

SITE DATA:
Legal Description: Tract C-2-A, Tract C-3-C, and a portion of Tract C-3-A, Westland North Subdivision

Site Area: Approximately 34.4 acres

Zoning: SU-2/SU-1 for Regional Sports Complex and Related Facilities.

Land Use: The City of Albuquerque intends to develop a regional sports complex to serve local sports organizations, as well as create a venue for regional tournament play.

Building Size: 10,172 SF

Maximum Building Height: 40 feet

Parking: Required Minimum Parking - 50 Spaces per Field
Standard Parking Required: 250 Spaces
Standard Parking Provided: 308 Spaces

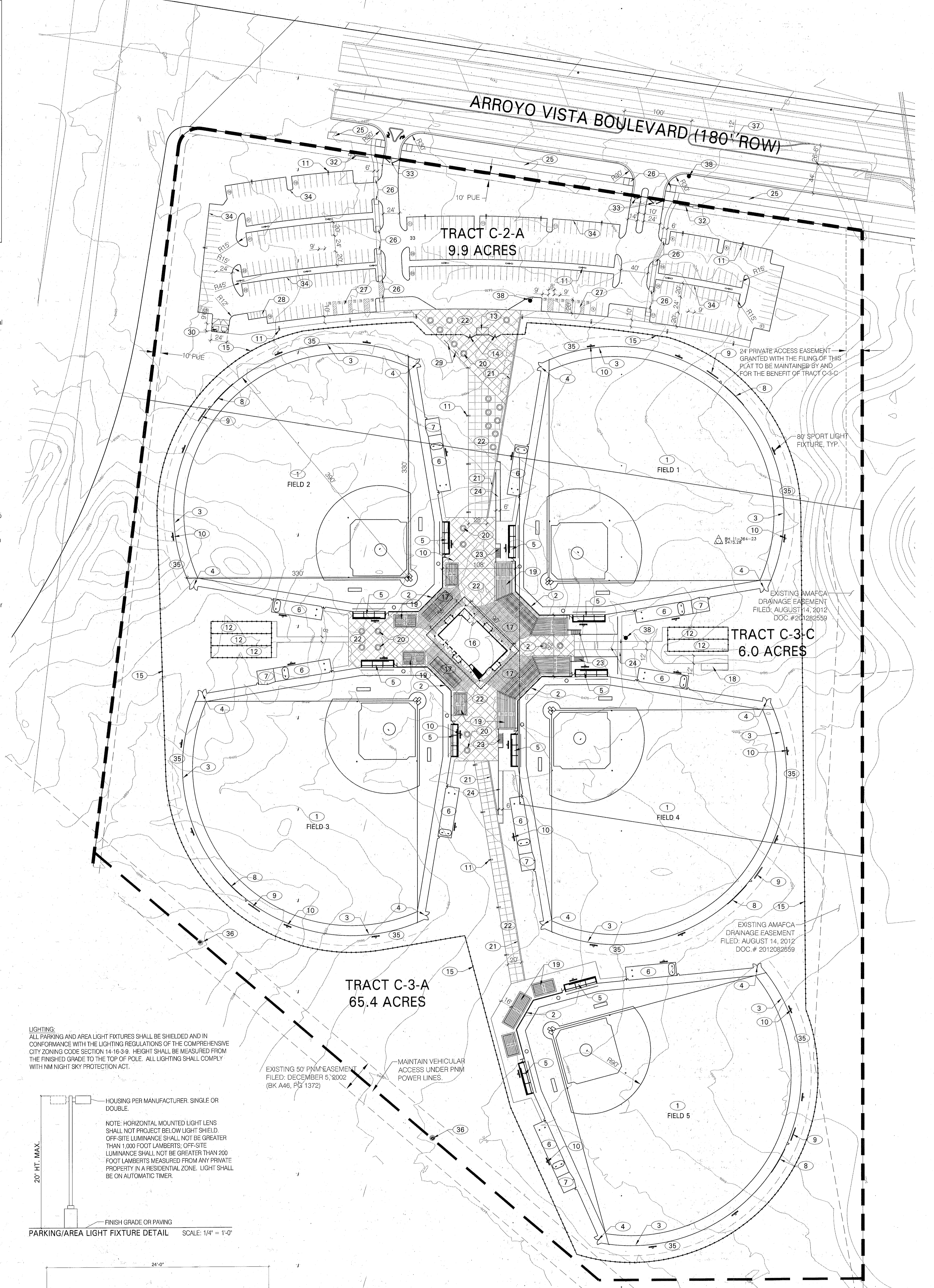
Accessible Parking Required: 12 Spaces
Accessible Parking Provided: 12 Spaces

Motorcycle Parking Required: 5 Spaces
Motorcycle Parking Provided: 6 Spaces

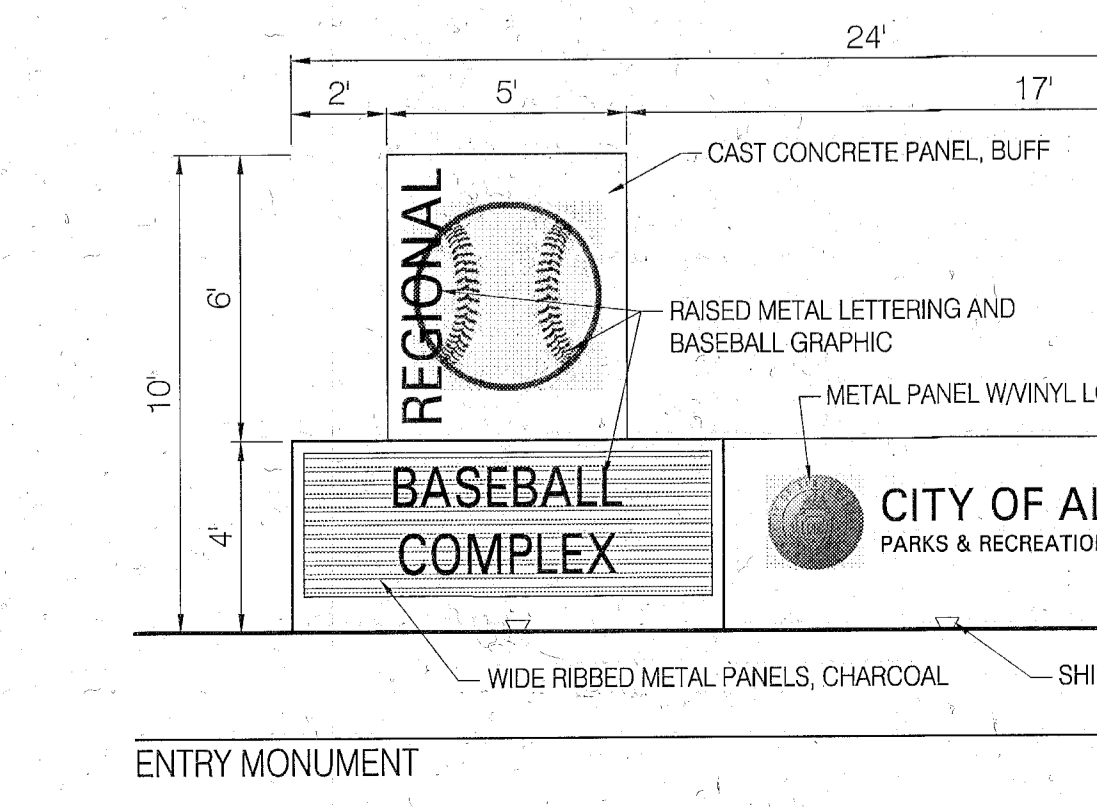
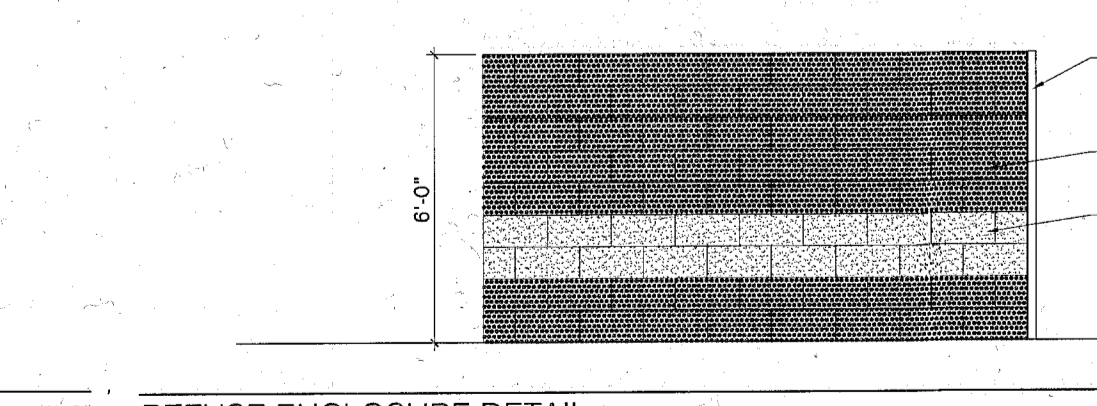
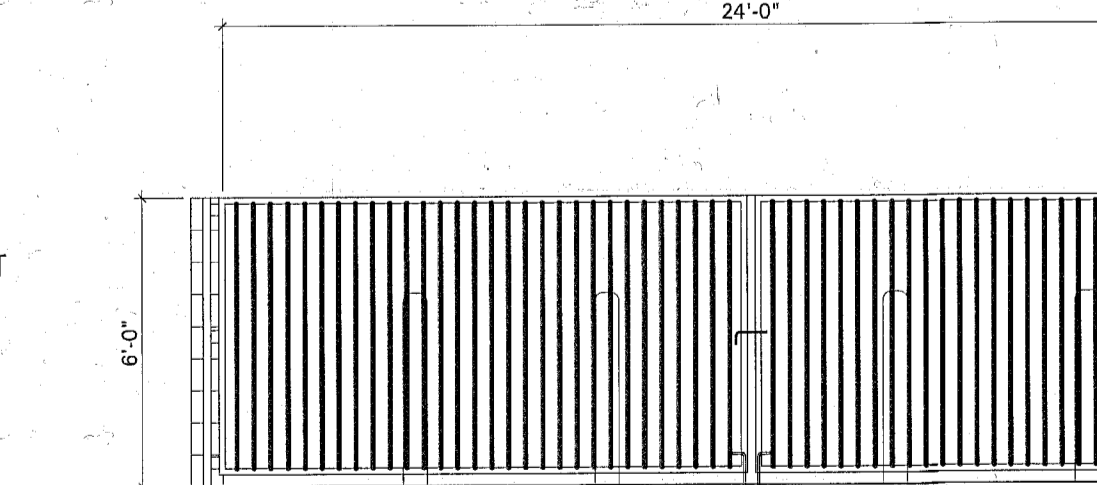
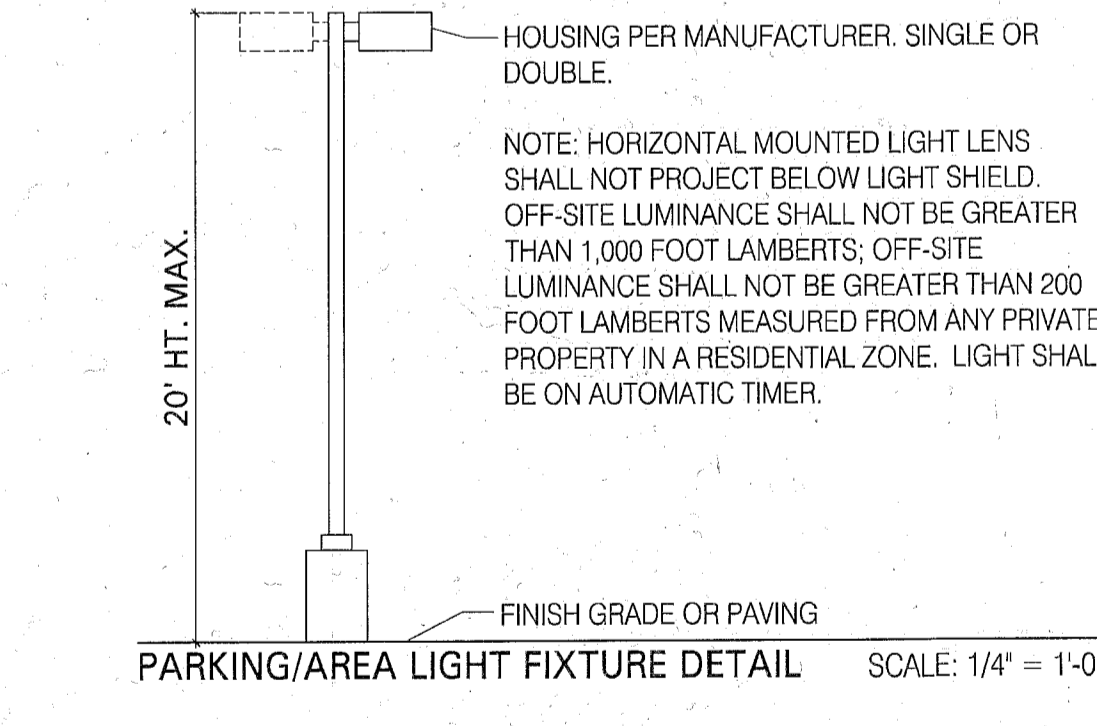
Bicycle Parking Required: 13 Spaces
Bicycle Parking Provided: 13 Spaces

- GENERAL NOTES:**
- All lighting shall comply with the City Comprehensive Zoning Code of §14-16-3-9 Area Regulations.
 - Roof-mounted mechanical equipment shall be screened.
 - Rainwater harvesting measures, such as curb cuts, are provided within the parking area to allow storm water to enter the parking lot medians.
 - All screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes.
 - PNM coordination: development shall abide by all conditions or terms of utility easements prior to development, contact shall be made to PNM's new service delivery department to coordinate electric service and options for the location of electric service connection.
 - All new electric distribution lines within the park shall be placed underground. This excludes the existing overhead PNM transmission lines. Vehicular access shall be maintained 24 / 7 through the PNM easement to allow for maintenance and servicing of the existing power poles and overhead lines. Continued coordination with PNM shall occur during all phases of design and construction.
 - Grounding shall be installed by the City on chain link fence within proximity of the transmission line to reduce the risk of nuisance shocks. Locations to be determined by PNM.
 - All sidewalks, ramps (including required truncated domes) curb cuts, and curb and gutter shall be built per COA standard drawings; sidewalk (2430), ramps (2440), curb cuts (2426), curb and gutter (2417A).
 - Clear sight distance: landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.

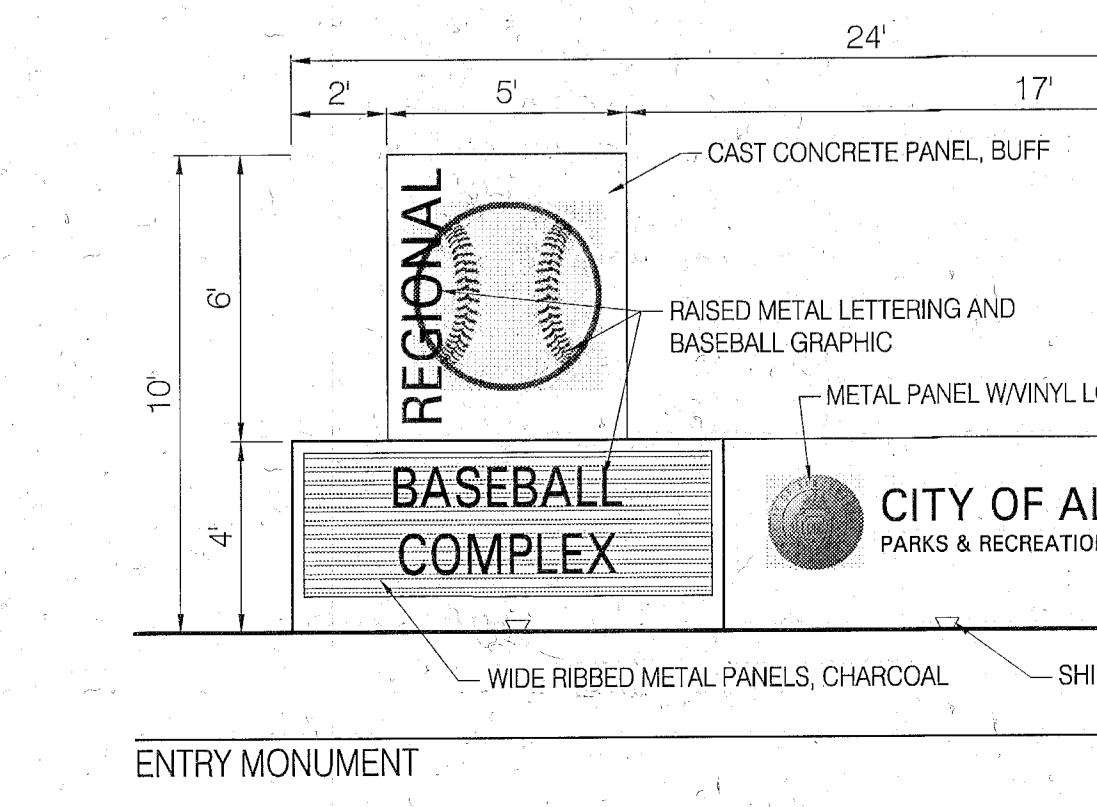
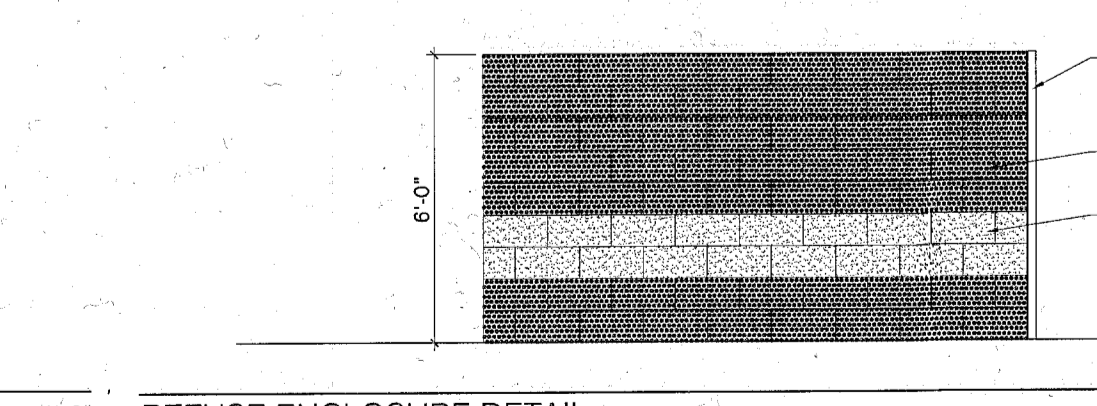
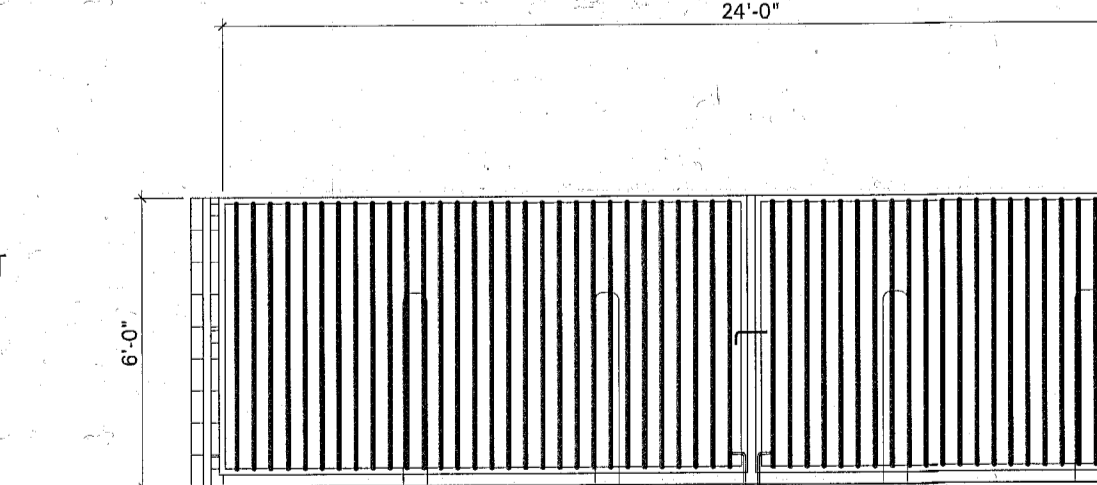
- KEYED NOTES**
- Baseball Field - synthetic turf, including infield and outfield areas, warning tracks and home plate area.
 - 30' Ht. nylon net backstop.
 - 8' Ht. chain link field fence.
 - 12' Maintenance gate.
 - Dugout - CMU with metal panel roof.
 - Bullpens w/ 8' chain link fence enclosure and gates.
 - Portable batting cage/storage enclosure (8' chain link fence).
 - 20' Ht. batters eye fence (chain link).
 - Scoreboard.
 - 80' Ht. Sport light fixture (typ. of 8 per field).
 - 20' Ht. Parking /Area light fixture.
 - Batting Cages - nylon net enclosure.
 - 12' x 18' Shade structure (for potential ticket sales).
 - Entrance gates.
 - 8' Ht. chain link perimeter fence w/CMU pilasters at 40' o.c.
 - Administration/Concession Building.
 - Nylon "foul ball" net attached between building and backstop.
 - Metal maintenance container.
 - Bleachers w/shade structures, typ.
 - Raised concrete tree well.
 - 18' Ht. concrete seat wall.
 - Concrete plaza/sidewalk.
 - Concrete stairs.
 - Concrete ramp.
 - 10' asphalt trail.
 - Accessible ramp, typ.
 - Accessible parking spaces w/sign.
 - Motorcycle parking spaces w/sign.
 - Bicycle rack - 13 spaces.
 - Refuse enclosure, per City specifications.
 - Not Used.
 - Monument sign.
 - Pipe gates, per COA Standard Drawing 2251.
 - Median curb and gutter.
 - Gravel maintenance access road around each field.
 - Existing PNM power pole.
 - New left turn lane.
 - Fire hydrant.



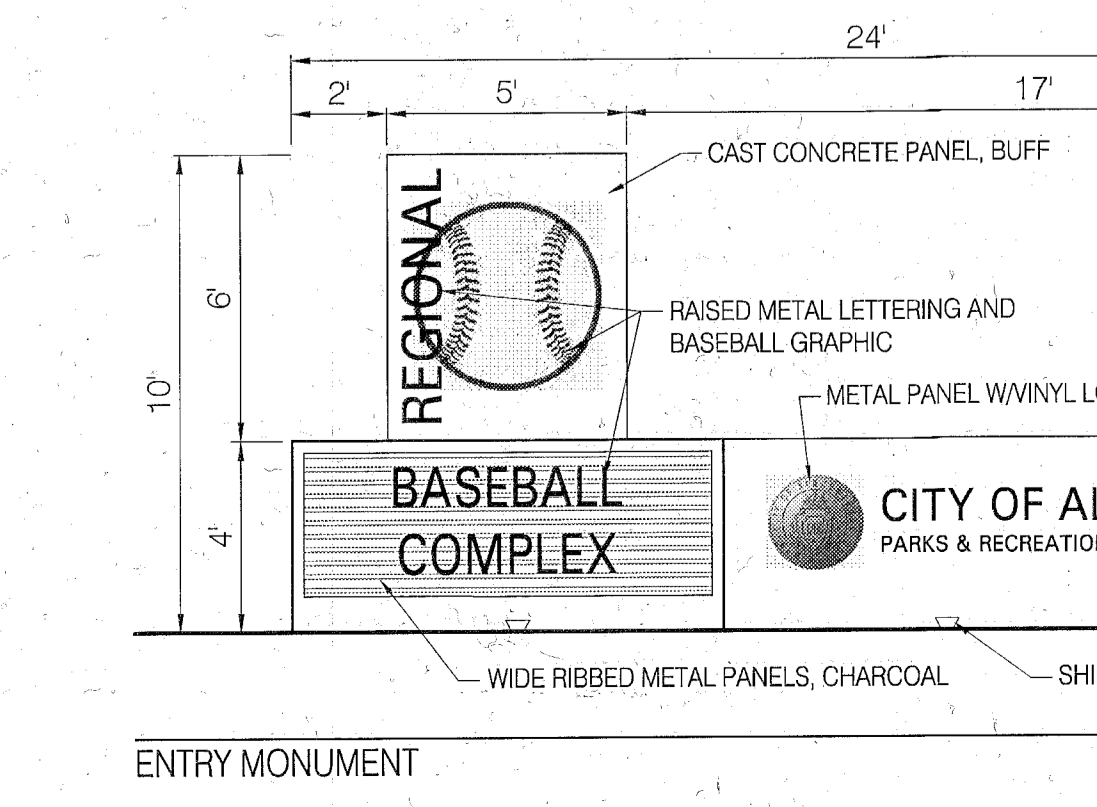
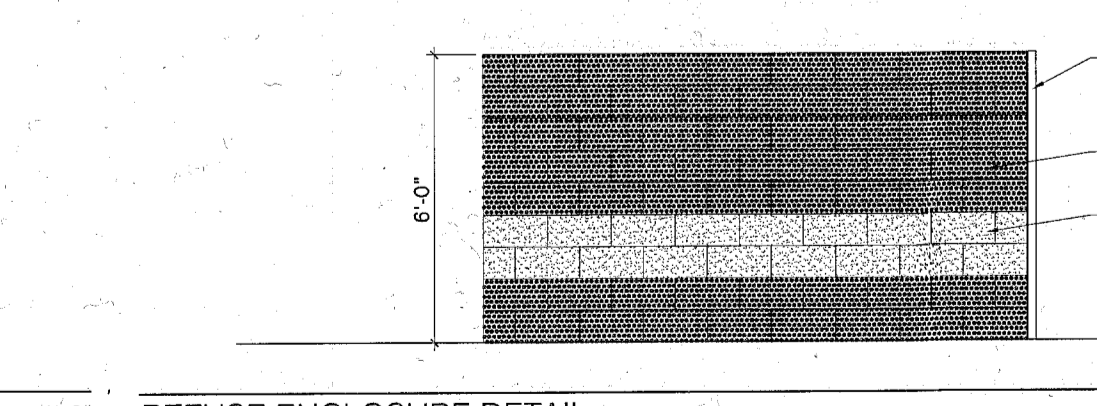
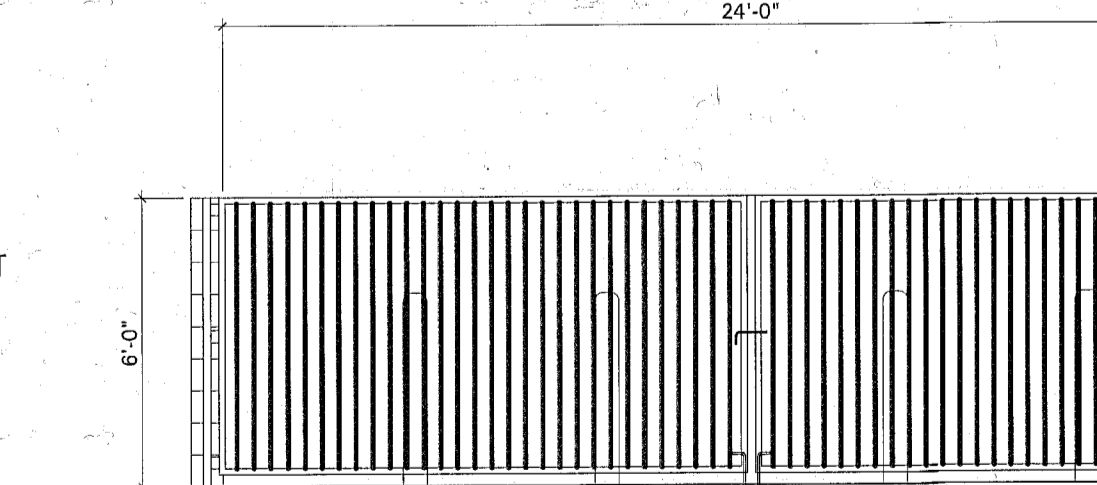
LIGHTING:
ALL PARKING AND AREA LIGHT FIXTURES SHALL BE SHIELDED AND IN CONFORMANCE WITH THE LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE SECTION 14-16-3-9. HEIGHT SHALL BE MEASURED FROM THE FINISHED GRADE TO THE TOP OF POLE. ALL LIGHTING SHALL COMPLY WITH NM NIGHT SKY PROTECTION ACT.



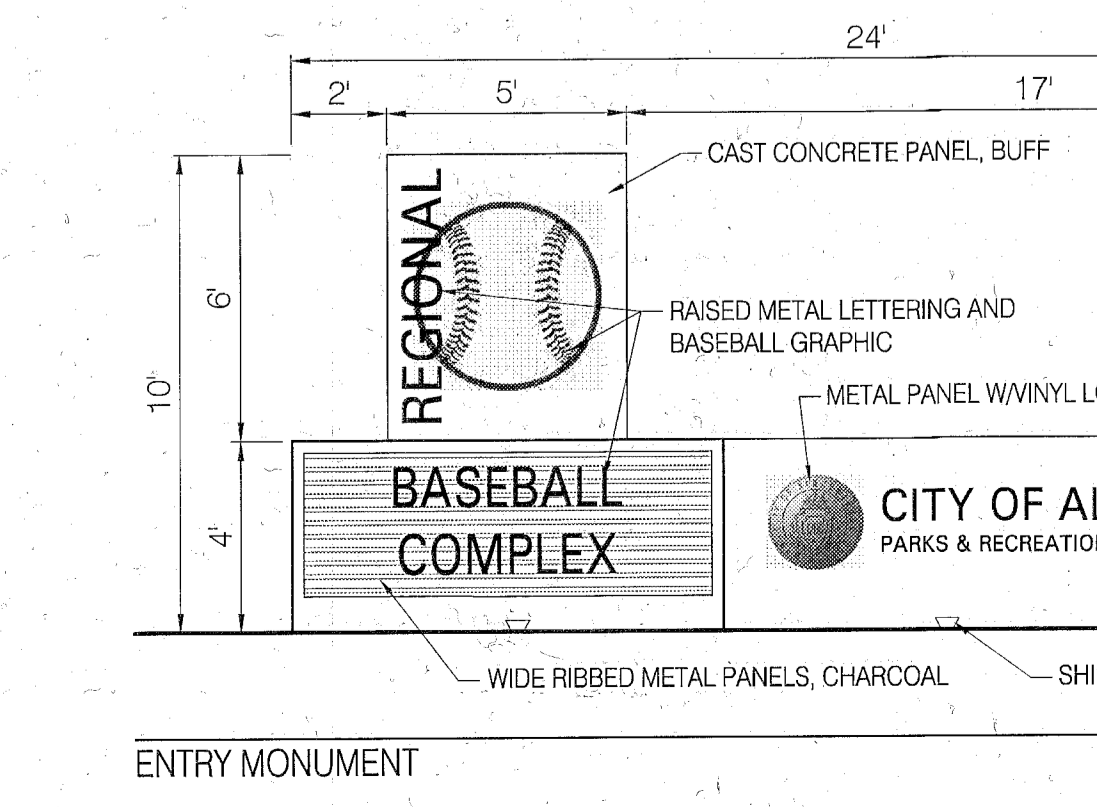
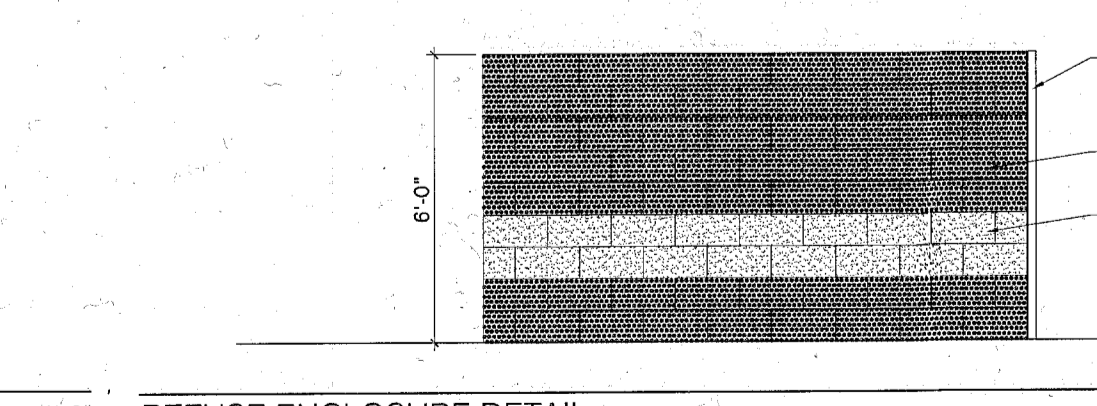
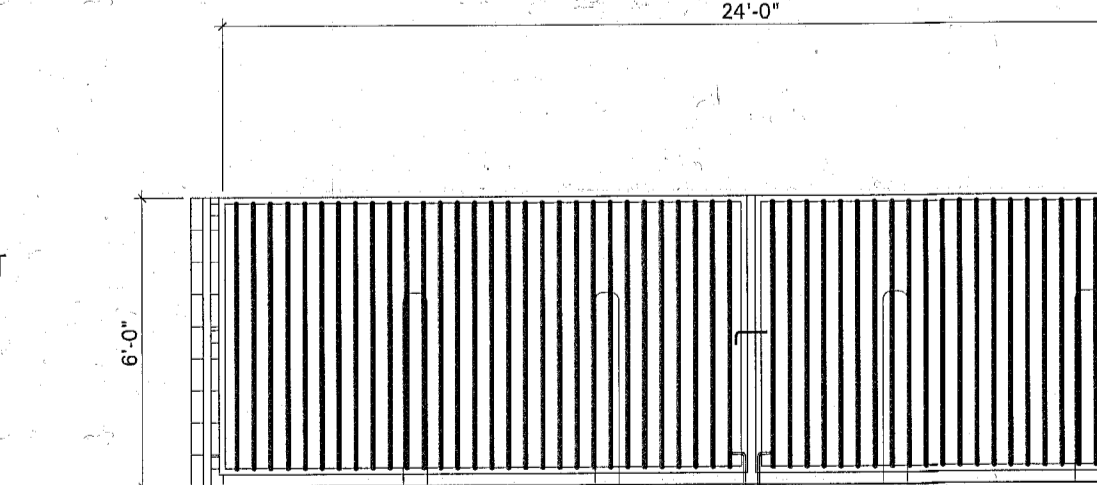
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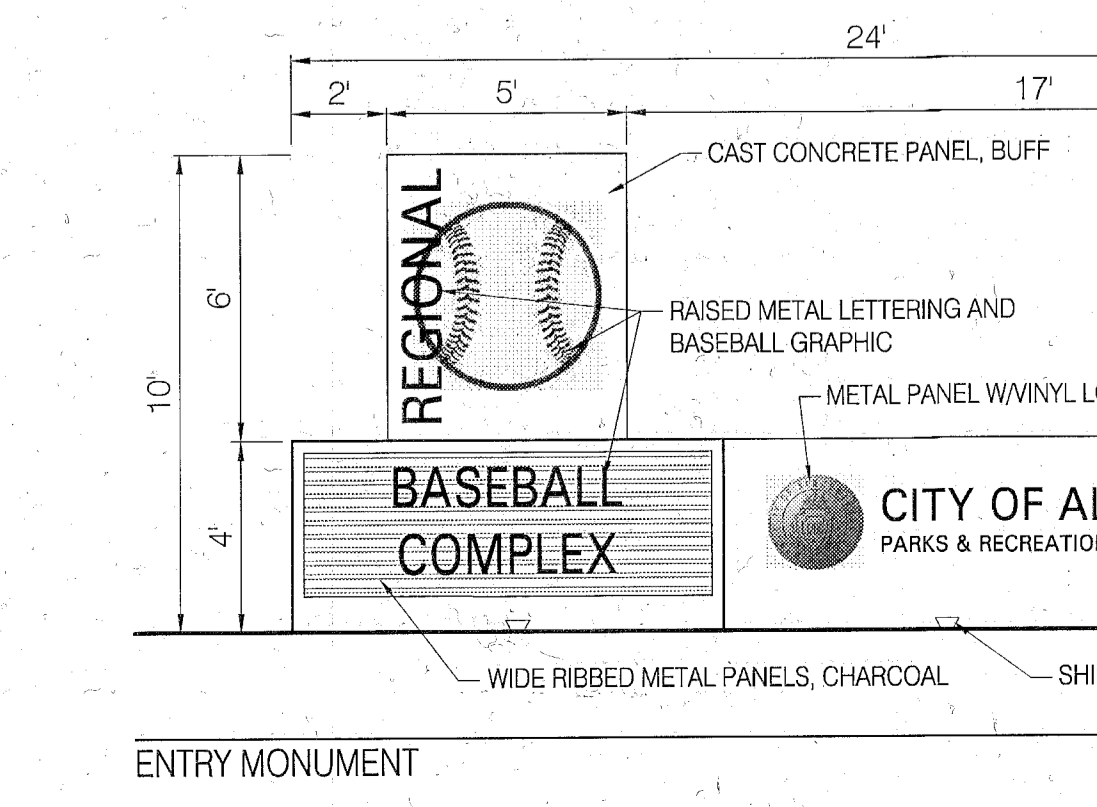
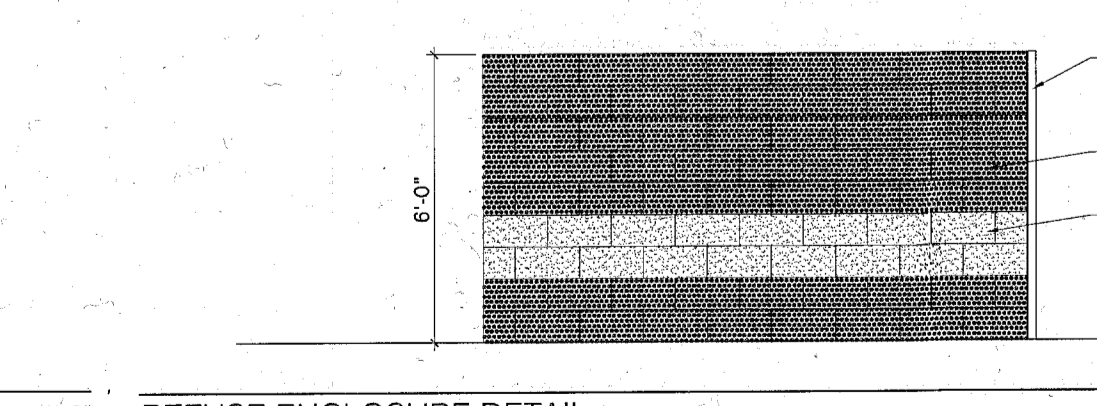
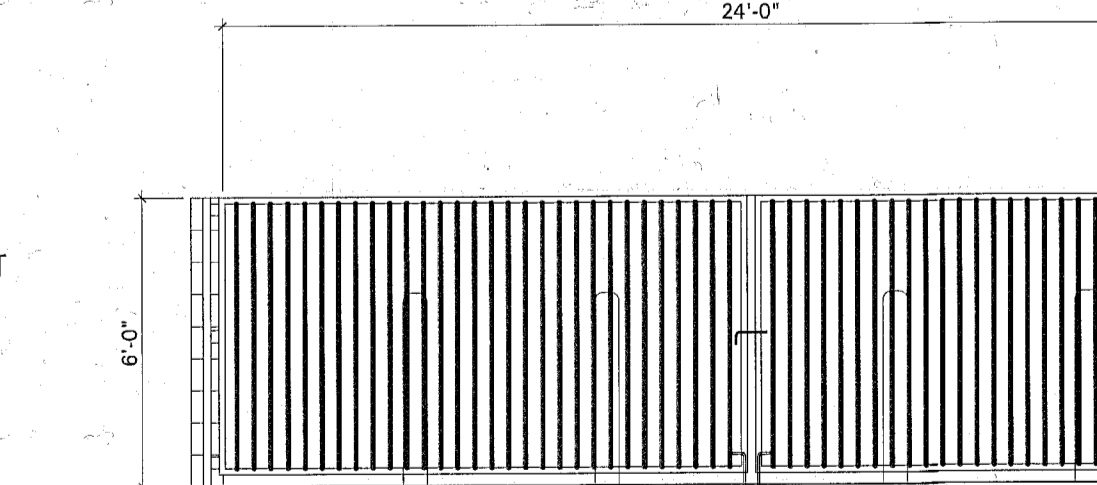
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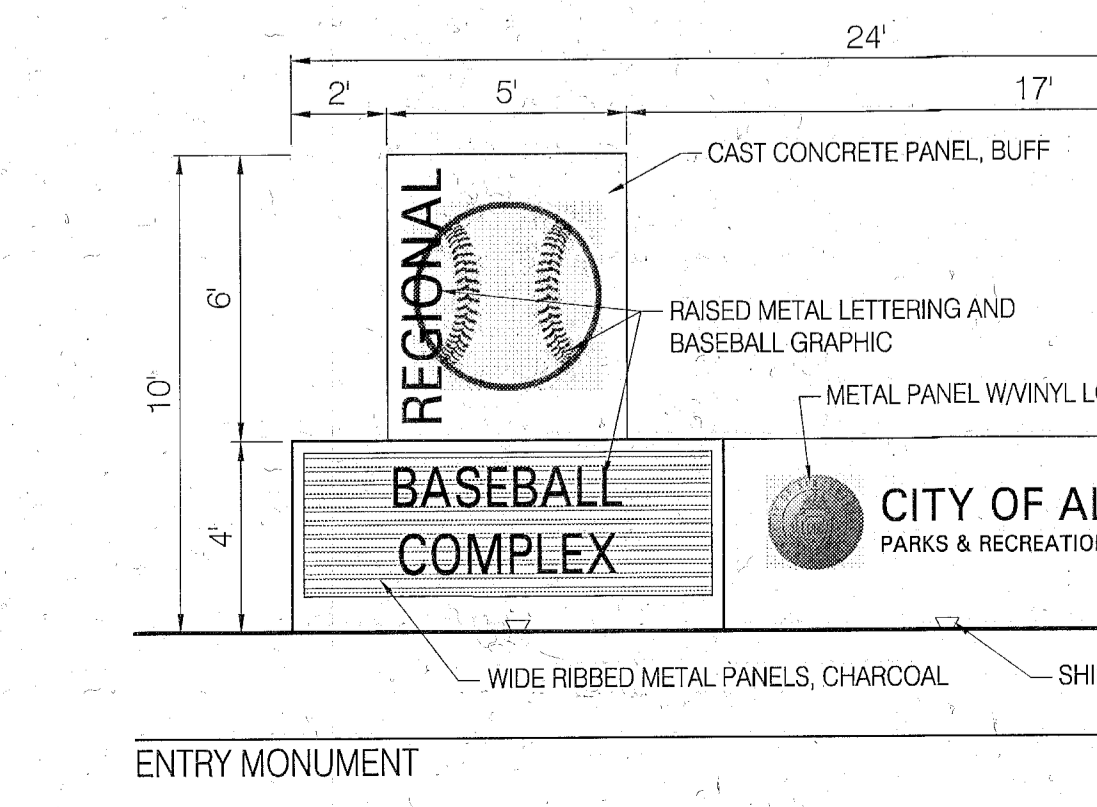
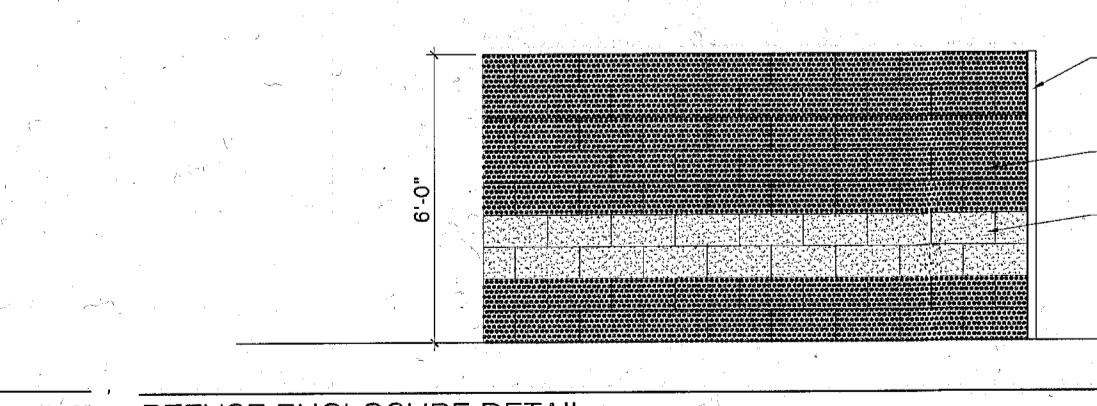
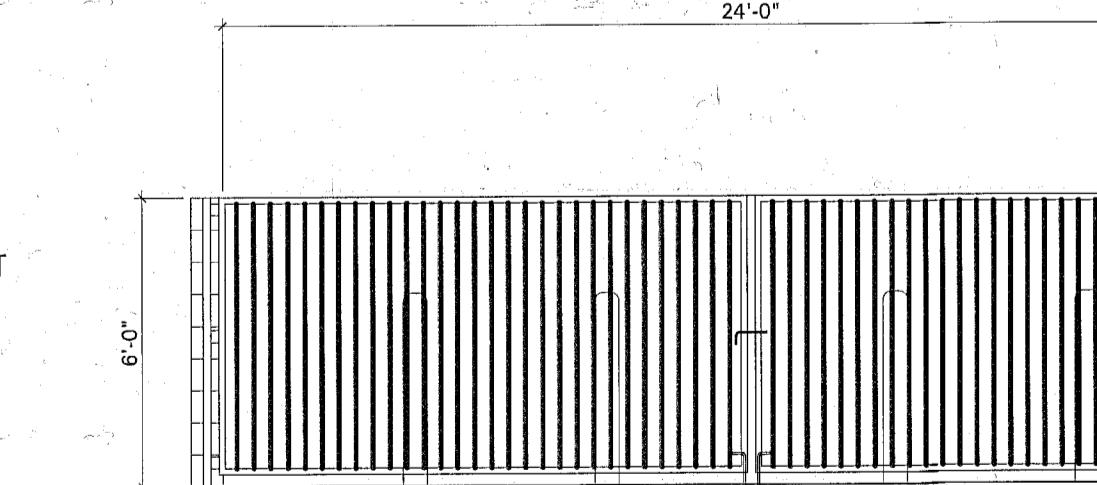
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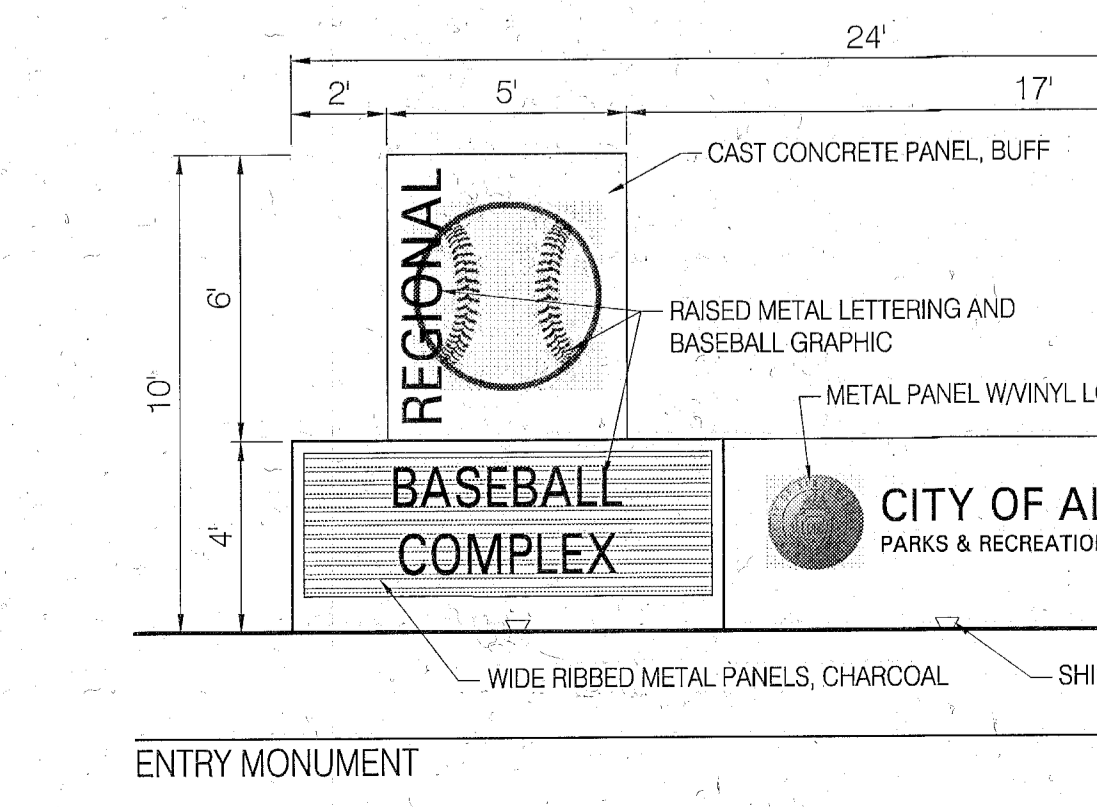
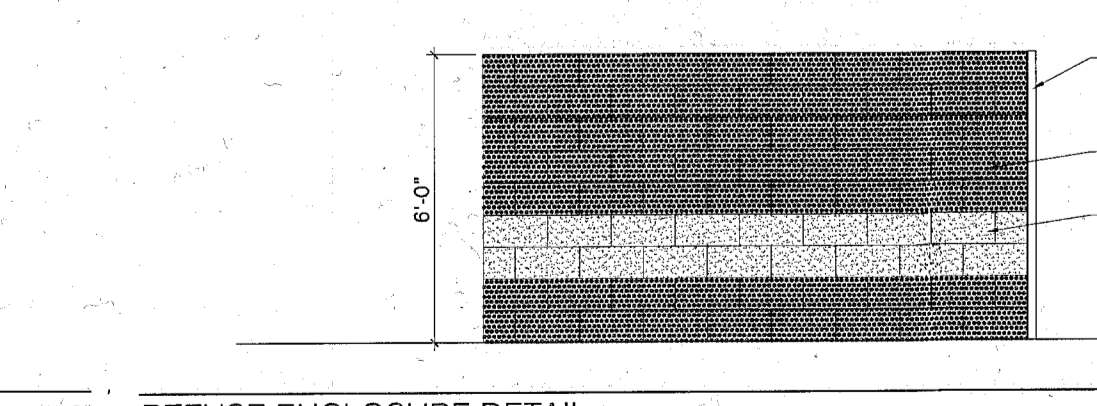
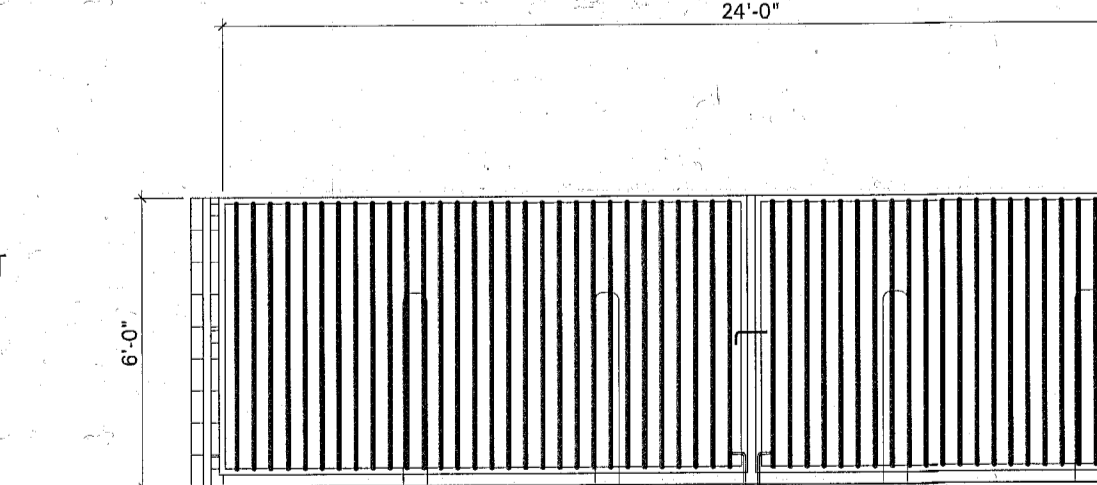
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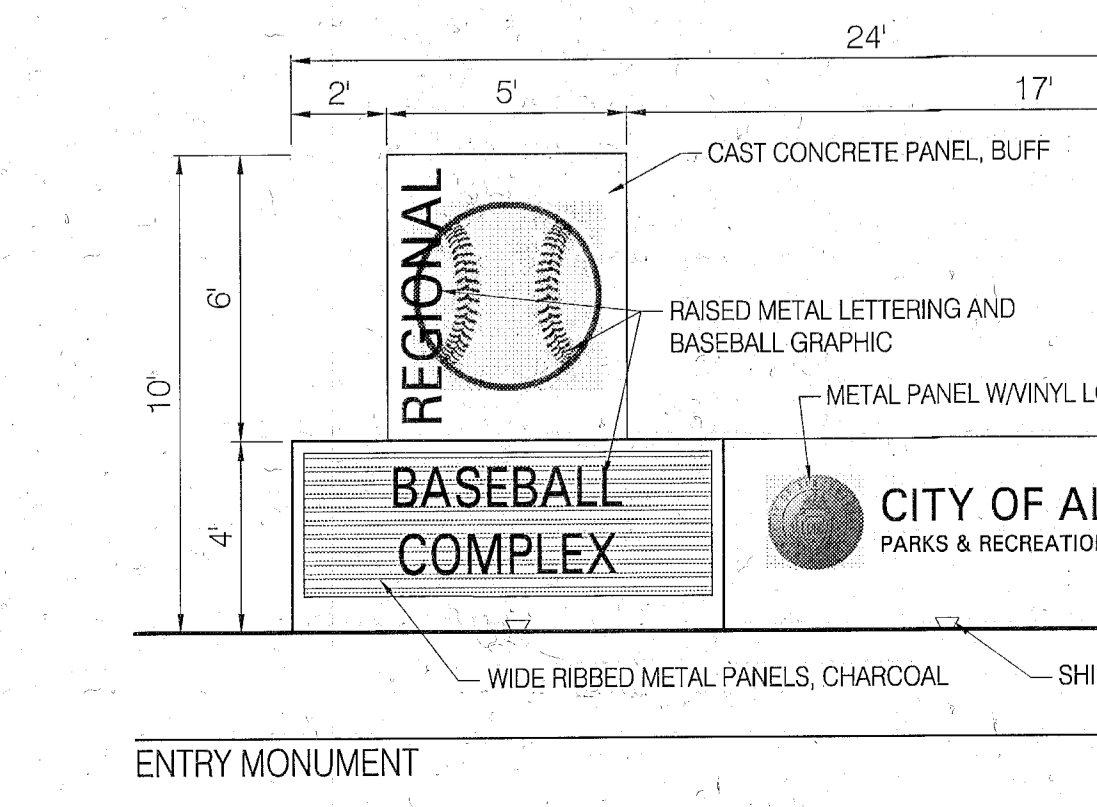
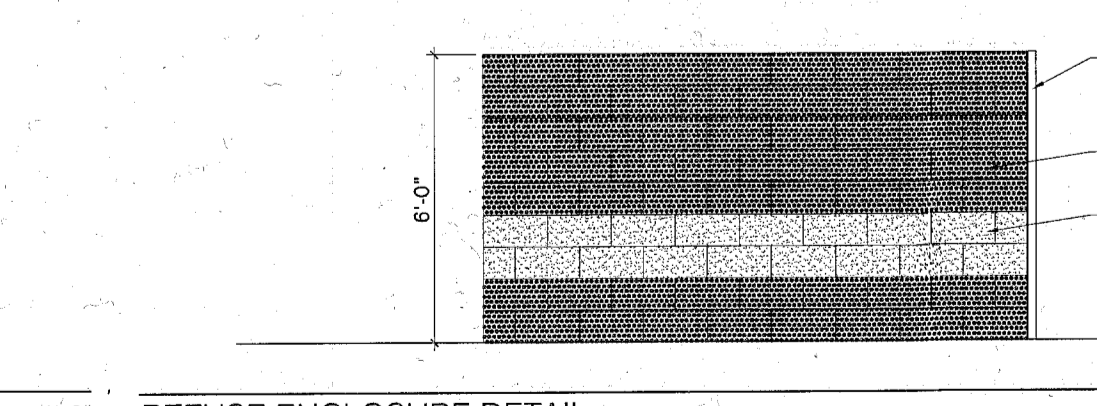
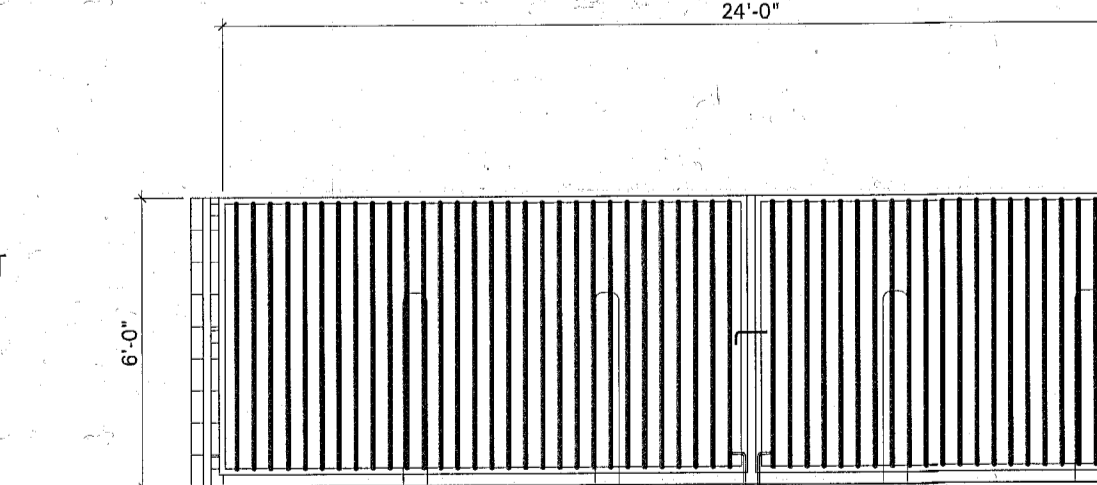
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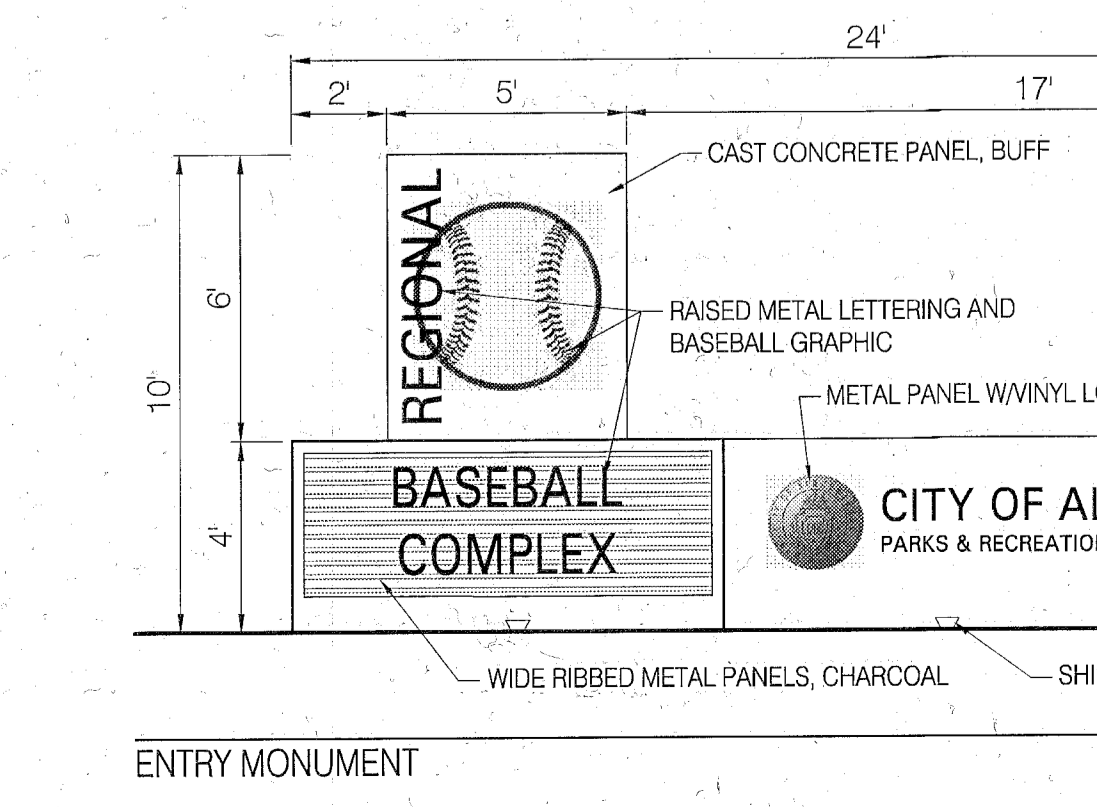
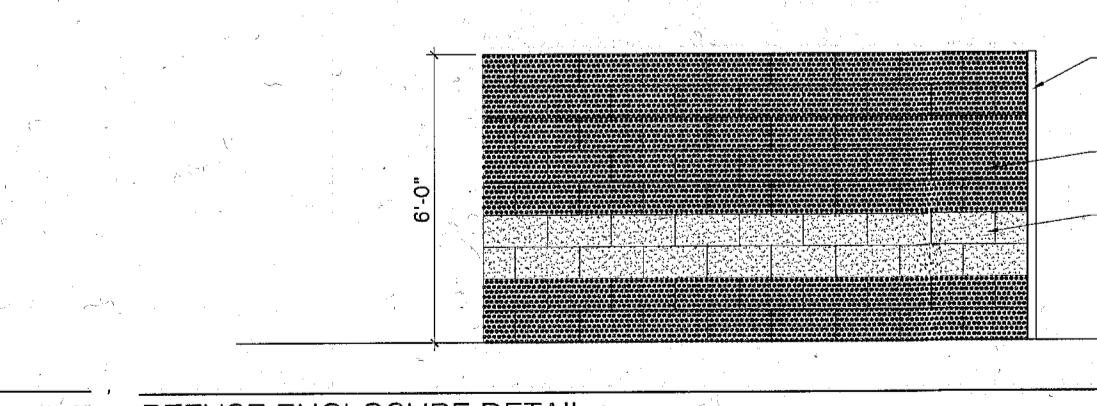
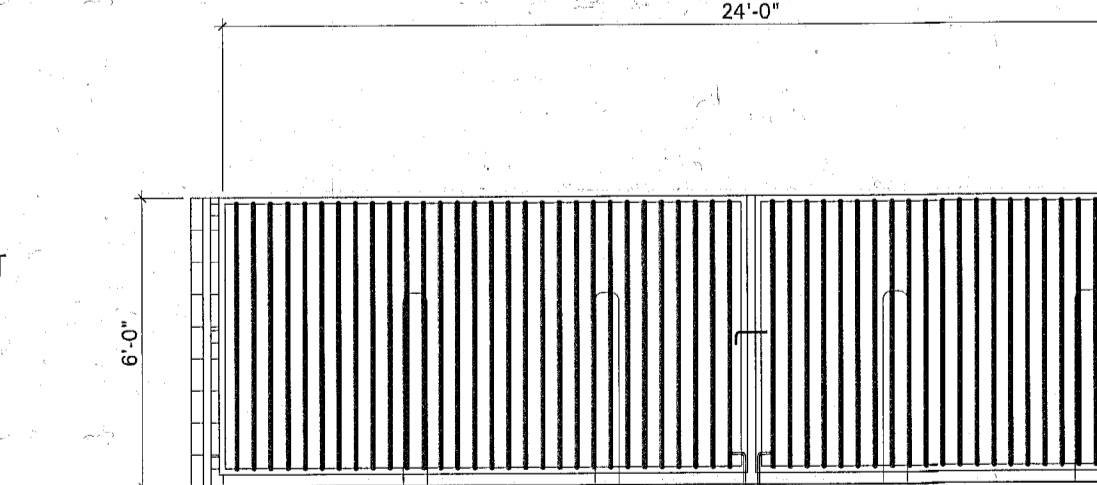
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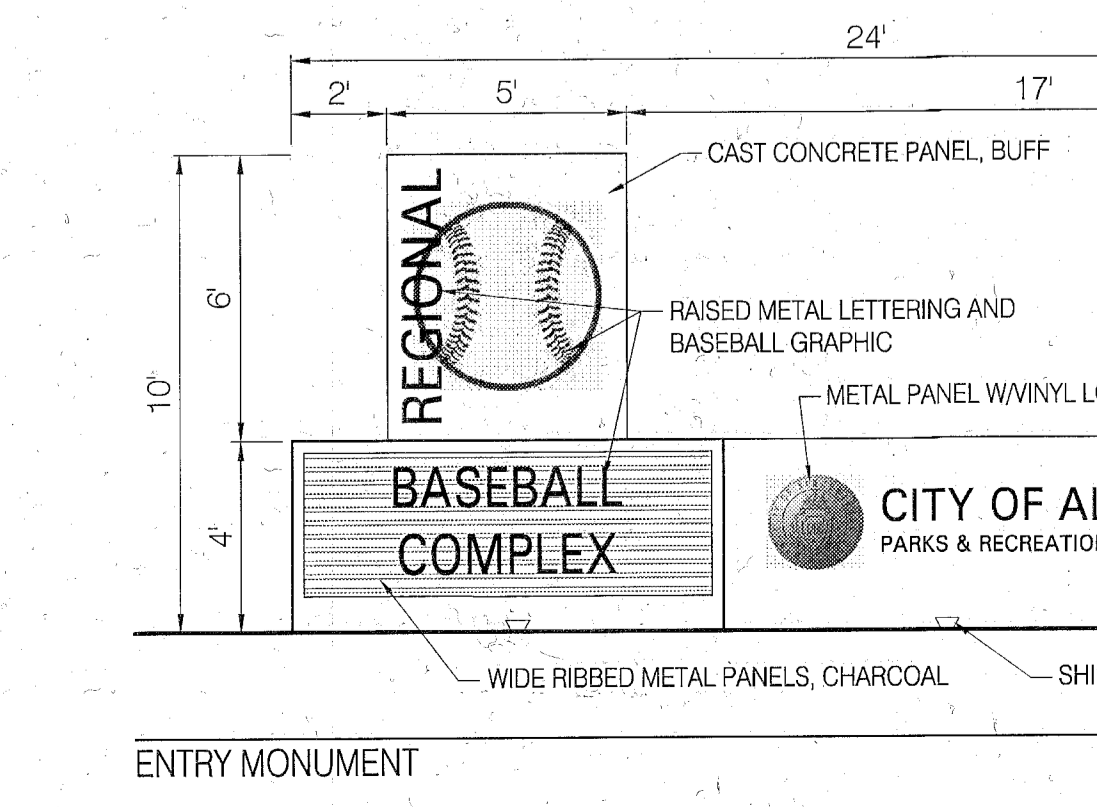
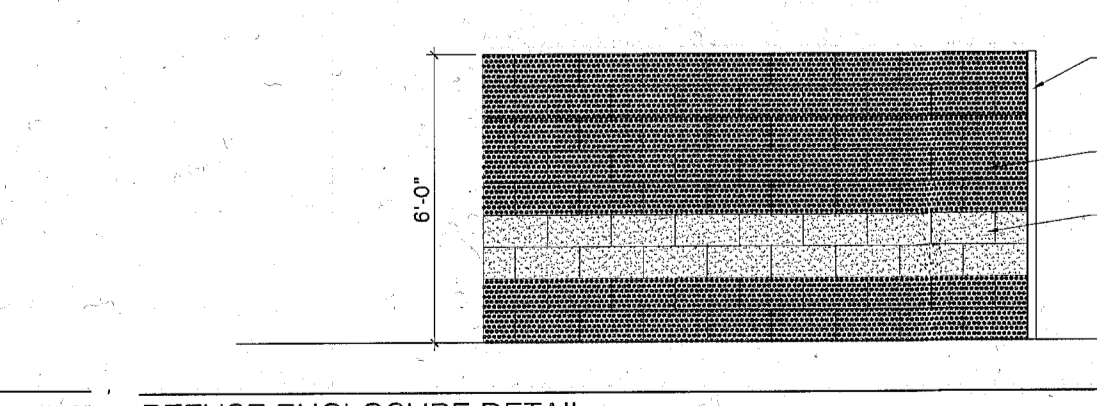
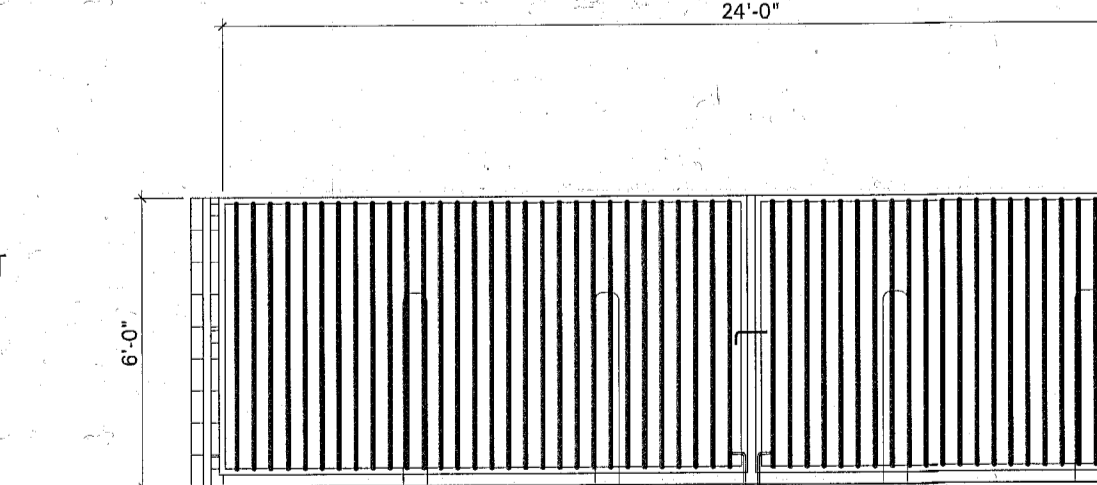
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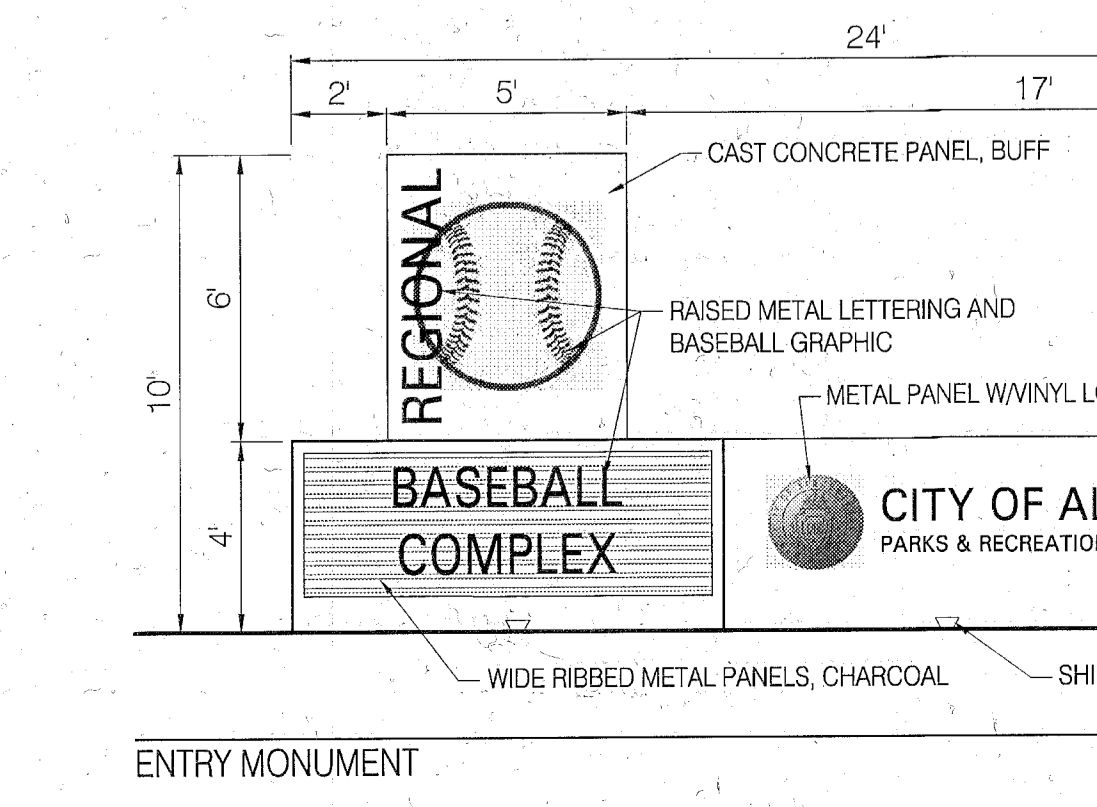
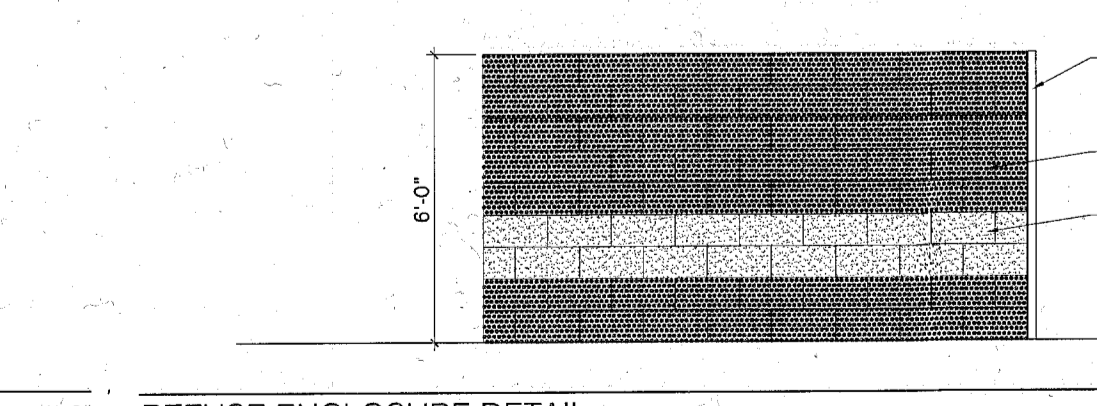
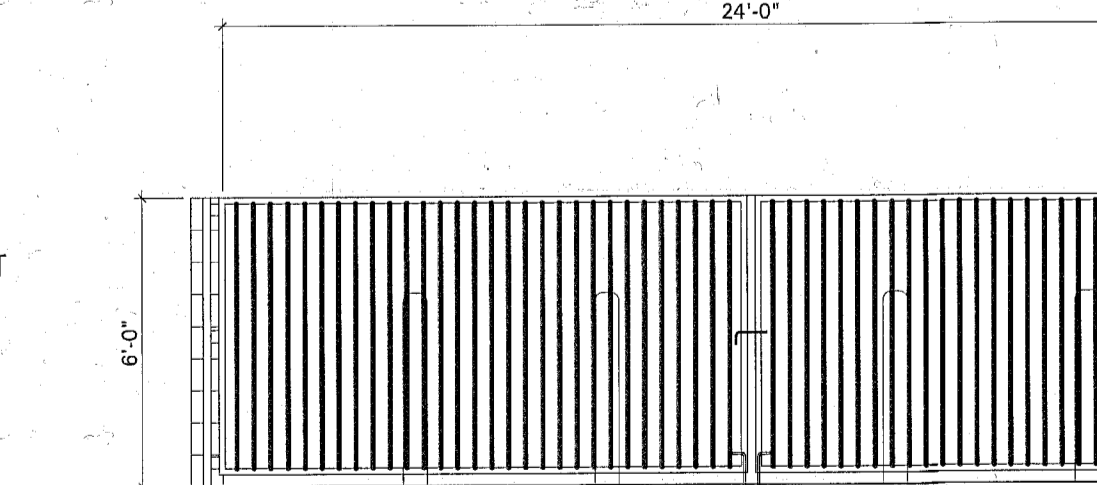
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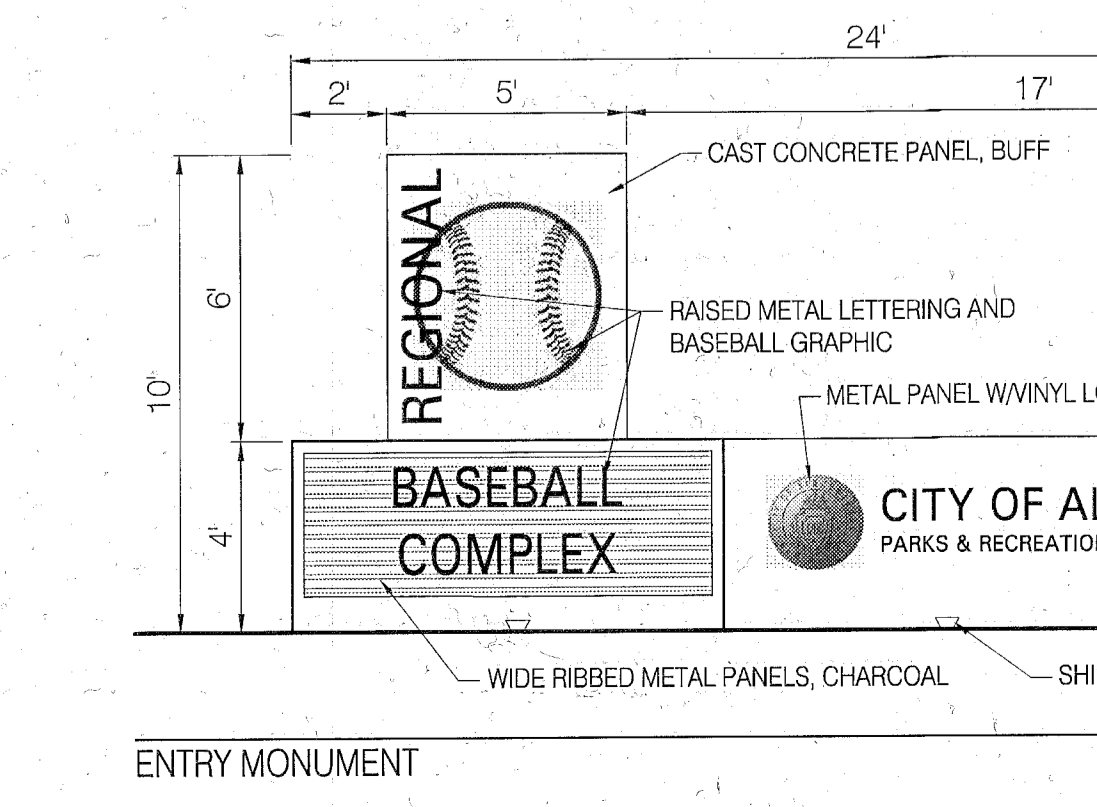
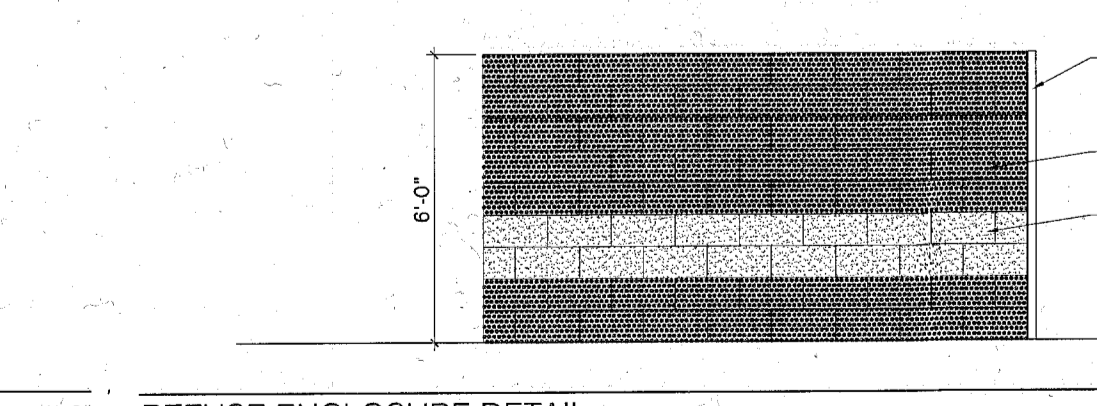
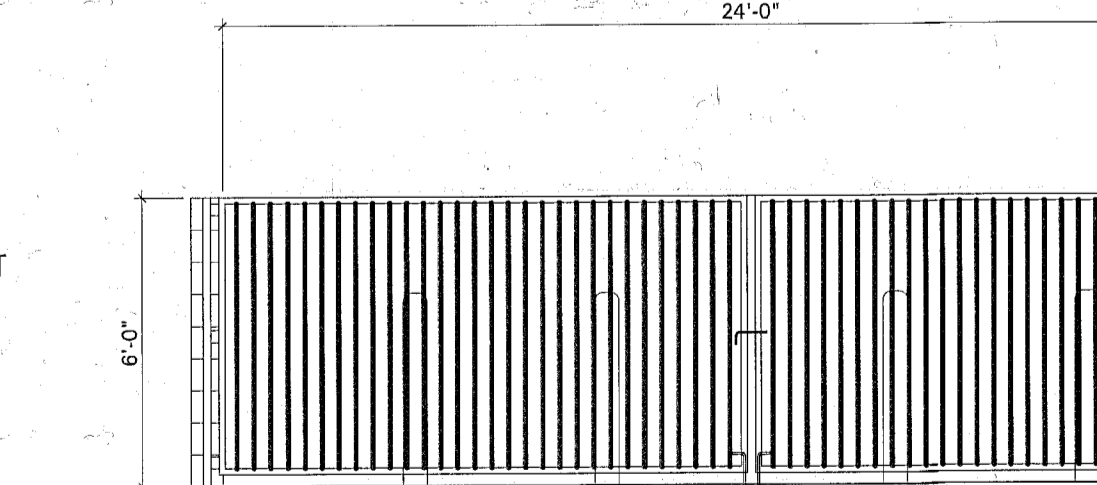
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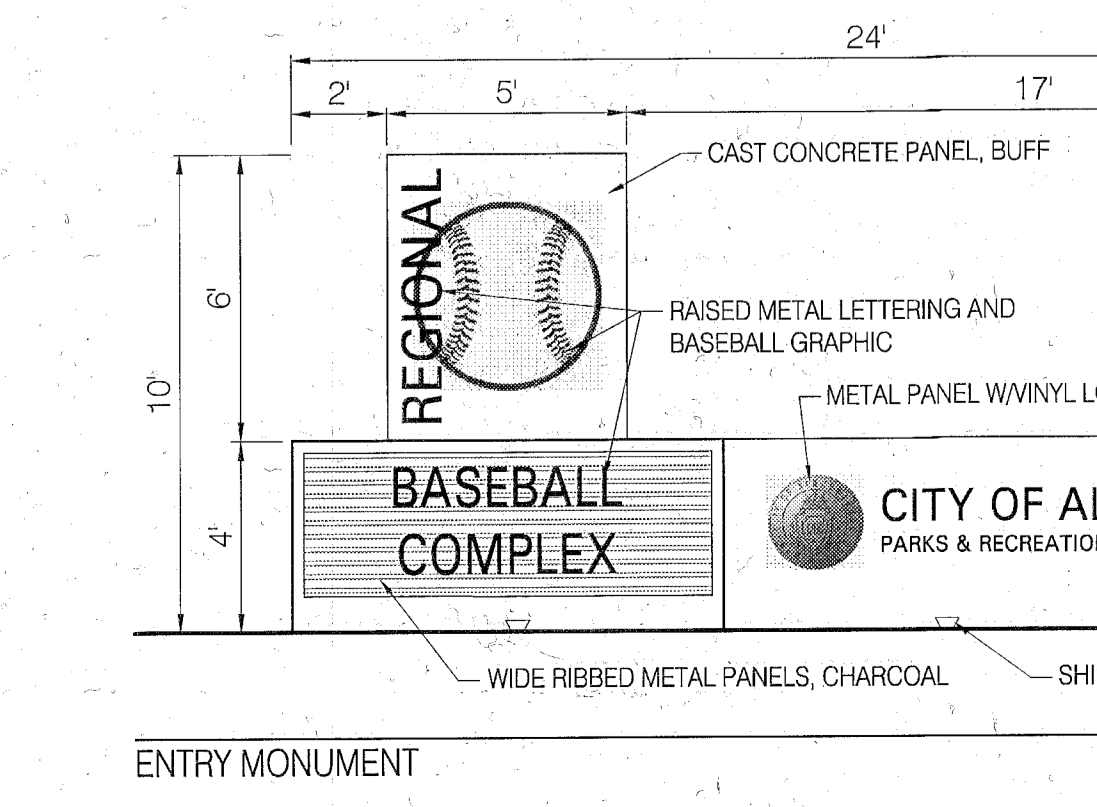
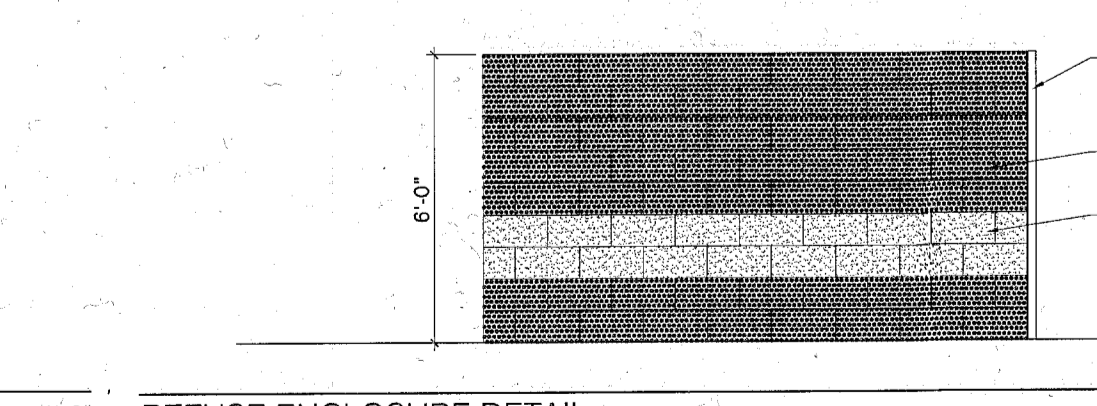
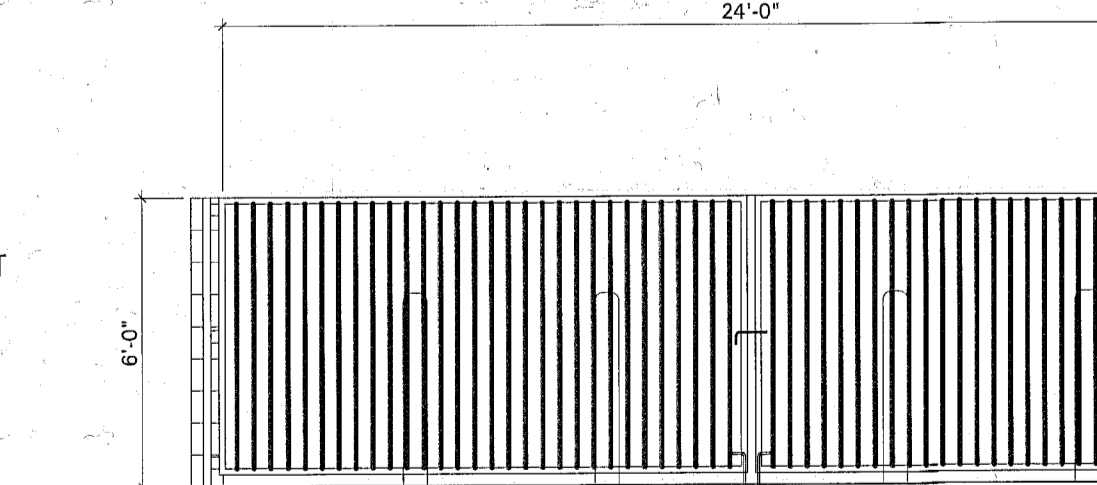
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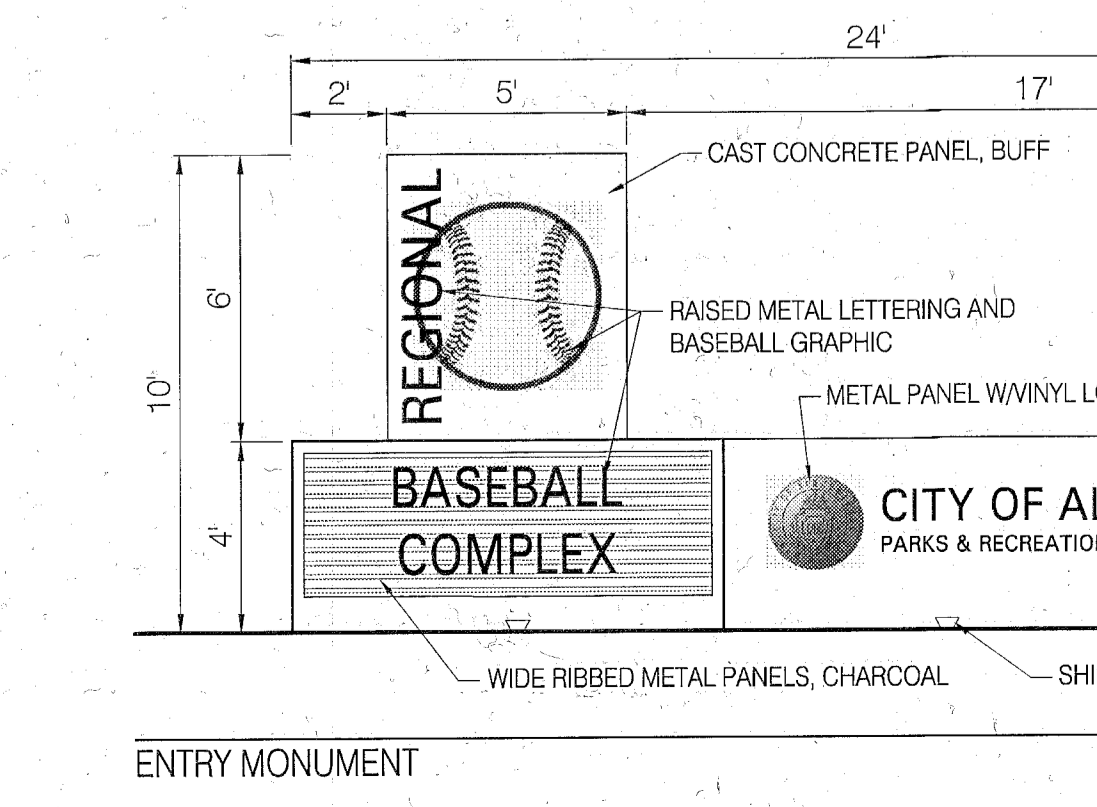
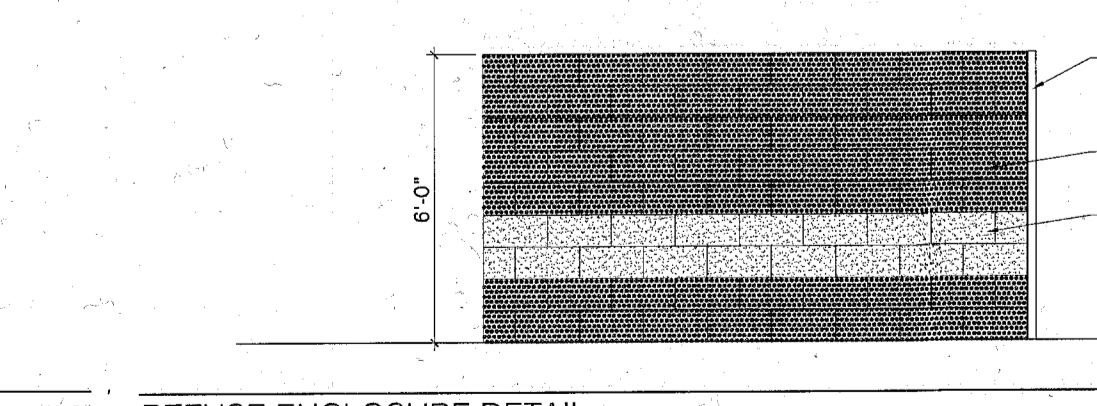
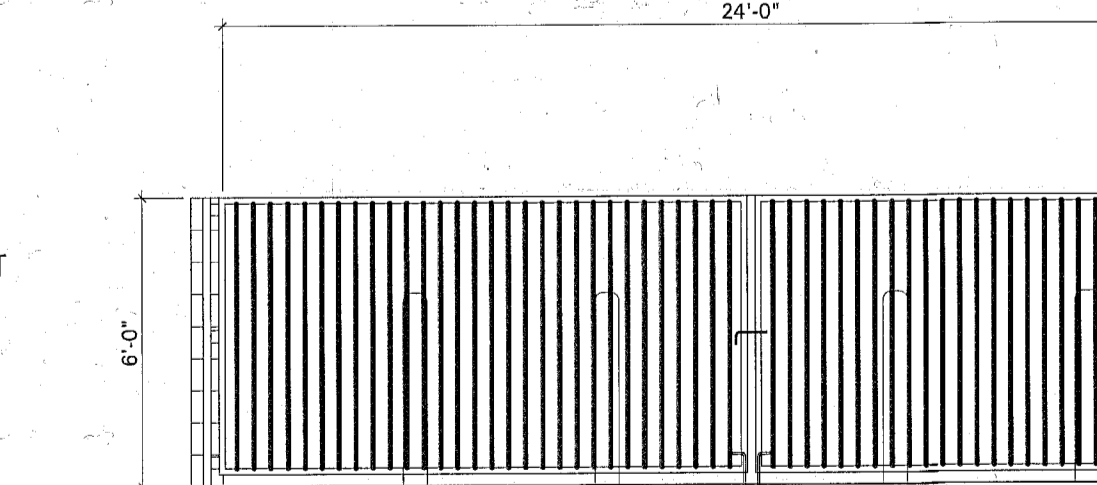
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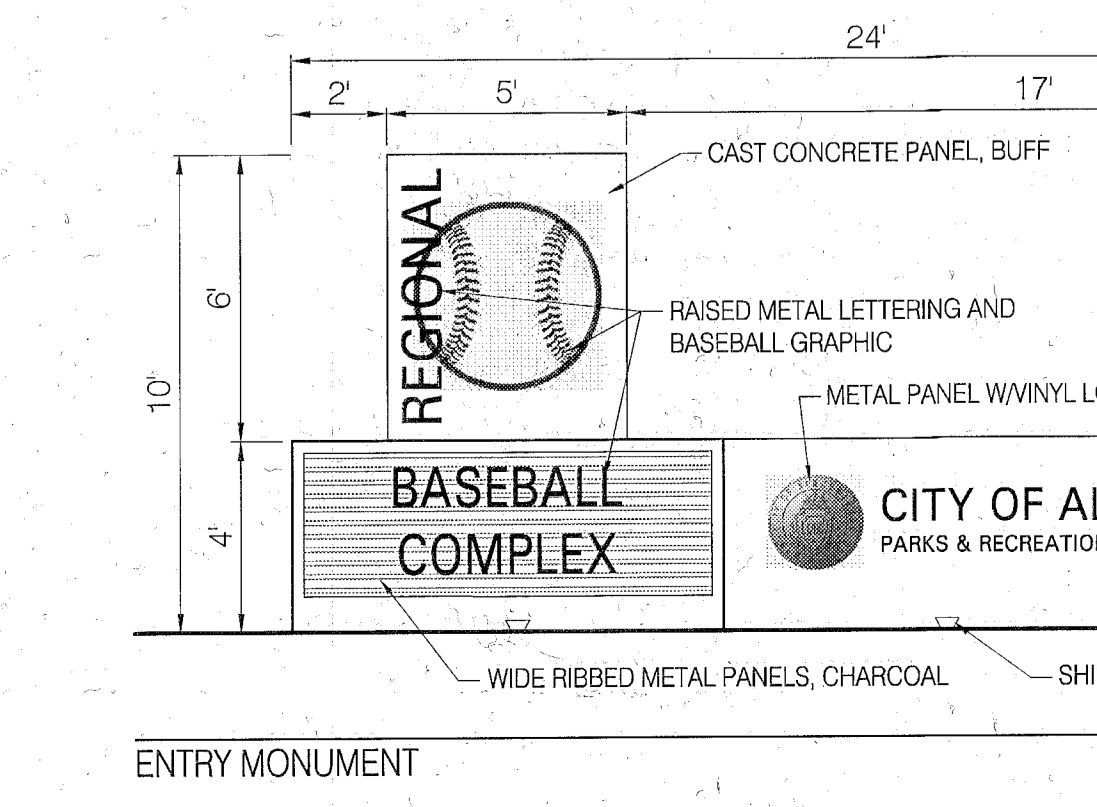
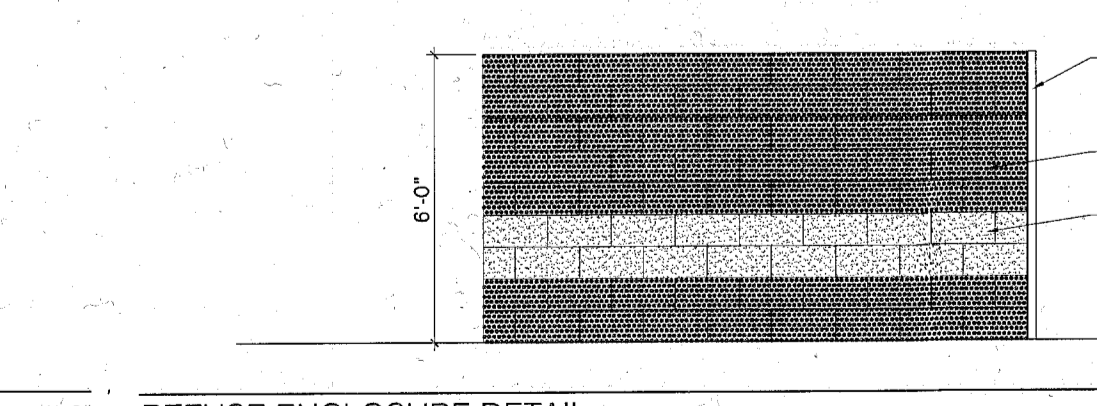
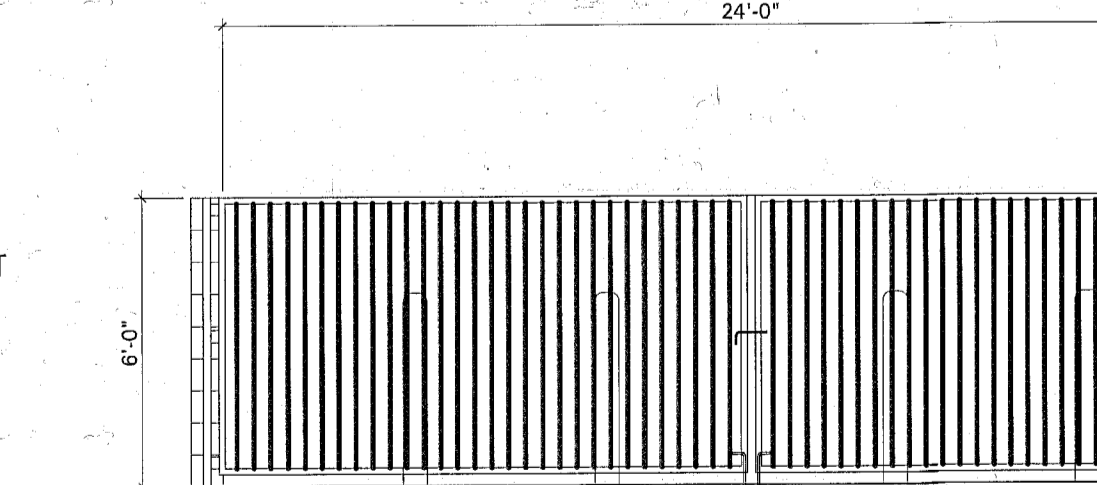
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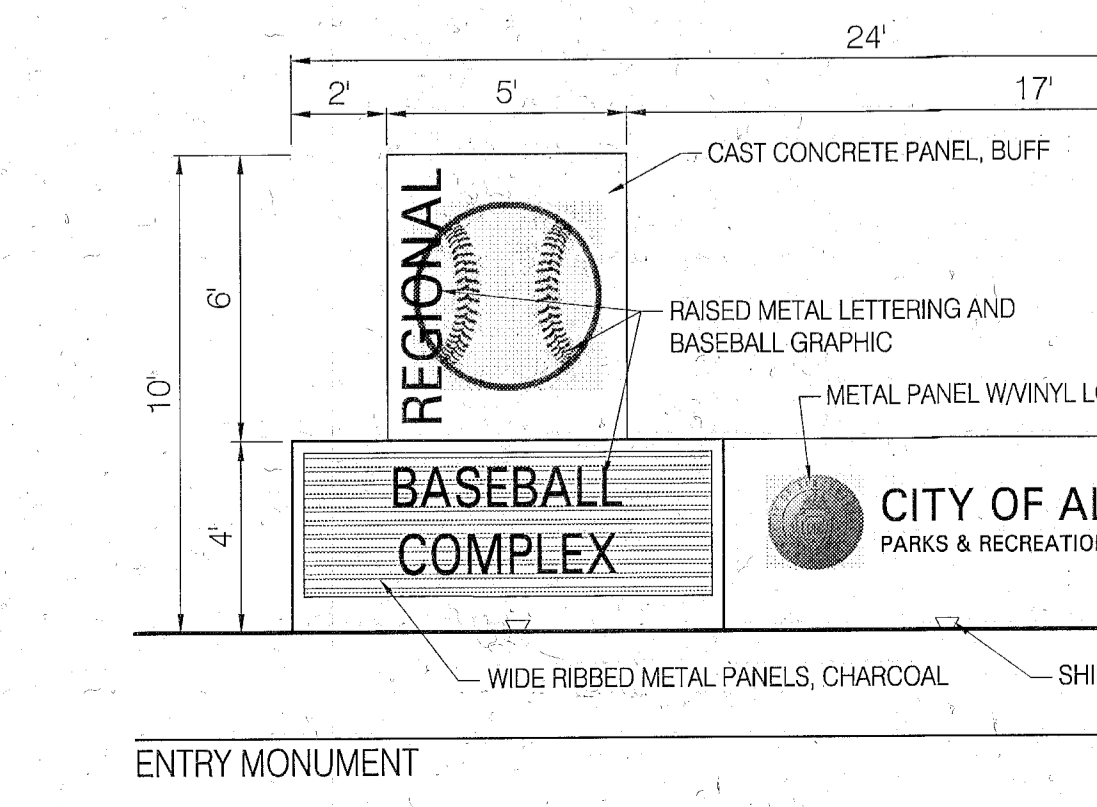
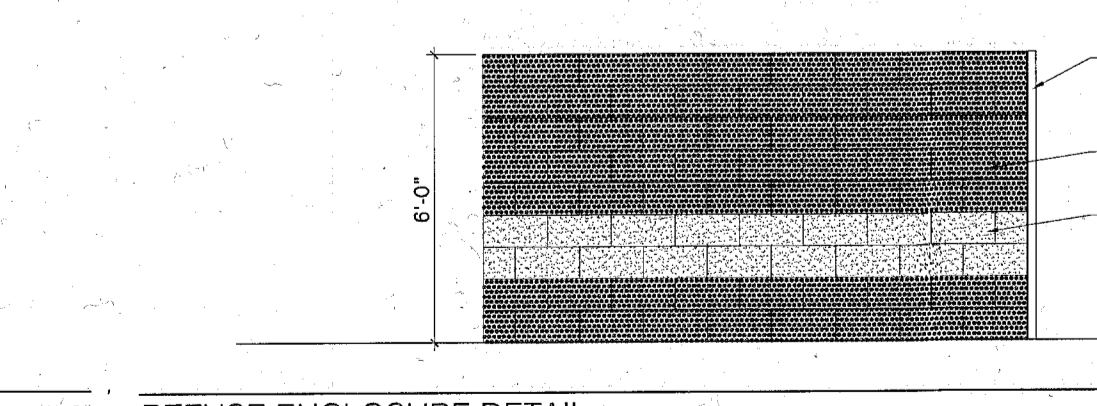
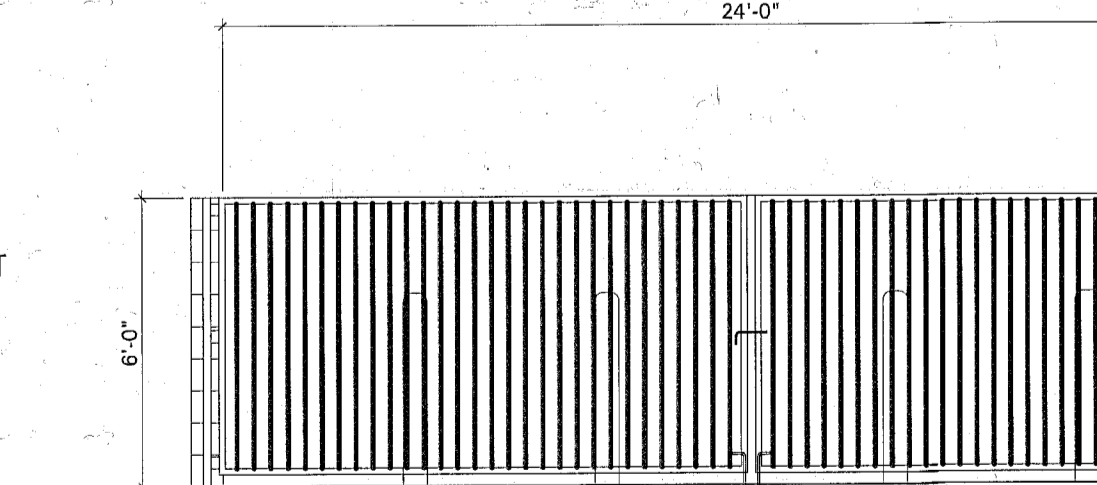
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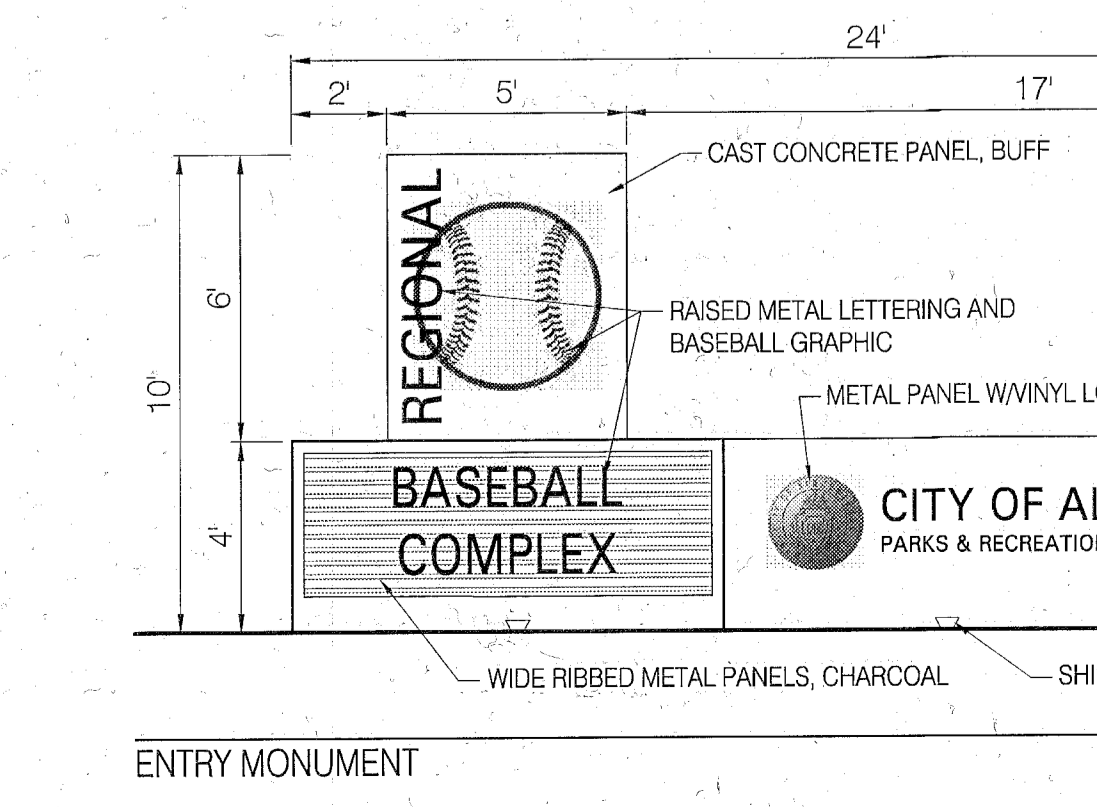
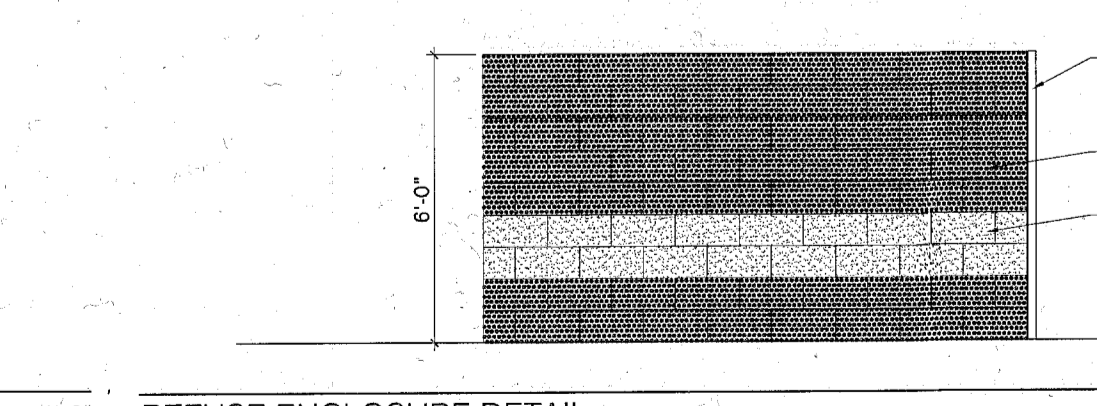
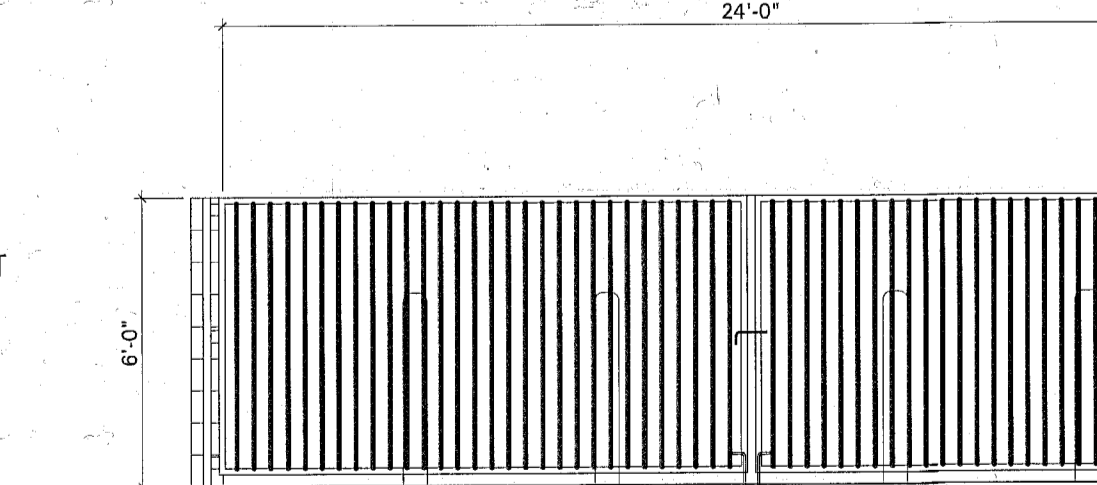
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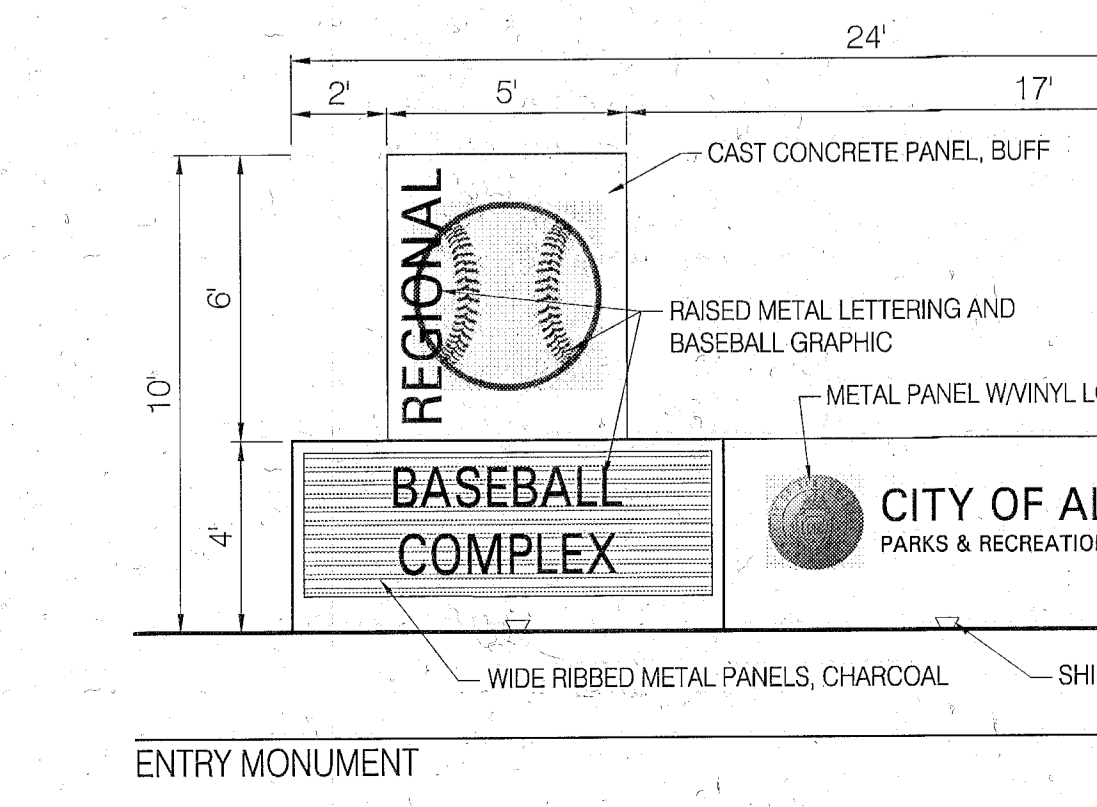
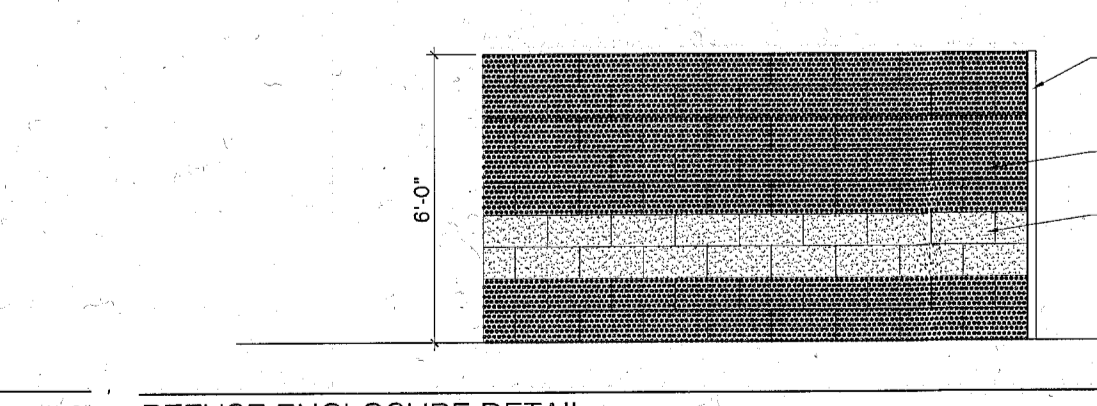
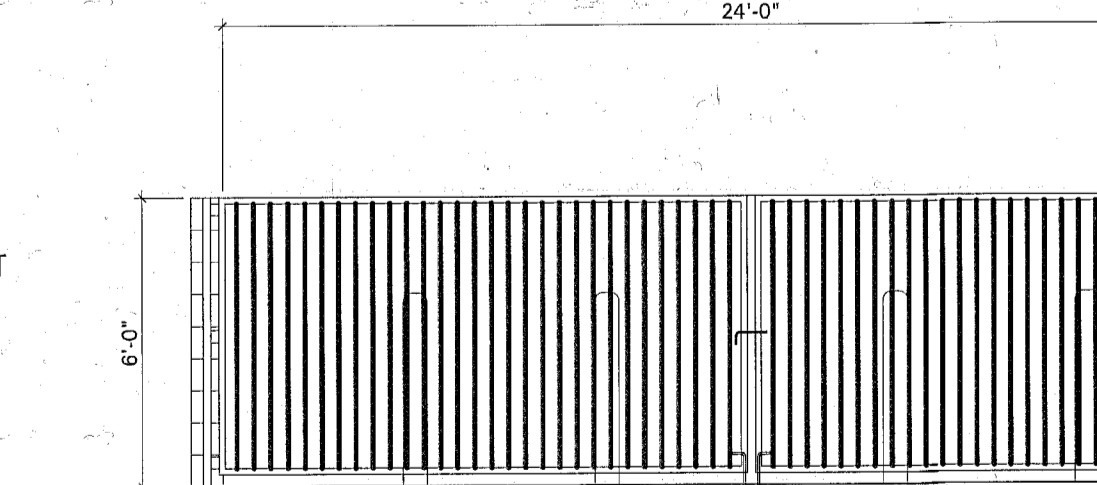
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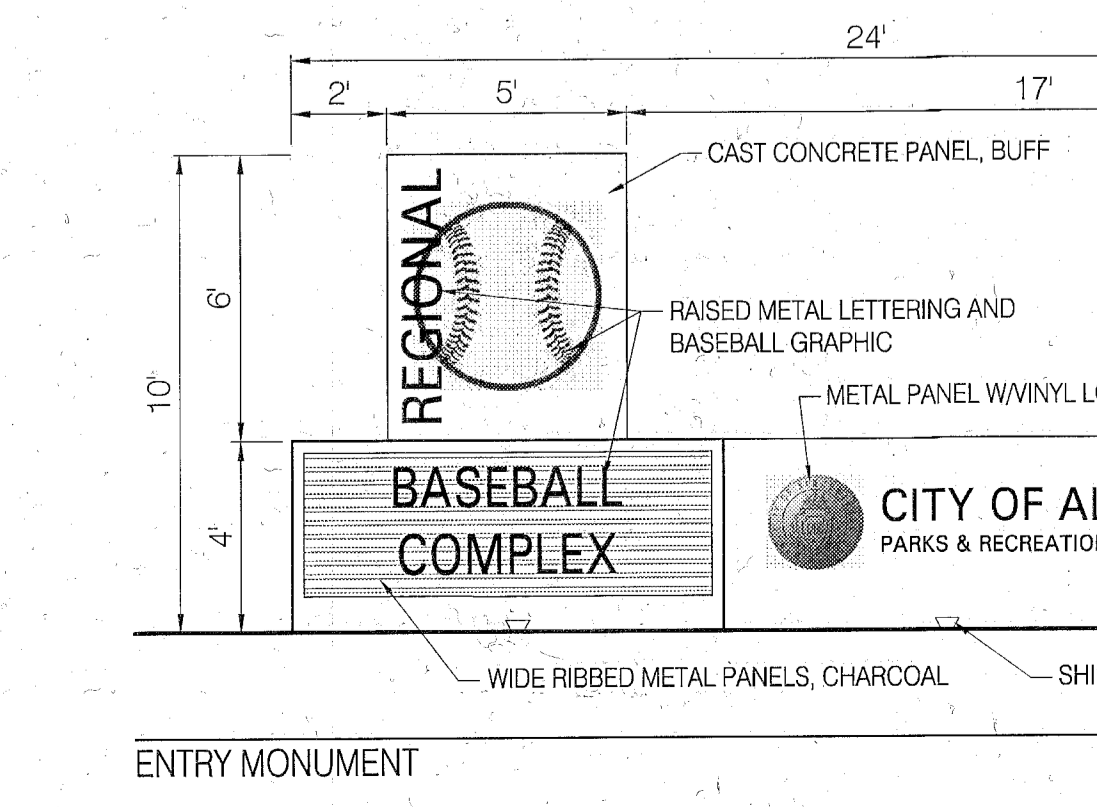
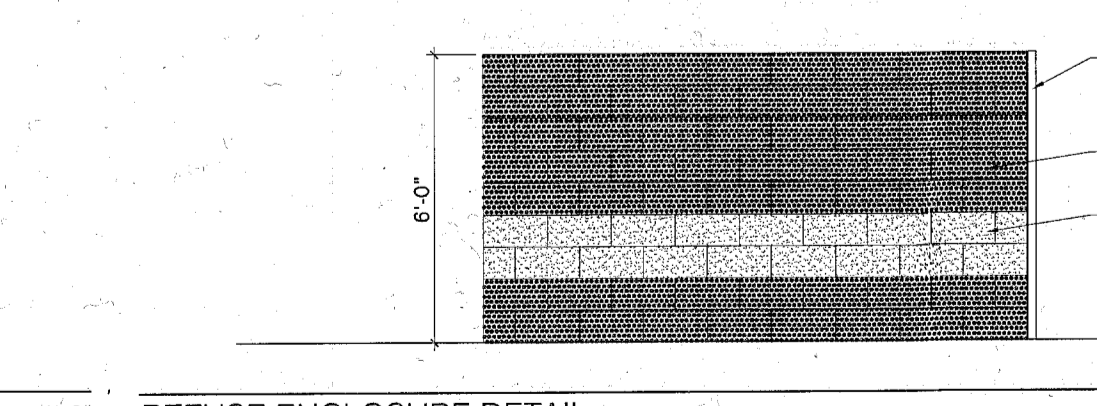
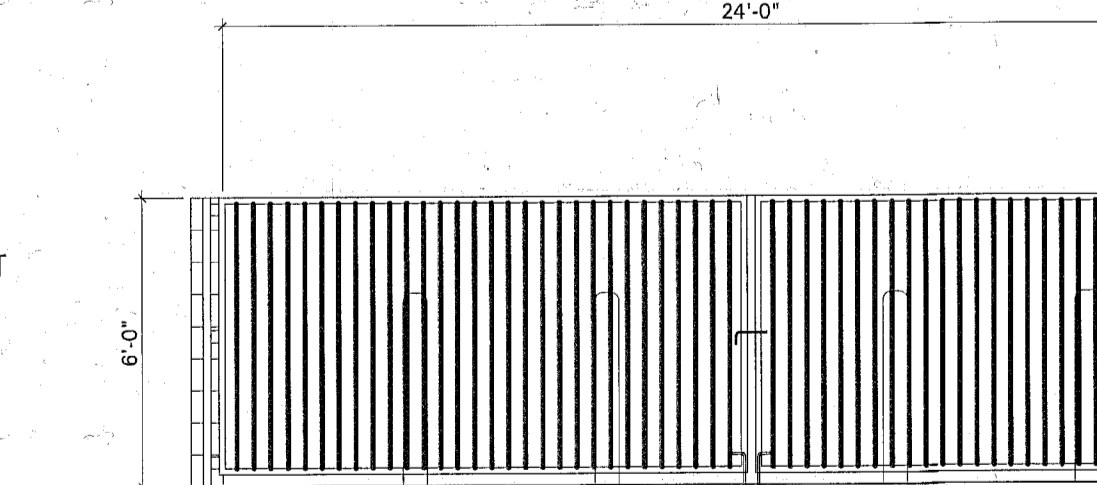
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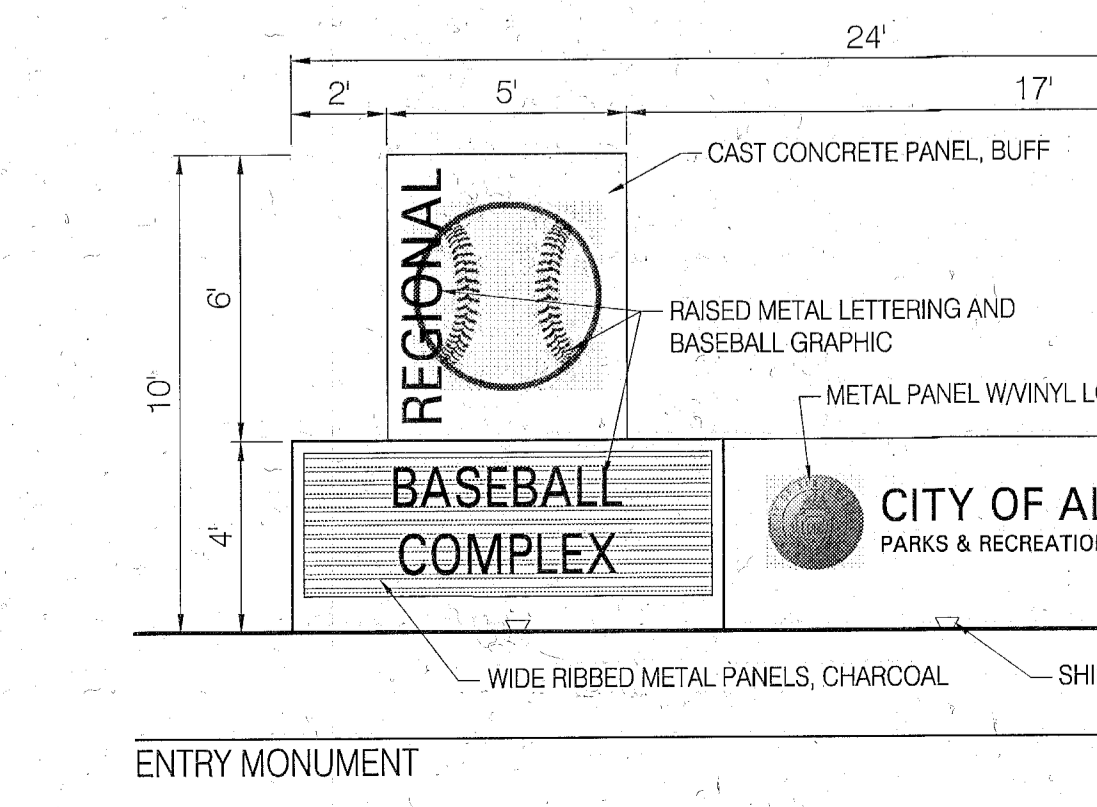
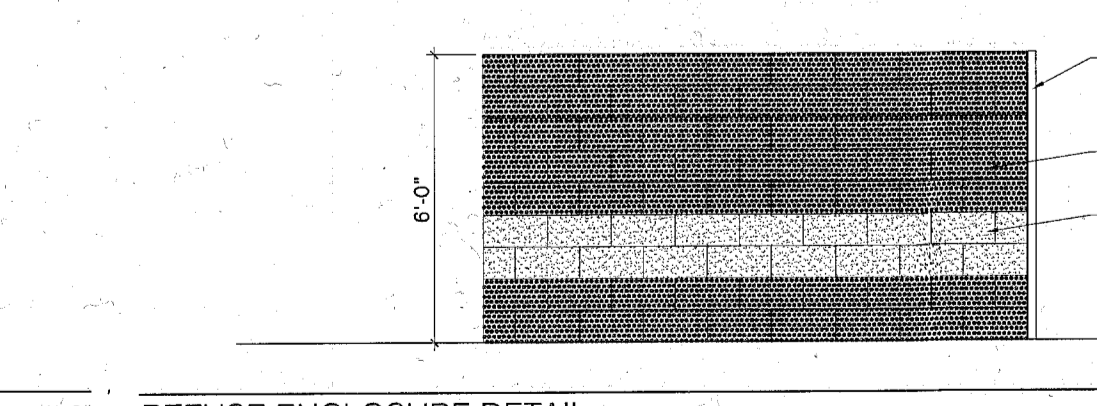
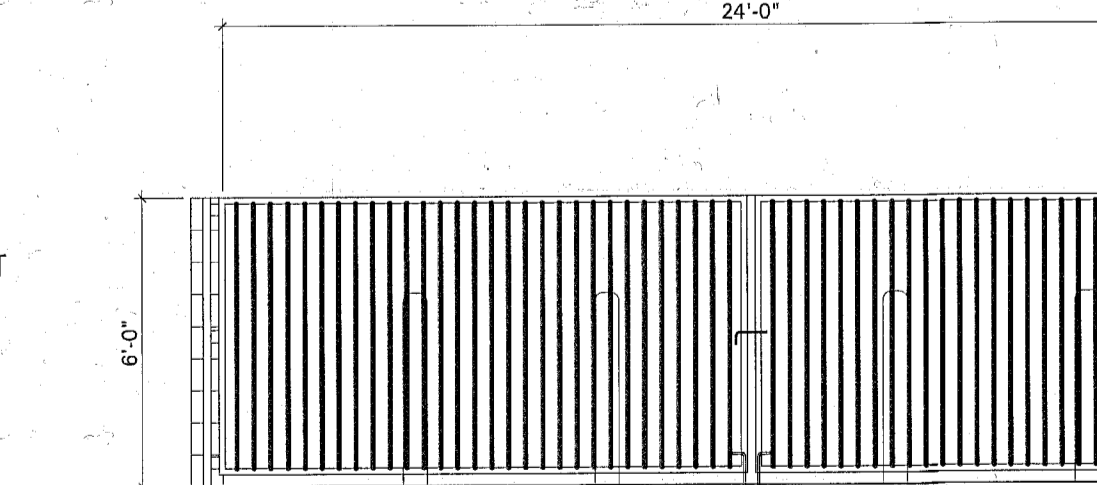
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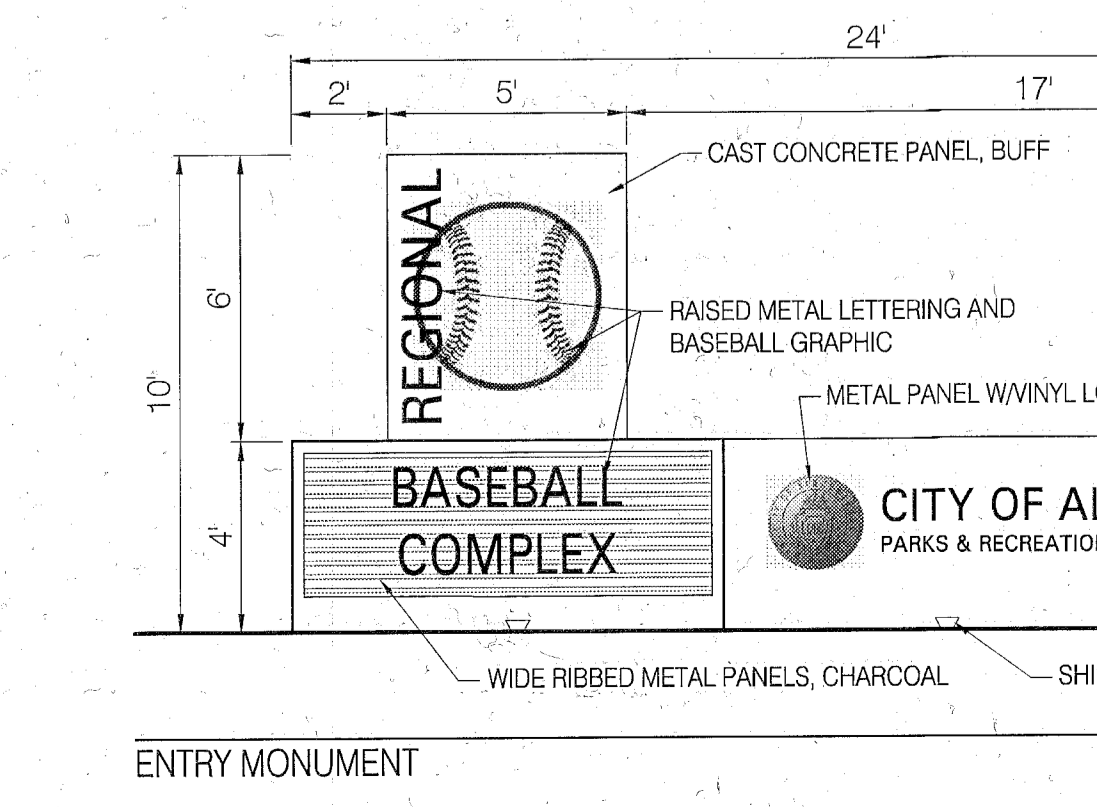
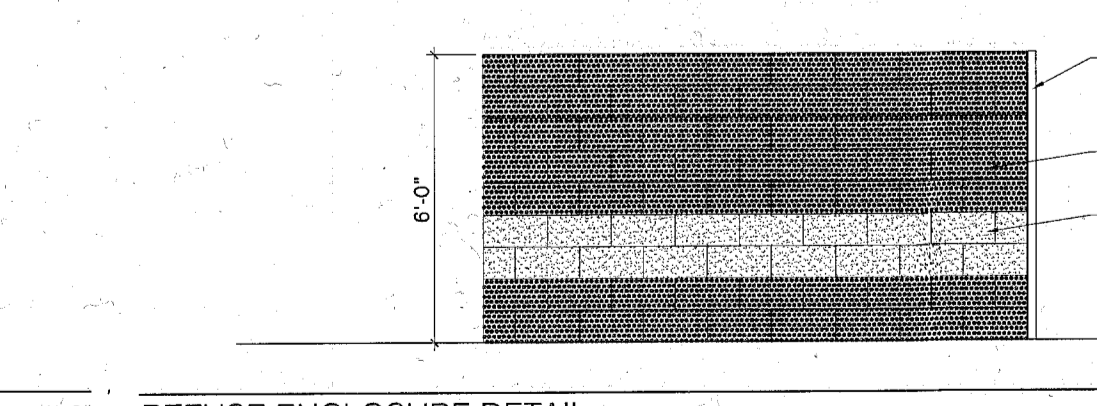
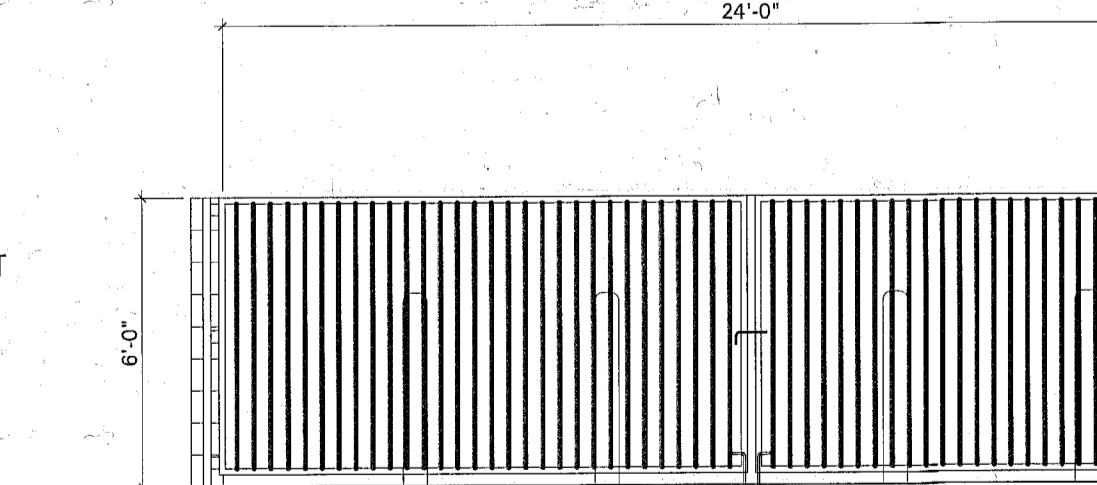
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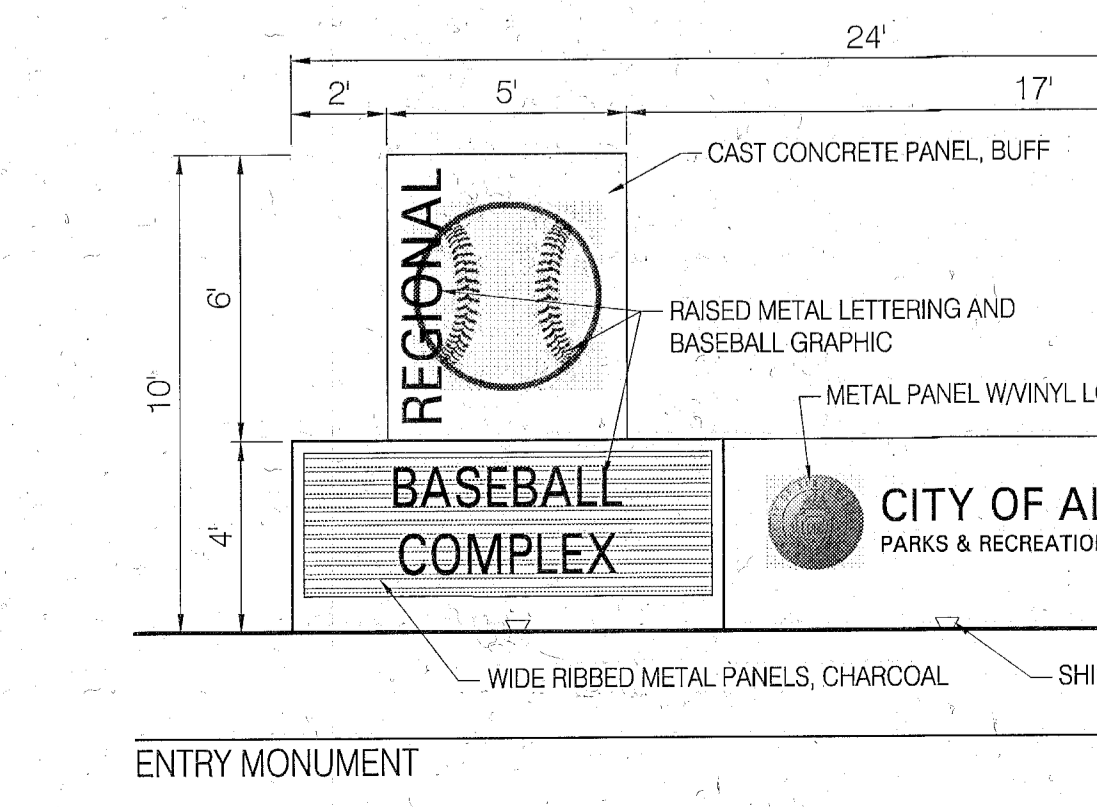
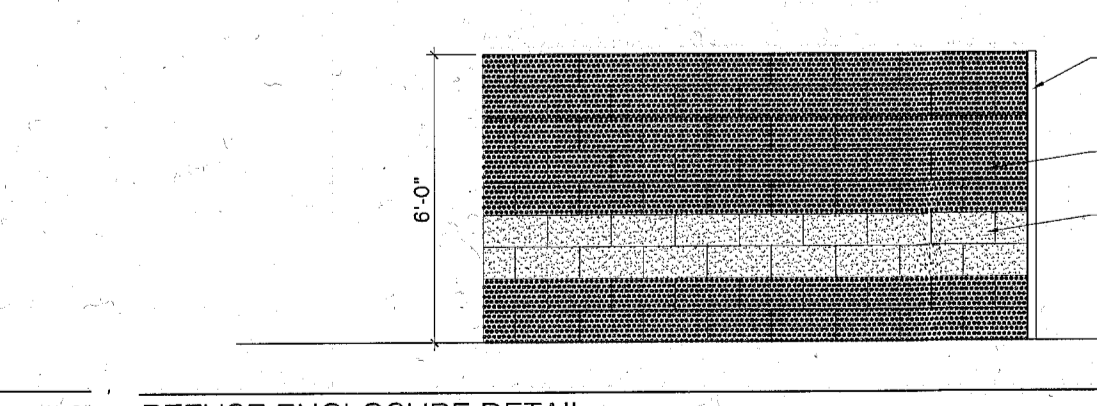
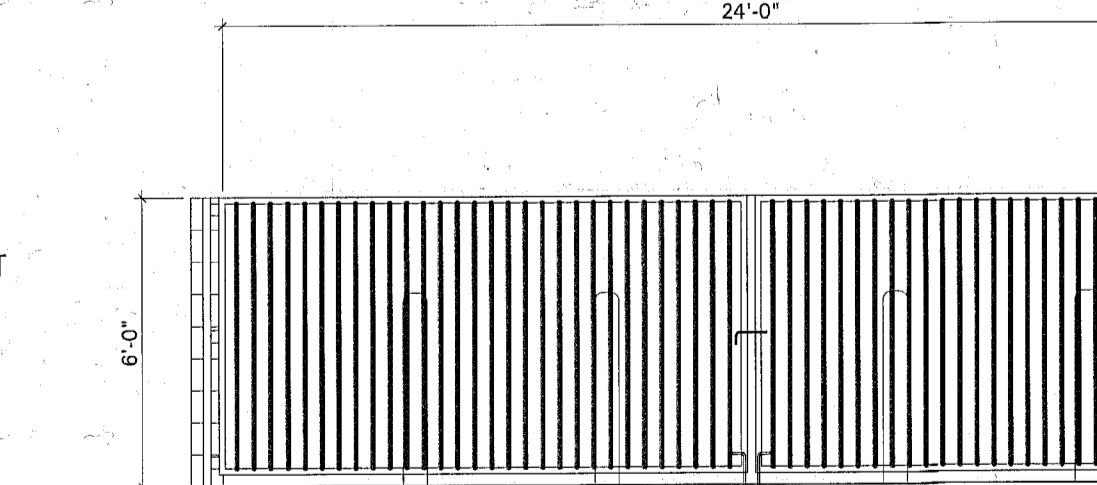
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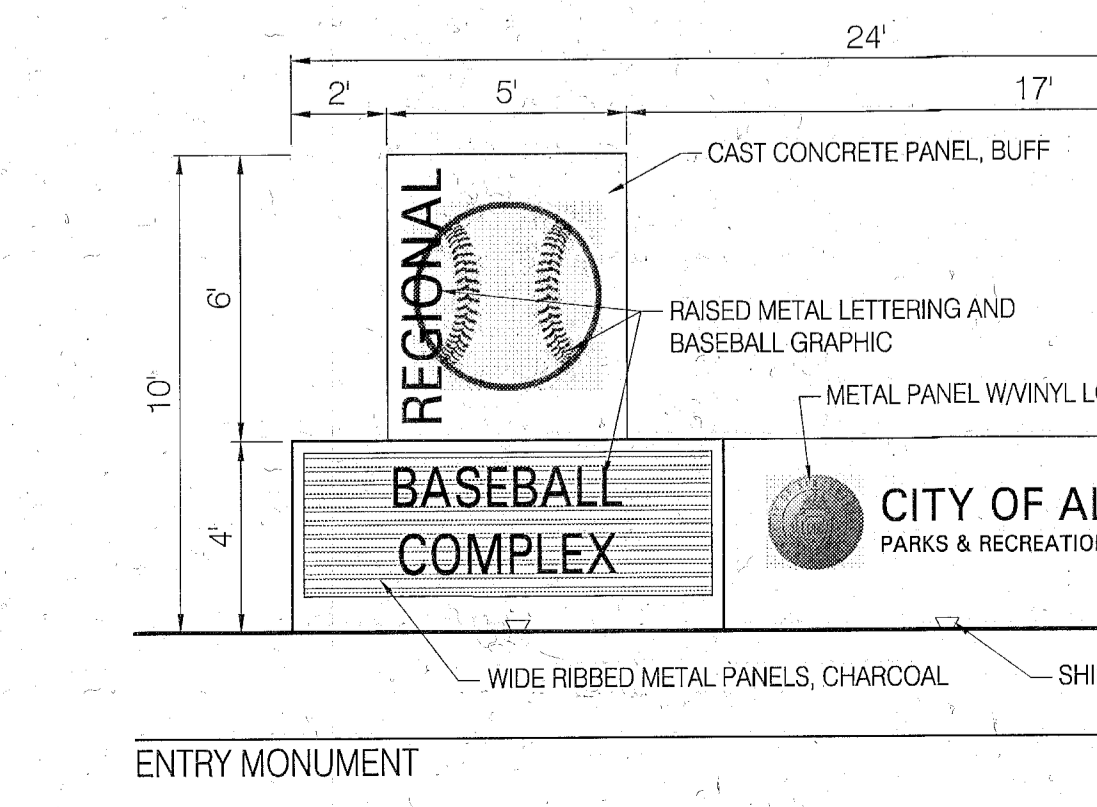
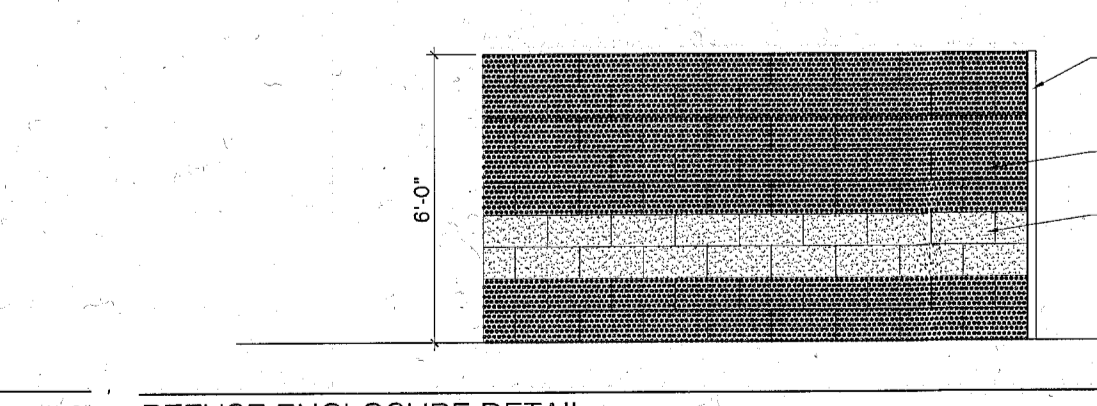
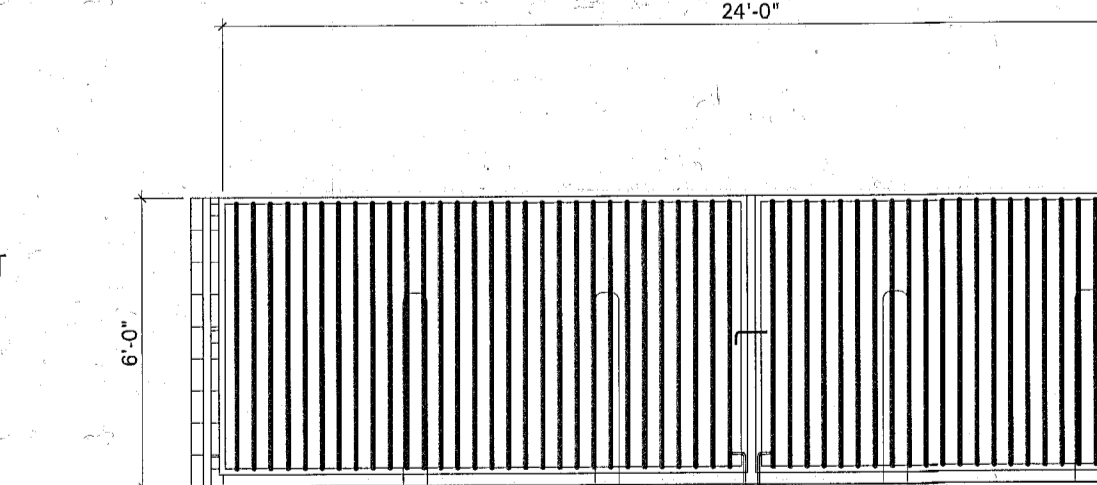
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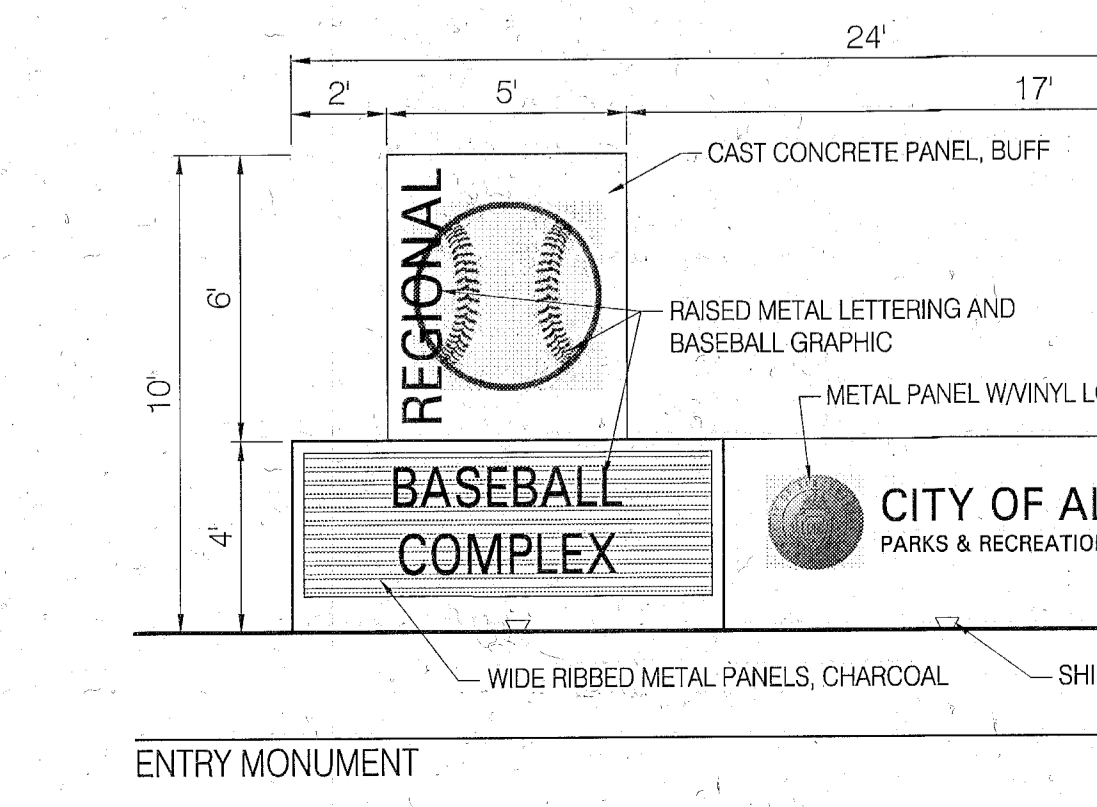
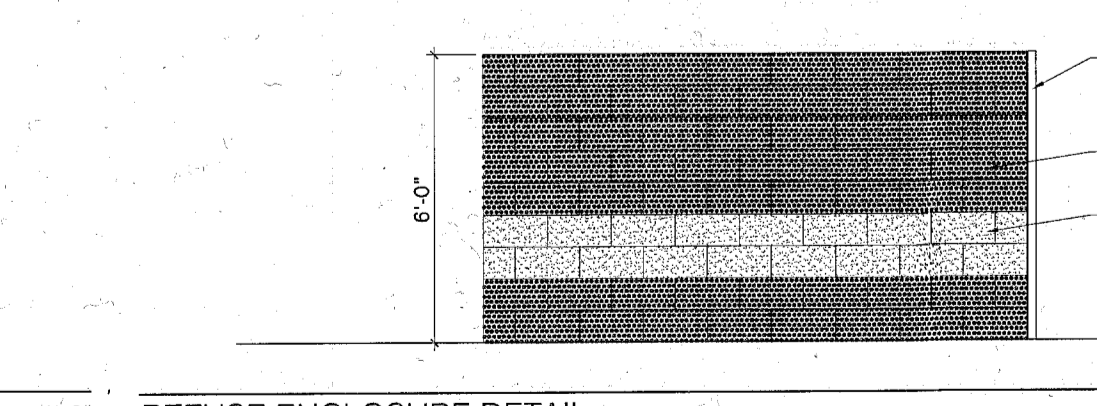
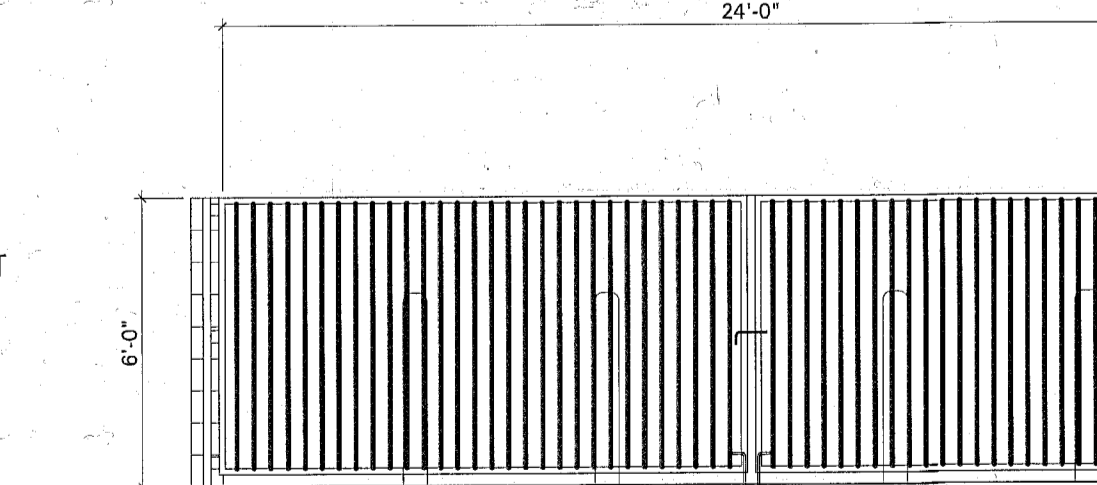
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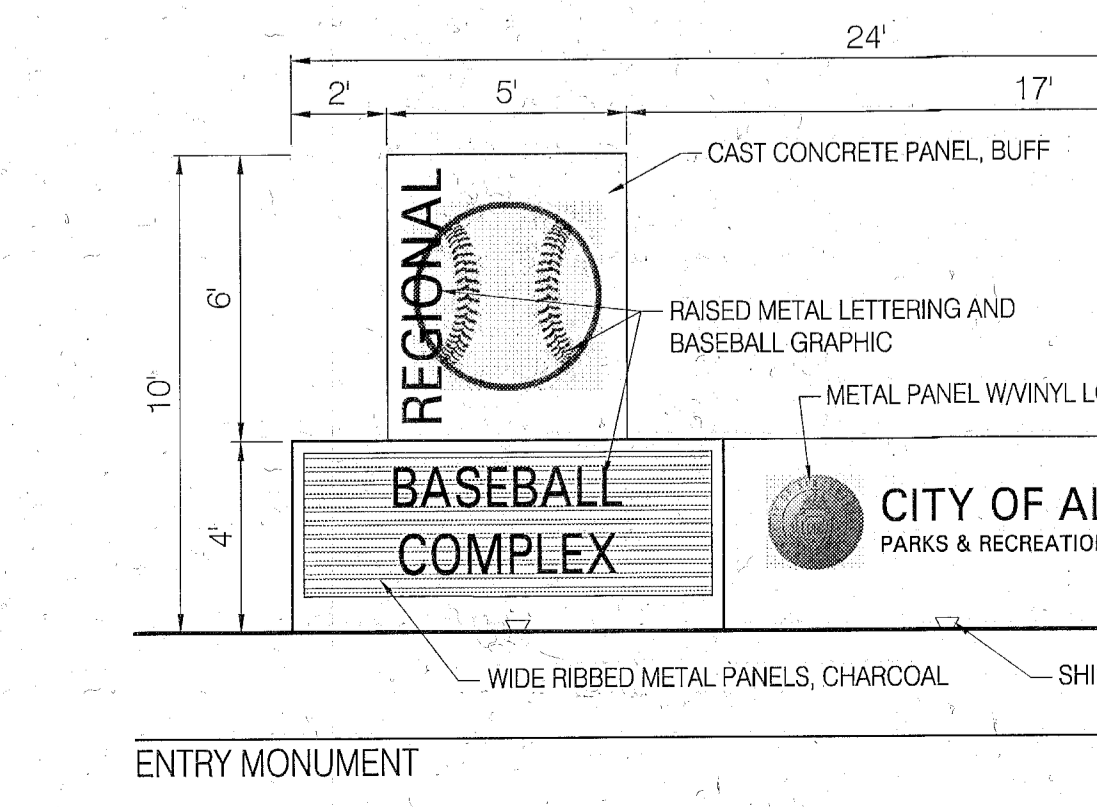
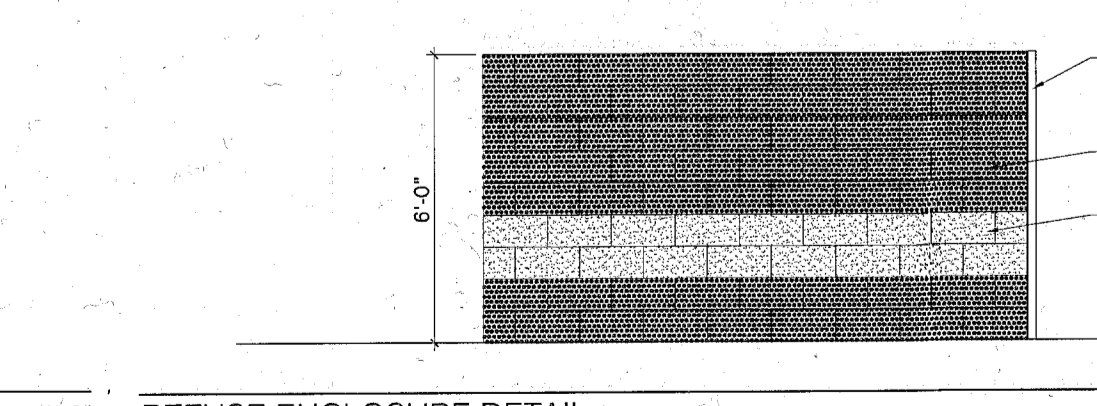
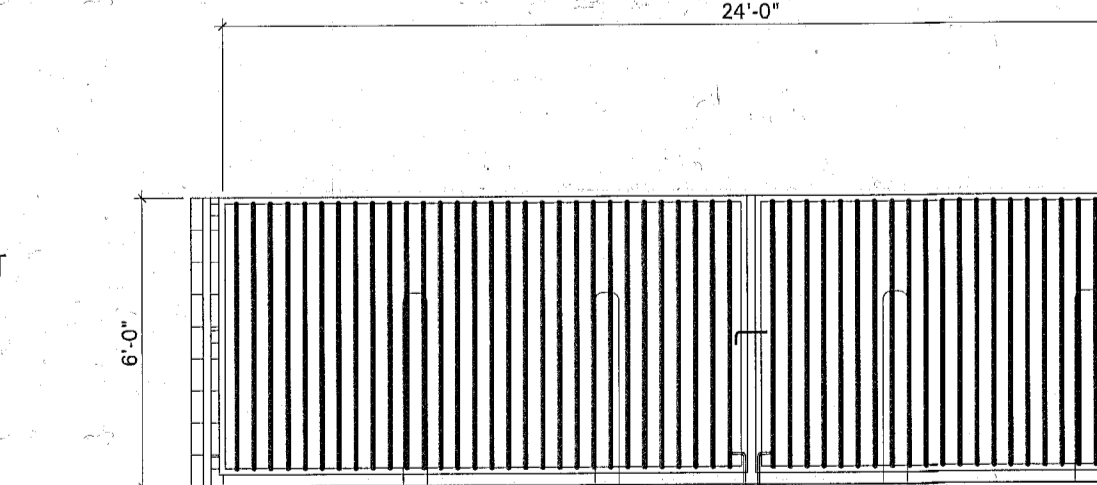
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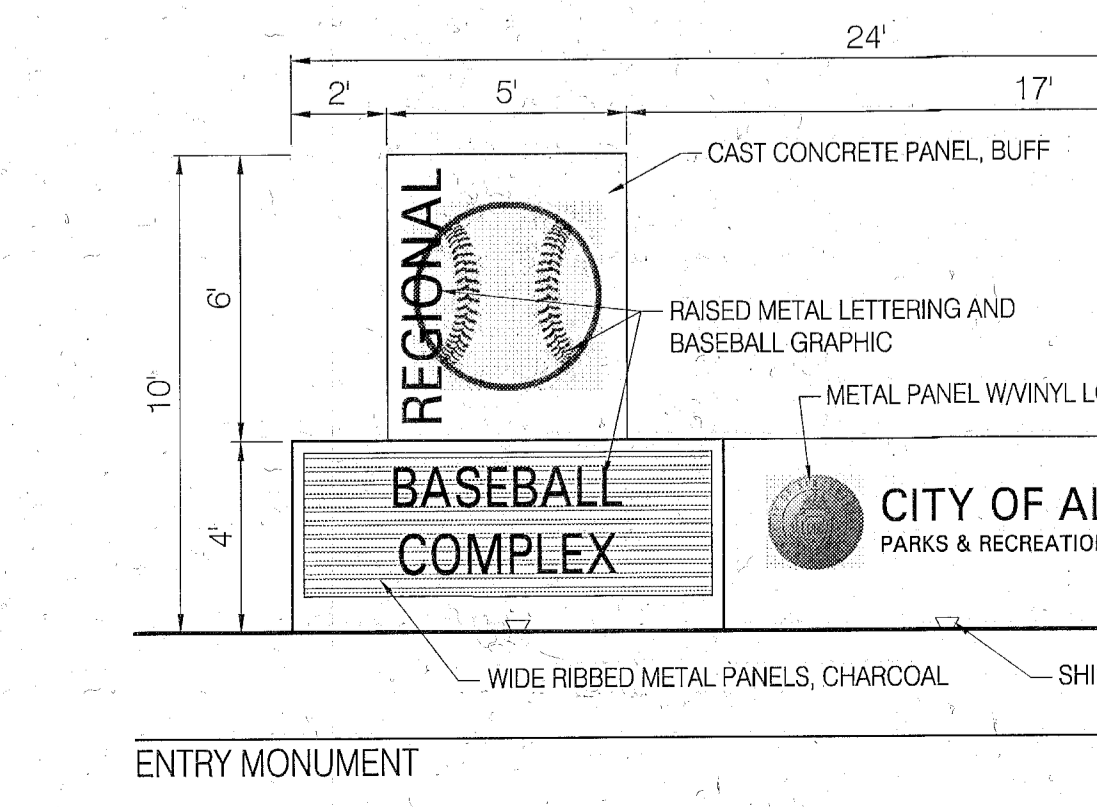
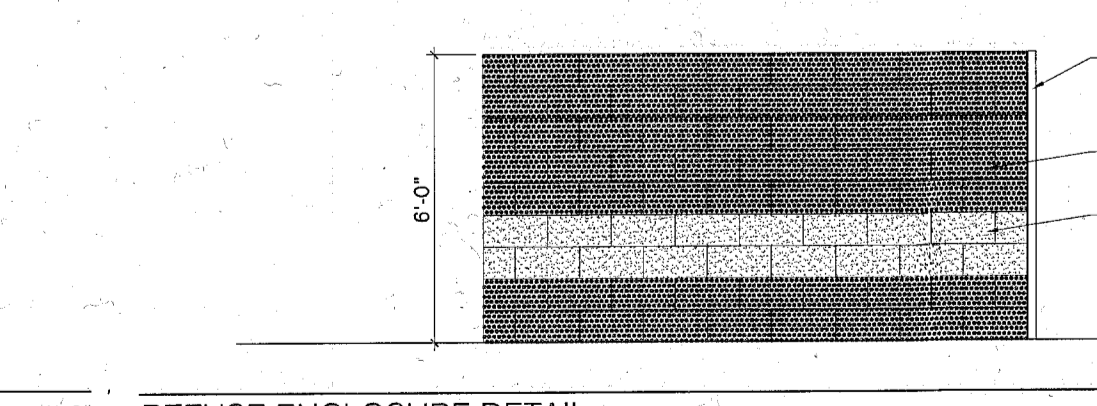
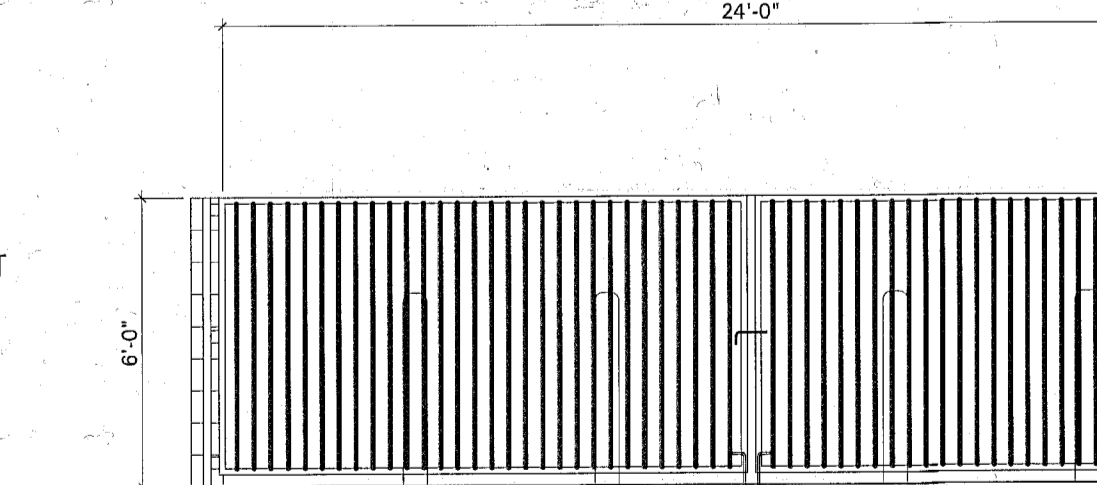
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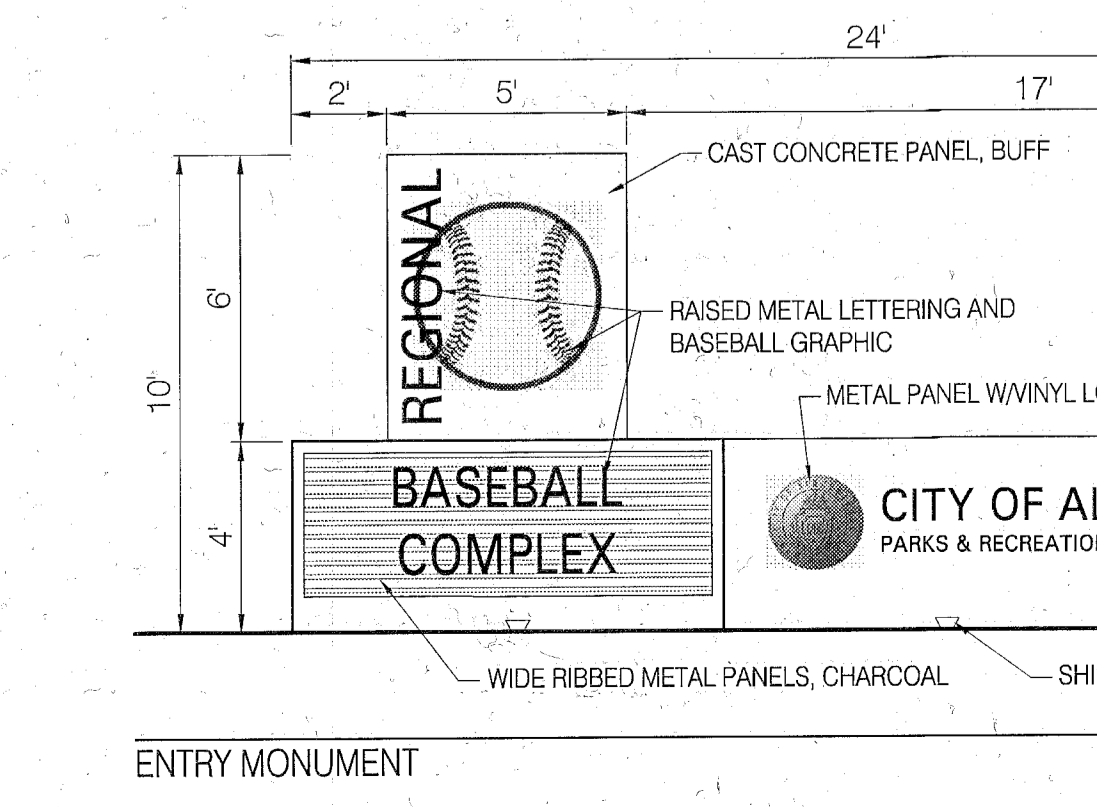
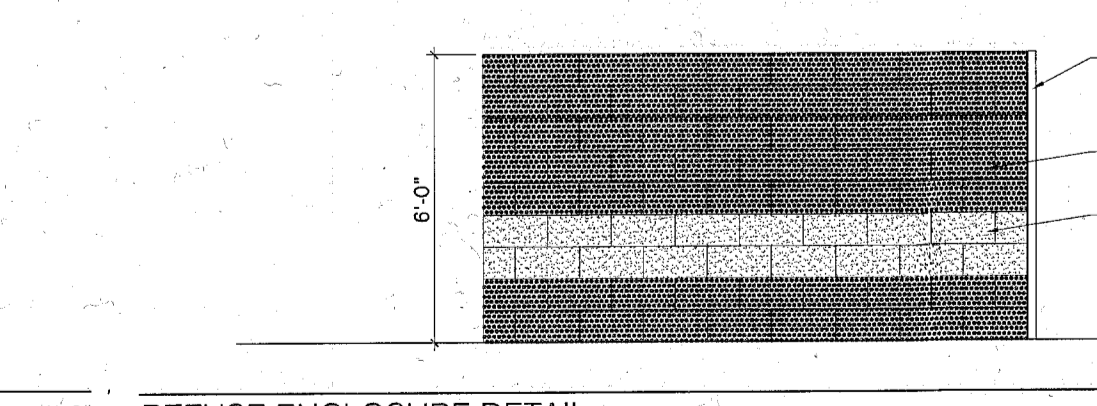
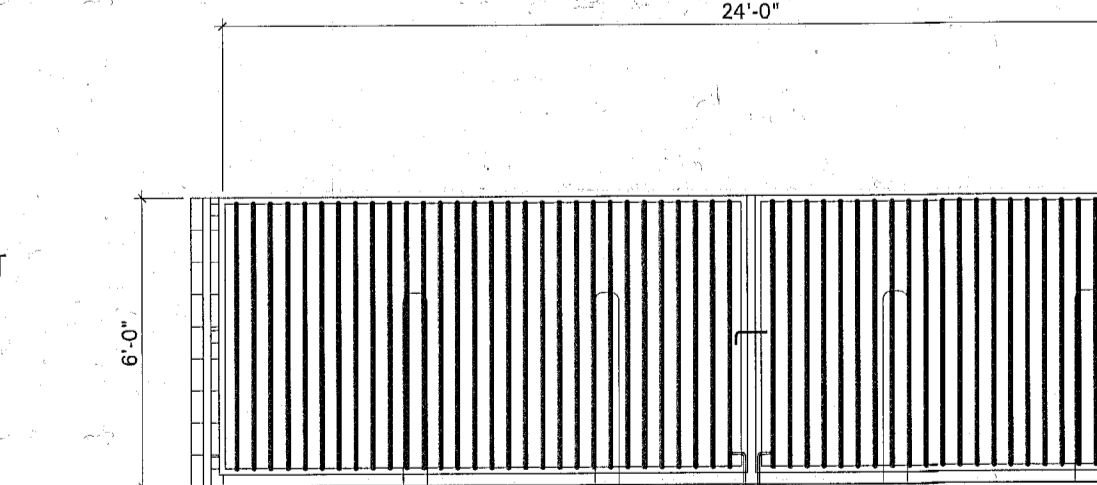
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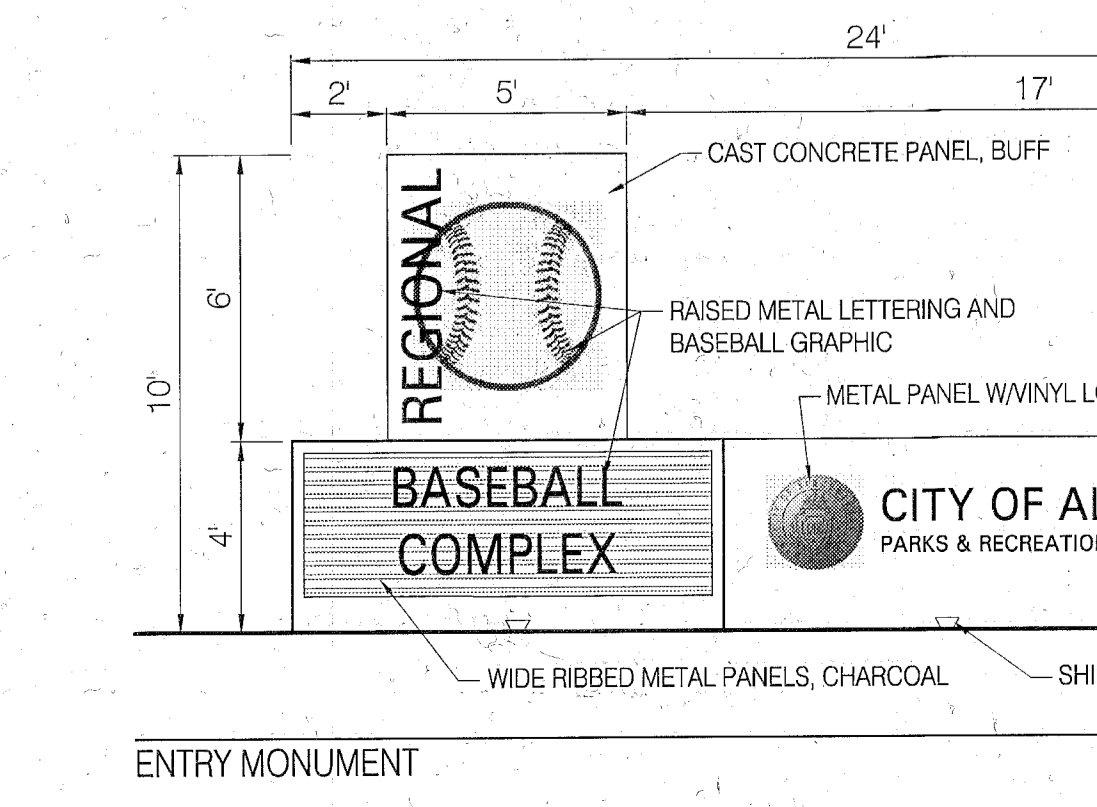
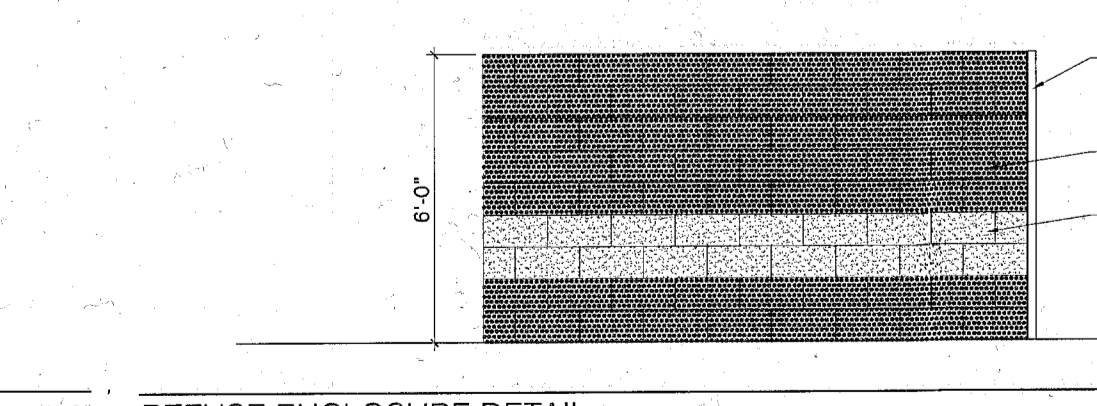
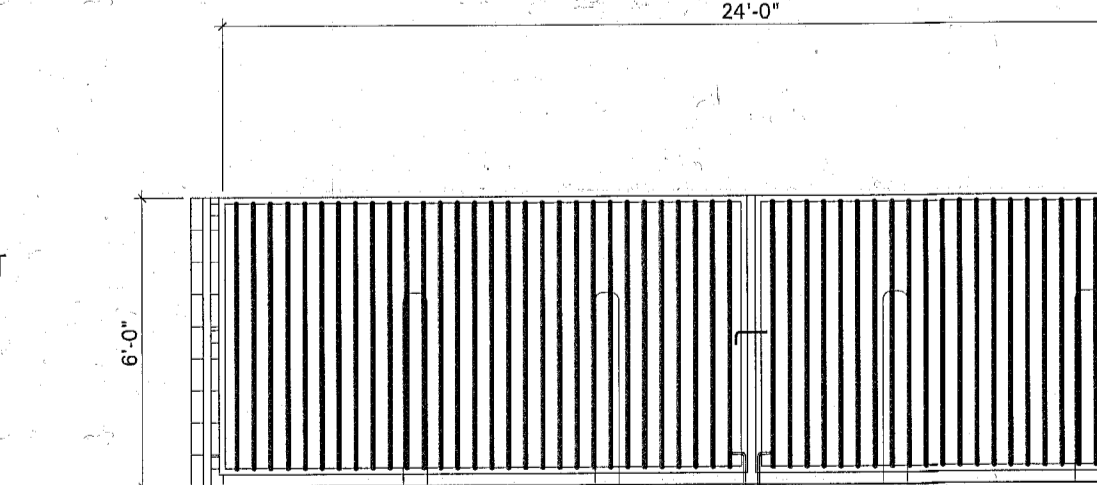
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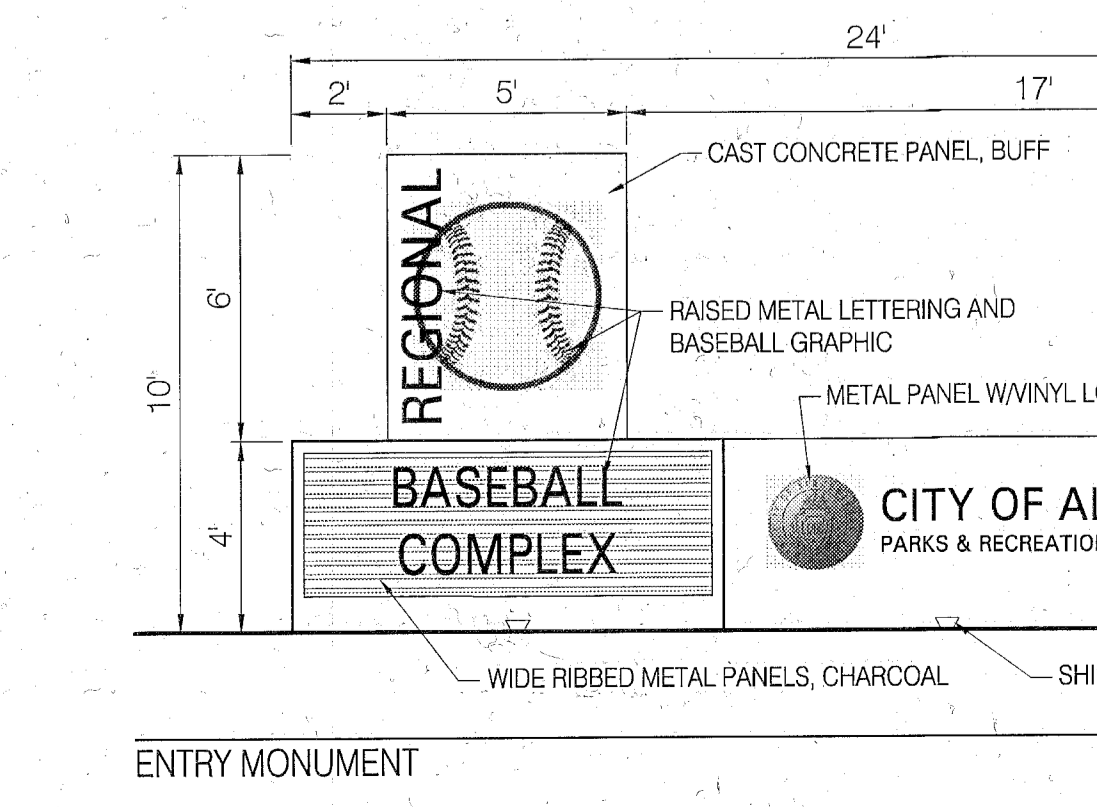
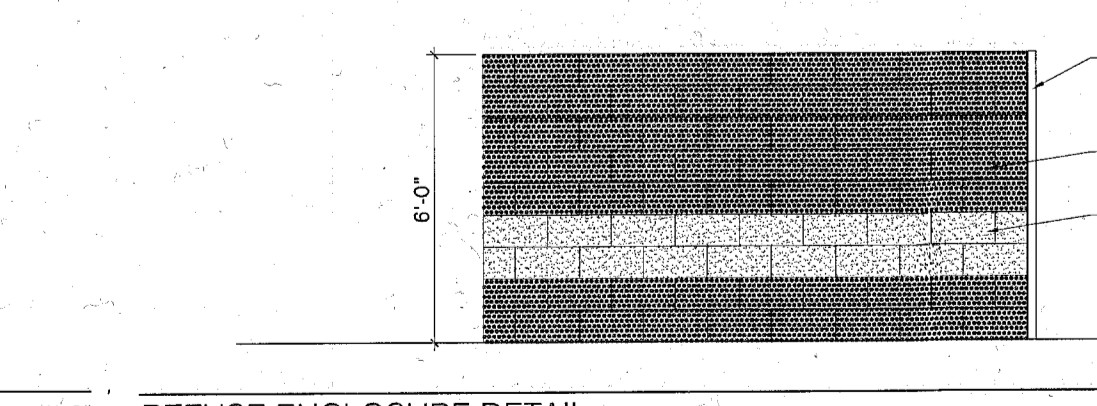
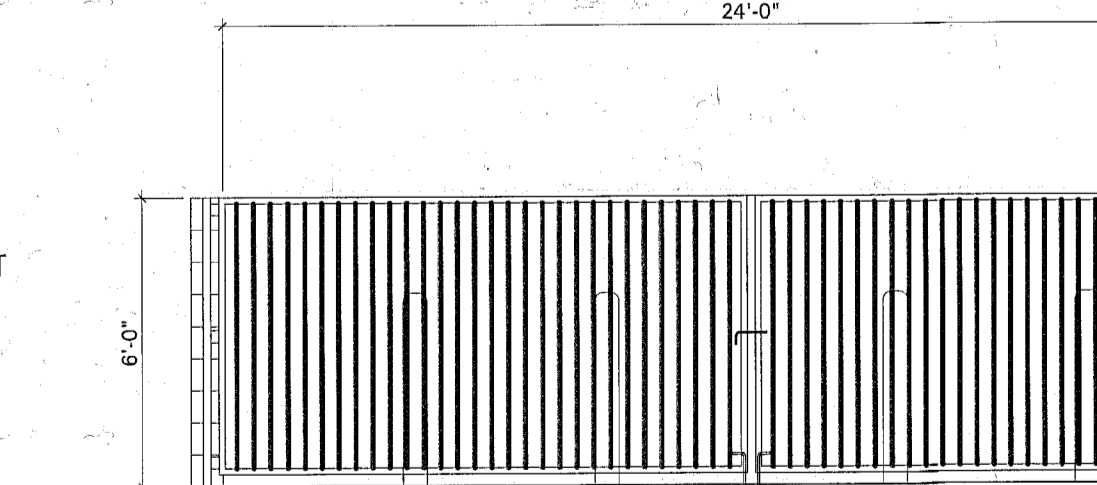
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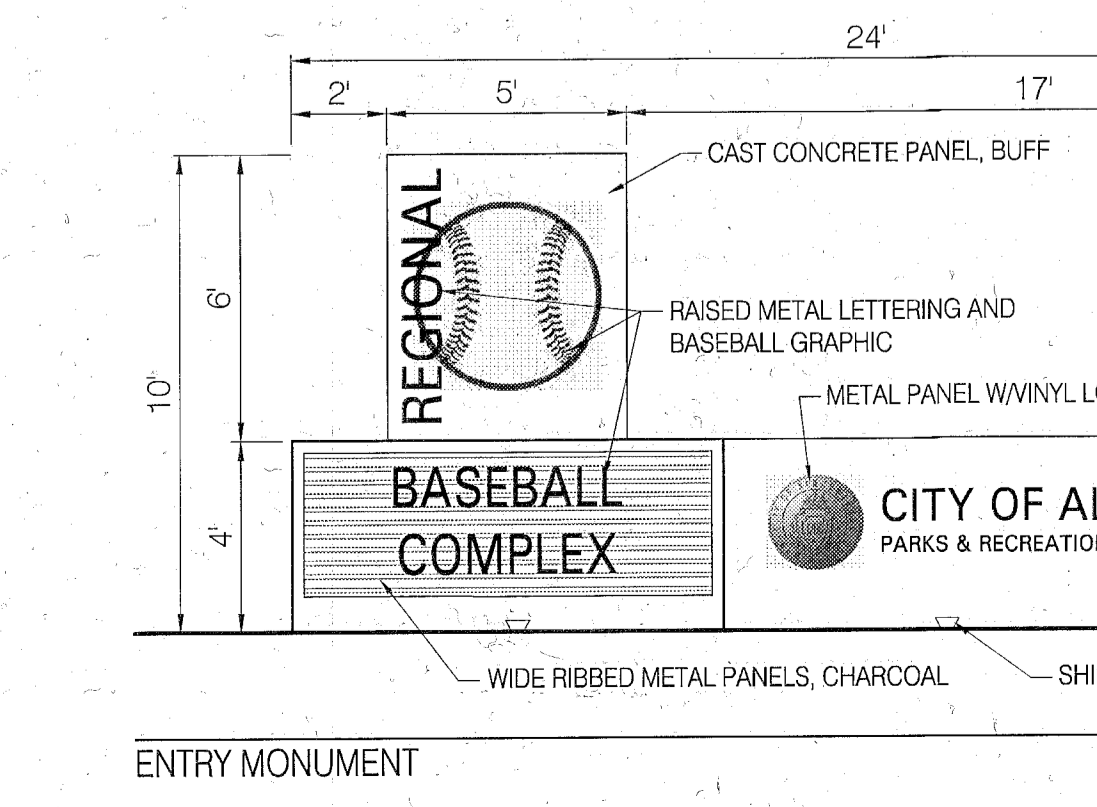
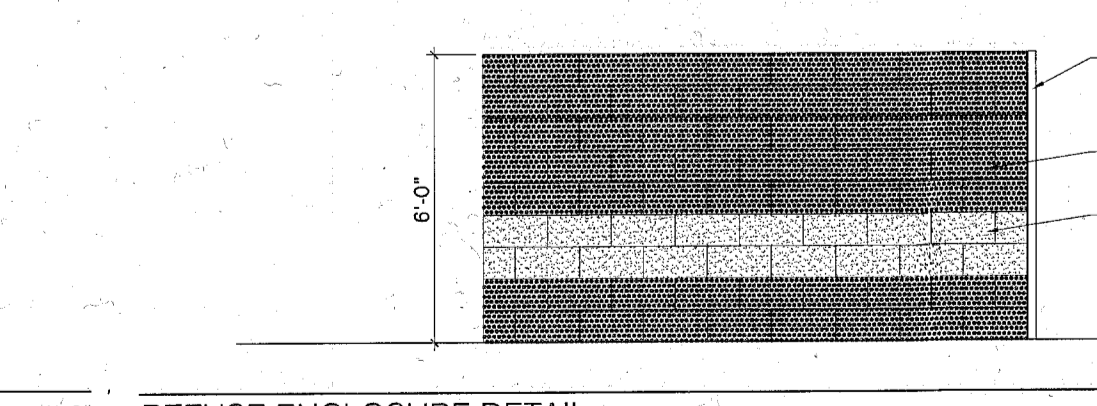
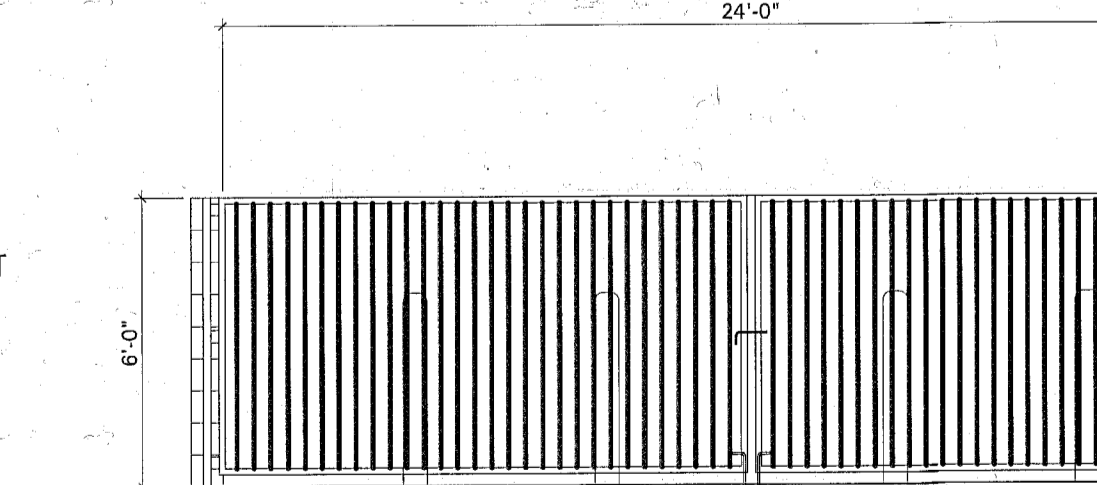
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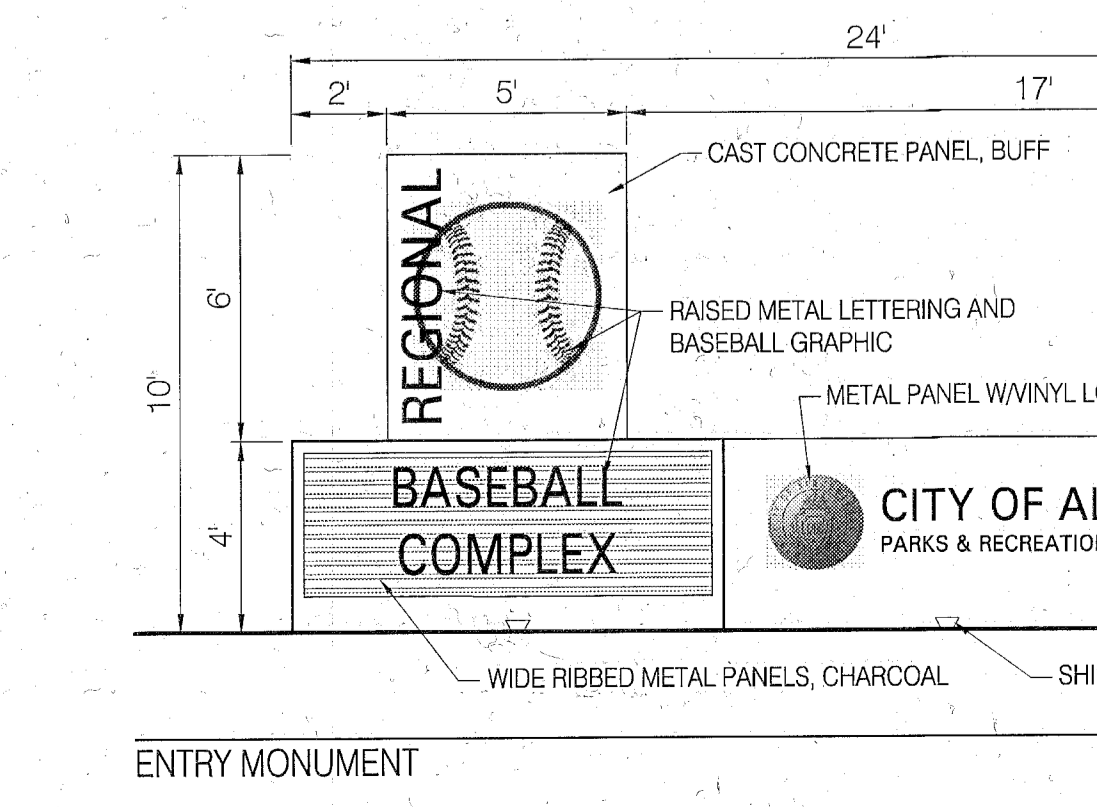
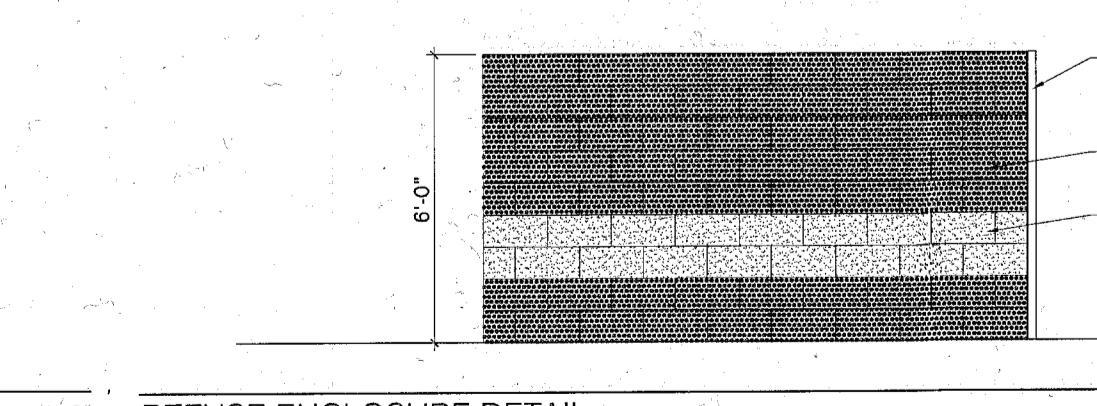
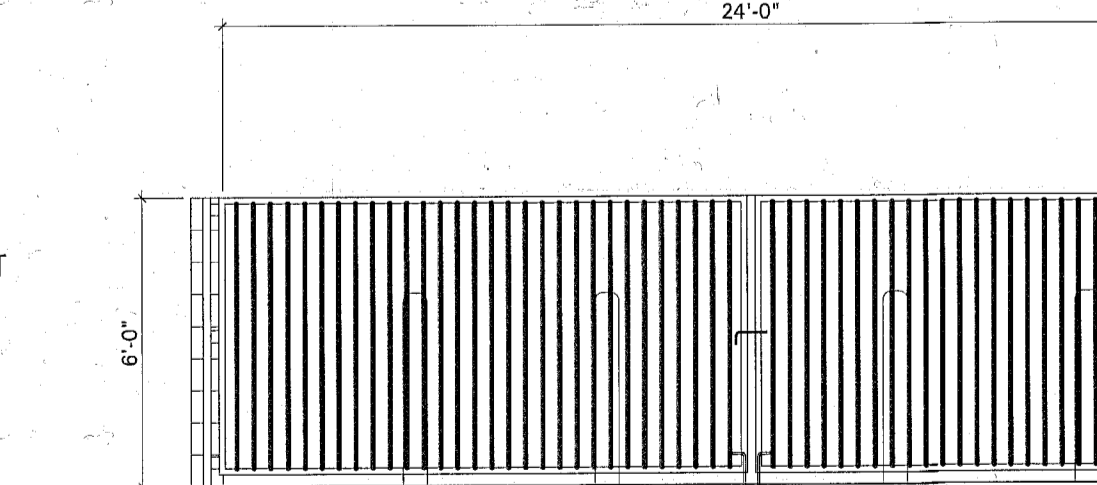
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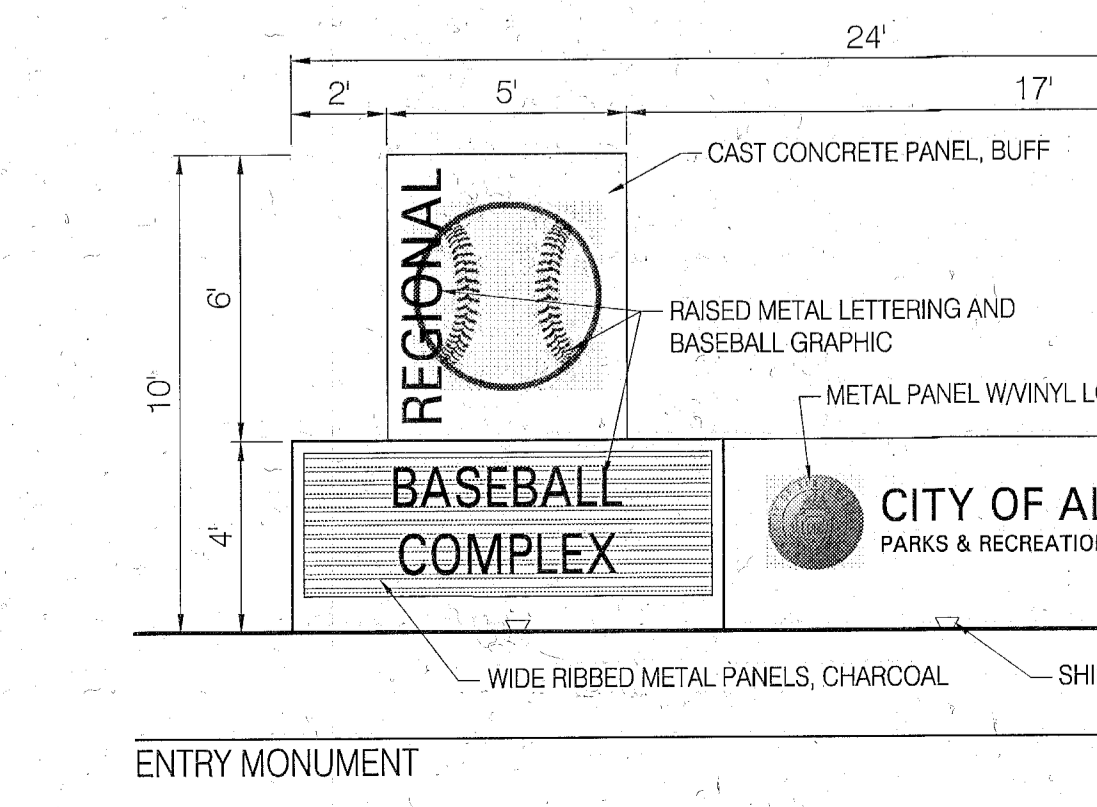
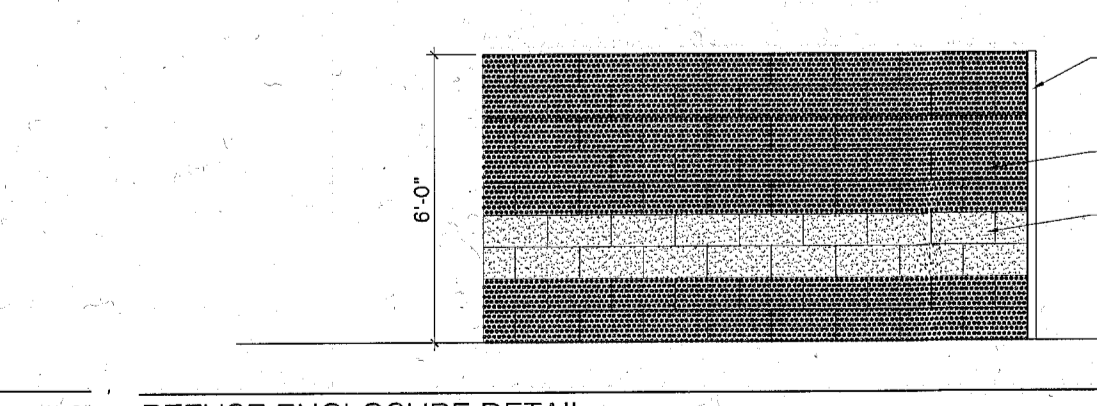
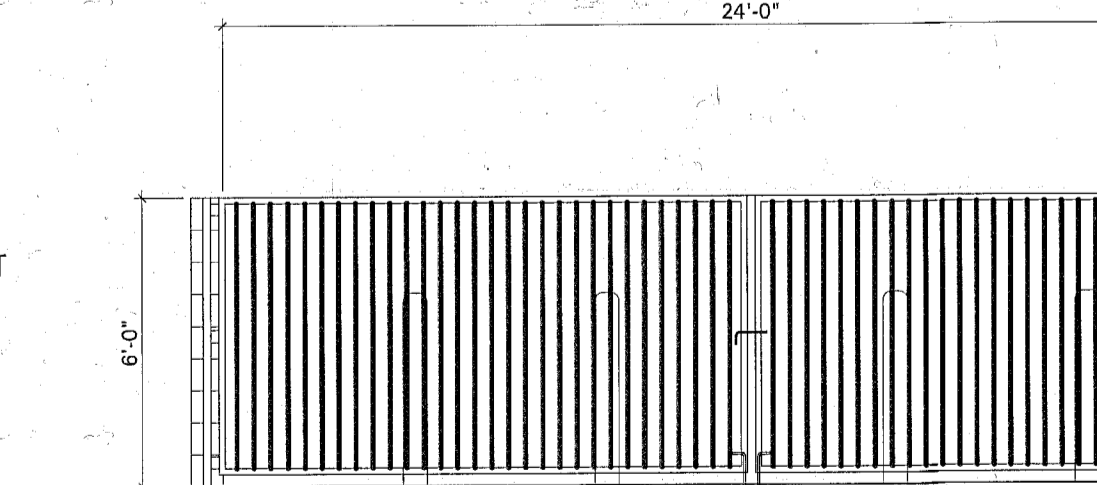
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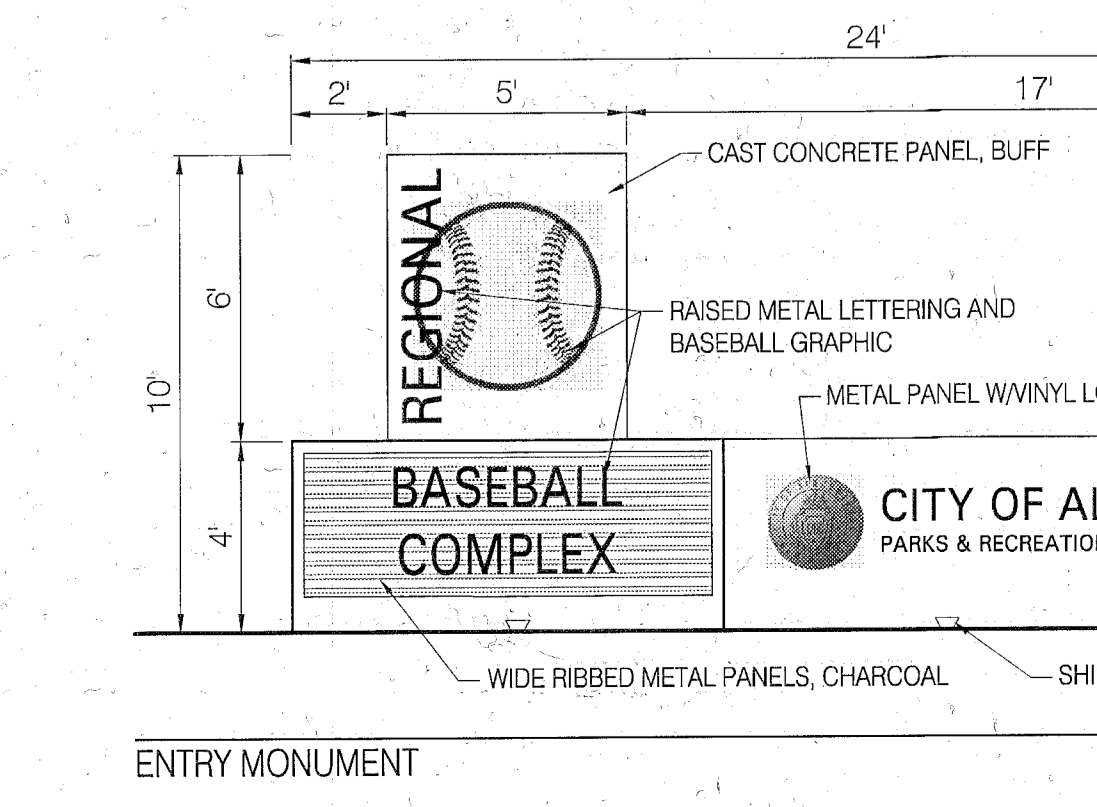
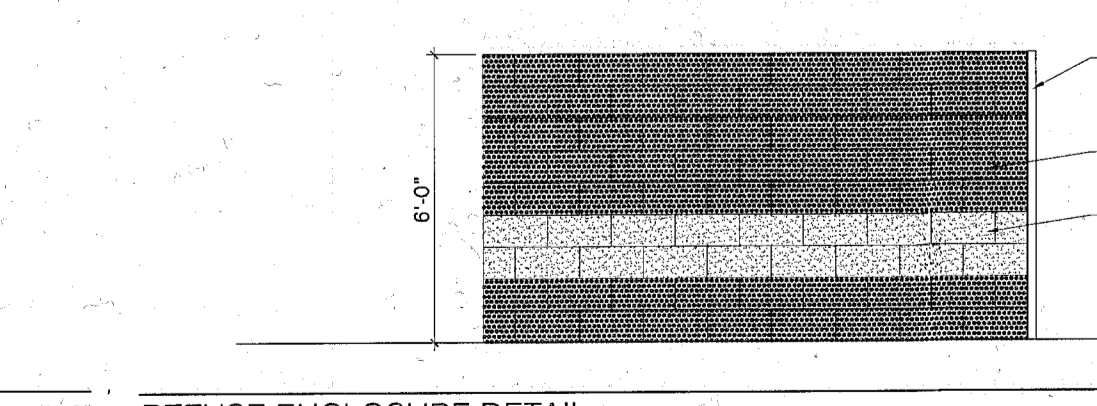
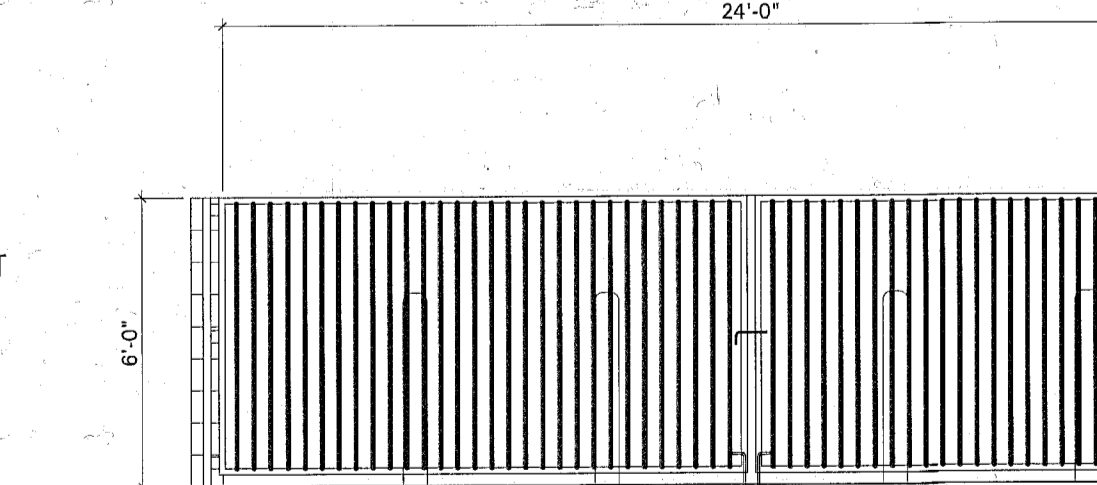
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General Landscape Notes
Landscape Design
All planting areas shall be top dressed with mulches as defined in the legend below.

Irrigation
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas. The irrigation system shall be designed to isolate plant material according to solar exposure and will be set up by plant zones according to water requirements. All irrigation requirements of the City's Park Management Division will be addressed.

Responsibility of Maintenance
Maintenance of all planting and irrigation, including those within the public R.O.W., shall be the responsibility of the City of Albuquerque.

Method for Complying with Water Conservation Ordinance
The plant palette is predominantly comprised of plants with low to medium water use requirements, thereby minimizing irrigation needs while ensuring the viability of the plants. An evapotranspiration management controller will be included in the design of the irrigation system to monitor weather conditions so that the optimum moisture balance is achieved and the possibility of over-watering is reduced.

PNM Coordination
Coordination with PNM's new service delivery department is necessary regarding proposed tree location and height, sign location and height, and lighting height in order to ensure sufficient safety clearances.

Screening will be designed to allow for access to electric utilities. It is necessary to provide adequate clearance of ten feet in front and at least 5 feet on the remaining three sides surrounding all ground-mounted equipment for safe operation, maintenance and repair purposes.

Clear Sight Distance:
Landscaping and signage will not interfere with clear sight requirements, therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the area.

Water Harvesting
Parking lot islands will be depressed to allow stormwater infiltration. Pond 5C, located offsite has been designed to accommodate the first .44" of first flush rainfall. See grading and drainage plan for details.

Parking Lot Trees
320 parking spaces are provided. Parking lot tree requirements are based upon 1 tree per 8 spaces.

Parking Lot Trees Required: 40 trees
Parking Lot Trees Provided: 47 trees

Street Trees
Street tree requirements specify the spacing between evenly spaced trees should be no greater than the diameter of the tree canopy at maturity. Arroyo Vista Boulevard frontage is 600' and the canopy size is 40'.

Street Trees Required: 15 trees
Street Trees Provided: 15 trees

PLANT LEGEND

SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES				
	ACER TATARICUM 'PATTERN PERFECT'	1.75" B&B	8' HT. X 5' SPR. 20' HT. X 25' SPR.	MEDIUM +
	CHILOPSIS LINEARIS 'BUBBA'	24" BOX	10' HT. X 6' SPR. 25' HT. X 25' SPR.	LOW
	FRAXINUS PENNSYLVANICA 'URBANITE'	2.5" B&B	16' HT. X 6' SPR. 40' HT. X 30' SPR.	MEDIUM +
	MALUS 'ROYAL RAINDROPS'	2" B&B	8' HT. X 5' SPR. 20' HT. X 20' SPR.	MEDIUM
	PINUS NIGRA	B&B	10' MIN HT. 50' HT. X 30' SPR.	MEDIUM
	PINUS STROBIFORMIS	B&B	10' MIN HT. 30' HT. X 20' SPR.	MEDIUM
	PISTACHE CHINENSIS	2.5" B&B	16' HT. X 6' SPR. 50' HT. X 40' SPR.	MEDIUM
	PYRUS CALLERYANA 'CHANTICLEAR'	2.5" B&B	16' HT. X 5' SPR. 40' HT. X 15' SPR.	MEDIUM
	ROBINIA AMBIGUA 'PURPLE ROBE'	2.5" B&B	16' HT. X 6' SPR. 40' HT. X 30' SPR.	MEDIUM
	ULMUS PROPINQUA	2.5" B&B	16' HT. X 6' SPR. 40' HT. X 40' SPR.	MEDIUM
	VITEK AGNUS-CASTUS	24" BOX	8' HT. X 5' SPR. 20' HT. X 20' SPR.	MEDIUM
	CHASTE TREE			
SHRUBS/GROUNDCOVERS				
	ACHILLEA 'MOONSHINE'	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
	ARTEMISA FILIFOLIA	5-GAL.	5' O.C. 5' HT. X 5' SPR.	LOW
	BACCLENA'S SALICINIA	5-GAL.	8' O.C. 6' HT. X 8' SPR.	LOW
	CARYOPTERIS CLAND. 'DARK KNIGHT'	5-GAL.	4' O.C. 3' HT. X 3' SPR.	MEDIUM
	CHAMAEBATIARIA MILLEFOLIUM	5-GAL.	5' O.C. 5' HT. X 5' SPR.	LOW +
	DASYLIURION WHEELERI	5-GAL.	5' O.C. 4' HT. X 4' SPR.	MEDIUM
	EJONYMUS ALATUS 'COMPACTA'	5-GAL.	8' O.C. 6' HT. X 6' SPR.	MEDIUM
	ERICAMERIA LARICIFOLIA 'AGUIRRE'	5-GAL.	4' O.C. 3' HT. X 3' SPR.	LOW +
	FALLUGIA PARADOXA	5-GAL.	6' O.C. 5' HT. X 5' SPR.	LOW
	HESPERALOE PARVIFLORA	5-GAL.	4' O.C. 3' HT. X 3' SPR.	MEDIUM
	LAGERSTROEMIA INDICA 'DYNAMITE'	15-GAL.	6' O.C. 12' HT. X 10' SPR.	MEDIUM
	LAVENDULA ANGUSTIFOLIA	5-GAL.	4' O.C. 3' HT. X 3' SPR.	MEDIUM
	CALAMOGROSTIS A. 'KARL FOERSTER'	5-GAL.	4' O.C. 3' HT. X 3' SPR.	MEDIUM
	NOLINA MICROCARPA	5-GAL.	6' O.C. 4' HT. X 4' SPR.	MEDIUM
	PINUS MUGO MUGHUS	5-GAL.	8' O.C. 10' HT. X 10' SPR.	MEDIUM
	RHUS TRILOBATA 'AUTUMN AMBER'	5-GAL.	5' O.C. 3' HT. X 5' SPR.	MEDIUM
	SALVIA DORRII	5-GAL.	4' O.C. 2' HT. X 3' SPR.	LOW
	SPHAERALCA INCANA	5-GAL.	4' O.C. 3' HT. X 3' SPR.	MEDIUM
	SCARLET GLOBEMALLOW			

GRAVEL MULCHES & BOULDERS

	MOSS ROCK BOULDERS (3' X 3' MINIMUM)
	2"-4" BUILDOLGY BROWN COBBLE MULCH (6" DEPTH OVER WEED CONTROL FABRIC)
	1" TAMPICO GRAVEL MULCH (3" DEPTH OVER OVER WEED CONTROL FABRIC)
	SATA FE BROWN CRUSHER FINES, STABILIZED (3" DEPTH OVER PRE-EMERGENT)
	3/8" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER WEED CONTROL FABRIC)

GRAVEL MULCHES & BOULDERS

AREAS SHALL BE REVEGETATED AS FOLLOWS:		
SANDY SOILS MIX (20 LBS. PLS PER ACRE TOTAL)		
SCIENTIFIC NAME - COMMON NAME	#PLS/AC	

HILARIA JAMESII 'VIVA' - GALLETA	7.0
ORYZOPSIS HYMENOIDES 'NESPAN' - INDIAN RICE GRASS	5.0
BOUTELOUA GRACILIS 'HACHITA' - BLUE GRAMA	2.0
BOUTELOUA CURTIPENDULA 'VAUGHN' - SIDEOATS GRAMA	1.0
AGROPYRON SMITHII - WESTERN WHEAT	1.0
SPOROBOLUS CRYPTANDRUS - SAND DROPSEED	1.0
SPOROBOLUS AIROIDES 'SALADO' - ALKALI SACATON	1.0
EPHEDRA VIRIDIS - GREEN MORMON TEA	.25
ARTIFLEX CANESCENS - FOURWING SALTBRUSH	.25
ARTEMISIS FILIFOLIA - SAND SAGE	.5
SPHAERALCEA AMBIGUA - DESERT GLOBEMALLOW	.25
OENOTHERA PALUD. - WHITE EVENING PRIMROSE	.25
BAILEYA MULTIRADIATA - DESERT MARGOLD	.25
PENSTEMON AMBIOIES - SAND PENSTEMON	.25

NOTE: BASEBALL FIELDS SHALL BE DEVELOPED WITH SYNTHETIC TURF. NO IRRIGATED TURF WILL BE USED FOR FIELD DEVELOPMENT.

CONSensus PLANNING, INC.
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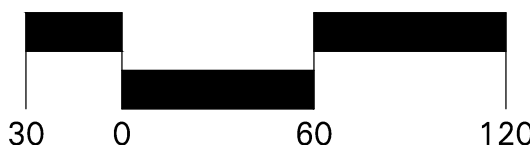
REGIONAL
BASEBALL
COMPLEX

OWNER
CITY OF ALBUQUERQUE

PROJECT TEAM
PLANNING/LANDSCAPE ARCHITECTURE
CONSensus PLANNING, INC.
ENGINEERING
BOHANNAN HUSTON, INC.
ARCHITECTURE
G. DONALD DUDLEY ARCHITECT, LTD

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
LANDSCAPE PLAN

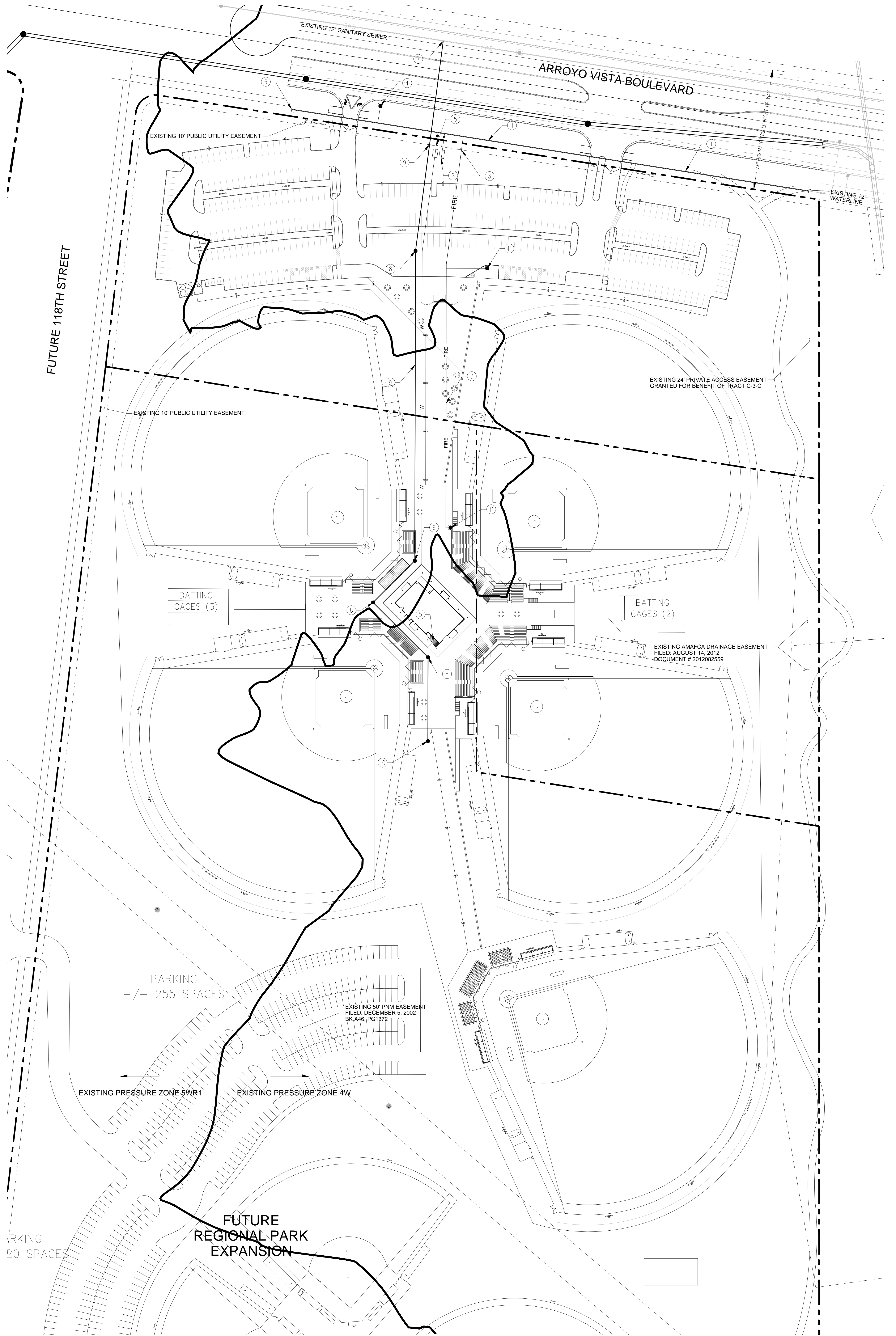
SCALE: 1" = 60'



SHEET 2 OF 5
FEB. 23, 2016

UTILITY KEYNOTES

1. 12" PUBLIC WATERLINE EXTENSION.
2. NEW IRRIGATION METER AND BACKFLOW PREVENTION. SEE LANDSCAPE PLAN.
3. ONSITE 10" FIRE HYDRANT LINE.
4. PUBLIC FIRE HYDRANT.
5. NEW WATER SERVICE TO BUILDING.
6. CAP 12" WATERLINE.
7. SANITARY SEWER CONNECTION WITHIN COA RIGHT OF WAY.
8. SANITARY SEWER MANHOLE.
9. SANITARY SEWER SERVICE LINE.
10. SANITARY SEWER MANHOLE AT END OF GRAVITY SANITARY SEWER LINE. FUTURE DEVELOPMENT TO THE SOUTH WILL REQUIRE A LIFT STATION.
11. FIRE HYDRANT.



LEGEND

- PROPERTY LINE
- - - EXISTING EASEMENT
- - - EXISTING SANITARY SEWER
- - - EXISTING WATER LINE
- EXISTING WATER METER
- EXISTING CAP
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- - - PROPOSED EASEMENT
- - - PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED CLEANOUT
- - - PROPOSED WATER LINE
- - - PROPOSED VALVE
- - - PROPOSED FIRE WATER LINE
- PROPOSED HYDRANT
- PROPOSED CAP
- PROPOSED WATER METER



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G. DONALD DUDLEY ARCHITECT, LTD

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
PHASE 1 UTILITY PLAN

SCALE: 1" = 60'



SHEET 1 OF 3
MARCH 1, 2016

CONSENSUS PLANNING, INC.
Planning/Landscape Architecture
302 Eighth Street NW
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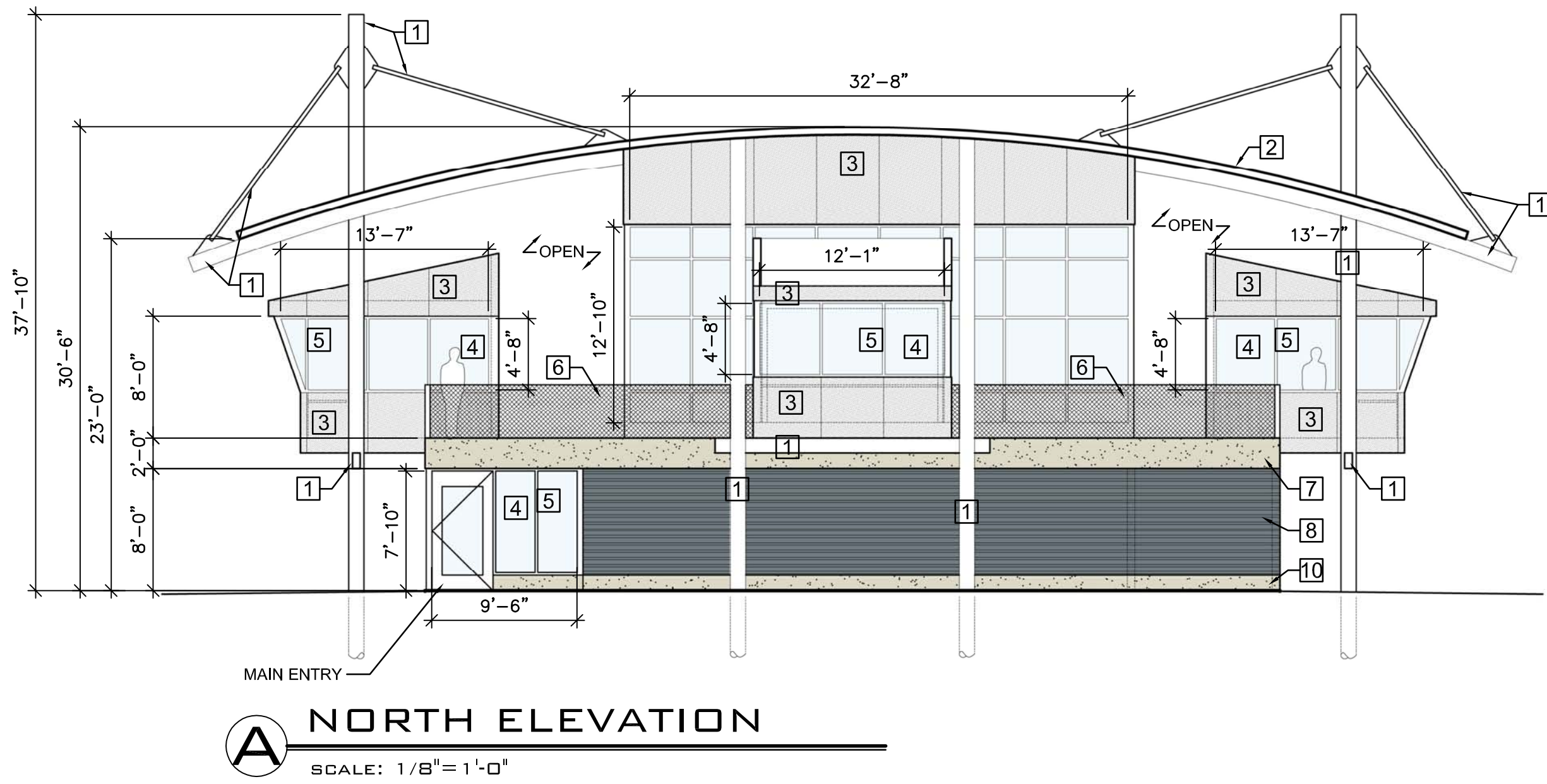
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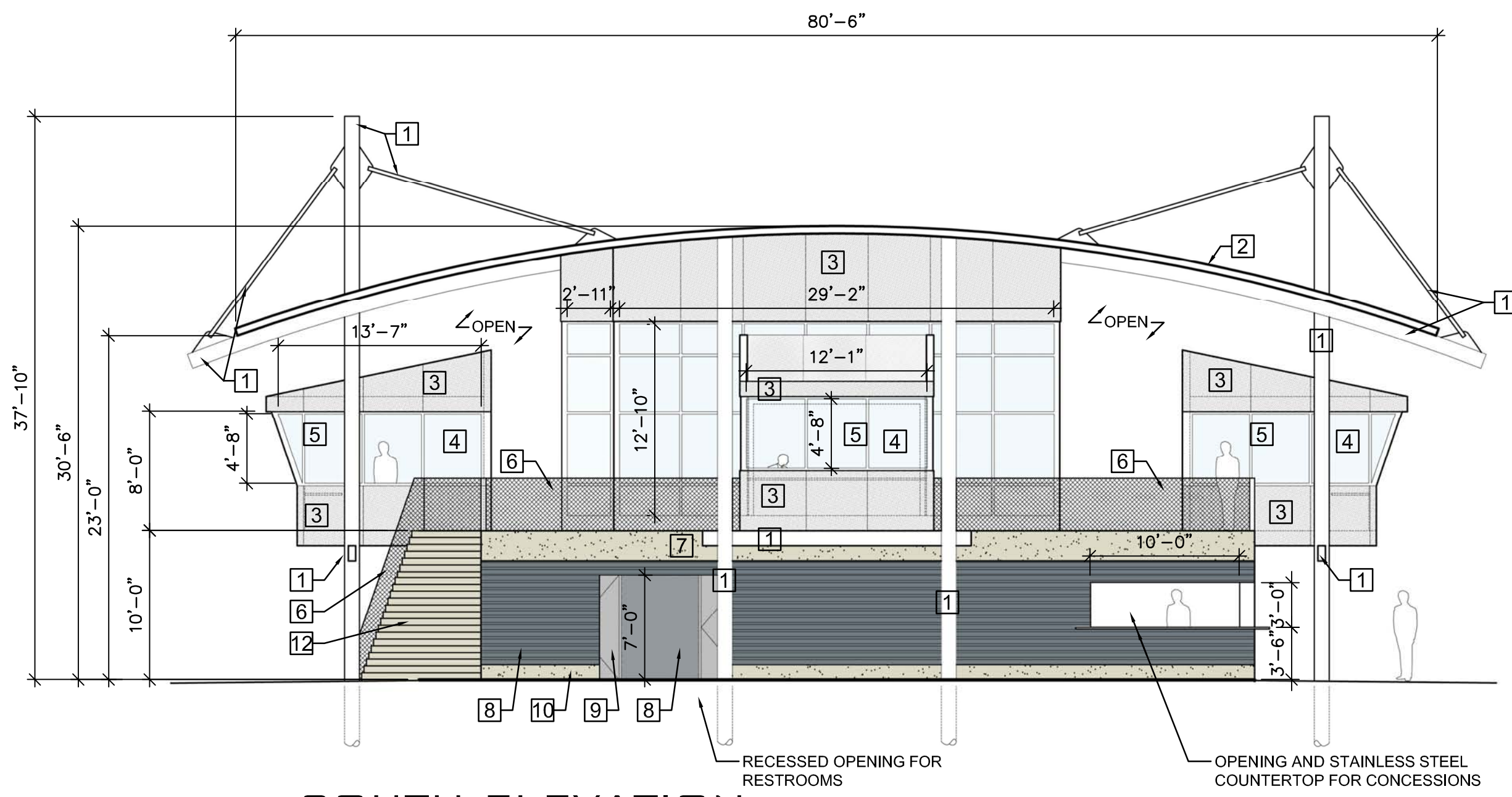
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EXTERIOR MATERIALS LEGEND

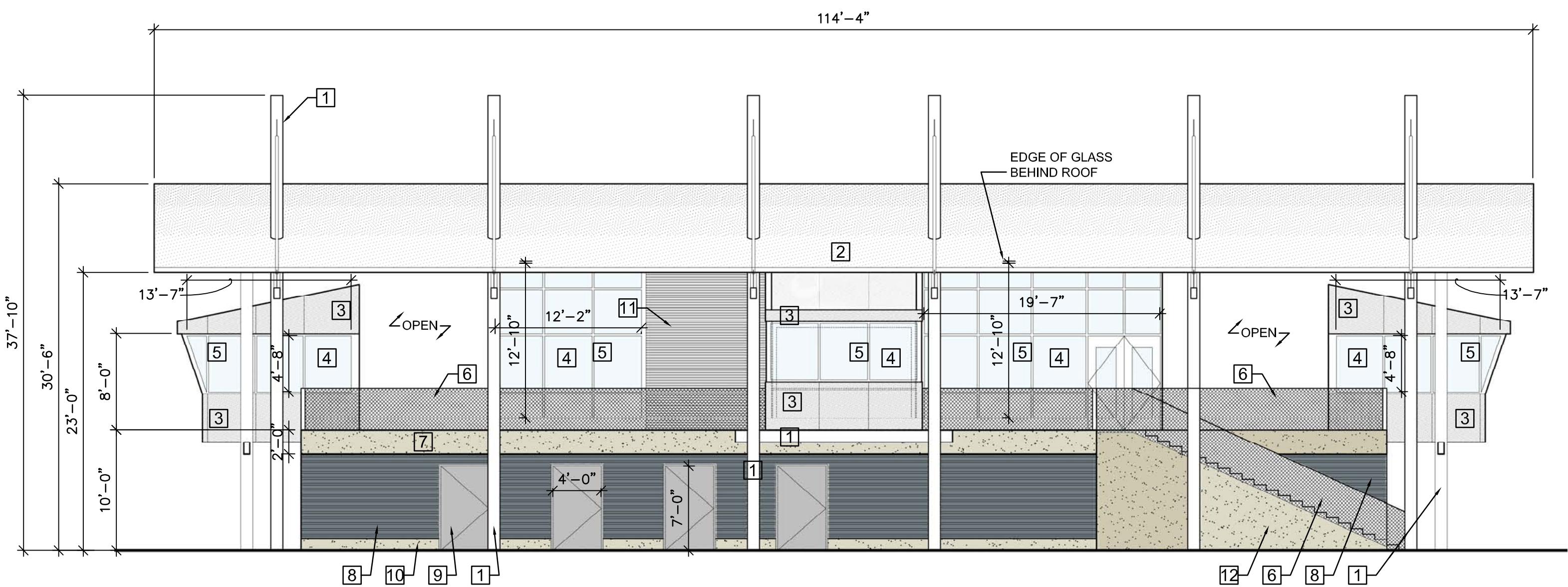
- 1 STEEL COLUMNS, STRUTS AND BEAMS, WHITE
- 2 STANDING SEAM METAL ROOFING, GALVANIZED (OR WHITE)
- 3 ALUMINUM PANEL SKIN, SILVER
- 4 LOW-E GLAZING, CLEAR
- 5 ALUMINUM STOREFRONT WINDOW FRAMING SYSTEM, CLEAR ANODIZED
- 6 METAL MESH GUARDRAIL PANELS, WHITE
- 7 CONCRETE FLOOR STRUCTURE, BUFF
- 8 WIDE RIBBED METAL PANELS, CHARCOAL
- 9 METAL DOORS, DARK GREY
- 10 CONCRETE 'WATER TABLE', BUFF
- 11 NARROW RIBBED METAL PANELS, CHAMPAGNE
- 12 CONCRETE STAIR, BUFF



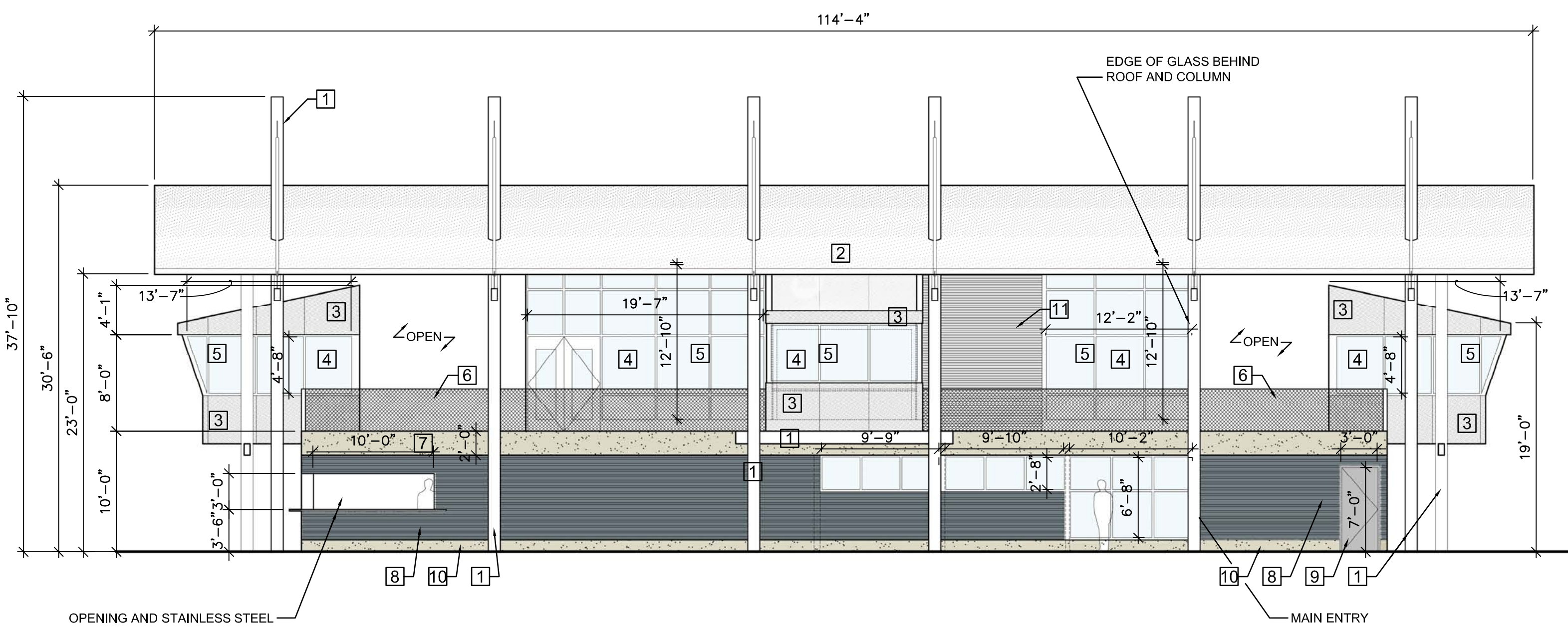
A NORTH ELEVATION
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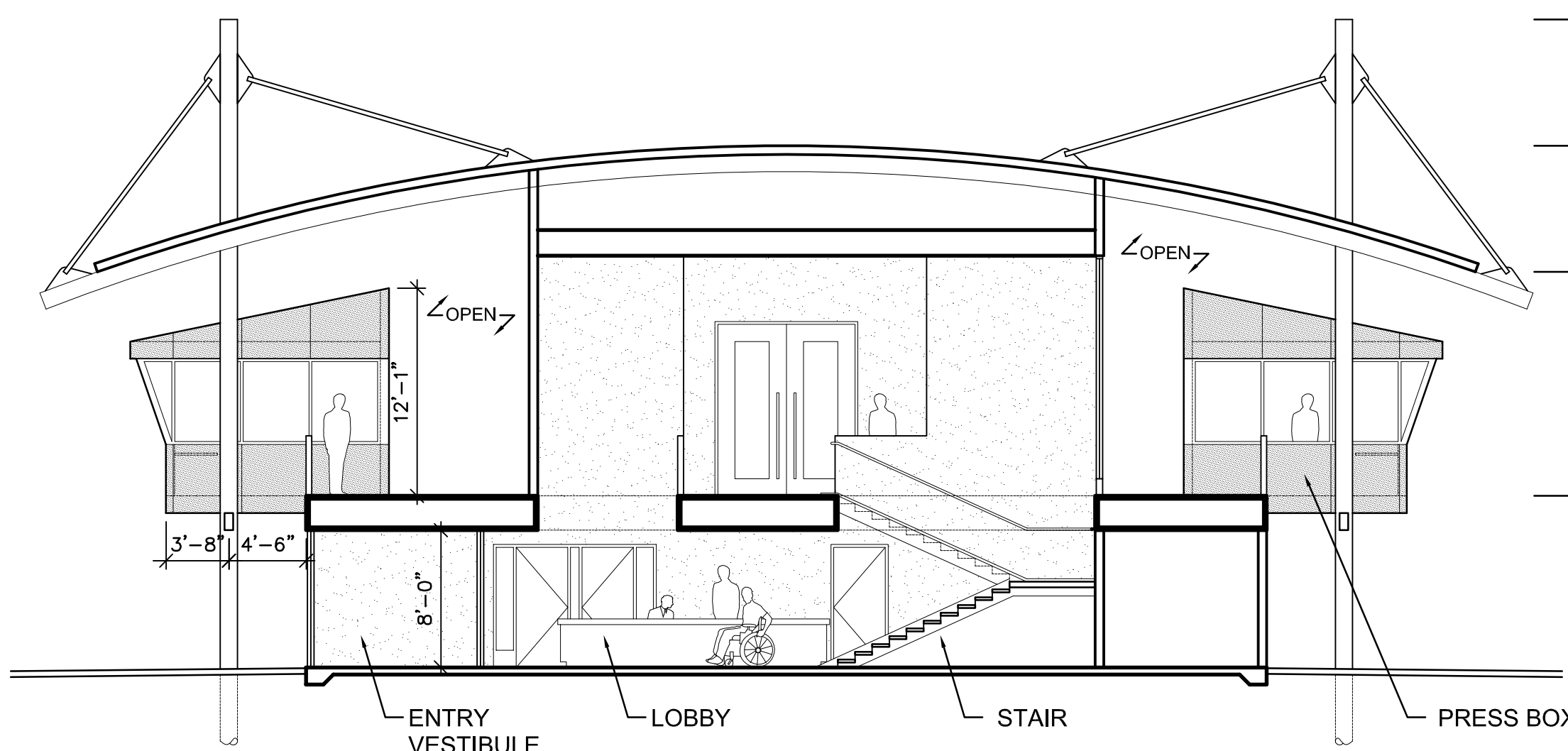
B SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



C WEST ELEVATION
SCALE: 1/8" = 1'-0"



D EAST ELEVATION
SCALE: 1/8" = 1'-0"



E SECTION LOOKING SOUTH
SCALE: 1/8" = 1'-0"



REGIONAL
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COMPLEX

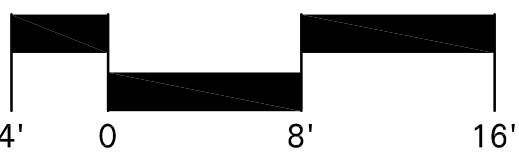
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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
EXTERIOR BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"



SHEET 5 OF 5
JULY 30, 2015

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