

INTRODUCTION

DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE.

1. SITE DESIGN

A. OVERALL LAYOUT OF SITE AND BUILDINGS, RELATIONSHIP TO ADJACENT SITE

THIS PROJECT CREATES 20 LOTS FROM 4 EXISTING LOTS. THIRTY TWO FEET OF THE SOUTHERLY BOUNDARY WILL BE DEDICATED TO THE ALAMEDA BOULEVARD RIGHT OF WAY, AND 4' OF RIGHT OF WAY ON OAKLAND WILL BE VACATED AND DEDICATED TO LOTS 1 AND 20 OF THE PROPOSED SILVER OAK ESTATES SUBDIVISION. THE RESIDENTIAL LOTS WILL BE ACCESSED BY A 47' ROW. A 4' PEDESTRIAN WALK WAY WILL FRONT EACH LOT. THE BUILDINGS SHALL BE ORIENTED TO THE STREET. THE PEDESTRIAN WALKWAYS ALSO CONNECT TO THE PROPOSED PUBLIC SIDEWALK ON OAKLAND AVE. N.E., AND ALAMEDA AVENUE N.E. THE SINGLE FAMILY RESIDENCES SHALL BE TWO STORY AND ONE STORY WITH GARAGES FACING THE PRIVATE WAY. 6' HIGH AUTOMATIC WROUGHT IRON VEHICULAR GATES AND KEYPAD 5' HIGH PEDESTRIAN GATES SHALL PROVIDE SECURITY FOR THE DEVELOPMENT. THE ENTRY VEHICULAR QUEUING SHALL ACCOMMODATE TWO (2) CAR LENGTHS. A CENTRALLY LOCATED LANDSCAPED AREA AND DRIVE UP COMMUNITY MAILBOXES SHALL BE VISIBLE FROM THE MAIN ENTRANCE AND ACCESSIBLE FROM ALL LOTS. OAKLAND ESTATES LIE JUST NORTHEAST OF THE SUBJECT SITE. SONORA SUBDIVISION LIES SOUTHWEST OF THE SUBJECT SITE. SONORA UNITS ARE BUILT OUT. ALAMEDA STORAGE IS LOCATED TO THE WEST OF THE SITE. THE 4 LOTS TO THE EAST ARE UNDEVELOPED, AND ARE ALSO SU-2/C1-NC ZONING.

B. BUILDING PLACEMENT, ORIENTATION, SETBACKS

THE RESIDENTIAL FRONT ENTRIES AND GARAGE DOORS SHALL FACE THE SUBDIVISION PRIVATE WAY. A CONCRETE DRIVEWAY (20' MINIMUM LENGTH) SHALL PROVIDE ACCESS TO THE TWO CAR GARAGES. FRONT YARD SETBACK SHALL BE FIFTEEN FEET (15') EXCEPT THAT DRIVEWAYS SHALL BE TWENTY FEET (20') LONG. SIDE YARD SETBACK SHALL BE FIVE FEET (5'). STREET SIDE CORNER SIDE YARD SETBACK SHALL BE TEN FEET (10'). REAR YARD SETBACK SHALL BE FIFTEEN FEET (15'). BUILDING HEIGHTS RANGE FROM 17' AT SINGLE STORY PEAK TO 26' TO PEAK AT TWO STORY.

C. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)

THE SITE IS CONNECTED TO THE SURROUNDING DEVELOPMENTS. OAKLAND AVE N.E. PEDESTRIAN ACCESS LIES TO THE NORTH AND INTERNAL TO THE SITE. 4' WIDE SIDEWALKS ON BOTH SIDES OF THE ROW CONNECT EACH RESIDENCE WITH ITS NEIGHBOR, AND THE NEW PUBLIC SIDEWALKS ON OAKLAND AND ALAMEDA. MULTI-DIRECTIONAL RAMPS AT STRATEGIC PRIVATE WAY CORNERS PROVIDE HANDICAP ACCESSIBILITY TO THE DEVELOPMENT. THE PROPOSED ROW PROVIDES ONE INGRESS-EGRESS ROAD THAT CONNECTS TO OAKLAND AVE. N.E. VEHICULAR ENTRY POINT SHALL ACCENTUATED BY LANDSCAPE ELEMENTS.

D. PARKING LOCATION AND DESIGN

OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND IT'S ACCOMPANYING DRIVEWAY. FOUR PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO CAR GARAGES. THE PRIVATE WAY WILL BE LINED ON BOTH SIDES WITH RESIDENT-PROVIDED PLANTINGS WHICH WILL ENHANCE THE RESIDENTIAL CHARACTER OF THE DEVELOPMENT.

E. PUBLIC OUTDOOR SPACES

PEDESTRIAN WALKWAYS ALONG THE PRIVATE WAY PROVIDE EASY ACCESS TO THE SURROUNDING SIDEWALKS BY ALL RESIDENTS. A 6' HIGH WALL ENCOMPASSES THE ENTIRE DEVELOPMENT. CODE OR KEYPAD OPERATED SECURITY GATES AT ALL PEDESTRIAN AND VEHICULAR ENTRANCES FURTHER PROMOTE THE SENSE OF SAFETY AND OPPORTUNITIES FOR INTERACTION.

REQUIREMENTS

a. THE STREETSCAPE ALONG ALAMEDA BOULEVARD SHALL CONSIST OF TREES IN THE 12'-0" (TWELVE FOOT) WIDE PLANTING STRIP BETWEEN THE SIDEWALK AND THE PROPERTY LINE. THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES.

b. THE CLEAR SITE TRIANGLE REQUIREMENT SHALL BE IMPOSED ON THE OAKLAND/PRIVATEWAY INTERSECTION. A CLEAR SITE TRIANGLE AT INTERSECTIONS MUST BE MAINTAINED 35 FEET FROM INTERSECTING FLOW LINES OF GUTTERS. A VERTICAL CLEARANCE BETWEEN 3 AND 8 FEET MEASURED FROM THE GUTTER PAN MUST BE FREE OF VISUAL OBSTRUCTION. TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. UNDERSTORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 8'

WATER CONSERVATION TECHNIQUES

THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.

4. BUILDING DESIGN

A. CONTEXT

THE PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. EXISTING INDUSTRIAL AND WHOLESALE WAREHOUSING USES EXIST SIDE BY SIDE WITH RESIDENTIAL DEVELOPMENTS. NUMEROUS COMMERCIAL USES ARE IN EVIDENCE EAST OF THE I-25/ALAMEDA INTERCHANGE. ON THE SOUTH ARE MULTI STORY MOTELS SUCH AS THE STAYBRIDGE AND THE BURGER KING FAST FOOD ESTABLISHMENT. ON THE NORTH, NUMEROUS VEHICLE DEALERSHIPS ARE ARRAYED ALONG THE NORTHBOUND INTERSTATE. THESE INCLUDE AMERICAN TOYOTA AND MERCEDES BENZ OF ALBUQUERQUE.

B. ARCHITECTURAL THEME OR STYLE

THE PROPOSED RESIDENTIAL BUILDING DESIGNS SHALL BE CONSISTENT WITH THE PREDOMINANT NEIGHBORING RESIDENTIAL DEVELOPMENTS. BOTH TWO AND ONE STORY CONFIGURATIONS WILL BE USED. ARCHITECTURAL STYLES SHALL RANGE FROM PITCHED SHINGLE ROOF/FRAME-STUCCO DESIGN TO FLAT ROOF/FRAME-STUCCO DESIGN. PARAPETS FOR FLAT ROOF DESIGNS SHALL NOT EXCEED 15% OF THE HEIGHT OF THE SUPPORTING WALL AND SHALL SHIELD THE VIEW OF THE ROOF MATERIAL FROM ANY PUBLIC OR PRIVATE RIGHT-OF-WAY. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

C. BUILDING HEIGHT, SCALE, MASSING, MATERIALS COLORS AND ARTICULATION

THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE A RESIDENTIAL NEIGHBORHOOD RESPONSE TO THE SITE. THE BUILDING ARE PLACED WITH THEIR FRONT FACADES FACING THE PRIVATE WAY. THE BUILDING DESIGNS SHALL INCORPORATE PRUDENT USE OF BOTH VERTICAL AND HORIZONTAL ARTICULATION AS APPROPRIATE TO RESIDENTIAL DESIGN. AN EARTH TONED PALETTE SHALL BE IN EVIDENCE AT ALL OF THE EXTERIOR BUILDING WALLS AND SURROUNDING PROPERTY LINE WALLS.

5. APPROVAL PROCESS

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY, TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY REFINE THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE NORTH 1-25 SECTOR DEVELOPMENT PLAN.

F. REFUSE & RECYCLE PICKUP

RECYCLE AND REFUSE PICKUP SHALL BE INDIVIDUAL CART TYPE WITH WEEKLY SCHEDULED PICKUP TIMES.

G. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS

THE DEVELOPMENT BLOCK WALLS PROVIDE PRIVACY AND SECURITY FOR THE RESIDENTS. ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. ALL WALLS SHALL BE 6'-0" IN HEIGHT; THEY SHALL BE EXPOSED BLOCK WITH REPEATING PATTERNS AND VARIEGATED TEXTURES.

H. LOCATION, HEIGHT AND DESIGN AND PURPOSE OF LIGHTING

LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. RESIDENCE-MOUNTED LIGHTING ELEMENTS SHALL BE INCANDESCENT, METAL HALIDE OR HALOGEN ONLY. RESIDENCE-MOUNTED FLOODLIGHTS (MAXIMUM 75 WATT BULBS) SHALL BE SHIELDED OR AIMED IN SUCH A WAY THAT THEY DO NOT SHINE INTO OTHER LOTS OR THE STREET.

I. SCREENING/BUFFERING TECHNIQUES

MULTIPLE STREET SHADE TREES SCREEN RESIDENCES FROM ADJACENT ROADWAY WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. AT MATURITY, THESE TREES SHALL CREATE A COOLING MICRO CLIMATE.

J. "GREEN" FEATURES

WATER HARVESTING CISTERN AND COLLECTION SYSTEM TECHNIQUES SHALL BE ENCOURAGED.

2. STREET REALM

A. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES

THE SITE IS ACCESSIBLE TO TRANSIT ROUTES ON ALAMEDA BLVD. WHICH IS A PRINCIPAL ARTERIAL. CITY OF ALBUQUERQUE "ABO RIDE" BUS STOP IS LOCATED AT SAN PEDRO DR. AND ANAHEIM BLVD ONE-HALF BLOCK FROM THE DEVELOPMENT. THE SITE ABUTS A PROPOSED CITY DESIGNATED BIKE ROUTE ON ALAMEDA BLVD. N.E. WHICH WILL EXTEND TO LOUISIANA BLVD. N.E.

3. LANDSCAPING

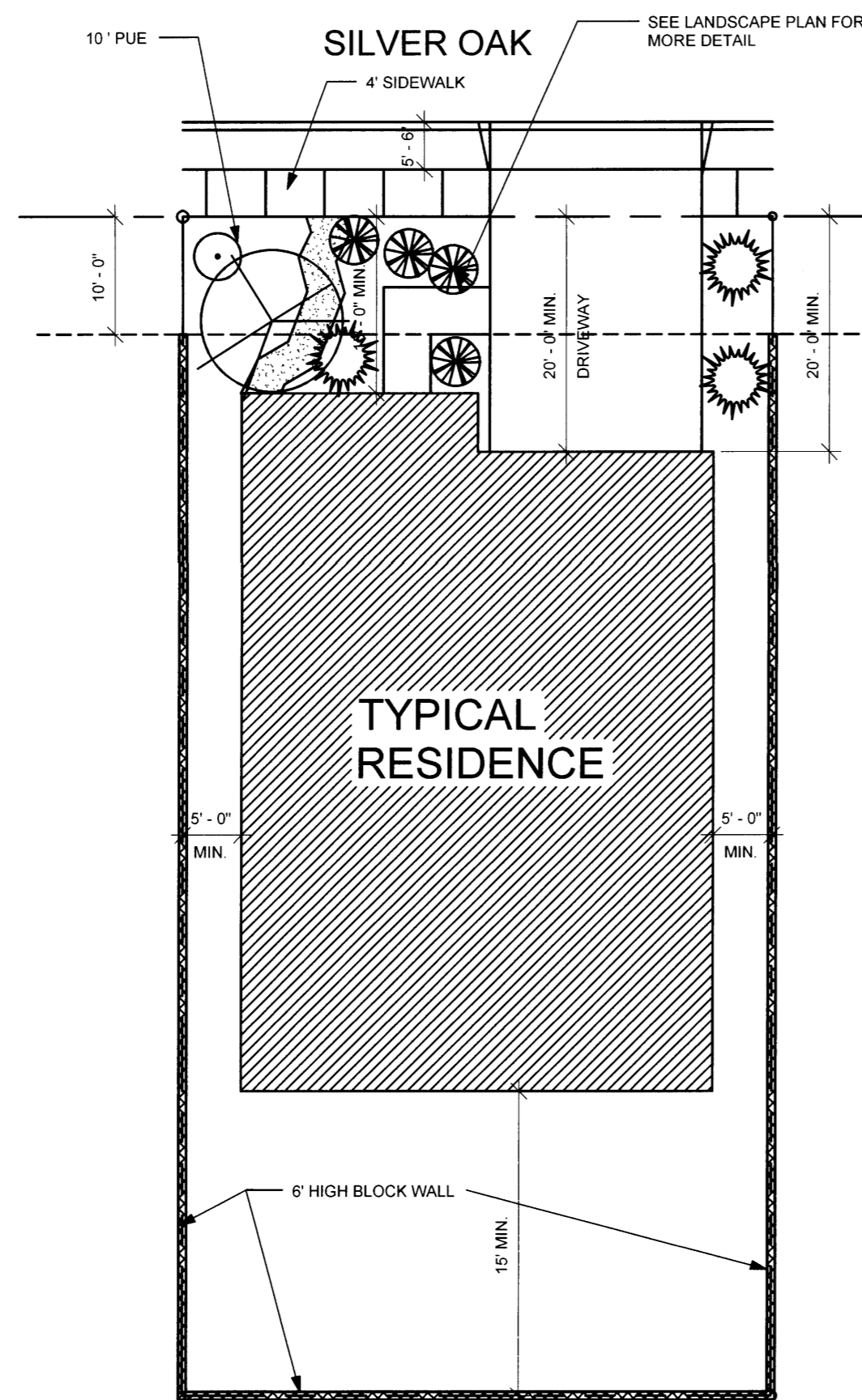
LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS. THE LANDSCAPE NETWORK CONSISTS OF:

STREET SHADE TREES ALONG ALAMEDA BOULEVARD SHALL BE SITUATED IN 12' WIDE LANDSCAPE STRIPS W/ ROCK OR BARK GROUNDCOVER. STREET TREE SPACING SHALL BE DETERMINED BY TREE CANOPY AT FULL MATURITY.

INTERIOR STREETSCAPE STREET SHADE TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED BY INDIVIDUAL RESIDENCE OWNERS. AT MINIMUM, RESIDENTS SHALL PLANT ONE 8'-0" TO 12'-0" TALL SHADE TREE AT THE STREET FRONTAGE. IN ADDITION 5-8 (FIVE TO EIGHT) 5 GALLON SHRUBS SHALL BE LOCATED IN A GREY ROCK/COBBLE ACCENT LANDSCAPING SCHEME.

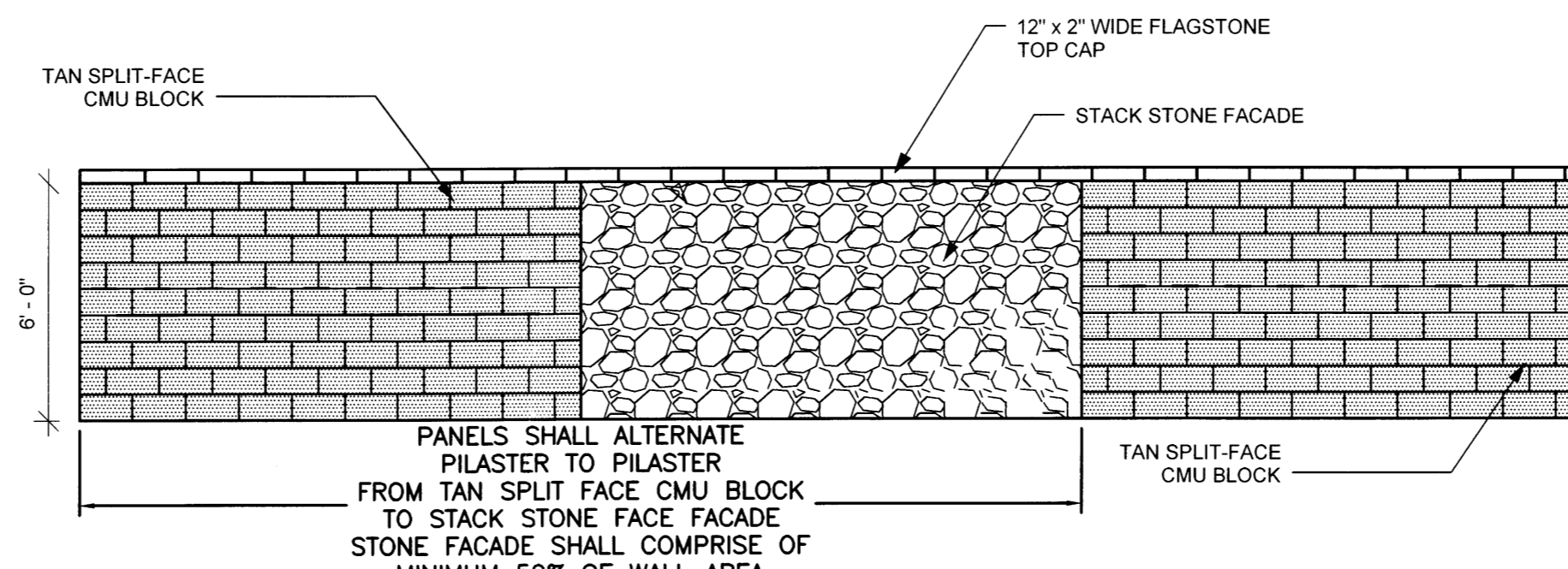
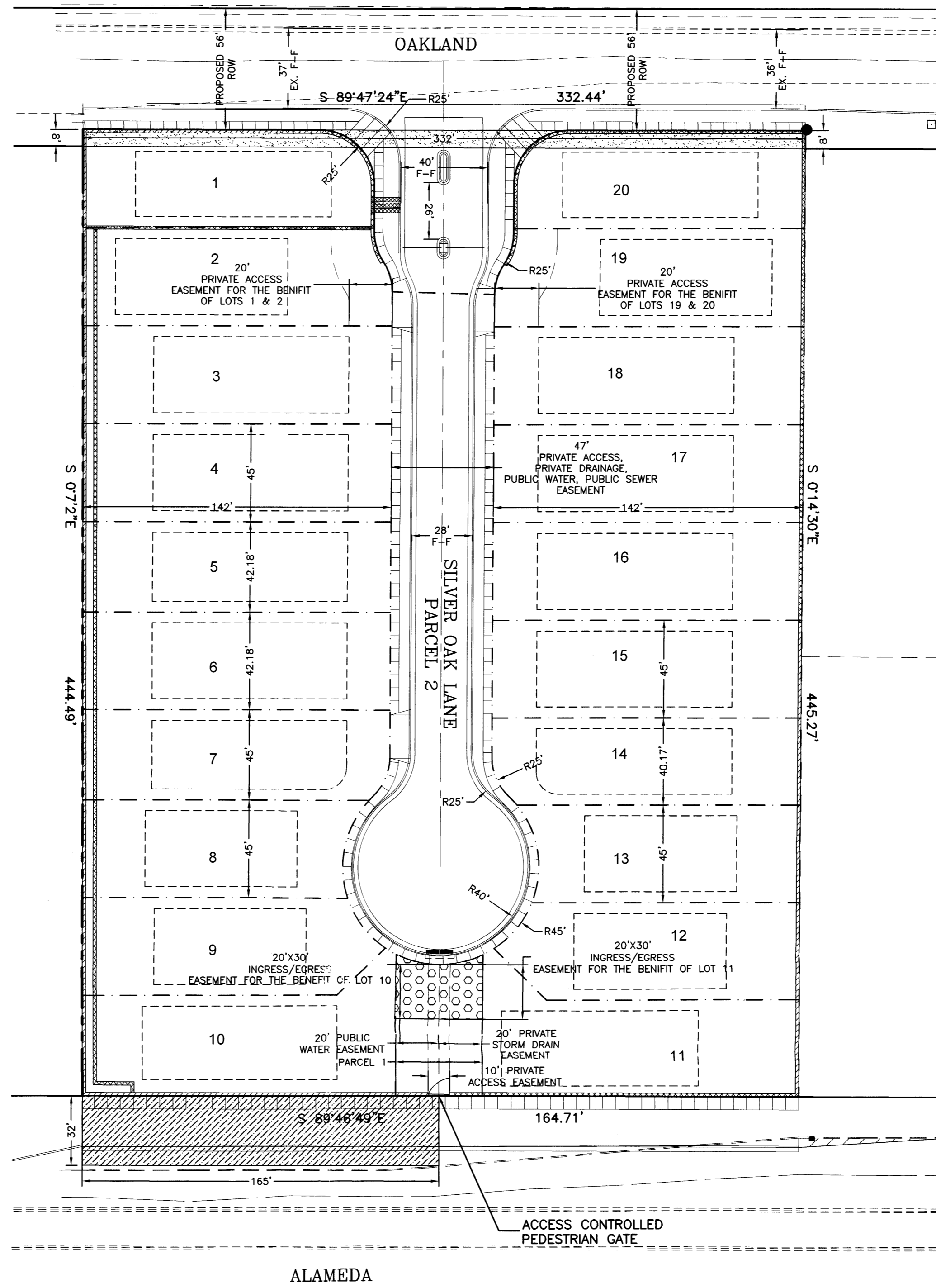
DECIDUOUS STREET SHADE TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THE LANDSCAPING SHALL BALANCE THE DENSITY OF THE HOUSING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE.

SUGGESTED PLANT SPECIES AS SHOWN ARE NOT MANDATORY, HOWEVER, ANY SUBSTITUTIONS WILL BE LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER AND SCALE OF THE SURROUNDING NEIGHBORHOOD



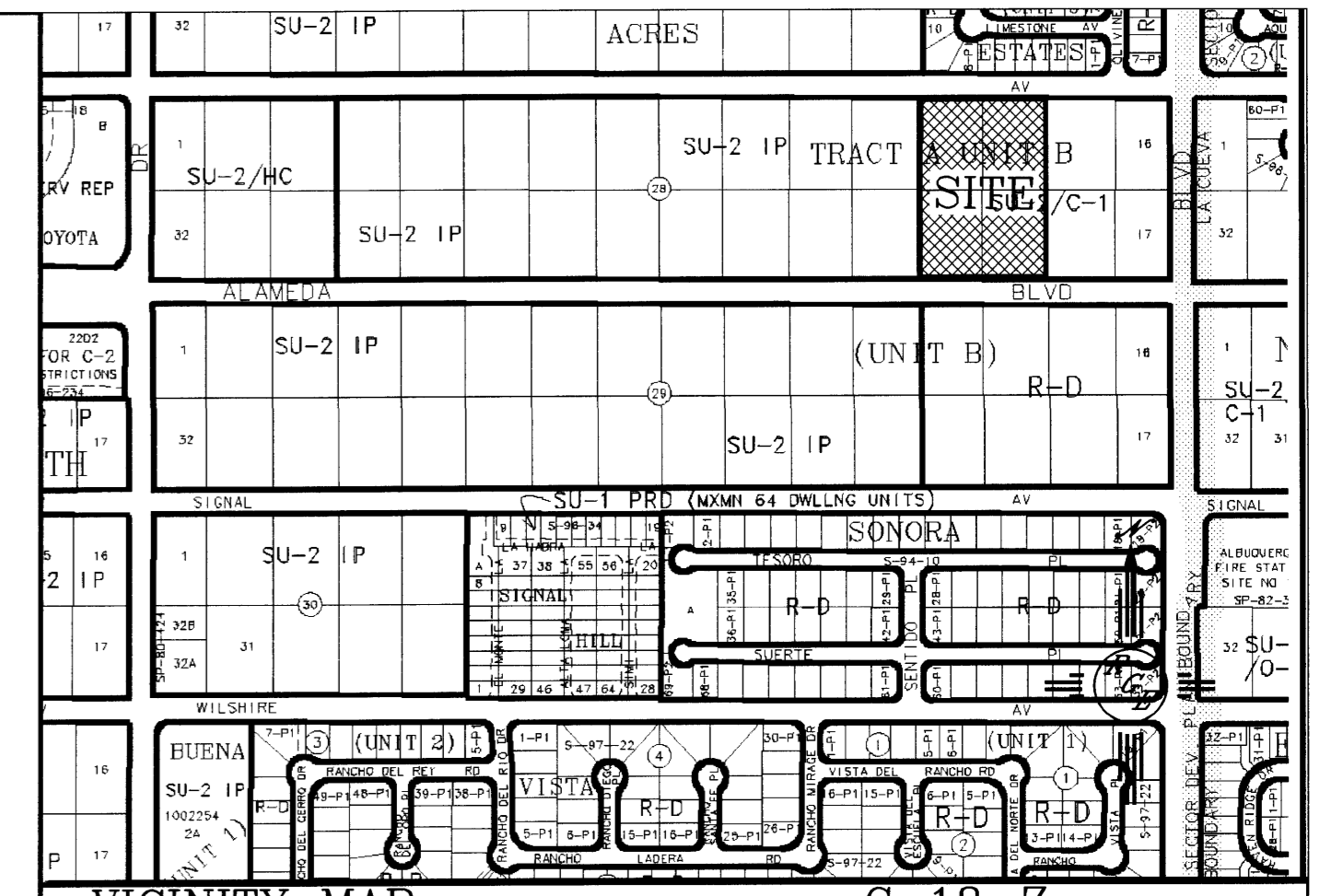
TYPICAL LOT DETAIL

NTS



PERIMETER WALL DETAIL

NTS



VICINITY MAP: C-18-Z

LEGAL DESCRIPTION: LOTS 13, 14, 19, 20, BLK 28, TR A, UNIT B, NORTH ALBUQUERQUE ACRES

PROJECT NUMBER:	
APPLICATION NUMBER:	
Is an Infrastructure List required? (x) Yes () No If Yes then set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

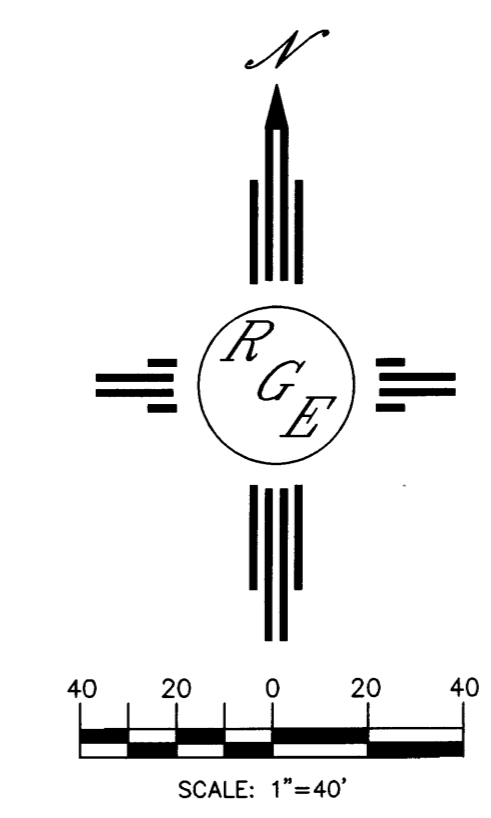
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 DATE: 12-2-15
 APP # 15-103394
 15-10390 15-10391 15-10395

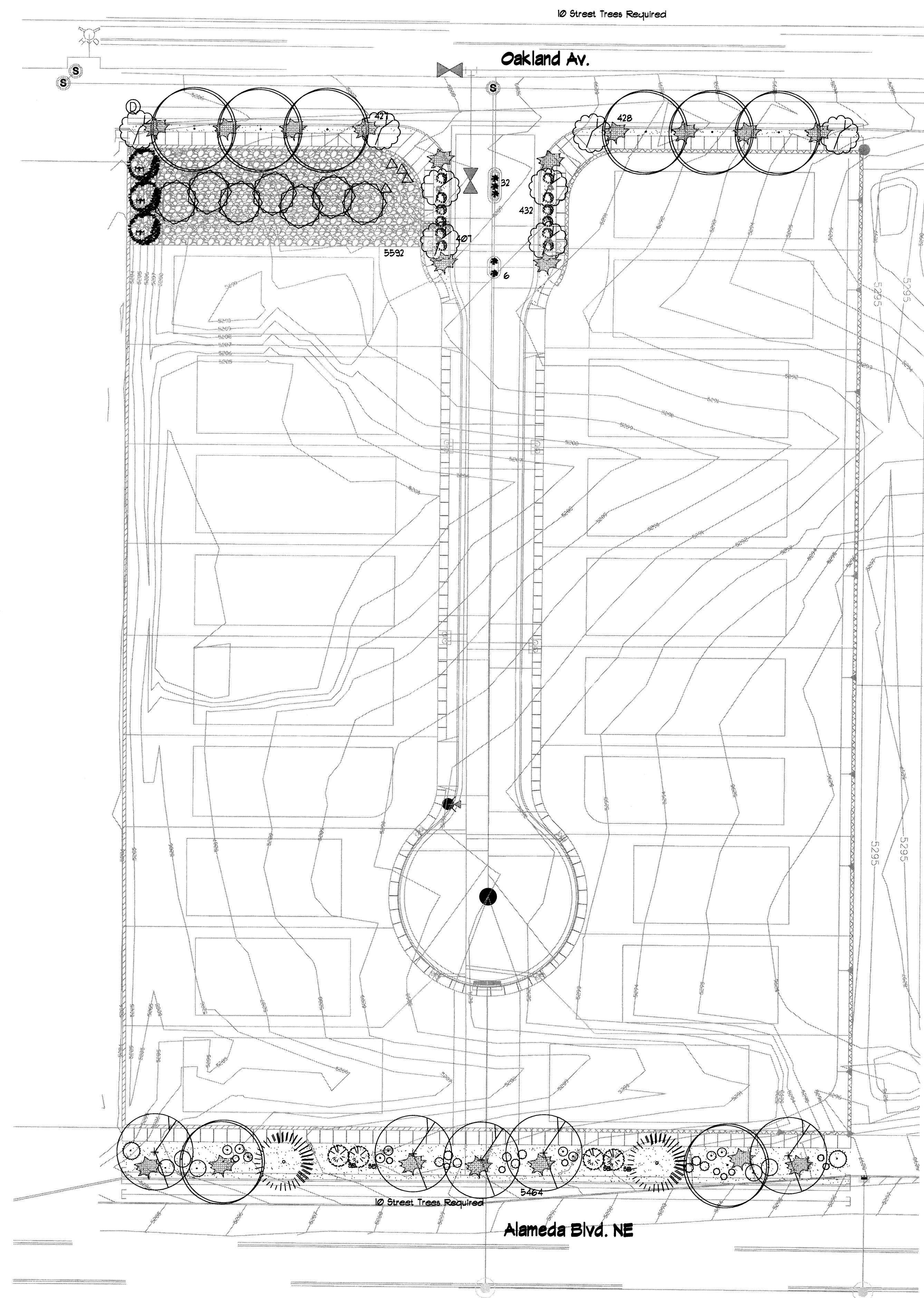
LEGEND	
=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB AND GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
=====	PROPOSED SIDEWALK
=====	EXISTING SIDEWALK
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	PROPOSED LOT LINE
-----	PROPOSED RETAINING WALL
-----	PROPOSED PERIMETER WALL
=====	AREA DEDICATED TO THE COA AS ROW (SEE PLAT)
=====	AREA OF COA ROW VACATION (SEE PLAT)
=====	INGRESS/EGRESS EASEMENT AREA

SUBDIVISION DATA	BUILDING DATA
PROJECT LOCATION: BETWEEN ALAMEDA BLVD. N.E. AND OAKLAND AVE. N.E. AVENUE WEST OF LOUISIANA DRIVE N.E., ALBUQUERQUE, NM	MAXIMUM BUILDING HEIGHT:.....26 FEET
ZONE ATLAS MAP:.....C-18	MINIMUM BUILDING SETBACK: FRONT YARD SETBACK - RESIDENCE 15 FEET FRONT YARD SETBACK - DRIVEWAY 20 FEET SIDE YARD SETBACK 5 FEET STREET SIDE CORNER 10 FEET SIDE YARD SETBACK 10 FEET REAR YARD SETBACK 15 FEET
GROSS ACREAGE:.....3.373 A	MAXIMUM DWELLING UNITS:.....20 UNITS
NO. OF LOTS COMBINED:.....4	
NO. OF LOTS CREATED:.....20	
EXISTING ZONING:.....SU2/C1-NC	

Sheet Number	Sheet Name
DRB-1.0	SITE DEVELOPMENT PLAN FOR SUBDIVISION
DRB-2.0	LANDSCAPING PLAN
DRB-3.0	GRADING & DRAINAGE PLAN
DRB-4.0	MASTER UTILITY PLAN
DRB-5.0	MASTER PAVING PLAN
DRB-6.0	GATE DETAILS

ENGINEER'S SEAL DAVID SOULE P.E. #14522	SILVER OAK ESTATES SITE PLAN FOR SUBDIVISION AND	DRAWN BY WCIJ DATE 10-21-15 21525-LAYOUT-9-21-15
	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 1 JOB # 21525





LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
5	3" cal	Ash <i>Fraxinus sp.</i>	M+
8	3" cal	Honey Locust <i>Gleditsia triacanthos</i>	M
2	6-8'	Austrian Pine <i>Pinus nigra</i>	M
1	4 - 6'	Pinon <i>Pinus edulis</i>	M
4	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	M
8	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	M
7	15 Gal.	Desert Willow <i>Chilopsis linearis</i>	L
Shrubs & Groundcovers			
4	5 Gal	Spanish Broom <i>Caryopteris x clandonensis</i>	M
12	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	M
5	5 Gal	Feather Reed Grass <i>Calamagrostis arudinacea</i>	M
3	5 Gal	Curly-leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	L+
4	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	M
19	5 Gal	Buffalo Juniper <i>Juniperus sabinia 'Buffalo'</i>	M
10	5 Gal	Cherry Sage <i>Salvia greggii</i>	M
9	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	M
9	5 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	L
2	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	L
5	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	L
7	2-3cf	Boulders To be placed at contractor discretion	
1196		Landscape Gravel / Filter Fabric 7/8" Santa Fe Brown	
1261		Oversize Cobble 2-4" Gray	

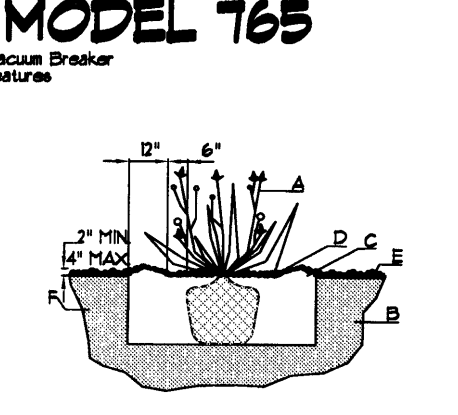
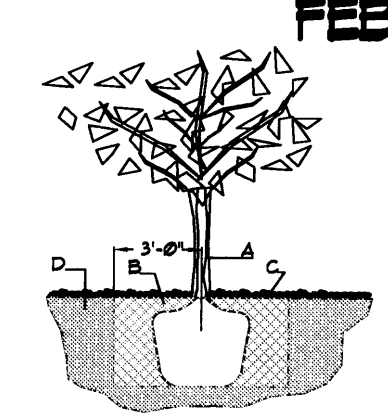
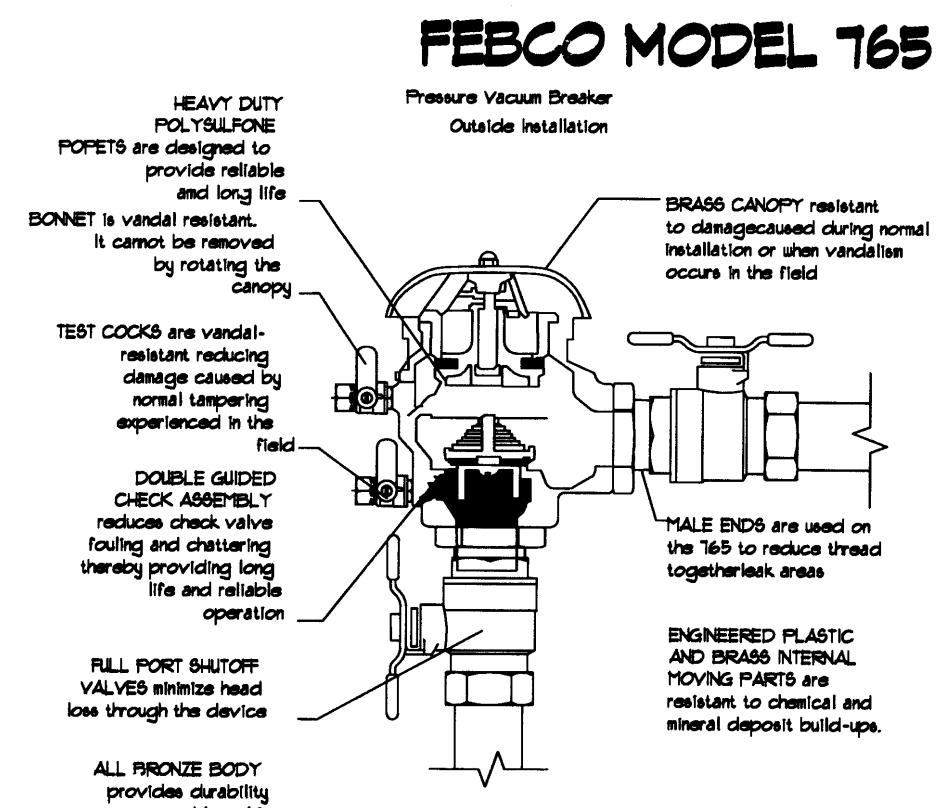
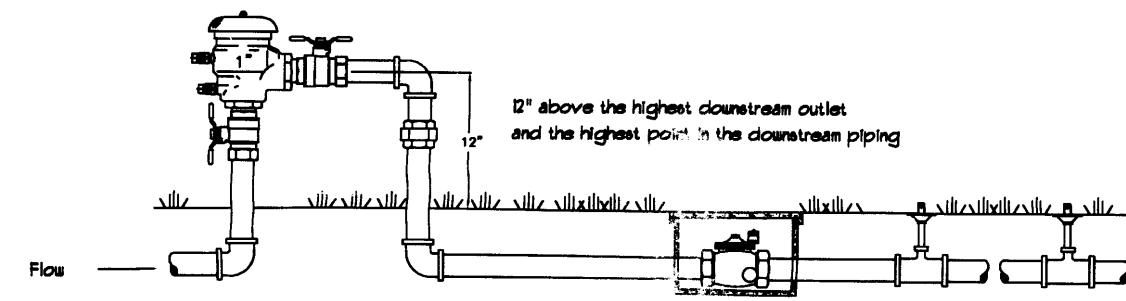
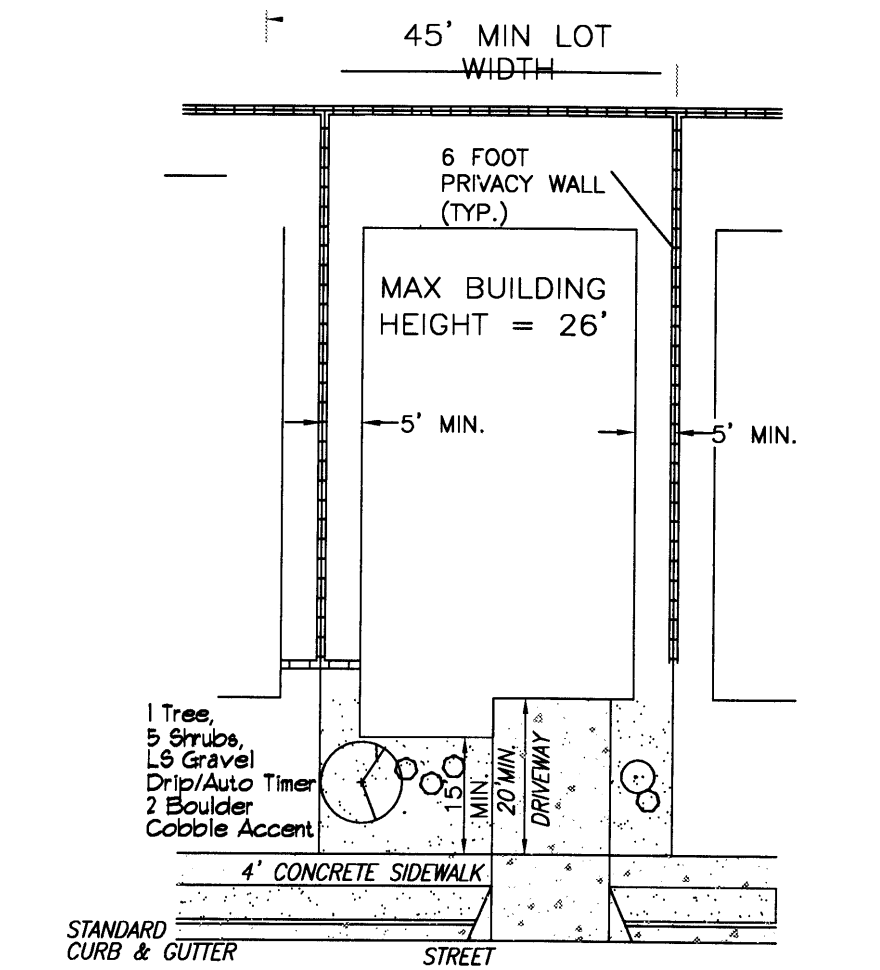
TREE REQUIREMENTS
 1 Tree per 1000 sf of landscape area
 Total landscape area 19251
 Total tree requirement 19
 Total trees provided 0

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

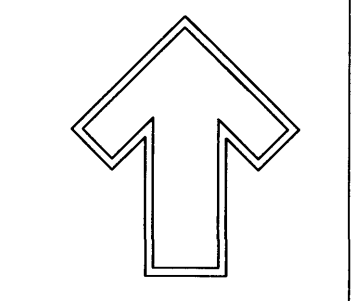
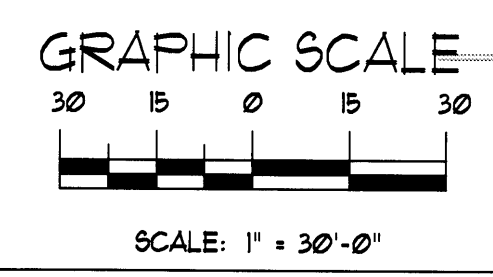
IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 10 GPH Drip Emitters and Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day to be adjusted according to the season. Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.

NOTE TO CLIENT:
 Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobbles will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobbles or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



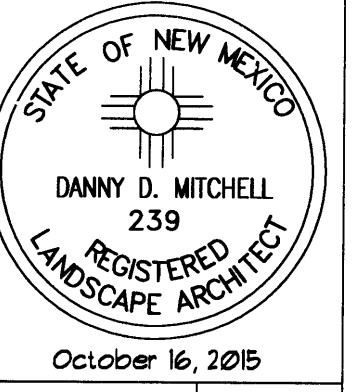
TREE PLANTING DETAIL
 NTS
GENERAL NOTES:
 1. BACKFILL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOT COLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 4. PRIOR TO BACKFILLING ALL OVERLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
 A. TREE
 B. BACKFILL WITH EXISTING SOIL
 C. 1" DEPTH OF GRAVEL MULCH
 D. UNDISTURBED SOIL

SHRUB PLANTING DETAIL
 NTS
GENERAL NOTES:
 1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
 A. SHRUB
 B. BACKFILL WITH EXISTING SOIL
 C. EARTH BERM AROUND WATER RETENTION BASIN
 D. 1" DEPTH OF GRAVEL MULCH
 E. FINISH GRADE
 F. UNDISTURBED SOIL



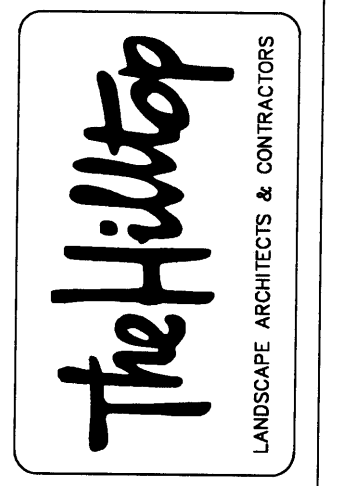
The Hilltop
 1505 Edith NE,
 Albuquerque, NM 87113
 Cont. Lic. 16-16-99
 Ph. (505) 898-9690
 Fax. (505) 898-1151
 danny@hilltoplandscaping.com

Landscape Architect



Silver Oak Subdivision
 Albuquerque NM
 LANDSCAPE PLAN

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DRAWN BY
 REV/ISSN
 DATE
 10/16/2015

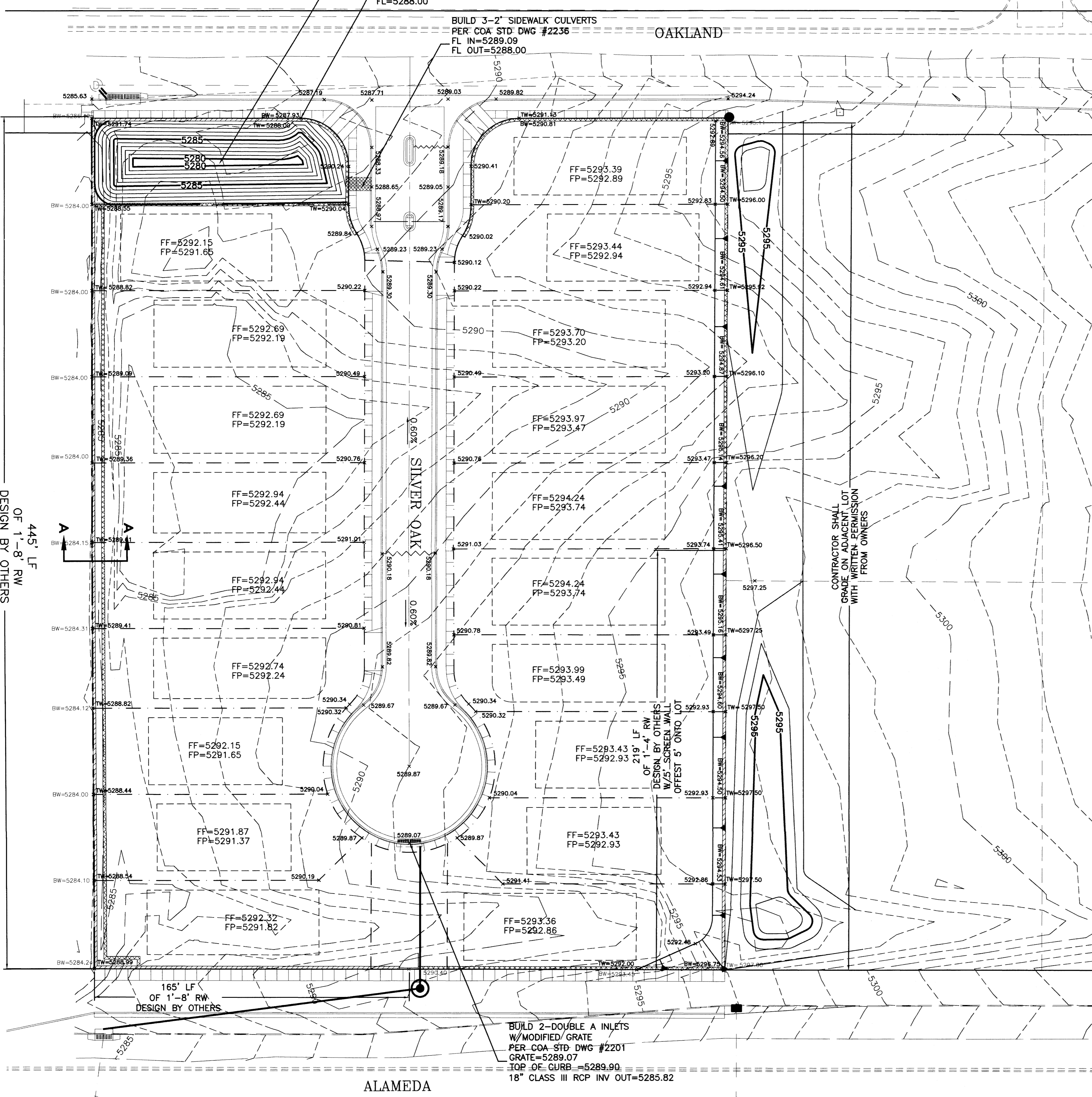
SHEET #
 DRB.02

BUILD TEMPORARY RETENTION POND
 2:1 SLOPE MAX.
 W/ ROCK PLATING—SEE DETAIL THIS SHEET
 ENTIRE POND SHALL BE ENCLOSED W/6" WALL OR FENCE
 TOP=5288.00
 BOTTOM=5283.00
 REQUIRED VOLUME=16945 CU. FT.
 PROPOSED VOLUME @ TOP OF POND (5288.00)=18490 CU. FT.
 PROPOSED VOLUME @ 5287.00 (1' FREE BOARD)=14075 CU. FT.

TURN 6—BLOCKS FOR POND OVERFLOW
 FL=5288.00

BUILD 3—2" SIDEWALK CULVERTS
 PER COA STD DWG #2236
 FL IN=5289.09
 FL OUT=5288.00

OAKLAND



445' LF
 OF 1'-8" RW
 DESIGN BY OTHERS
 W/5" SCREEN WALL
 OFFSET 5' ONTO LOT

SILVER OAK

CONTRACTOR SHALL
 GRADE ON ADJACENT LOT
 WITH WRITTEN PERMISSION
 FROM OWNERS

DESIGN BY OTHERS
 W/2" SCREEN WALL
 OFFSET 5' ONTO LOT

165' LF
 OF 1'-8" RW
 DESIGN BY OTHERS

ALAMEDA

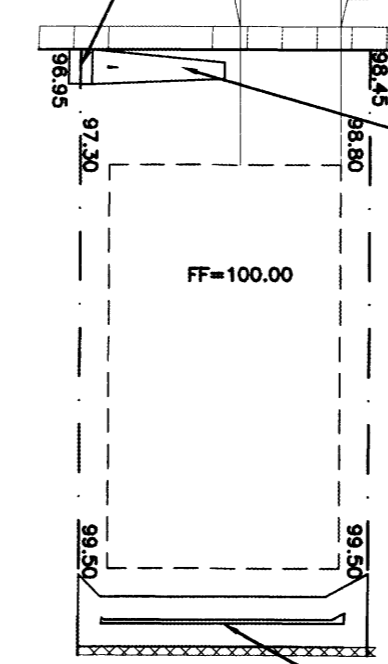
BUILD 2—DOUBLE A INLETS
 W/MODIFIED GRATE
 PER COA STD DWG #2201
 GRATE=5289.07
 TOP OF CURB =5289.90
 18" CLASS III RCP INV OUT=5285.82

BUILD 1—6" DIA' SD MH
 RIM=
 N INV IN=
 EX. E. INV IN=
 EX. W INV OUT=

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

BUILD BERM TO PREVENT
 CROSS LOT DRAINAGE

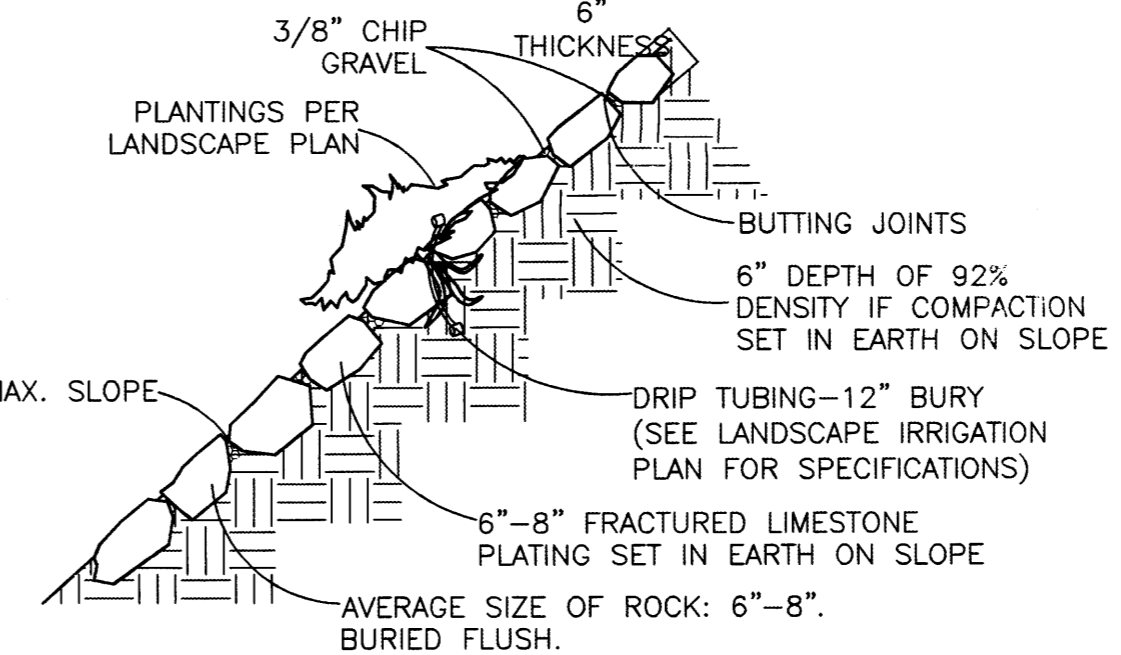


8" WATER HARVESTING AREA
 4:1 SLOPE MAX.
 TOP=VARIES
 BOTTOM=VARIES
 PROPOSED VOLUME=33 CU. FT.

WATER HARVESTING AREA
 TO RUN THE LENGTH OF PAD
 4:1 SLOPE MAX.
 TOP=99.50
 BOTTOM=99.00
 PROPOSED VOLUME=110 CU. FT.

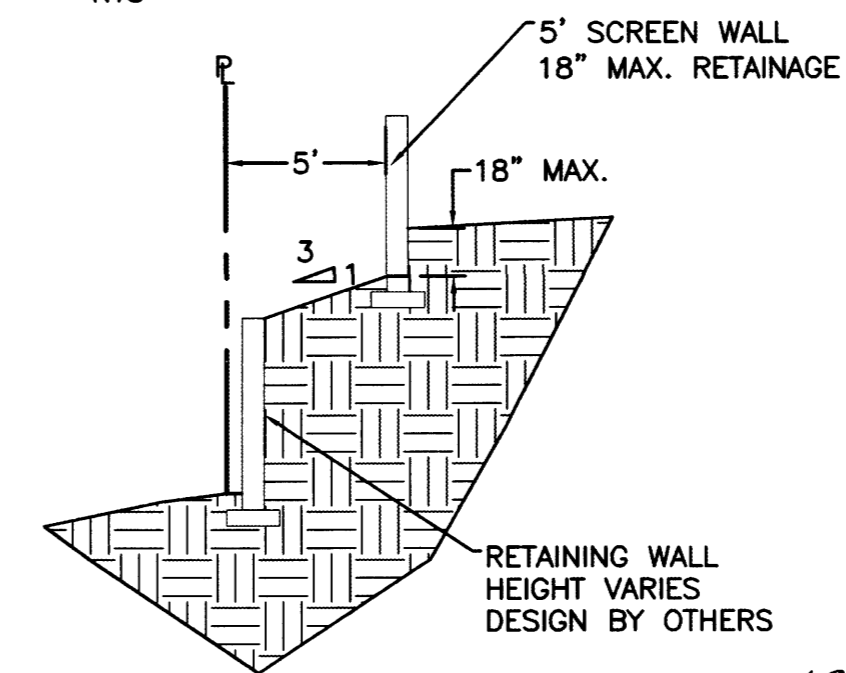
TYPICAL WATER HARVESTING AREAS

NTS



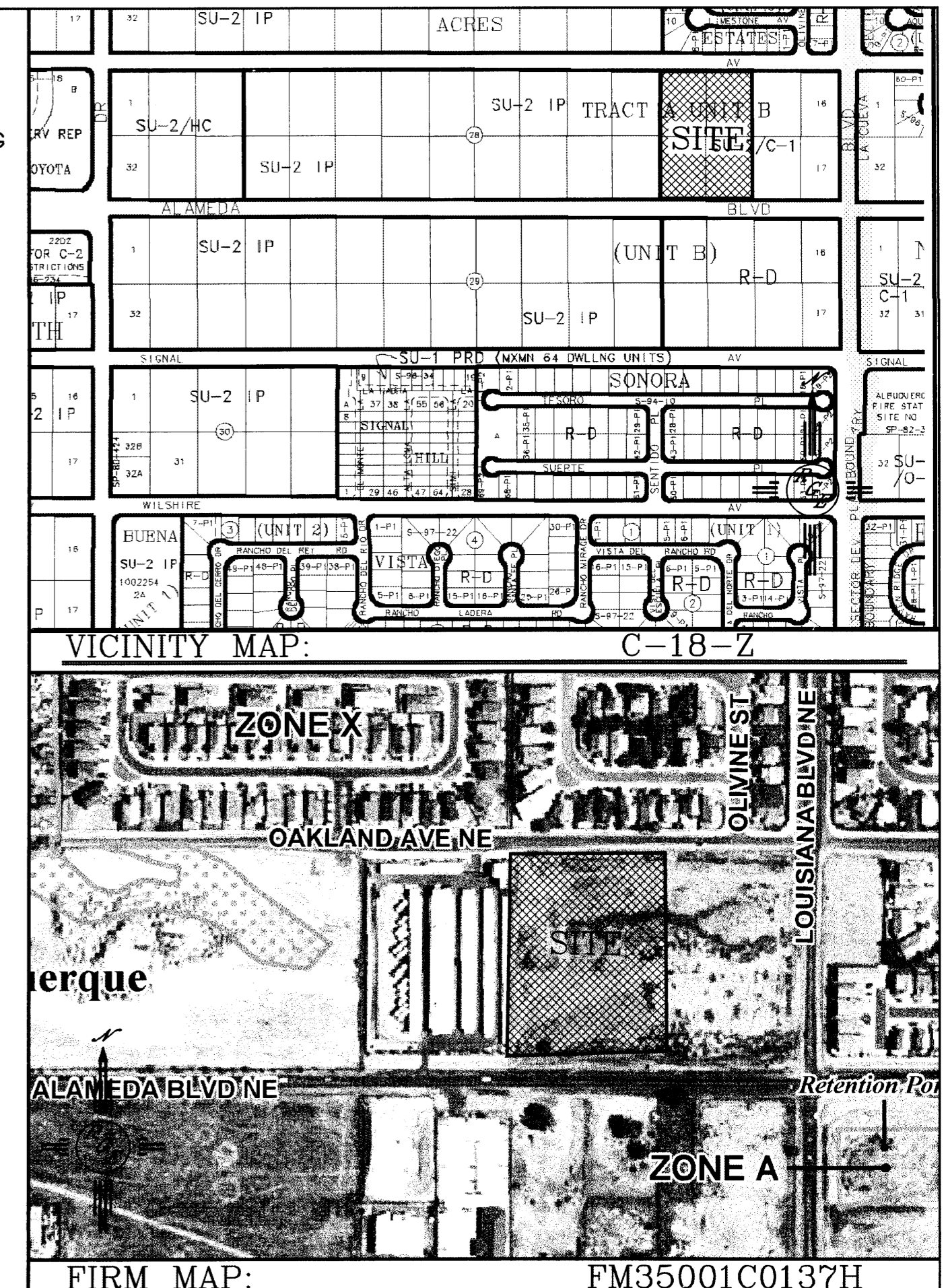
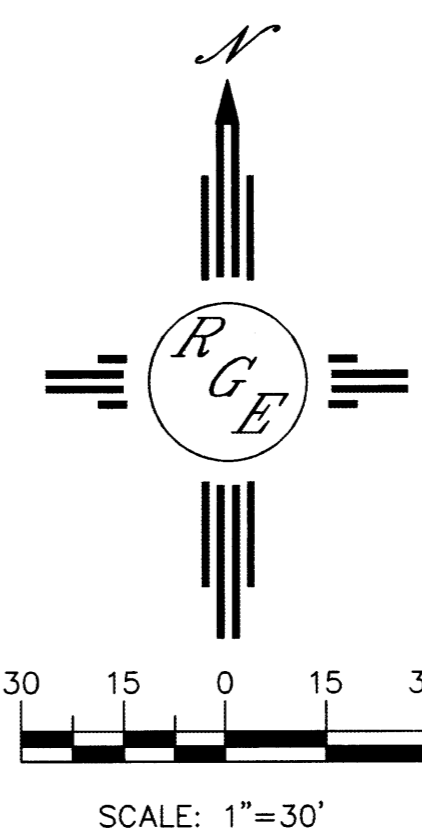
ROCK PLATING DETAIL

NTS



SECTION A-A

NTS



LEGAL DESCRIPTION:
 LOTS 13, 14, 19, 20, BLK 28, TR A, UNIT B, NORTH ALBUQUERQUE ACRES

NOTES:
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

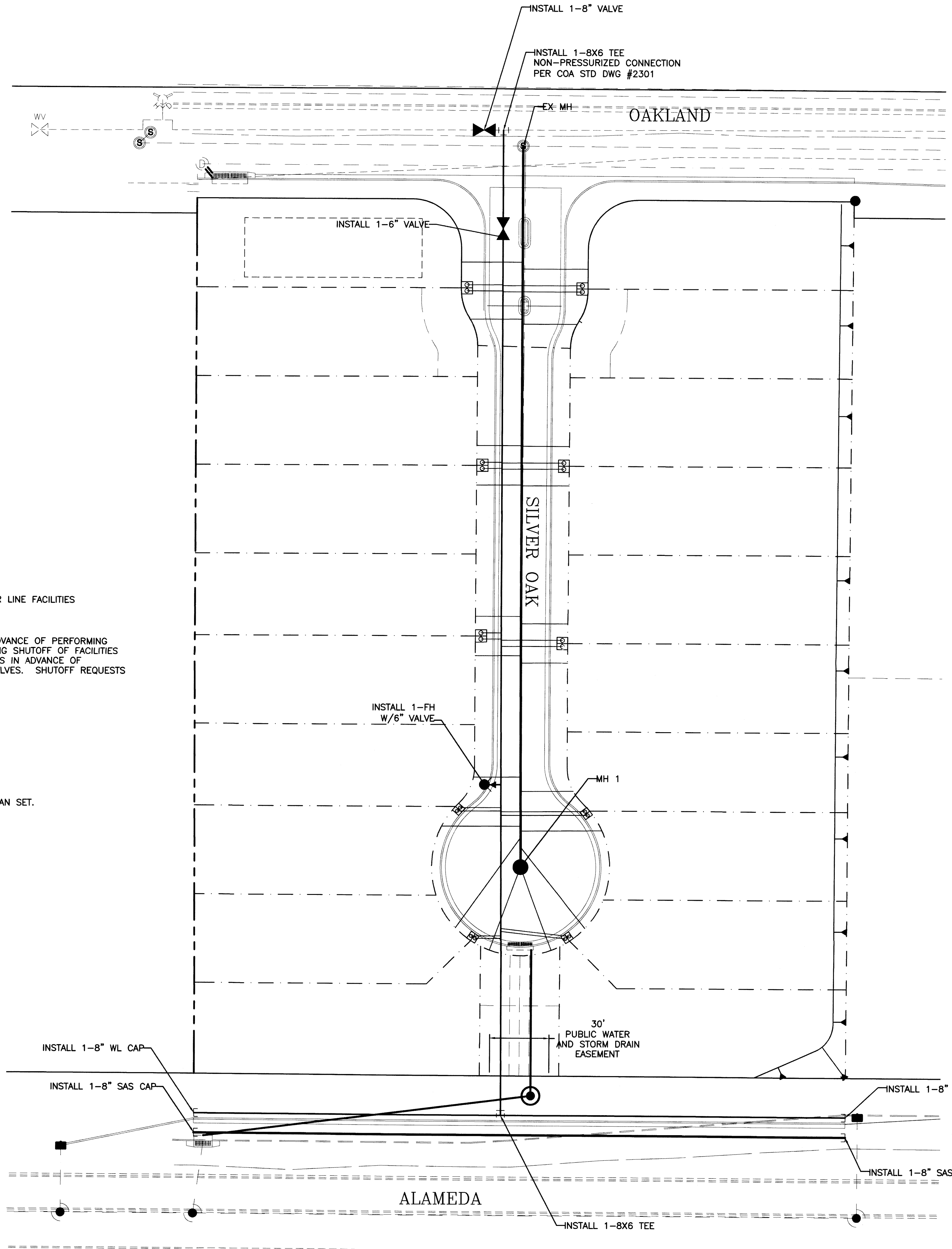
LEGEND	
---	EXISTING CONTOUR
- - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
▲	3:1 SLOPE TIE MAX.
•	EXISTING SPOT ELEVATION
×	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	PROPOSED LOT LINE
---	RIGHT-OF-WAY
---	PROPOSED CURB AND GUTTER
---	EXISTING CURB
---	PROPOSED SCREEN WALL
---	PROPOSED RETAINING WALL DESIGN BY OTHERS

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN.
 IT SHALL BE THE SOLE RESPONSIBILITY
 OF THE CONTRACTOR TO CONDUCT ALL
 NECESSARY FIELD INVESTIGATIONS PRIOR
 TO ANY EXCAVATION TO DETERMINE THE
 ACTUAL LOCATION OF UTILITIES & OTHER
 IMPROVEMENTS.

ENGINEER'S SEAL	SILVER OAK ESTATES GRADING AND DRAINAGE PLAN	DRAWN BY WCVJ
		DATE 10-12-15
DAVID SOULE P.E. #14522		21025-LAYOUT-9-28-15 SHEET # 3 JOB # 21525

NOTICE TO CONTRACTORS

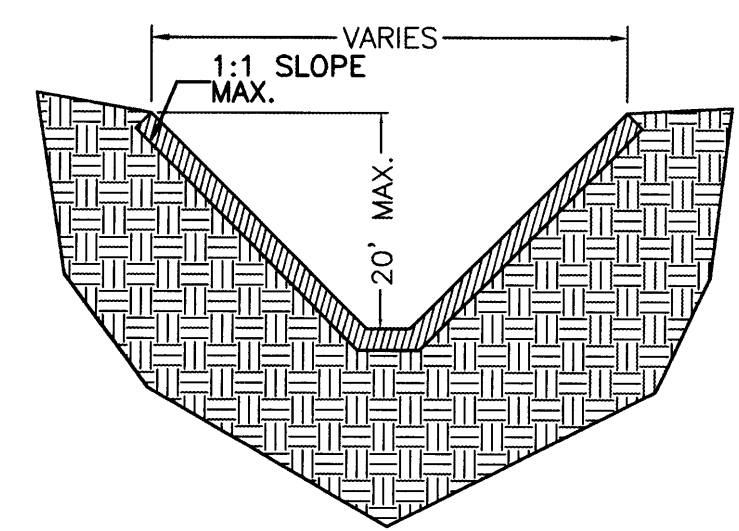
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, INCLUDING UPDATE 8, AMENDMENT #1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8, AMENDMENT 1.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://abcwua.org/water_shut_off_and_turn_on_procedures
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6150 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
21. ALL WATER METERS SHALL INCLUDE DUAL CHECK VALVE SETTERS.
22. ALL WATER METER COVERS AND LIDS SHALL BE PER COA STD DWG #2368.
23. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
24. CONTRACTOR IS RESPONSIBLE AT ITS OWN COST FOR ANY DAMAGE TO EXISTING UTILITIES.



WATER SHUTOFF NOTES:
 The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://abcwua.org/content/view/463/729/>

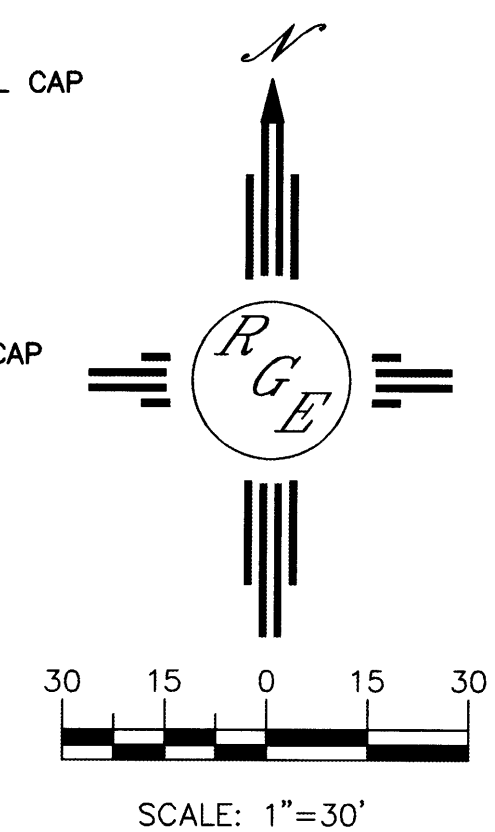
LEGEND

- EX. 12" SD — EXISTING STORM SEWER LINE
- EX. 8" SAS — EXISTING SAS MANHOLE
- EX. 8" VAL — EXISTING VALVE W/BOX
- EX. 6" WL — EXISTING WATER LINE
- PROPOSED SD
- PROPOSED METER
- PROPOSED FIRE HYDRANT
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- EASEMENT
- ☀ STREET LIGHTS
- ▨ CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR). CONTRACTOR SHALL REMOVE AND REPLACE STD C&G PER COA STD DWG 2415A. CONTRACTOR SHALL REMOVE AND REPLACE SW PER COA STD DWG 2430.—REMOVE TO NEAREST JOINT, MATCH FL ELEVATIONS

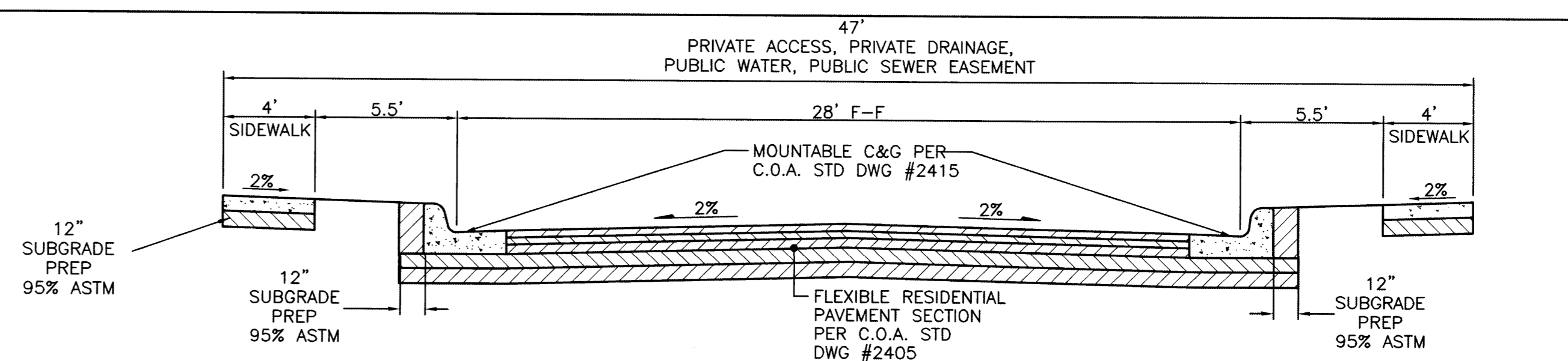
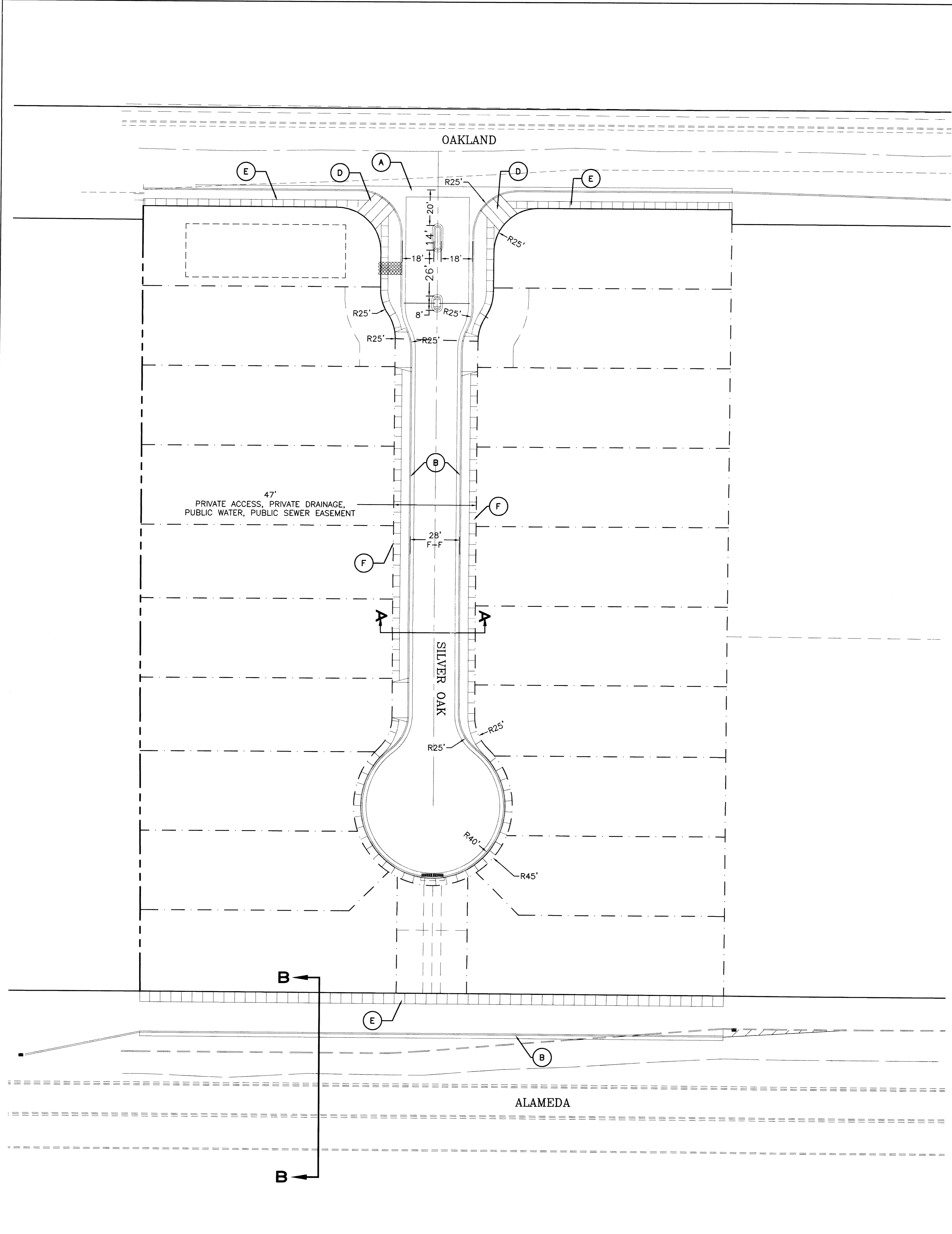


SUPPLEMENTAL TRENCH DETAIL

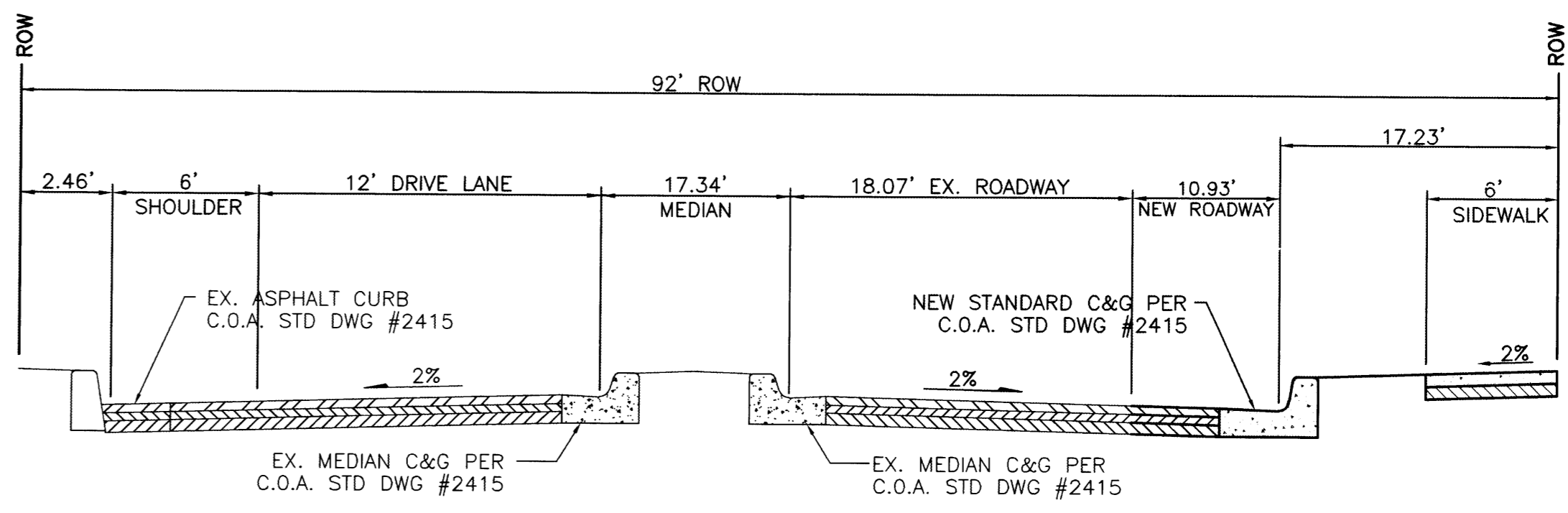
NTS—PER FIGURE V:2-13 OSHA STANDARD SPECIFICATIONS
 NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.



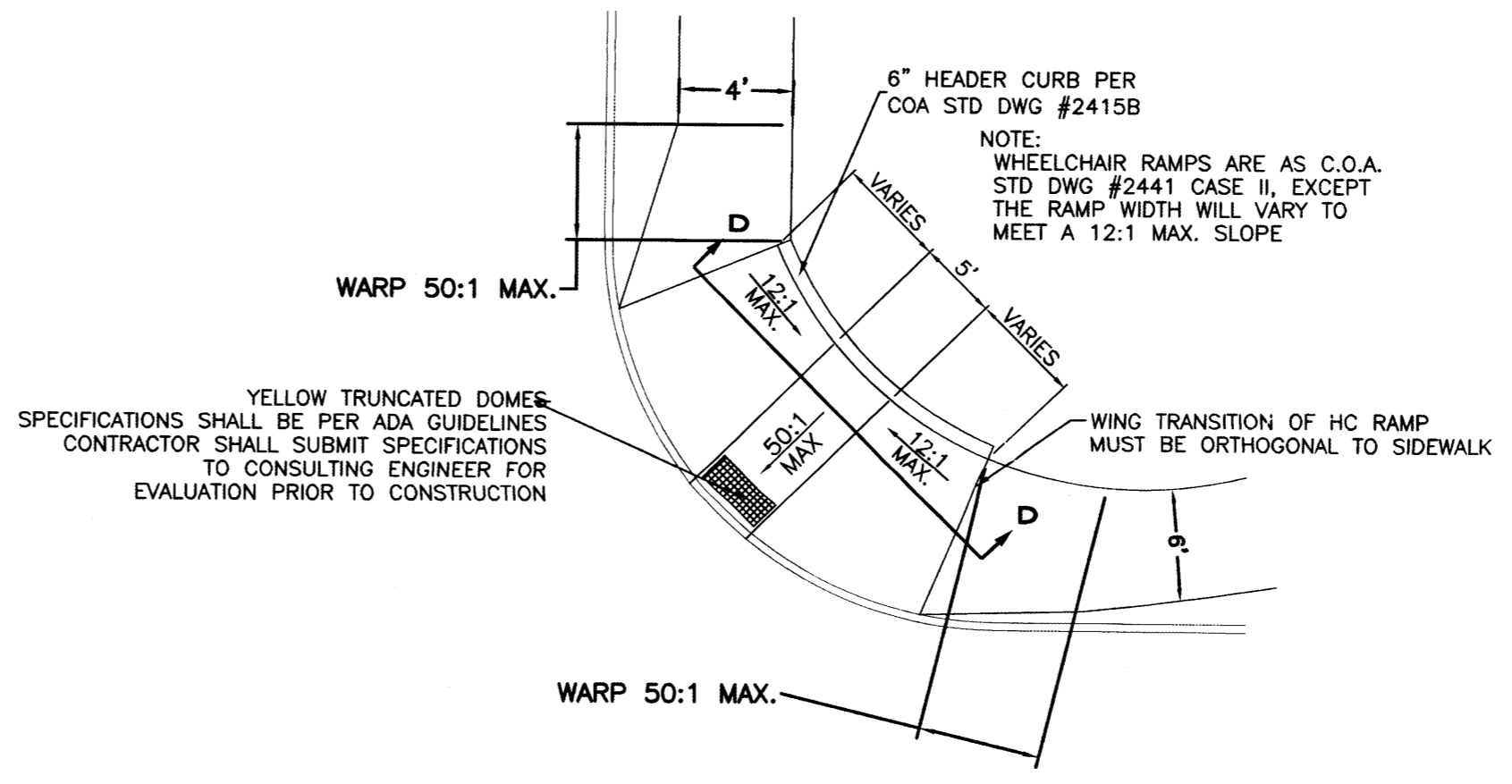
ENGINEER'S SEAL 10-21-15	SILVER OAK ESTATES	DRAWN BY WCWJ
	MASTER UTILITY PLAN	DATE 9-28-15
 Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0989	SHEET # 4	JOB # 21525
	21525-LAYOUT-9-28-15	



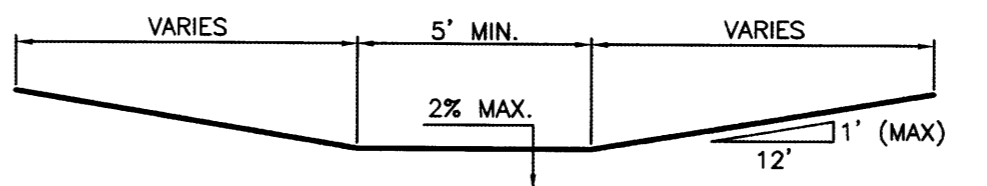
SECTION A-A
NTS



SECTION B-B
NTS



WHEELCHAIR RAMP DETAIL (TYP.)
NTS



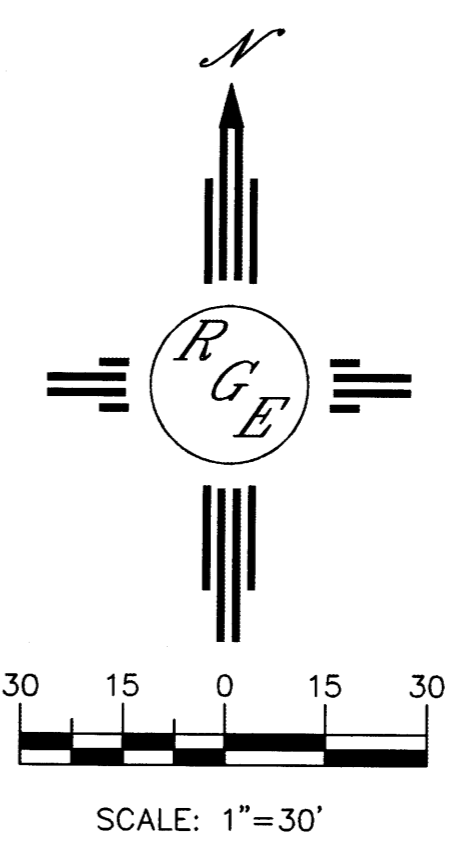
SECTION D-D
NTS

LEGEND

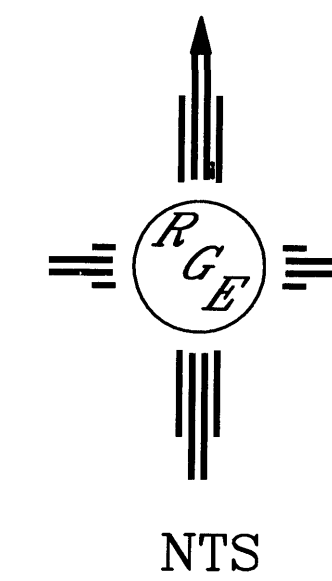
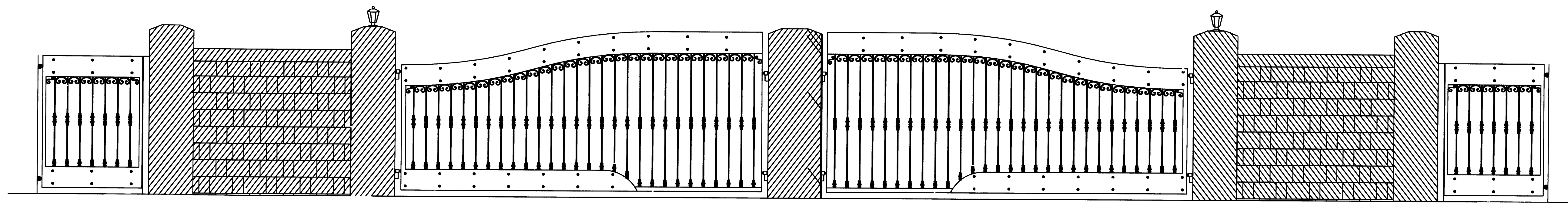
	PROPOSED SNGL. "A" INLET
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	FUTURE CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED 6' SIDEWALK
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES

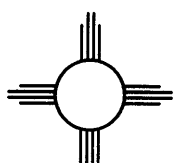
- KEYED NOTE:**
- (A) 6' VALLEY GUTTER PER C.O.A. STD DWG #2420
 - (B) STANDARD C&G PER COA STD DWG #2415A
 - (C) MOUNTABLE C&G PER COA STD DWG #2415A
 - (D) HANDICAP RAMP SEE DETAIL THIS SHEET
 - (E) 6' SIDEWALK TO BE BUILT W/THIS PROJECT PER COA STD DWG #2430
 - (F) 4' SIDEWALK TO BE BUILT W/THIS PROJECT PER COA STD DWG #2430

- GENERAL NOTES:**
1. ALL WALL FOUNDATIONS/TOE MUST BE OUTSIDE COA ROW.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL ROADWAY SIGNS UNTIL FINAL ACCEPTANCE.



ENGINEER'S SEAL DAVID SOULE P.E. #14522	SILVER OAK ESTATES MASTER PAVING PLAN	DRAWN BY WCWJ DATE 9-28-15 21525-LAYOUT-9-28-15
	 Rio Grande Engineering 1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87110 (505) 872-0999	SHEET # 5 JOB # 21525



 <i>Rio Grande Engineering</i> <small>1800 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87105 (505) 871-2888</small>		
PROJECT TITLE: SILVER OAK SUBDIVISION		
DRAWING TITLE: GATE ELEVATION PLAN		
SEAL	DATE 090613	PROJECT NO. 21331
		DRAWING NO. DRB 6.0

BLOCK WALL AND PILASTERS SHALL MAINTAIN SAME COLOR AND PATTERN AS PERIMETER WALL
 GATE SHALL BE DISTRESSED (RUSTED) IRON WITH VINYARD PATTERN WORK