

**KEYED NOTES**

- ① GRAVEL CRUSHER FINES PAVING IN FENCED YARD TYP OR ASPHALT MILLINGS
- ② EXISTING HIGH VOLTAGE POWERLINE POWERPOLE (5 EA.)
- ③ ASPHALT PAVING SURFACE
- ④ 25' WIDE ROLLING GATE
- ⑤ SWANSON ROLL AWAY BIN ON A 5'X9' CONCRETE PAD
- ⑥ NEW 45' WIDE CURB CUT PER COA 2426 (15' RADIUS ON RETURNS)
- ⑦ NEW 30' WIDE CURB CUT PER COA 2426 (15' RADIUS ON RETURNS)
- ⑧ BICYCLE RACK
- ⑨ EXISTING COA WATER LINE STUBOUT
- ⑩ EXISTING COA SANITARY SEWER LINE STUBOUT

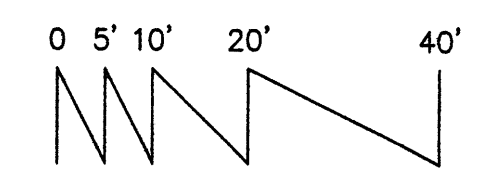
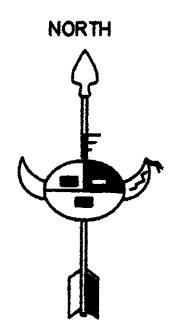
**LEGAL DESCRIPTION**

LOT 6 VOLCANO BUSINESS PARK PHASE 1  
 BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO  
 ZONING SU-1

**BENCHMARK INFORMATION**

C.O.A. BENCHMARK USED 10-010 LOCATED WITHIN THE INTERSECTION OF CURRY AND PRENSA DE LA PLATA ELEVATION: 5128.745

ONE SPACE /200 SF OFFICE 400 SF - 2 REQ'D  
 ONE SPACE PER 1000 SF WAREHOUSE 3,600 SF - 4 REQUIRED  
 ONE HC SPACE VAN ACCESSIBLE-25 AND LESS 1 REQ'D  
 BICYCLE SPACES REQUIRED:  
 MOTORCYCLE SPACES REQUIRED:



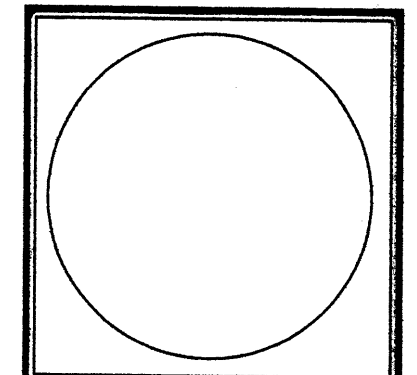
SITE PLAN

**LEGEND**

- BOUNDARY LINE
- ▬ BUILDING
- ▬ PROPOSED CURB ON SITE
- ▬ EXISTING CURB & GUTTER
- EX. 8" WL — EXISTING WATER LINE
- EX. 8" SAS — EXISTING SAS
- SAS CONNECTION LINE
- WATER CONNECTION LINE
- CHAINLINK FENCE
- SOLID FENCE

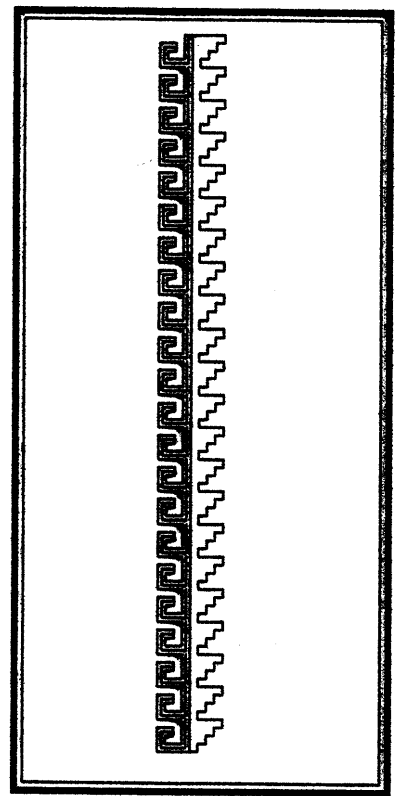
PROJECT: 1010608  
 DATE: 9-30-15  
 APP: 15-70319  
 REQUEST: SIBP

PROJECT NUMBER	_____
APPLICATION NUMBER	_____
Is an Infrastructure List required? ( ) Yes (X) No if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN APPROVAL	
Traffic engineering Transportation Division	_____ Date _____
Utilities Development	_____ Date _____
Parks and Recreation Department	_____ Date _____
City Engineer	_____ Date _____
Solid Waste Management	_____ Date _____
DRB Chairperson Planning Department	_____ Date _____



JOB NO:	XXXXXX
DATE:	AUGUST 2015
REVISIONS	

Sheet Title  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
 Drawn By: HTH & BJM Checked By: BM

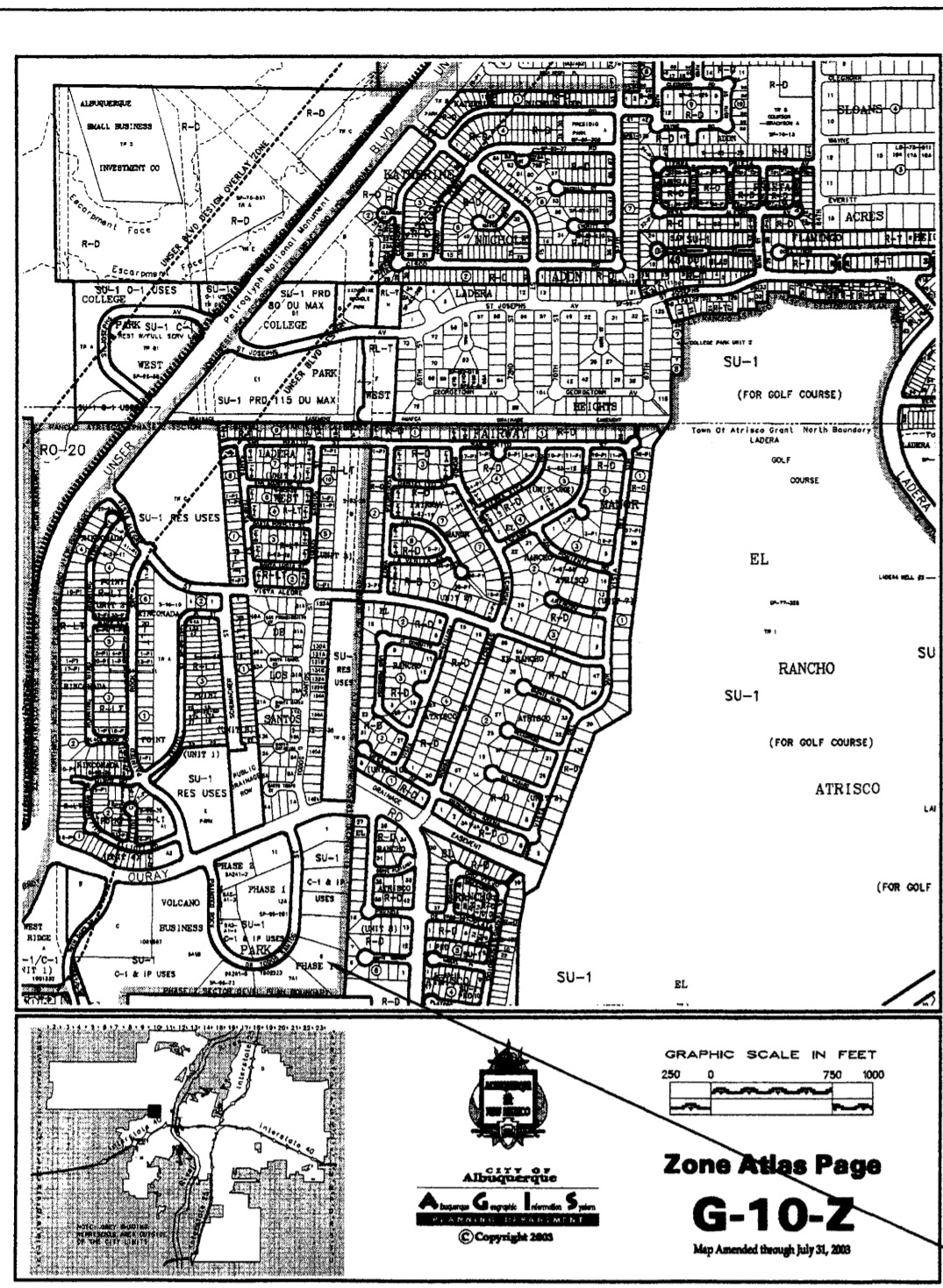


Job Title  
 GUTIERREZ TRUCKING  
 MAINTENANCE FACILITY  
 3006 TODOS SANTOS STREET N.W.  
 ALBUQUERQUE, NEW MEXICO

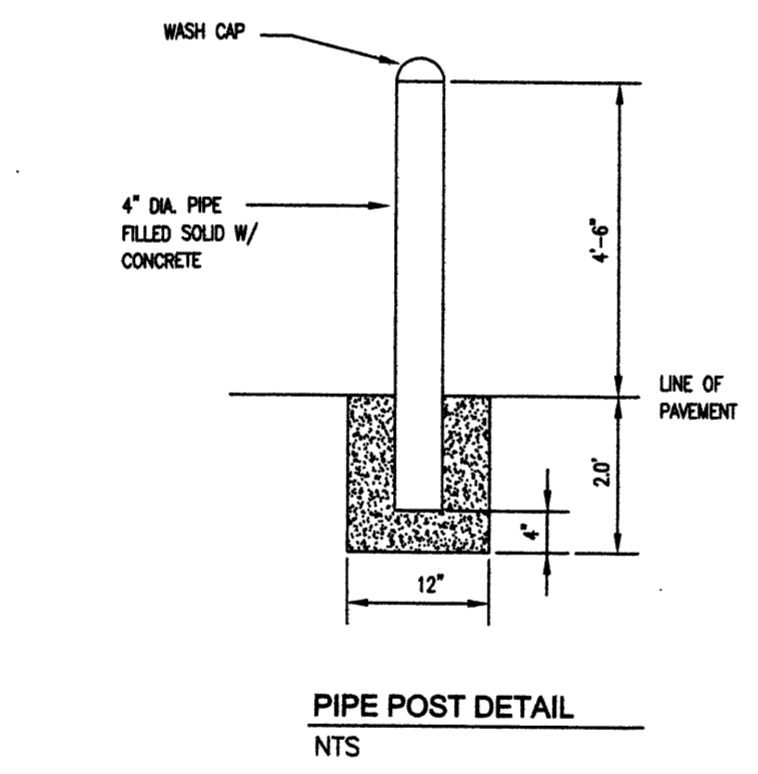
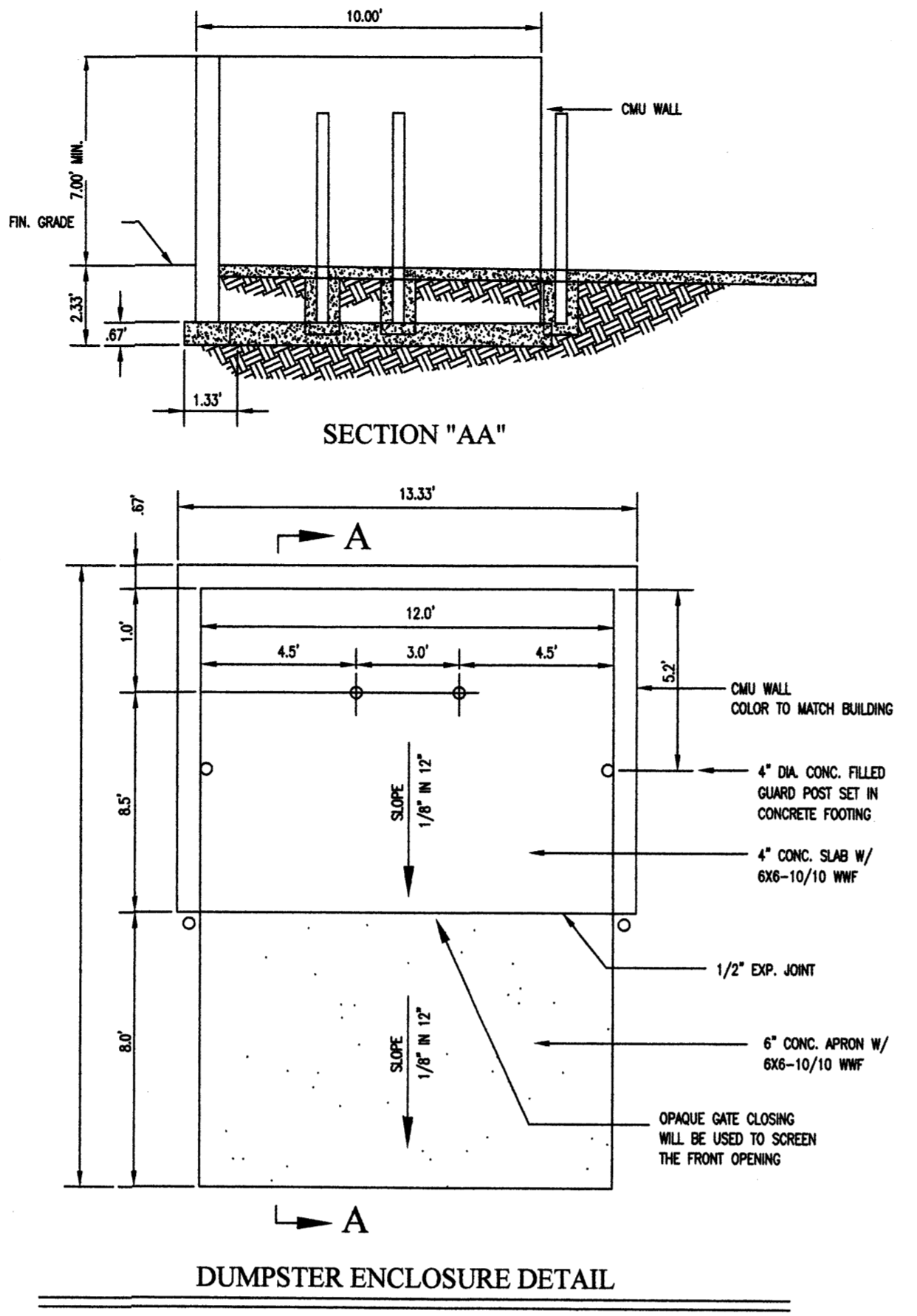
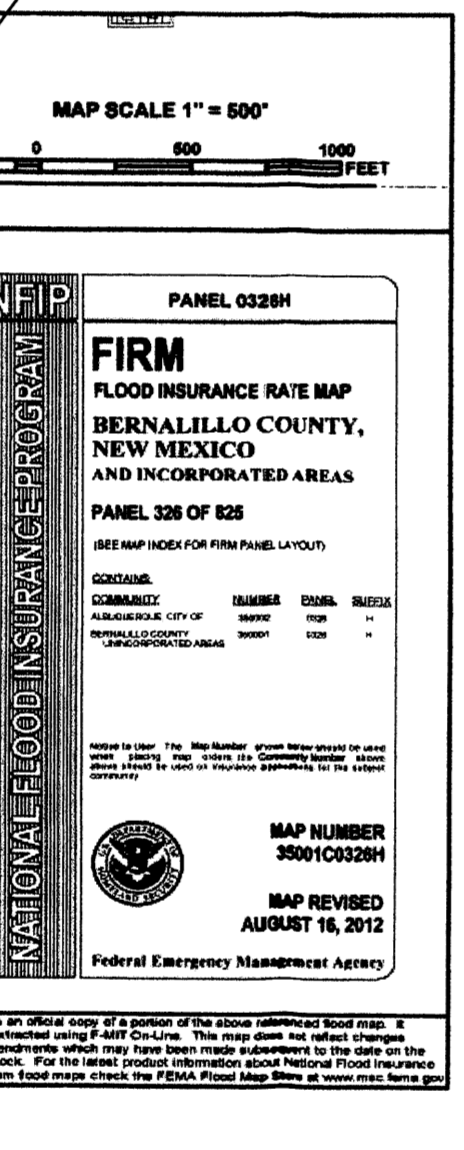
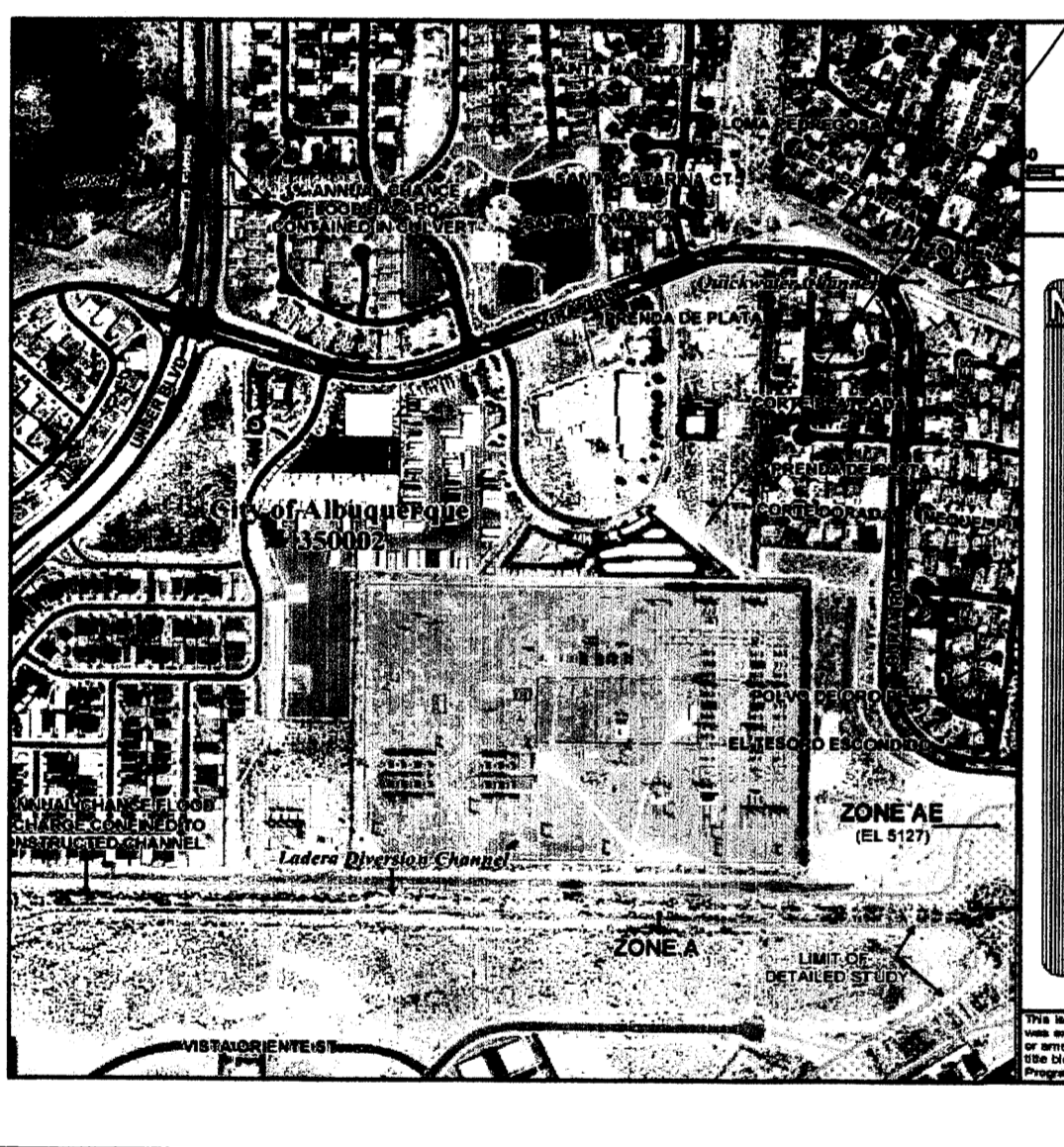








SITE LOCATION



- GENERAL NOTES:**
1. LIGHTING WILL CONSIST OF 2-BUILDING-MOUNTED INCANDESCENT LIGHT ON EAST AND WEST ELEVATIONS
  2. THE SIGNAGE WILL CONSIST OF A BUILDING MOUNTED SIGN-SEE ELEVATIONS
  3. THIS SITE PLAN CONFORMS WITH AND APPROVED SITE PLAN CASE #Z-80-87-6
  4. CURRENT ZONING IS SU1-C1 AND IP USES.
  5. WATER AND SEWER:  
 PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
  6. BUILDINGS:  
 BUILDING HEIGHT:  
 BUILDING STRUCTURE SHALL NOT EXCEED 26 FEET IN HEIGHT.  
 BUILDING TYPES:  
 BUILDING WILL BE STEEL FRAME PITCHED ROOF.  
 BUILDINGS WILL BE METAL SIDING.  
 BUILDING COLORS:  
 TAN ROOF AND SIDES-LIGHT TAN TRIM-SEE ELEVATIONS
  7. THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE AND APPROVED SITE PLAN CASE #Z-80-87-6
  8. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
  9. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**LEGAL DESCRIPTION:**  
 LOT 6, VALCANO BUSINESS PARK, CONTAINING 72,745.20 S.F. (1.67 AC)  
 ZONING: SU1-C1 AND IP USES

**SITE DATA**

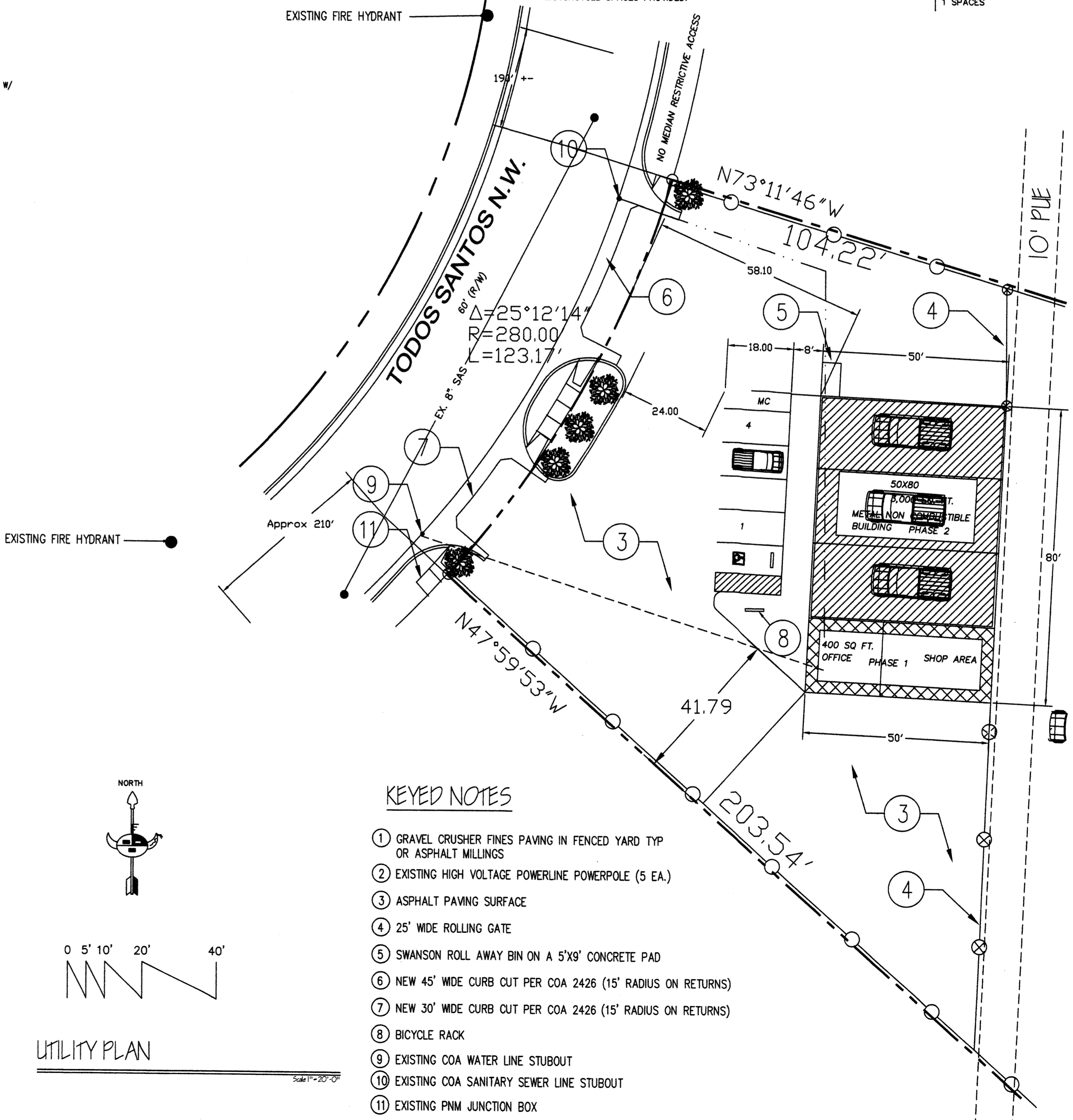
PROPOSED USAGE:	PERSONAL MAINTENANCE/OFFICE/GARAGE
LOT AREA:	75,313.10 S.F. (1.73 ACRE)
OFFICE AREA:	400 S.F.
GROSS BUILDING AREA:	1,000.00 S.F. PHASE 1 4,000.00 S.F. PHASE 2
CONSTRUCTION TYPE:	2N STEEL BUILDING STEEL FRAME INTERIOR FRAMING

**LANDSCAPE REQUIREMENTS:**

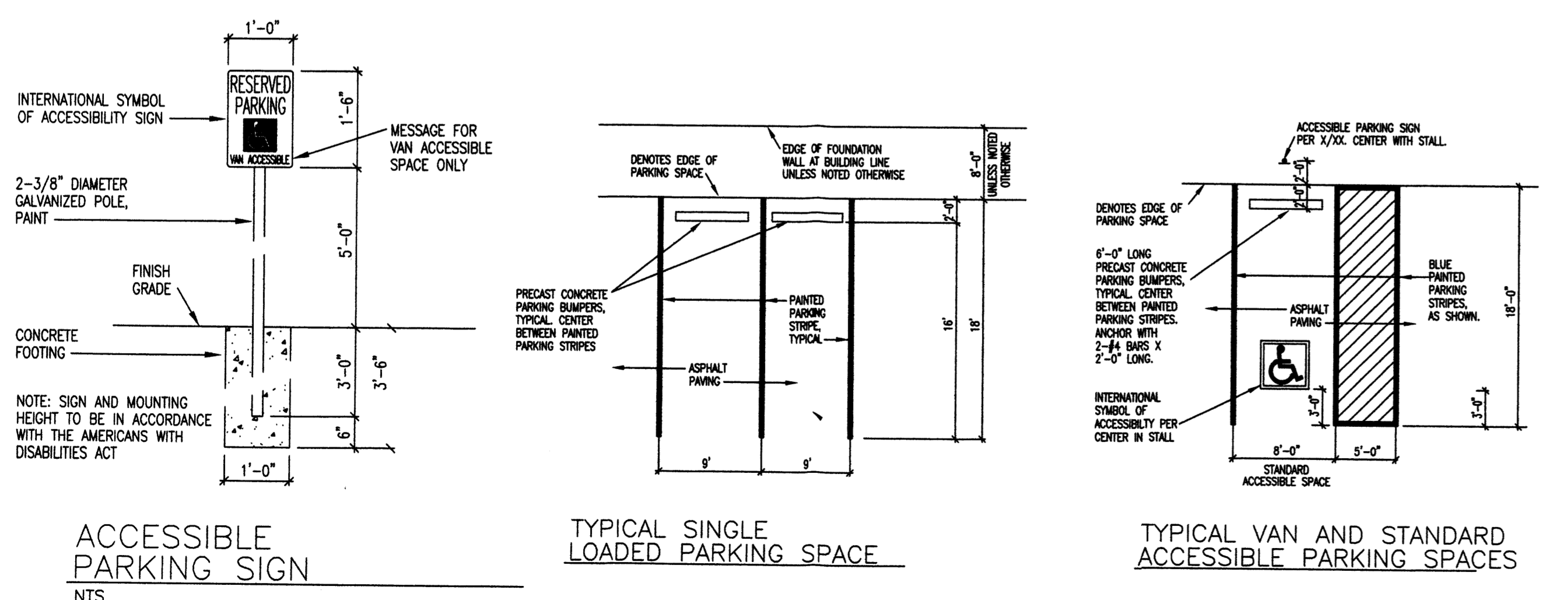
NET LOT AREA	70,315.24 SF ±
LANDSCAPING REQUIRED:	ONE STREET TREE PER 100 LINEAL FEET OF FRONTAGE PER APPROVED SITE PLAN CASE #Z-80-87-6
LANDSCAPE PROVIDED:	5 STREET TREES- SEE LANDSCAPING PLAN

**PARKING CALCULATIONS:**

ONE SPACE /200 SF OFFICE 400 SF -2 REQ'D	
ONE SPACE PER 2000 SF WAREHOUSE 5,000 SF - 3 REQUIRED	
ONE HC SPACE VAN ACCESSIBLE-25 AND LESS 1 REQ'D	
TOTAL PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	1 SPACE (1 VAN)
HC PARKING PROVIDED:	1 SPACE (1 VAN)
BICYCLE SPACES REQUIRED:	1 SPACES
BICYCLE SPACES PROVIDED:	1 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACES
MOTORCYCLE SPACES PROVIDED:	1 SPACES



- KEYED NOTES**
- 1 GRAVEL CRUSHER FINES PAVING IN FENCED YARD TYP OR ASPHALT MILLINGS
  - 2 EXISTING HIGH VOLTAGE POWERLINE POWERPOLE (5 EA.)
  - 3 ASPHALT PAVING SURFACE
  - 4 25' WIDE ROLLING GATE
  - 5 SWANSON ROLL AWAY BIN ON A 5'X9' CONCRETE PAD
  - 6 NEW 45' WIDE CURB CUT PER COA 2426 (15' RADIUS ON RETURNS)
  - 7 NEW 30' WIDE CURB CUT PER COA 2426 (15' RADIUS ON RETURNS)
  - 8 BICYCLE RACK
  - 9 EXISTING COA WATER LINE STUBOUT
  - 10 EXISTING COA SANITARY SEWER LINE STUBOUT
  - 11 EXISTING PNM JUNCTION BOX

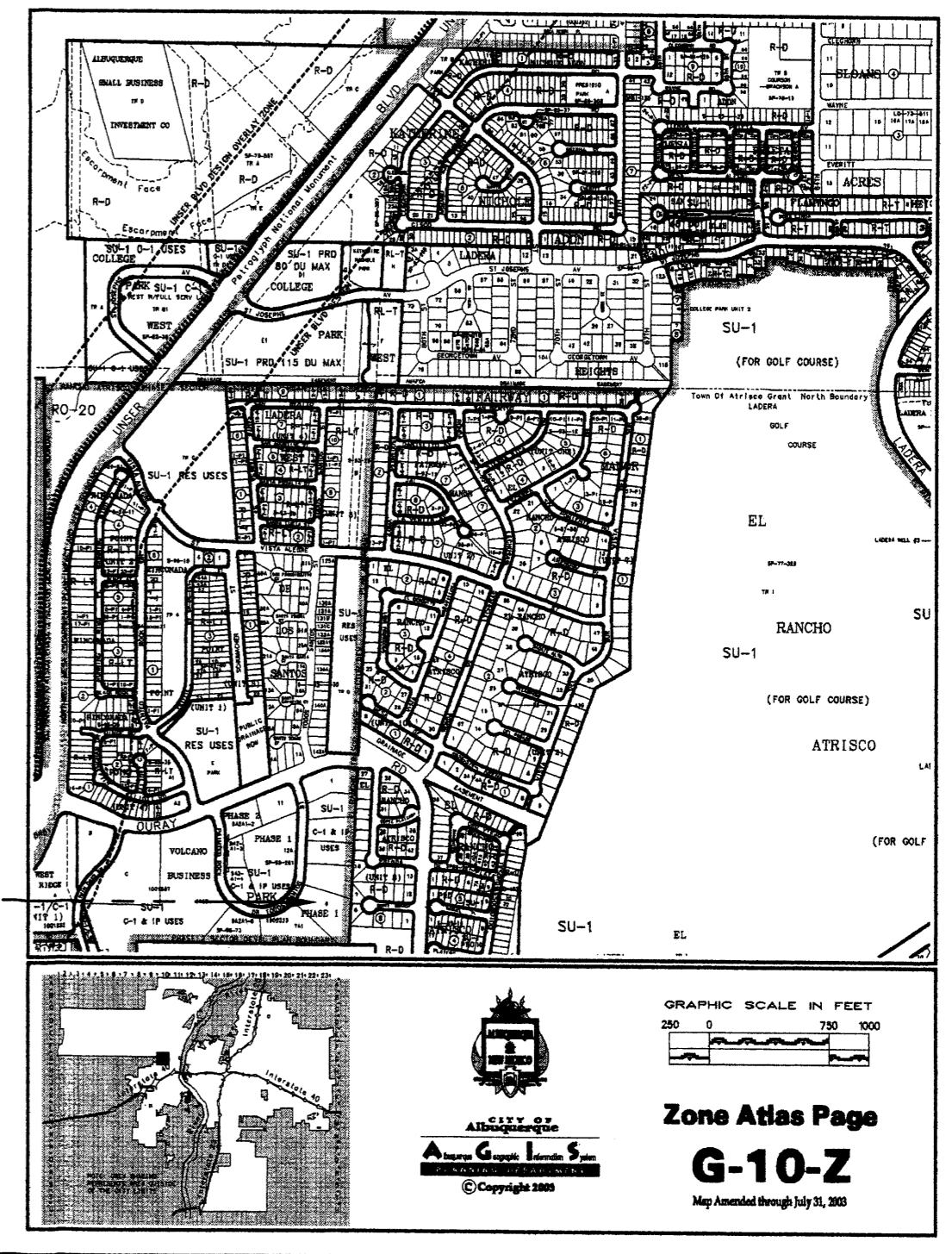
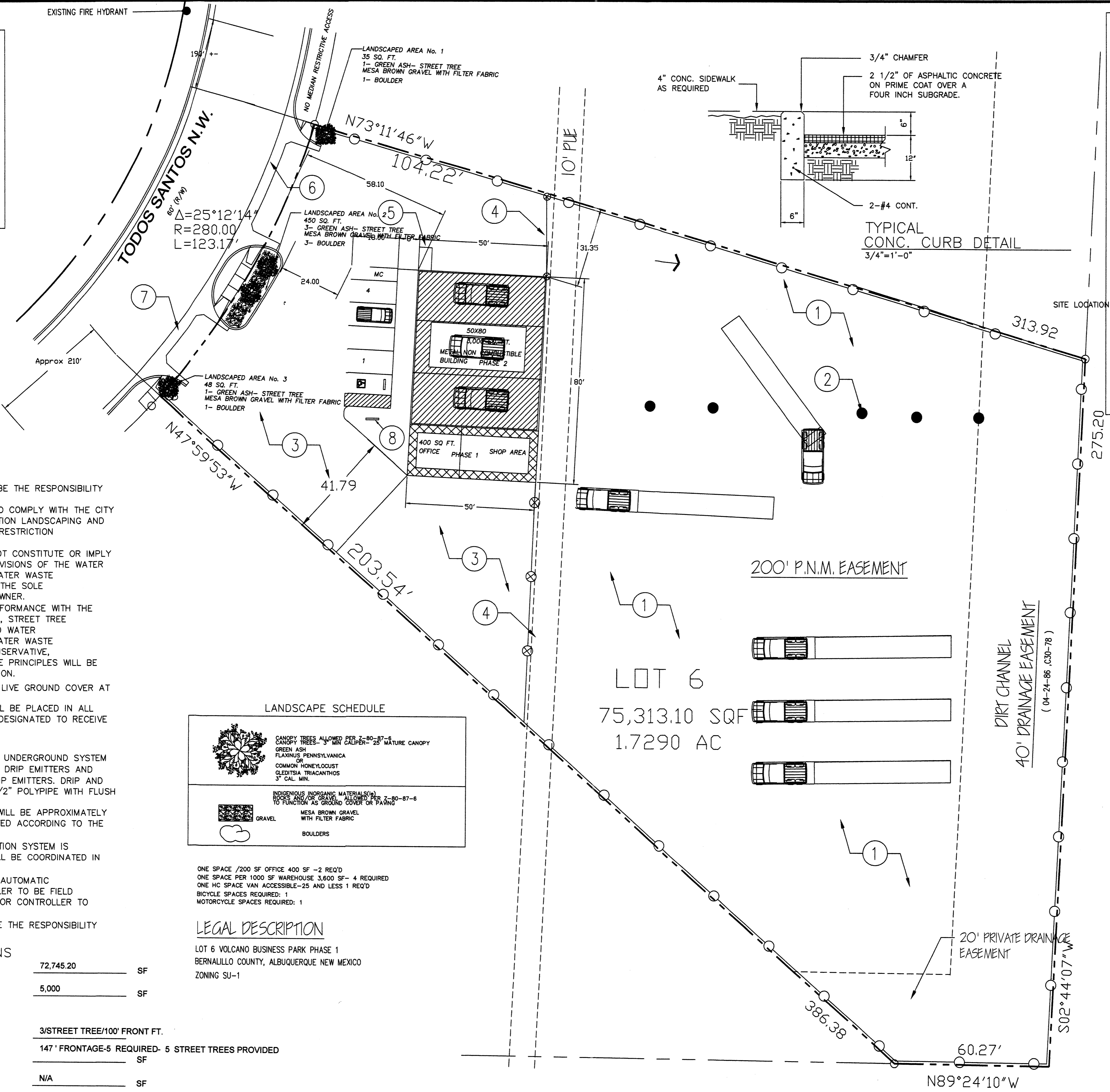
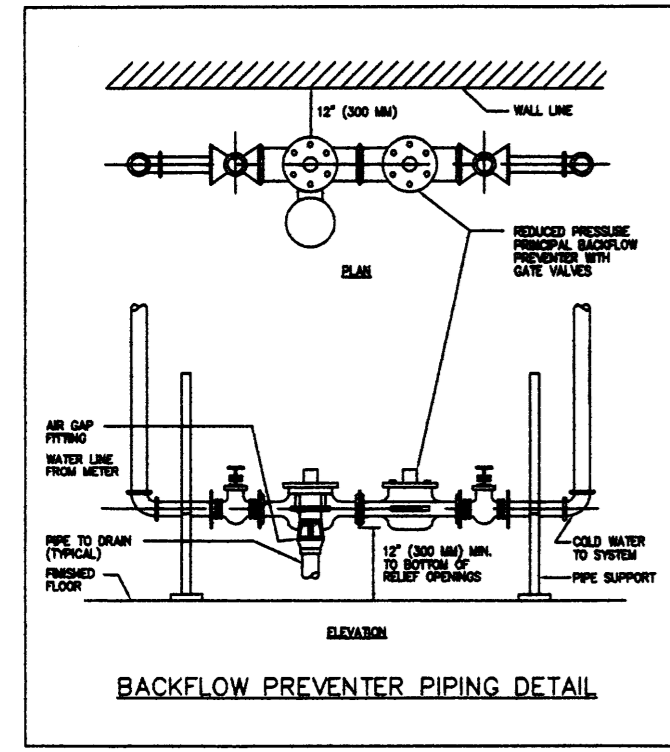


JOB NO: XXXXXXXX  
 DATE: AUGUST 2015  
 REVISIONS

Sheet Title  
**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**  
 Drawn By: H Hood & BJM  
 Checked By: BJM

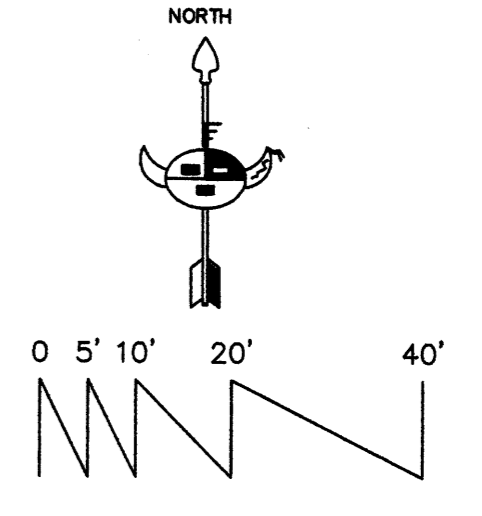
Project Name  
 GUTIERREZ TRUCKING  
 MAINTENANCE FACILITY  
 3006 TODOS SANTOS STREET N.W.  
 ALBUQUERQUE, NEW MEXICO





**KEYED NOTES**

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**LANDSCAPE PLAN**

**LEGEND**

- BOUNDARY LINE
- ▭ BUILDING
- PROPOSED CURB ON SITE
- EXISTING CURB & GUTTER
- EX. 8" WL EXISTING WATER LINE
- EX. 8" SAS EXISTING SAS

**SYMBOL LEGEND**

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- DESIGN CONTOUR
- PROPOSED SPOT ELEVATION
- PROPERTY LINE
- EASEMENT LINE
- FLOW DIRECTION
- EXISTING SPOT ELEVATION
- DOWN SPOUT
- ABBREVIATION LEGEND
- TOP OF CONC APRON = TCA
- TOP OF CURB = TC
- TOP OF ASPHALT = TA
- TOP OF BERM = TB
- BOTTOM OF POND = BP
- FINISHED FLOOR = FF
- SOLID FENCE

**LANDSCAPE NOTES:**

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY. GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.

**IRRIGATION NOTES:**

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END. RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON. POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS. IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	72,745.20	SF
TOTAL BLDG AREA	5,000	SF
TOTAL LANDSCAPED REQ'D	3/STREET TREE/100' FRONT FT.	
TOTAL LANDSCAPED AREA PROVIDED	147' FRONTAGE-5 REQUIRED- 5 STREET TREES PROVIDED	SF
ADDITIONAL LOT LANDSCAPING	N/A	SF

THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE AND APPROVED SITE PLAN CASE #Z-80-87-6

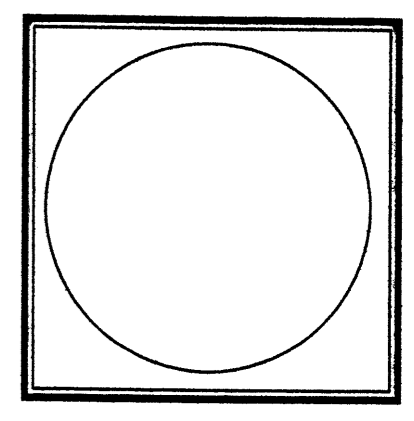
**LANDSCAPE SCHEDULE**

	CANOPY TREES ALLOWED PER 2-80-87-6 CANOPY MIN CAL DBH-25" MATURE CANOPY
	GREEN ASH FLORINUS PENNSYLVANICA OR COMMON HONEYLOCUST QLEDITSA TRICANTHOS 3" CAL. MIN.
	INDIGENOUS INORGANIC MATERIALS (S) ROCKS AND/OR GRAVEL ALLOWED PER 2-80-87-6 TO FUNCTION AS GROUND COVER OR PAVING
	GRAVEL MESA BROWN GRAVEL WITH FILTER FABRIC
	BOULDERS

ONE SPACE /200 SF OFFICE 400 SF -2 REQ'D  
 ONE SPACE PER 1000 SF WAREHOUSE 3,600 SF- 4 REQUIRED  
 ONE HC SPACE VAN ACCESSIBLE-25 AND LESS 1 REQ'D  
 BICYCLE SPACES REQUIRED: 1  
 MOTORCYCLE SPACES REQUIRED: 1

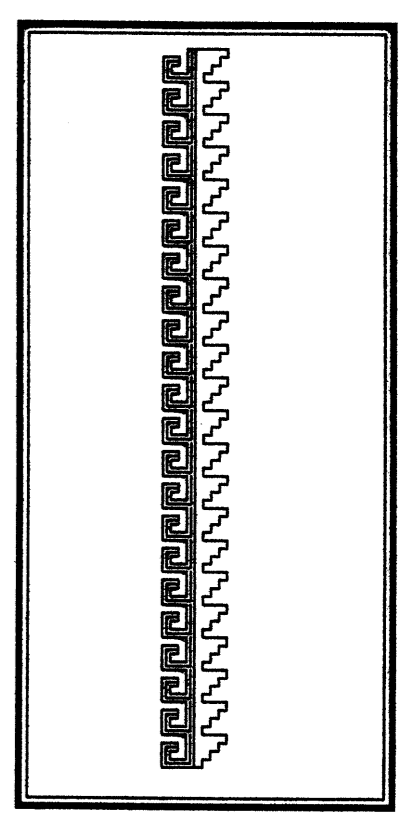
**LEGAL DESCRIPTION**

LOT 6 VOLCANO BUSINESS PARK PHASE 1  
 BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO  
 ZONING SU-1



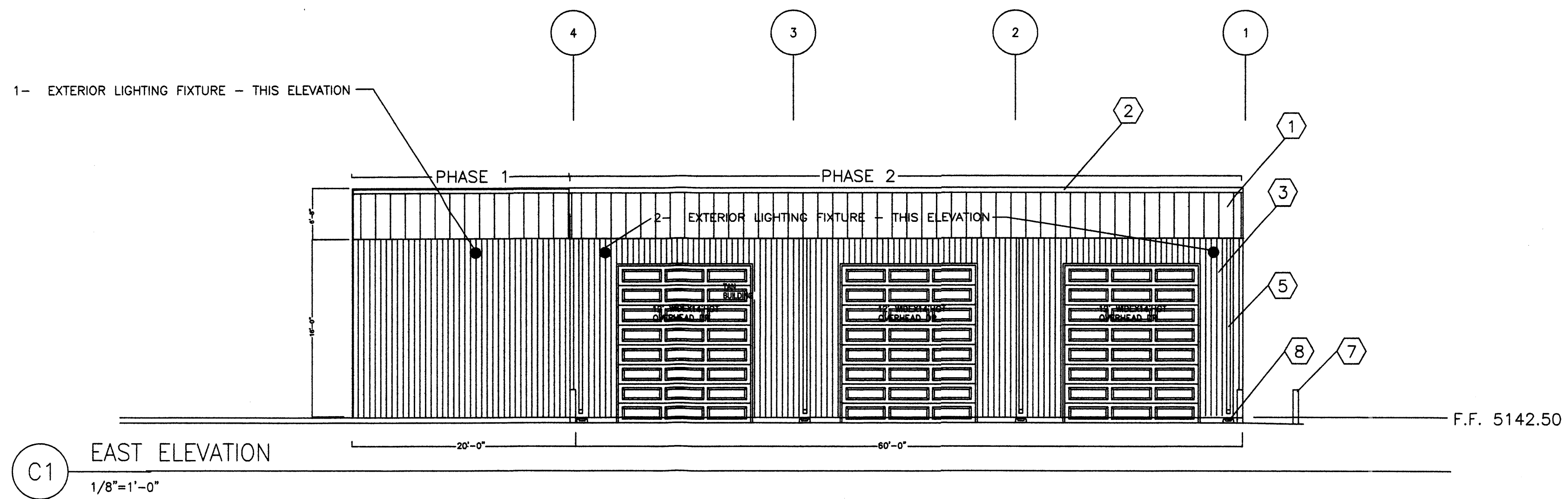
JOB NO: XXXXXX  
 DATE: AUGUST 2015  
 REVISIONS

Sheet Title  
**LANDSCAPE PLAN**  
 Drawn By: HTH & BJM Checked By: BM



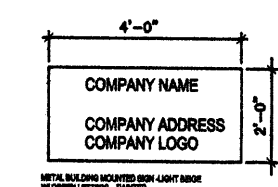
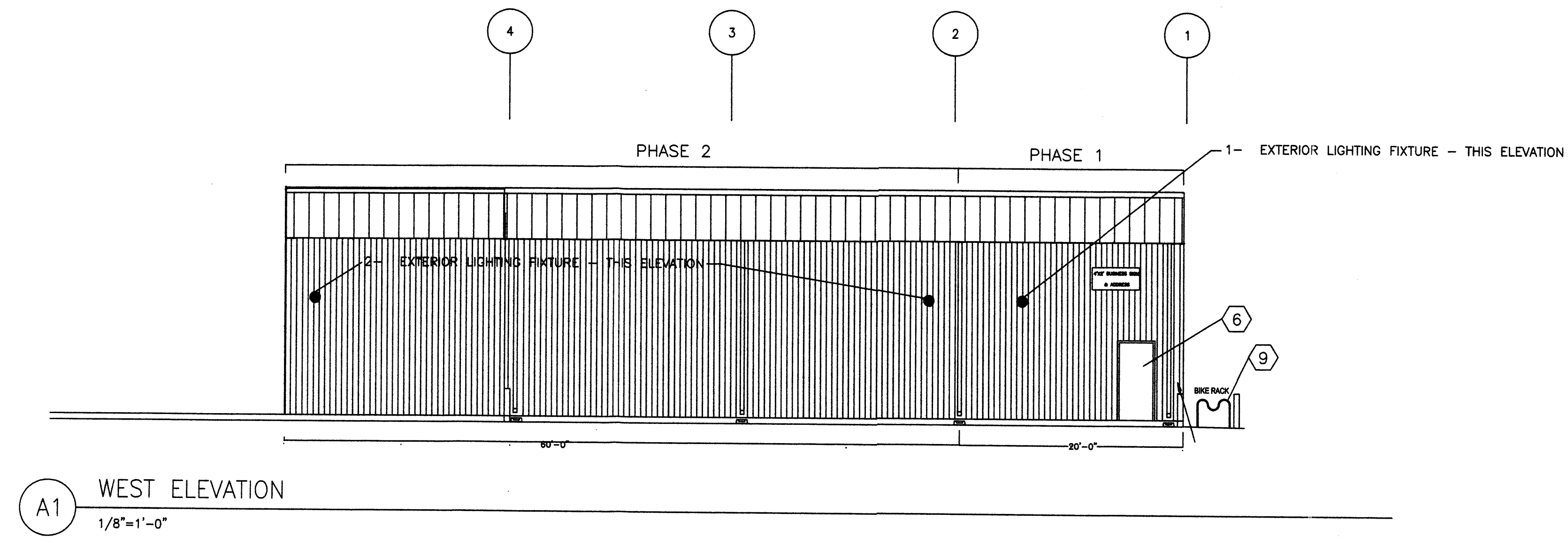
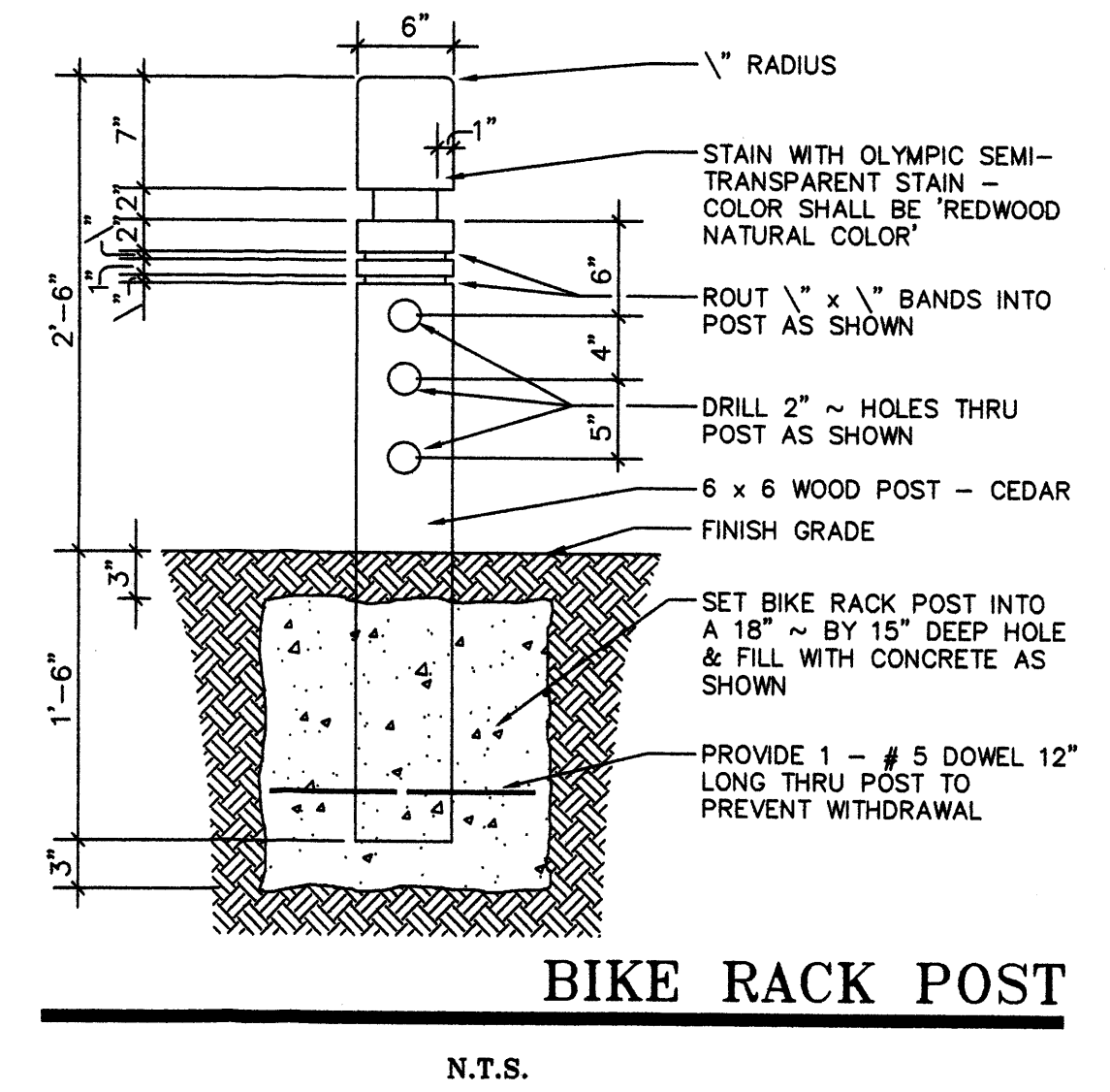
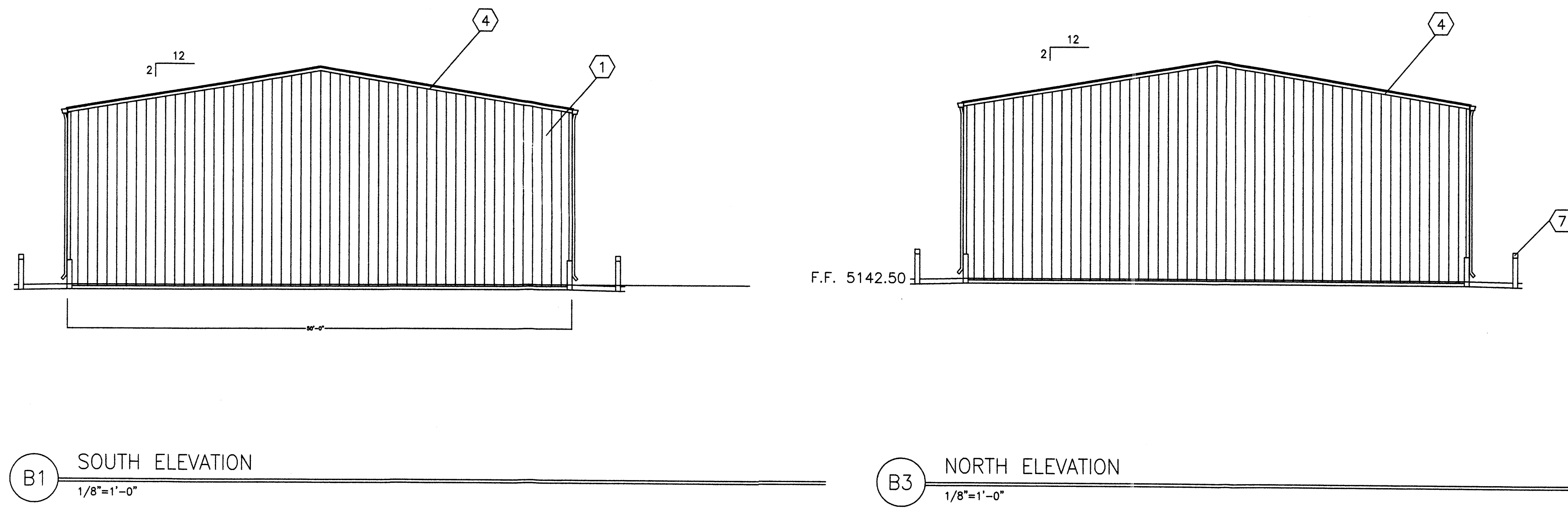
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 GUTIERREZ TRUCKING  
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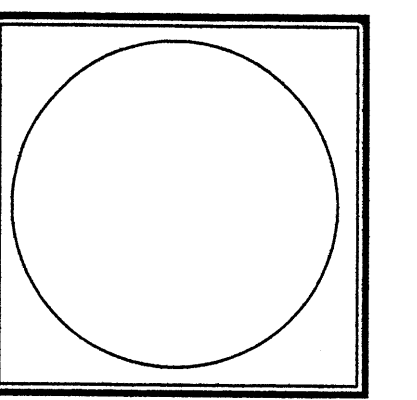
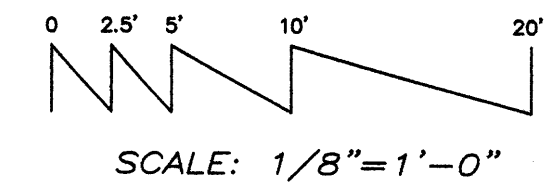


**BUILDING COLORS**

- 1. RIDGE CAP TAN
- 2. ROOF PANEL TAN
- 3. WALL PANEL TAN
- 4. GUTTER TAN
- 5. DOWNSPOUT TAN
- 6. STEEL DOOR TAN 30x70
- 7. BOLLARD TAN
- 8. PRECAST CONCRETE SPLASH BLOCK



**ELEVATION PLAN**

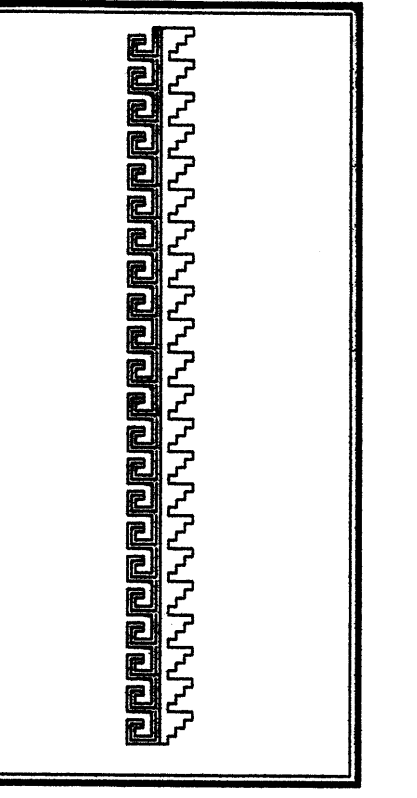


JOB NO:	XXXXXX
DATE:	AUGUST 2015
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Sheet Title

**ELEVATIONS**

Drawn By: HTH & BJM Checked By: ES



Job Title

**GUTIERREZ TRUCKING  
MAINTENANCE FACILITY  
ALBUQUERQUE, NEW MEXICO**

SHEET NO.

**ELEV  
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