



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- V** Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P** Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- D** Street Name Change (Local & Collector)
- L A** **APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West LLC PHONE: 505-858-3100

ADDRESS: 5571 Midway Park Place, NE FAX: 505-858-1118

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: rrb@tierrawestllc.com

APPLICANT: W & M Company- Bill Gunther PHONE: 505-296-4146

ADDRESS: 8220 La Mirada Rd. NE, Suite 300 FAX: 505-296-0907

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: billg5469@aol.com

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Final Sign-Off for EPC Approved Site Development Plan for Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TR A-1 Redivision of TR A (Now Comprising TRS A1 & A2) Block: _____ Unit: _____

Subdiv/Addn/TBKA: Los Pastores Shopping Center

Existing Zoning: C-2 Proposed zoning: N/A MRGCD Map No _____

Zone Atlas page(s): F-19-Z UPC Code: 101906149805240507

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1010550

Z-1238/ S-1214

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? N/A

No. of existing lots: 1 No. of proposed lots: 6 Total site area (acres): 5.7722

LOCATION OF PROPERTY BY STREETS: On or Near: Wyoming Blvd. NE

Between: Montgomery Blvd. NE and _____

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 5/2/16

(Print Name) Ronald R. Bohannon, P.E. Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date _____			Total
				\$ _____

Project # _____

Staff signature & Date _____

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**


- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Completed Site Plan for Subdivision Checklist
 ___ Infrastructure List, if relevant to the site plan
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 ___ Solid Waste Management Department signature on Site Plan
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist
 ___ Copy of Site Plan with Fire Marshal's stamp
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**
 ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
 FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)
X Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
X Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
N/A Solid Waste Management Department signature on Site Plan for Building Permit
X Zone Atlas map with the entire property(ies) clearly outlined
X Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
X Infrastructure List, if relevant to the site plan
N/A Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
X List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon PE
 Applicant name (print)

 Applicant signature / date 5/2/16



Form revised **October 2007**

- | | |
|--|--------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers |
| <input type="checkbox"/> Fees collected | _____ - _____ - _____ |
| <input type="checkbox"/> Case #s assigned | _____ - _____ - _____ |
| <input type="checkbox"/> Related #s listed | _____ - _____ - _____ |

 Planner signature / date
 Project # _____

gwl

TIERRA WEST, LLC

May 3, 2016

Mr. Jack Cloud
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: WYOMING AND MONTGOMERY
SITE DEVELOPMENT PLAN FOR SUBDIVISION
PROJECT 1010550/ 15EPC-40032**

Tierra West, LLC on behalf of W&M Company respectfully requests final DRB signoff for the Site Development Plan for Subdivision. Please find the following responses addressing the conditions of approval from the Official Notification of Decision dated January 15, 2016 listed below:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
RESPONSE: We have completed all of the comments that have been a condition and will submit the Site Development Plan for Subdivision for approval. We believe we have met this condition.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
RESPONSE: We met with the City of Albuquerque's Staff planner on April 21, 2016 to ensure that all conditions have been met.

3. Conditions of Approval for Design Standards Section:
 - A. All references made within the site development plan for subdivision to applicable sections of the City of Albuquerque Comprehensive Zoning Code shall list/identify the full corresponding name of that section of the Zoning Code within the design standards section.
RESPONSE: All numerical references to zone code sections have been updated to include the title of the section.

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

- B. Section II. - Setbacks & Building Height Limitations shall be revised to state that building heights are regulated by Section 14-16-2-15(C)(1)- Office & Institution Zone which allows a maximum building heights of 26', however, any structure over 26' must fall within 45 degree angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline. Additionally, structures shall not exceed 26' within 85' of a lot zoned specifically for houses.

RESPONSE: Section II. Setbacks & Building Height Limitations has been updated by adding a new paragraph II.a.i to reflect the language in the condition regarding maximum height, angle planes, etc and reference to zone code section 14-16-2-15(C)(1).

- C. Section III. – Parking shall be revised to include a note stating that all off-street parking areas shall comply with all First Flush Drainage Ordinance requirements as well as a section outlining conformance with Designated Disabled Parking Space requirements.

RESPONSE: Section III. A new paragraph III.e.i has been added to require compliance with the First Flush Drainage Ordinance requirements. Also, a new paragraph III.f. has been added calling out required compliance with the Designated Disable Parking Space requirements per zone code Section 14-16-3-1(F)(9)(a)-(c)

- D. Section IV.(a)(ii)- Pedestrian Connections & Amenities shall be revised to reference the correct 6.75 total site acreage. It currently reads that the site contains a total of 5 acres.

RESPONSE: Section IV.a.ii. has been updated to show the actual acreage, which is 6.75 acres.

- E. The title for Section VI. – Walls & Fences shall be revised to read “Walls, Fences & Screening”, provide more detail regarding specific materials to be used for trash enclosures, and item 1. Be revised to cite the specific city Drainage Ordinance Number.

RESPONSE: Section VI. Title has been updated to include the word Screening, and a new paragraph VI.b.ii. has been added to call out materials acceptable for trash enclosures.

- F. Section VIII.- Architecture shall be revised to include information outlining the proposed FAR for the subject site as required by the Zoning Code.

REPSONSE: Section VIII. A new paragraph VIII.b has been added stating the maximum FAR of 1.0.

- G. Section X.(f)- Signage shall be revised to reflect the Zoning Code requirements of Section 14-16-3-2(B)(4) which states that only one free-standing sign for every 300 linear feet of frontage along an arterial is allowed.

RESPONSE: Section X.f. This paragraph has been updated to show the exact language stated in the condition.

H. The Conceptual Drainage Plan shall be revised to include drainage details for the southwesterly portion of Tract A-1 and the southeasterly portion of Tract A-1.

RESPONSE: Conceptual Drainage Plan: Civil to add drainage details for southwesterly portion of Tract A-1 and the southeasterly portion of Tract A-1.

4. The Subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3).

RESPONSE: We believe the Site Plan for Subdivision meets this condition.

5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

RESPONSE: We believe the Site Plan meets this condition.

6. Conditions of Approval-Water Utility Authority, Utility Services:

- An availability statement is required and can be made at the following link: <http://www.abcwua.org/AvailabilityStatements.aspx>. Requests shall include fire flow requirements from the fire marshal.

RESPONSE: An availability statement request was submitted and a letter was received on January 14, 2016. A Fire 1 plan has been submitted to Fire Marshal's office for fire flow requirements.

- The Utility Plan indicates public sanitary sewer onsite. This will not be acceptable.

RESPONSE: The plan was modified to designate the proposed sanitary sewer system as private.

7. Conditions of Approval –City Engineer, Transportation Development:

- Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

RESPONSE: Shown on attached Infrastructure list is the proposed infrastructure, The Plat will dedicate additional land for the alleyway.

- Developer shall finalize and follow the requirements as per the approved Traffic Impact Study.

RESPONSE: A final TIS has been submitted and all recommended requirements are listed on the attached infrastructure list.

- Additional right-of-way must be dedicated to widen the existing alley to provide two-way traffic along the west of the property and to provide for an adequate entrance from Wyoming Blvd.

RESPONSE: As shown on the proposed plat the additional right-of-way is being dedicated to the City of Albuquerque.

- The existing access (located on the SE corner of the property) to the Bank parcel needs to be modified to be perpendicular to the roadway.

RESPONSE: The access has been modified to show as perpendicular to the roadway in accordance to the TIS.

8. Conditions of Approval –City Engineer, Hydrology Development:

EPC project #1010550: A full G&D plan review meeting the following criteria and other criteria stated in the Development Process Manual Chapter 22 and the design guidelines given in Standard Specifications will be required before grading can commence.

RESPONSE: A grading and drainage plan has been submitted to the City of Albuquerque.

9. Conditions for Approval for Project- Public Service Company of New Mexico:

- As individual pad sites develop, coordination with PNM will be necessary regarding proposed tree species, the height at maturity and tree placement along the western boundary of the property in order to ensure sufficient safety clearances and to avoid interference between trees and the existing distribution facilities.

RESPONSE: We will coordinate with PNM at the time the pads are developed.

If you have any questions or need additional information, please do not hesitate to contact me.

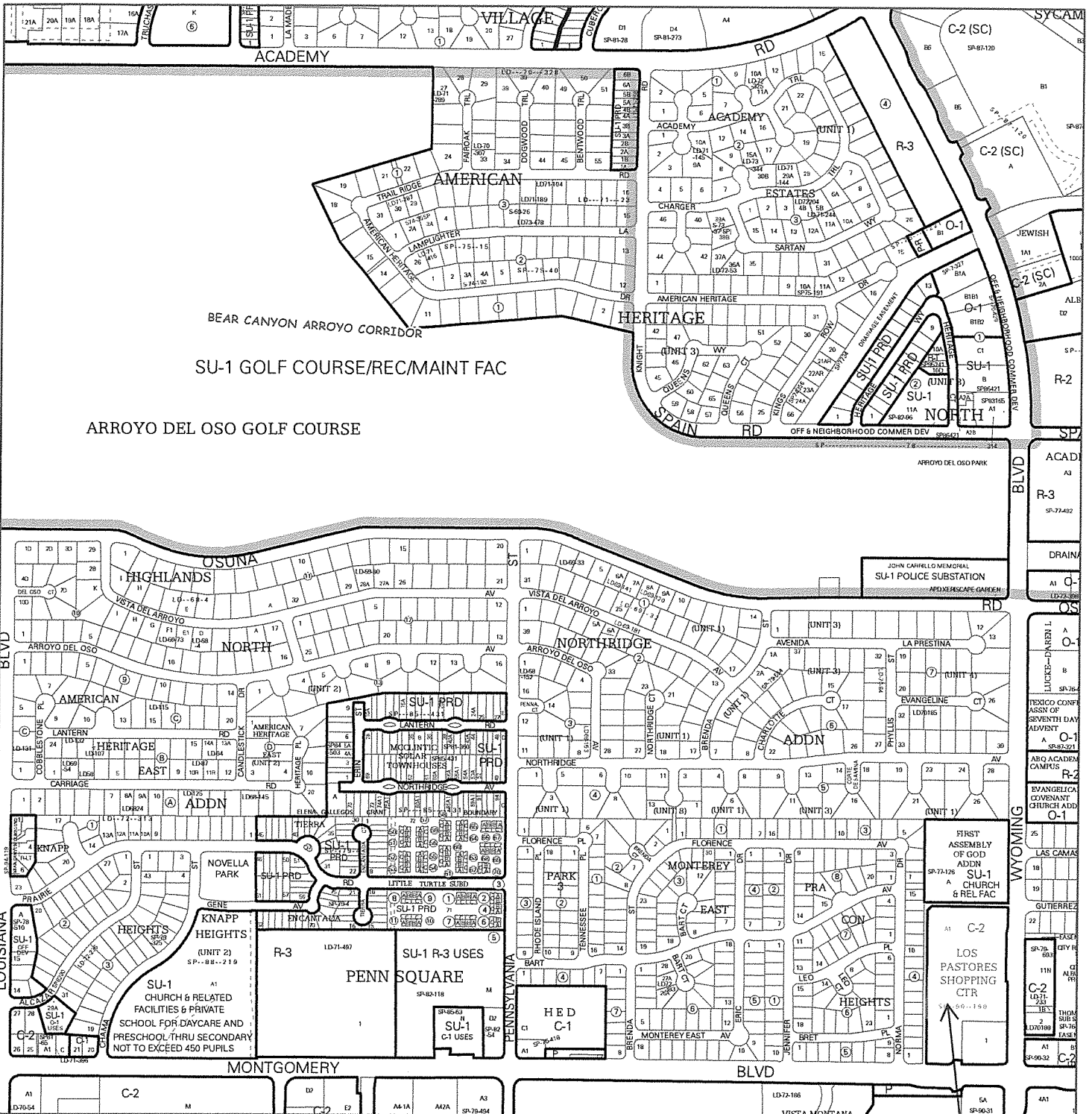
Sincerely,



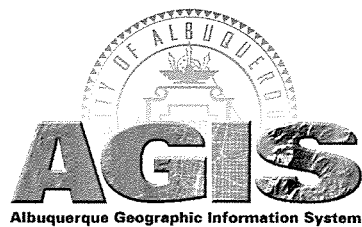
Ronald R. Bohannon, PE

cc: Bill Gunther
Mark Manuey

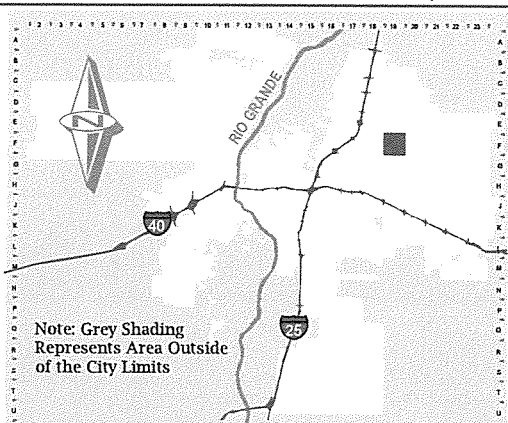
JN: 2014052
RRB/jg



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/4/2010



Note: Grey Shading Represents Area Outside of the City Limits

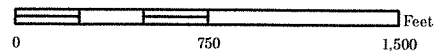
Zone Atlas Page:

F-19-Z

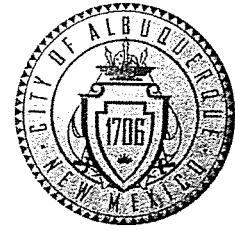
SITE

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

January 15, 2016

W & M Company
ATTN: Bill Gunther
8220 La Mirada Rd NE, Suite 300
ABQ, NM 87109

Project# 1010550
15EPC-40032 Site Development Plan for Subdivision

LEGAL DESCRIPTION:

For all or a portion of Tract A-1 Redivision of Tract A (now comprising Tracts A1 & A2), the southwesterly portion of Tract A-1, all of Tract 1 excluding the northerly portion & excluding those portions adjacent to the south & east out to right-of-way, zoned C-2, located on Wyoming Blvd. NE, between Montgomery Blvd. NE & Osuna Rd. NE, containing approximately 6.75 acres.
(F-19)

Staff Planner: Vicente Quevedo

PO Box 1293

Albuquerque

On January 14, 2016, the Environmental Planning Commission (EPC) voted to APPROVE Project #1010550/15EPC-40032, a Site Development Plan for Subdivision, based on the following findings and conditions:

New Mexico 87103

FINDINGS:

1. This is a request for a Site Development Plan for Subdivision Amendment for Tract A-1, Re-division of Tract A (now comprising Tracts A1 & A2), the southwesterly portion of Tract A-1, all of Tract 1 excluding the northerly portion & excluding those portions adjacent to the south & east out to right-of-way located on Wyoming Blvd. NE, between Montgomery Blvd. NE and Osuna Rd. NE and containing approximately 6.75 acres.
2. The subject site is zoned C-2 (SC). The proposed amendments will subdivide the undeveloped portions of the subject site into five separate pad sites and establish necessary access and utility easements. Updated design standards are also proposed that would apply to the entire 6.75 acre shopping center site. This is a quasi-judicial matter.
3. A subdivision plan was originally approved in December 1962 and subdivided the subject site into three separate tracts (S-1214). The existing C-2 zoning was established for the subject site in

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November 1977 (Z-77-165). In January 1980 the Los Pastores Shopping Center development plan was approved by the EPC with conditions.

4. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The Site Development Plan for Subdivision Amendment furthers the following relevant Comprehensive Plan policies:
 - A. Policy II.B.5.d.: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The requested action is appropriately located adjacent to and nearby a cluster of other C-2 zoned lots, the intensity of which will not negatively impact existing residential development in the area. Carrying capacities are also appropriate for the area. Therefore, the request furthers Policy II.B.5.d.
 - B. Policy II.B.5.e.: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The portion of the site that is proposed to be subdivided into 5 new pad sites is vacant and is contiguous to existing urban facilities and services and the integrity of existing neighborhoods will be ensured. The request furthers Policy II.B.5.e.
 - C. Policy II.B.5.i.: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The applicant envisions additional commercial uses for the subject site. The subject site is located near adjacent to and nearby a cluster of other C-2 zoned lots which are configured to complement nearby residential areas. The proposed design standards proposed by the applicant generally meet the requirements of the Zoning Code and will serve to minimize any potential adverse impacts on residential environments. Therefore, the request furthers Policy II.B.5.i.
 - D. Policy II.B.5.j.: Where new commercial development occurs, it should generally be located in existing commercially zoned areas as follows:

In larger area-wide shopping centers located at intersections of arterial streets and provided with access via mass transit; more than one shopping center should be allowed at an intersection only when transportation problems do not result.

New commercial development that results from the proposed subdivision action will be located within an existing commercially zoned area, within a larger area-wide shopping center site at the intersection of Wyoming and Montgomery Blvd. which are designated minor arterial streets. Route

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#31, Wyoming route, and Route #98, Alameda-Wyoming-KAFB commuter route, pass the site on Wyoming Blvd. Therefore, the request furthers Policy II.B.5.j.

- E. Policy II.B.5.k.: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operation.

The subject site is adjacent to two minor arterials and will be designed to minimize any harmful effects of traffic on nearby established residential neighborhoods. Transportation Staff provided comments that, when addressed, would help minimize harmful effects of traffic. The TIS form indicates that a traffic study is not required. The request furthers Policy II.B.5k.

- F. Policy II.B.5l.: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

The proposed design standards would require quality building materials and articulation, and would result in "modern" style buildings that would generally create quality. The request furthers Policy II.B.5l-quality design/new development.

6. The applicant requests that future site development plans for building permit for each tract be delegated to DRB for review and final sign-off.
7. The EPC has complete discretion over whether DRB delegation will be approved.
8. Design standards must be clear and provide sufficient direction with regard to the design and pad site layout direction for future requests for Site Development Plans for Building Permit.
9. The proposed design guidelines do not warrant delegation to DRB as they do not provide sufficient design and pad site layout direction for future requests for Site Development Plans for Building Permit.
10. The Loma Del Rey Neighborhood Association and District 7 Coalition of Neighborhood Associations as well as property owners within 100' of the subject were notified of this request. A facilitated meeting was not recommended by the Office of Neighborhood Coordination.
11. Staff received written public comments from the property owner directly north of the subject site stating that they were not in agreement with the proposed request for a site development plan for subdivision amendment, future improvements to the existing 20' public alley that will be required by the Traffic Engineering Department, as well as the potential for alcohol sales to take place on the subject site.

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12. At the November 12, 2015 public hearing, the EPC voted to continue the Site Development Plan for Subdivision Amendment request for 60 days to the January 14, 2016 public hearing to allow time for a facilitated meeting to occur and for Planning Staff to conduct additional research regarding a previously vacated alley on the subject site.
13. A facilitated meeting was held during the continuance period. The surrounding neighborhood associations generally support the proposal. While the Church proposed that the City require another shopping center access farther south, expressed concerns regarding overflow parking onto their lot from future shopping center users and raised the possibility of having a half-wall on their southwest boundary to discourage overflow parking on their site.
14. Facilitated meeting attendees agreed to meet again on January 6 at 2 PM to continue the discussion of the use of the alley and traffic routing options as well as review alternative site design layouts from the applicant to attempt to address the church's concerns.
15. Staff notes that the scheduling of this meeting will not allow enough time for a finalized facilitator meeting report to be issued for inclusion in the Supplemental Staff Report prior to the EPC case distribution on Thursday January 7, 2016.
16. The attorney representing Legacy Church (Steve Smothermon) presented a Notice of Decision for File # Z-77-165 / V-77-41 and claimed that the existing 20' public alley that bisects the subject site and the Church's property should have been vacated in 1977.
17. Additional staff research has confirmed that File # Z-77-165 / V-77-41 did result in the vacation and relocation of an existing alley on the subject site that met the following conditions
 - A. Submittal of a summary plat which combines the northerly portion with the balance of the parcel;
 - B. Relocation of the alley in accordance with the Traffic Engineering requirements.
18. A summary plat that combined the northerly portion with the balance of the parcel and relocated the alley approximately 100' north of its previous location in accordance with Traffic Engineering requirements was approved on May 10, 1978 (SP-78-297 / D8-127) and recorded with the Bernalillo County Clerk on May 22, 1978. The replat to vacate the alley dedicated the right-of-way for the subject alley.
19. The existing 20' public alley that bisects the subject site and the Church property to the north is located in accordance with the appropriate EPC N.O.D. for File # Z-77-165 / V-77-41 dated November 21, 1977.

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January 14, 2016

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CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Conditions of Approval for Design Standards Section:
 - A. All references made within the site development plan for subdivision to applicable sections of the City of Albuquerque Comprehensive Zoning Code shall list/identify the full corresponding name of that section of the Zoning Code within the design standards section.
 - B. Section II. – Setbacks & Building Height Limitations shall be revised to state that building heights are regulated by Section 14-16-2-15(C)(1) – Office & Institution Zone which allows a maximum building height of 26', however, any structure over 26' must fall within 45 degree angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline. Additionally, structures shall not exceed 26' within 85' of a lot zoned specifically for houses.
 - C. Section III. – Parking shall be revised to include a note stating that all off-street parking areas shall comply with all First Flush Drainage Ordinance requirements as well as a section outlining conformance with Designated Disabled Parking Space requirements.
 - D. Section IV.(a)(ii) – Pedestrian Connections & Amenities shall be revised to reference the correct 6.75 total site acreage. It currently reads that the site contains a total of 5 acres.
 - E. The title for Section VI. – Walls & Fences shall be revised to read “Walls, Fences & Screening”, provide more detail regarding specific materials to be used for trash enclosures, and item 1. be revised to cite the specific city Drainage Ordinance number.
 - F. Section VIII. – Architecture shall be revised to include information outlining the proposed FAR for the subject site as required by the Zoning Code.
 - G. Section X.(f) – Signage shall be revised to reflect the Zoning Code requirements of Section 14-16-3-2(B)(4) which states that only one free-standing sign for every 300 linear feet of frontage along an arterial is allowed.
 - H. The Conceptual Drainage Plan shall be revised to include drainage details for the southwesterly portion of Tract A-1 and the southeasterly portion of Tract A-1.

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4. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3).”
5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
6. Conditions of Approval – Water Utility Authority, Utility Services:
 - An availability statement is required and can be made at the following link: http://www.abcwua.org/Availability_Statements.aspx. Requests shall include fire flow requirements from the fire marshal.
 - The Utility Plan indicates public sanitary sewer onsite. This will not be acceptable.
7. Conditions of Approval – City Engineer, Transportation Development:
 - Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).
 - Developer shall finalize and follow the requirements as per the approved Traffic Impact Study.
 - Additional right-of-way must be dedicated to widen the existing alley to provide two-way traffic along the west of the property and to provide for an adequate entrance from Wyoming Blvd.
 - The existing access (located on the SE corner of the property) to the Bank parcel needs to be modified to be perpendicular to the roadway.
8. Conditions of Approval – City Engineer, Hydrology Development:
 - EPC project # 1010550; A full G&D plan review meeting the following criteria and other criteria stated in the Development Process Manual Chapter 22 and the design guidelines given in Standard Specifications will be required before grading can commence.
9. Conditions for Approval for Project – Public Service Company of New Mexico:
 - As individual pad sites develop, coordination with PNM will be necessary regarding proposed tree species, the height at maturity and tree placement along the western boundary of the property in order to ensure sufficient safety clearances and to avoid interference between trees and the existing distribution facilities.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC’s decision or by **JANUARY 29, 2016**. The date of the EPC’s decision is not included in the 15-day period for filing an

OFFICIAL NOTICE OF DECISION

Project #1010550

January 14, 2016

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appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

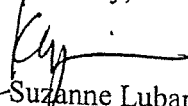
You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


for Suzanne Lubar
Planning Director

SL/VQ

cc: Tierra West, LLC, 5571 Midway Park Pl. NE, ABQ, NM 87109
Brian A. Eagan, Loma Del Rey NA, 8416 Hilton Ave NE, Apt. 4B, ABQ, NM 87111

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William E. Burk, III, Loma Del Rey NA, 9617 La Playa NE, ABQ, NM 87111
Janice Arnold-Jones, Dist. 7 Coalition of NA's, 7713 Sierra Azul NE, ABQ, NM 87110
Lynne Martin, Dist. 7 Coalition of NA's, 1531 Espejo NE, ABQ, NM 87112
Richard Leverick, 5120 San Francisco NE, ABQ, NM 87109

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		Approval of Creditable Items:	City User Dept. Signature	Date
							Inspector	City Crnst Engineer			
							/	/	/		
							/	/	/		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ronald R. Bohannon DRB CHAIR - date _____ PARKS & RECREATION - date _____
 NAME (print)
Tierra West, LLC TRANSPORTATION DEVELOPMENT - date _____ AMAFCA - date _____
 FIRM
 UTILITY DEVELOPMENT - date _____ - date _____
 CITY ENGINEER - date _____ - date _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

GENERAL NOTES

A. APPLICABLE PLANS: REFER TO DESIGN GUIDELINES, SHEET 3 OF 4 AND 4 OF 4 OF PROJECT DESIGN STANDARD GUIDELINES, THIS PACKAGE.

KEYED NOTES

1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE
3. PRIMARY DEVELOPMENT SIGN
4. FULL ACCESS
5. RIGHT-IN / RIGHT-OUT / LEFT-IN ACCESS
6. RIGHT-OUT ONLY ACCESS
7. EXISTING ACCESS TO BE CLOSED. ALTERNATE EQUAL ACCESS TO BE PROVIDED WITH PROPOSED ALLEY IMPROVEMENTS

SITE DATA

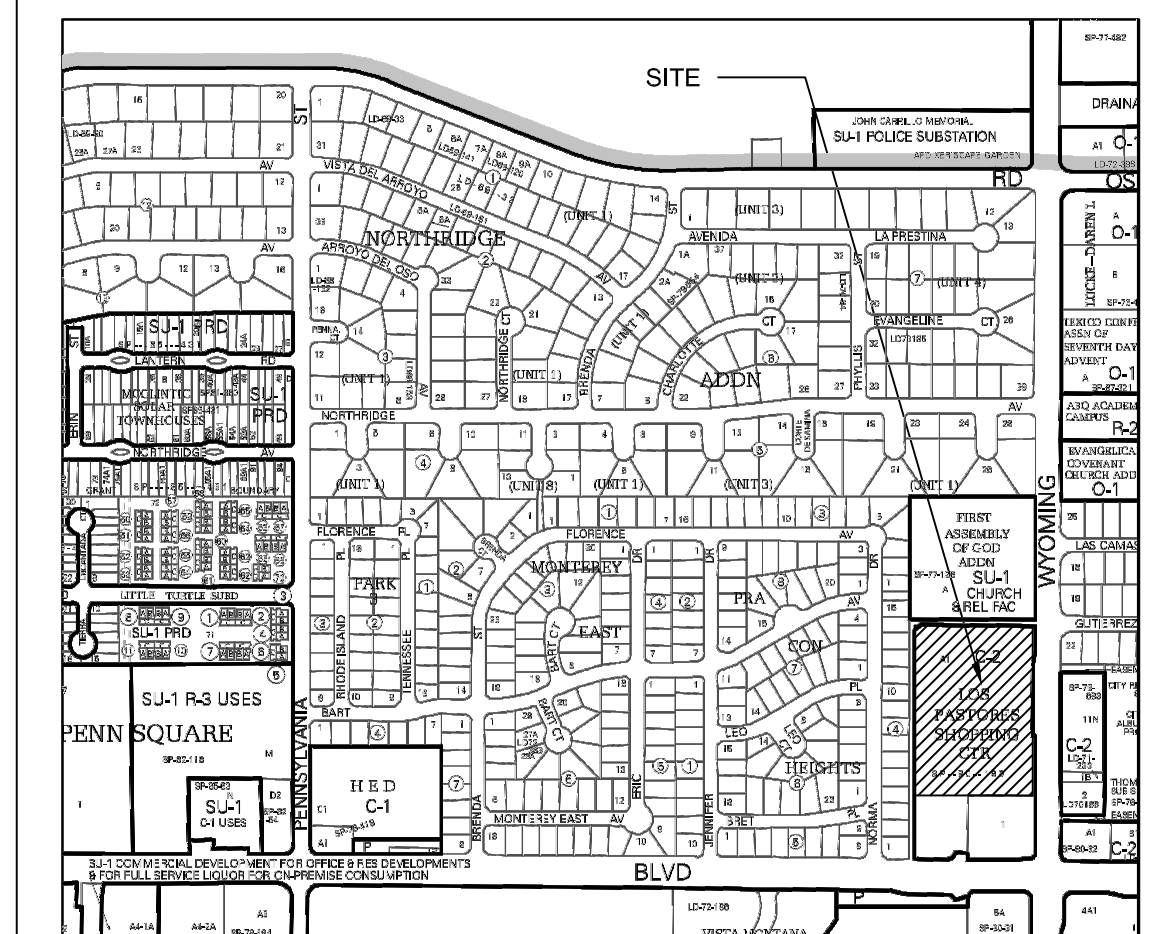
LEGAL DESCRIPTION:
TRACT A-1 REDIVISION OF TR A (NOW COMPRISING TRS A1 & A2)
LOS PASTORES SHOPPING CENTER EXC SLWY PORT & PORT OUT
TO R/W CONT 5.77 AC +/-
Acres: 5.7722
ZONE:
C-2

MAXIMUM BUILDING HEIGHT: SEE DESIGN STANDARDS
BUILDING SETBACKS: SEE DESIGN STANDARDS
PROPOSED USES: RETAIL, RESTAURANT, OR OFFICE
MAXIMUM FAR: 1.0

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED
- PROPOSED ALLEY IMPROVEMENTS

LEGEND



VICINITY MAP
Zone Atlas Map F-19 -Z nts

FORMER PROJECT NUMBER:

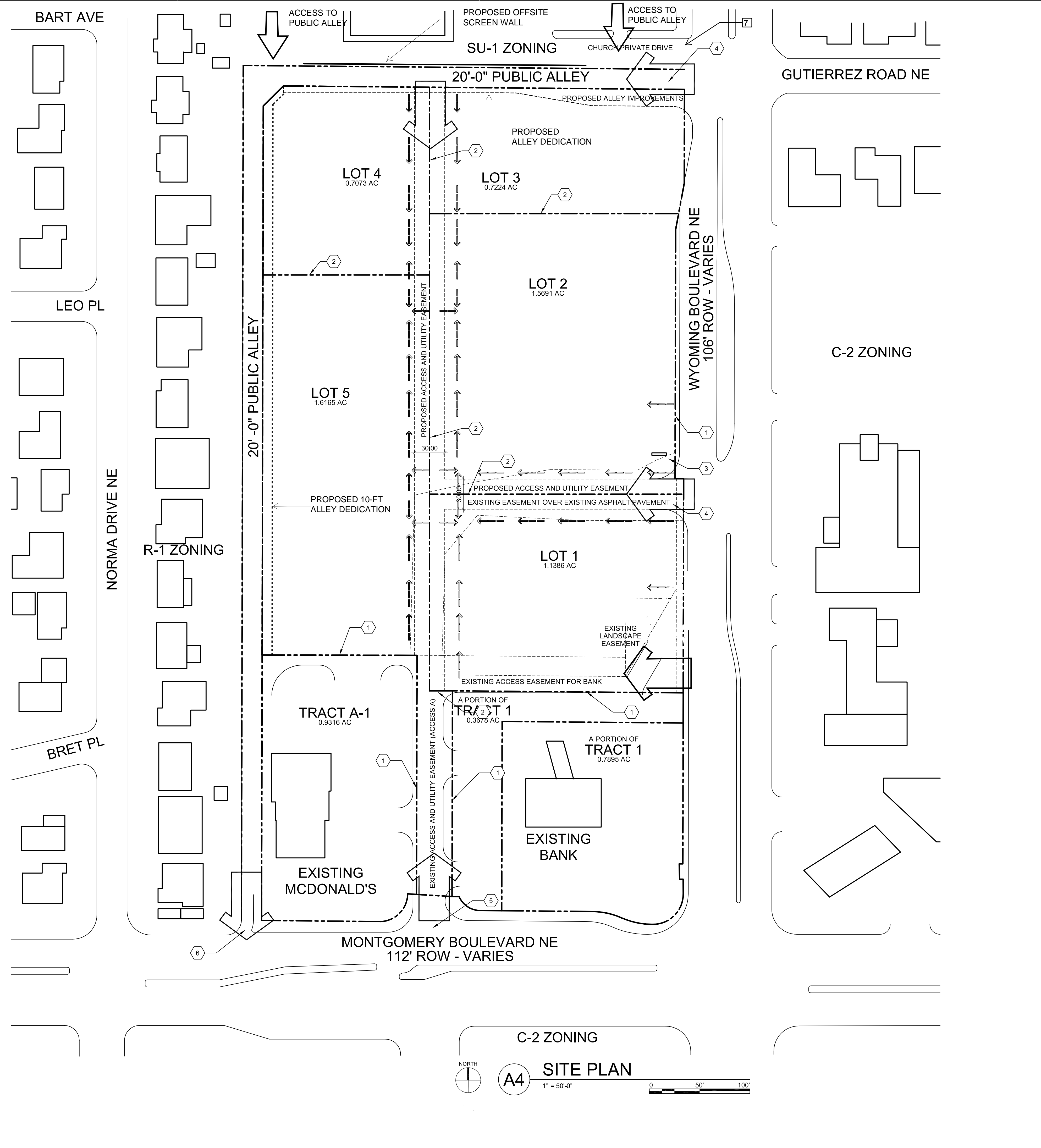
PROJECT NUMBER: 1010550

APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



A4 SITE PLAN
1" = 50'-0"

DESIGN STANDARDS

I. PURPOSE & INTENT

The purpose of these Design Standards is to provide a framework for designers to understand the vision and development goals for the property, and assist them in decision making to achieve the vision and goals. The intent of these standards is to create an aesthetically pleasing, pedestrian friendly, mixed use development that adds office, retail and restaurant amenities to the NW corner of Montgomery and Wyoming. Intended uses includes an office building, with retail, and restaurant establishments along Wyoming Boulevard.

- a. Goals:
 - i. Aesthetic treatments and material selection that provides consistency in design across the entire property.
 - ii. A pedestrian friendly environment that provides pleasant outdoor spaces for users and achieves a 'park once and walk' outcome.
- b. Existing buildings adjacent to Montgomery will remain.
- c. Buildings proposed for this site to comply with C-2 regulations in the City of Albuquerque Code of Ordinances 14-16-2-17 C-2 Community Commercial Zone.
- d. All Design Standards are intended to meet or exceed the requirements of the City of Albuquerque's Code of Ordinances.

II. SETBACKS & BUILDING HEIGHT LIMITATIONS

There is no lot size requirement for a lot in C-2 zone. Maximum FAR is 1.0.

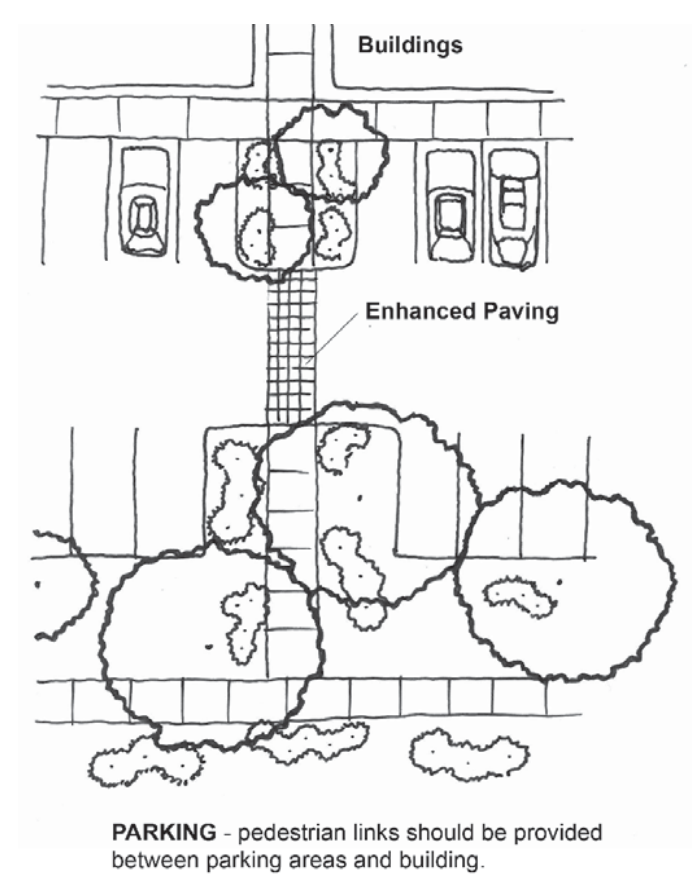
- a. All building setbacks shall be compliant with the C-2 zoning requirements in the City of Albuquerque Code of Ordinances 14-16-2-17 C-2 Community Commercial Zone, except as noted below.
 - i. Building heights are regulated by the City of Albuquerque Code of Ordinances Section 14-16-2-15(C)(1) O-1 Office and Institution Zone which allows a maximum building height of 26', however, any structure over 26' must fall within 45 degree angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline. Additionally, structures shall not exceed 26' within 85' of a lot zoned specifically for houses.
 - ii. Buildings on lots along Wyoming Boulevard shall be setback not more than 90 feet from the public right-of-way in order to limit the amount of parking between the buildings and the street.
- b. Landscape setbacks shall conform to the requirements of the City of Albuquerque's Code of Ordinances Section 14-16-3-10 Landscaping Regulations, except as noted below.
 - i. Parking areas along Wyoming Boulevard shall be setback 15 feet from the public right-of-way to provide space for screening of parked cars through the use of plant materials or low walls. Where parking areas or driveways are not parallel with the street, the setback shall be an average of at least 15 feet.
- c. Building overhangs, patio walls, and patios / plazas and other private amenities intended for use by patrons shall be permitted within this setback to allow for public and/or private nodes for building tenants.

III. PARKING

In order to support the goal of creating a pedestrian friendly environment, careful attention shall be given to parking area design. To lessen its visual impact, parking shall be broken into a series of smaller areas, and views of parking from off-site shall be interrupted with screening materials.

- a. Off-street parking areas, including space size, aisle widths, pedestrian pathways, and screening, shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-1 Off-Street Parking Regulations.
 - i. Parking areas shall be designed to include a 6 foot wide minimum pedestrian connection to buildings.
 - ii. Parking shall be placed behind buildings or screened from surrounding neighborhoods by means of 2.5 to 3 foot high walls and / or landscaping. Walls shall be architecturally cohesive with surrounding buildings.

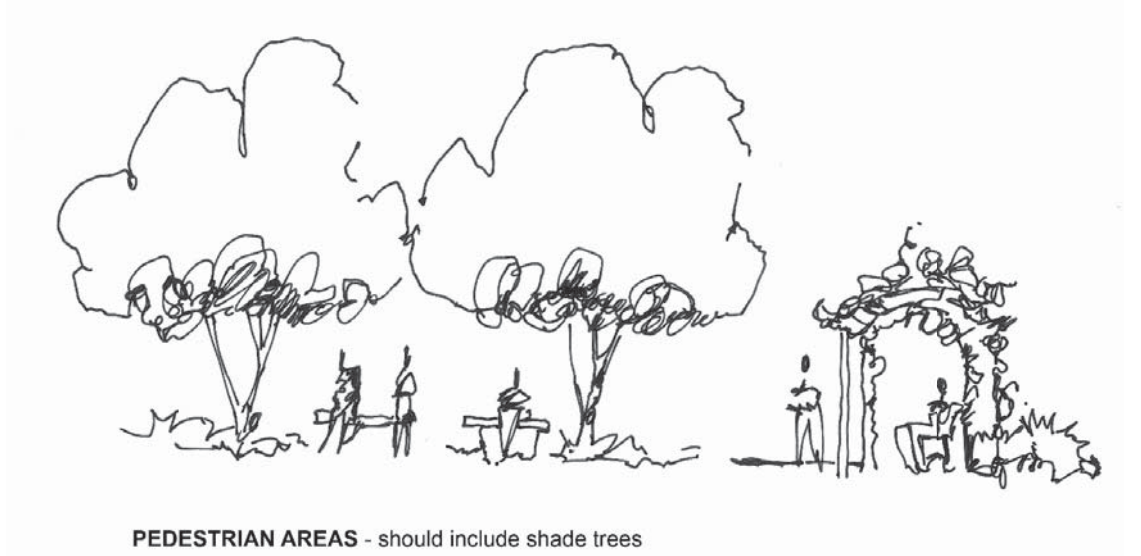
- b. Bicycle parking shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-1(B) Off-Street Parking Regulations.
 - i. To encourage non-vehicular travel, provisions for convenient on-site secure bicycle parking shall be provided near building entrances.
- c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the City of Albuquerque's Code of Ordinances.
- d. Building orientation shall allow for clear visibility of the main entry from parking areas and pedestrian connections.
- e. Grading & drainage design of parking areas shall comply with Chapter 22 of the City of Albuquerque's Code of Ordinances, and shall incorporate low impact development principles.
 - i. All off-street parking areas shall comply with all First Flush Drainage Ordinance requirements.
 - ii. Parking islands shall allow flow of water as a water harvesting device and as required to maintain proper drainage of the site.
- f. All designated disabled parking spaces shall conform to the City of Albuquerque Code of Ordinances Section 14-16-3-1 (F)(9)(a)-(c) Off-Street Parking Regulations.



IV. PEDESTRIAN CONNECTIONS & AMENITIES

Pedestrian connectivity plays a major role in providing a pleasing environment. The following requirements are intended to help meet the property's goal of creating a pedestrian friendly atmosphere.

- a. Pedestrian connections within parking lots shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-1(H) Off-Street Parking Regulations.
 - i. Pedestrian movement from off-site and between buildings shall be encouraged by providing continuous pedestrian connections through parking areas and at the site's perimeter.
 - ii. Parking areas shall include pedestrian connections to all buildings within the approximately six and three quarter (6.75) acre site.
 - iii. Shade provided with trees or shade structures shall be provided at pedestrian connections to enhance the pedestrian experience.
- b. A minimum 200 square feet of public space shall be provided at each restaurant establishment for outdoor seating or gathering. Public spaces for multiple restaurant establishments may be combined into one with a total area equal to 200 square feet per establishment.
 - i. Public space or outdoor seating shall have areas of shade and be adjacent to landscape areas including trees or shrubs per the City of Albuquerque's Code of Ordinances Section 14-16-3-18(C)(4) General Building and Site Design Regulations.
 - ii. Shade provided may include shade sails, canopies, canvas umbrellas at tables, trees, or planting materials significant enough to provide shade and refuge from the sun.
 - iii. Areas designated for public space or seating shall be defined with landscape elements, low seat walls, benches, planters, paving patterns, or materials distinguishable from the pedestrian sidewalk and parking areas.



V. LANDSCAPING

The site development landscape shall serve to enhance the visual aesthetic of the site and aid in reinforcing the street presence and pedestrian experience. The intent is to provide year round color and interest and reflect the natural environment of New Mexico landscape. A clear theme and image for the development shall be enforced throughout by consistent paving materials, plantings, signage, etc.

- a. Street trees shall be provided as per the Street Tree Ordinance of the City of Albuquerque's Code of Ordinances Section 6-6-2-1 et seq., Street Tree Ordinance.
- b. A minimum of 15% of the net site area shall be devoted to landscape materials.
- c. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas.
- d. Gravel shall be a 1-1/2" maximum, the color to be consistent with across the entire property.
- e. All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be free of weeds.
- f. Minimum plant material sizes at the time of installation shall be:
 - i. Canopy Trees - 2" Caliper
 - ii. Evergreen Trees - 10' Minimum height
 - iii. Accent Trees - 2" Caliper
 - iv. Shrubs and Groundcovers - 1 gallon minimum
- g. Landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- h. Drought tolerant species shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of landscape areas at maturity.
- i. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto wall, buildings, fences, sidewalks, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.
- j. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.
- k. Landscape beds shall be at grade to promote water harvesting.
- l. Landscape Plans shall be designed using plants selected from the following palette:

LARGE TREES

- | | |
|-----------------------|----------------------------------|
| Accolade Elm | Ulmus hybrid "Accolade" |
| Afghan Pine | Pinuseldarica |
| Austrian Pine | Pinusnigra |
| Chinese Pistache | Pistaciachinensis |
| Escarpment Oak | Quercus fusiformis |
| Japanese Pagoda Tree | Sophora japonica |
| Modesto Ash | Fraxinusvelutina "Modesto" |
| Purple Robe Locust | Robinapseudoacacia "Purple Robe" |
| Raywood Ash | Fraxinusvelutina "Raywood" |
| Rio Grande Cottonwood | Populuswislizenii |
| Texas Red Oak | Quercusbuckleyi |

SMALL TREES

- | | |
|------------------|--------------------------|
| Chaste Tree | Vitexagnus-castus |
| Desert Willow | Chilopsislinearis |
| Golden Rain Tree | Koelreuteriapaniculata |
| New Mexico Olive | Forestieraneomexicana |
| Oklahoma Redbud | Cercisreniformis |
| Sensation Maple | Acer negundo "Sensation" |

SHRUBS

- | | |
|-----------------------------------|--------------------------------------|
| Apache Plume | Fallugiaparadoxa |
| Bird of Paradise | Caesalpinigiilliesii |
| Blue Rubber Rabbitbrush | Ericamerianauseosus "Blue" |
| Buffalo Juniper | Juniperus |
| Creeping Mahonia | Mahoniarepens |
| Damianita | Chrysactiniamexicana |
| Dark Knight Blue Mist Spirea | Caryopterisclanonensis "Dark Knight" |
| Black Knight Butterflybush | Buddleia davidii "Black Knight" |
| Dwarf Fragrant Sumac | Rhusaromatica "Gro-low" |
| Fernbush | Chamaebatiariamillefolium |
| Littleleaf Mountain Mahogany | Cercocarpusintricatus |
| Moonlight Scotch Broom | Cytisusscoparius "Moonlight" |
| Pawnee Buttes Western Sand Cherry | Prunusbessyii "Pawnee Buttes" |
| Thompson Broom | Baccharis hybrid "Starn Thompson" |
| Threeleaf Sumac | Rhus trilobata |
| Turpentine Bush | Ericamerialaricifolia |
| Winter Gem Boxwood | Buxus japonica "Winter Gem" |

GRASSES

- | | |
|----------------------------------|---|
| Blonde Ambition Blue Grama Grass | Bouteloua "Blond Ambition" |
| Blue Avena Grass | Helictotrichonempervirens |
| Deergrass | Muhlenbergiargens |
| Giant Sacaton | Sporoboluswrightii |
| Indian Grass | Sorghastrumnutans |
| Karl Foerster Feather Reed Grass | Calamagrostisacutiflora "Karl Foerster" |
| Native Wonder Grass Blend | 50% Buchloedactyloides/
50% Boutelougracilis |
| Mexican Feathergrass | Nasellatenuissima |
| Prairie Dropseed | Sporobolusheterolepis |
| The Blues Bluestem | Schizachyriumscoparium "The Blues" |
| Variegated Reed Grass | Calamagrostisacutiflora "Overdam" |

ACCENTS

- | | |
|---------------------|-----------------------|
| Beargrass | Nolinamicrocarpa |
| Broadleaf Yucca | Yuccabaccata |
| Desert Spoon | Dasyliironwheelerii |
| Parry's Agave | Agaveparryi |
| Prickly Pear Cactus | Opuntiaengelmannii |
| Red Yucca | Hesperaloeperuviflora |

PERENNIALS

- | | |
|----------------------------|----------------------------|
| Autumn Sage varieties | Salvia greggii varieties |
| Blanketflower species | Gaillardia species |
| Butterfly Weed | Asclepias species |
| Catmint species | Nepeta species |
| Germander species | Teucrium species |
| Desert Zinnia | Zinnia grandiflora |
| Whirling Butterfly species | Gauralindheimeri varieties |
| Hyssop species | Agastache species |
| Lavender species | Lavandula species |
| May Night Sage | Salvia nemerosa |
| Penstemon species | Penstemon species |
| Poppy Mallow | Callirhoeinvolutrata |
| Rocky Mountain Columbine | Aquilegia caerulea |
| Tickseed species | Coreopsis species |
| Turkish Speedwell | Veronica liwanensis |
| Yarrow species | Achillea species |

VINES

- | | |
|------------------|-------------------|
| Chinese Wisteria | Wisteriachinensis |
| Trumpet Vine | Campsisradicans |

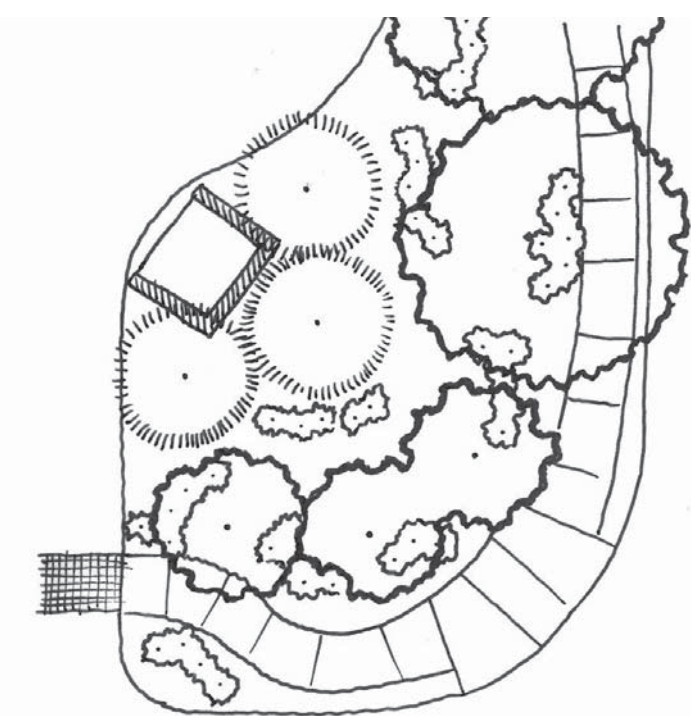
VI. WALLS, FENCES & SCREENING

Screening of less attractive areas such as parking and utility items, as well as management of grade changes that exceed simple slopes, shall be accomplished through the use of walls and fences that are designed to be an integral part of the project's overall aesthetic.

- a. Parking shall be screened from public rights-of-way by means of 2.5 to 3 foot high walls and / or landscaping. These walls shall be architecturally cohesive with surrounding buildings.
- b. Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage.
 - i. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.

DESIGN STANDARDS (continued)

- ii. Trash enclosures shall be constructed utilizing materials such as stucco over concrete masonry units (CMU), split face block, brick, or stone.
- iii. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections.
- iv. Trash enclosures shall have solid, opaque gates as tall as the enclosure.
- c. Walls and fences shall be at least as tall as the objects they are intended to screen and shall not exceed 8 feet high.
- d. All screening devices shall be in compliance with the City of Albuquerque DPM's Clear Sight Triangle regulations.
- e. All mechanical equipment shall meet the screening requirements of the City of Albuquerque's Code of Ordinances Section 14-16-3-18(C)(6) General Building and Site Design Regulations.
 - i. All mechanical equipment shall be screened from public view by materials of the same nature as the adjacent buildings.
- f. Walls and fences shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-19 General Height and Design Regulations for Walls, Fences, and Retaining Walls.
- g. Perimeter walls shall include openings at all pedestrian connections to ensure convenient access to adjacent tracts.
- h. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slats, cyclone fencing or unfinished solid CMU is prohibited.
- i. Acceptable wall & fence materials include but are not limited to:
 - i. stucco over concrete masonry units (CMU)
 - ii. split face block
 - iii. brick
 - iv. stone
 - v. curved interlock blocks
 - vi. tubular steel, wrought iron bars, or other grill work
- j. The finish of walls & fences shall be attractive and compatible with the building materials of adjacent buildings on the site.
- k. The site slopes slightly from Wyoming Blvd. to the west to provide a fairly level site.
 - i. Retaining walls are permitted, but they must be shown and approved on the Site Development Plan for Building Permit.
 - ii. Retaining walls, seat walls, or elements intended to compensate for a slope in the site, shall avoid long unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot with planes not running in one continuous direction for more than fifty feet without a change in height or setback.
 - iii. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes within the site.
- l. Grading and Drainage plans must comply with the City of Albuquerque's Code of Ordinances Section 14-5-2 Drainage Control, & Development Process Manual Volume II, Chapter 22 Drainage, Flood Control, and Erosion Control.
 - i. All measures shall be taken to provide public safety at pond locations.
 - ii. Site ponding shall be integrated with the landscape plan.

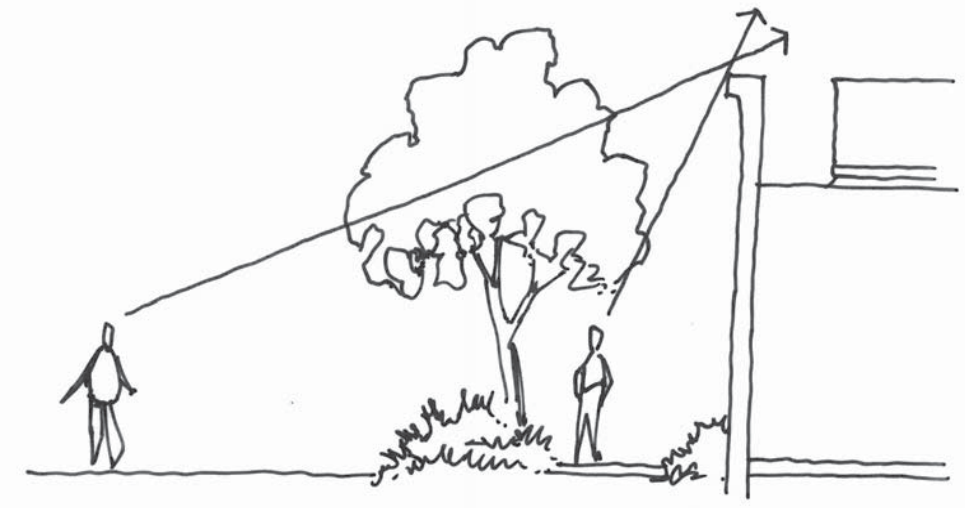


REFUSE CONTAINERS - shall be screened by a 6 foot tall enclosure and plant materials

VII. UTILITIES

To ensure the overall aesthetic quality of the property and natural environment, the visual impact of utilities and equipment should be minimized by the following:

- a. All new electrical distributions lines shall be placed underground.
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used on the adjacent buildings. If prefabricated enclosures are used, they shall be appropriately screened from view with walls and/or landscaping.



MECHANICAL SCREENING - should be screened from public view

VIII. ARCHITECTURE

Architectural design of buildings and site features shall demonstrate a high quality aesthetic character throughout the property and shall respond to climate, views, solar access, and aesthetic considerations.

- a. All development shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-18 General Building and Site Design Regulations.
- b. The maximum FAR (Floor Area Ratio) for all tracts within this development is 1.0.
- c. Architectural Style
 - i. The development shall provide a cohesive material and color palette among all buildings.
 - ii. All buildings shall be "modern" in design.
 - iii. Historical references to traditional New Mexico styles shall be a modern interpretation of those styles. Literal duplications of historic buildings are prohibited.
 - iv. Generic franchise architecture is prohibited.
- d. Articulation
 - i. Buildings shall have a variety of structural forms to create visual character and interest.
 - ii. Long unarticulated facades shall be avoided. Facades shall have varied front setbacks, with wall planes not running in one continuous direction for more than 100 feet without a change in architectural treatment such as offset, material, or fenestration.
 - iii. Massing elements shall be reinforced with color variation or material distinctions.
- e. Materials
 - i. The architectural expression of all buildings shall reflect modern design with the use of materials appropriate to the New Mexico climate.
 - ii. Individual building elements shall be of excellent design and quality materials such as:
 - 1. Metal wall panels
 - 2. Porcelain tile
 - 3. Natural stone panels
 - 4. Concrete
 - 5. Rammed earth
 - 6. Glass

IX. LIGHTING

To enhance safety, security and visual aesthetics, daytime and night-time appearance of lighting design and fixtures shall be considered. The primary design objective of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings, or roadways with unnecessary glare or reflection.

- a. All lighting shall comply with The City of Albuquerque's Code of Ordinances Section 14-16-3-9 Area Lighting Regulations.
- b. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act.
- c. All free-standing lights shall be of consistent design throughout the site.
- d. High pressure sodium & cobra-head type lighting fixtures are not permitted.
- e. Lighting plan details shall be located on Site Development Plans for Building Permit
- f. The height of street lights and off-street parking areas lights shall not exceed 26 feet.
- g. All lights shall be a shielded source to prevent spillage onto adjoining properties or the public right-of-way.
- h. Pedestrian lighting shall not exceed 12 feet in height.
- i. Tree canopy lighting may be used to accent and enhance pedestrian connections.
- j. Exterior elevations of buildings fronting the public right-of-way

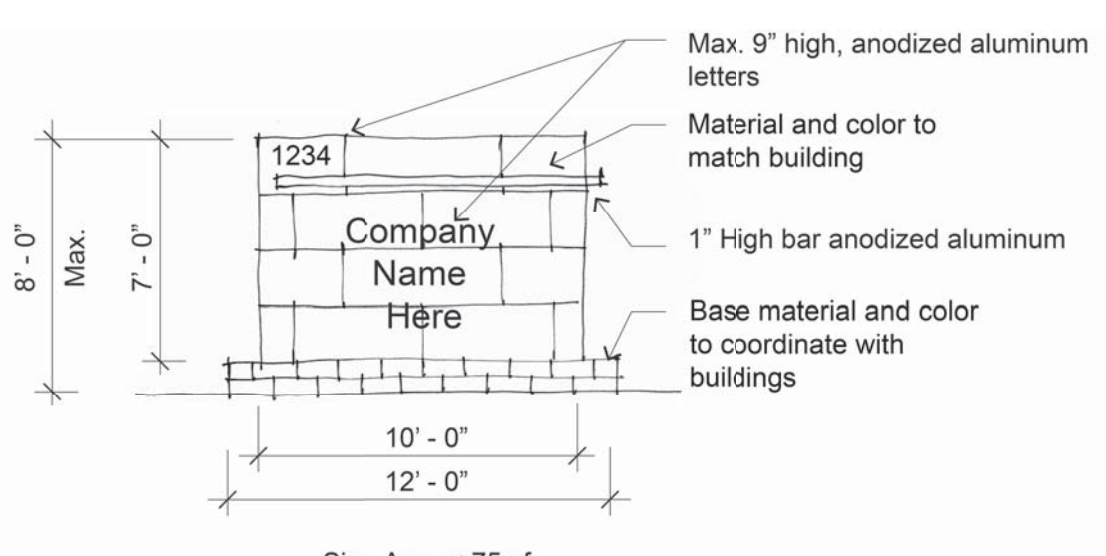


LIGHTING - should be shielded source, with the height kept to a minimum necessary to meet safety standards

X. SIGNAGE

Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their uses.

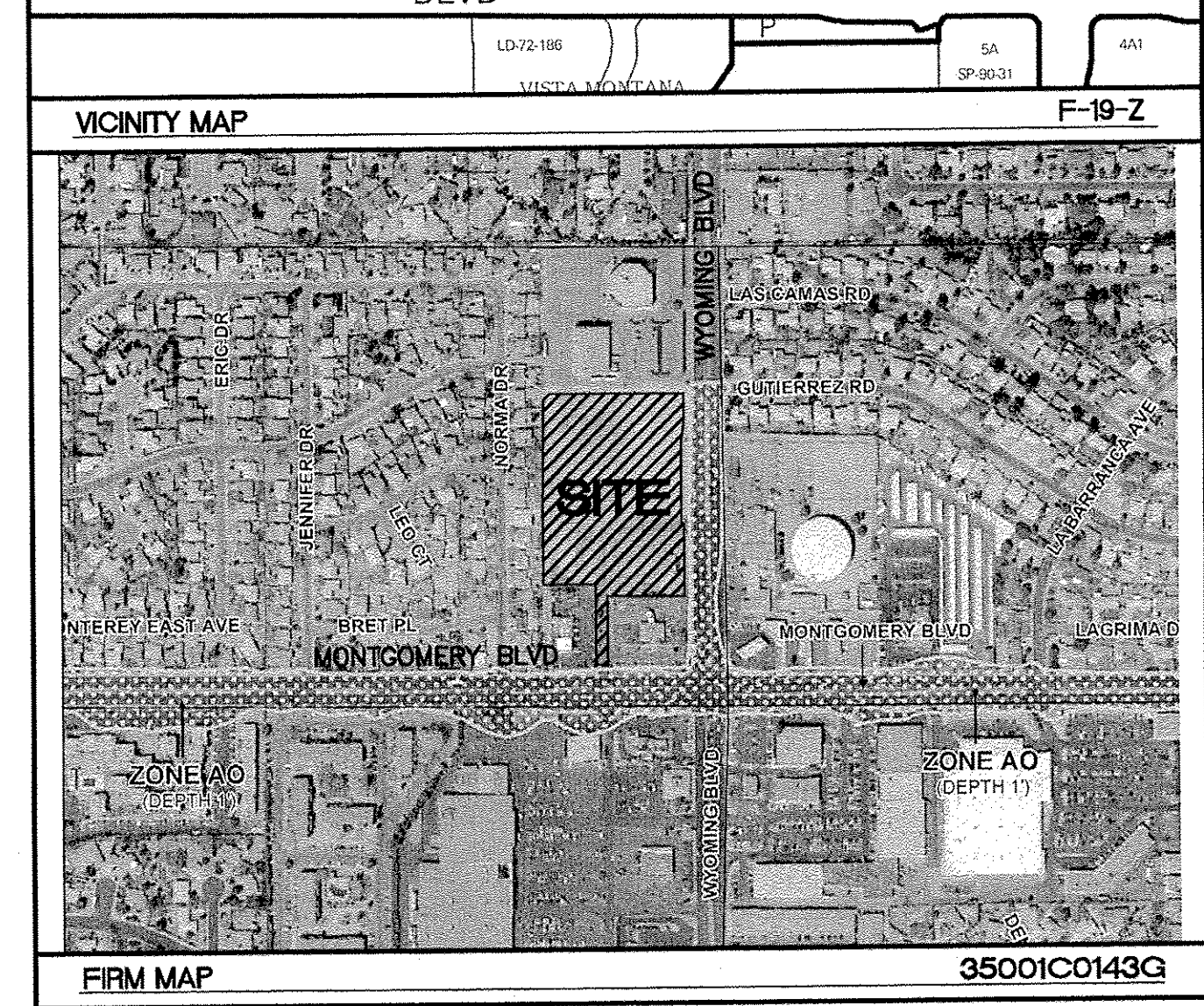
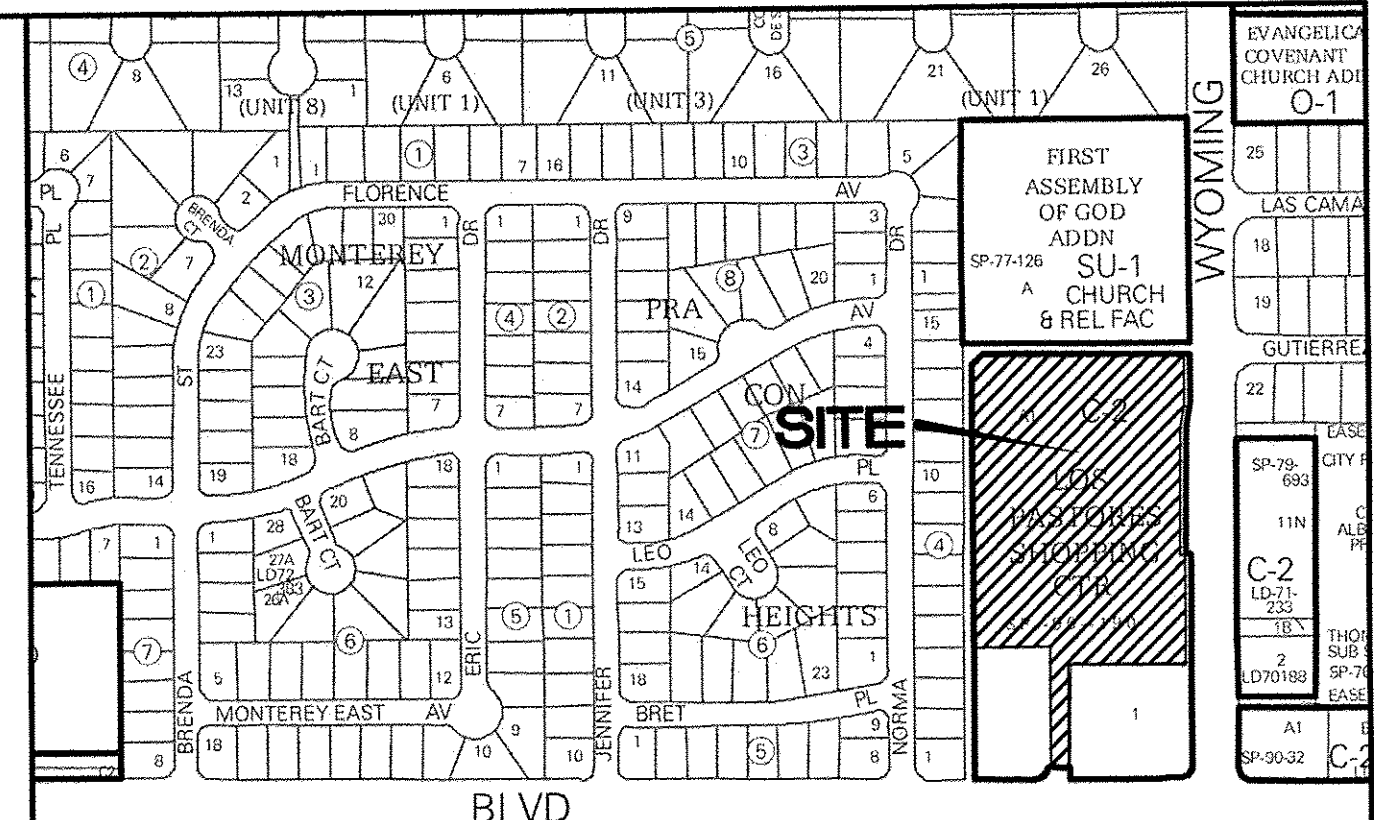
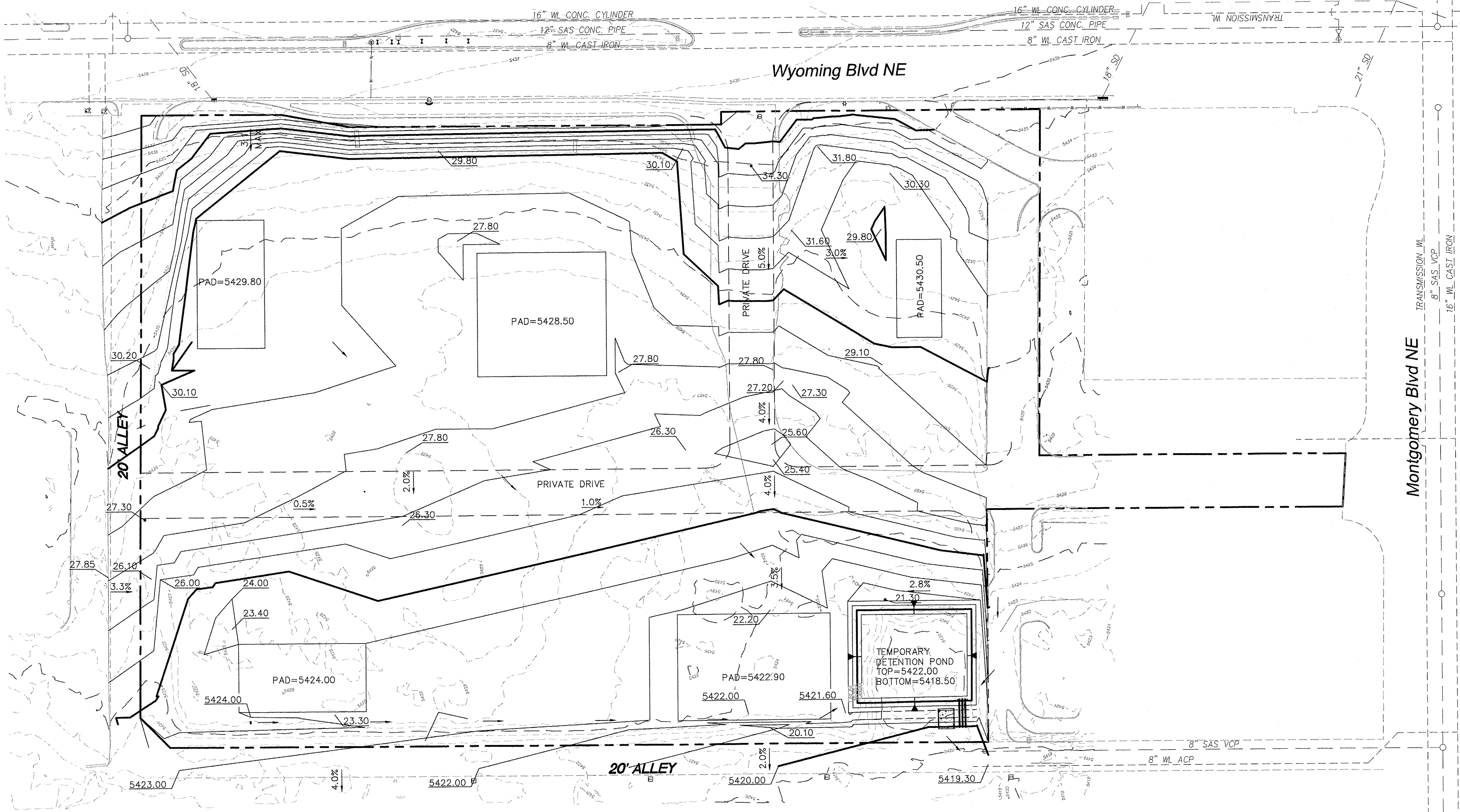
- a. Signage shall comply with the the City of Albuquerque's Code of Ordinances Section 14-16-3-5 General Sign Regulations.
- b. Free standing signs shall be designed so as not to require any external bracing, angle supports, guy wires or similar devices for support.
- c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.
- d. Signs shall not overhang into the public right-of-way or extend above the building roof line.
- e. Off-premise signs and portable signs are prohibited.
- f. Monument signs shall comply with the City of Albuquerque's Code of Ordinances Section 14-16-3-2(B)(4) Shopping Center Regulations. Freestanding monument signs shall be limited to one on-premise sign per 300 feet of street frontage on arterial or collector streets.
- g. Building mounted signs shall have contrasting colors from the background and text height and font that ensures readability.
- h. No building mounted sign shall intrude upon architectural features including windows, columns, or canopies or decorative features.



SIGNAGE - should be coordinated with building and forms.

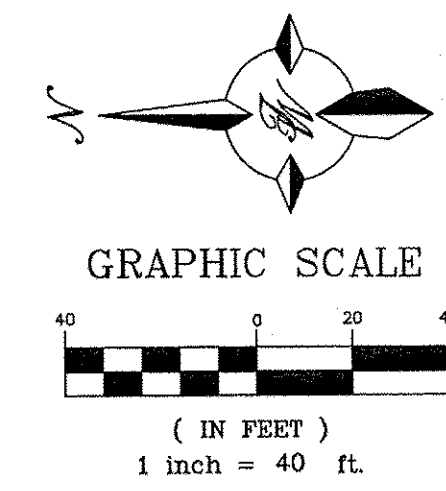
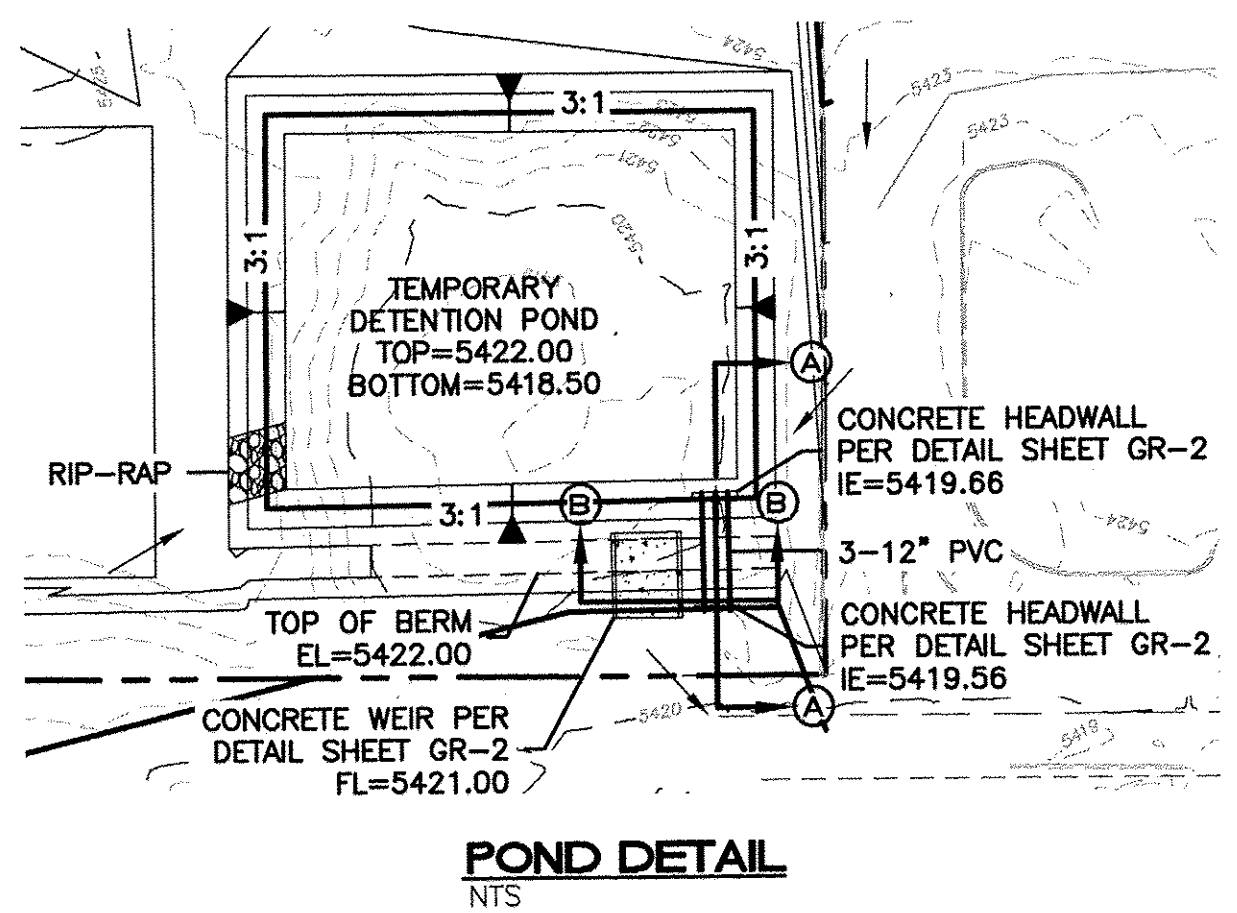
XI. PROCESS

Site Development Plans for Building Permit shall be delegated to the Development Review Board and shall be consistent with the Design Standards established by this Site Development Plan for Subdivision.



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	SIDEWALK
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING GAS
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR



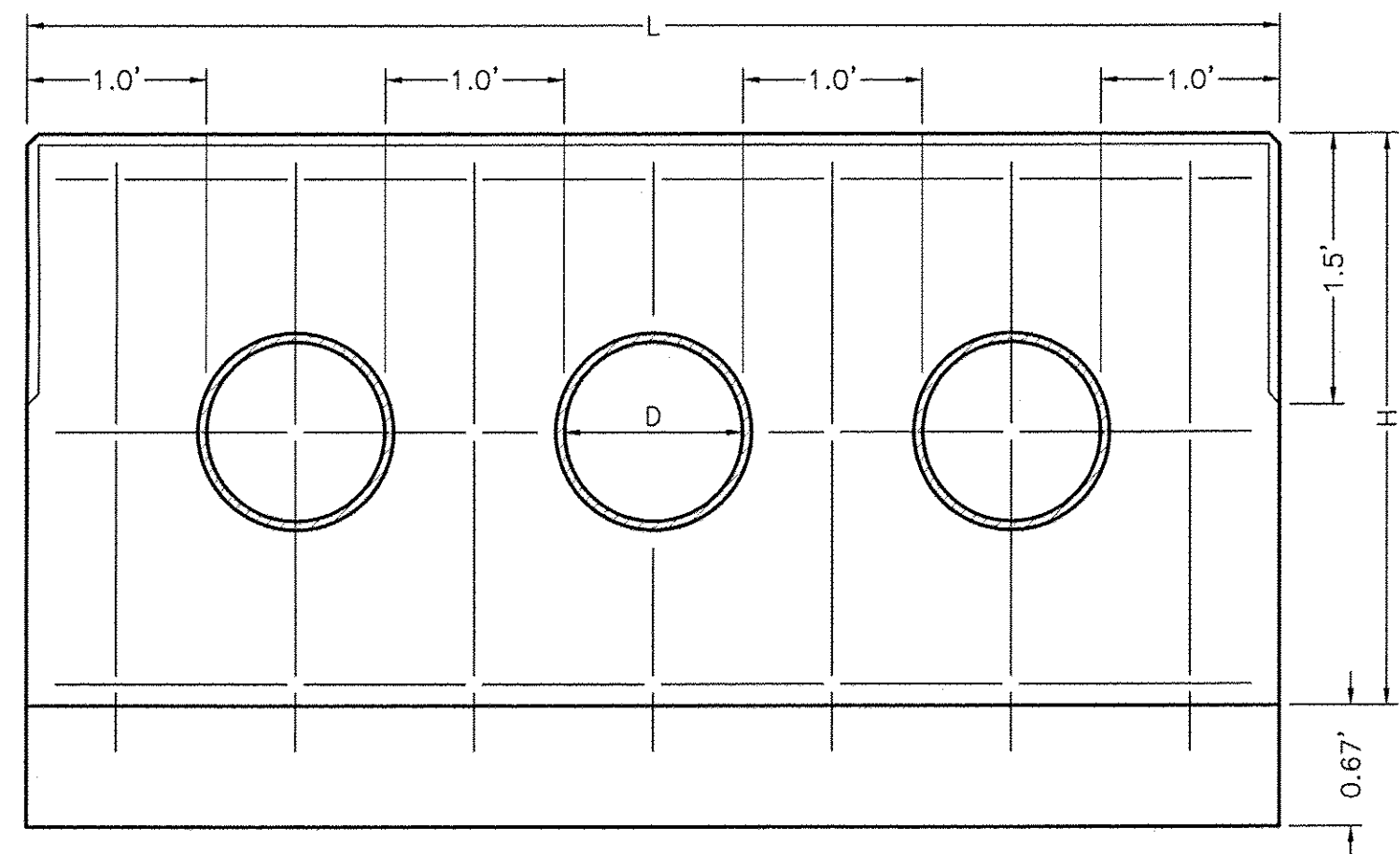
CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL 	LOS PASTORES SHOPPING CENTER GRADING PLAN	DRAWN BY DY
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DATE 5/02/16 2014052-GR-1
JOEL D. HERNANDEZ P.E. #17893	SHEET # GR-1	JOB # 2014052

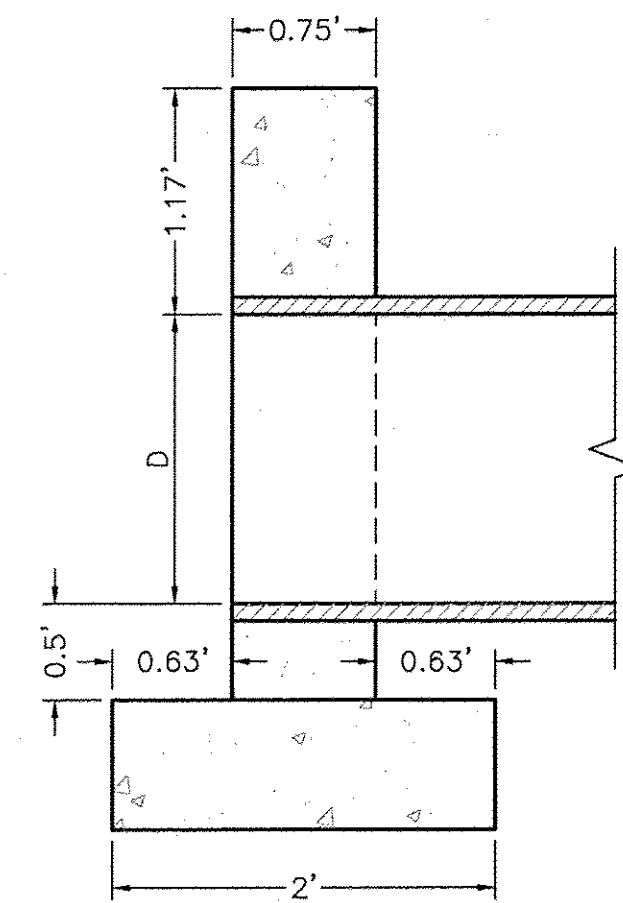
NOTES:

1. CONCRETE SHALL BE 4000 PSI.
2. ALL REINFORCING STEEL #4 BARS. ALL VERTICAL AND HORIZONTAL TIE BARS 18" MAXIMUM SPACING.

D	H	L
12"	2'-8"	7'-0"

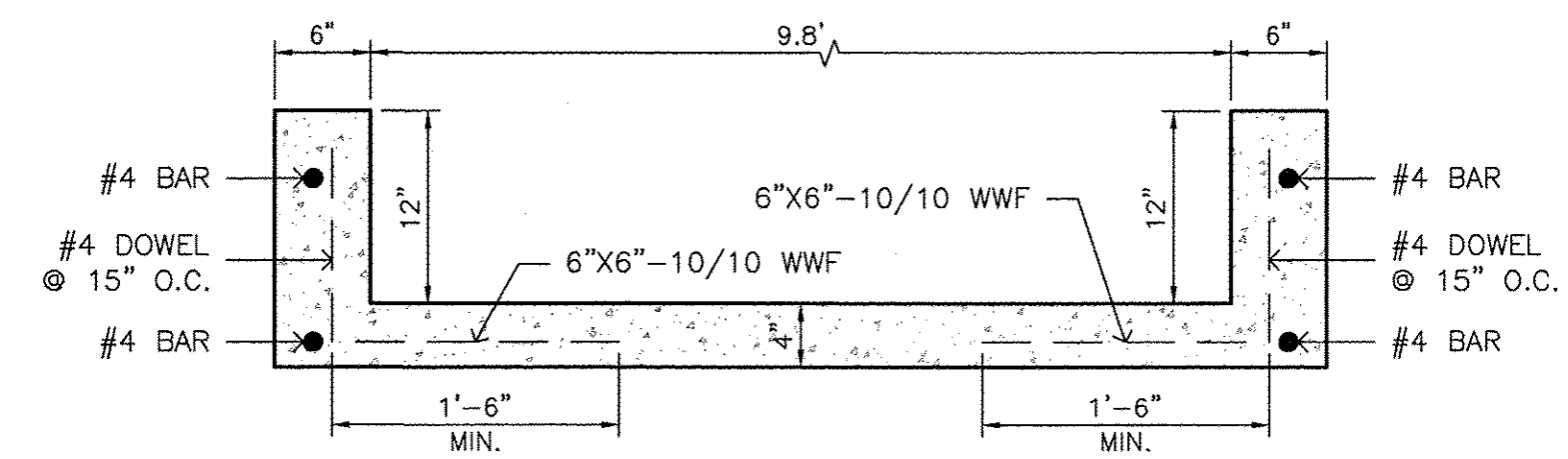


ELEVATION
NTS

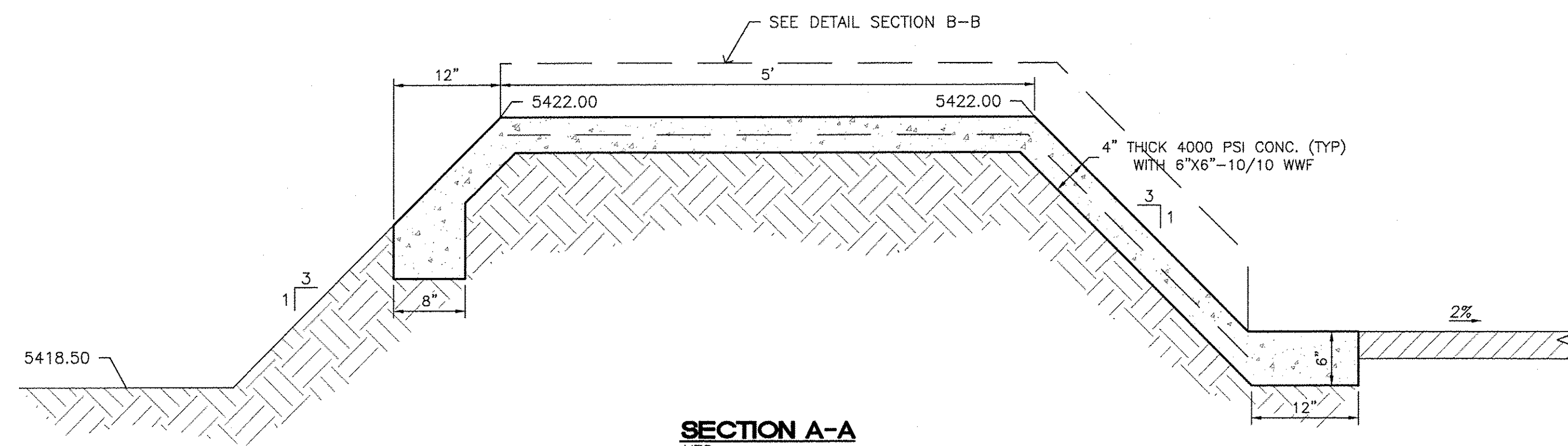


SECTION
NTS

CONCRETE HEADWALL
NTS



















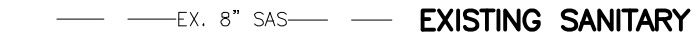

SECTION B-B
NTS



SECTION A-A
NTS

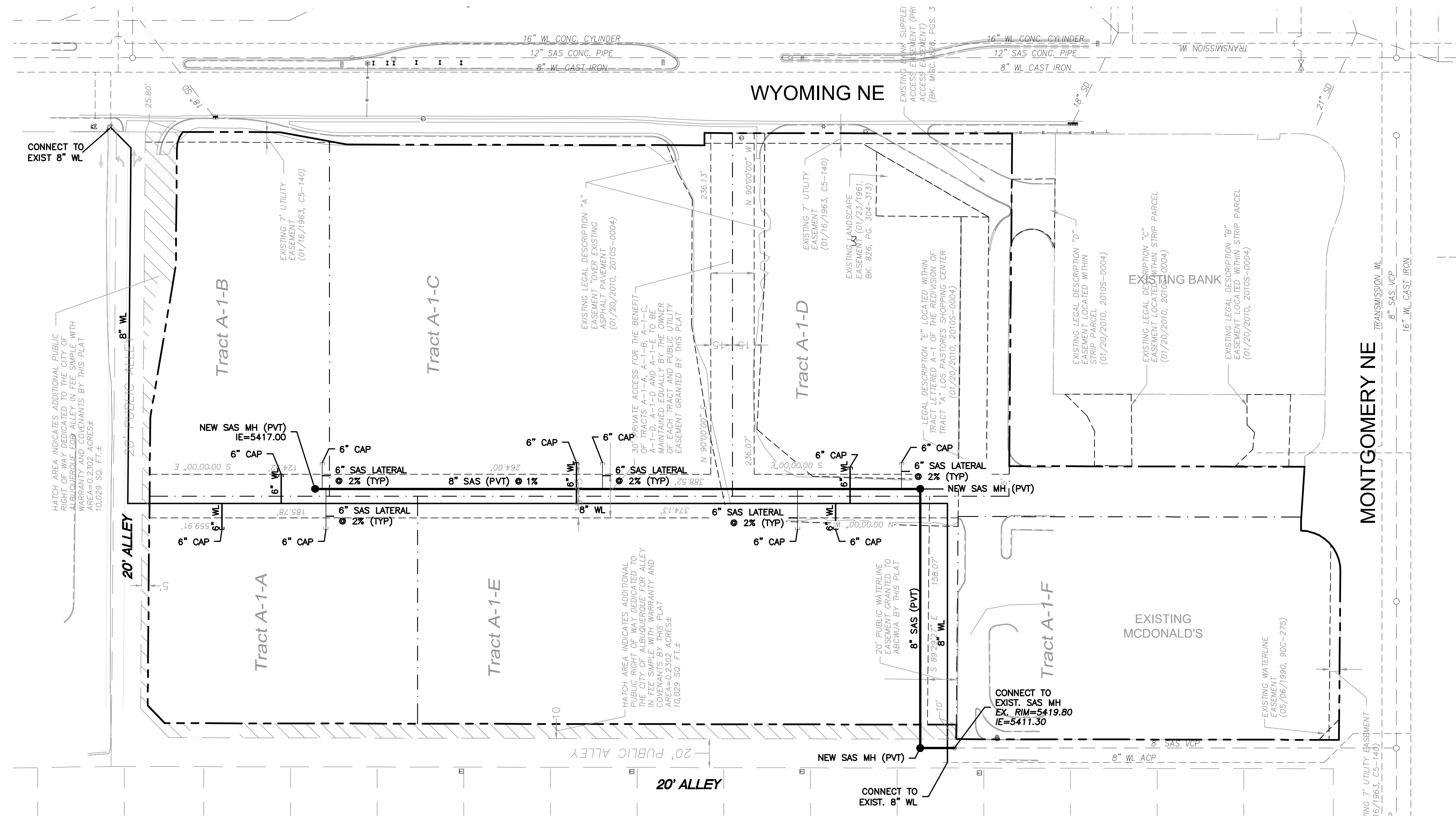
ENGINEER'S SEAL  JOEL D. HERNANDEZ P.E. #17893	LOS PASTORES SHOPPING CENTER GRADING DETAILS	DRAWN BY DY DATE 4/29/16 2014052-GR-2
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-2 JOB # 2014052

LEGEND

-  CURB & GUTTER
-  BOUNDARY LINE
-  EASEMENT
-  SIDEWALK
-  EXISTING CURB & GUTTER
-  SINGLE CLEAN OUT
-  DOUBLE CLEAN OUT
-  EXISTING SD MANHOLE
-  EXISTING SAS MANHOLE
-  EXISTING FIRE HYDRANT
-  EXISTING WATER METER
-  EXISTING POWER POLE
-  EXISTING GAS VALVE
-  EXISTING OVERHEAD UTILITIES
-  EXISTING GAS
-  EXISTING SANITARY SEWER LINE
-  EXISTING WATER LINE
-  EXISTING STORM SEWER LINE

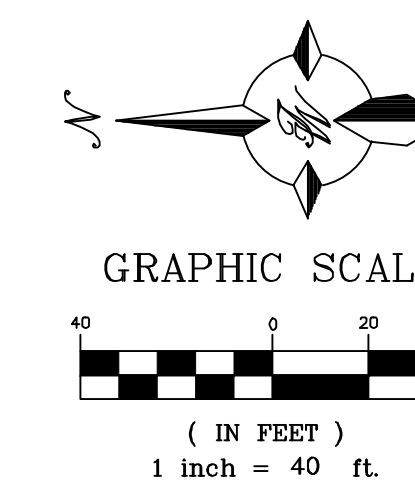
GENERAL UTILITY NOTES

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1..
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
9. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
10. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
11. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.



CAUTION:

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ENGINEER'S SEAL	<p>LOS PASTORES SHOPPING CENTER</p> <p>MASTER UTILITY PLAN</p>	<p>DRAWN BY pm</p> <p>DATE 7-2-15</p> <p>DRAWING 2014052-MUE</p> <p>SHEET # MU-1</p> <p>JOB # 2014052</p>
RONALD R. BOHANNAN P.E. #7868	 <p>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	