


5. **Project# 1000572**
15DRB-70435 SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT 

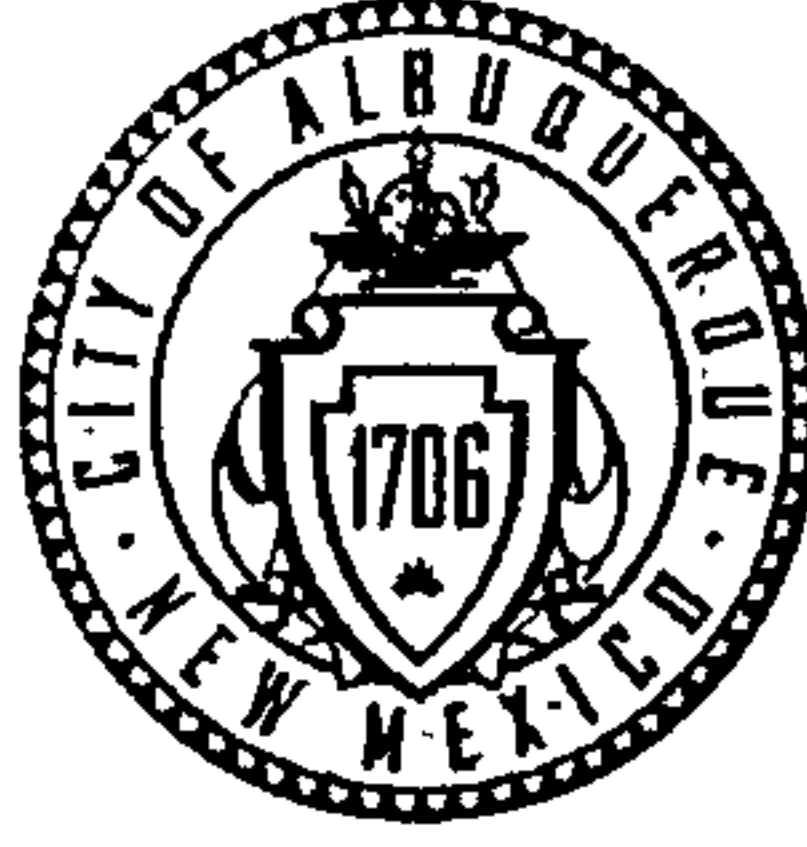
DAC INC. agents for PREMIER HOSPITALITY-TWO & THREE, INC request the referenced/ above action for Tracts 2 & 3, **COPPER POINTE SUBDIVISION** zoned SU-2/ SU-1 IP, located at the terminus of COPPER AVE NE east of EUBANK BLVD NE and south of I-40 containing approximately 2.3256 acres. (K-21) *[Deferred from 12/16/15]*
THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO WATER AUTHORITY FOR COMMENTS AND TO PLANNING FOR 15 DAY APPEAL PERIOD.

6. **Project# 1010680**
15DRB-70437 SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT 

JOHN MECHENBIER requests the referenced/ above action for Lot 1, **CLIFFORD INDUSTRIAL PARK** zoned SU-2 M-1/ C, located on the northwest corner of ANAHEIM AVE NE and CORONA LOOP NE containing approximately .6894 acre. (C-17) *[Deferred from 12/16/15]*
WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/23/15, THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR THE SUBDIVISION IMPROVEMENTS AGREEMENT (SIA) AND TO PLANNING FOR 15 DAY APPEAL PERIOD.

7. **Project# 1010644**
15DRB-70384 - SITE DEVELOPMENT
PLAN FOR SUBDIVISION
15DRB-70394 - PRELIMINARY PLAT
15DRB-70395 – TEMP DEFERRAL OF
SIDEWALK CONSTRUCTION
15DRB-70396 – VACATION OF PUBLIC
ROAD EASEMENT 

RIO GRANDE ENGINEERING agents for SILVER OAK DEVELOPERS request the referenced/ above actions for Lots 13, 14, 19 & 20, Block 28, Tract A, Unit B, **NORTH ALBUQUERQUE ACRES** zoned SU-2 C-1/ NC, located on the north side of ALAMEDA BLVD NE between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 3.44 acres. (C-18) *[Deferred from 12/2/15, 12/16/15]*
THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR LANDSCAPING NOTE. WITH AN SIGNING OF THE INFRASTRUCTURE LIST DATED 12/23/15, THE PRELIMINARY PLAT WAS APPROVED. CONDITION OF FINAL PLAT IS TO MATCH THE SITE DEVELOPMENT PLAN. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT IN THE PLANNING FILE. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1010640

Board hearing date:

WEDNESDAY, December 2, 2015

Supplemental Form (SF)

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major subdivision action	<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor subdivision action	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input checked="" type="checkbox"/> Vacation	<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
SITE DEVELOPMENT PLAN	D <input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> for Subdivision	L A APPEAL / PROTEST of...
<input type="checkbox"/> for Building Permit	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Administrative Amendment/Approval (AA)	
<input type="checkbox"/> IP Master Development Plan	
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	
STORM DRAINAGE (Form D)	
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099
 ADDRESS: PO BOX 93924 FAX: _____
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

APPLICANT: SILVER OAK DEVELOPERS PHONE: _____
 ADDRESS: PO BOX 20688 FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87154 E-MAIL: _____

Proprietary interest in site: OWNERS List all owners: _____

DESCRIPTION OF REQUEST: SITE PLAN FOR SUBDIVISION/PRELIMINARY PLAT/VACATION OF R/W
→ combining w/ previously submitted sp for SD.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 13, 14, 19, 20 Block: BLOCK 28 Unit: TR-A, UN-B
 Subdiv/Addn/TBKA: NORTH ALB ACRES
 Existing Zoning: SU2 NC Proposed zoning: SU2-NC MRGCD Map No _____
 Zone Atlas page(s): C18 UPC Code: 101806448540610319, 101806446940610320
101806446938310313, 101806448638410314

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1010644

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 4 No. of proposed lots: 20 Total site area (acres): 3.5
 LOCATION OF PROPERTY BY STREETS: On or Near: ALAMEDA NE
 Between: SAN PEDRO and LOUISIANA

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE _____
 (Print Name) DAVID SOULE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

70384
70394
70395
70396

Action

SPS
DSF
IDS
VRDW
ADV
CMF

S.F.

Fees

\$385.00
\$865.00
\$2
\$300.00
\$75.00
 Total 20.00

Hearing date Dec 2, 2015

[Signature]
10-16-15
 Staff signature & Date

Project # 1010644

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB - *SU-2*
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Souls
Applicant name (print)

DSM 10/16/15
Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
ISDRB - 70384

Form revised October 2007

Vuj 10-16-15
Planner signature / date

Project # 1010644

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE (DRB04)

(PUBLIC HEARING CASE)

- ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
- ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
- ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

VACATION OF PUBLIC EASEMENT (DRB27)

VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)

- ✓ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
- ✓ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
- ✓ Zone Atlas map with the entire property(ies) clearly outlined
- ✓ Letter briefly describing, explaining, and justifying the request
- ✓ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ✓ Sign Posting Agreement
- ✓ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

SIDEWALK VARIANCE (DRB20)

SIDEWALK WAIVER (DRB21)

- ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the variance or waiver
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)

- ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the variance
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)

- ✓ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
- ✓ Zone Atlas map with the entire property(ies) clearly outlined
- ✓ Letter briefly describing, explaining, and justifying the deferral or extension
- ✓ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT (DRB26)

VACATION OF RECORDED PLAT (DRB29)

- ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
- ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
- ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 15DRB - 70395
 15DRB - 70396

Form revised 4/07
 _____ 10-16-15
 Planner signature / date
 Project # 1010644

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- required.
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date



Form revised **October 2007**

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers	
15DRB -	70314
15DRB -	-
-	-

Project # **1010644** 10-16-13
Planner signature / date

SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist is used by the Planning Department to verify the completeness of site development plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Because development proposals vary in type and scale, there may be submittal requirements that are not specified here and Planning Staff may require additional information. Nonetheless, it is the applicant's responsibility to provide a complete submittal.

Site development plans should generally be composed of the following plan sheets. **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

SHEET # 1 – SITE PLAN (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Vicinity Map
- 5. Signature Block (for DRB site dev. plans only)
- 6. The Site (property lines)
- 7. Current/Existing Zoning
- 8. Proposed Use(s) and List of Applicable Plans
- 9. Pedestrian Ingress and Egress (Access)
- 10. Vehicular Ingress and Egress (Access)
- 11. Any Internal Circulation Requirements
- 12. Existing easements with recording information
- 13. For each lot:
 - a. Maximum Building Height
 - b. Minimum Building Setback
 - c. Maximum Total Dwelling Units and / or
 - d. Maximum Floor Area Ratio (F.A.R.) for Nonresidential Uses

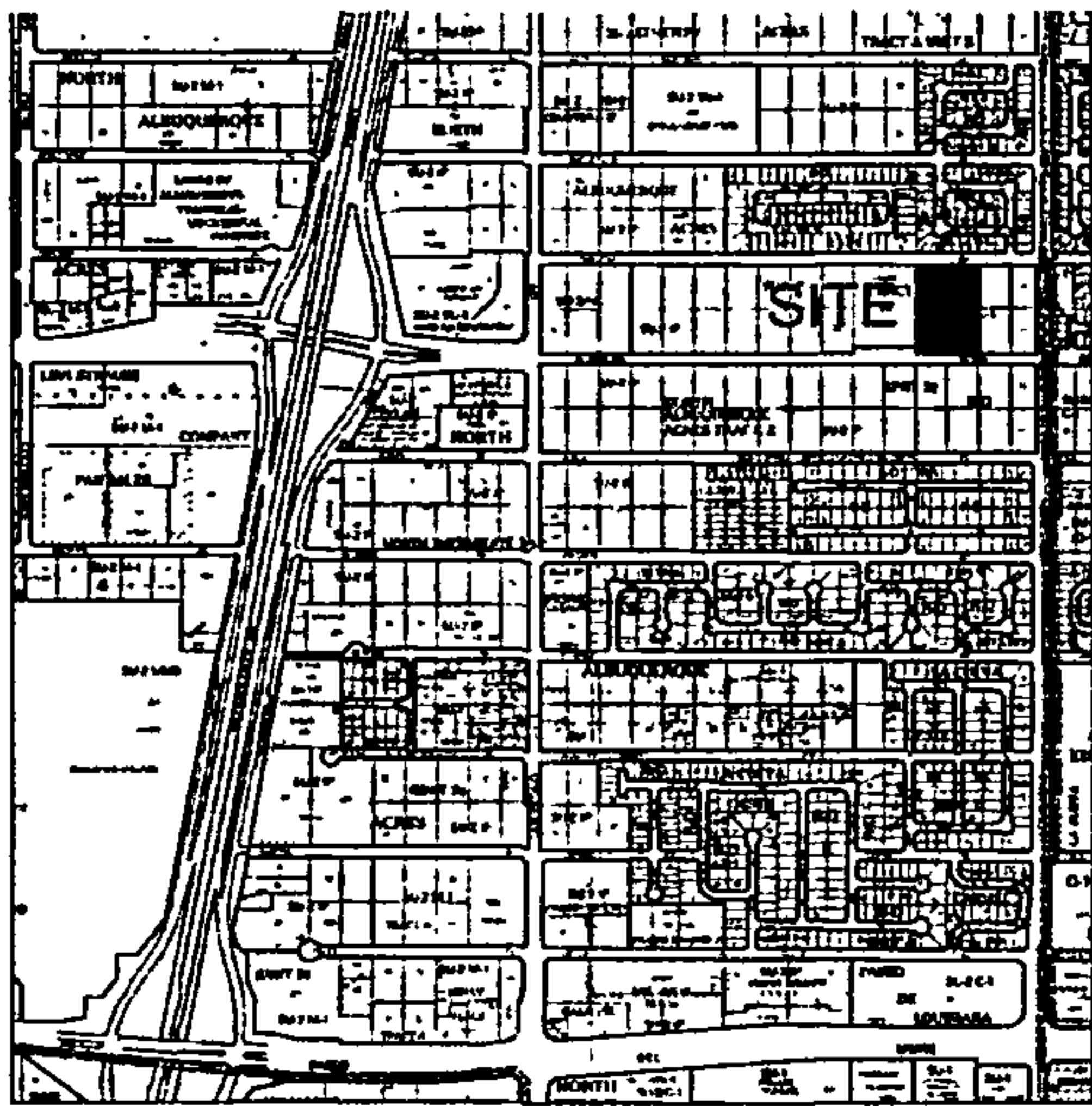
SHEET # 2 – CONCEPTUAL GRADING AND DRAINAGE PLAN

- A. Conceptual Grading and Drainage Plan is required for the following:
- Commercial Development: The applicant shall consult with the City Engineer or his/her designee to determine what documentation is necessary to provide the EPC and/or DRB with an understanding of site topography and how it relates to adjacent property.
 - Residential Development, Volcano Heights Sector Development Plan, or other sector development plans that do not require a site development plan for building permit submittal: Show existing and proposed contours, Finished Floor Elevation, retaining wall heights, approximate street slopes, ponding and flood zone status.
- B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required to be submitted, but does not have to be approved at time of submittal.

SHEET # 3 – DESIGN STANDARDS (OPTIONAL – beneficial if seeking delegation of EPC approval authority for future site development plans for building permit)

ACCOMPANYING MATERIAL

- A. Fee payment
- B. Complete application
- C. Written Summary of Request including a narrative describing compliance with applicable plans and/or zoning requirements per §14-16-3-11(B) of the Comprehensive Zoning Code.
- D. 8-1/2" x 11" reductions
- E. **Electronic Copy (pdf) of Site Development Plan**



SUBDIVISION PLAT OF
LOT 1-20
SILVER OAK SUBDIVISION
 BEING A RE-PLAT OF LOTS 13, 14, 19 AND 20
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B, BLOCK 28
 PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M.
 ELENA GALLEGOS GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2015

LEGAL DESCRIPTION:

LOTS NUMBERED 13, 14 19 AND TWENTY IN BLOCK 28, TRACT A, UNIT B OF THE NORTH ALBUQUERQUE ACRES SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE FILED PLAT IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN PLAT BOOK VOLUME D, FOLIO 130

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST CORPORATION D.B.A. CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGED OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT

FREE CONSENT, VACATION AND DEDICATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS LETTERED A AND B OF THE CORRECTED GLENDALE ESTATES UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS, VACATE ALL RIGHT OF WAY AND DEDICATE IN FEE SIMPLE TITLE TO THE CITY OF ALBUQUERQUE RIGHT OF WAY SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: [Signature] 10/21/15
 OWNER/DATE

ACKNOWLEDGMENT

STATE OF New Mexico
 COUNTY OF Bernalillo
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 21 DAY OF Oct, 2015, BY Tina Velazquez

NOTARY PUBLIC: [Signature]
 MY COMMISSION EXPIRES: 9-21-18

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #:

BERNALILLO COUNTY TREASURER'S OFFICE:

SHEET INDEX

PAGE 1. COVER
 PAGE 2 SUBDIVISION PLAT

PROJECT NUMBER: _____

CITY APPROVALS:
[Signature] F.S. 10/26/15
 CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

UTILITIES DEVELOPMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

A.M.A.F.C.A. DATE

ABCWUA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

REAL PROPERTY DIVISION DATE

UTILITY APPROVALS:

PNM ELECTRIC SERVICES DATE

NEW MEXICO GAS DATE

QWEST CORPORATION D.B.A. CENTURY LINK QC DATE

COMCAST DATE

SURVEYOR'S CERTIFICATE:

I, DAVID P ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST, MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007 AND THE SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature] 10-23-15
 DAVID P. ACOSTA, N.M.P.S. NO. 21082 DATE

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE 20 LOTS FROM 4 LOTS, GRANT PRIVATE ACCESS EASEMENTS, PRIVATE DRAINAGE EASEMENTS, PUBLIC WATER AND SANITARY EASEMENTS, VACATE EXISTING RIGHT OF WAY AND GRANT, DEDICATE RIGHT OF WAY IN FEE SIMPLE TITLE TO THE CITY OF ALBUQUERQUE AND GRANT PUBLIC UTILITY EASEMENTS.

NOTES:

1. BEARINGS ARE GRID BASED—NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES
3. ALL BOUNDARY CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN () ARE RECORD

SUBDIVISION DATA:

DRB#
 ZONE ATLAS INDEX NO. C-18-Z
 DATE OF FIELD SURVEY: SEPTEMBER 2015
 TOTAL NO. OF TRACTS EXISTING 4
 TOTAL NO. OF LOTS CREATED 20
 GROSS SUBDIVISION ACREAGE 3.96754 (1,997.58 SQ. FT.)

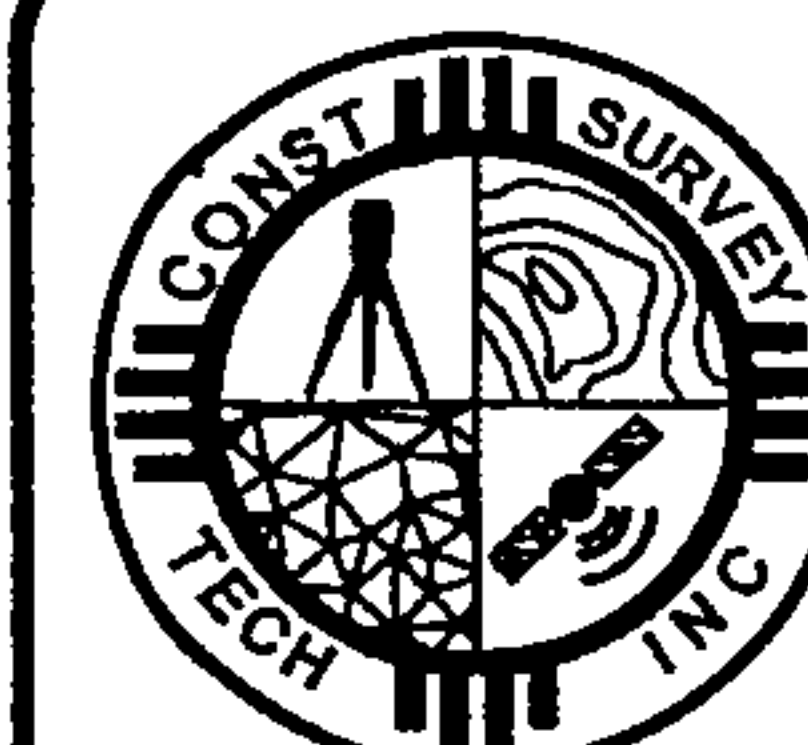
DOCUMENTS USED:

NORTH ALBUQUERQUE ACRES VOL D FOLIO 130
 RIGHT OF WAY MAP CITY OF ALBUQUERQUE PROJECT #7663.91
 PLAT OF LOT 22-A NORTH ALBUQUERQUE ACRES VOL. 2005, FOLIO 383

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.



CONSTRUCTION SURVEY TECHNOLOGIES, INC

MAILING: PO BOX 63395, ALBUQUERQUE, NM 87193 505-917-8921
 OFFICE: 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
 NMSURVEYOR@GMAIL.COM

ACS CONTROL STATION "10-C18 1985"
 Projection: New Mexico State Plane
 Zone: Central-NAD 1983
 Latitude: 35 - 11 - 19.24965
 Longitude: 106 - 34 - 39.00037
 Ellipsoidal Height (meters): 1570.758
 Ground to Grid Factor: 0.990685042
 Mapping Angle: -0.11_19.43
 Northing (US survey feet): 1524123.885
 Easting (US survey feet): 1542565.283
 NAVD 1988 Elevation
 Orthometric Height (US survey feet): 5222.090

R-W DEDICATED TO THE CITY OF ALBUQUERQUE
 IN FEE SIMPLE TITLE GRANTED BY THIS PLAT
 9970 SQ FT, 0.22889 ACRES (CROSS HATCHED AREA)
 OAKLAND AVE NE

VACATION OF RIGHT OF WAY
 VAC#
 GRANTED BY THIS PLAT (SHADED AREA)
 2667 SQ FT, 0.06122 ACRES

SUBDIVISION PLAT OF
LOT 1-20
SILVER OAK SUBDIVISION
 BEING A RE-PLAT OF LOTS 13, 14, 19 AND 20
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B, BLOCK 28
 PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M.
 ELENA GALLEGOS GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2015

OAKLAND AVENUE N.E.
 (R-W VARIES) COA PROJECT #7663.91

LOT 22-A
 NORTH ALBUQUERQUE ACRES
 BLOCK 28, TRACT A, UNIT B
 FILED VOL 2005, FOLIO 283

LOUISIANA BOULEVARD N.E.
 (R-W VARIES)

Line #	Length	Direction
L1	7.72	S0° 07' 02"E
L2	58.98	S89° 53' 40"E
L3	57.02	S89° 53' 40"E
L4	8.33	S0° 14' 30"W
L5	20.11	S0° 02' 55"W
L6	2.29	S0° 02' 55"W
L7	20.02	S0° 02' 55"W
L8	1.32	S0° 02' 55"W
L9	31.30	S45° 13' 11"W
L10	19.95	S89° 46' 49"E
L11	20.05	S89° 46' 49"E
L12	33.89	N44° 46' 49"W

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.25	25.00	89.94	S44° 55' 23"E	35.34
C2	39.29	25.00	90.06	S45° 04' 37"W	35.37
C3	14.79	25.00	33.90	S16° 59' 57"W	14.58
C4	14.79	25.00	33.90	S16° 59' 57"W	14.58
C5	14.79	25.00	33.90	S16° 54' 07"E	14.58
C6	14.79	25.00	33.90	S16° 54' 07"E	14.58
C7	20.13	25.00	46.14	N23° 07' 13"E	19.59
C8	2.60	45.00	3.31	N44° 32' 06"E	2.60
C9	48.30	45.00	61.50	N12° 07' 36"E	46.02
C10	29.38	45.00	37.41	N37° 19' 42"W	28.86
C11	5.92	45.00	7.53	N59° 47' 51"W	5.91
C12	41.45	45.00	52.78	N89° 57' 05"W	40.00
C13	5.65	45.00	7.19	S60° 03' 57"W	5.64
C14	27.43	45.00	34.92	S39° 00' 34"W	27.01
C15	47.78	45.00	60.81	N8° 51' 22"W	45.55
C16	5.37	45.00	6.83	N42° 40' 39"W	5.36
C17	20.13	25.00	46.14	N23° 01' 23"W	19.59

(L1) DIMENSION OF R-W VACATION
 LOT 1 IS TO BE USED AS A
 TEMPORARY PRIVATE RETENTION
 POND FOR THE BENEFIT OF LOTS
 1-20, TO BE MAINTAINED BY SILVER
 OAK HOA

ADDITIONAL PLAT NOTES:

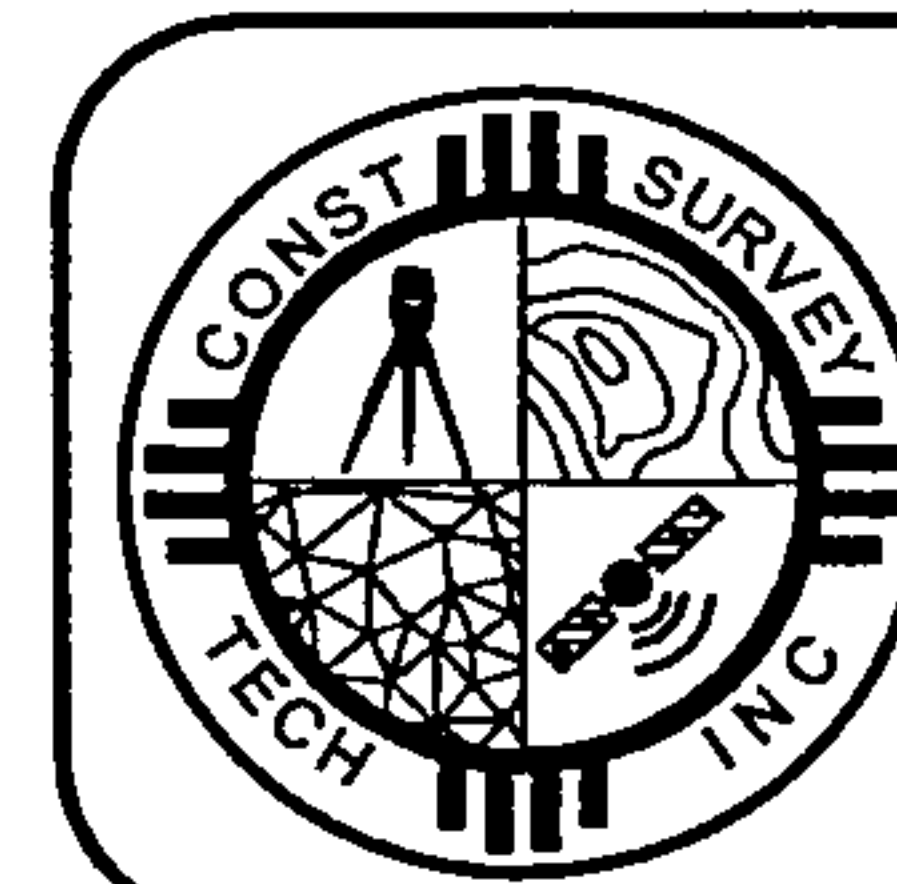
- * A 20' PRIVATE STORM DRAIN EASEMENT FOR THE BENEFIT OF LOTS 1-20. TO BE MAINTAINED BY THE SILVER OAKS HOME OWNERS ASSOCIATION GRANTED BY THIS PLAT.
- ** B 10' PRIVATE PEDESTRIAN EASEMENT FOR THE BENEFIT OF LOTS 1-20, GRANTED BY THIS PLAT
- ** C 20' PUBLIC WATER LINE EASEMENT GRANTED TO ABCWUA BY THIS PLAT.
- ** D 20X30 INGRESS AND EGRESS EASEMENT EXCLUSIVELY FOR THE BENEFIT AND USE OF LOTS 10 AND 11. SAID EASEMENT TO BE MAINTAINED BY THOSE WHO BENEFIT FROM ITS USE.
- ** E RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS BY THIS PLAT 0.06582 ACRES (3729 SQUARE FEET)
- ** F 47' PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC UTILITY EASEMENT, TOGETHER WITH PUBLIC SANITARY AND WATER EASEMENT GRANTED TO THE ABCWUA BY THIS PLAT MAINTENANCE OF SAID TRACT IS THE RESPONSIBILITY OF THE SILVER OAK HOMEOWNERS ASSOCIATION. PARCEL 2



SCALE 1"=40'

LEGEND OF SYMBOLS

- SET 5/8" REBAR WITH A PLASTIC MORRISSE CAP "PS 2106Z"
- SET 3-1/2" ALUM CAP "COA PS 2106Z"
- FD MONUMENT "AS NOTED"
- ▲ ALBUQUERQUE CONTROL STATION



CONSTRUCTION SURVEY TECHNOLOGIES, INC

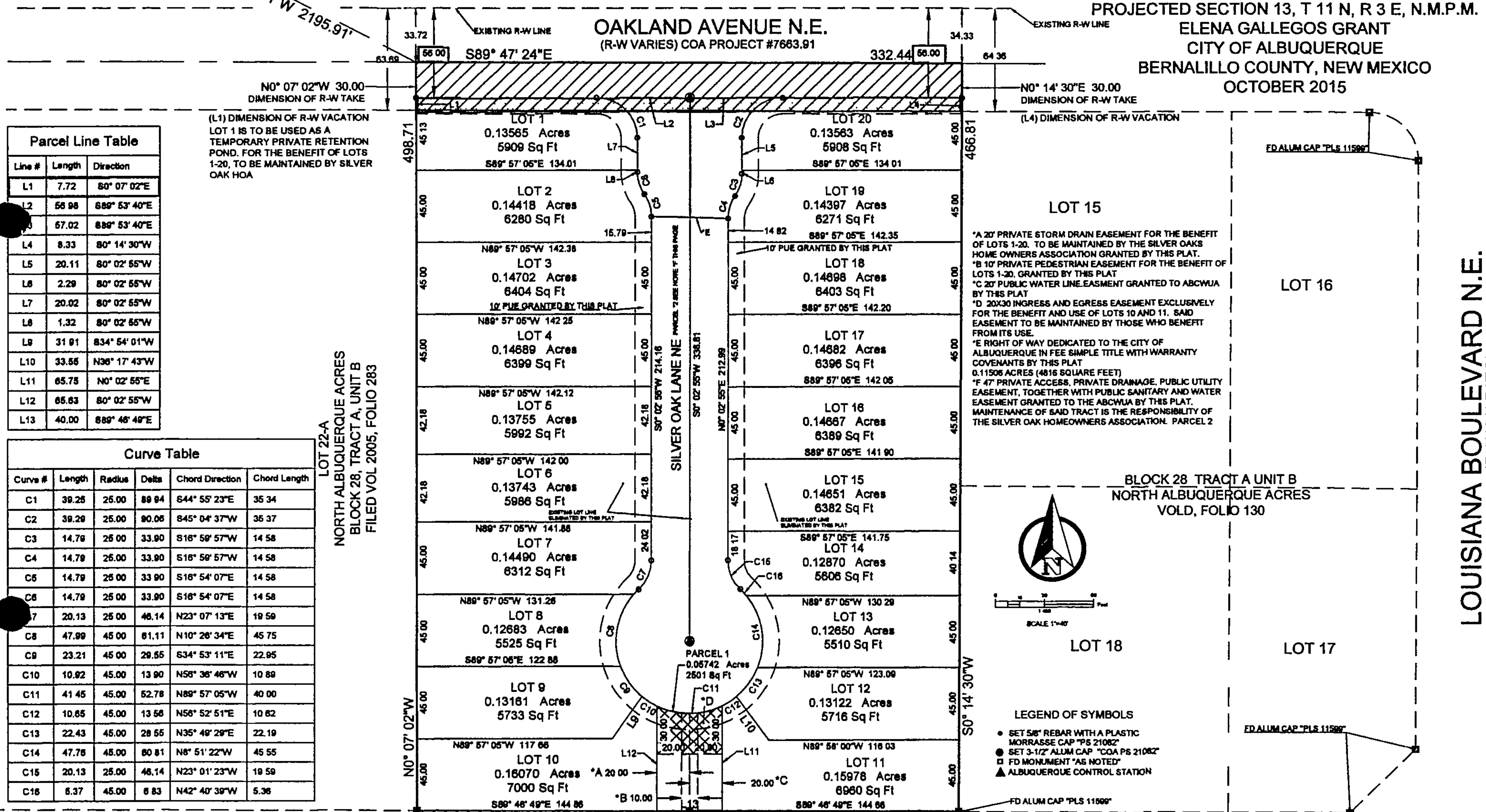
MAILING PO BOX 85305, ALBUQUERQUE, NM 87183 505-917-8921
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 NMSURVEYOR@GMAIL.COM

SUBDIVISION PLAT OF
LOT 1-20
SILVER OAK SUBDIVISION
 BEING A RE-PLAT OF LOTS 13, 14, 19 AND 20
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B, BLOCK 28
 PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M.
 ELENA GALLEGOS GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
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 Orthometric Height (US survey feet): 5222.080

R-W DEDICATED TO THE CITY OF ALBUQUERQUE
 IN FEE SIMPLE TITLE GRANTED BY THIS PLAT
 9970 SQ FT, 0.22889 ACRES (CROSS HATCHED AREA)
 OAKLAND AVE NE

VACATION OF RIGHT OF WAY
 VAC#
 GRANTED BY THIS PLAT (SHADED AREA)
 2667 SQ FT, 0.06122 ACRES



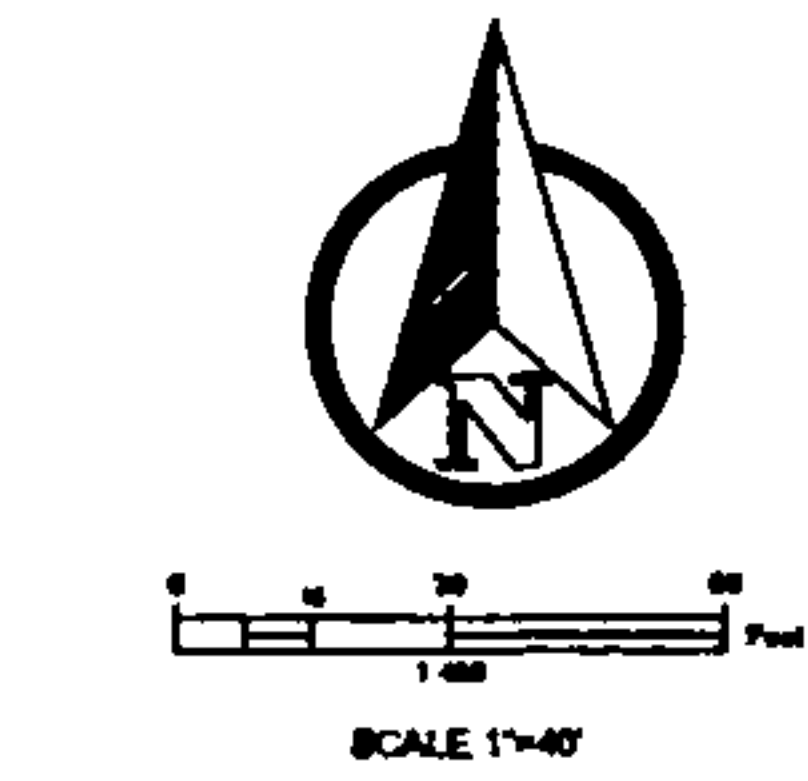
Parcel Line Table

Line #	Length	Direction
L1	7.72	S0° 07' 02"E
L2	56.98	S89° 53' 40"E
L3	57.02	S89° 53' 40"E
L4	8.33	S0° 14' 30"W
L5	20.11	S0° 02' 55"W
L6	2.29	S0° 02' 55"W
L7	20.02	S0° 02' 55"W
L8	1.32	S0° 02' 55"W
L9	31.91	S34° 54' 01"W
L10	33.55	N36° 17' 43"W
L11	65.75	N0° 02' 55"E
L12	65.83	S0° 02' 55"W
L13	40.00	S89° 48' 49"E

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.25	25.00	89.94	S44° 55' 23"E	35.34
C2	39.29	25.00	90.06	S45° 04' 37"W	35.37
C3	14.79	25.00	33.90	S16° 59' 57"W	14.58
C4	14.79	25.00	33.90	S16° 59' 57"W	14.58
C5	14.79	25.00	33.90	S16° 54' 07"E	14.58
C6	14.79	25.00	33.90	S16° 54' 07"E	14.58
C7	20.13	25.00	46.14	N23° 07' 13"E	19.59
C8	47.99	45.00	61.11	N10° 28' 34"E	45.75
C9	23.21	45.00	29.55	S34° 53' 11"E	22.95
C10	10.92	45.00	13.90	N58° 38' 46"W	10.89
C11	41.45	45.00	52.78	N89° 57' 05"W	40.00
C12	10.85	45.00	13.56	N56° 52' 51"E	10.62
C13	22.43	45.00	28.55	N35° 49' 29"E	22.19
C14	47.76	45.00	60.81	N8° 51' 22"W	45.55
C15	20.13	25.00	46.14	N23° 01' 23"W	19.59
C16	5.37	45.00	6.83	N42° 40' 39"W	5.36

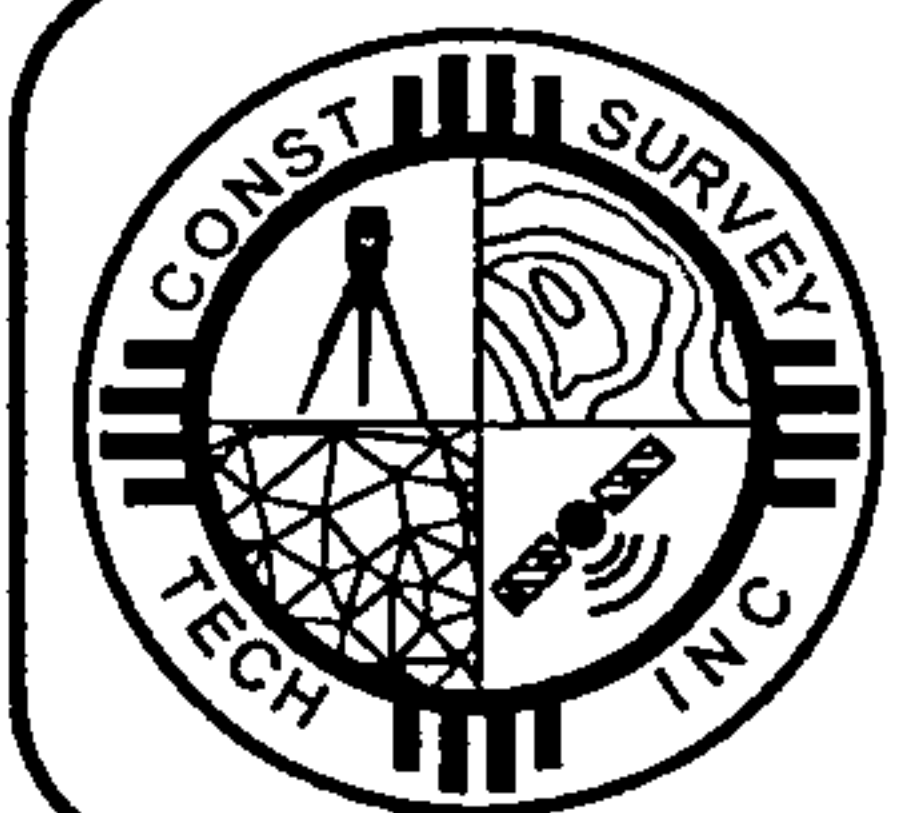
LOT 22-A
 NORTH ALBUQUERQUE ACRES
 BLOCK 28, TRACT A, UNIT B
 FILED VOL 2005, FOLIO 283



- LEGEND OF SYMBOLS**
- SET 5/8" REBAR WITH A PLASTIC MORRASSE CAP "PS 2106Z"
 - SET 3-1/2" ALUM CAP "COA PS 2106Z"
 - FD MONUMENT "AS NOTED"
 - ▲ ALBUQUERQUE CONTROL STATION

ALAMEDA BOULEVARD N.E.
 (R-W VARIES) COA PROJECT #7663.91

R-W DEDICATED TO THE CITY OF ALBUQUERQUE
 IN FEE SIMPLE TITLE GRANTED BY THIS PLAT
 5262 SQ FT, 0.12080 ACRES (CROSS HATCHED AREA)
 ALAMEDA BLVD NE



CONSTRUCTION SURVEY TECHNOLOGIES, INC
 MAILING PO BOX 65365, ALBUQUERQUE, NM 87183 505-917-8821
 OFFICE: 1808 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
 NMSURVEYOR@GMAIL.COM

LOUISIANA BOULEVARD N.E.
 (R-W VARIES)

INTRODUCTION

DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE.

1. SITE DESIGN

A. OVERALL LAYOUT OF SITE AND BUILDINGS RELATIONSHIP TO ADJACENT SITE

THIS PROJECT CREATES 20 LOTS FROM AN EXISTING LOT. THIRTY TWO FEET OF THE SOUTHERLY BOUNDARY WILL BE DEDICATED TO THE ALAMEDA BOULEVARD RIGHT OF WAY AND 4' OF RIGHT OF WAY ON OAKLAND WILL BE VACATED AND DEDICATED TO LOTS 1 AND 20 OF THE PROPOSED SILVER OAK ESTATES SUBDIVISION. THE RESIDENTIAL LOTS WILL BE ACCESSIBLE BY A 4' ROW A 4' PEDESTRIAN WALK WAY WILL FRONT EACH LOT. THE BUILDINGS SHALL BE ORIENTED TO THE STREET. THE PEDESTRIAN WALKWAYS ALSO CONNECT TO THE PROPOSED PUBLIC SIDEWALK ON OAKLAND AVE. N.E. AND ALAMEDA AVENUE N.E. THE SINGLE FAMILY RESIDENCES SHALL BE TWO STORY AND ONE STORY WITH GARAGES FACING THE PRIVATE WAY. HIGH ALTERNATIVE WROUGHT IRON VEHICULAR GATES AND KEYPAD HIGH PEDESTRIAN GATES SHALL PROVIDE SECURITY FOR THE DEVELOPMENT. THE ENTRY VEHICULAR CURLENG SHALL ACCOMMODATE TWO (2) CAR LENGTHS. A CENTRALLY LOCATED LANDSCAPED AREA AND DRIVE UP COORDED MAILBOXES SHALL BE VISIBLE FROM THE MAIN ENTRANCE AND ACCESSIBLE FROM ALL LOTS. OAKLAND ESTATES IS JUST NORTHEAST OF THE SUBJECT SITE. SONORA NEIGHBORHOOD LIES SOUTHWEST OF THE SUBJECT SITE. BOTH DEVELOPMENTS ARE BUILT OUT. ALAMEDA STORAGE IS LOCATED TO THE WEST OF THE SITE. THE 4' LOTS TO THE EAST ARE UNDEVELOPED. AND ARE ALSO BU-3C-1-NC ZONING.

B. BUILDING PLACEMENT, ORIENTATION, SETBACKS

THE RESIDENTIAL FRONT ENTRIES AND GARAGE DOORS SHALL FACE THE SUBDIVISION PRIVATE WAY. A CONCRETE DRIVEWAY (27' MINIMUM LENGTH) SHALL PROVIDE ACCESS TO THE TWO CAR GARAGES. FRONT YARD SETBACK SHALL BE TEN FEET (10') EXCEPT THAT DRIVEWAYS SHALL BE TWENTY FEET (20'). SIDE YARD SETBACK SHALL BE FIVE FEET (5'). STREET SIDE CORNER SETBACK SHALL BE TEN FEET (10'). REAR YARD SETBACK SHALL BE TEN FEET (10'). BUILDING HEIGHTS RANGE FROM 17' AT SINGLE STORY PEAK TO 26' TO PEAK AT TWO STORY.

C. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)

THE SITE IS CONNECTED TO THE SURROUNDING DEVELOPMENTS. OAKLAND AVE. N.E. PEDESTRIAN ACCESS LIES TO THE NORTH AND INTERNAL TO THE SITE. 4' WIDE SIDEWALKS ON BOTH SIDES OF THE ROW CONNECT EACH RESIDENCE WITH THE NEIGHBOR AND THE NEW PUBLIC SIDEWALKS ON OAKLAND AND ALAMEDA. MULTI-DIRECTIONAL RAMPS AT STRATEGIC PRIVATE WAY CORNERS PROVIDE HANDICAP ACCESSIBILITY TO THE DEVELOPMENT. THE PROPOSED ROW PROVIDES ONE INGRESS/EGRESS ROAD THAT CONNECTS TO OAKLAND AVE. N.E. VEHICULAR ENTRY POINT SHALL ACCENTUATED BY LANDSCAPE ELEMENTS.

D. PARKING LOCATION AND DESIGN

OFF-STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. FOUR PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO CAR GARAGES. THE PRIVATE WAY WILL BE LINED ON BOTH SIDES WITH RESIDENT-PROVIDED PLANTINGS WHICH WILL ENHANCE THE RESIDENTIAL CHARACTER OF THE DEVELOPMENT.

E. PUBLIC OUTDOOR SPACES

PEDESTRIAN WALKWAYS ALONG THE PRIVATE WAY PROVIDE EASY ACCESS TO THE SURROUNDING SIDEWALKS BY ALL RESIDENTS. A 4' HIGH WALL ENCLOSURES THE ENTIRE DEVELOPMENT. CODE OR KEYPAD OPERATED SECURITY GATES AT ALL PEDESTRIAN AND VEHICULAR ENTRANCES FURTHER PROMOTE THE SENSE OF SAFETY AND OPPORTUNITIES FOR INTERACTION.

REQUIREMENTS

- a. THE STREETSCAPE ALONG ALAMEDA BOULEVARD SHALL CONSIST OF TREES IN THE 12'-0" (TWELVE FOOT) WIDE PLANTING STRIP BETWEEN THE SIDEWALK AND THE PROPERTY LINE. THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES.
- b. THE CLEAR SITE TRIANGLE REQUIREMENT SHALL BE IMPOSED ON THE OAKLAND/PRIVATEWAY INTERSECTION. A CLEAR SITE TRIANGLE AT INTERSECTIONS MUST BE MAINTAINED 36 FEET FROM INTERSECTING FLOW LINES OF OUTLET. A VERTICAL CLEARANCE BETWEEN 3 AND 8 FEET MEASURED FROM THE GUTTER PAN MUST BE FREE OF VISUAL OBSTRUCTION. TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. UNDERSTORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 8 FEET.

WATER CONSERVATION TECHNIQUES

THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.

4. BUILDING DESIGN

CONTEXT

PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. INDUSTRIAL AND WHOLESALE WAREHOUSING USES EXIST SIDE BY SIDE WITH RESIDENTIAL DEVELOPMENTS. NUMEROUS COMMERCIAL USES ARE IN EVIDENCE EAST OF THE LOCAL ALAMEDA INTERCHANGE. ON THE SOUTH ARE MULTI-STORY MOTELS SUCH AS THE STAYBRIDGE AND THE BURGER KING FAST FOOD ESTABLISHMENT. ON THE NORTH, NUMEROUS VEHICLE DEALERSHIPS ARE ARRANGED ALONG THE NORTHBOROUGH INTERSTATE. THESE INCLUDE AMERICAN TOYOTA AND MERCEDES BENZ OF ALBUQUERQUE.

B. ARCHITECTURAL THEME OR STYLE

THE PROPOSED RESIDENTIAL BUILDING DESIGNS SHALL BE CONSISTENT WITH THE PREDOMINANT NEIGHBORING RESIDENTIAL DEVELOPMENTS. BOTH TWO AND ONE STORY CONFIGURATIONS WILL BE USED. ARCHITECTURAL STYLES SHALL RANGE FROM PITCHED SHINGLE ROOF/FRAMED-STUCCO DESIGN TO FLAT ROOFPRAISE-STUCCO DESIGN.

PARAPETS FOR FLAT ROOF DESIGNS SHALL NOT EXCEED 16% OF THE HEIGHT OF THE SUPPORTING WALL AND SHALL SHIELD THE VIEW OF THE ROOF MATERIAL FROM ANY PUBLIC OR PRIVATE RIGHT-OF-WAY. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

C. BUILDING HEIGHT, SCALE, MASSING, MATERIALS, COLORS AND ARTICULATION

THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE A RESIDENTIAL NEIGHBORHOOD RESPONSE TO THE SITE. THE BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING THE PRIVATE WAY. THE BUILDING DESIGNERS SHALL INCORPORATE PROMINENT USE OF BOTH VERTICAL AND HORIZONTAL ARTICULATION AS APPROPRIATE TO RESIDENTIAL DESIGN. AN EARTH TONED PALETTE SHALL BE IN EVIDENCE AT ALL OF THE EXTERIOR BUILDING WALLS AND SURROUNDING PROPERTY LINE WALLS.

5. APPROVAL PROCESS

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY RESPOND TO THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE NORTH 1-38 SECTOR DEVELOPMENT PLAN.

F. RECYCLE AND REUSE PROGRAM

RECYCLE AND REUSE PROGRAM SHALL BE INDIVIDUAL CART TYPE WITH WEEKLY SCHEDULED PICKUP TIMES.

G. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS

THE DEVELOPMENT BLOCK WALLS PROVIDE PRIVACY AND SECURITY FOR THE RESIDENTS. ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-163-19 OF THE ZONING ORDINANCE. ALL WALLS SHALL BE 4'-0" IN HEIGHT, THEY SHALL BE EXPOSED BLOCK WITH REPEATING PATTERNS AND VARIEGATED TEXTURES.

H. LOCATION, HEIGHT AND DESIGN AND PURPOSE OF LIGHTING

LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-163-20 OF THE ZONING ORDINANCE. RESIDENCE MOUNTED LIGHTING ELEMENTS SHALL BE INCANDESCENT, METAL HALIDE OR HALOGEN ONLY. RESIDENCE-MOUNTED FLOODLIGHTS (MAXIMUM 75 WATT BULBS) SHALL BE SHIELDED OR ARMED IN SUCH A WAY THAT THEY DO NOT SHINE INTO OTHER LOTS OR THE STREET.

I. SCREENING/BUFFERING TECHNIQUES

MULTIPLE STREET SHADE TREES SCREEN RESIDENCES FROM ADJACENT ROADWAYS WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. AT MATURITY THESE TREES SHALL CREATE A COOLING MICRO CLIMATE.

J. "GREEN" FEATURES

WATER HARVESTING SYSTEM AND COLLECTION SYSTEM TECHNIQUES SHALL BE ENCOURAGED.

2. STREET SCHEME

A. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES

THE SITE IS ACCESSIBLE TO TRANSIT ROUTES ON ALAMEDA BLVD. WHICH IS A PRINCIPAL ARTERIAL. CITY OF ALBUQUERQUE "A" AND "B" BUS STOP IS LOCATED AT SAN PEDRO DR. AND ANAHIM BLVD ONE-HALF BLOCK FROM THE DEVELOPMENT. THE SITE ABUTS A PROPOSED CITY DESIGNATED BIKE ROUTE ON ALAMEDA BLVD. N.E. WHICH WILL EXTEND TO LOURNAHA BLVD. N.E.

3. LANDSCAPING

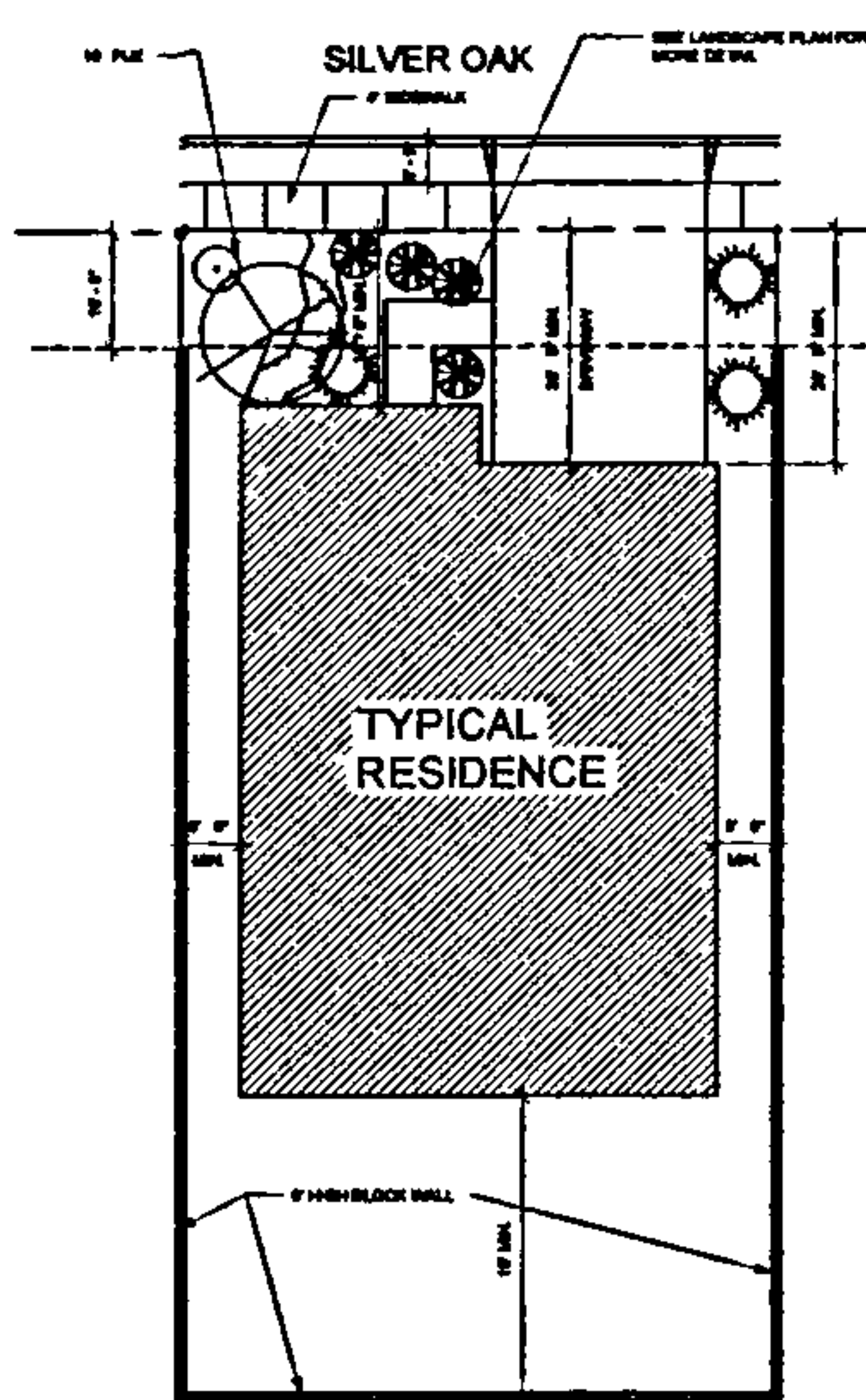
LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS. THE LANDSCAPE NETWORK CONSISTS OF:

STREET SHADE TREES ALONG ALAMEDA BOULEVARD SHALL BE SITUATED IN 12' WIDE LANDSCAPE STRIPS OF ROCK OR BARK GROUNDCOVER. STREET TREE SPACING SHALL BE DETERMINED BY TREE CANOPY AT FULL MATURITY.

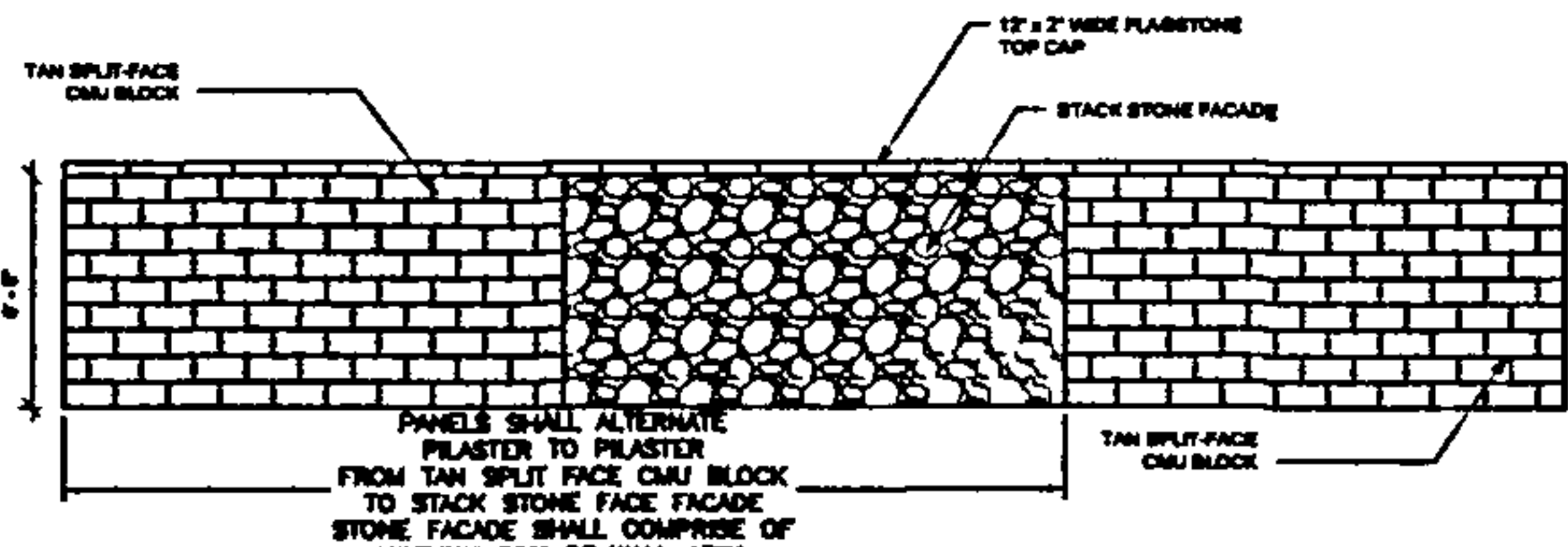
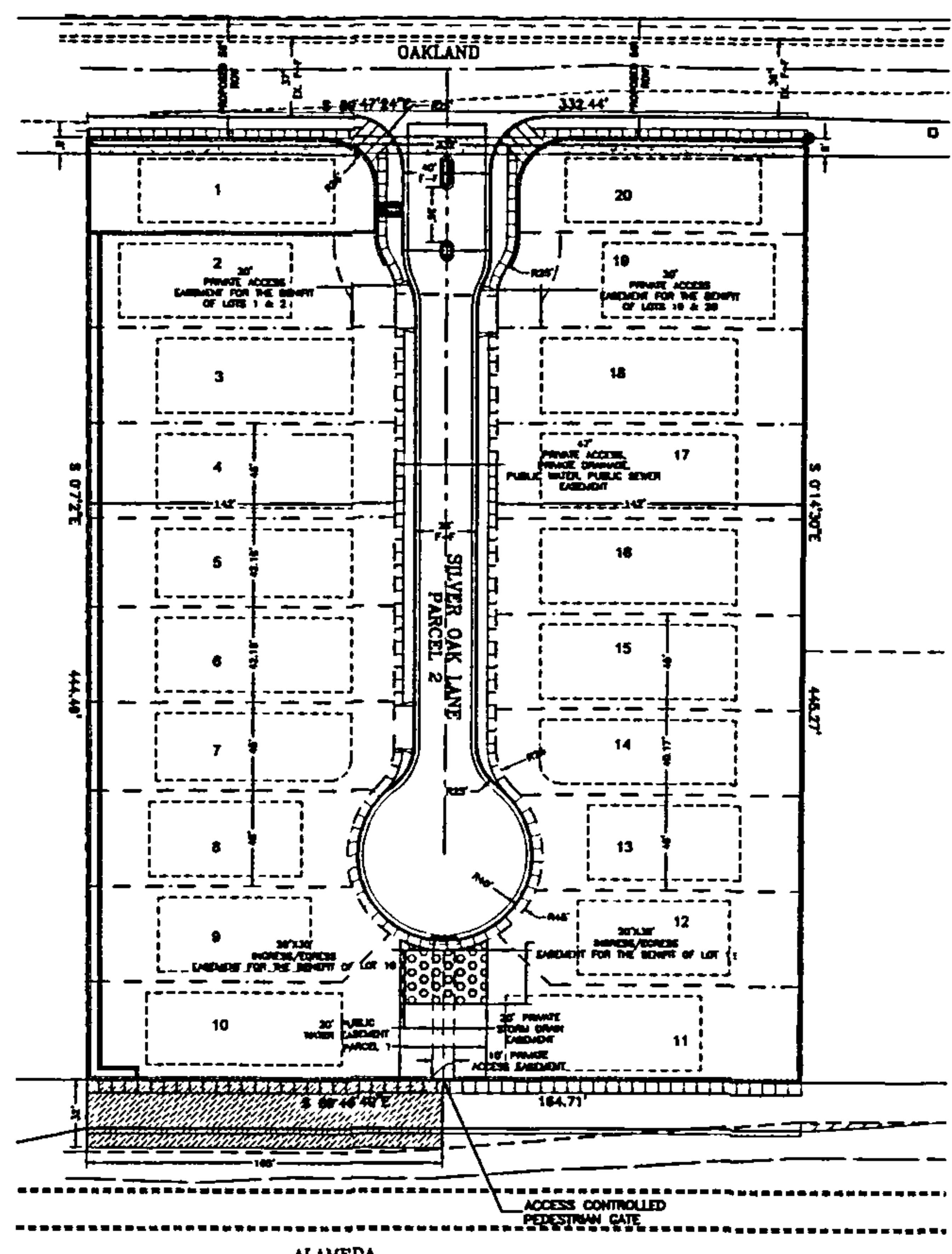
INTERIOR STREETSCAPE STREET SHADE TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED BY INDIVIDUAL RESIDENCE OWNERS. AT MINIMUM RESIDENTS SHALL PLANT ONE 4'-0" TO 12'-0" TALL SHADE TREE AT THE STREET FRONTAGE. IN ADDITION 5-8 (FIVE TO EIGHT) 5 GALLON SHRUBS SHALL BE LOCATED IN A GREY ROCK/CORAL ACCENT LANDSCAPING SCHEME.

DECIDUOUS STREET SHADE TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THE LANDSCAPING SHALL BALANCE THE DENSITY OF THE HOLDING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE.

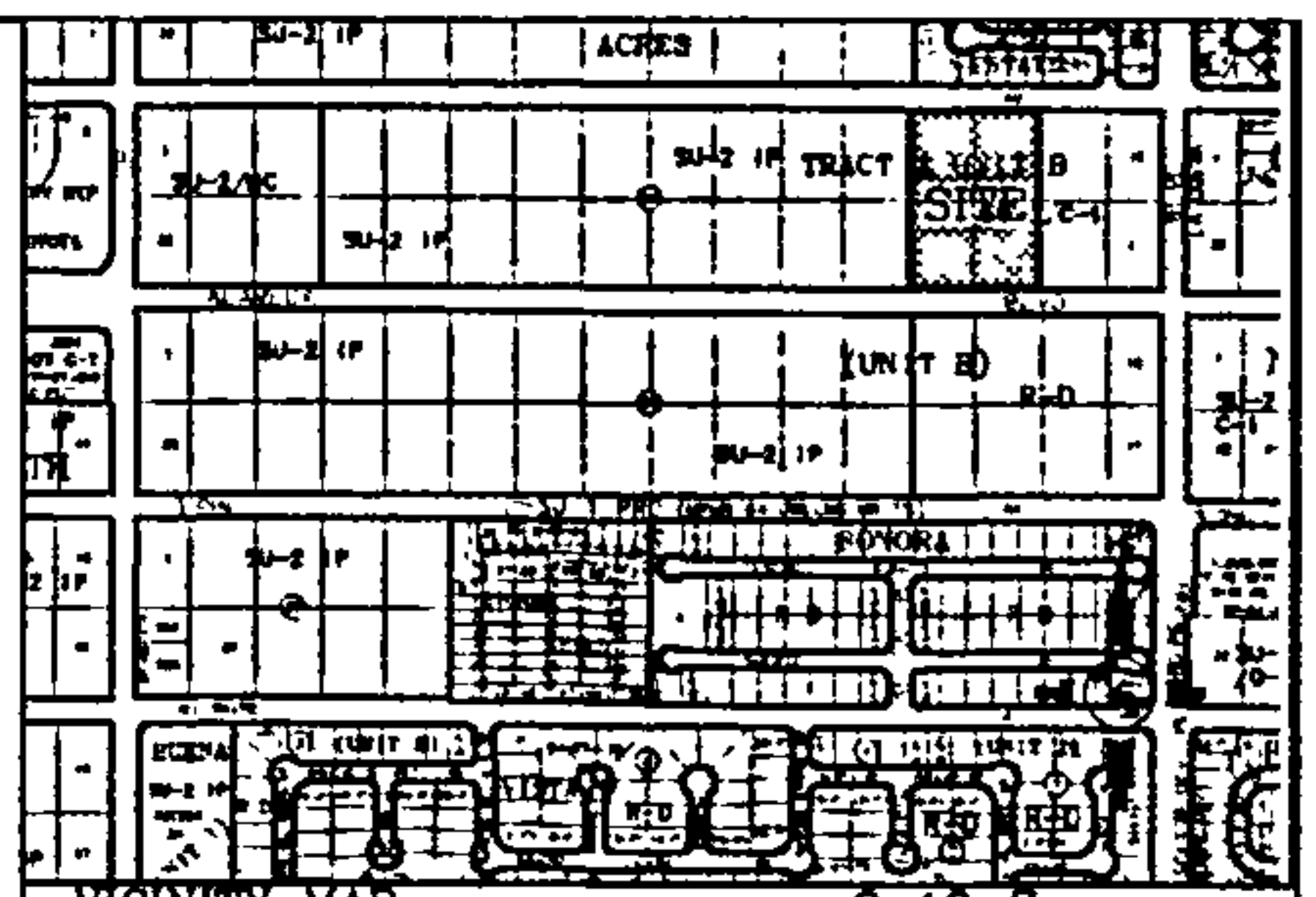
SUGGESTED PLANT SPECIES AS SHOWN ARE NOT MANDATORY. HOWEVER, ANY SUBSTITUTIONS WILL BE LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER AND SCALE OF THE SURROUNDING NEIGHBORHOOD.



TYPICAL LOT DETAIL



PERIMETER WALL DETAIL



LEGAL DESCRIPTION
 LOTS 13, 14, 19, 20, BLK 28, TR. A, UNIT B, NORTH ALBUQUERQUE ACRES

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

In an Informational Use project (a) Yes () No () No. If Yes, date of approval (Date) with a valid order to suspend or terminate utility. Public Right-of-Way or for construction of public infrastructure.

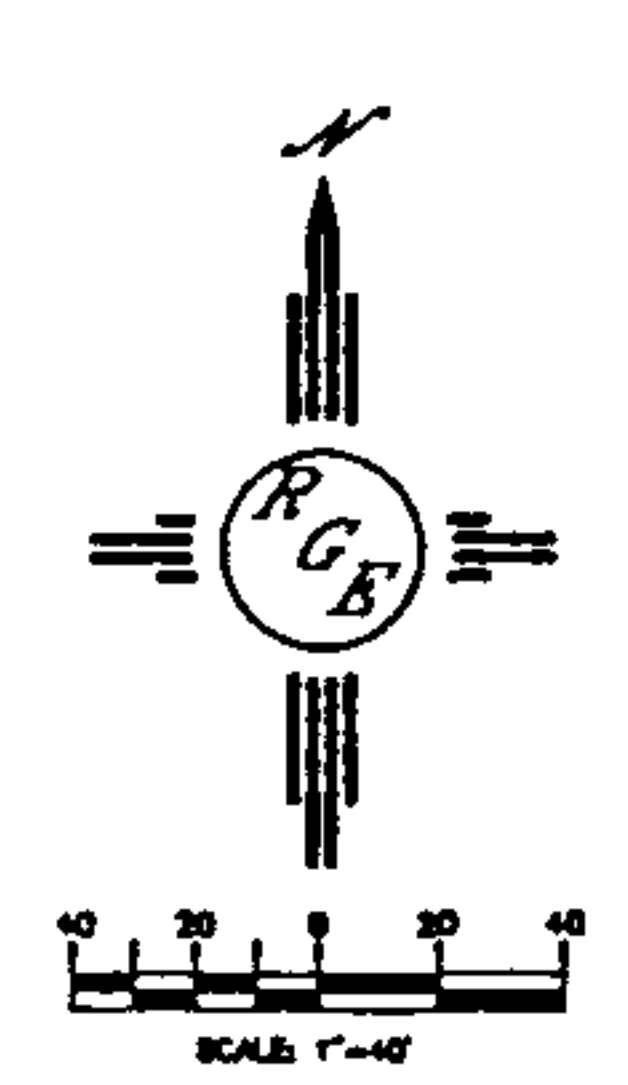
SEE SITE DEVELOPMENT PLAN APPROVAL.

Traffic Engineer, Transportation Division	Date
Utilities Department	Date
Public & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DOG Department, Planning Department	Date

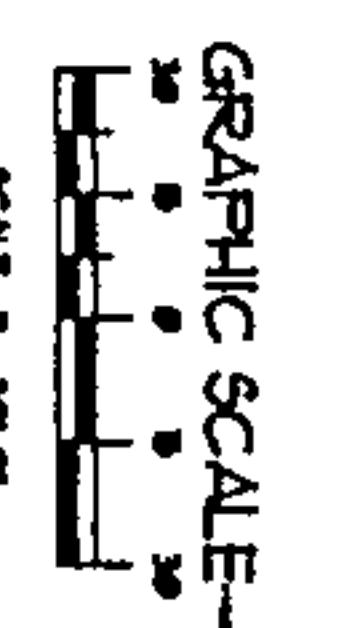
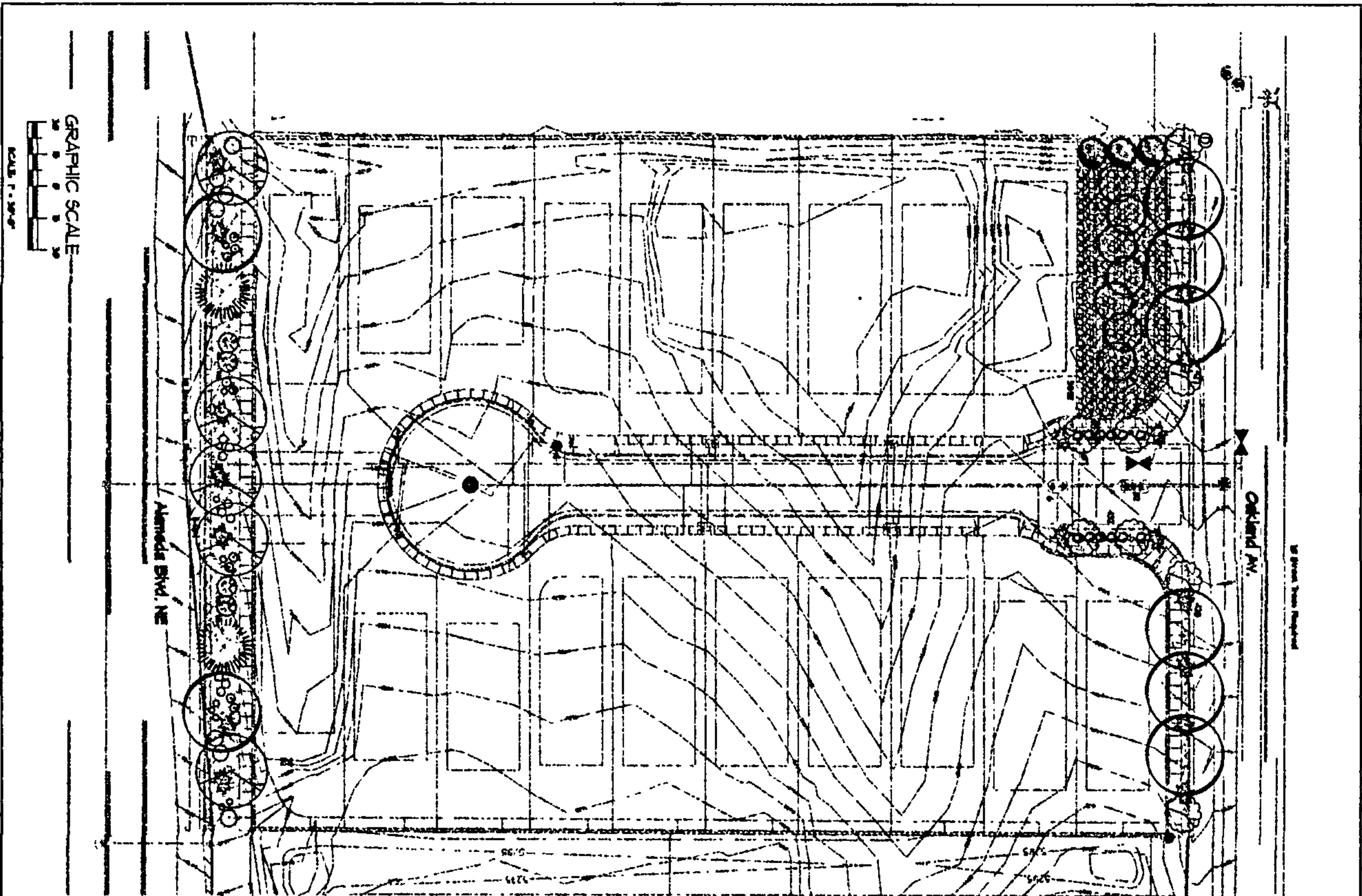
LEGEND

- ===== EXISTING CURB & GUTTER
- PROPOSED CURB AND GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED SIDEWALK
- ||||| EXISTING SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED LOT LINE
- PROPOSED RETAINING WALL
- PROPOSED PERIMETER WALL
- AREA DEDICATED TO THE COA AS ROW (SEE PLAT)
- AREA OF COA ROW VACATION (SEE PLAT)
- INGRESS/EGRESS EASEMENT AREA

SUBDIVISION DATA		BUILDING DATA	
PROJECT LOCATION: BETWEEN ALAMEDA BLVD. N.E. AND OAKLAND AVE. N.E. AVENUE WEST OF LOURNAHA DRIVE N.E., ALBUQUERQUE, NM		MAXIMUM BUILDING HEIGHT	26 FEET
ZONING ATLAS MAP: C-18		MINIMUM BUILDING SETBACK	
CREATED ACRES: 3.373 A		FRONT YARD SETBACK - RESIDENCE	16 FEET
NO. OF LOTS COMPLETED: 4		FRONT YARD SETBACK - DRIVEWAY	20 FEET
NO. OF LOTS CREATED: 20		SIDE YARD SETBACK	5 FEET
EXISTING ZONING: BU-3C-1-NC		STREET SIDE CORNER	10 FEET
		SIDE YARD SETBACK	16 FEET
		REAR YARD SETBACK	16 FEET
		MAXIMUM OVERHUNG LIMITS	20 INCHES



	SILVER OAK ESTATES SITE PLAN FOR SUBDIVISION AND	DRAWN BY: WCMJ DATE: 10-21-15 21286-LAND-0-21-15
		SHEET # 1 JOB # 21525



LANDSCAPE LEGEND
 CITY OF ALBUQUERQUE
 LANDSCAPE ARCHITECT

Symbol	Plant Name	Quantity	Notes
Circle with cross	1. 2" - 4" Pines	2000	
Circle with dots	2. 4" - 6" Pines	1000	
Circle with horizontal lines	3. 2" - 4" Pines	1000	
Circle with vertical lines	4. 2" - 4" Pines	1000	
Circle with diagonal lines	5. 2" - 4" Pines	1000	
Circle with wavy lines	6. 2" - 4" Pines	1000	
Circle with concentric circles	7. 2" - 4" Pines	1000	
Circle with irregular pattern	8. 2" - 4" Pines	1000	
Circle with solid fill	9. 2" - 4" Pines	1000	
Circle with cross-hatch	10. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	11. 2" - 4" Pines	1000	
Circle with wavy lines (other)	12. 2" - 4" Pines	1000	
Circle with concentric circles (other)	13. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	14. 2" - 4" Pines	1000	
Circle with solid fill (other)	15. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	16. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	17. 2" - 4" Pines	1000	
Circle with wavy lines (other)	18. 2" - 4" Pines	1000	
Circle with concentric circles (other)	19. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	20. 2" - 4" Pines	1000	
Circle with solid fill (other)	21. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	22. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	23. 2" - 4" Pines	1000	
Circle with wavy lines (other)	24. 2" - 4" Pines	1000	
Circle with concentric circles (other)	25. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	26. 2" - 4" Pines	1000	
Circle with solid fill (other)	27. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	28. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	29. 2" - 4" Pines	1000	
Circle with wavy lines (other)	30. 2" - 4" Pines	1000	
Circle with concentric circles (other)	31. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	32. 2" - 4" Pines	1000	
Circle with solid fill (other)	33. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	34. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	35. 2" - 4" Pines	1000	
Circle with wavy lines (other)	36. 2" - 4" Pines	1000	
Circle with concentric circles (other)	37. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	38. 2" - 4" Pines	1000	
Circle with solid fill (other)	39. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	40. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	41. 2" - 4" Pines	1000	
Circle with wavy lines (other)	42. 2" - 4" Pines	1000	
Circle with concentric circles (other)	43. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	44. 2" - 4" Pines	1000	
Circle with solid fill (other)	45. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	46. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	47. 2" - 4" Pines	1000	
Circle with wavy lines (other)	48. 2" - 4" Pines	1000	
Circle with concentric circles (other)	49. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	50. 2" - 4" Pines	1000	
Circle with solid fill (other)	51. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	52. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	53. 2" - 4" Pines	1000	
Circle with wavy lines (other)	54. 2" - 4" Pines	1000	
Circle with concentric circles (other)	55. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	56. 2" - 4" Pines	1000	
Circle with solid fill (other)	57. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	58. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	59. 2" - 4" Pines	1000	
Circle with wavy lines (other)	60. 2" - 4" Pines	1000	
Circle with concentric circles (other)	61. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	62. 2" - 4" Pines	1000	
Circle with solid fill (other)	63. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	64. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	65. 2" - 4" Pines	1000	
Circle with wavy lines (other)	66. 2" - 4" Pines	1000	
Circle with concentric circles (other)	67. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	68. 2" - 4" Pines	1000	
Circle with solid fill (other)	69. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	70. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	71. 2" - 4" Pines	1000	
Circle with wavy lines (other)	72. 2" - 4" Pines	1000	
Circle with concentric circles (other)	73. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	74. 2" - 4" Pines	1000	
Circle with solid fill (other)	75. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	76. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	77. 2" - 4" Pines	1000	
Circle with wavy lines (other)	78. 2" - 4" Pines	1000	
Circle with concentric circles (other)	79. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	80. 2" - 4" Pines	1000	
Circle with solid fill (other)	81. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	82. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	83. 2" - 4" Pines	1000	
Circle with wavy lines (other)	84. 2" - 4" Pines	1000	
Circle with concentric circles (other)	85. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	86. 2" - 4" Pines	1000	
Circle with solid fill (other)	87. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	88. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	89. 2" - 4" Pines	1000	
Circle with wavy lines (other)	90. 2" - 4" Pines	1000	
Circle with concentric circles (other)	91. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	92. 2" - 4" Pines	1000	
Circle with solid fill (other)	93. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	94. 2" - 4" Pines	1000	
Circle with diagonal lines (other)	95. 2" - 4" Pines	1000	
Circle with wavy lines (other)	96. 2" - 4" Pines	1000	
Circle with concentric circles (other)	97. 2" - 4" Pines	1000	
Circle with irregular pattern (other)	98. 2" - 4" Pines	1000	
Circle with solid fill (other)	99. 2" - 4" Pines	1000	
Circle with cross-hatch (other)	100. 2" - 4" Pines	1000	

REGULATION NOTES:
 The City of Albuquerque requires a minimum of 20% of the site area to be landscaped. This includes all areas within the site boundaries, including streets, alleys, and easements. The City of Albuquerque requires a minimum of 20% of the site area to be landscaped. This includes all areas within the site boundaries, including streets, alleys, and easements. The City of Albuquerque requires a minimum of 20% of the site area to be landscaped. This includes all areas within the site boundaries, including streets, alleys, and easements.

NOTES TO CLIENT:
 The design shown herein is the property of The Hilltop Landscape Architects and Contractors and is provided for your information only. It is not to be used for any other purpose without the written consent of The Hilltop Landscape Architects and Contractors. The design shown herein is the property of The Hilltop Landscape Architects and Contractors and is provided for your information only. It is not to be used for any other purpose without the written consent of The Hilltop Landscape Architects and Contractors.

TYPICAL LOT STANDARD LANDSCAPE:
 A diagram showing a typical lot with a building footprint and landscaping requirements. The lot is 45' wide and 100' deep. The building footprint is 30' wide and 20' deep. The landscaping area is 15' wide and 80' deep. The diagram shows various plantings and structures within the landscaping area.

FIBCO MODEL 765:
 A diagram showing a typical lot with a building footprint and landscaping requirements. The lot is 45' wide and 100' deep. The building footprint is 30' wide and 20' deep. The landscaping area is 15' wide and 80' deep. The diagram shows various plantings and structures within the landscaping area.

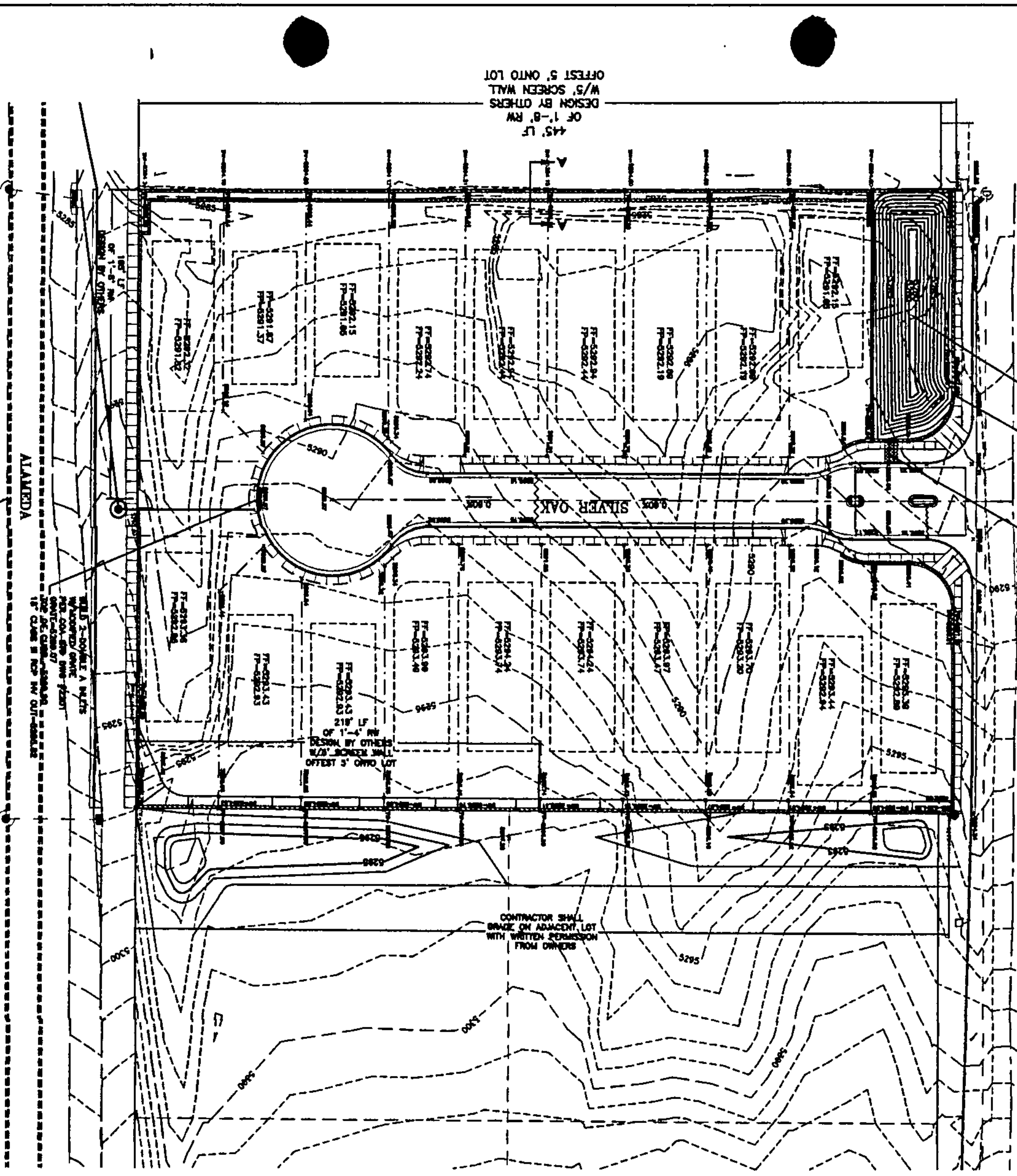
TYPICAL LANDSCAPE DETAILS:
 A series of diagrams showing details for various landscaping elements, including trees, shrubs, and groundcovers. Each detail shows the plant's placement, spacing, and any associated structures or materials.

DRAWN BY REVISION # DATE 10/10/08		Silver Oak Subdivision Albuquerque NM		The Hilltop 7505 8th NE Albuquerque, NM 87109 Cont. Lic. 79-466 Ph: (505) 850-5450 Fax: (505) 850-7131 demmy@hilltoplandscape.com	
		LANDSCAPE PLAN			

FIELD TOPOGRAPHY RETENTION POND
 21' SLOPE W/ ROCK PLATING-SEE DETAIL. THIS SHEET
 DRIVE POND SHALL BE ENCLOSED W/ 6" WALL ON FINISH
 TOP-CORNER
 BOTTOM-CORNER
 PROPOSED VOLUME @ 100% OF POND (50000)-15000 CU. FT.
 PROPOSED VOLUME @ 50% OF POND (1" FREE BOARD)-14075 CU. FT.
 1" FREE BOARD FOR POND OVERFLOW
 1" FREE BOARD

FIELD 3 - SWAMPY CLAYERS
 FOR CON. SEE DRG #2233
 1" FREE BOARD
 1" FREE BOARD

CAUTION:
 DESIGNING THE POND AND THE SCREEN WALL
 IT SHALL BE THE SOLE RESPONSIBILITY
 OF THE CONTRACTOR TO CONDUCT ALL
 NECESSARY FIELD INVESTIGATIONS PRIOR
 TO THE CONSTRUCTION OF THE POND AND
 TO DETERMINE THE LOCATION OF UTILITIES & OTHER
 IMPROVEMENTS.

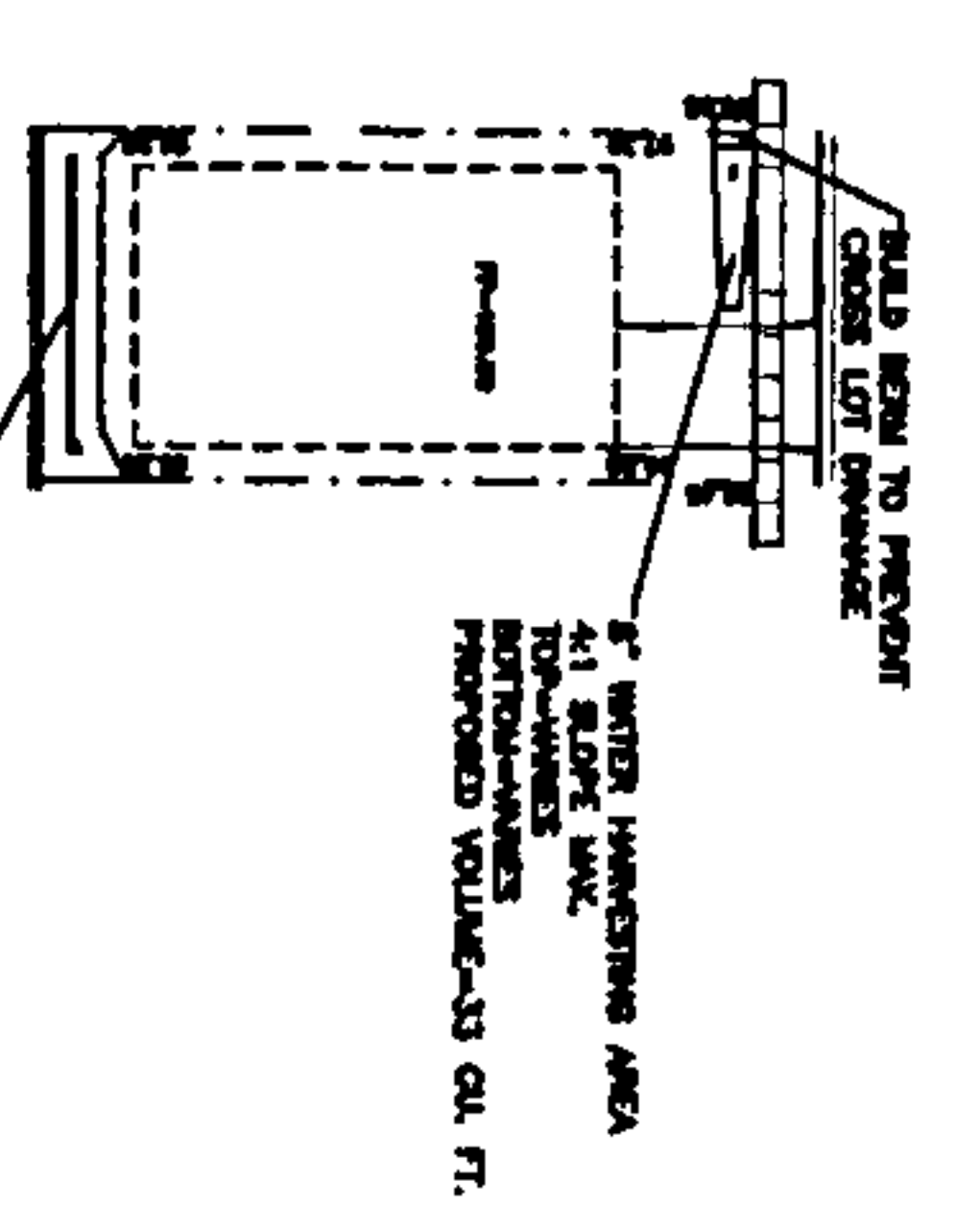


DESIGN BY OTHERS
 W/ 5' SCREEN WALL
 OFFSET 5' ONTO LOT
 44.5' LT

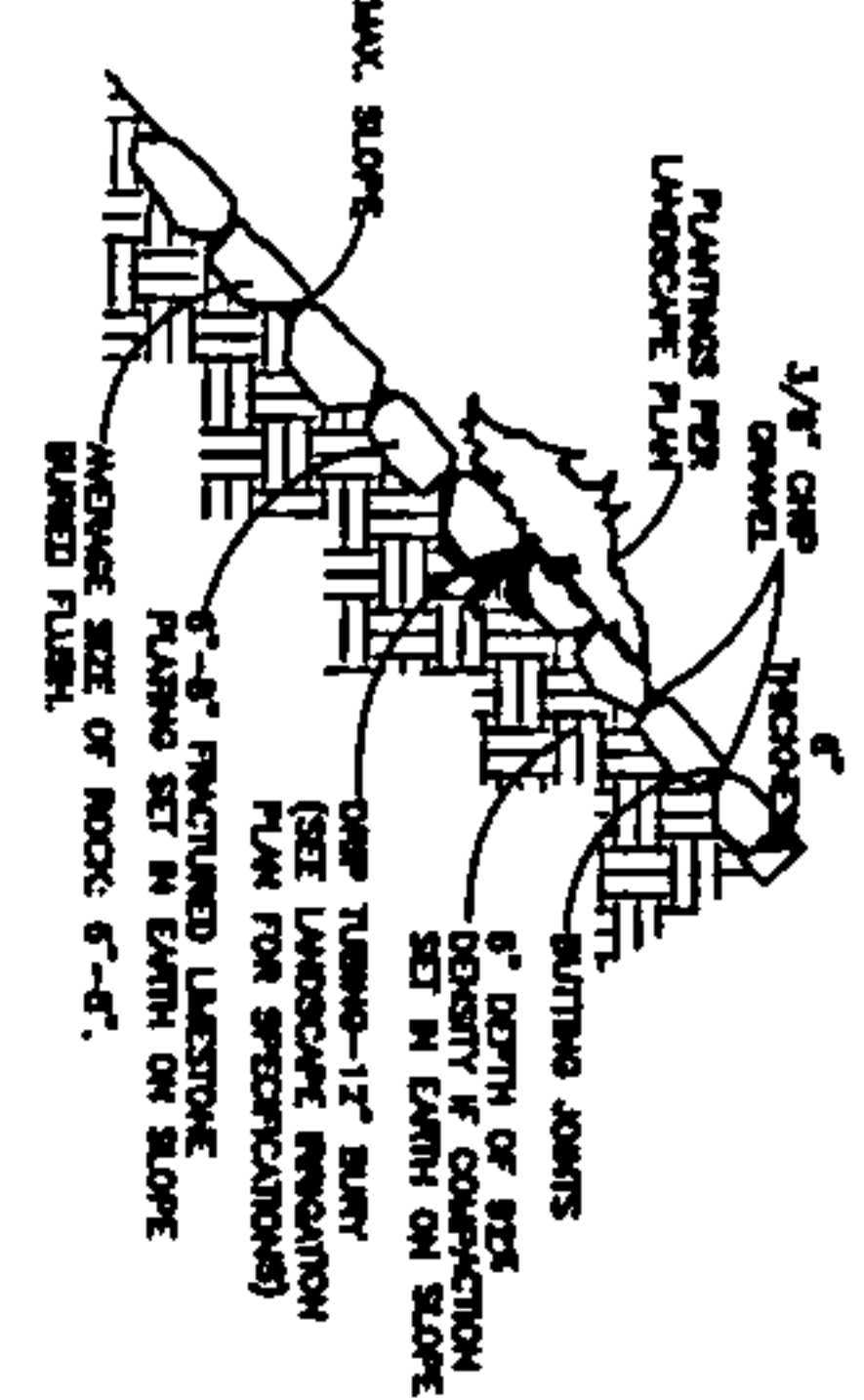
DESIGN BY OTHERS
 W/ 5' SCREEN WALL
 OFFSET 5' ONTO LOT

CONTRACTOR SHALL
 BRIDGE ON ADJACENT LOT
 WITH WRITTEN PERMISSION
 FROM OWNERS

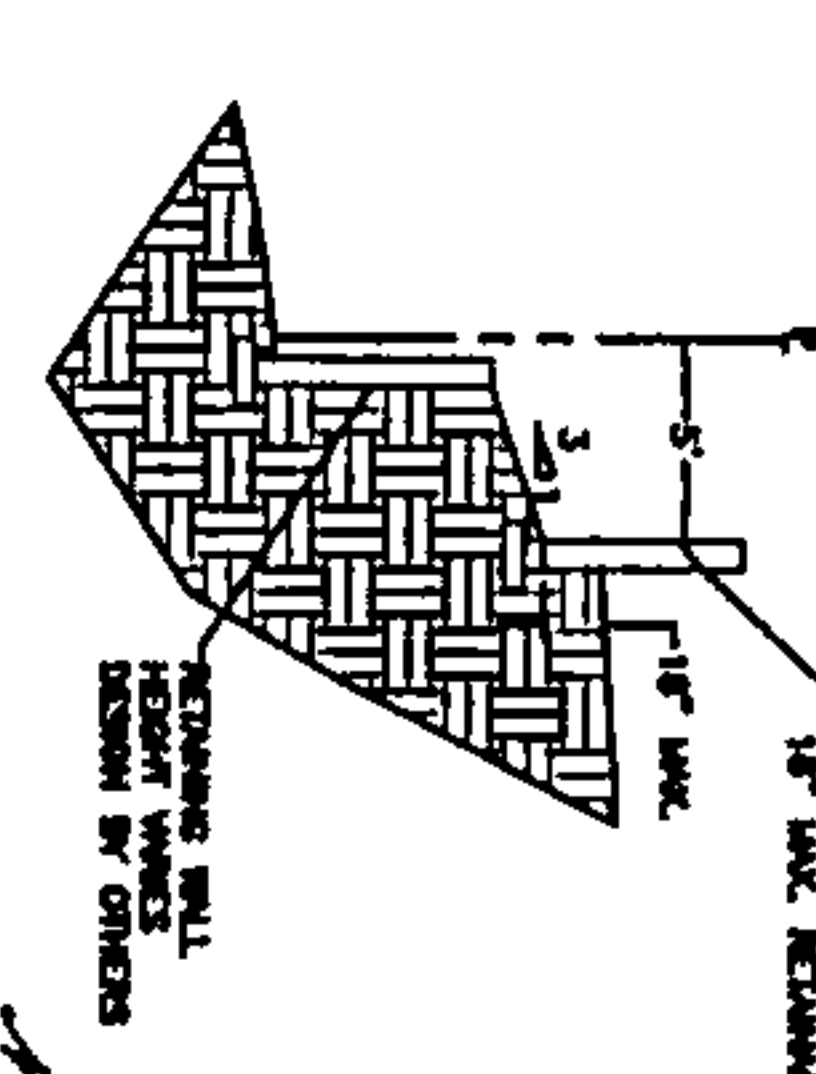
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPICAL BATHING FACILITY PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO DRAINAGE RUN-OFF-PIPE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



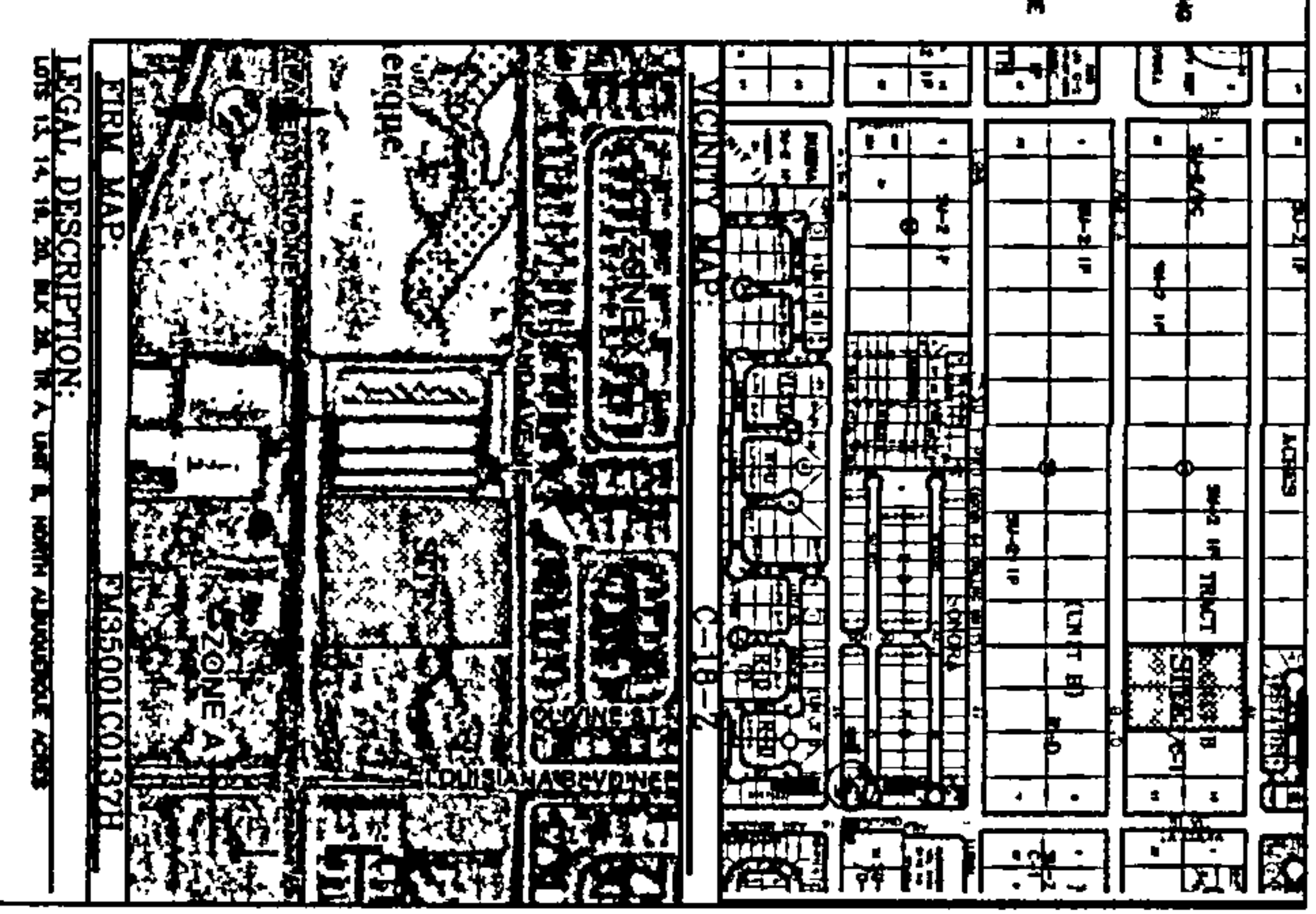
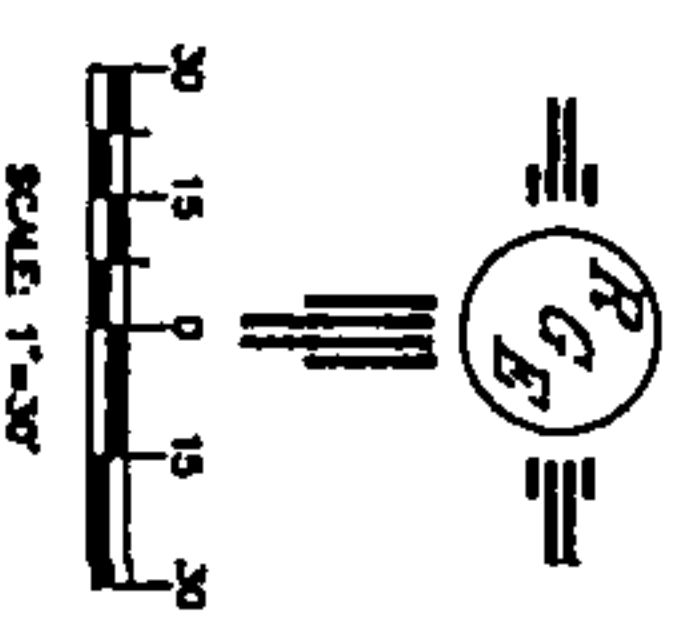
TYPICAL WATER HARVESTING AREAS



ROCK PLATING DETAIL



SECTION A-A



NOTES:
 1. ALL SPOT ELEVATIONS REPRESENT FINISHED ELEVATION UNLESS OTHERWISE NOTED.

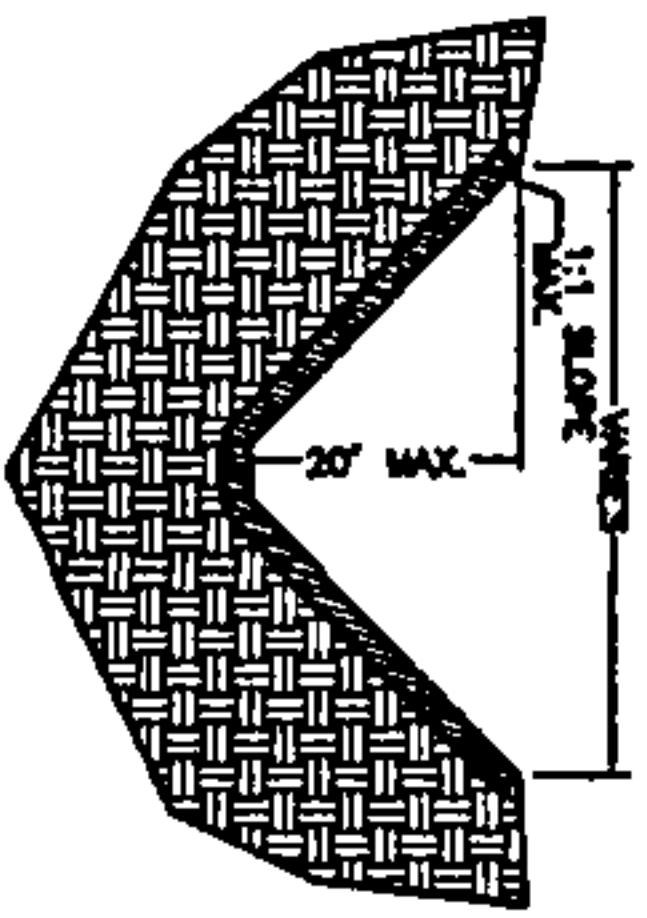
LEGEND

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	3:1 SLOPE TO W/ 6\"/>
---	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	PROPOSED LOT LINE
---	RIGHT-OF-WAY
---	PROPOSED CURB AND GUTTER
---	EXISTING CURB
---	PROPOSED SCREEN WALL
---	PROPOSED RETAINING WALL
---	DESIGN BY OTHERS

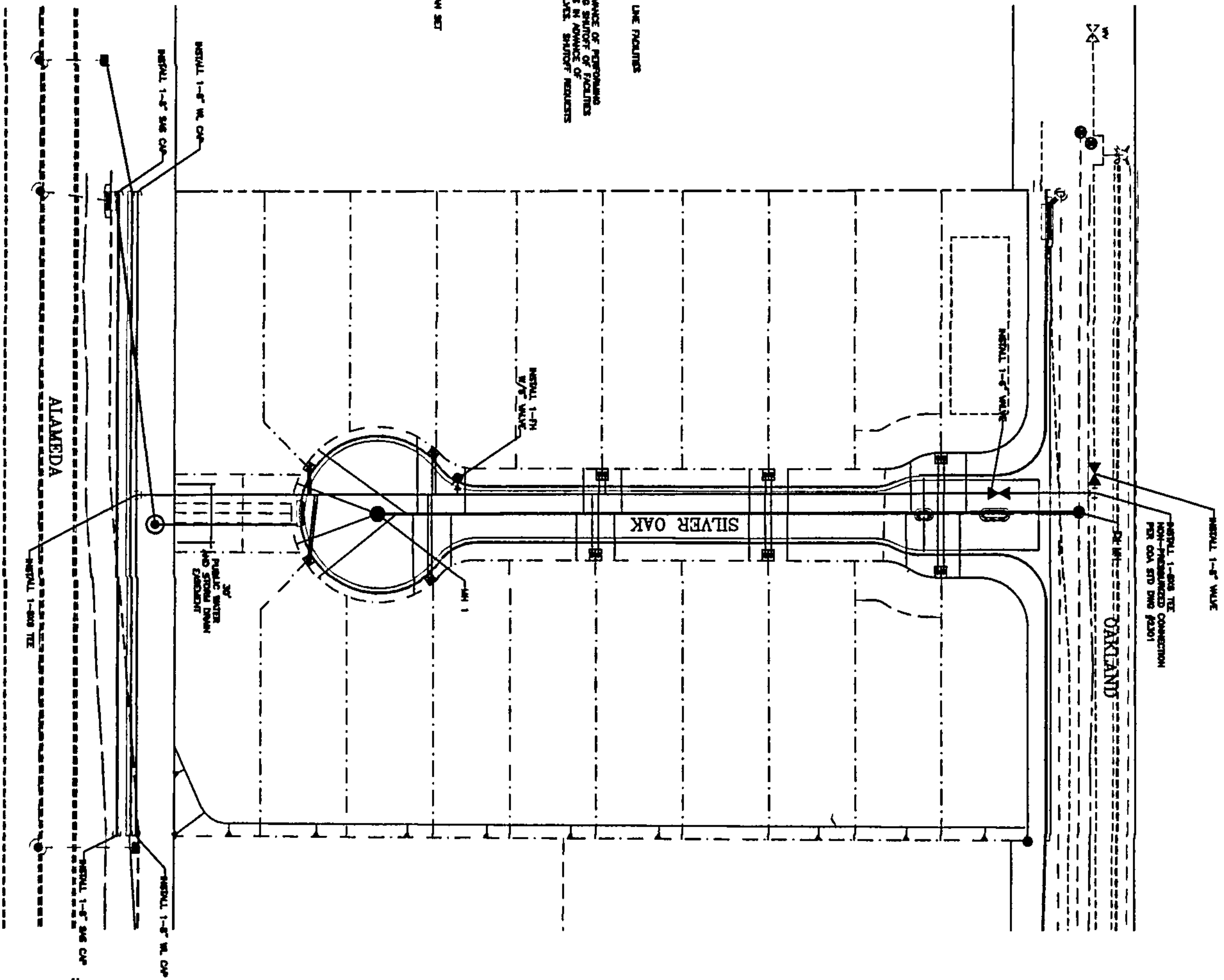
	OWNER'S SEAL	DATE	10-12-15
	SILVER OAK ESTATES	DATE	10-12-15
GRADING AND DRAINAGE PLAN		SHEET	3
		JOB #	2182
DRAWN BY: [Name]		P.E. #10022	

NOTICE TO CONTRACTORS

1. ALL EXCAVATION/CONSTRUCTION PERMIT SHALL BE OBTAINED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY NOW AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY ORDINANCES AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988, COLLATED URBAN EDITION, CHAPTER 17.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LOCATION SERVICE, 380-1900, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERMANENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE DESIGNER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMAL IMPACT OF DELAY.
5. BACKFILL CONSTRUCTION SHALL BE ACCORDING TO ARTISAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTISAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREA, INCLUDING REQUESTS TO OWNERS/OBJECTORS OF SAID FACILITIES PER SECTION 82-14-3 N.M.S.A. 1978.
9. CONTRACTOR SHALL FURNISH ALL EXCAVATION TO UNNAMED RESPONSIBILITY OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADEQUATE TELEPHONE NOTICE OF COMMENCEMENT, EJECT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OBJECTORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER IN ORDER THAT OWNERS/OBJECTORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 82-14-3 N.M.S.A. 1978. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL OWNERS/OBJECTORS OF LOCATION SERVICE (10) WORKING DAYS AFTER THE START OF EXCAVATION.
11. CONTRACTOR SHALL MAINTAIN EXISTING (18) INCHES BENEATH EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OBJECTORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER ACCORDING TO PREVIOUS DESIGN TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL ACCEPT ALL EXCAVATIONS IN A MANNER AND WITH UTILITY AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OBJECTOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DELAYED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT USE OR OBTAIN ANY MATERIALS UNLESS PERMITTED TO CHANGE BY THE DESIGNER. ALL MATERIALS TO BE USED IN EXCAVATION WORK SHALL BE IDENTIFIED BY THE CONTRACTOR AND APPROVED BY THE DESIGNER PRIOR TO CONSTRUCTION OR ADEQUATE UTILITY FOR VULNERABILITY OF OR HORIZONTAL/VERTICAL WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 11 N.M.S.A. 1978.
16. EXISTING WATER SERVICES (80) SHALL BE INSTALLED ON WATER LINE AND SANITARY SERVICE LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS AND AMENDMENT 1.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SECTION 170 DMS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SERVICE INFRASTRUCTURE. WORK REQUIRING SEVERITY OF EXCAVATION SHALL BE PERFORMED IN A MANNER THAT DOES NOT AFFECT THE PUBLIC WATER OR SANITARY SERVICE INFRASTRUCTURE. ONLY WATER AUTHORITY ENGINEERS ARE AUTHORIZED TO OPERATE PUBLIC WATER SERVICE VALVES. SERVICE VALVES MUST BE UNDER CONTROL AT ALL TIMES. http://www.waterutility.com/utl/utl_president.htm
18. ALL EXCAVATION, TRENCHING, AND STOPPING ACTIVITIES MUST BE CROWNED-OUT IN ACCORDANCE WITH DMS 20 OR 102.61510 SUBPART F.
19. ALL IMPACTED STREETS SHALL BE RECYCLED IN SWEETENED BITUMEN MIXTURE.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SWEETENED BITUMEN MIXTURE.
21. ALL WATER METERS SHALL INCLUDE DUAL CHECK VALVE SETTING.
22. ALL WATER METER COVERS AND LIDS SHALL BE PER COA STD 890 F224.
23. ALL MANHOLES AND VALVES SHALL HAVE GRS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
24. CONTRACTOR IS RESPONSIBLE AT ITS OWN COST FOR ANY DAMAGE TO EXISTING UTILITIES.



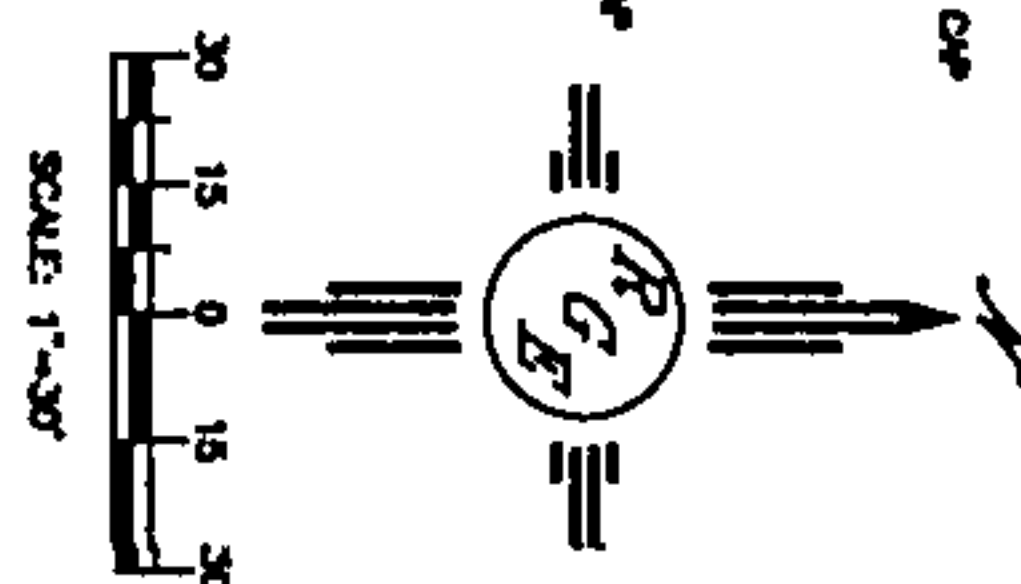
SUPPLEMENTAL TRENCH DETAIL
 MIN-18" PAVEMENT 1/2-1 1/2" GRAV. STABILIZED SUBGRADE
 NOTES: SEE TRENCH PLAN FOR ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES FROM LINES. WATER METER BOXES AND SERVICES, SEE SERVICE.



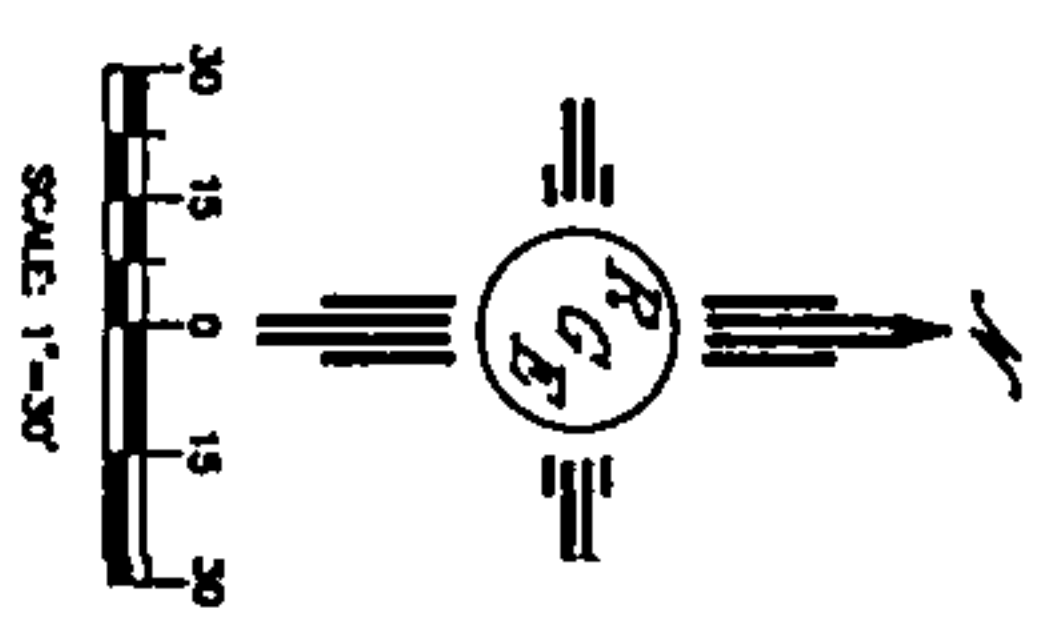
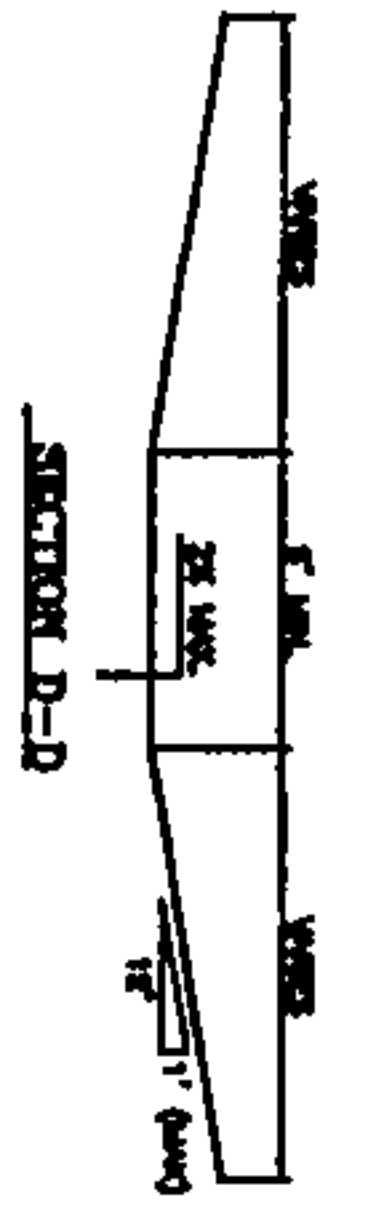
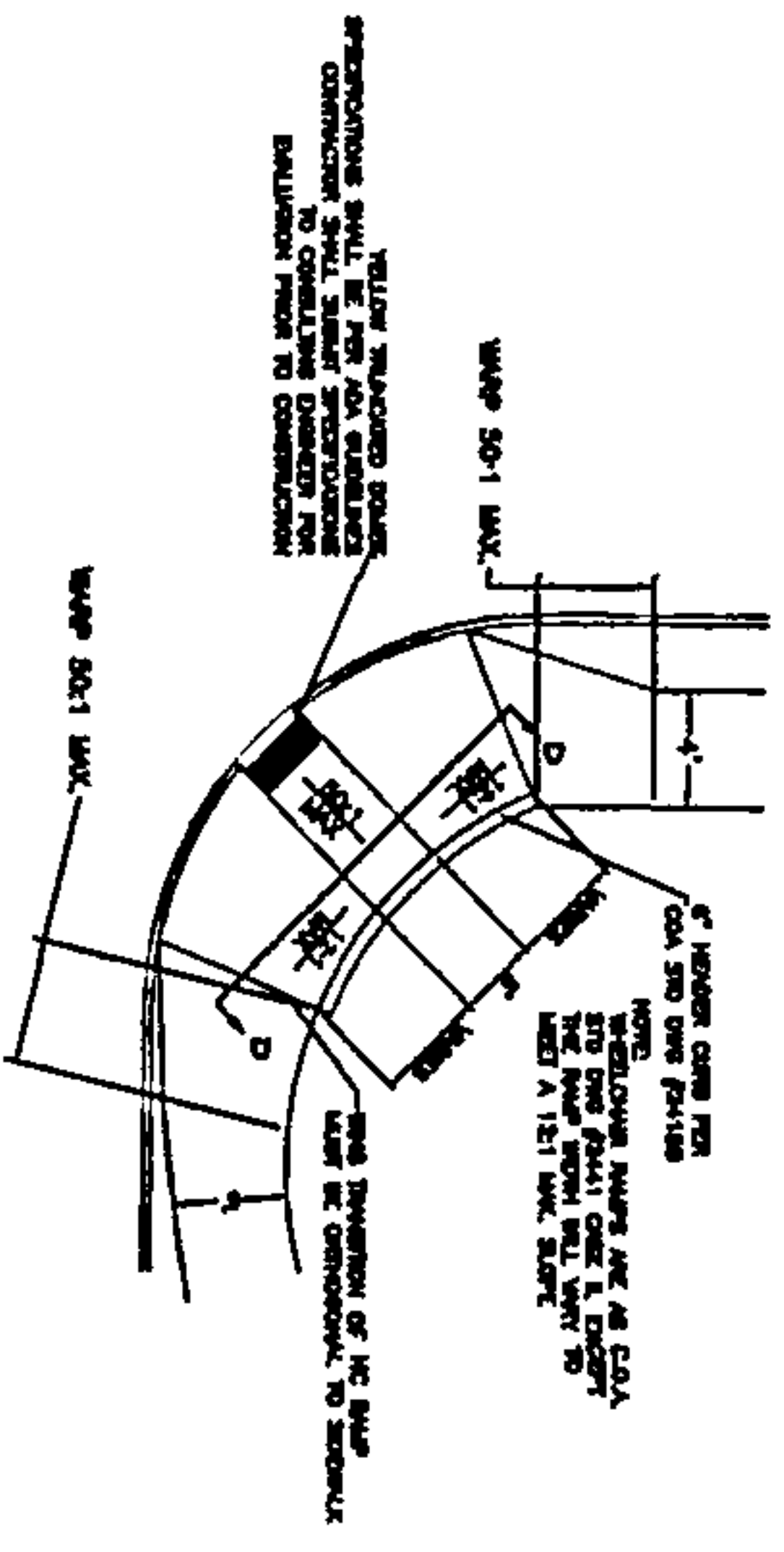
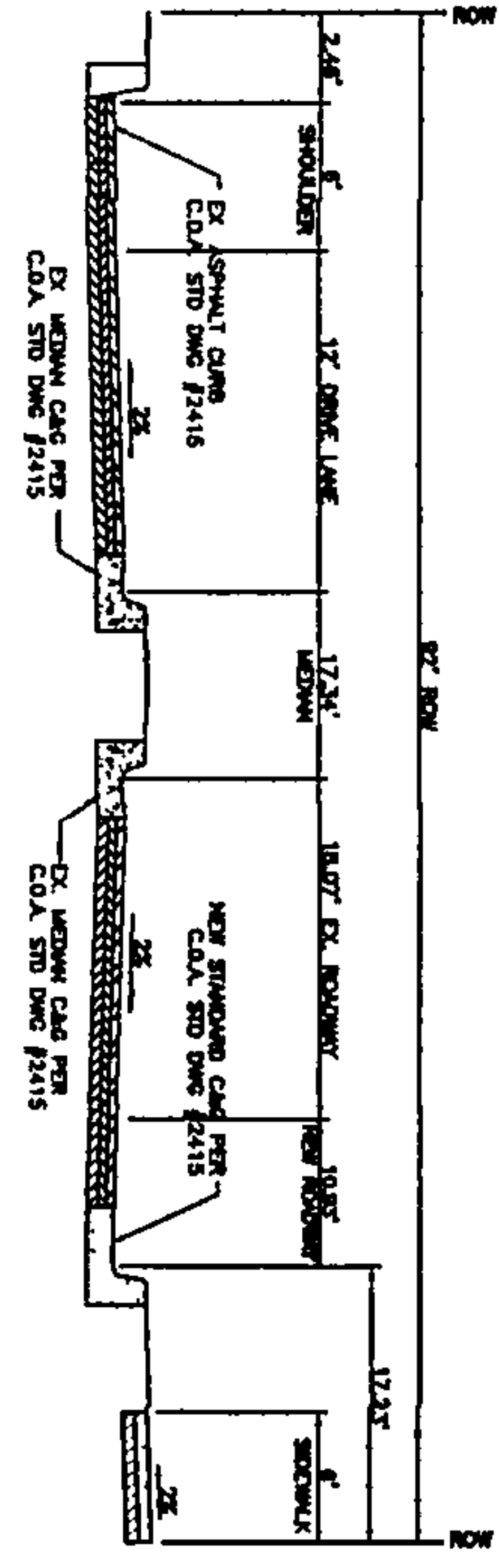
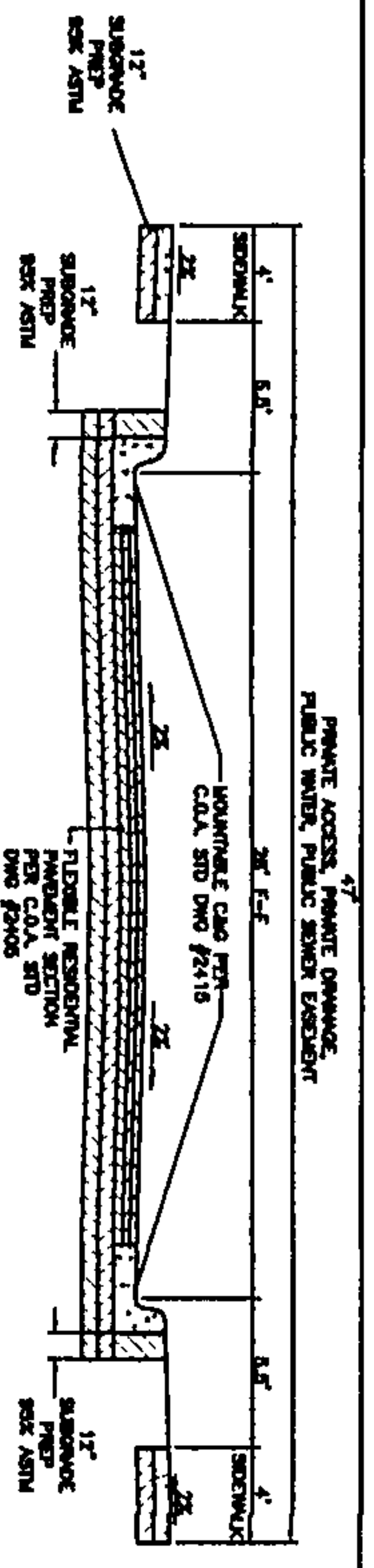
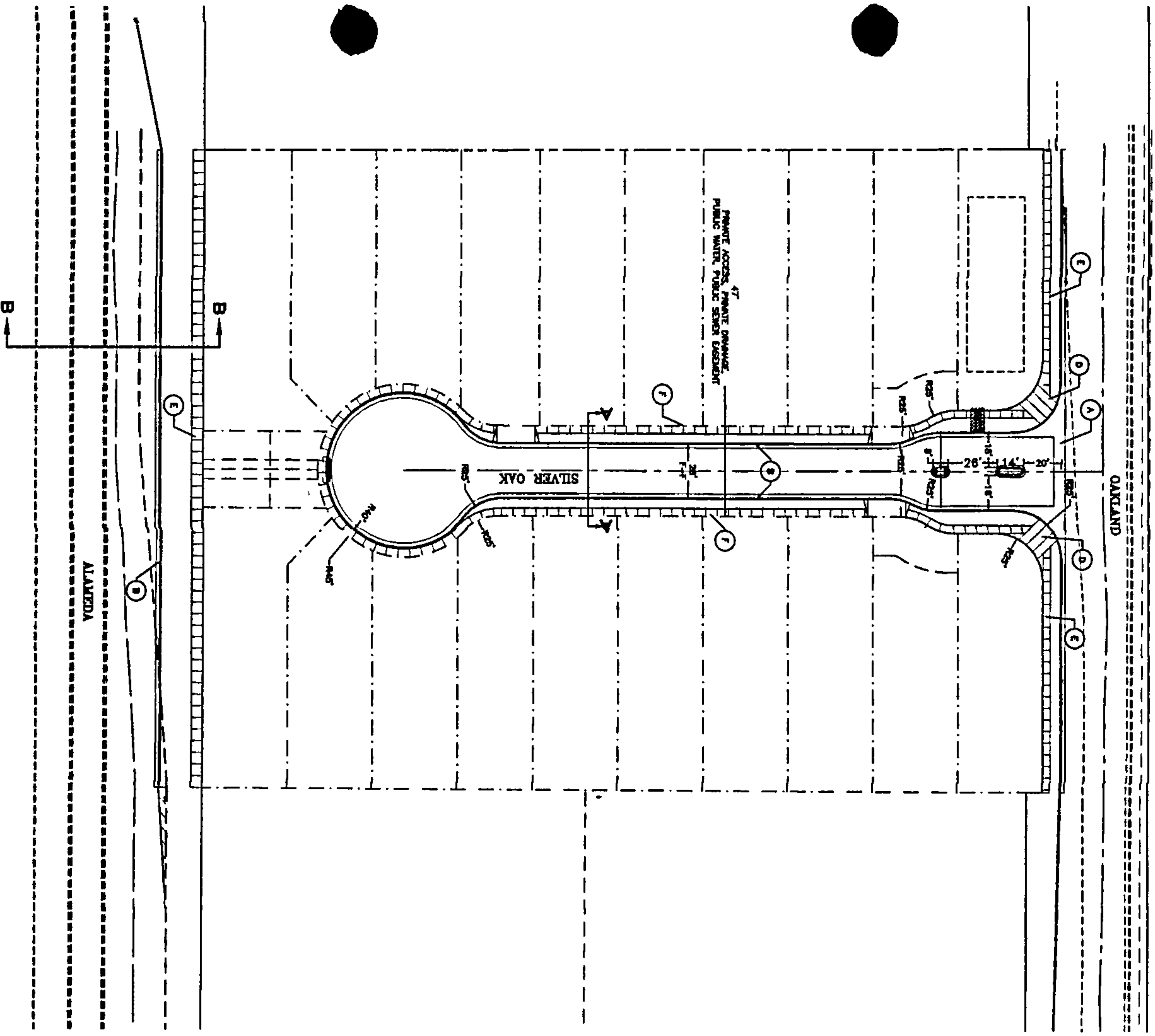
LEGEND

- EXISTING STREET CENTER LINE
 - EXISTING SAN MANHOLE
 - EXISTING WATER VALVE
 - EXISTING WATER LINE
 - PROPOSED 8" SD
 - PROPOSED WATER METER
 - PROPOSED FIRE HYDRANT
 - EXISTING EDGE OF PAVEMENT
 - PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - CONTROL LINE
 - RIGHT-OF-WAY
 - LOT LINES
 - DRAINAGE
 - ☆ SHEET LIGHTS
- CONTRACTOR SHALL REMOVE AND REPLACE PIPING PER COA STD 890 F224 (COLLECTOR). CONTRACTOR SHALL REMOVE AND REPLACE 8" SD PER COA STD 890 F211A. CONTRACTOR SHALL REMOVE AND REPLACE 8" SD PER COA STD 890 F243. REFERENCE TO NEAREST JOHN, WOOD R. DISTRICTS.

WATER SHUTOFF NOTES:
 The contractor shall coordinate with the Water Authority Section 170 days in advance of performing work that will affect the public water or sanitary service infrastructure. Work requiring shutoff of public water or sanitary service shall be coordinated with the Water Authority 15 days in advance of performing such work. Only Water Authority personnel are authorized to operate such public water shutoff. Shutoffs are the responsibility of the contractor. http://www.waterutility.com/utl/utl_president.htm



	DESIGNER'S SITE	SILVER OAK	DATE	8-28-15
	ESTIMATOR'S	MASTER UTILITY PLAN	SHEET #	4
	Rio Grande Engineering 10000 N. 24th St., Suite 100 Albuquerque, NM 87112	JOB # 2158		

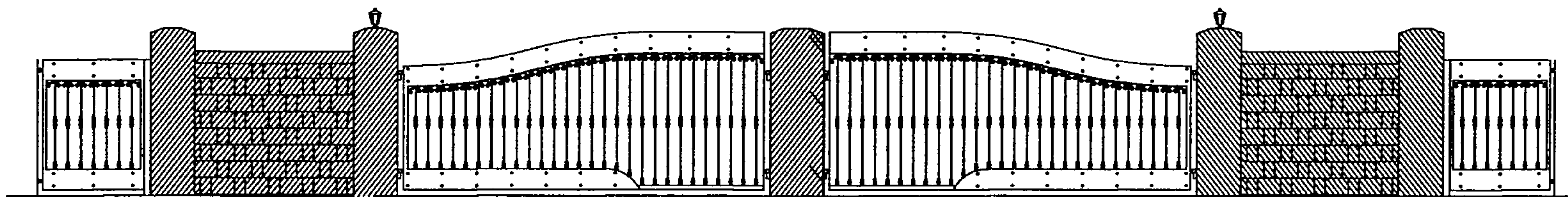


- LEGEND**
- PROPOSED 3/4" x 3/4" WALK
 - EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - FLUME CURB & GUTTER
 - BOUNDARY LINE
 - EXISTENT
 - PROPOSED 6" SIDEWALK
 - CONCRETE
 - PAVING
 - LOT LINES
- KEYD NOTES**
1. 6" WALK GUTTER PER COA STD DWG F2400
 2. SIDEWALK CURB PER COA STD DWG F2415A
 3. BOUNDABLE CURB PER COA STD DWG F2415A
 4. HATCHED RAMP SEE DETAIL THIS SHEET
 5. SIDEWALK TO BE PLANT W/THE PROJECT
 6. PER COA STD DWG F2450
 7. SIDEWALK TO BE PLANT W/THE PROJECT
 8. PER COA STD DWG F2450

GENERAL NOTES

1. ALL SMALL FOUNDATIONS/RET. WALLS BE GUNBER COA STD.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL FOUNDATION STONE WALLS. FINAL ACCEPTANCE.

OWNER'S SILVER OAK ESTATES	DATE 8-28-15	DRAWN BY R. G. G.
MASTER PAVING PLAN	SHEET 5	DATE 8-28-15
Rio Grande Engineering 1000 GARDEN AVENUE ALAMEDA, CA 94601 PH: 415-771-1111 WWW.RIOGRANDEENGINEERING.COM		
DESIGN SCALE P.L. 1/8"=1'-0"	JOB # 21528	



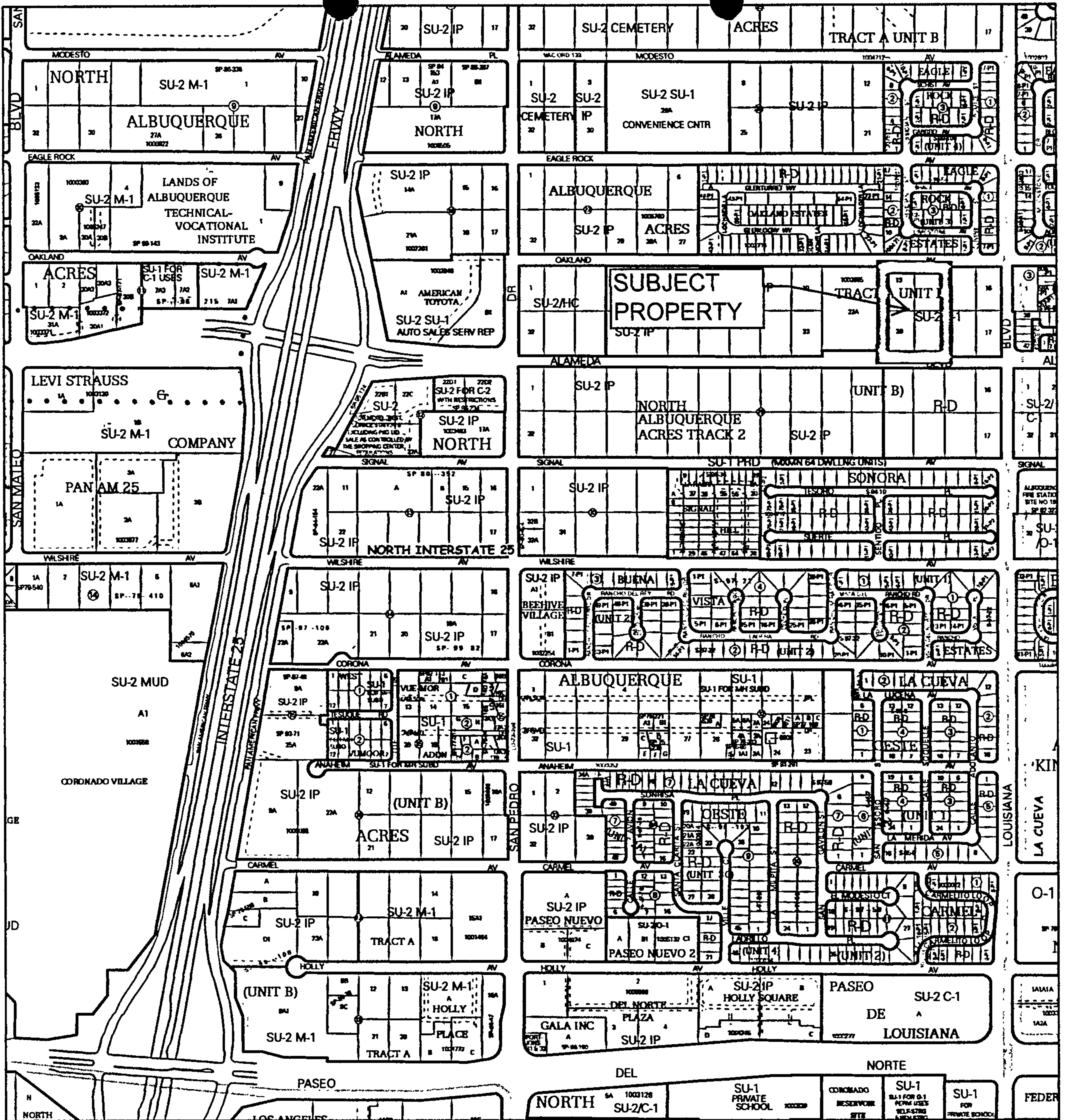
PROJECT TITLE
SILVER OAK SUBDIVISION

DRAWING TITLE
GATE ELEVATION
PLAN


DATE	PROJECT NO.
08/01/13	21321

DRAWING NO.
DRB 6.0

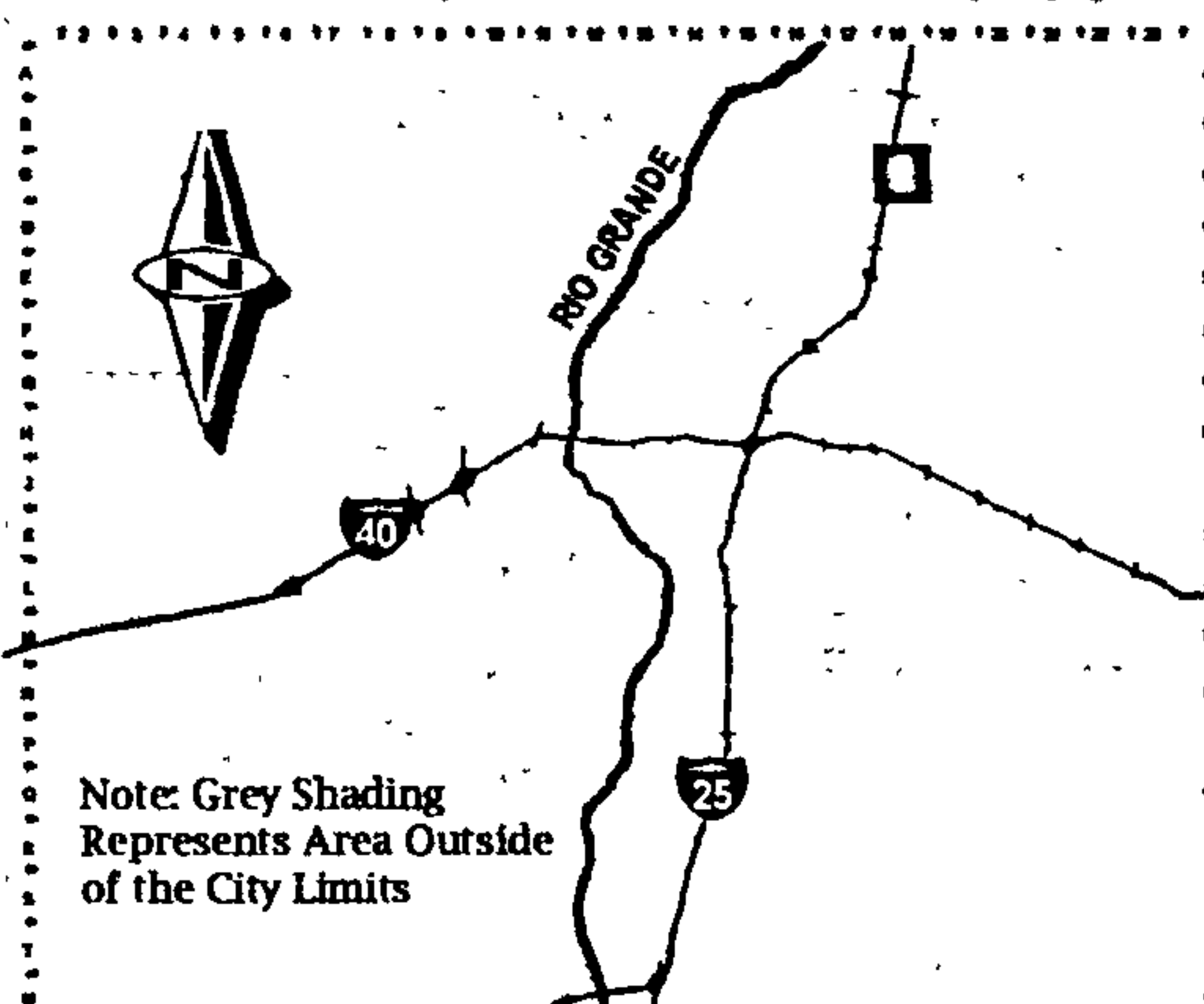
BLOCK WALL AND PILASTERS SHALL MAINTAIN SAME COLOR AND PATTERN AS PERIMETER WALL
GATE SHALL BE DISTRESSED (RUSTED) IRON WITH VINYARD PATTERN WORK



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 2/4/2010



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-18-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

October 23, 2015

Mr. Jack Cloud
Chair- Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Site Plan for Subdivision Approval
Preliminary plat, vacation of Right of way
Silver Oak Subdivision
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests approval of the enclosed site plan for subdivision, preliminary plat, vacation of right of way and deferral of internal sidewalks. The site is located within the North Interstate 25 Sector development plan. The site has a SU2/C1-NC zoning designation. As discussed within the section 3.2, the NC designation allows for RC zoning uses. The RC zone allows for RT permissive uses. The proposed development of the property into 20 lots with minimum lot size of 5750 square feet is an allowable use within the RT zone and the subsequent RC and SU2/ NC. The proposed development is consistent with the development patterns of the area. We feel the proposed site plan for subdivision meets the city standards for site plan for subdivision and is consistent with the existing zoning of the property. The proposed preliminary plat is consistent with the site plan for subdivision and the vacation of right of way allows for a 56' right of way, which exceeds local road minimum requirements

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

Cc; Bob Smith,
PO Box 94115
Albuquerque NM 87199

Gina Martinez
PO Box 94115
Albuquerque, NM 87199

Peggy Neff
8305 Calle Sequelle
Albuquerque, 87113

Michael Gonzales
8201 La Milpita St NE
Albuquerque, NM 87113

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from October 26, 2015 To November 10, 2015

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

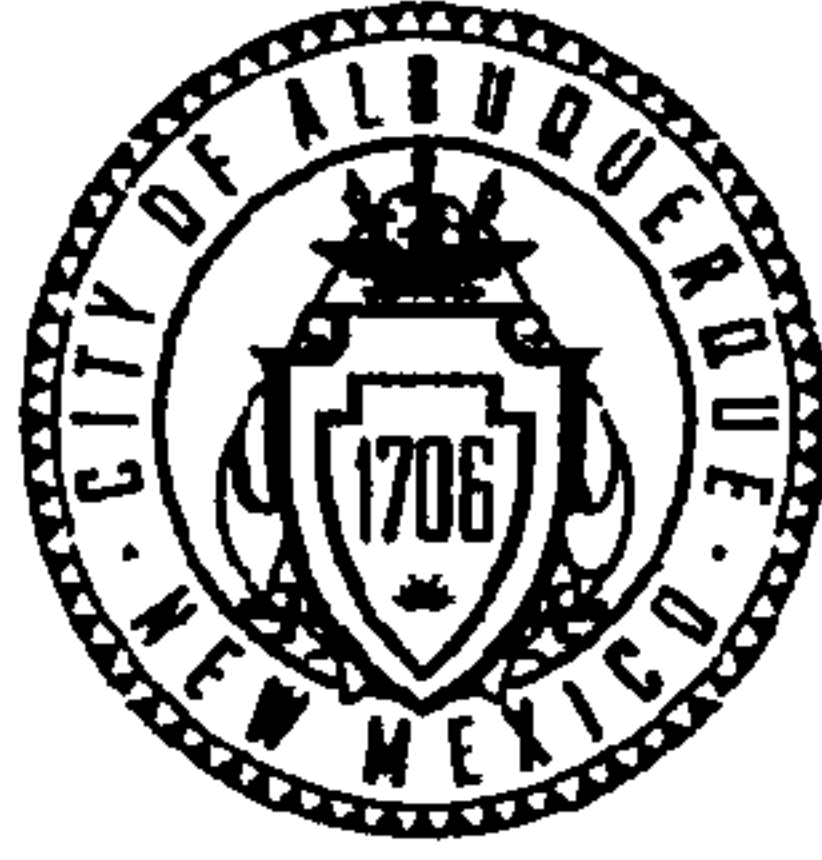
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

10/16/15
(Date)

I issued 2 signs for this application, 10-16-15, [Signature]
(Date) (Staff Member)

PROJECT NUMBER: 1010644



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

October 16, 2015

David Soule
Rio Grande Engineering
P.O. Box 93924
Phone: 505-321-9099/Fax: 505-872-0999
E-mail: david@riograndeengineering.com

Dear David:

Thank you for your inquiry of **October 16, 2015** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of *§14-8-2-7 of the Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – LOTS 13,14,19,20, BLOCK 28, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES LOCATED ON ALAMEDA BOULEVARD NE BETWEEN SAN PEDRO DRIVE NE AND LOUISIANA BOULEVARD NE** zone map **C-18**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

SEE "ATTACHMENT A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's – siw.

Please note that according to *§14-8-2-7 of the Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before the Planning Department will accept your application filing. IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **10/16/15** Time Entered: **8:45 a.m.** ONC Rep. Initials: **siw**

ATTACHMENT A

(DRB SUBMITTAL) – LOTS 13,14,19,20, BLOCK 28, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES LOCATED ON ALAMEDA BOULEVARD NE BETWEEN SAN PEDRO DRIVE NE AND LOUISIANA BOULEVARD NE zone map C-18.

NOR ESTE N.A. "R"

***Bob Smith**

P.O. Box 94115/87199-0066 828-1319 (h)

Gina Martinez

P.O. Box 94115/87199-0066 238-5495 (c)

WEST LA CUEVA N.A. "R"

***Peggy Neff**

8305 Calle Soquelle NE/87113 977-8903 (c)

Michael Gonzales

8201 La Milpita St. NE/87113 797-7283 (h)

***President of NA/HOA**

7013 1090 0002 4284 3478

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87199 **OFFICIAL USE**

Postage	\$ 3.45
Certified Fee	\$2.80
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$6.96

0101
06
Postmark
Here

Sent To *Bob Smith* 10/16/2015
 Street, Apt. No., or PO Box No. *PO Box 94115*
 City, State, ZIP+4 *Albuq, NM 87199*

7013 1090 0002 4284 3470

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Postage	\$ 3.45
Certified Fee	\$2.80
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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$6.96

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06
Postmark
Here

Sent To *Peggy Neff* 10/16/2015
 Street, Apt. No., or PO Box No. *8305 Calle Seguelene NE*
 City, State, ZIP+4 *Albuq, NM 87113*

7013 1090 0002 4284 3531

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Total Postage & Fees	\$6.96

0101
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Postmark
Here

Sent To *Gina Martinez* 10/16/2015
 Street, Apt. No., or PO Box No. *PO Box 94115*
 City, State, ZIP+4 *Albuq, NM 87199*

7013 1090 0001 4853 9464

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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$6.96

0101
06
Postmark
Here

Sent To *Michael Gonzales* 10/16/2015
 Street, Apt. No., or PO Box No. *8201 La Milpita St NE*
 City, State, ZIP+4 *Albuq, NM 87113*

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

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I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] (Applicant or Agent) 10/16/15 (Date)

I issued 2 signs for this application, 10-16-15 (Date), [Signature] (Staff Member)

PROJECT NUMBER: 1010644

Letter of Authorization

I, Ron Spradlin, managing member of Silver Oak Developers LLC, owner of Lots 13, 14, 19, 20 Block 28, Tract A, Unit B, North Albuquerque Acres, , hereby authorize Rio Grande Engineering of New Mexico, LLC to act as our agent regarding the submittal and approval process for the subdivision and development of said property as required within the city of Albuquerque for the subject property

Property Owners:


Managing Member
Silver Oak Developers, LLC

Date

10/16/15

ACS CONTROL STATION "10-CTB 1985".
 Projection: New Mexico State Plane
 Zone: Central-NAD 1983
 Longitude: 108 - 34 - 39.00037
 Latitude: 35 - 11 - 19.24965
 Ellipsoidal Height (meters): 1570.758
 Ground to Grid Factor: 0.99985042
 Mapping Angle: -0.11_19.43
 Northing (US survey feet): 1524123.885
 Easting (US survey feet): 1842565.263
 NAVD 1988 Elevation
 Orthometric Height (US survey feet): 5222.000

R-W DEDICATED TO THE CITY OF ALBUQUERQUE
 IN FEE SIMPLE TITLE GRANTED BY THIS PLAT
 9970 SQ FT, 0.22889 ACRES (CROSS HATCHED AREA)
 OAKLAND AVE NE

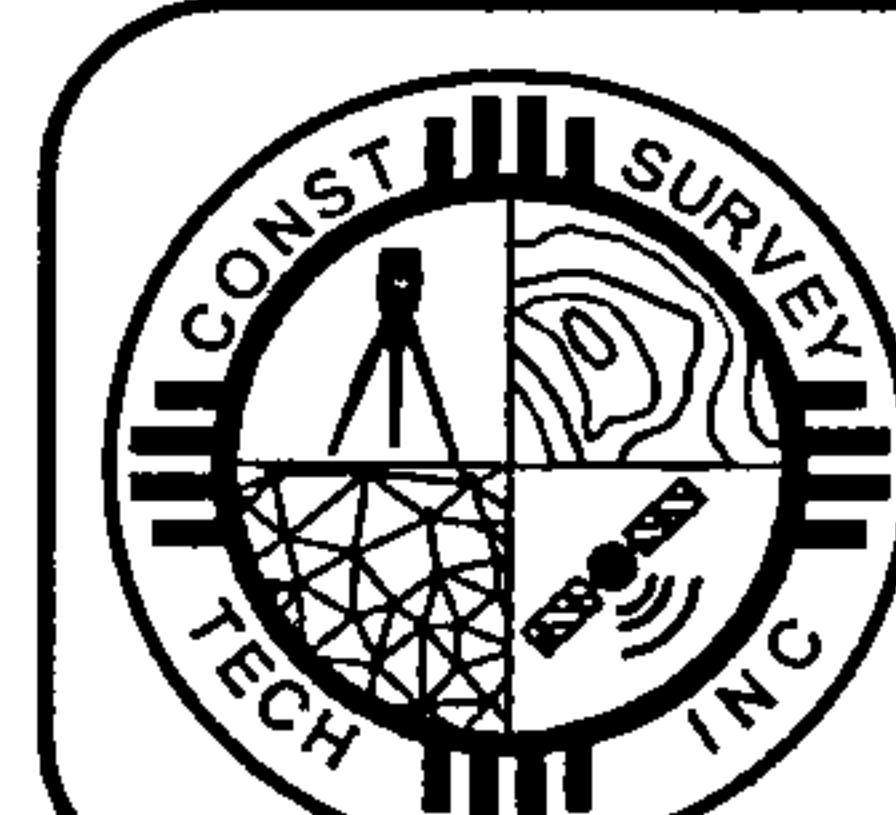
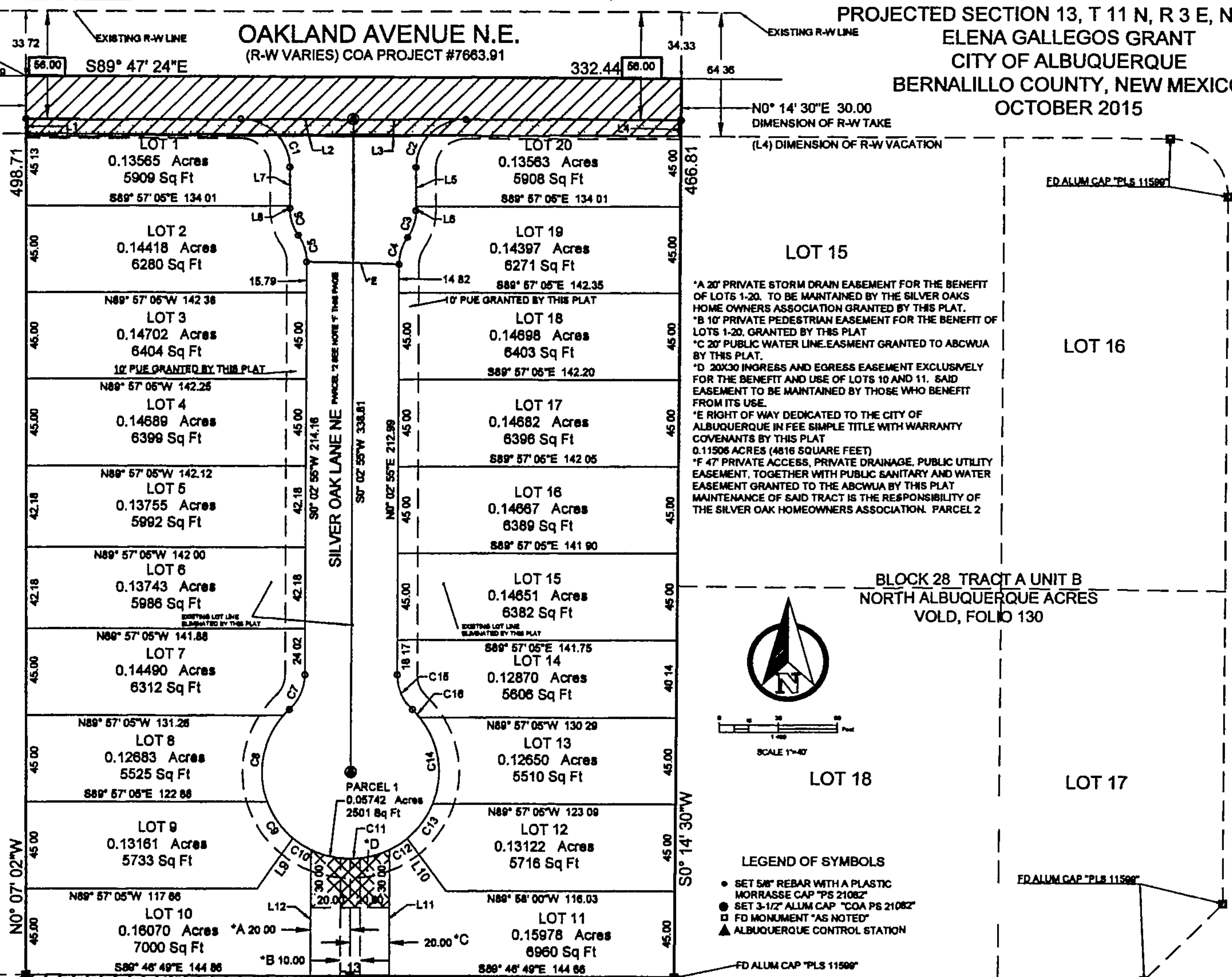
VACATION OF RIGHT OF WAY
 VAC#
 GRANTED BY THIS PLAT (SHADED AREA)
 2667 SQ FT, 0.06122 ACRES

SUBDIVISION PLAT OF
 LOT 1-20
 SILVER OAK SUBDIVISION
 BEING A RE-PLAT OF LOTS 13, 14, 19 AND 20
 NORTH ALBUQUERQUE ACRES
 TRACT A, UNIT B, BLOCK 28
 PROJECTED SECTION 13, T 11 N, R 3 E, N.M.P.M.
 ELENA GALLEGOS GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2015

Line #	Length	Direction
L1	7.72	S0° 07' 02"E
L2	56.98	S89° 53' 40"E
L3	57.02	S89° 53' 40"E
L4	8.33	S0° 14' 30"W
L5	20.11	S0° 02' 55"W
L6	2.29	S0° 02' 55"W
L7	20.02	S0° 02' 55"W
L8	1.32	S0° 02' 55"W
L9	31.91	S34° 54' 01"W
L10	33.55	N36° 17' 43"W
L11	65.75	N0° 02' 55"E
L12	65.63	S0° 02' 55"W
L13	40.00	S89° 48' 49"E

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.25	25.00	89.84	S44° 55' 23"E	35.34
C2	39.28	25.00	90.06	S45° 04' 37"W	35.37
C3	14.79	25.00	33.90	S16° 59' 57"W	14.58
C4	14.79	25.00	33.90	S16° 59' 57"W	14.58
C5	14.79	25.00	33.90	S16° 54' 07"E	14.58
C6	14.79	25.00	33.90	S16° 54' 07"E	14.58
C7	20.13	25.00	46.14	N23° 07' 13"E	19.59
C8	47.99	45.00	81.11	N10° 28' 34"E	45.75
C9	23.21	45.00	29.55	S34° 53' 11"E	22.95
C10	10.92	45.00	13.90	N58° 36' 46"W	10.89
C11	41.45	45.00	52.78	N89° 57' 05"W	40.00
C12	10.65	45.00	13.56	N58° 52' 51"E	10.62
C13	22.43	45.00	28.55	N35° 49' 29"E	22.19
C14	47.76	45.00	80.81	N8° 51' 22"W	45.55
C15	20.13	25.00	46.14	N23° 01' 23"W	19.59
C16	5.37	45.00	6.83	N42° 40' 39"W	5.36

LOT 22-A
 NORTH ALBUQUERQUE ACRES
 BLOCK 28, TRACT A, UNIT B
 FILED VOL 2005, FOLIO 283



CONSTRUCTION SURVEY TECHNOLOGIES, INC
 MAILING PO BOX 85395, ALBUQUERQUE, NM 87183 505-917-8821
 OFFICE: 1808 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87108
 NMSURVEYOR@GMAIL.COM

R-W DEDICATED TO THE CITY OF ALBUQUERQUE
 IN FEE SIMPLE TITLE GRANTED BY THIS PLAT
 5262 SQ FT, 0.12080 ACRES (CROSS HATCHED AREA)
 ALAMEDA BLVD NE

ALAMEDA BOULEVARD N.E.
 (R-W VARIES) COA PROJECT #7663.91

LOUISIANA BOULEVARD N.E.
 (R-W VARIES)

PROJECT #

HYPOH

SPS
PIT
TPS
VRUO

DECEMBER 2, 2015