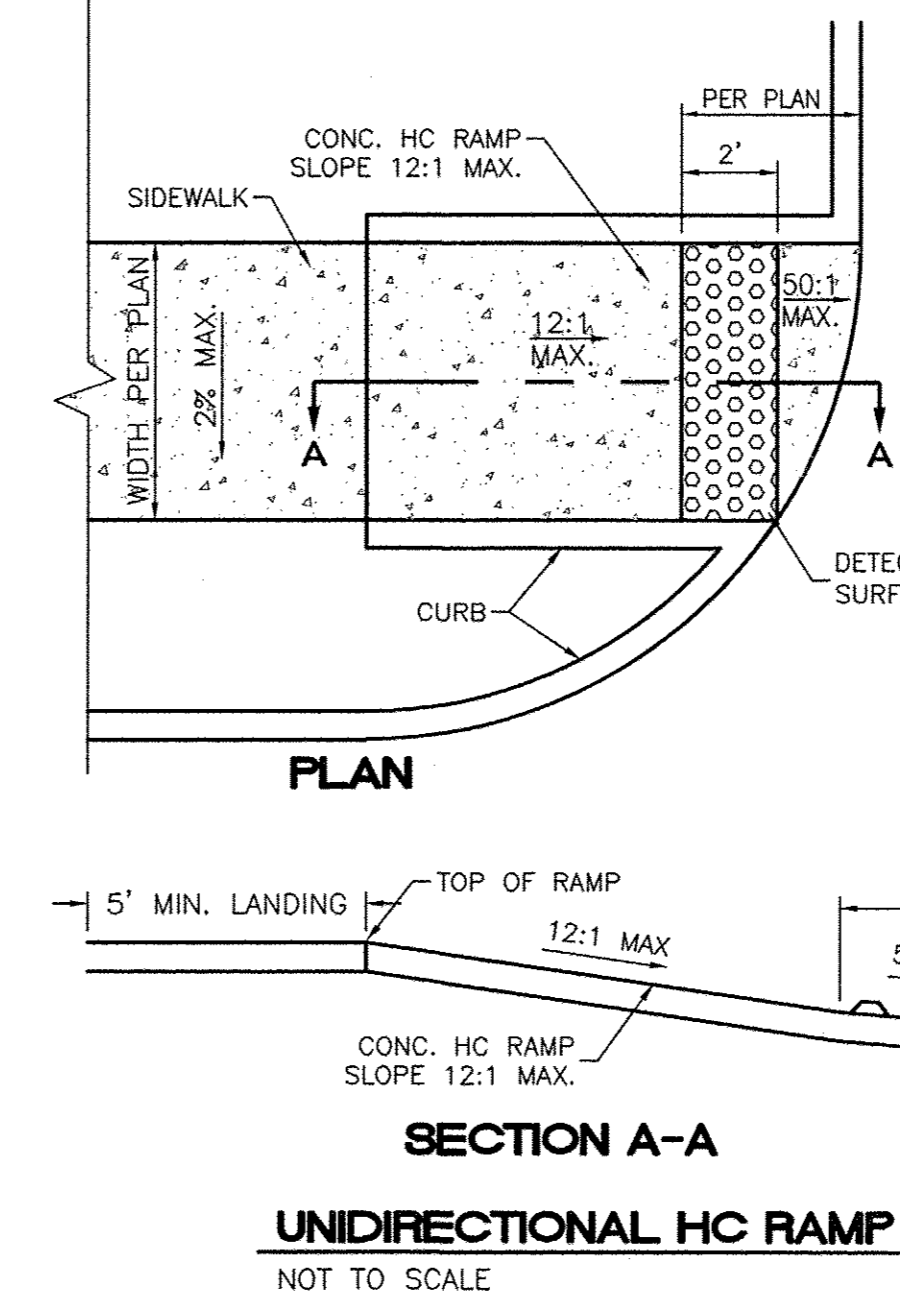
12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

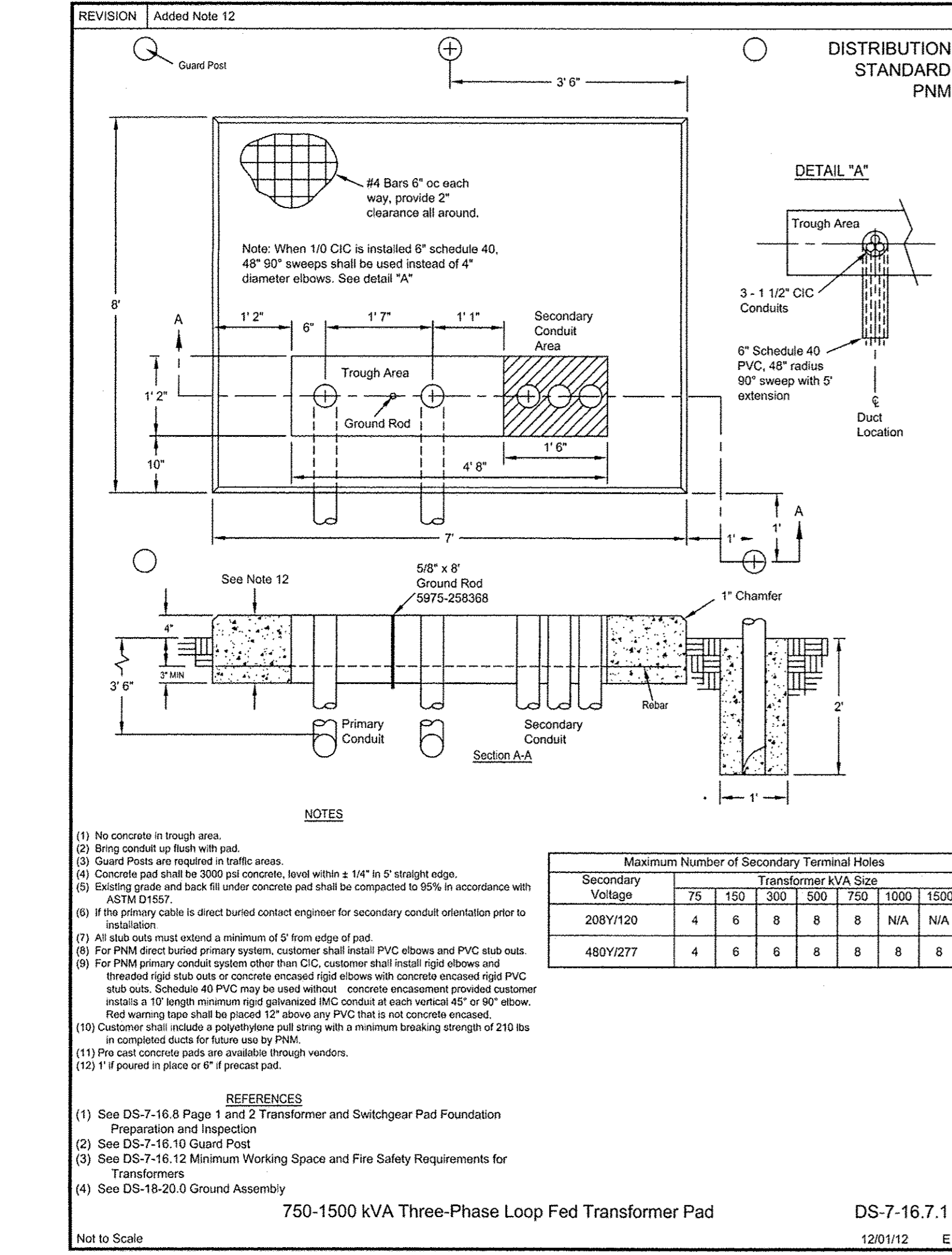
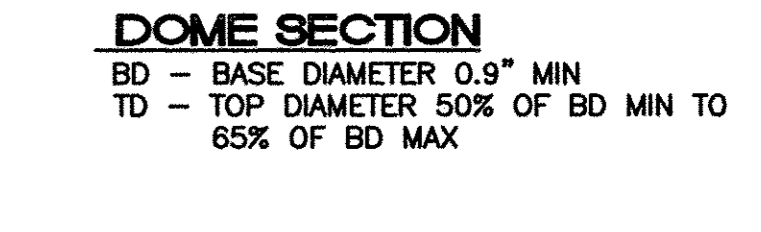
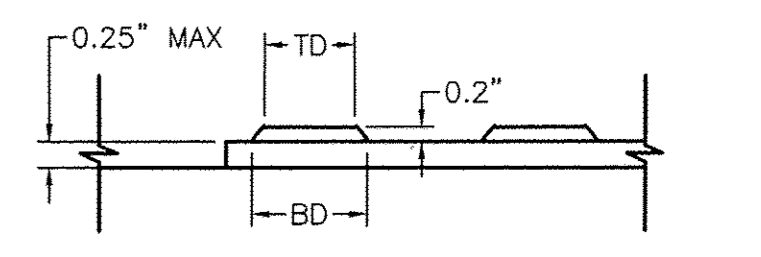
- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



NOTE: ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW

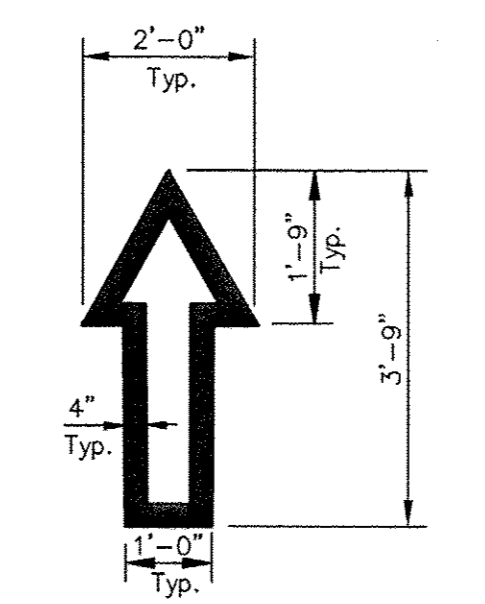
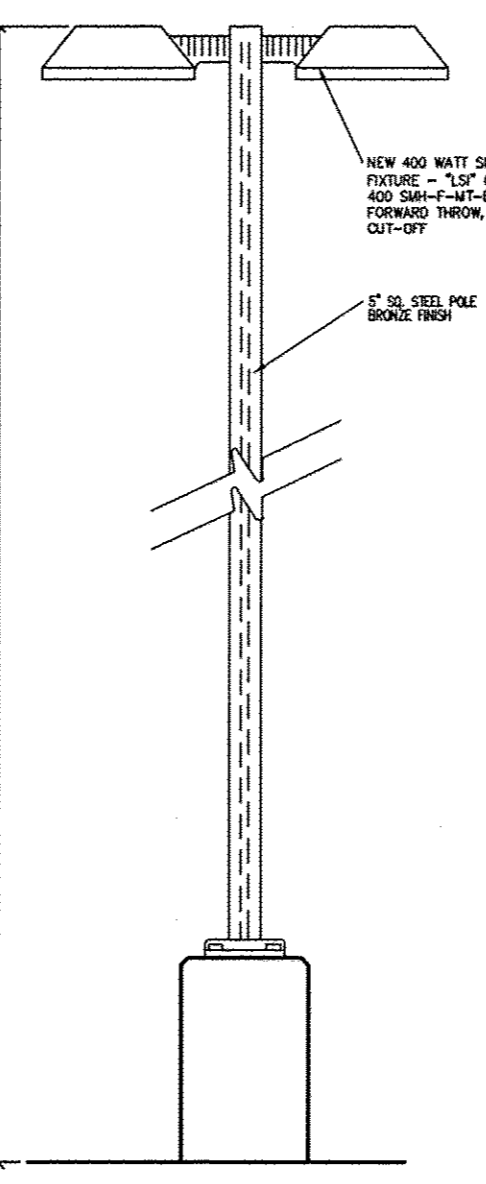
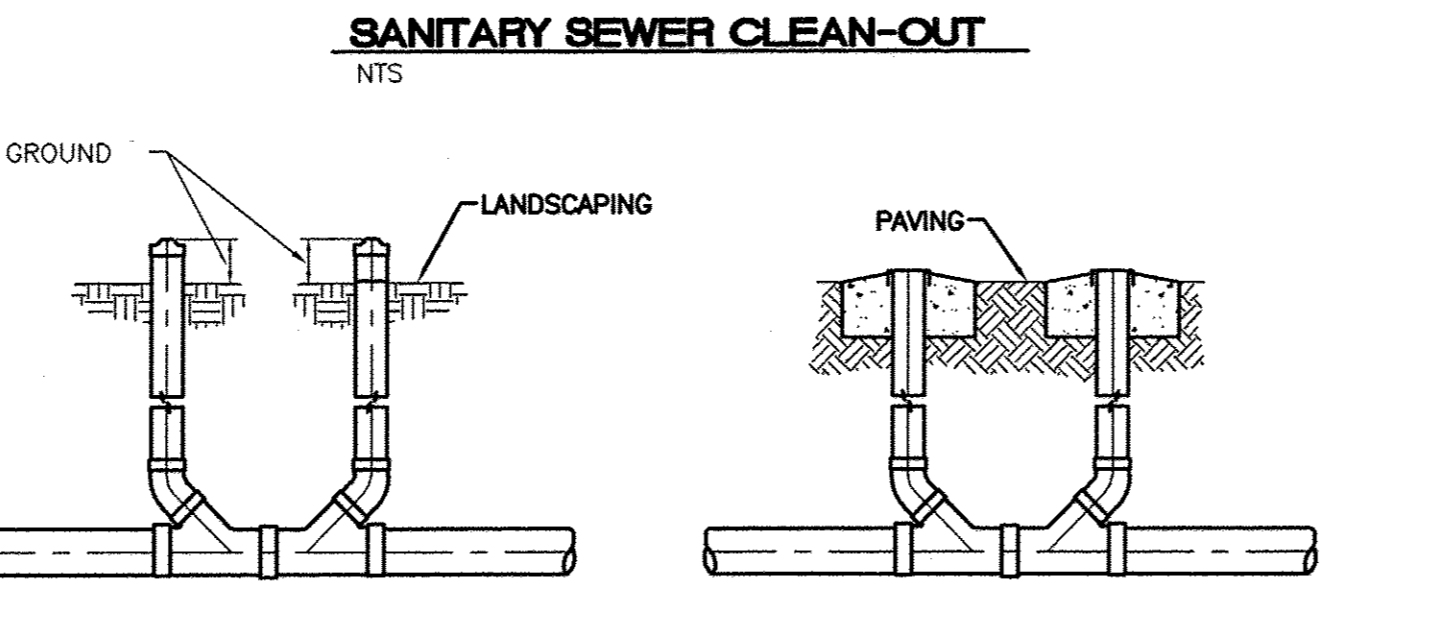
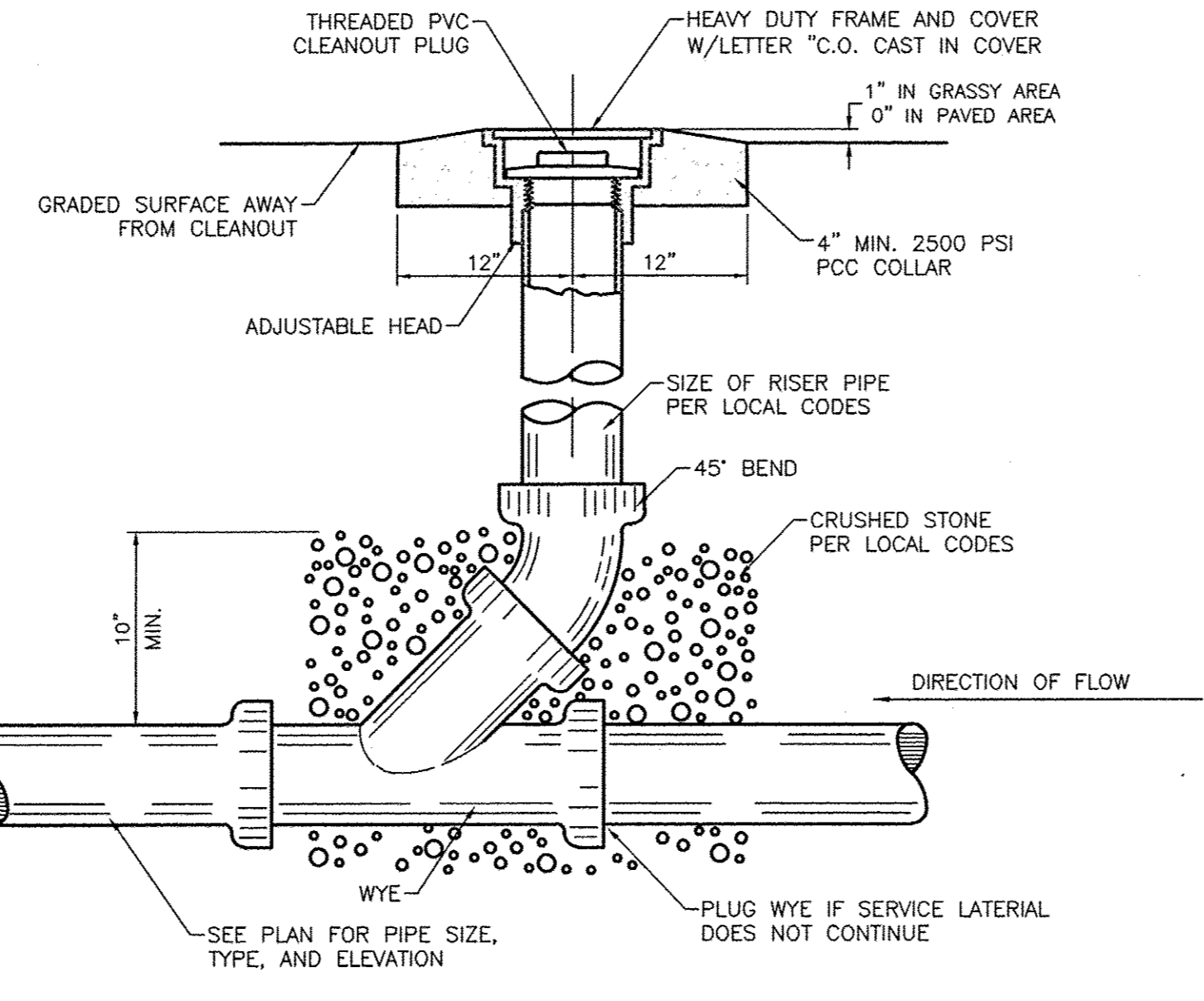
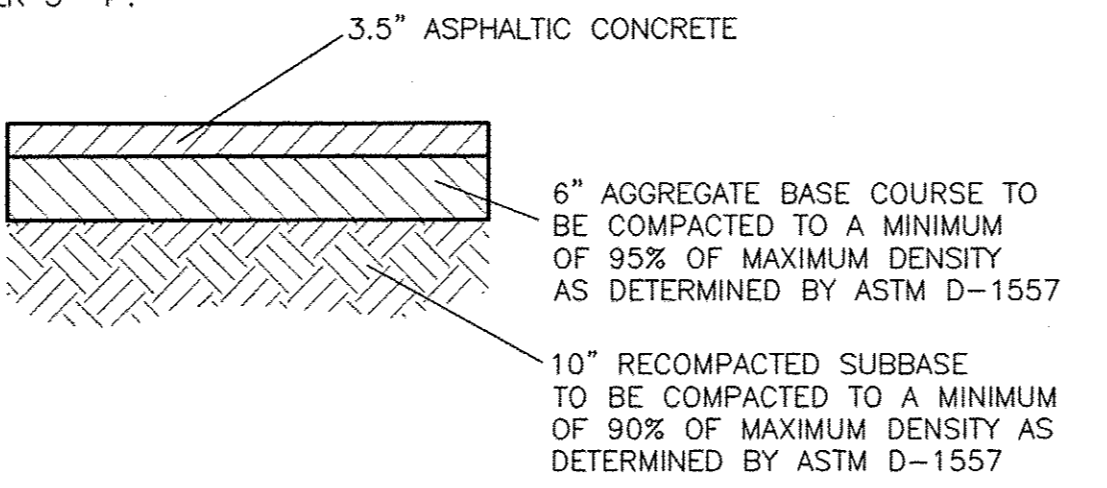


- NOTES:**
- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 - CONSTRUCT PER A.D.A. STANDARDS.

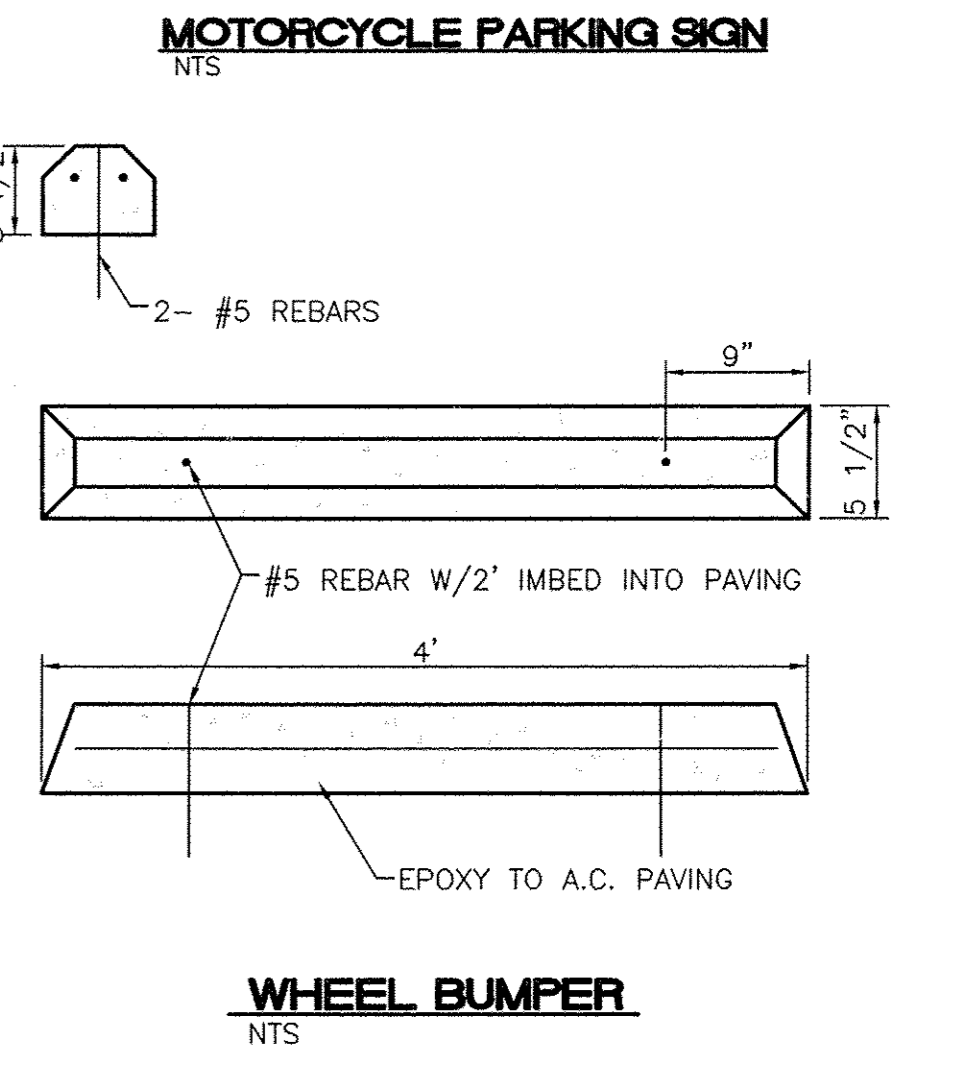
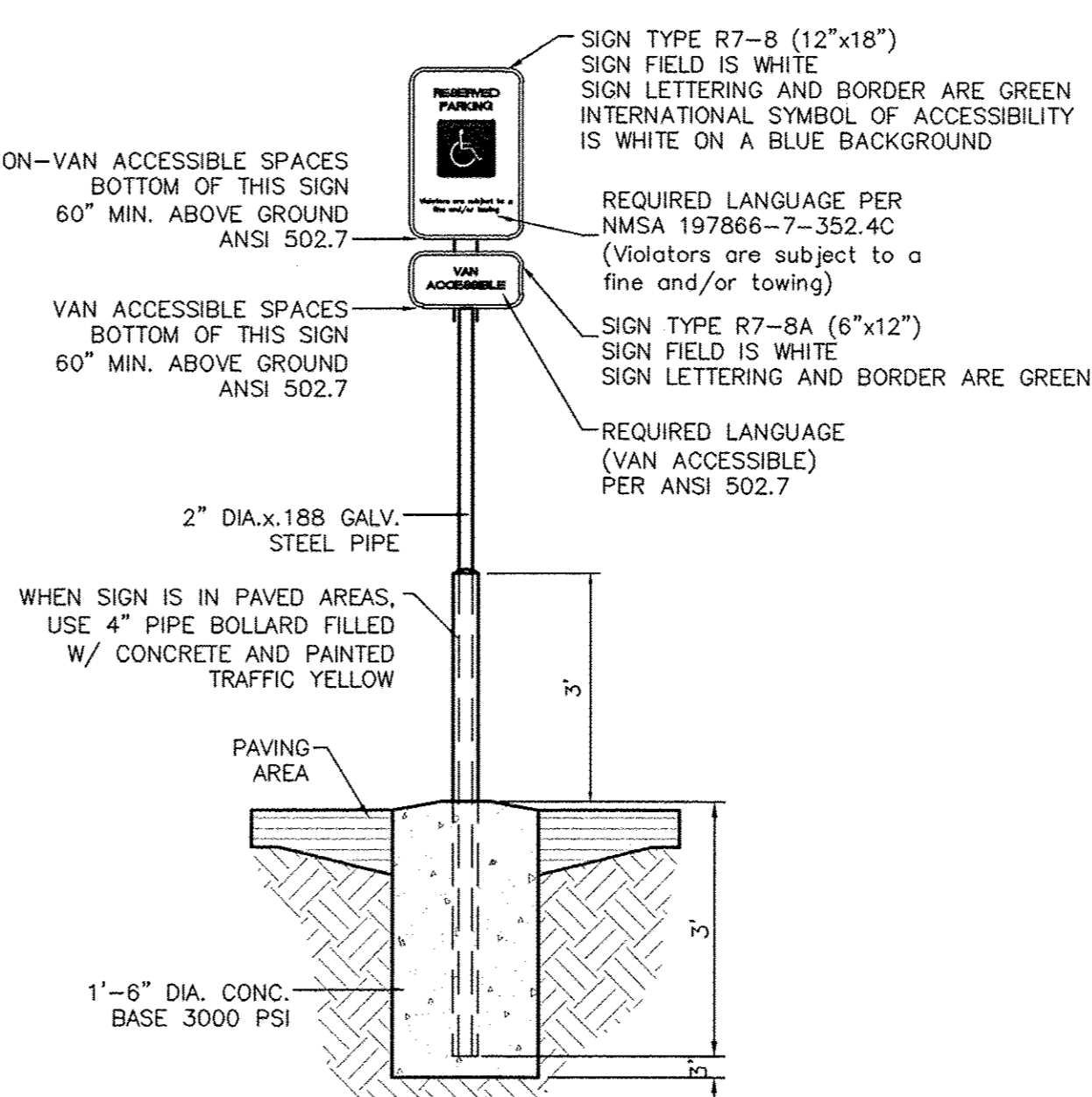


Maximum Number of Secondary Terminal Holes

Secondary Voltage	75	150	300	500	750	1000	1500
208Y/120	4	6	8	8	8	N/A	N/A
480Y/277	4	6	6	8	8	8	8



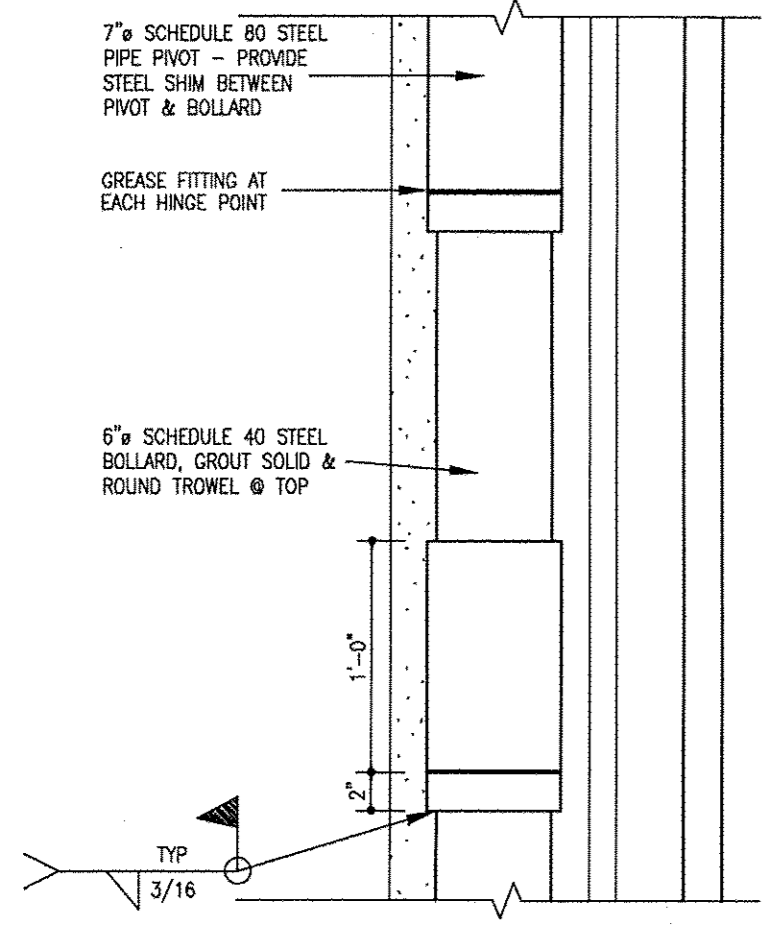
NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER SPECS.



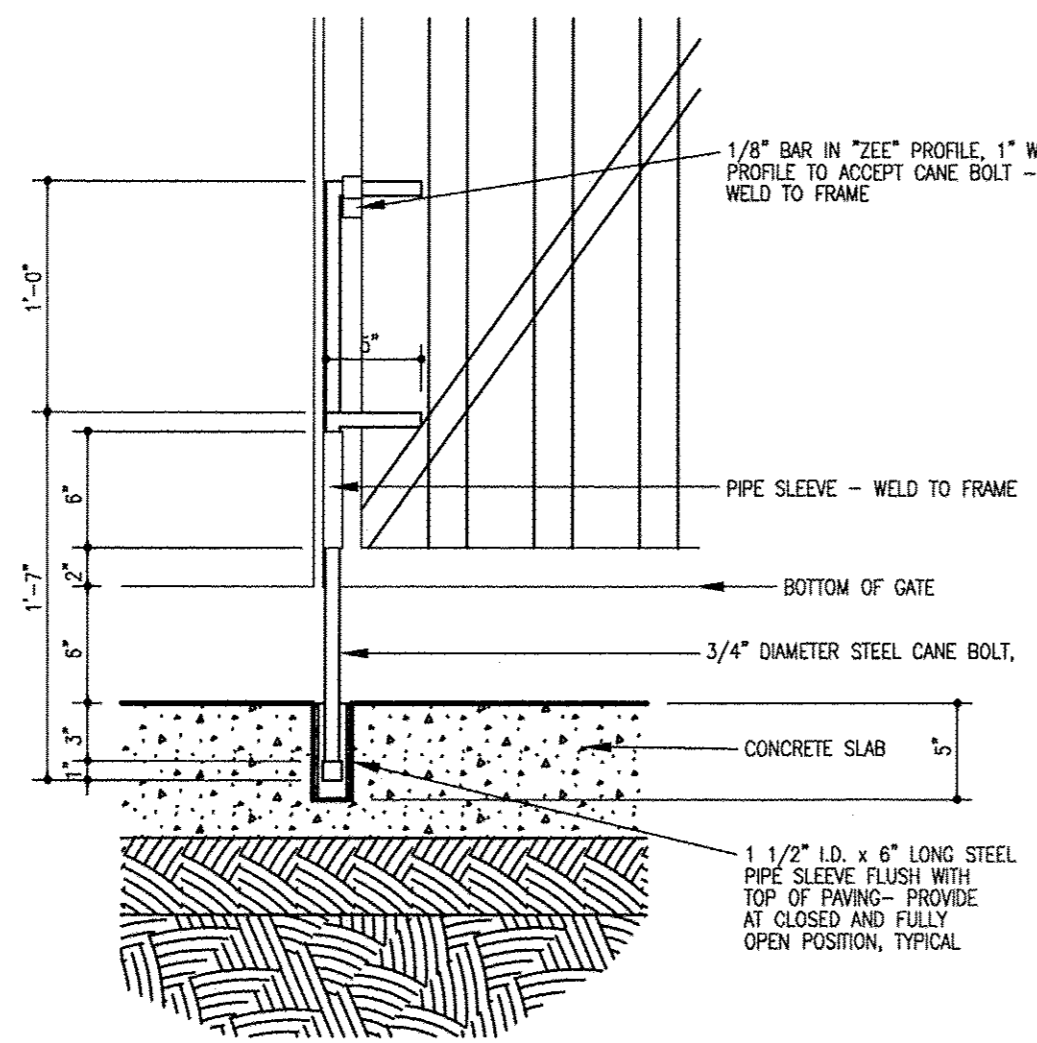
ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	DETAIL SHEET	DATE 7/16/15
		2014088-DTE
		SHEET #
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	C5
RONALD R. BOHANNAN P.E. #7868		JOB # 2014088

General Notes

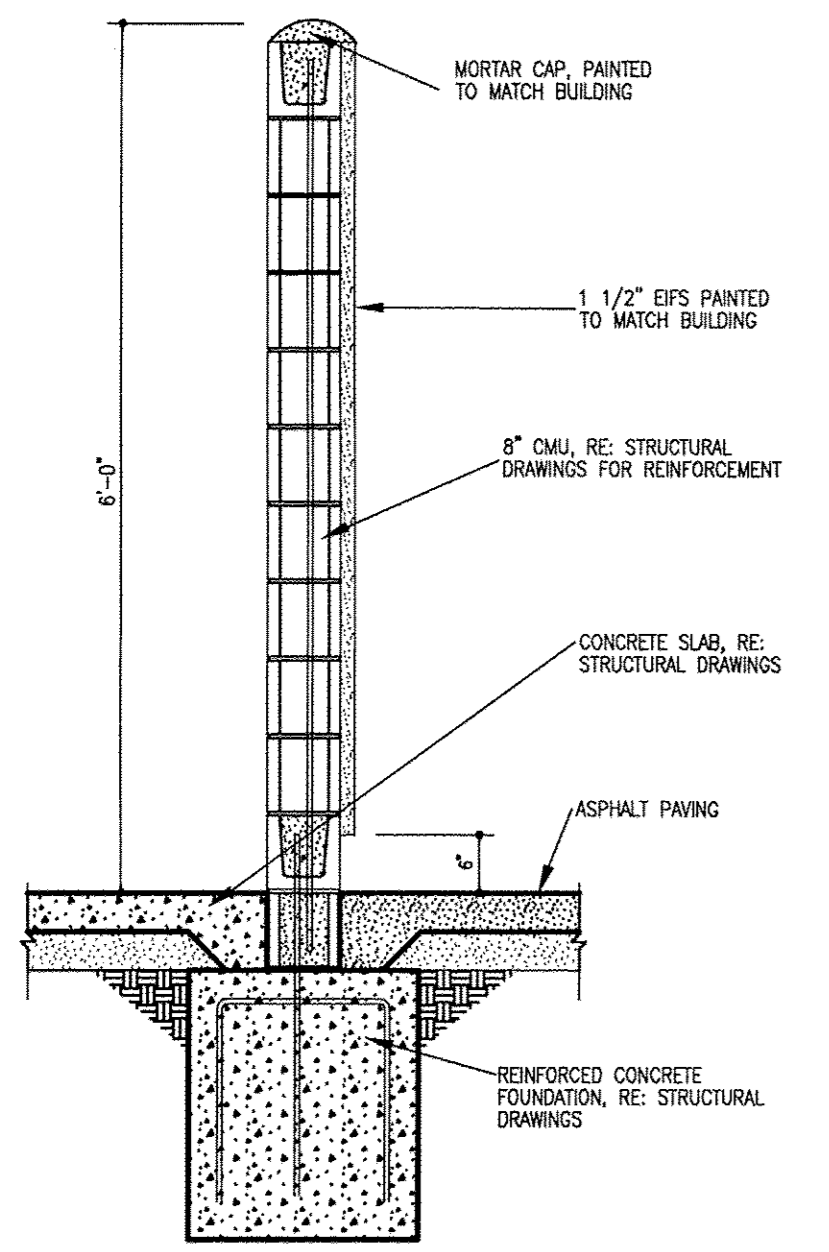
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



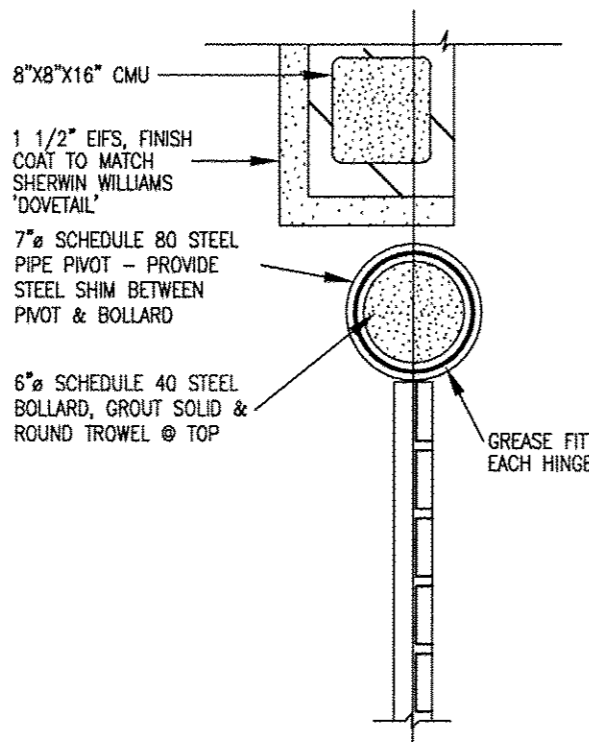
9 Dumpster Door Pivot
1/2" x 1/2"



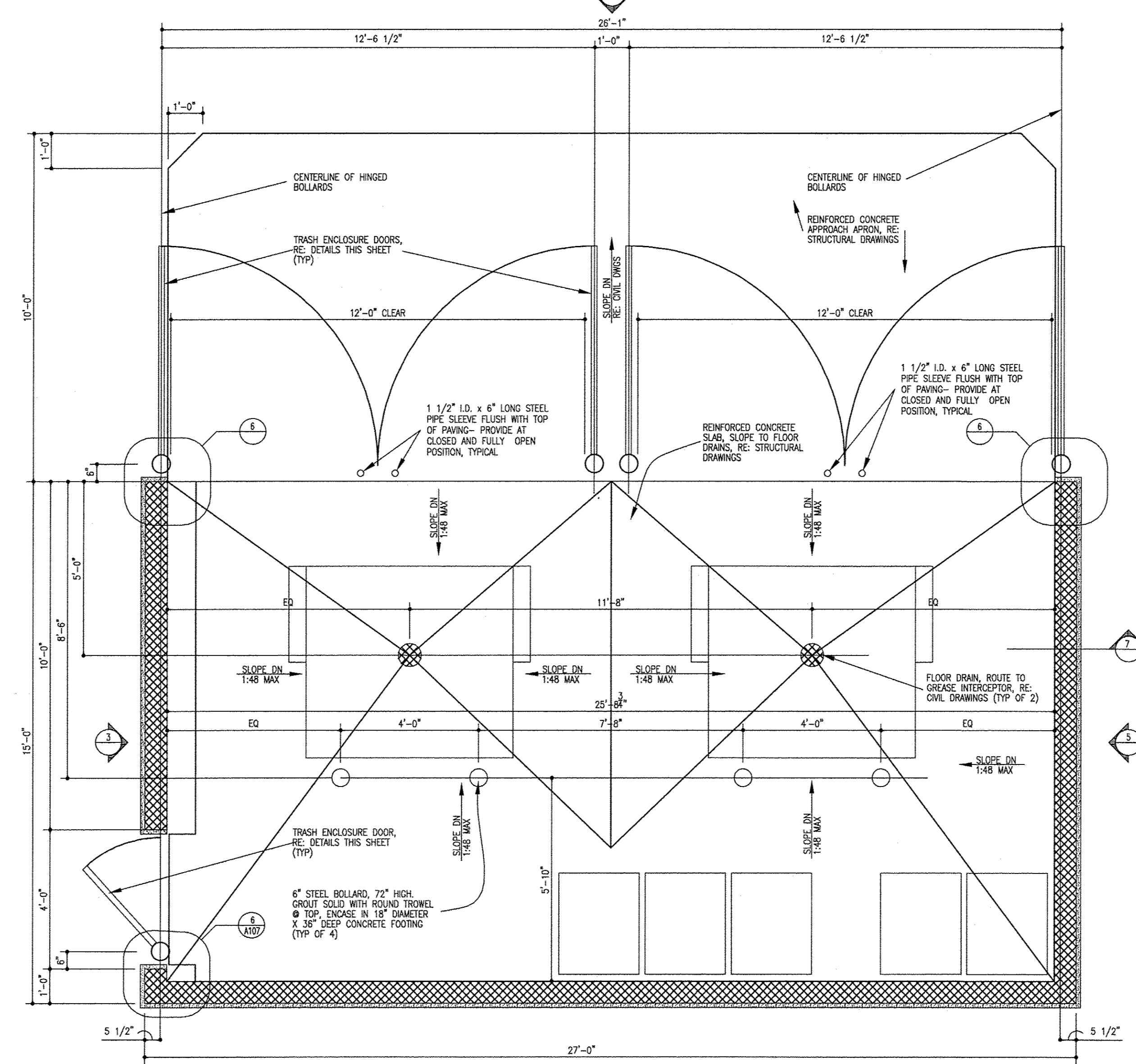
8 Cane Bolt Detail
1/2" x 1/2"



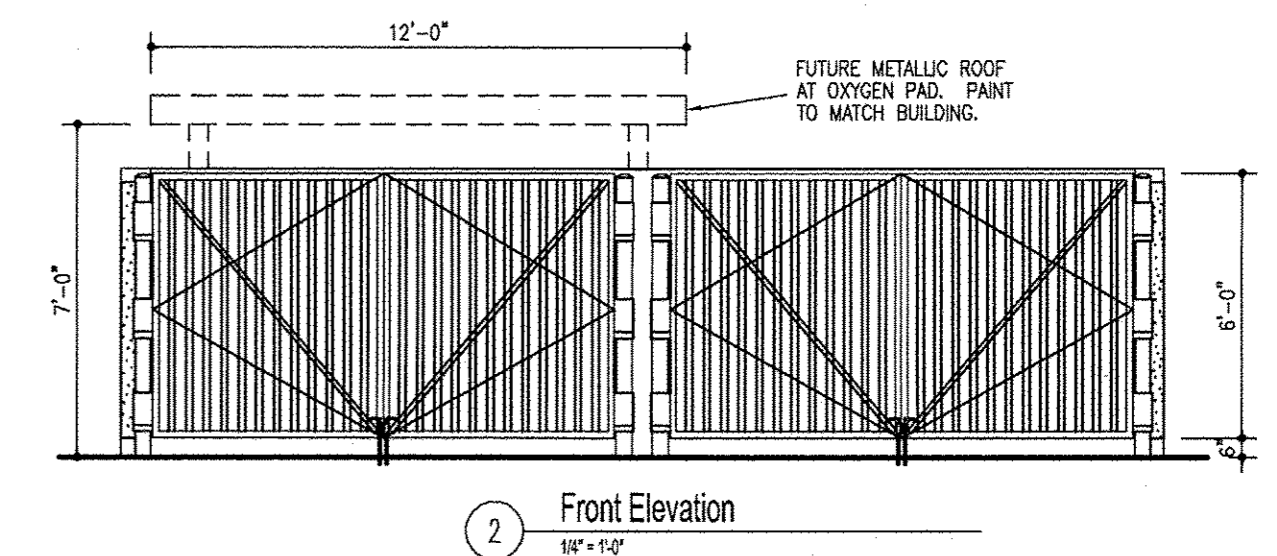
7 Wall Section (All Screen Walls & Trash Enclosure)
30" x 14"



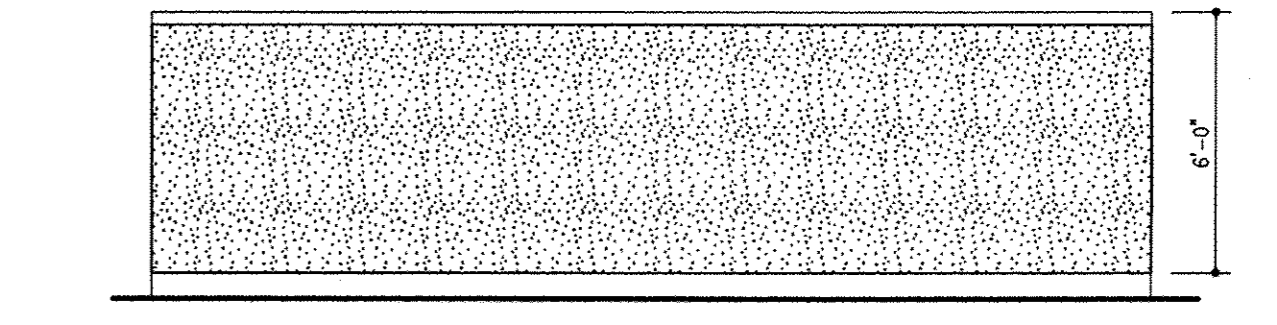
6 Plan Detail
1/2" x 1/2"



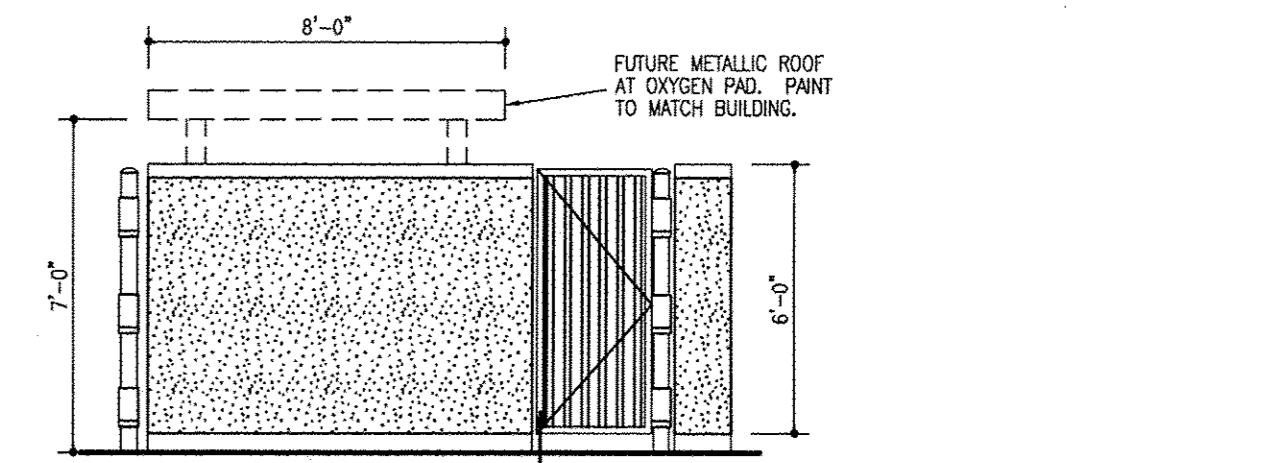
1 Dumpster Floor Plan
1/2" x 1/2"



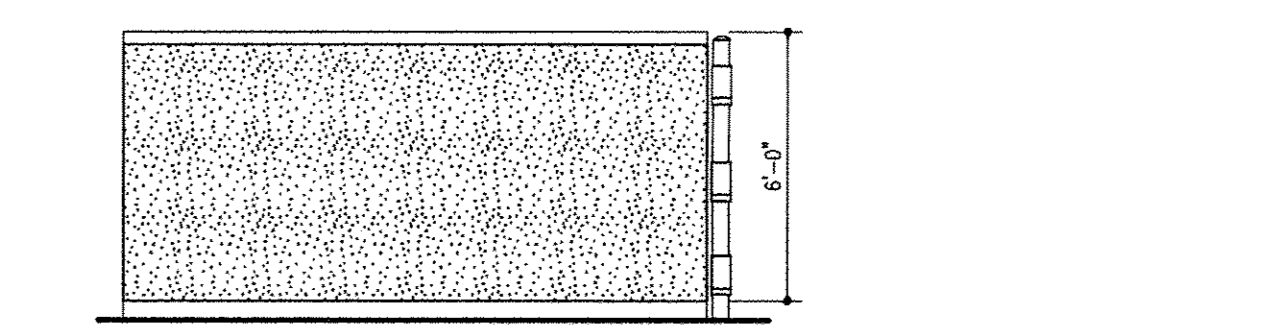
2 Front Elevation
1/4" x 1/4"



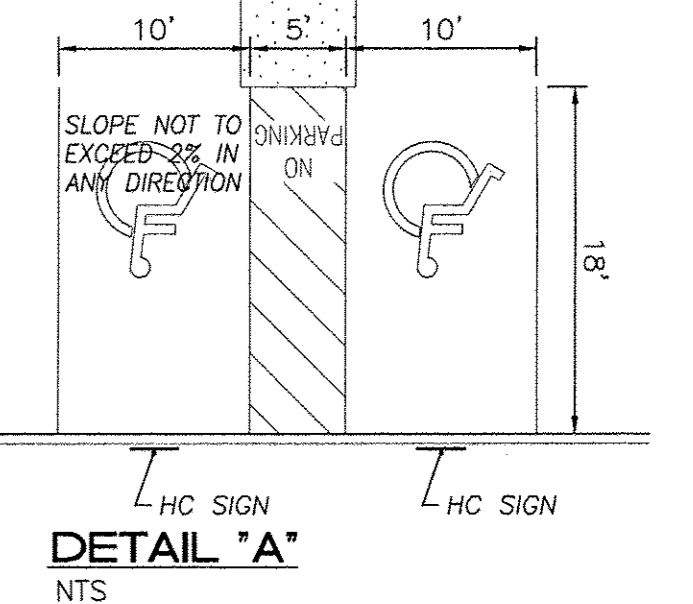
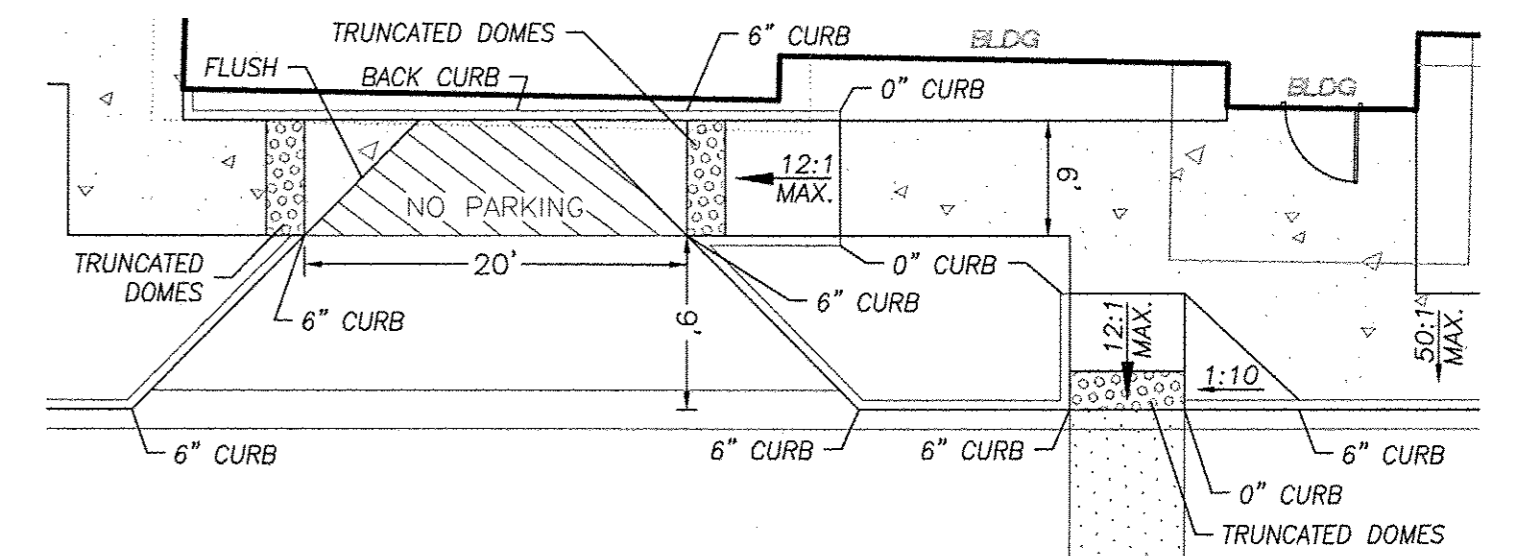
4 Back Elevation
1/4" x 1/4"



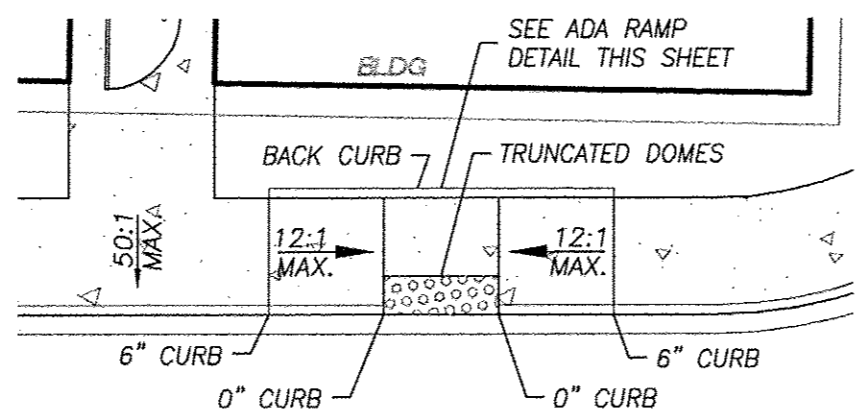
3 Side Elevation (Liquid Storage Enclosure, North Elevation Similar)
1/4" x 1/4"



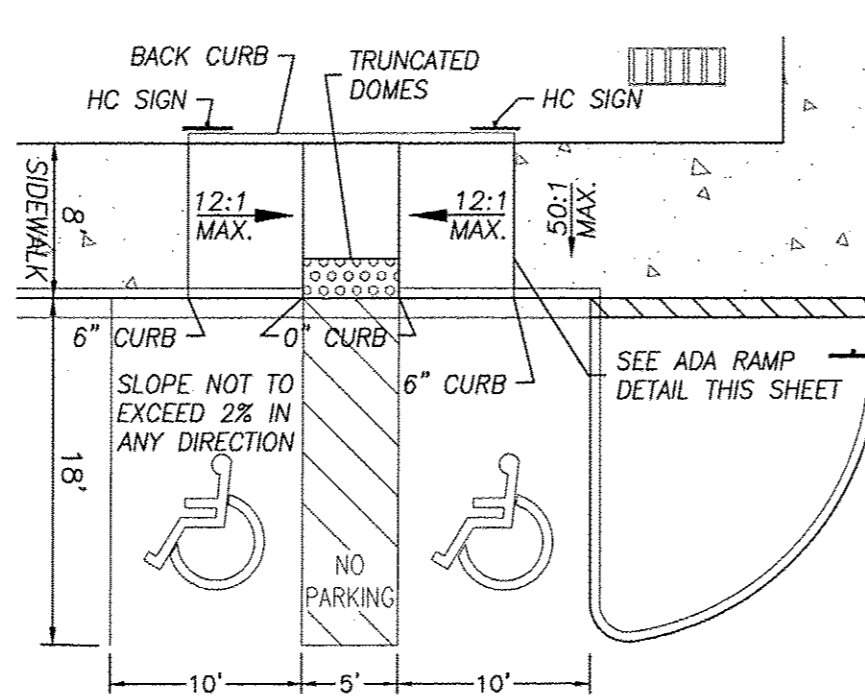
5 Side Elevation
1/4" x 1/4"



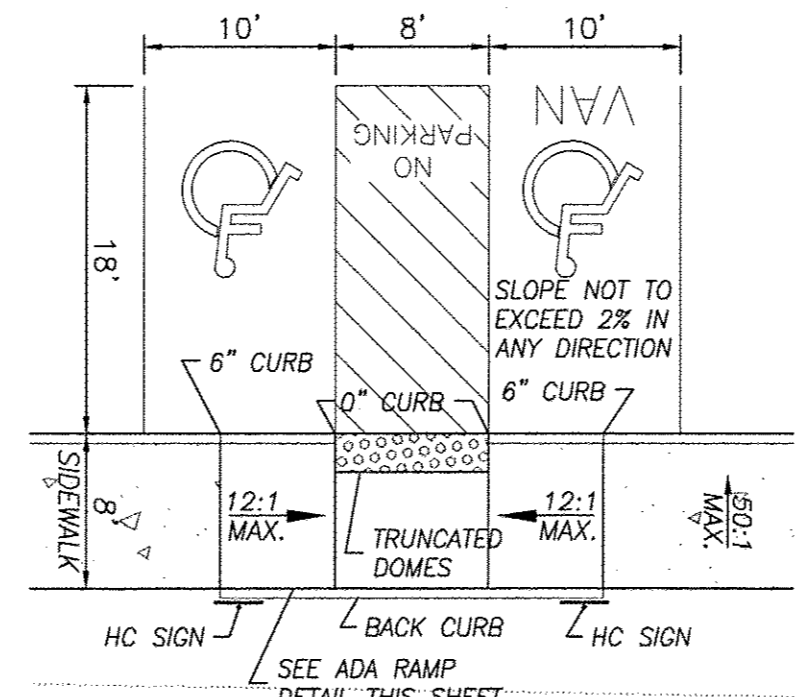
DETAIL "A"
NTS



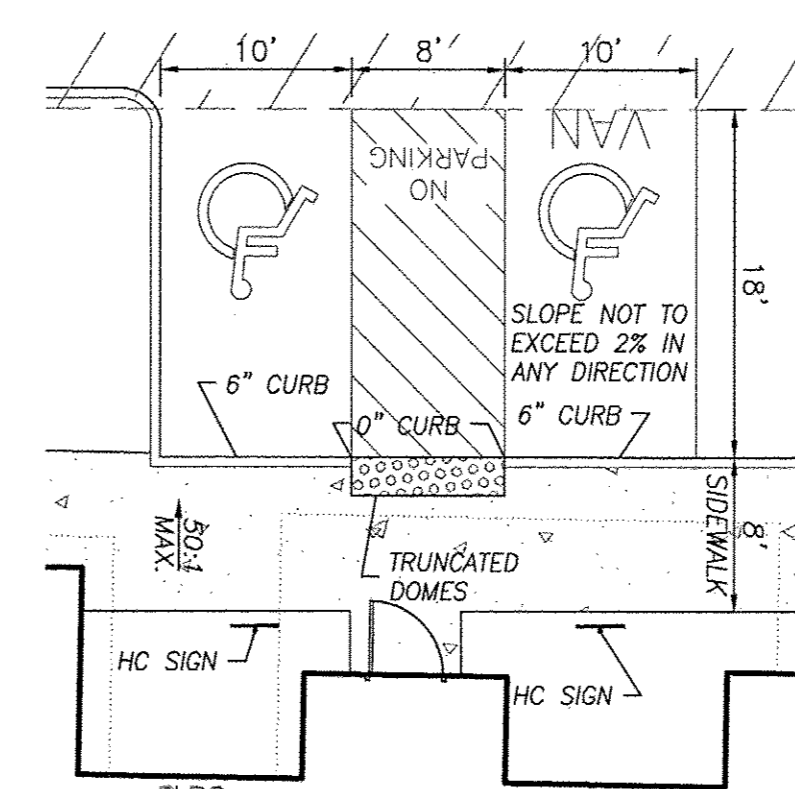
DETAIL "B"
NTS



DETAIL "C"
NTS

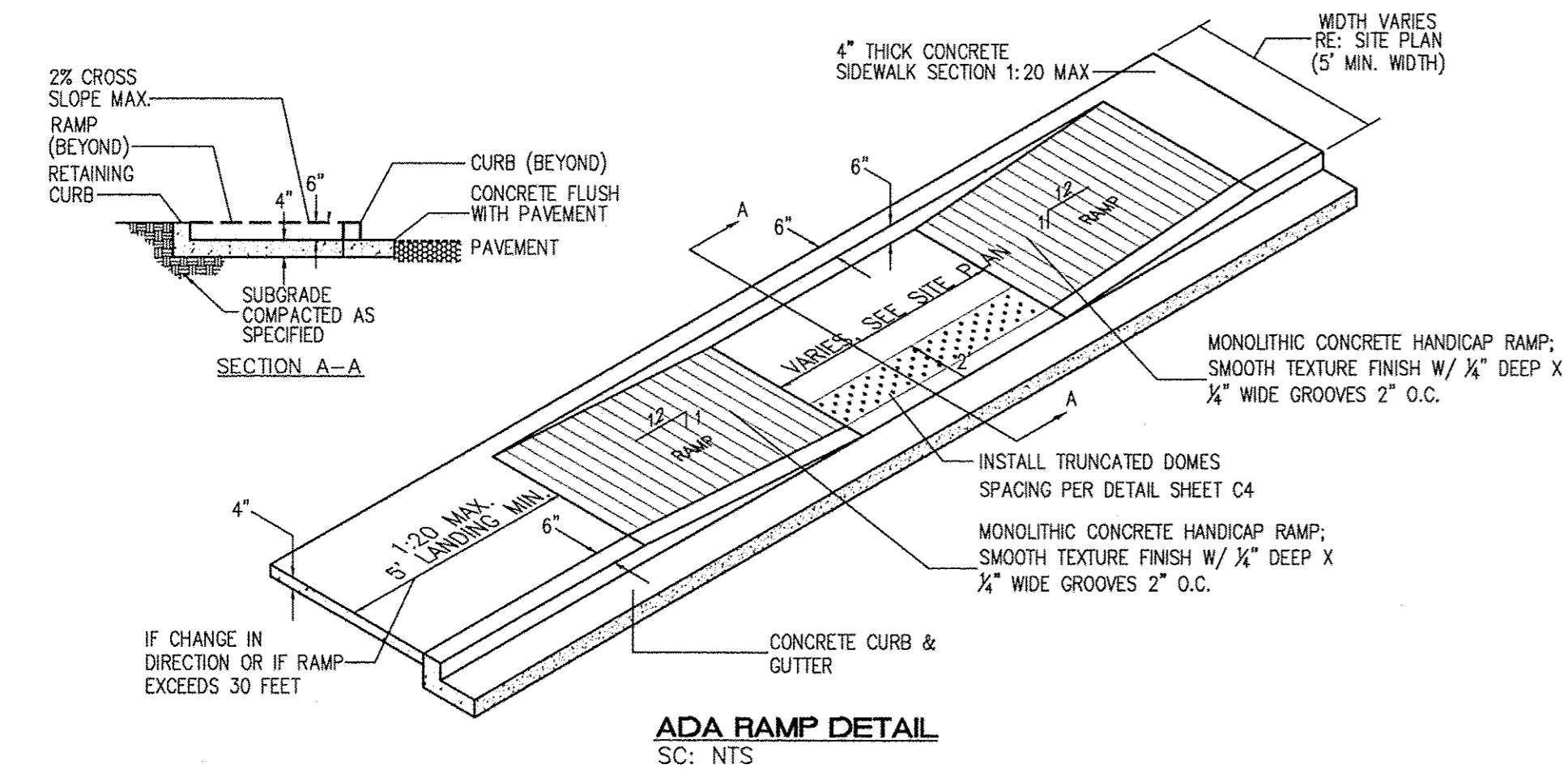


DETAIL "D"
NTS



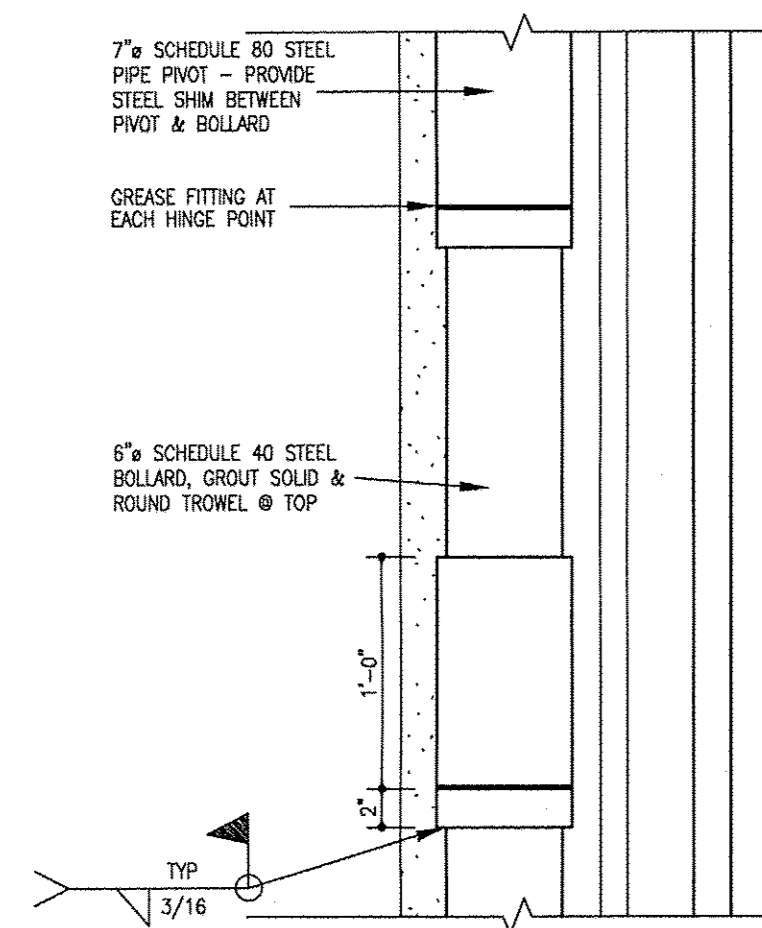
DETAIL "E"
NTS

- NOTES:**
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

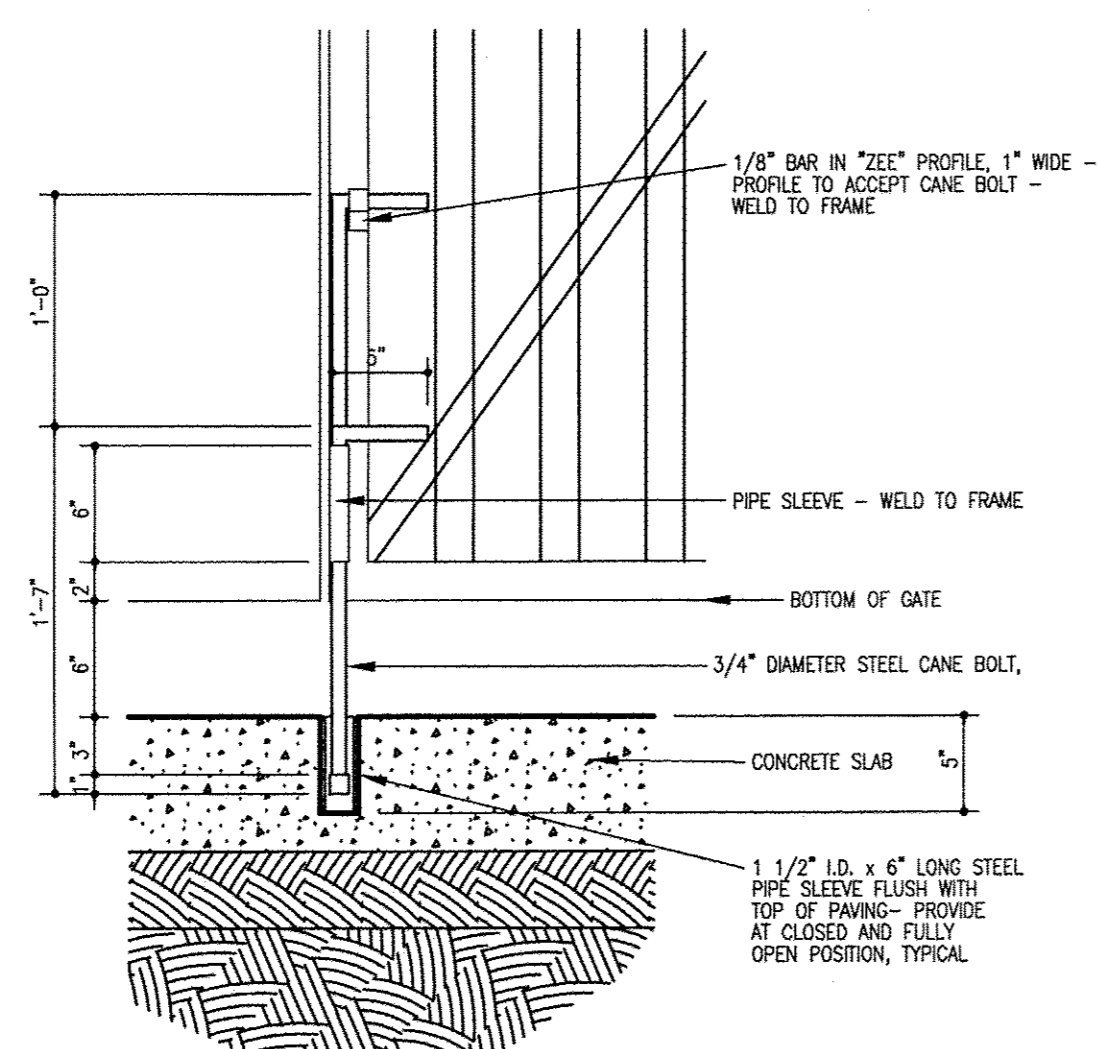


ADA RAMP DETAIL
SC: NTS

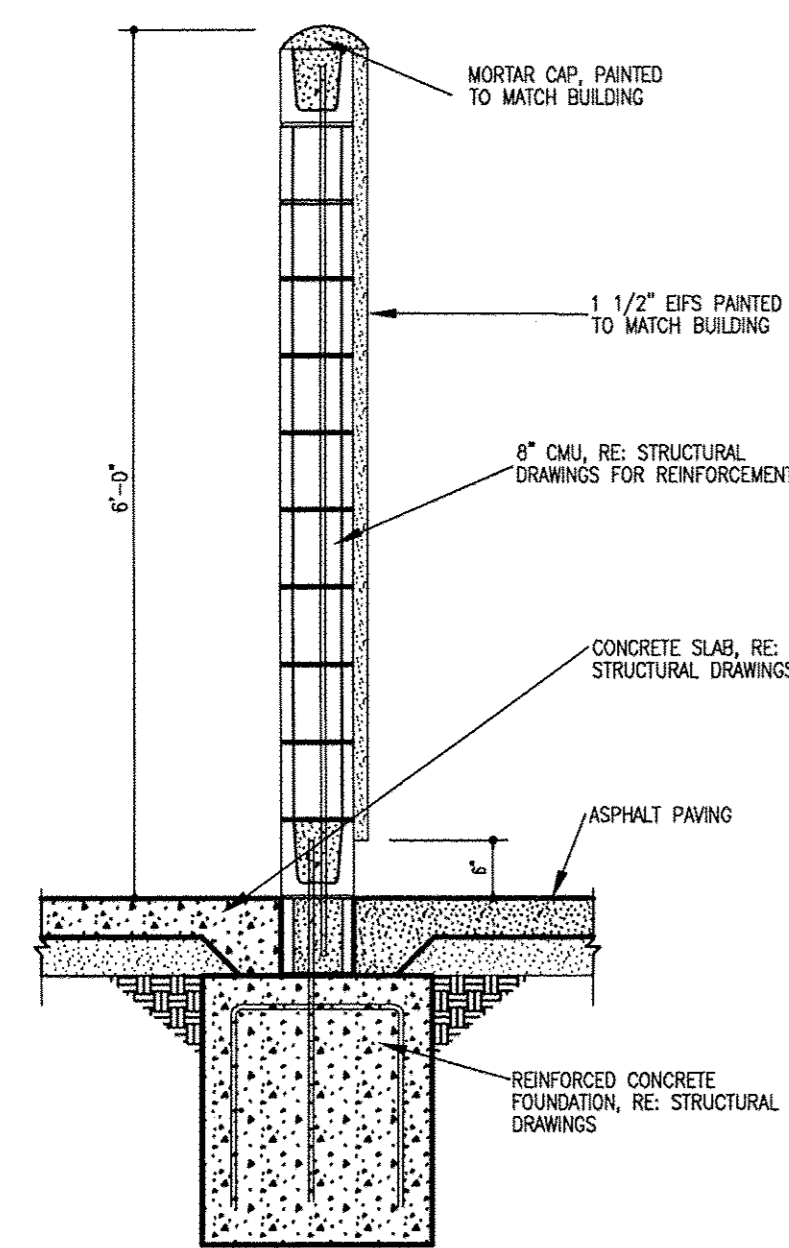
ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	DETAIL SHEET	DATE 7/10/15
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2014088-DTE
RONALD R. BOHANNAN P.E. #7868		SHEET # C6
		JOB # 2014088



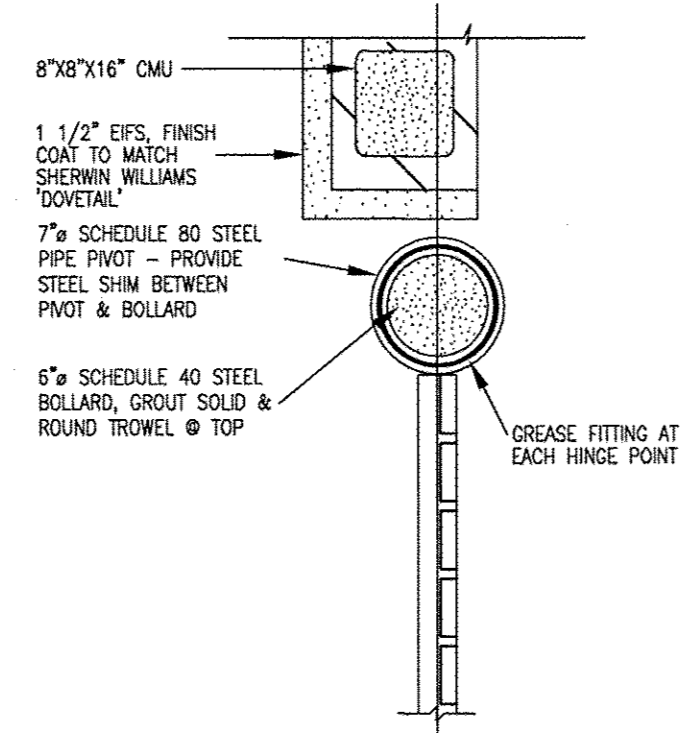
9 Dumpster Door Pivot
1/2" = 1'-0"



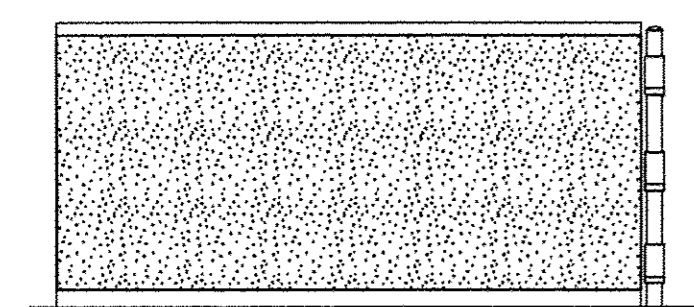
8 Cane Bolt Detail
1/2" = 1'-0"



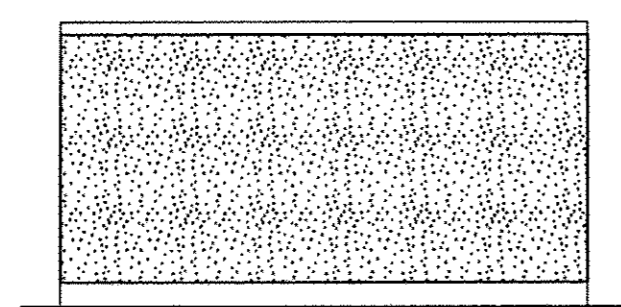
7 Wall Section (All Screen Walls & Trash Enclosure)
3/8" = 1'-0"



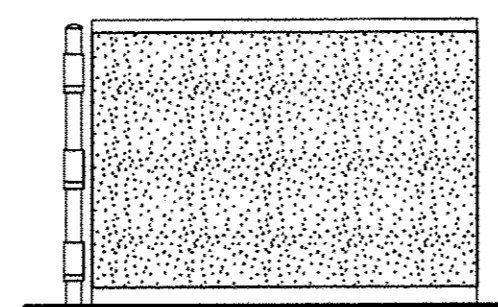
6 Plan Detail
1/2" = 1'-0"



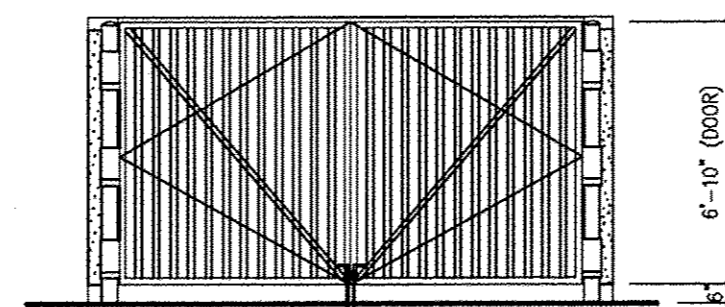
5 Side Elevation
NTS



4 Back Elevation
NTS

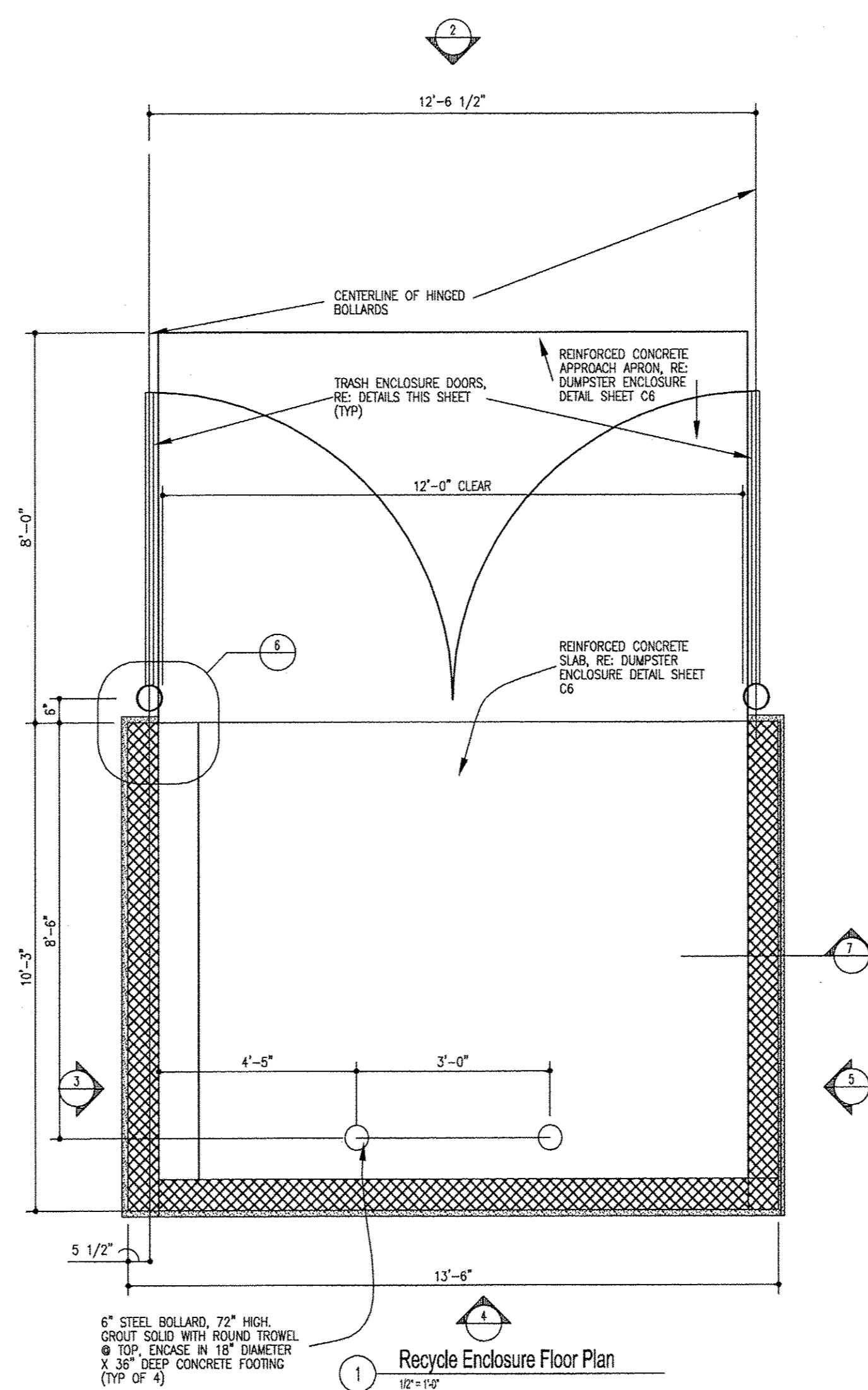


3 Side Elevation
NTS



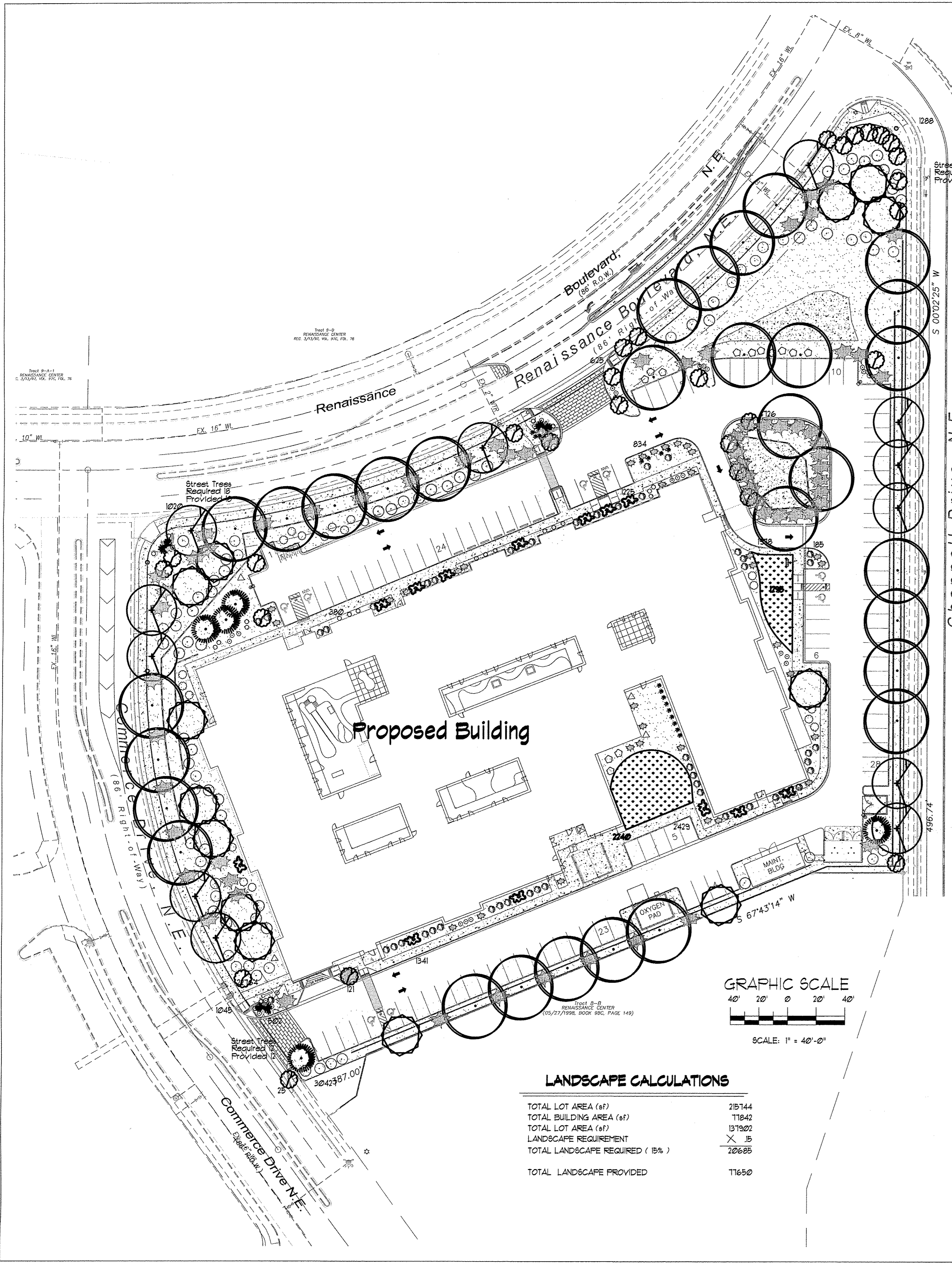
2 Front Elevation
NTS

General Notes
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



1 Recycle Enclosure Floor Plan
1/2" = 1'-0"

ENGINEER'S SEAL	SKILLED NURSING FACILITY RENAISSANCE CENTER	DRAWN BY DY
	DETAIL SHEET	DATE 7/10/15
RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2014088-DTE
		SHEET # C7
		JOB # 2014088



LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

Trees

12	3" cal	Chinese Pistache <i>Pistacia chinensis</i>	40x35	1225	14100 M
31	3" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	2025	62175 M
5	6-8	Austrian Pine <i>Juniperus scopulorum</i>	25x20	400	2000 M
13	4 - 6'	Crape Myrtle <i>Pinus edulis</i>	15x10	100	1300 M
6	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	15x6	36	216 M
11	15 Gal.	Purple Leaf Plum <i>Prunus spp.</i>	15x12	144	1584 M
29	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	15x12	144	4116 M

Shrubs & Groundcovers

13	4 - 6'	Desert Willow <i>Chilopsis linearis</i>	20x25	625	8125 M
46	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x5	25	1150 M
11	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	25x2	4	468 M
13	5 Gal	Grey Leaf Cotoneaster <i>Cotoneaster glauca</i>	5x5	25	325 M
4	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5	25	100 M
33	5 Gal	Carpet Roses <i>Jasminum nudiflorum</i>	2x4	16	528 M
65	5 Gal	Buffalo Juniper <i>Juniperus sabinia 'Buffalo'</i>	1x12	144	9360 M
21	1 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	9	189 M
29	1 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3	9	261 M
19	1 Gal	Fern Bush <i>Chamaebataria millefolium</i>	5x6	36	684 L
53	1 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1	49	2591 L
31	1 Gal	Charlita <i>Chrysothamnus nauseosus</i>	5x5	25	175 L

- 16. 2-3cf Boulders
To be placed at contractor discretion
- 10915 Landscape Gravel / Filter Fabric
Santa Fe Brown
- 1600 Oversize Landscape Gravel / Filter Fabric
2-4" Santa Ana Tan
- 3535 Sod Lawn
- 14450

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition, including landscaping within the City ROW.

It is the intent of this plan to comply with the City of Albuquerque, Landscape Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque, Zoning Code. In general, water conservatives, environmentally sound landscape principles will be followed in design and installation.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

Landscape Plan shall comply with the Landscape Requirements of the Renaissance Development guidelines.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 NetAlm april (50" length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. NetAlm shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

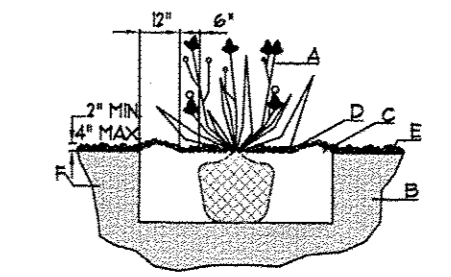
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

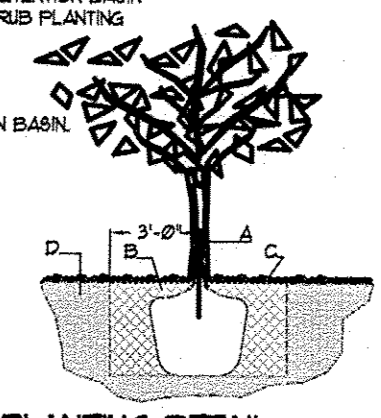
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Owner.



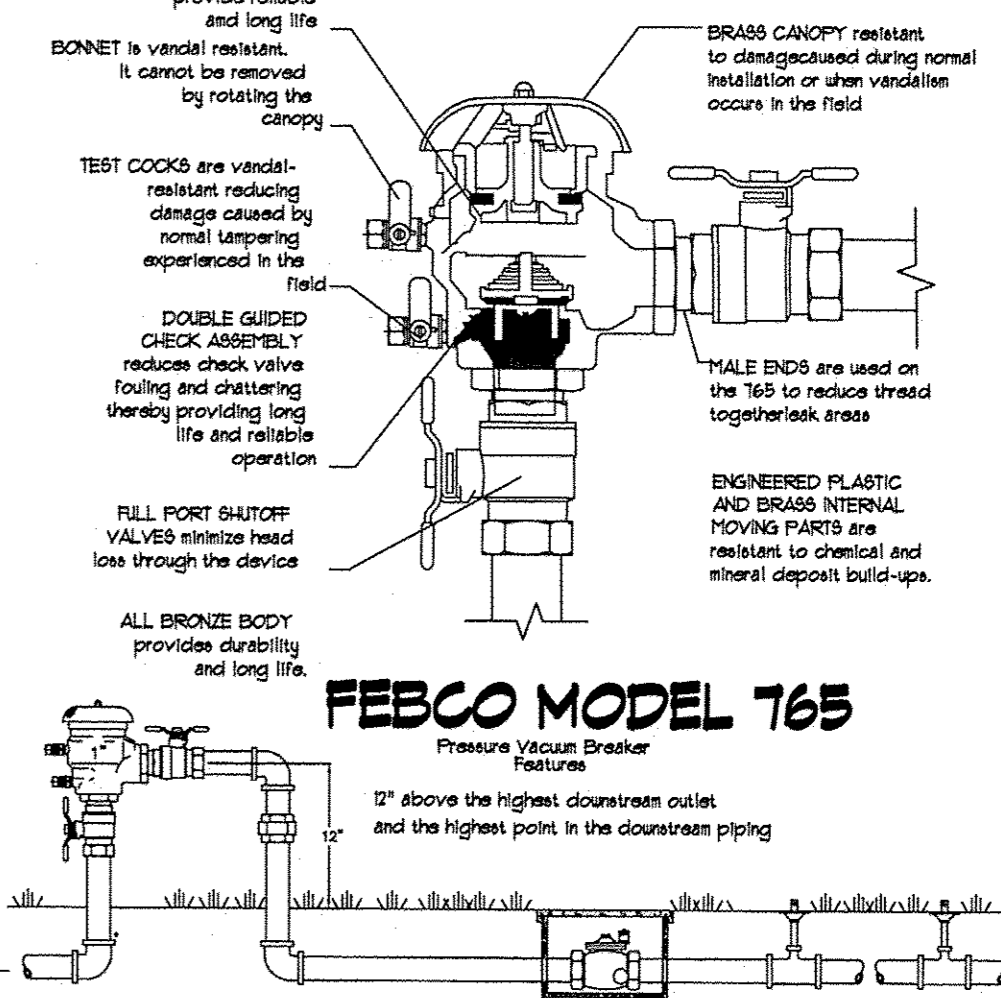
SHRUB PLANTING DETAIL

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. SHRUB
B. BACKFILL WITH EXISTING SOIL
C. EARTH BERRY AROUND WATER RETENTION BASIN
D. 3" DEPTH OF GRAVEL MULCH
E. FINISH GRADE
F. UNDISTURBED SOIL



TREE PLANTING DETAIL

GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT EACH TREE WAS GROWN AND DASH THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. HEAVY DUTY POLYETHYLENE PROFILES are designed to provide reliable and long life BONNET is vandol resistant. It cannot be removed by rotating the cap.
TEST COCKS are vandol-resistant reducing damage caused by small tapping experienced in the field.
DOUBLE GUIDED CHECK ASSEMBLY reduces check valve fouling and chattering thereby providing long life and reliable operation.
FILL PORT SHUTOFF VALVES minimize head loss through the device.
ALL BRONZE BODY provides durability and long life.

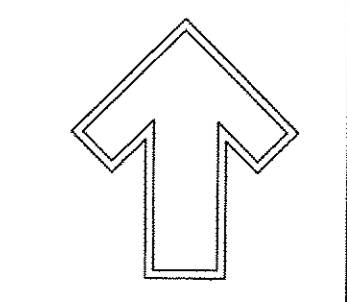


FEBCO MODEL 765

Pressure Vacuum Breaker Feature:
12" above the highest downstream outlet and the highest point in the downstream piping

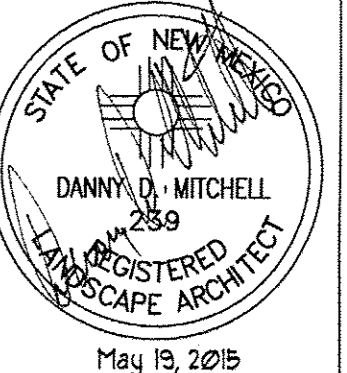
FEBCO MODEL 765

Pressure Vacuum Breaker Outside Installation



The Hilltop
1309 Edith NE
Albuquerque, NM 87184
Cont. Lic. #16458
Ph. (505) 898-3630
Fax (505) 898-1131
danny@hilltoplandscaping.com

Landscape Architect



Skilled Nursing Facility
Renaissance Center
Albuquerque, NM

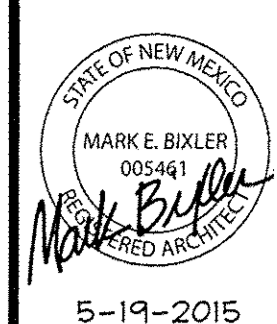
LANDSCAPE PLAN

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: dm
REVISION: 01/06/2015
DATE: 07/17/2015

SHEET #
LS-101



5-19-2015

ELEVATIONS

**SKILLED NURSING FACILITY RENAISSANCE CENTER
134 BED SKILLED NURSING FACILITY
ALBUQUERQUE, NEW MEXICO**

MARK E. BIXLER, AIA
P.O. Box 117, Bernalillo, NM 87104
PHONE: 870.653.3322 FAX: 870.653.3092

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DATE: 5-19-2015
SHEET NUMBER

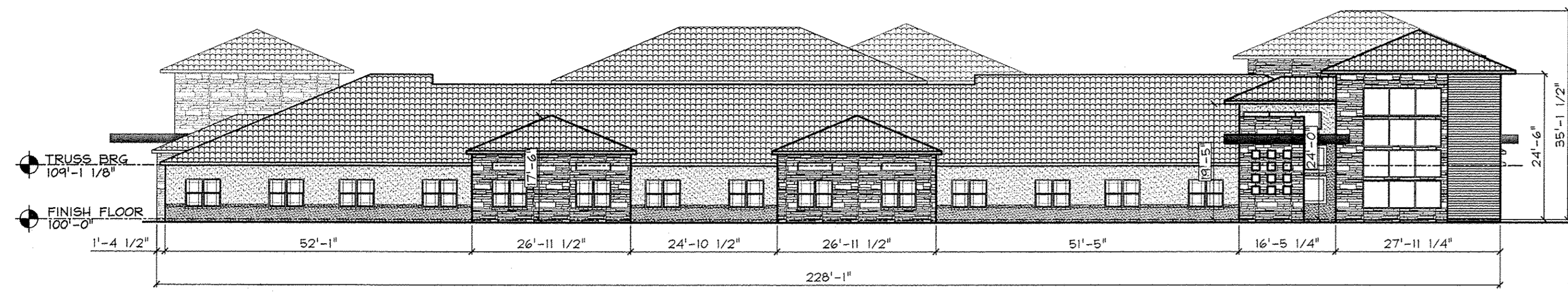
A2.1

GENERAL NOTES

- A ALL WINDOWS SHALL BE DARK BRONZE VINYL WINDOWS WITH LOW-E GLAZING.
- B TO COMPLY WITH 14-16-3-18 - GENERAL BUILDING SITE DESIGN REGULATIONS FAVOR NON-RESIDENTIAL USES, THE FOLLOWING DESIGN STANDARDS ARE USED.
 1. WALL PLANE PROJECTIONS OR RECESSES OF AT LEAST 2' IN DEPTH, OCCURRING AT LEAST EVERY 100' AND EXTENDING AT LEAST 25% OF THE LENGTH OF THE FACADE.
 2. A VERTICAL CHANGE IN COLOR, TEXTURE, OR MATERIAL OCCURRING EVERY 50 LINEAR FEET AND EXTENDING AT LEAST 20% OF THE LENGTH OF THE FACADE.
 3. A CHANGE IN VISIBLE ROOF PLANE OR PARAPET HEIGHT FOR EVERY 100' IN LENGTH, HOWEVER, EACH DISTINCT ROOF PLANE DOES NOT HAVE TO EQUAL 100' IN LENGTH.
- C MECHANICAL WELLS ARE PROVIDED PARALLEL TO THE RIDGE LINE TO HOUSE MECHANICAL EQUIPMENT.

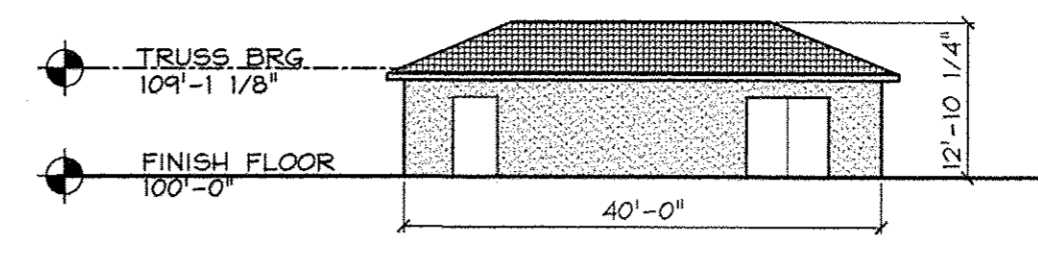
LEGEND

- 4" WOOD SIDING
- SMOOTH LIGHT TAN STUCCO
- ROUGH DARK TAN STUCCO
- STACKED STONE - EARTH TONE BLEND
- CLAY TILE ROOF - MARBLED TERRA COTTA TILE
- PRE-FINISHED METAL PANEL - BRONZE



1 EAST ELEVATION

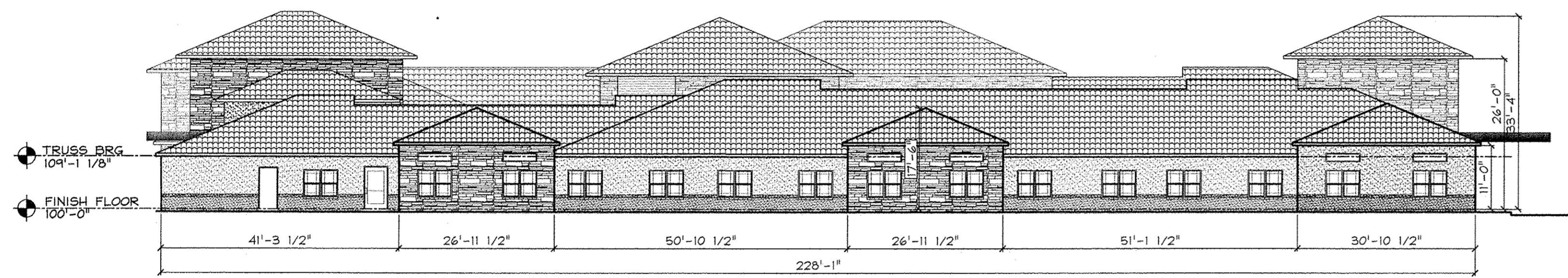
1/16" = 1'-0"



2 NORTH ELEVATION - MAINT. BLDG

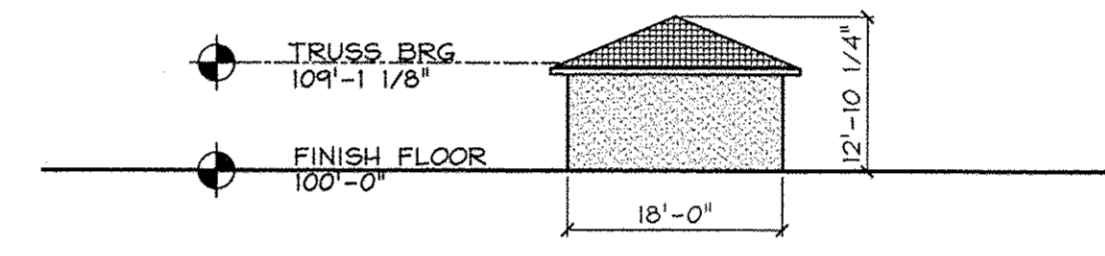
1/16" = 1'-0"

(SOUTH ELEVATION SIMILAR - NO DOORS.)



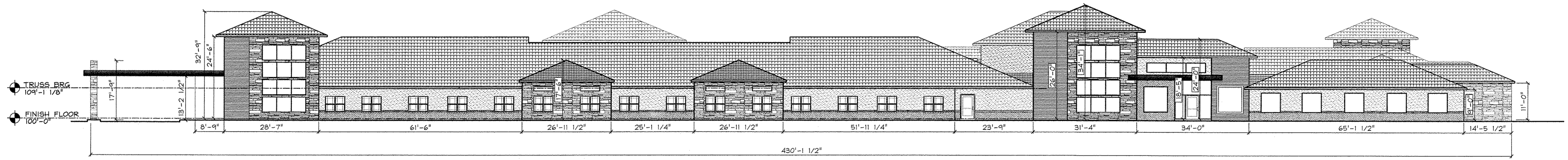
3 WEST ELEVATION

1/16" = 1'-0"



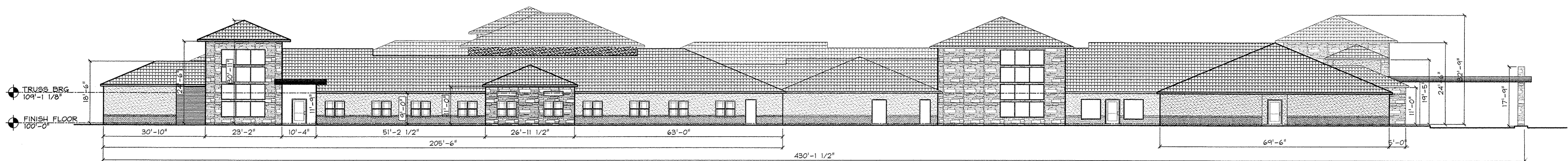
4 EAST & WEST ELEVATION - MAINT. BLDG

1/16" = 1'-0"



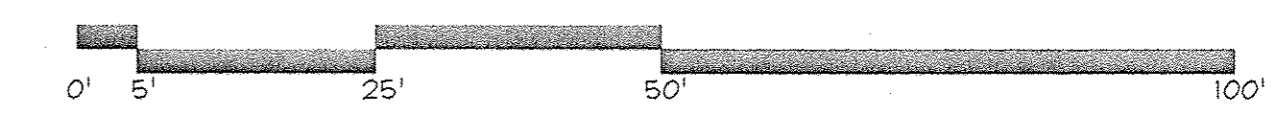
5 NORTH ELEVATION

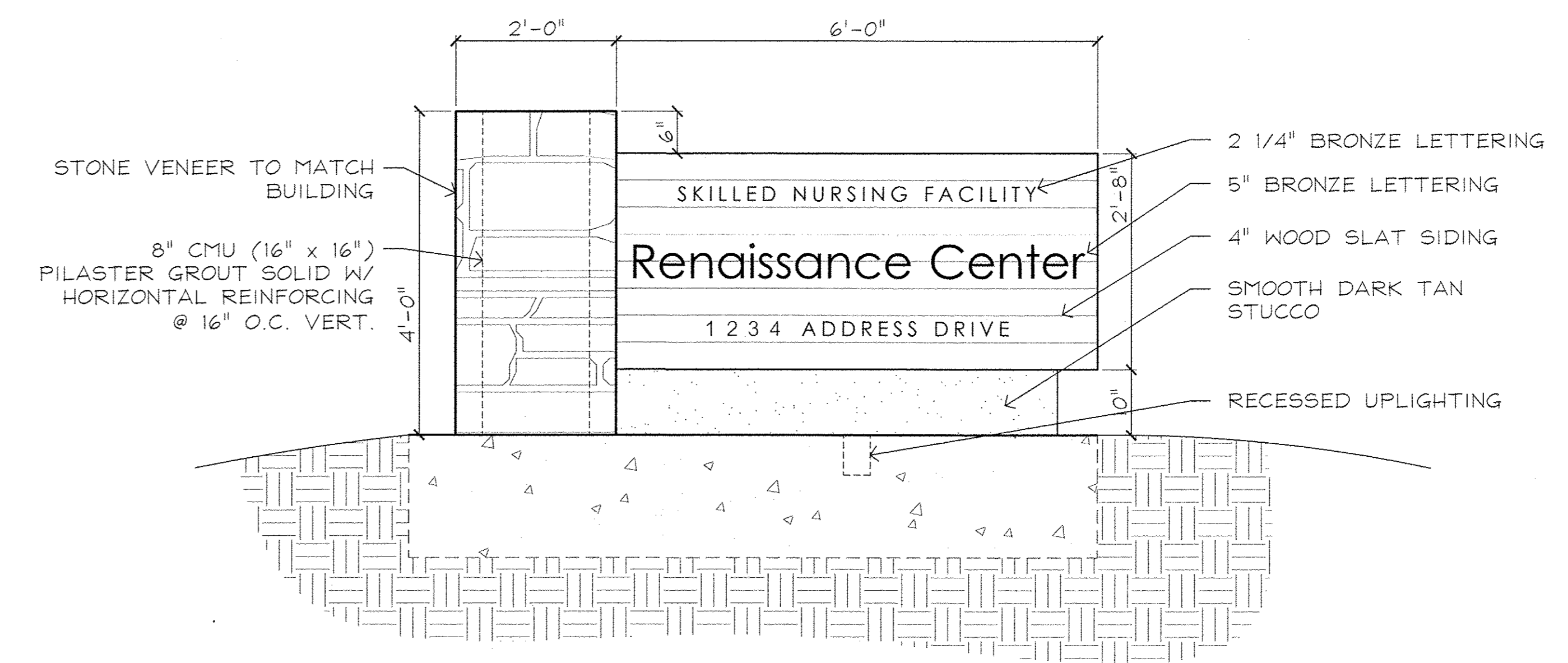
1/16" = 1'-0"



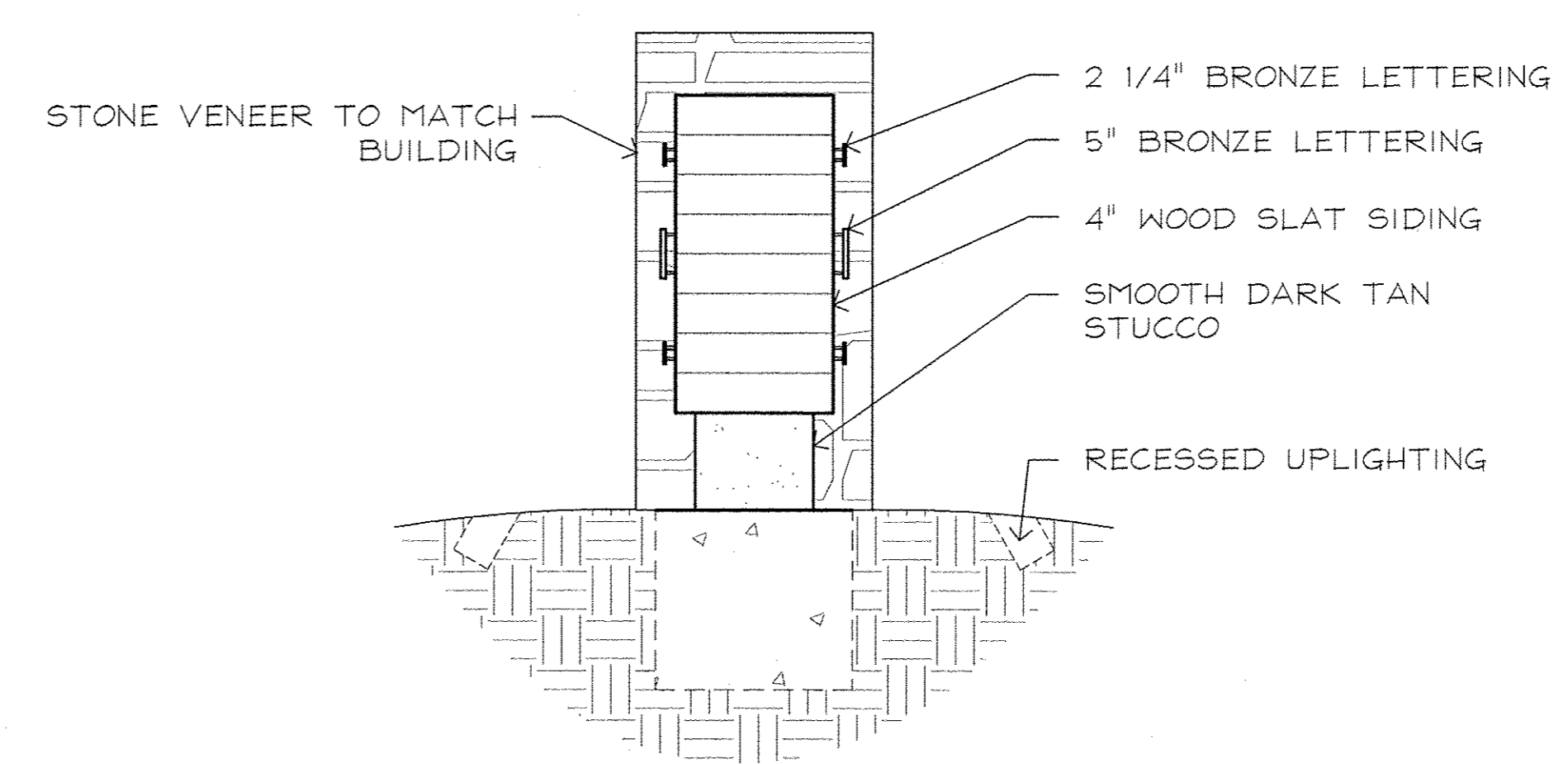
6 SOUTH ELEVATION

1/16" = 1'-0"





1 FRONT ELEVATION
 3/4" = 1'-0"



2 SIDE ELEVATION
 3/4" = 1'-0"

