



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

**Professional/Agent** (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099  
 ADDRESS: PO BOX 93924 FAX: \_\_\_\_\_  
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

**APPLICANT:** SILVER OAK DEVELOPERS PHONE: \_\_\_\_\_  
 ADDRESS: PO BOX 20688 FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87154 E-MAIL: \_\_\_\_\_

Proprietary interest in site: OWNERS **List all owners:** \_\_\_\_\_

**DESCRIPTION OF REQUEST:** SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOT 13, 14, 19, 20 Block: BLOCK 8 Unit: TR-A, UN-B  
 Subdiv/Addn/TBKA: NORTH ALB ACRES  
 Existing Zoning: SU2 NC Proposed zoning: SU2-NC MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): C18 UPC Code: 101806448540610319, 101806446940610320  
 101806446938310313, 101806448638410314

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.):  
 1010644

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  NO  
 No. of existing lots: 2 No. of proposed lots: 20 Total site area (acres): 3.5

LOCATION OF PROPERTY BY STREETS: On or Near: ALAMEDA NE  
 Between: SAN PEDRO and LOUISIANA

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

**SIGNATURE** \_\_\_\_\_ **DATE** \_\_\_\_\_

(Print Name) DAVID SOULE Applicant:  Agent:

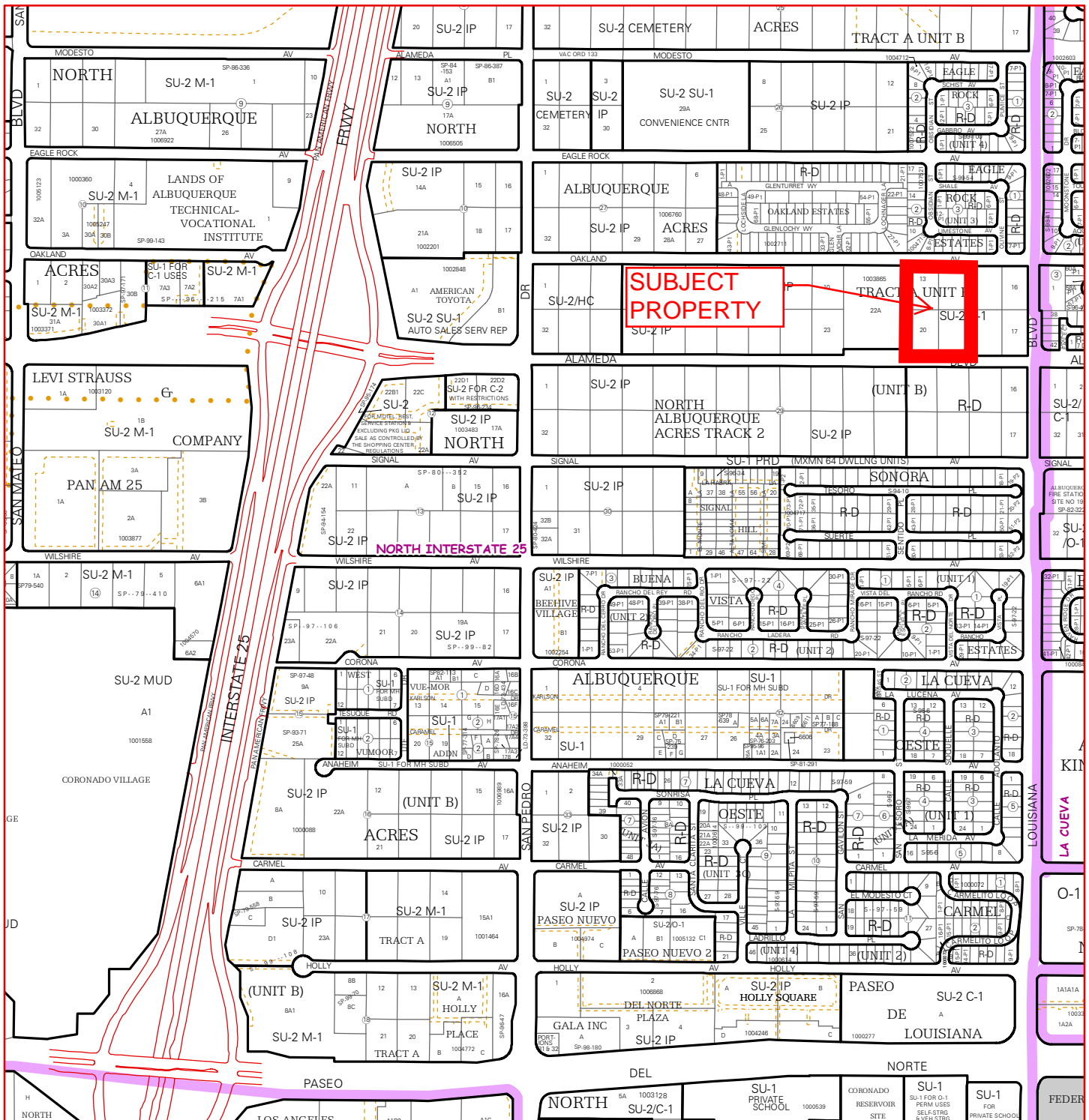
**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	<b>Hearing date</b> _____			

**Project #** \_\_\_\_\_

Staff signature & Date \_\_\_\_\_



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-18-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

July 15, 2016

Mr. Jack Cloud  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Site Plan for Subdivision and building permit Approval**

**Silver Oak Subdivision  
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests approval of the enclosed amended site plan for subdivision, and site plan for building permit. The amended site plan provide for a single retaining wall on the west property line adjacent to existing solid metal siding wall of a storage unit. The modification to allow a single wall eliminates a gap between walls that will be difficult to maintain. Based upon the zoning, the wall height is governed by the site plan. In addition the site plan for subdivision has been modified to serve as site plan for building permit. The inclusion of additional design guidelines and the establishment of minimum design standards based upon RLT zoning were added. The residential homes within the development will be constructed by multiple custom home builders, so the intent is to provide guidelines and minimum standards to allow each builder to design a variety of unique homes for different lots, so not to be a 'cookie-cutter' development. In The site is located within the North Interstate 25 Sector development plan. The site has a SU2/C1-NC zoning designation. As discussed within the section 3.2, the NC designation allows for RC zoning uses. The RC zone allows for RT permissive uses. The proposed development of the property into 20 lots with minimum lot size of 5750 square feet is an allowable use within the RT zone and the subsequent RC and SU2/ NC. The proposed development is consistent with the development patterns of the area. We feel the proposed site plan for subdivision meets the city standards for site plan for subdivision and is consistent with the existing zoning of the property. The proposed preliminary plat is consistent with the site plan for subdivision and the vacation of right of way allows for a 56' right of way, which exceeds local road minimum requirements

Should you have any questions regarding this matter, please do not hesitate to contact me.

Sincerely,

David Soule, PE  
RIO GRANDE ENGINEERING  
PO Box 93924  
ALBUQUERQUE, NM 87199

Enclosures

Cc; Bob Smith,  
PO Box 94115  
Albuquerque NM 87199

Gina Martinez  
PO Box 94115  
Albuquerque, NM 87199

Peggy Neff  
8305 Calle Sequelle  
Albuquerque, 87113

Michael Gonzales  
8201 La Milpita St NE  
Albuquerque, NM 87113

**INTRODUCTION**

DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE.

**1. SITE DESIGN**

**A. OVERALL LAYOUT OF SITE AND BUILDINGS, RELATIONSHIP TO ADJACENT SITE**

THIS PROJECT CREATES 20 LOTS FROM 4 EXISTING LOTS. THIRTY TWO FEET OF THE SOUTHERLY BOUNDARY WILL BE DEDICATED TO THE ALAMEDA BOULEVARD RIGHT OF WAY, AND 4' OF RIGHT OF WAY ON OAKLAND WILL BE VACATED AND DEDICATED TO LOTS 1 AND 20 OF THE PROPOSED SILVER OAK ESTATES SUBDIVISION. THE RESIDENTIAL LOTS WILL BE ACCESSED BY A 47' ROW. A 4' PEDESTRIAN WALK WAY WILL FRONT EACH LOT. THE BUILDINGS SHALL BE ORIENTED TO THE STREET. THE PEDESTRIAN WALKWAYS ALSO CONNECT TO THE PROPOSED PUBLIC SIDEWALK ON OAKLAND AVE. N.E., AND ALAMEDA AVENUE N.E. THE SINGLE FAMILY RESIDENCES SHALL BE TWO STORY AND ONE STORY WITH GARAGES FACING THE PRIVATE WAY. 8' HIGH AUTOMATIC WROUGHT IRON VEHICULAR GATES AND KEYPAD 5 HIGH PEDESTRIAN GATES SHALL PROVIDE SECURITY FOR THE DEVELOPMENT. THE ENTRY VEHICULAR QUEUING SHALL ACCOMMODATE TWO (2) CAR LENGTHS. A CENTRALLY LOCATED LANDSCAPED AREA AND DRIVE UP COMMUNITY MAIL BOXES SHALL BE VISIBLE FROM THE MAIN ENTRANCE AND ACCESSIBLE FROM ALL LOTS. OAKLAND ESTATES LIE JUST NORTHEAST OF THE SUBJECT SITE. SONORA SUBDIVISION LIES SOUTHWEST OF THE SUBJECT SITE. BOTH DEVELOPMENTS ARE BUILT OUT. ALAMEDA STORAGE IS LOCATED TO THE WEST OF THE SITE. THE 4 LOTS TO THE EAST ARE UNDEVELOPED, AND ARE ALSO SU-2/C1-NC ZONING.

**B. BUILDING PLACEMENT, ORIENTATION, SETBACKS**

THE RESIDENTIAL FRONT ENTRIES AND GARAGE DOORS SHALL FACE THE SUBDIVISION PRIVATE WAY. A CONCRETE DRIVEWAY (20' MINIMUM LENGTH) SHALL PROVIDE ACCESS TO THE TWO CAR GARAGES. FRONT YARD SETBACK SHALL BE FIFTEEN FEET (15') EXCEPT THAT DRIVEWAYS SHALL BE TWENTY FEET (20') LONG. SIDE YARD SETBACK SHALL BE FIVE FEET (5'). STREET SIDE CORNER SIDE YARD SETBACK SHALL BE TEN FEET (10'). REAR YARD SETBACK SHALL BE FIFTEEN FEET (15'). BUILDING HEIGHTS RANGE FROM 17' AT SINGLE STORY PEAK TO 26' TO PEAK AT TWO STORY.

**C. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)**

THE SITE IS CONNECTED TO THE SURROUNDING DEVELOPMENTS. OAKLAND AVE N.E. PEDESTRIAN ACCESS LIES TO THE NORTH AND INTERNAL TO THE SITE. 4' WIDE SIDEWALKS ON BOTH SIDES OF THE ROW CONNECT EACH RESIDENCE WITH ITS NEIGHBOR, AND THE NEW PUBLIC SIDEWALKS ON OAKLAND AND ALAMEDA. MULTIDIRECTIONAL RAMPS AT STRATEGIC PRIVATE WAY CORNERS PROVIDE HANDICAP ACCESSIBILITY TO THE DEVELOPMENT. THE PROPOSED ROW PROVIDES ONE INGRESS-EGRESS ROAD THAT CONNECTS TO OAKLAND AVE. N.E. VEHICULAR ENTRY POINT SHALL ACCENTUATED BY LANDSCAPE ELEMENTS.

**D. PARKING LOCATION AND DESIGN**

OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. FOUR PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO CAR GARAGES. THE PRIVATE WAY WILL BE LINED ON BOTH SIDES WITH RESIDENT-PROVIDED PLANTINGS WHICH WILL ENHANCE THE RESIDENTIAL CHARACTER OF THE DEVELOPMENT.

**E. PUBLIC OUTDOOR SPACES**

PEDESTRIAN WALKWAYS ALONG THE PRIVATE WAY PROVIDE EASY ACCESS TO THE SURROUNDING SIDEWALKS BY ALL RESIDENTS. A 6' HIGH WALL ENCOMPASSES THE ENTIRE DEVELOPMENT. CODE OR KEYPAD OPERATED SECURITY GATES AT ALL PEDESTRIAN AND VEHICULAR ENTRANCES FURTHER PROMOTE THE SENSE OF SAFETY AND OPPORTUNITIES FOR INTERACTION.

**REQUIREMENTS:**

- a. THE STREETSCAPE ALONG ALAMEDA BOULEVARD SHALL CONSIST OF TREES IN THE 12'-0" (TWELVE FOOT) WIDE PLANTING STRIP BETWEEN THE SIDEWALK AND THE PROPERTY LINE. THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES.
- b. THE CLEAR SITE TRIANGLE REQUIREMENT SHALL BE IMPOSED ON THE OAKLAND/PRIVATEWAY INTERSECTION. A CLEAR SITE TRIANGLE AT INTERSECTIONS MUST BE MAINTAINED 35 FEET FROM INTERSECTING FLOW LINES OF GUTTERS. A VERTICAL CLEARANCE BETWEEN 3 AND 8 FEET MEASURED FROM THE GUTTER PAN MUST BE FREE OF VISUAL OBSTRUCTION. TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. UNDERSTORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 8'

**WATER CONSERVATION TECHNIQUES:**

THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.

**4. BUILDING DESIGN**

**A. CONTEXT**

THE PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. EXISTING INDUSTRIAL AND WHOLESALE WAREHOUSING USES EXIST SIDE BY SIDE WITH RESIDENTIAL DEVELOPMENTS. NUMEROUS COMMERCIAL USES ARE IN EVIDENCE EAST OF THE I-25/ALAMEDA INTERCHANGE. ON THE SOUTH ARE MULTI STORY MOTELS SUCH AS THE STAYBRIDGE AND THE BURGER KING FAST FOOD ESTABLISHMENT. ON THE NORTH, NUMEROUS VEHICLE DEALERSHIPS ARE ARRANGED ALONG THE NORTHBOUND INTERSTATE. THESE INCLUDE AMERICAN TOYOTA AND MERCEDES BENZ OF ALBUQUERQUE.

**B. ARCHITECTURAL THEME OR STYLE**

THE PROPOSED RESIDENTIAL BUILDING DESIGNS SHALL BE CONSISTENT WITH THE PREDOMINANT NEIGHBORING RESIDENTIAL DEVELOPMENTS. BOTH TWO AND ONE STORY CONFIGURATIONS WILL BE USED. ARCHITECTURAL STYLES SHALL RANGE FROM PITCHED TILE ROOF/FRAME-STUCCO DESIGN TO FLAT ROOF/FRAME-STUCCO DESIGN. NO ASPHALT SHINGLE ROOFS ALLOWED. PARAPETS FOR FLAT ROOF DESIGNS SHALL NOT EXCEED 10% OF THE HEIGHT OF THE SUPPORTING WALL AND SHALL SHIELD THE VIEW OF THE ROOF MATERIAL FROM ANY PUBLIC OR PRIVATE RIGHT-OF-WAY. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

**C. BUILDING HEIGHT, SCALE, MASSING, MATERIALS COLORS AND ARTICULATION**

THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE A RESIDENTIAL NEIGHBORHOOD RESPONSE TO THE SITE. THE BUILDING ARE PLACED WITH THEIR FRONT FACADES FACING THE PRIVATE WAY. THE BUILDING DESIGNS SHALL INCORPORATE PRUDENT USE OF BOTH VERTICAL AND HORIZONTAL ARTICULATION AS APPROPRIATE TO RESIDENTIAL DESIGN.

**5. APPROVAL PROCESS**

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY, TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY REFINE THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE NORTH 1-25 SECTOR DEVELOPMENT PLAN. ALL BUILDINGS MUST CONFORM TO STANDARDS SPECIFIED IN THE RLT ZONE

**F. REFUSE & RECYCLE PICKUP**

RECYCLE AND REFUSE PICKUP SHALL BE INDIVIDUAL CART TYPE WITH WEEKLY SCHEDULED PICKUP TIMES.

**G. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS**

THE DEVELOPMENT BLOCK WALLS PROVIDE PRIVACY AND SECURITY FOR THE RESIDENTS. ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. ALL WALLS SHALL BE 6'-0" IN HEIGHT; THEY SHALL BE EXPOSED BLOCK WITH REPEATING PATTERNS AND VARIEGATED TEXTURES.

**H. LOCATION, HEIGHT AND DESIGN AND PURPOSE OF LIGHTING**

LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. RESIDENCE-MOUNTED LIGHTING ELEMENTS SHALL BE INCANDESCENT, METAL HALIDE OR HALOGEN ONLY. RESIDENCE-MOUNTED FLOODLIGHTS (MAXIMUM 75 WATT BULBS) SHALL BE SHIELDED OR AIMED IN SUCH A WAY THAT THEY DO NOT SHINE INTO OTHER LOTS OR THE STREET.

**I. SCREENING/BUFFERING TECHNIQUES**

MULTIPLE STREET SHADE TREES SCREEN RESIDENCES FROM ADJACENT ROADWAY WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. AT MATURITY, THESE TREES SHALL CREATE A COOLING MICRO CLIMATE.

**J. "GREEN" FEATURES**

WATER HARVESTING CISTERN AND COLLECTION SYSTEM TECHNIQUES SHALL BE ENCOURAGED.

**2. STREET REALM**

**A. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES**

THE SITE IS ACCESSIBLE TO TRANSIT ROUTES ON ALAMEDA BLVD., WHICH IS A PRINCIPAL ARTERIAL. CITY OF ALBUQUERQUE "ABO RIDE" BUS STOP IS LOCATED AT SAN PEDRO DR. AND ANAHEIM BLVD ONE-HALF BLOCK FROM THE DEVELOPMENT. THE SITE ABUTS A PROPOSED CITY DESIGNATED BIKE ROUTE ON ALAMEDA BLVD. N.E. WHICH WILL EXTEND TO LOUISIANA BLVD. N.E.

**3. LANDSCAPING**

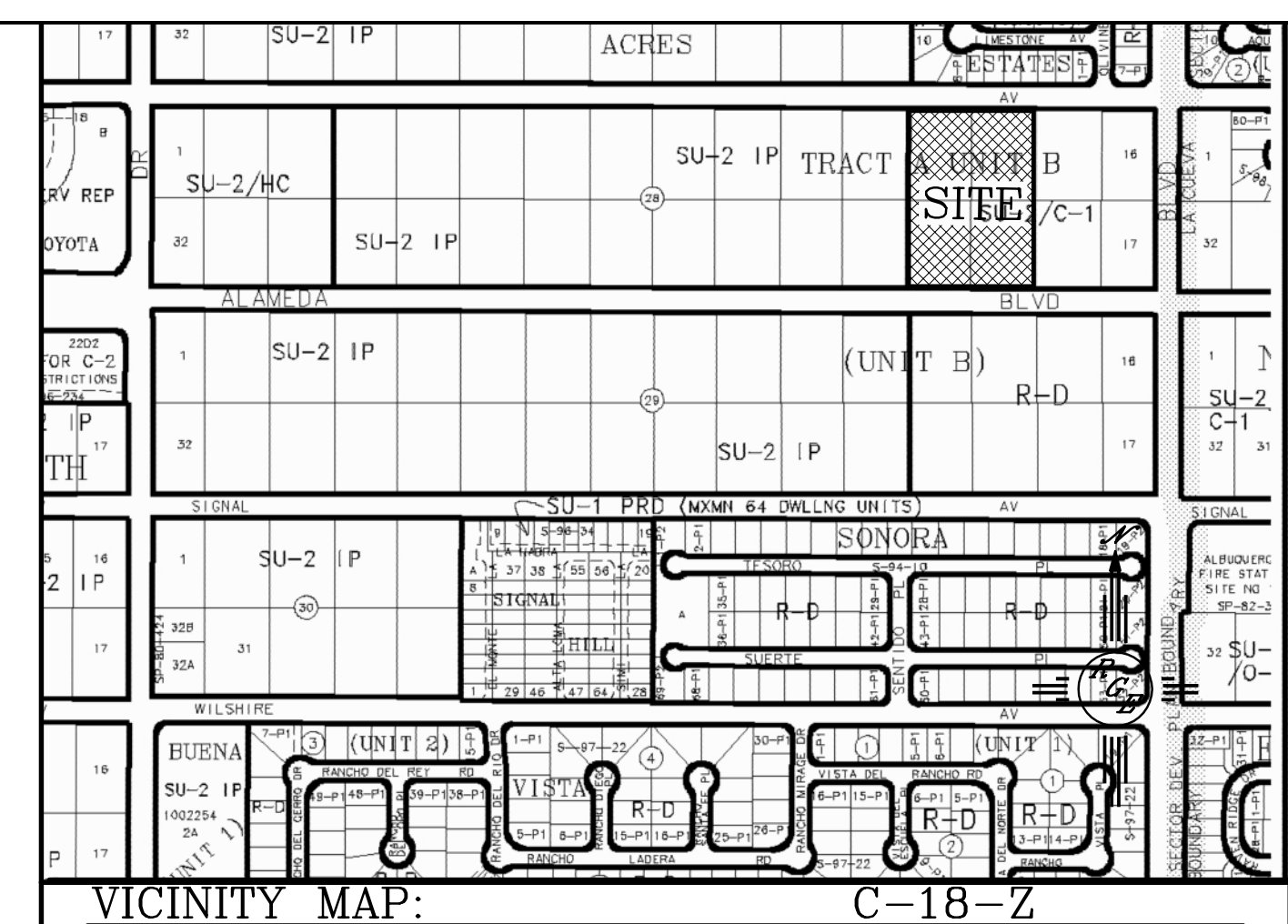
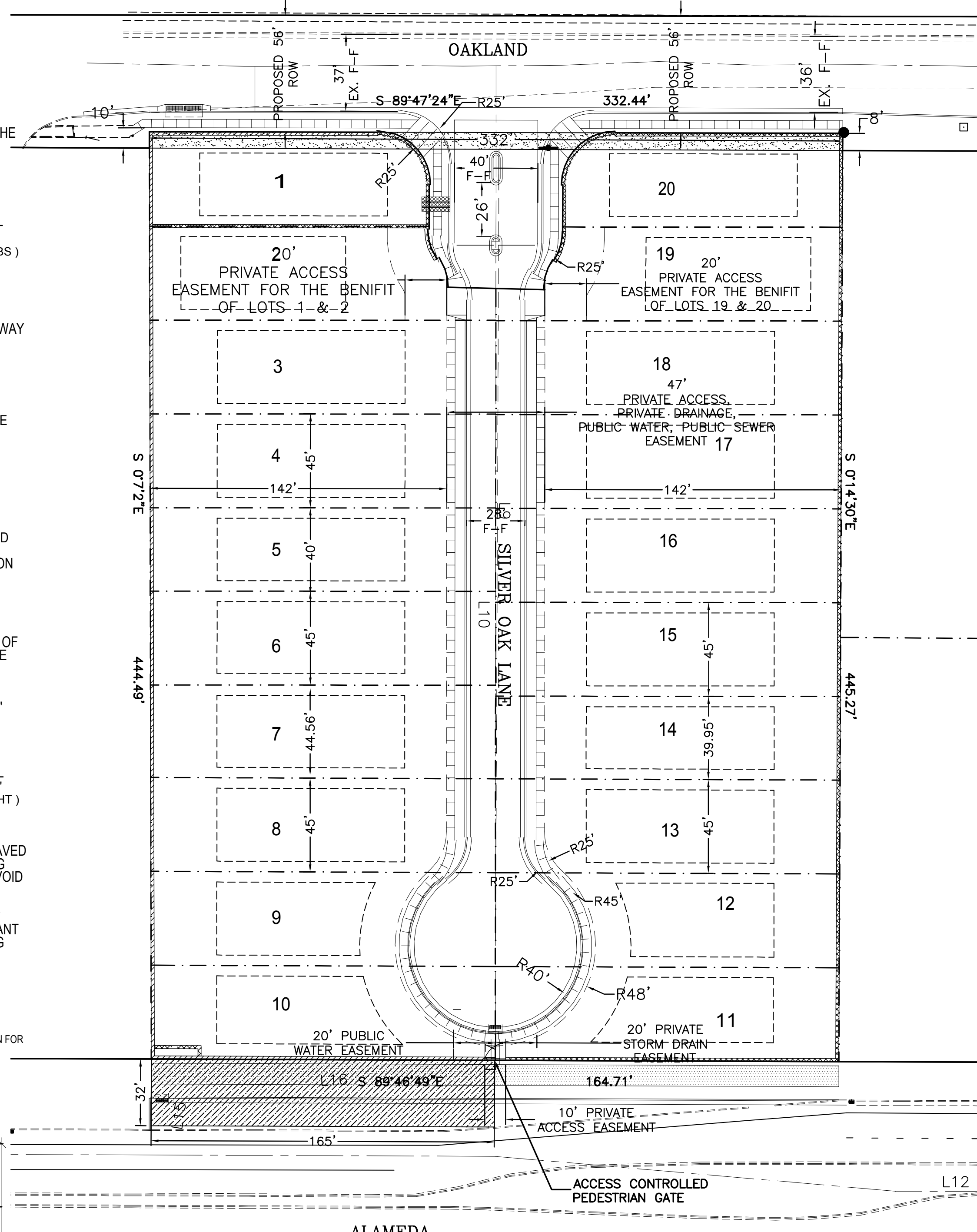
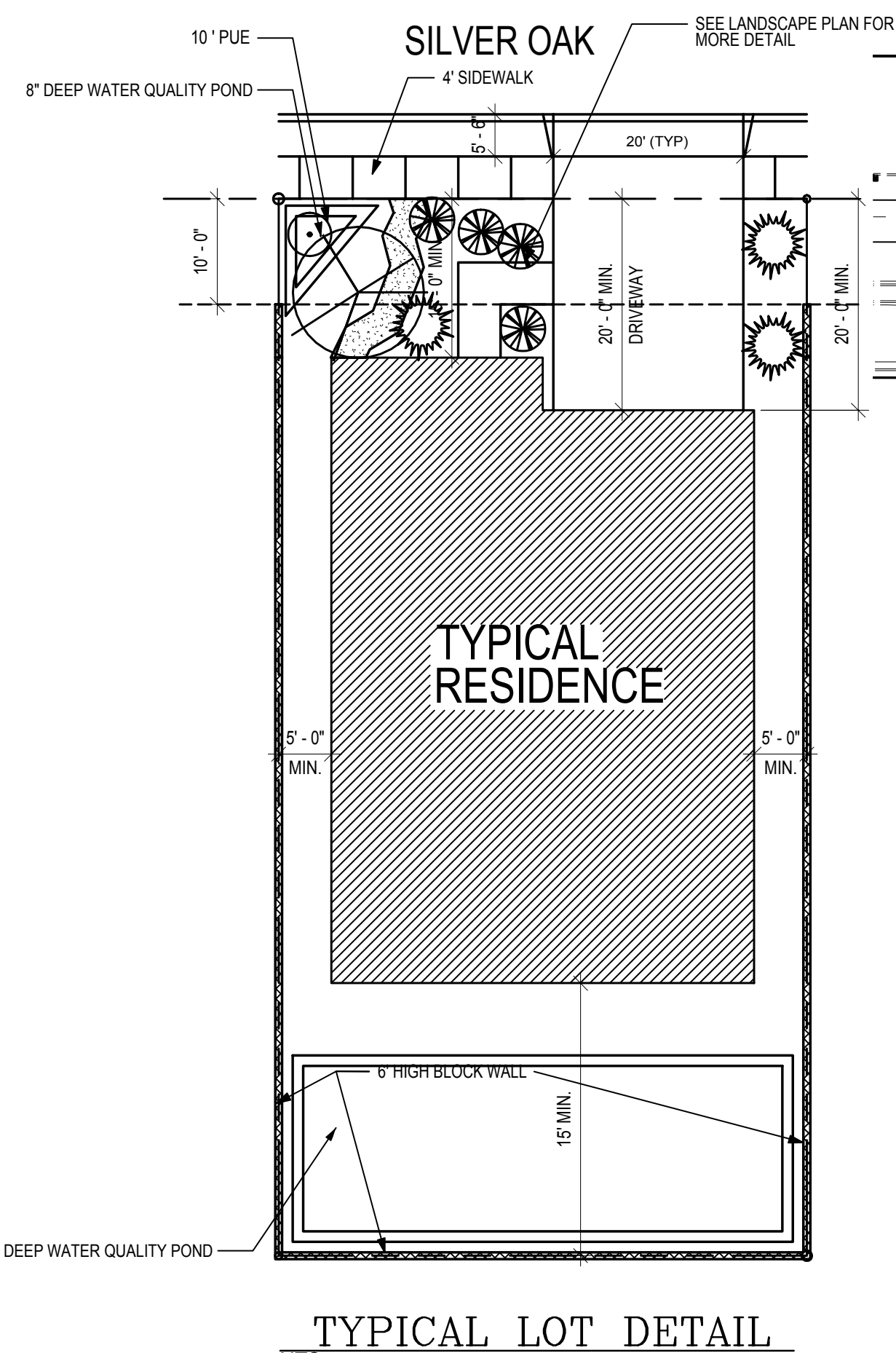
LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS. THE LANDSCAPE NETWORK CONSISTS OF:

STREET SHADE TREES ALONG ALAMEDA BOULEVARD SHALL BE SITUATED IN 12' WIDE LANDSCAPE STRIPS W/ ROCK OR BARK GROUNDCOVER. STREET TREE SPACING SHALL BE DETERMINED BY TREE CANOPY AT FULL MATURITY.

INTERIOR STREETSCAPE STREET SHADE TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED BY INDIVIDUAL RESIDENCE OWNERS. AT MINIMUM, RESIDENTS SHALL PLANT ONE 8'-0" TO 12'-0" TALL SHADE TREE AT THE STREET FRONTAGE. IN ADDITION 5 - 8 (FIVE TO EIGHT) 5 GALLON SHRUBS SHALL BE LOCATED IN A GREY ROCK/COBBLE ACCENT LANDSCAPING SCHEME.

DECIDUOUS STREET SHADE TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THE LANDSCAPING SHALL BALANCE THE DENSITY OF THE HOUSING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE.

SUGGESTED PLANT SPECIES AS SHOWN ARE NOT MANDATORY, HOWEVER, ANY SUBSTITUTIONS WILL BE LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER AND SCALE OF THE SURROUNDING NEIGHBORHOOD.



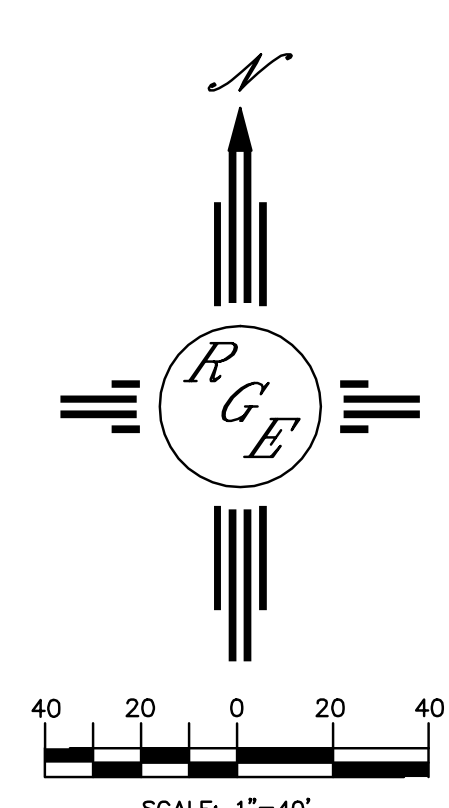
**LEGAL DESCRIPTION:**  
LOTS 13, 14, 19, 20, BLK 28, TR A, UNIT B, NORTH ALBUQUERQUE ACRES

PROJECT NUMBER:	_____
APPLICATION NUMBER:	_____
Is an Infrastructure List required? (X) Yes ( ) No If yes then set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
Traffic Engineer, Transportation Division	_____ Date _____
Utilities Development	_____ Date _____
Parks & Recreation Department	_____ Date _____
City Engineer	_____ Date _____
* Environmental Health Department (conditional)	_____ Date _____
Solid Waste Management	_____ Date _____
DRB Chairperson, Planning Department	_____ Date _____

**LEGEND**

=====	EXISTING CURB & GUTTER
-----	PROPOSED CURB AND GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
=====	PROPOSED SIDEWALK
=====	EXISTING SIDEWALK
=====	PROPOSED 10' ASPHALT TRAIL-3" AC PAVING OVER NATIVE CENTERLINE
-----	RIGHT-OF-WAY
-----	PROPOSED LOT LINE
-----	PROPOSED RETAINING WALL
-----	PROPOSED PERIMETER WALL
=====	AREA DEDICATED TO THE COA AS ROW (SEE PLAT)
=====	AREA OF COA ROW VACATION (SEE PLAT)

<b>SUBDIVISION DATA</b>	<b>BUILDING DATA</b>
PROJECT LOCATION: BETWEEN ALAMEDA BLVD. N.E. AND OAKLAND AVE. N.E. AVENUE WEST OF LOUISIANA DRIVE N.E., ALBUQUERQUE, NM	MAXIMUM BUILDING HEIGHT: 26 FEET
ZONE ATLAS MAP: C-18	MINIMUM BUILDING SETBACK: FRONT YARD SETBACK - RESIDENCE 15 FEET, FRONT YARD SETBACK - DRIVEWAY 20 FEET, SIDE YARD SETBACK 5 FEET, STREET SIDE CORNER 5 FEET, SIDE YARD SETBACK 15 FEET, REAR YARD SETBACK 15 FEET
GROSS ACREAGE: 3.373 A	MAXIMUM DWELLING UNITS: 20 UNITS
NO. OF LOTS COMBINED: 4	
NO. OF LOTS CREATED: 20	
EXISTING ZONING: SU2/C1-NC	



**SHEET LIST**

Sheet Number	Sheet Name
DRB-1.0	SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
DRB-2.0	LANDSCAPING PLAN
DRB-3.0	GRADING & DRAINAGE PLAN
DRB-4.0	MASTER UTILITY PLAN
DRB-5.0	MASTER PAVING PLAN
DRB-6.0	GATE DETAILS

ENGINEER'S SEAL

DAVID SOULE  
P.E. #14522

**SILVER OAK ESTATES**

SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

*Rio Grande Engineering*  
1608 CENTRAL AVENUE SE  
SUITE 201  
ALBUQUERQUE, NM 87106  
(505) 872-0999

DRAWN BY WCWJ

DATE 7-14-16

21525-LAYOUT-9-21-15

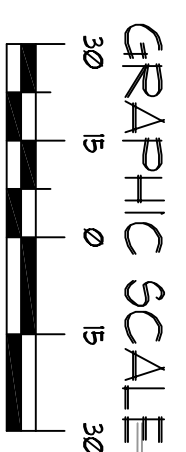
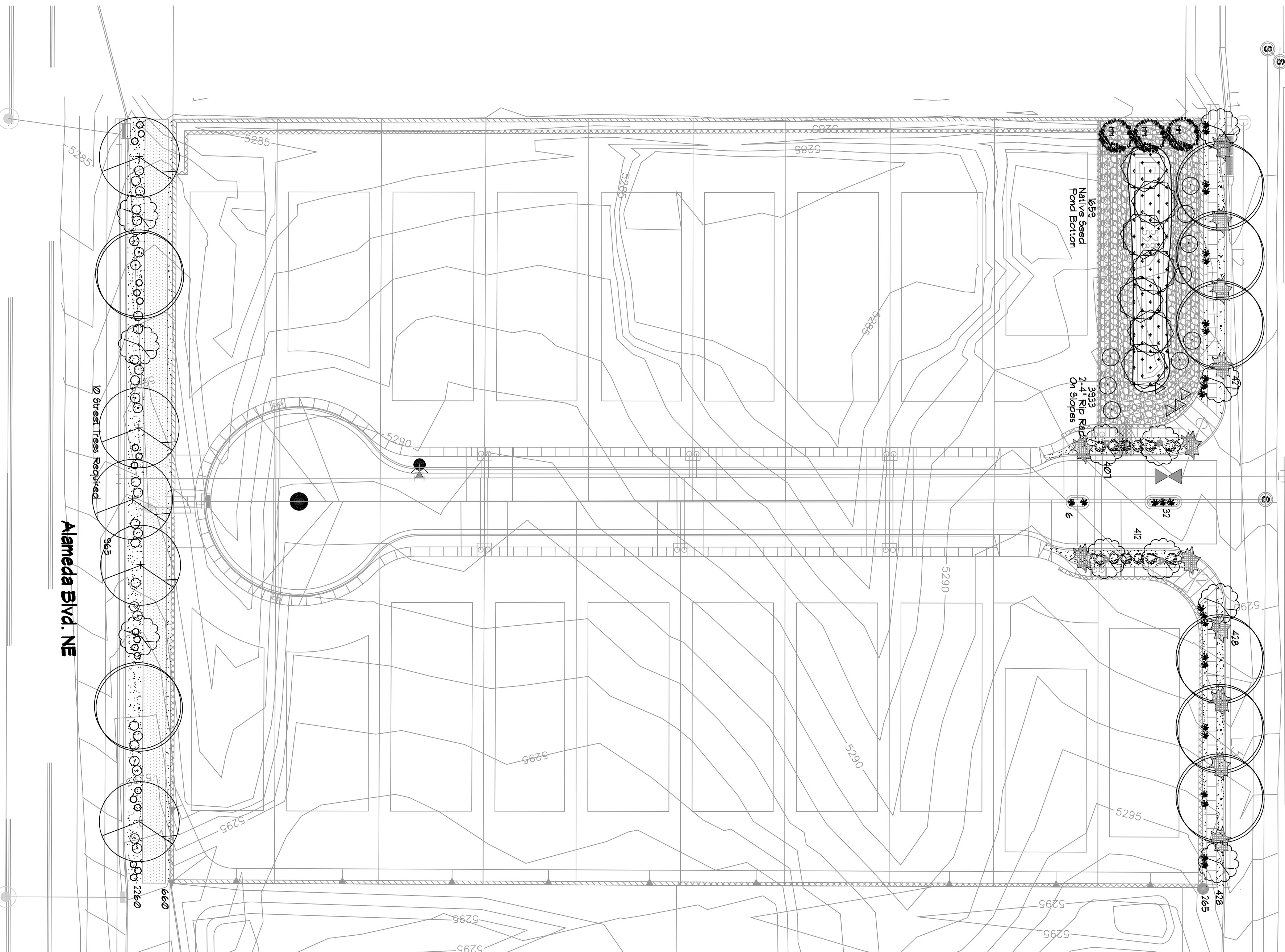
SHEET # 1

JOB # 21525

10 Street Trees Required

Oakland Av.

Alameda Blvd. NE

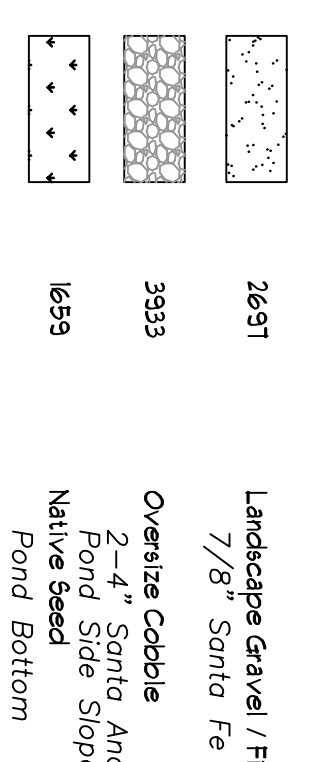


**LANDSCAPE LEGEND**  
QTY SIZE COMMON/BOTANICAL H2O USE

QTY	SIZE	COMMON/BOTANICAL	H2O USE
5	3" cal	Ash Fraxinus sp.	M
9	3" cal	Honey Locust Gleditsia triacanthos	M
1	4 - 6'	Pinon Pinus edulis	M
4	4 - 6'	Palm Yucca Yucca taxomiana	M
11	15 Gal.	Oaktona Redbud Cercis retorta	M
1	15 Gal.	Desert Willow Chilopsis linearis	L

QTY	SIZE	COMMON/BOTANICAL	H2O USE
12	5 Gal.	India Hawthorne Raphanopsis indica	M
21	5 Gal.	Feather Reed Grass Cotoneaster arundinacea	M
3	5 Gal.	Cur-leaf Mountain Thicket Cercocarpus ledifolius	L+
4	5 Gal.	Bulbous Bush Buddleia davidii	M
12	5 Gal.	Buffalo Juniper Juniperus sabino 'Burford'	M
19	5 Gal.	Cherry Sage Salvia Greggii	M
11	5 Gal.	Blue Yucca Corydalis x claudonensis	M
19	5 Gal.	Fern Bush Chromolaena millerifolium	L
9	5 Gal.	Cholla Chrysothamnus nauseosus	L
1	2-3d'	Boulders To be placed at contractor discretion	



1788000 Total Landscape Area

**LANDSCAPE NOTES:**

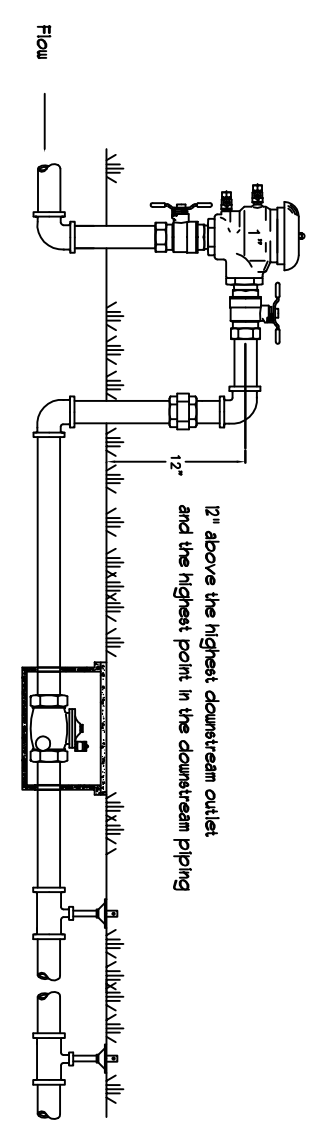
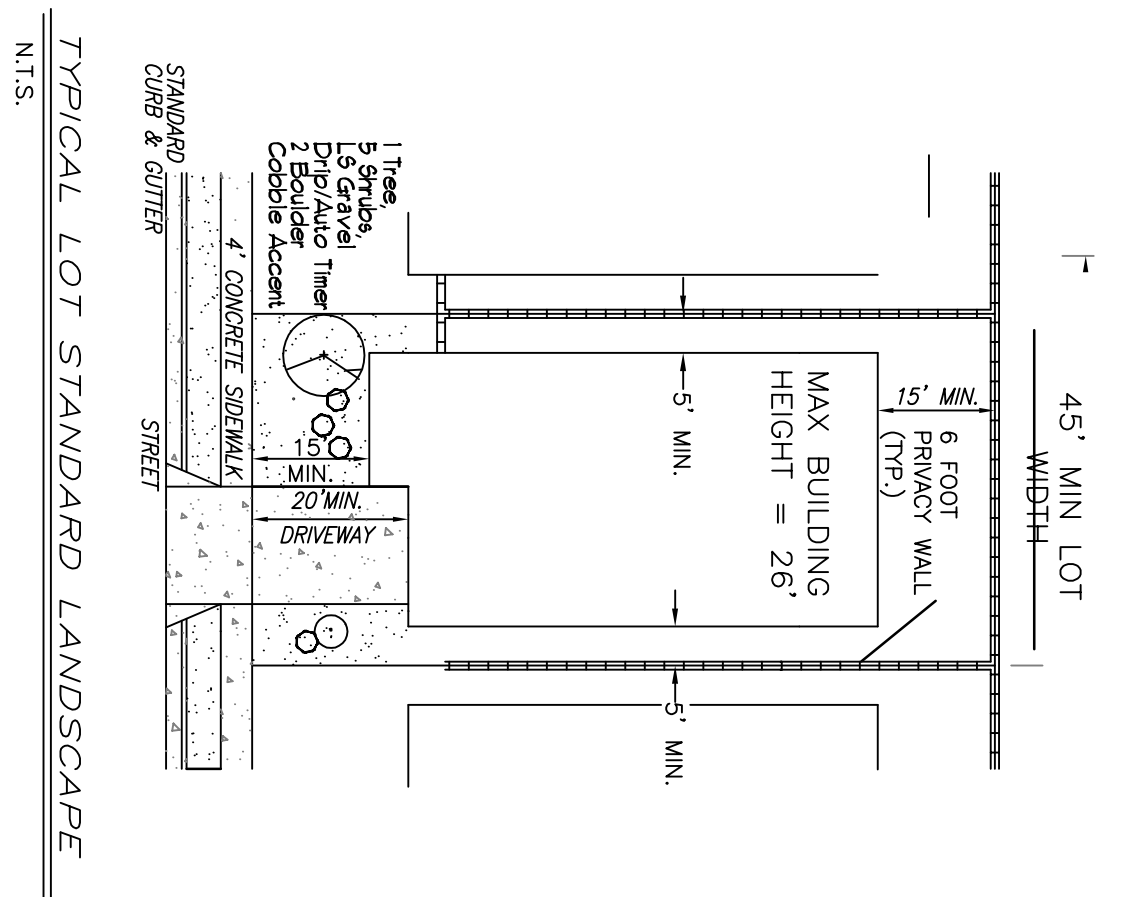
Landscape maintenance shall be the responsibility of the Property Owner. Landscape within the right of way shall be the responsibility of the adjacent property owner. It is the intent of this plan to comply with the City of Albuquerque's Ordinance 10-10-2000 regarding landscaping and water use. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Albuquerque. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Use Ordinance. Water management is the sole responsibility of the Property Owner.

**IRRIGATION NOTES:**

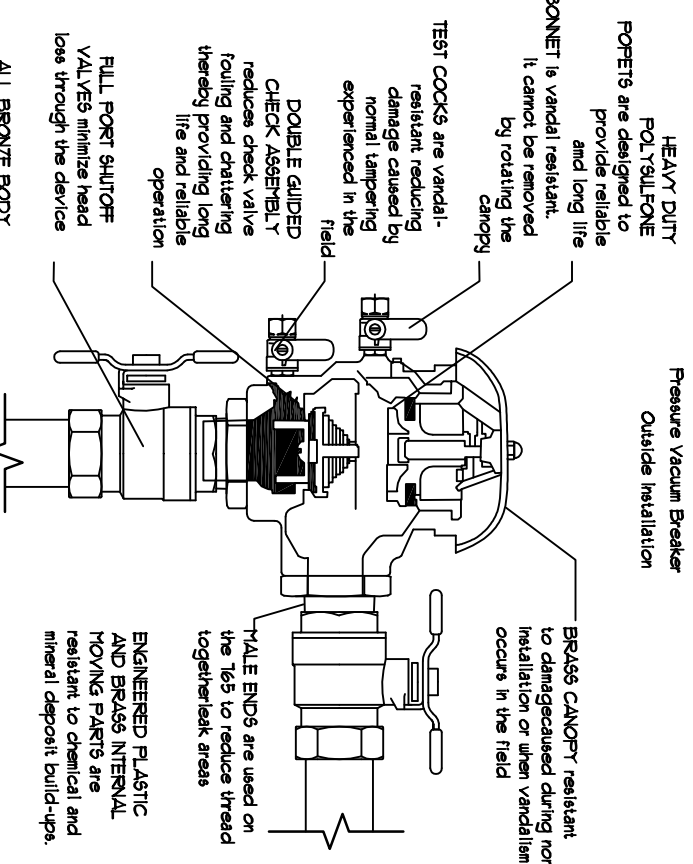
Irrigation shall be a complete underground system with trees to receive (1) 1/2" GPM Drip Emitters and shrubs to receive (2) 1/2" GPM Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season. Point of connection for irrigation system is indicated at each tree and shrub location. Irrigation system shall be installed in the field. Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others. Irrigation maintenance shall be the responsibility of the adjacent Property Owner. Irrigation within the right of way shall be the responsibility of the adjacent property owner.

**NOTE TO CLIENT:**

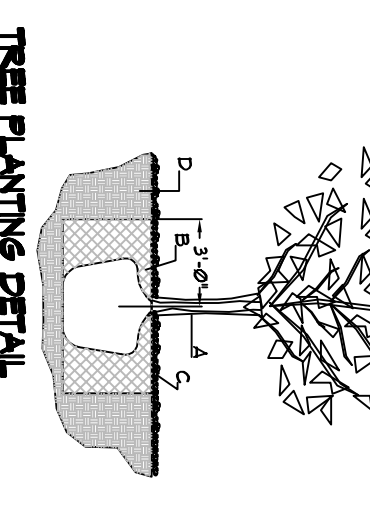
Should the Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades should be used for grading. The contractor shall be responsible for providing the material under the specified gravel will not be suitable. Gravel smaller than 3/4" cobbles will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, use will request an in-field change-order to lay cobbles or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



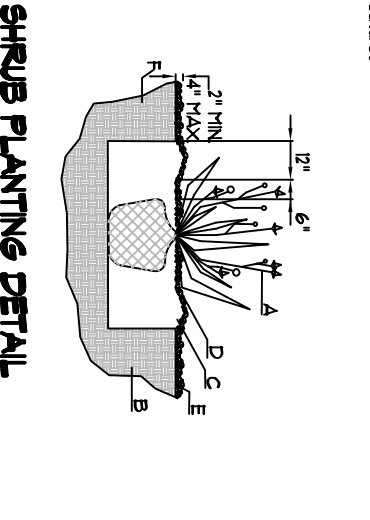
**FEBCO MODEL 765**  
Pressure Vacuum Breaker  
Outside Installation



**FEBCO MODEL 765**  
Pressure Vacuum Breaker  
Inside Installation



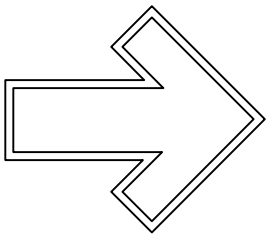
**TREE PLANTING DETAIL**



**SHRUB PLANTING DETAIL**

**TREE PLANTING DETAIL:**  
1. TREE SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT ROOT ROT.  
2. TREE SHALL BE PLACED IN THE CENTER OF THE HOLE.  
3. SOIL SHALL BE RECOMPACTED TO THE ORIGINAL DENSITY.  
4. TREE SHALL BE WATERED DAILY FOR THE FIRST TWO WEEKS.  
5. TREE SHALL BE WATERED WEEKLY FOR THE NEXT TWO MONTHS.  
6. TREE SHALL BE WATERED MONTHLY FOR THE NEXT TWO YEARS.  
7. TREE SHALL BE WATERED QUARTERLY FOR THE NEXT TWO YEARS.  
8. TREE SHALL BE WATERED ANNUALLY FOR THE NEXT TWO YEARS.  
9. TREE SHALL BE WATERED BIENNIALY FOR THE NEXT TWO YEARS.  
10. TREE SHALL BE WATERED QUINNIENNIALY FOR THE NEXT TWO YEARS.

**SHRUB PLANTING DETAIL:**  
1. SHRUB SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT ROOT ROT.  
2. SHRUB SHALL BE PLACED IN THE CENTER OF THE HOLE.  
3. SOIL SHALL BE RECOMPACTED TO THE ORIGINAL DENSITY.  
4. SHRUB SHALL BE WATERED DAILY FOR THE FIRST TWO WEEKS.  
5. SHRUB SHALL BE WATERED WEEKLY FOR THE NEXT TWO MONTHS.  
6. SHRUB SHALL BE WATERED MONTHLY FOR THE NEXT TWO YEARS.  
7. SHRUB SHALL BE WATERED QUARTERLY FOR THE NEXT TWO YEARS.  
8. SHRUB SHALL BE WATERED ANNUALLY FOR THE NEXT TWO YEARS.  
9. SHRUB SHALL BE WATERED BIENNIALY FOR THE NEXT TWO YEARS.  
10. SHRUB SHALL BE WATERED QUINNIENNIALY FOR THE NEXT TWO YEARS.



The Hilltop  
1909 Edith NE  
Albuquerque, NM 87113  
Cont. Lic. #26458  
Ph. (505) 898-9630  
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danny@hilltoplandscaping.com

Landscape Architect  
DANNY D. MITCHELL  
239  
LANDSCAPE ARCHITECT  
October 16, 2015

Silver Oak Subdivision  
Albuquerque NM  
LANDSCAPE PLAN

The design contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and shall not be released or copied unless applicable fees have been paid or a job order placed.

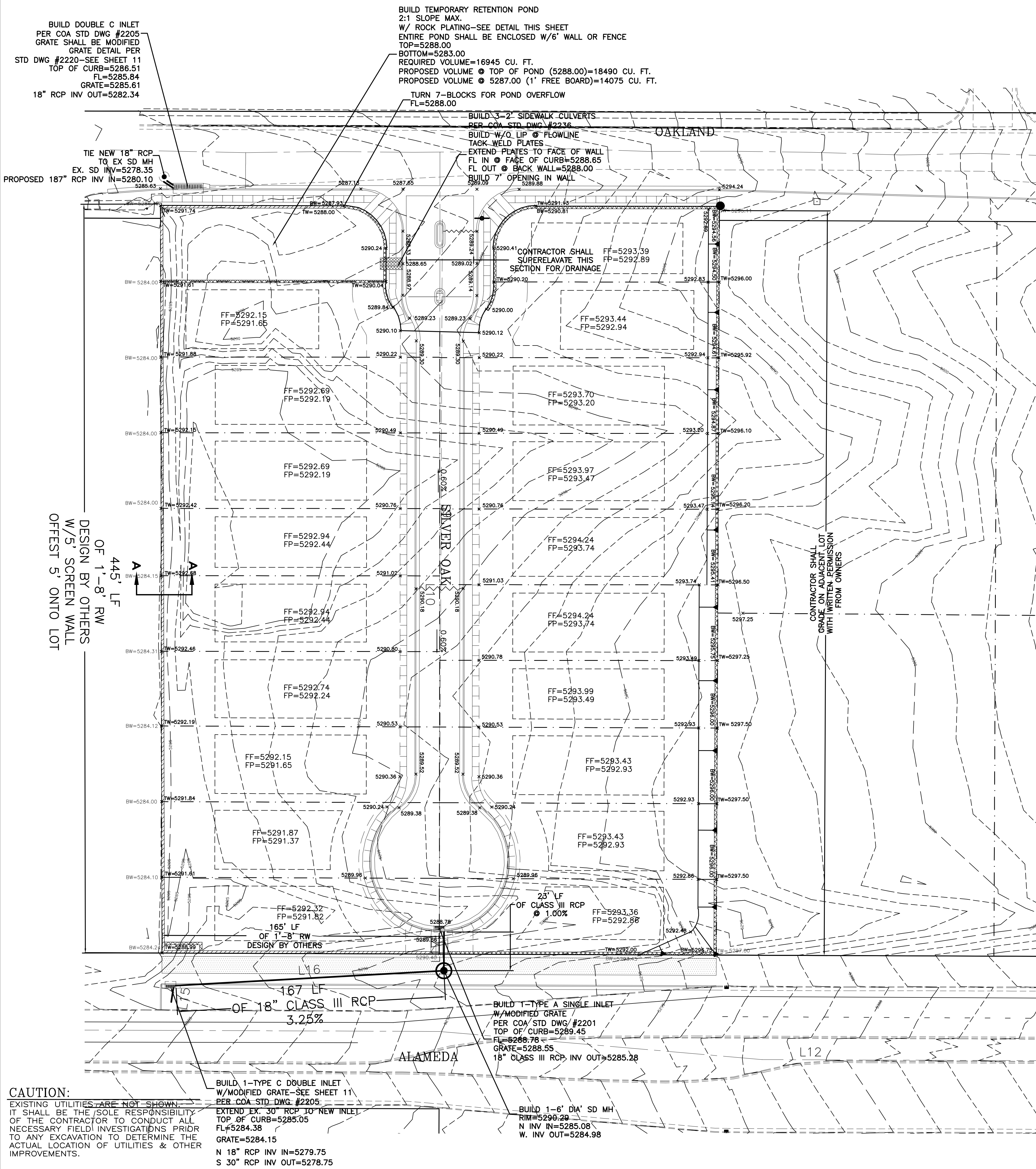
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY  
dh

REVISION  
12-11-2015  
12-07-2015  
12-18-2015

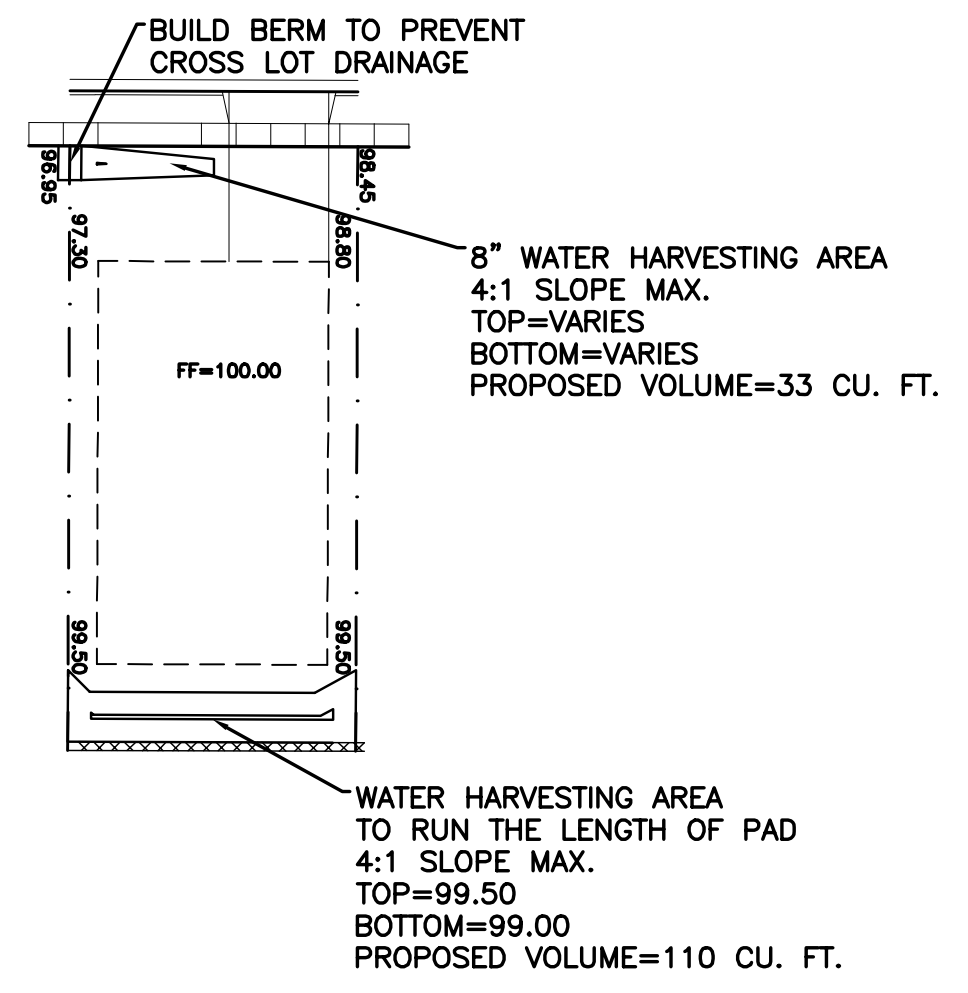
DATE  
10/16/2015

4 SHEET  
DRB 02

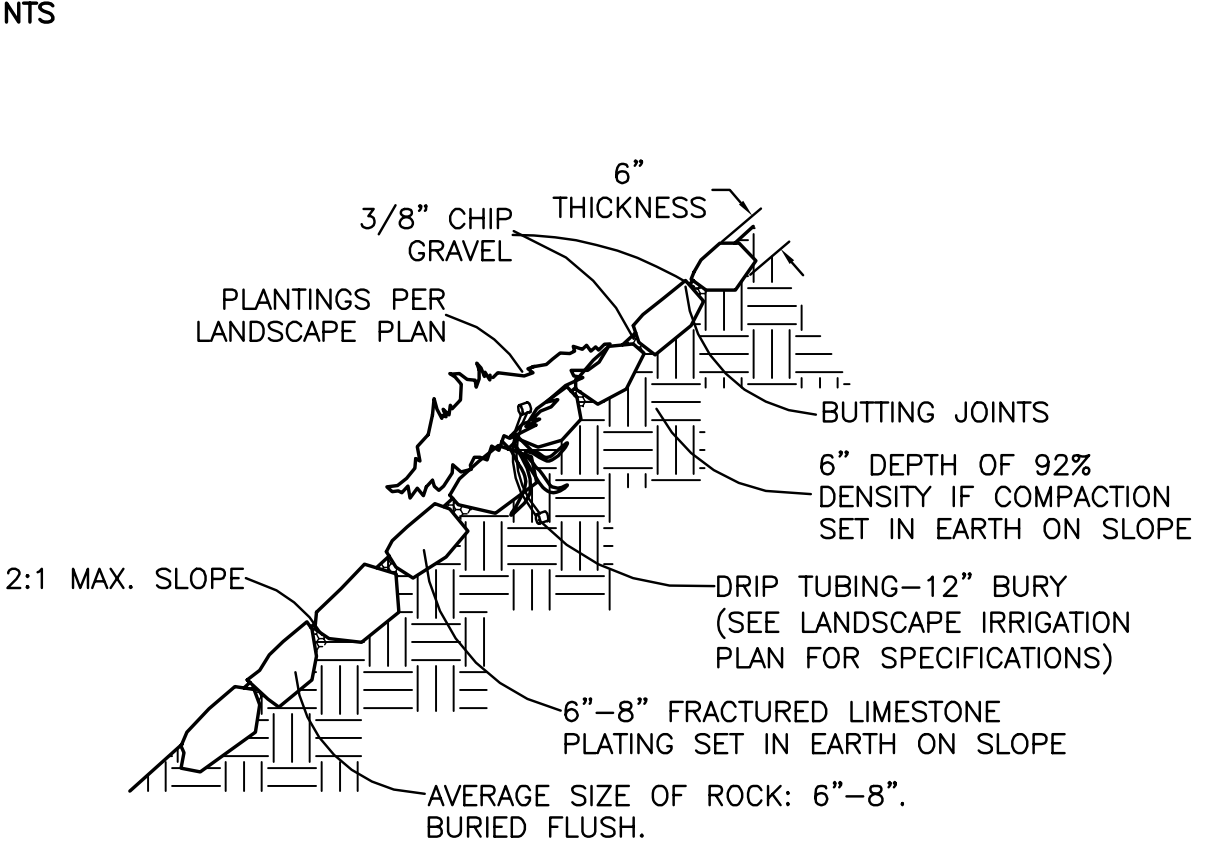


**EROSION CONTROL NOTES:**

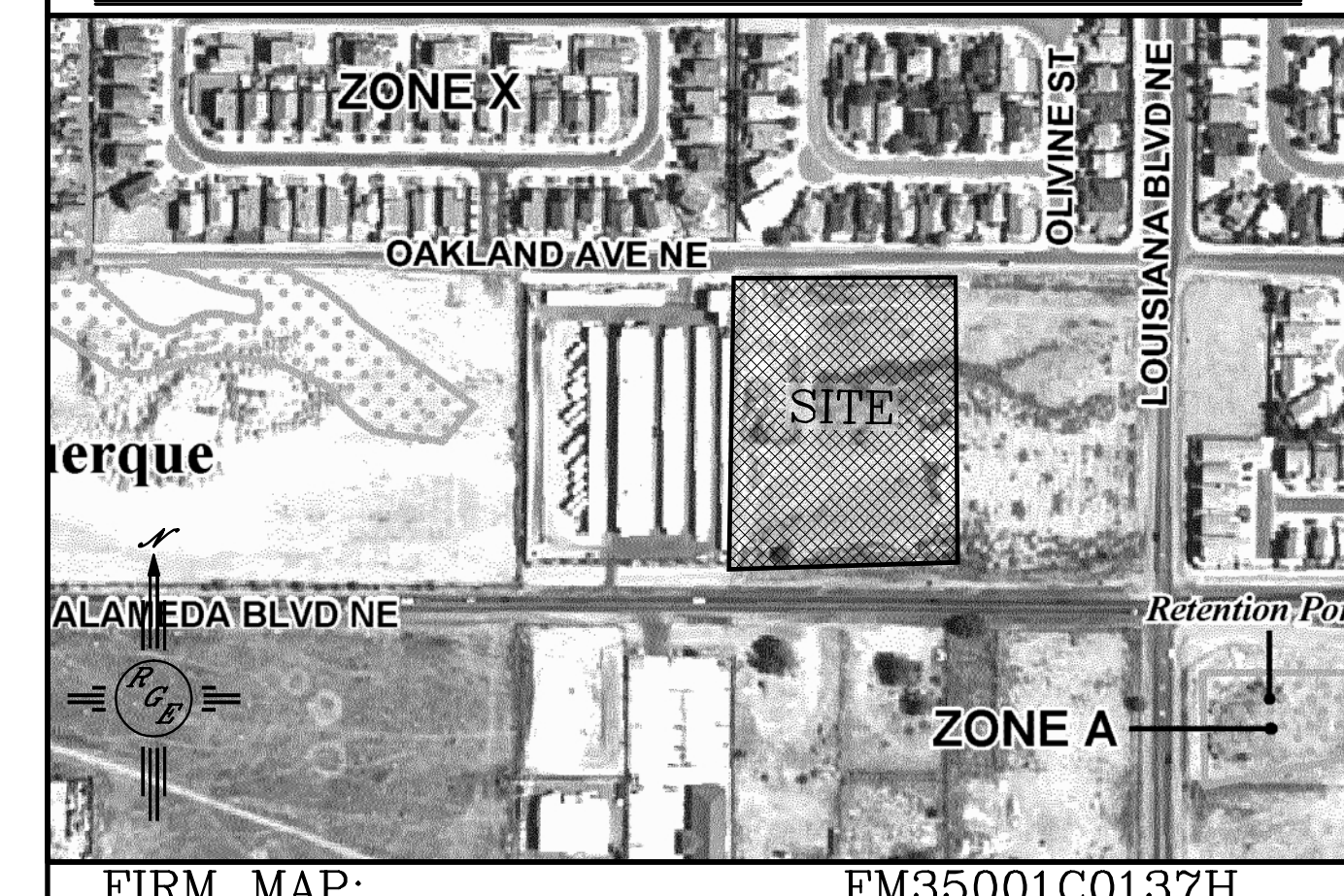
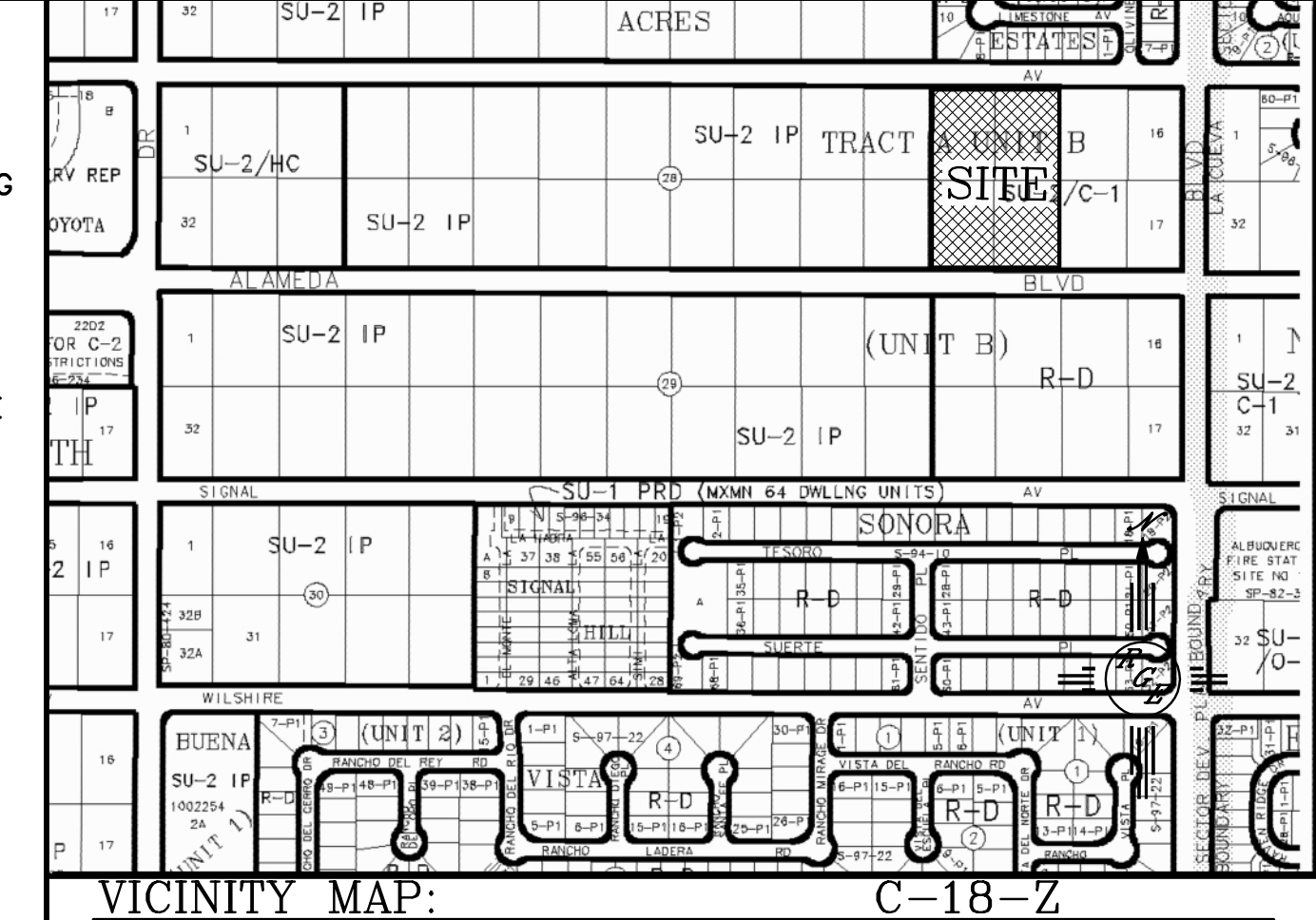
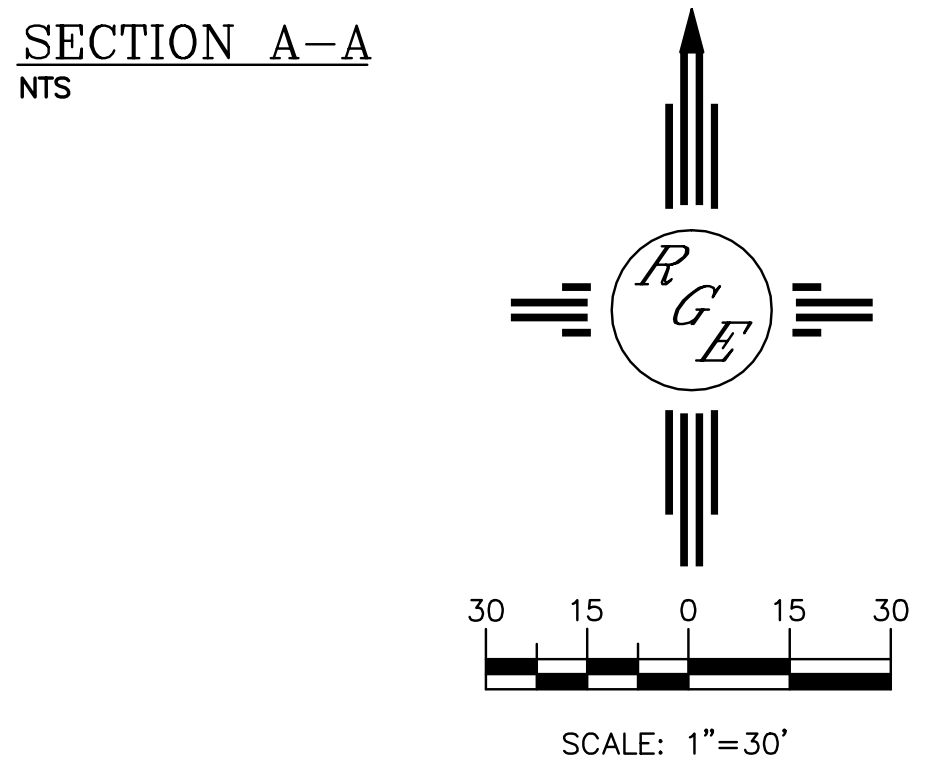
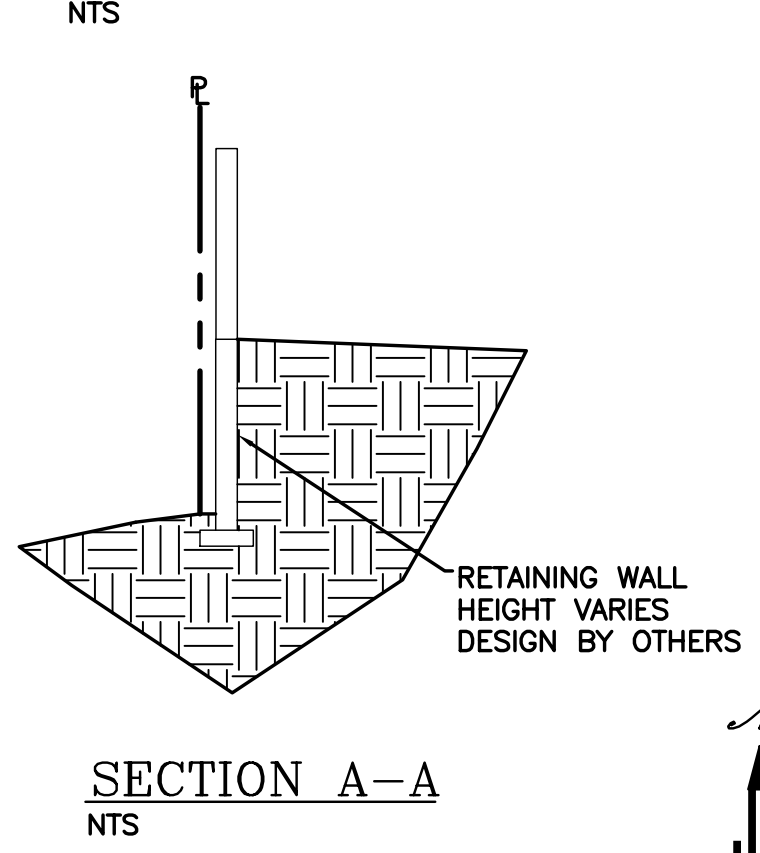
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**TYPICAL WATER HARVETING AREAS**



**ROCK PLATING DETAIL**



**LEGAL DESCRIPTION:**  
 LOTS 13, 14, 19, 20, BLK 28, TR A, UNIT B, NORTH ALBUQUERQUE ACRES

**NOTES:**  
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

**LEGEND**

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	3:1 SLOPE TIE MAX.
▲	EXISTING SPOT ELEVATION
▲	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	PROPOSED LOT LINE
---	RIGHT-OF-WAY
---	PROPOSED CURB AND GUTTER
---	EXISTING CURB
---	PROPOSED SCREEN WALL
---	PROPOSED RETAINING WALL DESIGN BY OTHERS

**\*-FOR REFERENCE ONLY**

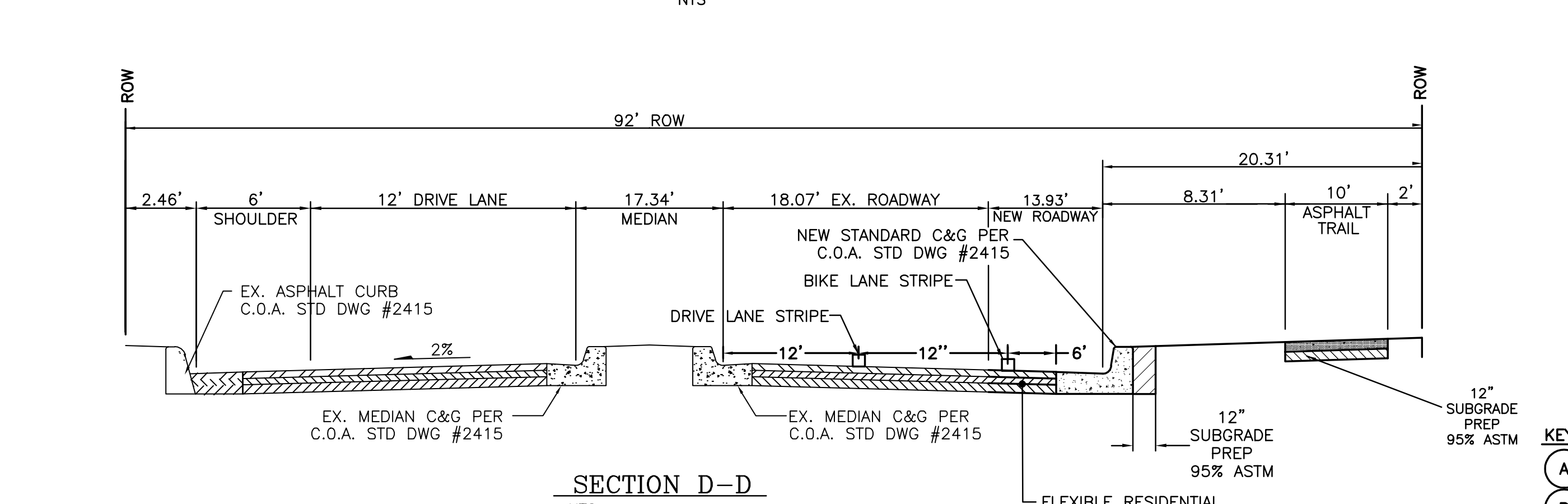
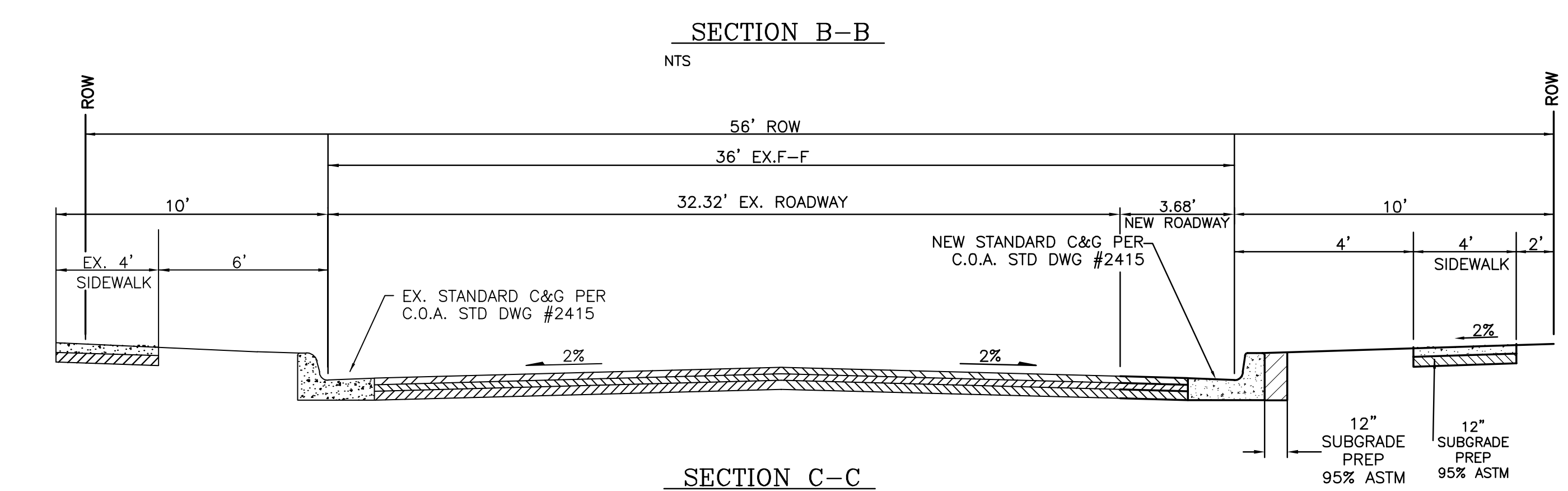
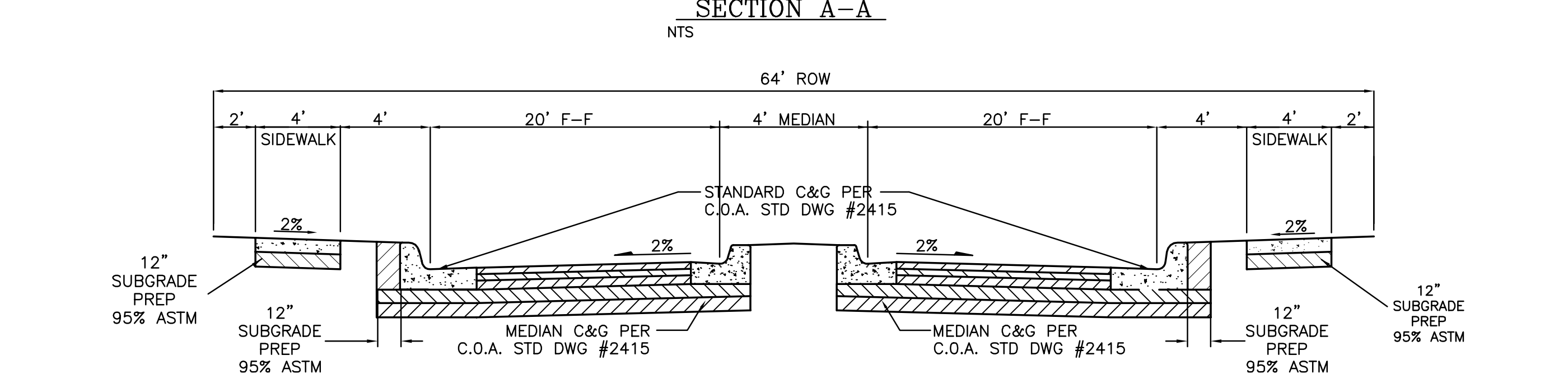
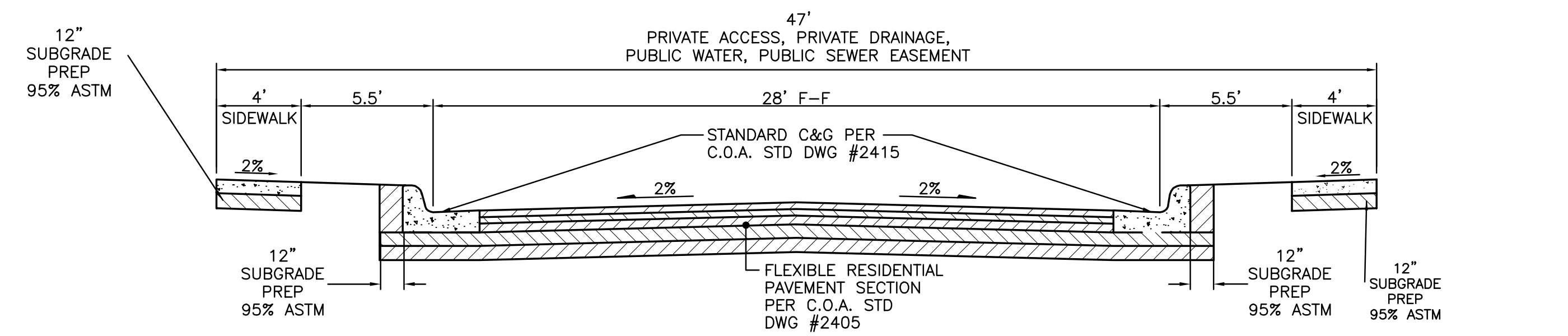
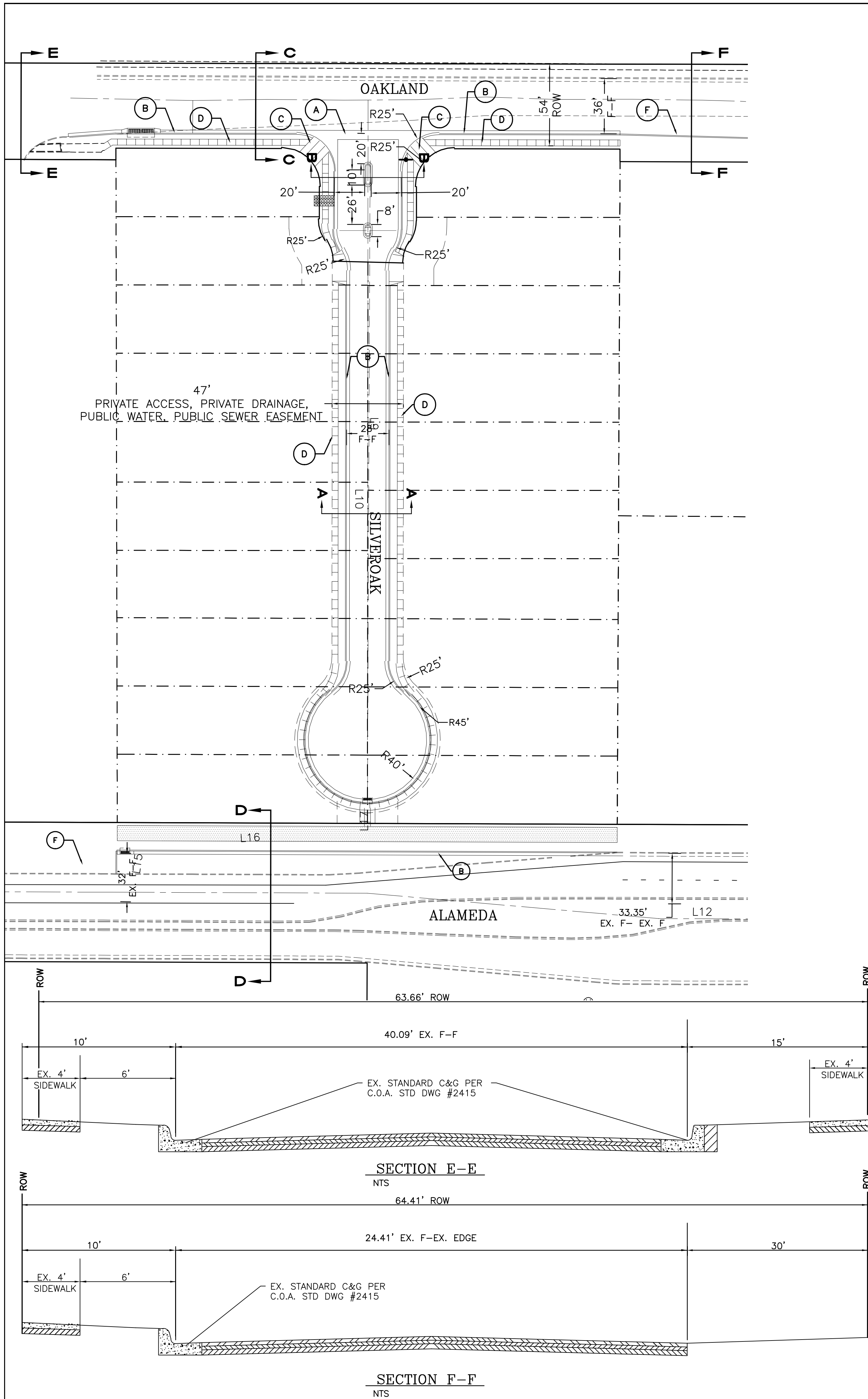
ENGINEER'S SEAL	SILVEROAK ESTATES	DRAWN BY WCWJ
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522 3-30-16	GRADING AND DRAINAGE PLAN	3-30-16 12-18-15
	Rio Grande Engineering	21525-LAYOUT-9-28-15
	1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0989	SHEET # 3
		JOB # 21525

**CAUTION:**  
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

BUILD 1-TYPE C DOUBLE INLET W/MODIFIED GRATE-SEE SHEET 11 PER COA STD DWG #2205  
 TOP OF CURB=5285.05  
 FL=5284.38  
 GRATE=5284.15  
 N 18" RCP INV IN=5279.75  
 S 30" RCP INV OUT=5278.75

BUILD 1-TYPE A SINGLE INLET W/MODIFIED GRATE PER COA STD DWG #2201  
 TOP OF CURB=5289.45  
 FL=5288.78  
 GRATE=5288.55  
 18" CLASS III RCP INV OUT=5285.28

BUILD 1-6" DIA' SD MH RIM=5290.29  
 N INV IN=5285.08  
 W INV OUT=5284.98

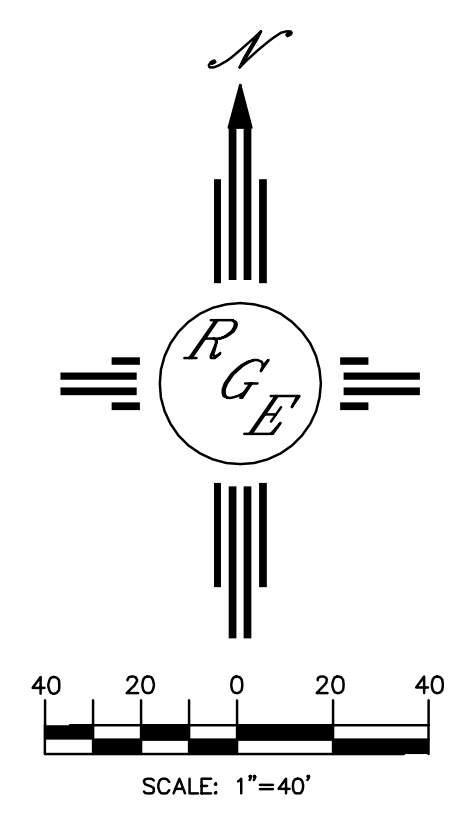


**LEGEND**

- PROPOSED SNGL. "A" INLET
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- FUTURE CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED 10' ASPHALT TRAIL
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES

- KEYED NOTE:**
- (A) 6' VALLEY GUTTER PER C.O.A. STD DWG #2420
  - (B) STANDARD C&G PER COA STD DWG #2415A
  - (C) HANDICAP RAMP SEE DETAIL THIS SHEET
  - (D) 4' SIDEWALK TO BE BUILT W/THIS PROJECT PER COA STD DWG #2430
  - (E) PROPOSED 10' ASPHALT TRAIL-3" AC PAVING OVER NATIVE
  - (F) TEMPORARY ASPHALT CURB PER COA STD DWG #2415B

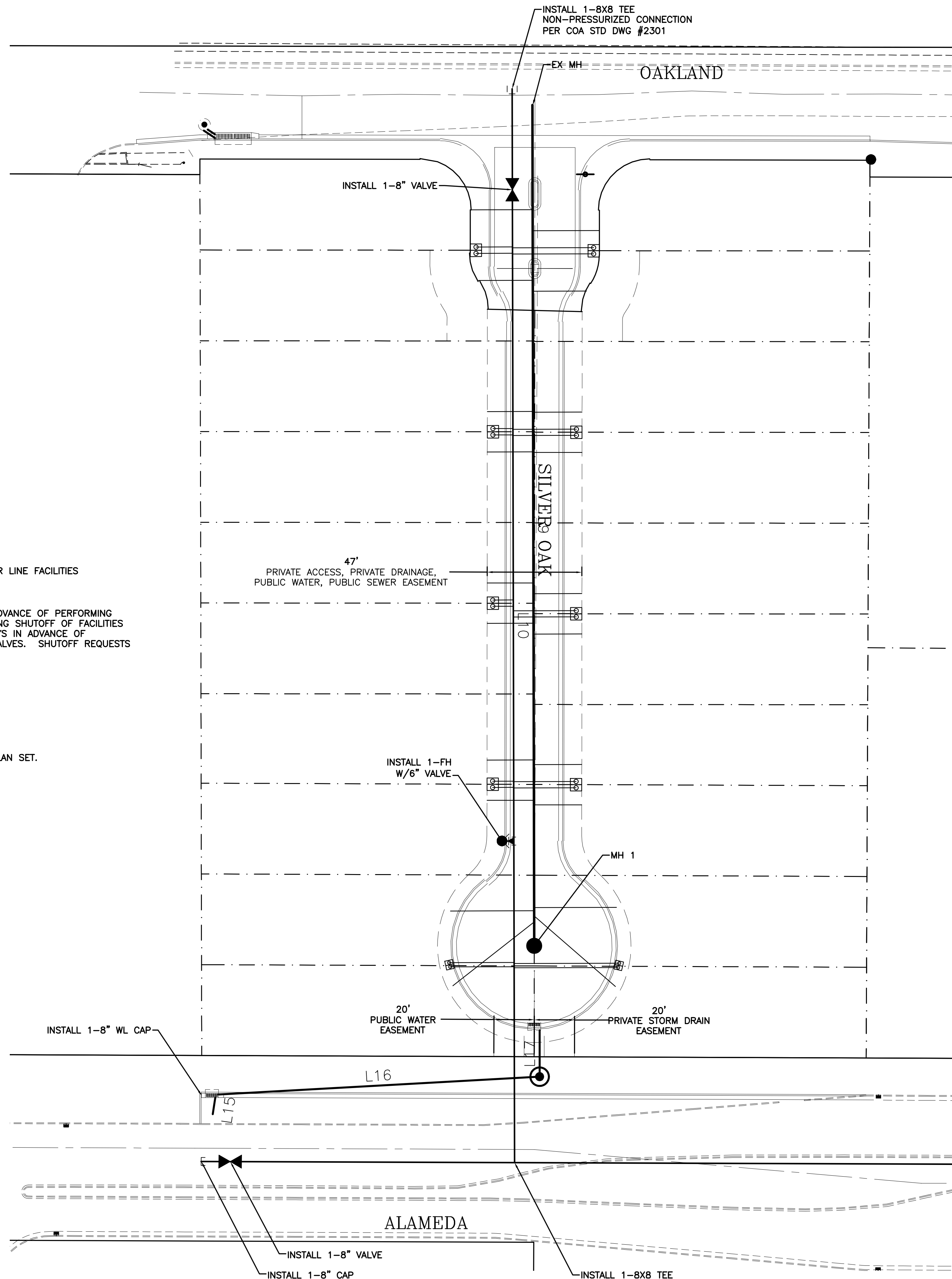
- GENERAL NOTES:**
1. ALL WALL FOUNDATIONS/TOE MUST BE OUTSIDE COA ROW.
  2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL ROADWAY SIGNS UNTIL FINAL ACCEPTANCE.



	SILVEROAK ESTATES	BY WCWJ
	MASTER PAVING PLAN	DATE 12-18-15
DAVID SOULE P.E. #14522		21525-LAYOUT-9-21-15
	1608 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 5
		JOB # 21525

# NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, INCLUDING UPDATE 8, AMENDMENT #1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8, AMENDMENT 1.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [http://abcwua.org/water\\_shut\\_off\\_and\\_turn\\_on\\_procedures](http://abcwua.org/water_shut_off_and_turn_on_procedures)
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6150 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
21. ALL WATER METER COVERS AND LIDS SHALL BE PER COA STD DWG #2368.
22. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
23. CONTRACTOR IS RESPONSIBLE AT ITS OWN COST FOR ANY DAMAGE TO EXISTING UTILITIES.

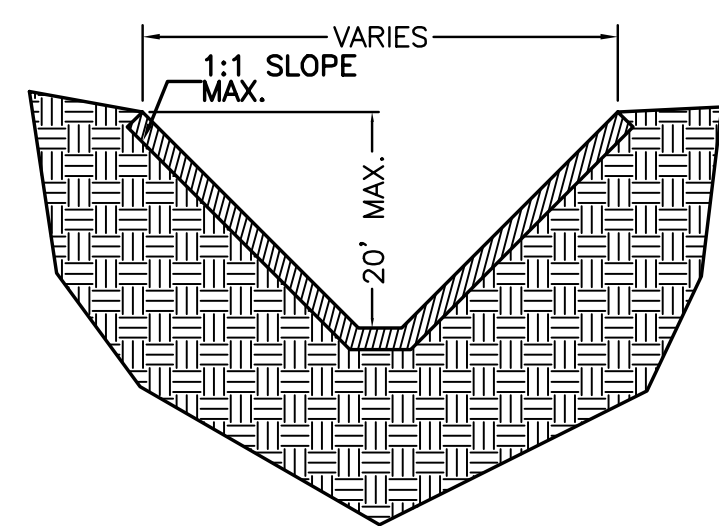


### WATER SHUTOFF NOTES:

The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://abcwua.org/content/view/463/729/>

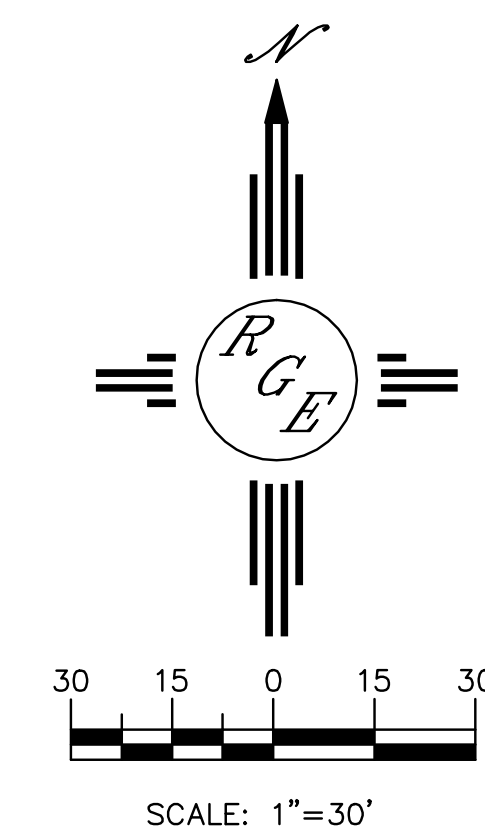
### LEGEND

- EXISTING STORM SEWER LINE
  - EXISTING SAS MANHOLE
  - EXISTING VALVE W/BOX
  - EXISTING WATER LINE
  - PROPOSED SD
  - PROPOSED METER
  - PROPOSED FIRE HYDRANT
  - EXISTING EDGE OF PAVEMENT
  - PROPOSED CURB & GUTTER
  - BOUNDARY LINE
  - CENTERLINE
  - RIGHT-OF-WAY
  - LOT LINES
  - EASEMENT
  - STREET LIGHTS
- CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR). CONTRACTOR SHALL REMOVE AND REPLACE STD C&G PER COA STD DWG 2415A. CONTRACTOR SHALL REMOVE AND REPLACE SW PER COA STD DWG 2430.-REMOVE TO NEAREST JOINT, MATCH FL ELEVATIONS



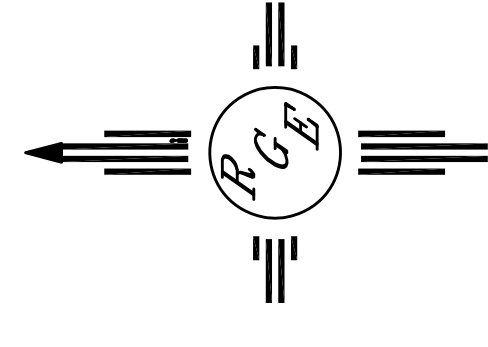
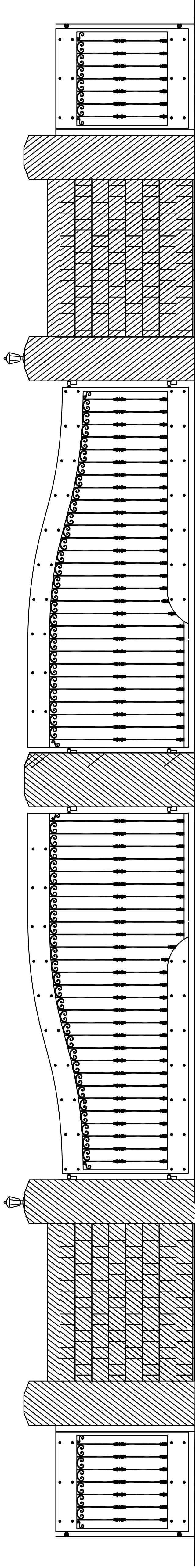
### SUPPLEMENTAL TRENCH DETAIL

NTS-PER FIGURE V:2-13 OSHA STANDARD SPECIFICATIONS  
NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.



ENGINEER'S SEAL	SILVEROAK ESTATES MASTER UTILITY PLAN	DRAWN BY WCVJ
DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER 12-18-15		DATE 12-18-15
DAVID SOULE P.E. #14522	Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0989	21525-LAYOUT-9-28-15
		SHEET # 4
		JOB # 21525





*R/G Engineering*  
 10000 W. 10th Ave. Suite 100  
 Aurora, CO 80015-3000  
 (303) 751-3000

PROJECT TITLE:  
 SILVER OAK SUBDIVISION

DRAWING TITLE:  
 GATE ELEVATION  
 PLAN

DATE: 09/06/13  
 PROJECT NO.: 21331  
 SEAL: DRAWING NO.:

**BLOCK WALL AND PILASTERS SHALL MAINTAIN SAME COLOR AND PATTERN AS PERIMETER WALL  
 GATE SHALL BE DISTRESSED (RUSTED) IRON WITH VINYARD PATTERN WORK**

**DRB 6.0**



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.**

\_\_\_\_\_  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

***Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.***

## Accompanying Material

- \_\_\_ A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- \_\_\_ B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 – SITE PLAN

### A. General Information

- \_\_\_ 1. Date of drawing and/or last revision
- \_\_\_ 2. Scale:
  - 1.0 acre or less 1" = 10'
  - 1.0 - 5.0 acres 1" = 20'
  - Over 5 acres 1" = 50'
  - Over 20 acres 1" = 100'
  - [other scales, if approved by staff]
- \_\_\_ 3. Bar scale
- \_\_\_ 4. North arrow
- \_\_\_ 5. Vicinity map
- \_\_\_ 6. Signature Block (for DRB site dev. plans)
- \_\_\_ 7. Property lines (clearly identify)
- \_\_\_ 8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
- \_\_\_ 9. Phases of development including location and square footages of structures, circulation, parking and landscaping
- \_\_\_ 10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## B. Proposed Development

### 1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

### 2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. **Location and typical dimensions**, including handicapped spaces
  - 2. **Calculations:** spaces required: \_\_\_\_\_ provided: \_\_\_\_\_

Handicapped spaces (included in required total) required: \_\_\_\_\_ provided: \_\_\_\_\_  
Motorcycle spaces (in addition to required total) required: \_\_\_\_\_ provided: \_\_\_\_\_
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: \_\_\_\_\_ provided: \_\_\_\_\_
  - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
  - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
  - 6. Existing and proposed street widths, right-of-way widths and curve radii
  - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 8. Location of traffic signs and signals related to the functioning of the proposal
  - 9. Identify existing and proposed medians and median cuts

### 3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
  - A. Type, location and size of trees (common and/or botanical names)
  - B. Type and location of all ground cover material (organic/inorganic)
  - C. Existing vegetation, indicating whether it is to be preserved or removed
  - D. Ponding areas either for drainage or landscaping/recreational use
  - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
  - A. Required and Provided Landscape Area – square footage and percent
  - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

## SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

### B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
  - A. Conceptual onsite drainage system
  - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

## SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
  - a. Identify facade orientation (north, south, east, & west)
  - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
  - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
  - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

### B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance

# SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist is used by the Planning Department to verify the completeness of site development plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Because development proposals vary in type and scale, there may be submittal requirements that are not specified here and Planning Staff may require additional information. Nonetheless, it is the applicant's responsibility to provide a complete submittal.

Site development plans should generally be composed of the following plan sheets. **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff**

## **SHEET # 1 – SITE PLAN** (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Vicinity Map
- 5. Signature Block (for DRB site dev. plans only)
- 6. The Site (property lines)
- 7. Current/Existing Zoning
- 8. Proposed Use(s) and List of Applicable Plans
- 9. Pedestrian Ingress and Egress (Access)
- 10. Vehicular Ingress and Egress (Access)
- 11. Any Internal Circulation Requirements
- 12. Existing easements with recording information
- 13. For each lot:
  - a. Maximum Building Height
  - b. Minimum Building Setback
  - c. Maximum Total Dwelling Units and / or
  - d. Maximum Floor Area Ratio (F.A.R.) for Nonresidential Uses

## **SHEET # 2 – CONCEPTUAL GRADING AND DRAINAGE PLAN**

- A. Conceptual Grading and Drainage Plan is required for the following:
- Commercial Development: The applicant shall consult with the City Engineer or his/her designee to determine what documentation is necessary to provide the EPC and/or DRB with an understanding of site topography and how it relates to adjacent property.
  - Residential Development, Volcano Heights Sector Development Plan, or other sector development plans that do not require a site development plan for building permit submittal: Show existing and proposed contours, Finished Floor Elevation, retaining wall heights, approximate street slopes, ponding and flood zone status.
- B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required to be submitted, but does not have to be approved at time of submittal.

**SHEET # 3 – DESIGN STANDARDS** (*OPTIONAL – beneficial if seeking delegation of EPC approval authority for future site development plans for building permit*)

## **ACCOMPANYING MATERIAL**

- A. Fee payment
- B. Complete application
- C. Written Summary of Request including a narrative describing compliance with applicable plans and/or zoning requirements per §14-16-3-11(B) of the Comprehensive Zoning Code.
- D. 8-1/2" x 11" reductions
- E. **Electronic Copy (pdf) of Site Development Plan**

# **SITE DEVELOPMENT PLAN FOR SUBDIVISION *CHECKLIST***

## **DESIGN STANDARDS FOR FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT**

In cases where sites are not governed by design regulations other than those in the Zoning Code, and where an applicant is requesting delegation of future phases of development or future site development plans for building permit to the DRB or other approval body, design standards shall be provided and approved by the EPC to guide future development. The Design Standards should be written so that they can be enforced by the DRB and/or Code Enforcement and should reference compliance with applicable plans and regulations. Since Zoning Code design requirements are considered minimal, the proposed Design Standards should go above and beyond what is already required by the Zoning Code.

At a minimum, the design standards should address the following categories.

### **Purpose/Intent or Site Plan Layout/Configuration**

- Overall layout of site and buildings, relationship to adjacent buildings and sites
- Building placement and orientation

### **Setbacks & Building Height**

- Minimum setback requirements
- Maximum building height requirements

### **Vehicular Access, Circulation and Parking**

- Parking location and design (parking should not dominate the street frontage; shared parking/cross parking is strongly encouraged)

### **Pedestrian Circulation and Bicycle Access**

- Pedestrian circulation and connectivity (internal and external)
- Public outdoor spaces including pedestrian amenities, shading, etc. (aggregate outdoor space is strongly encouraged)
- Connectivity to bicycle routes, lanes and trails

### **Screening**

- Screening/buffering techniques

### **Walls/Fences**

- Design and purpose of all walls and wall openings

### **Lighting and Security**

- Design and purpose of all lighting

### **Landscaping**

- Landscape buffers, sidewalks and other amenities in the public r-o-w
- Street trees – subject to the Street Tree Ordinance
- Overall landscape theme including plant palette and general location, height, and purpose of plants and trees
- Water conservation techniques

### **Architecture/Design**

- Context
- Architectural theme or style
- Scale, massing, materials, colors, and articulation



# **SITE DEVELOPMENT PLAN FOR SUBDIVISION *CHECKLIST***

## **Signage**

- Signage Plan indicating the general dimensions, location, colors, lighting and materials of all proposed signage.
- Freestanding and building mounted signs

## **Process**

- Identify the process the site plan intends to follow (is applicant requesting delegation of future phases of development or future site development plans for building permit to the DRB or other approval body).

These are other items that can be addressed and you can make your own category depending on site specifics.

- How to address topographic challenges/opportunities
- Sustainable techniques such as permeable paving and other “green” features
- WTF’s

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: SILVER OAKS DEVELOPER DATE OF REQUEST: 10/15/15 ZONE ATLAS PAGE(S): C18

**CURRENT:**

ZONING SU2-NC  
PARCEL SIZE (AC/SQ. FT.) 3.5

**LEGAL DESCRIPTION:**

LOT OR TRACT # 13, 14, 19, 20 BLOCK # 28  
SUBDIVISION NAME NORTH ALB ACRES

**REQUESTED CITY ACTION(S):**

ANNEXATION [ ]  
ZONE CHANGE [ ]: From \_\_\_\_\_ To \_\_\_\_\_  
SECTOR, AREA, FAC, COMP PLAN [ ]  
AMENDMENT (Map/Text) [ ]

**SITE DEVELOPMENT PLAN:**

SUBDIVISION\*  [ ] AMENDMENT [ ]  
BUILDING PERMIT [ ] ACCESS PERMIT [ ]  
BUILDING PURPOSES [ ] OTHER [ ]

\*includes platting actions

**PROPOSED DEVELOPMENT:**

NO CONSTRUCTION/DEVELOPMENT [ ]  
NEW CONSTRUCTION  [ ]  
EXPANSION OF EXISTING DEVELOPMENT [ ]

**GENERAL DESCRIPTION OF ACTION:**

# OF UNITS: 20  
BUILDING SIZE: 2500 (sq. ft.)

**Note:** changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE *MA* DATE 10/29/15

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>nd</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO [ ] BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO [ ] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [ ]  
Notes:

**If a TIS is required:** a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

\_\_\_\_\_  
TRAFFIC ENGINEER

\_\_\_\_\_  
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED    /   /     
-FINALIZED    /   /   

\_\_\_\_\_  
TRAFFIC ENGINEER

\_\_\_\_\_  
DATE



# DEVELOPER INQUIRY SHEET

To obtain NA/HOA Contact Information for Application Submittal to the Planning Department.

The Office of Neighborhood Coordination (ONC) located in Room 440 (4th floor) of the Plaza Del Sol Building, 600 Second Street NW is where you obtain neighborhood and homeowner association information for your planning submittal.

You can submit your *Developer Inquiry Sheet* in the following ways: 1) In person at the address listed above; 2) Fax it to (505) 924-3913; or 3) E-mail it with the zone map to BOTH: Stephani Winklepleck at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) and Dalaina Carmona at [dcarmona@cabq.gov](mailto:dcarmona@cabq.gov).

ONC will need the following information **BEFORE** any neighborhood or homeowner association information is released you. If you have questions, please feel free to contact our office at (505) 924-3914.

**Zone map and this Developer Inquiry Sheet MUST be provided with request**

*Please mark zone map to indicate where the property is located*

*Developer Inquiry is for the following (mark the one that applies):*

**Cell Tower Submittal: [ ] Free-Standing Tower -OR- [ ] Concealed Tower**

**[ ] EPC Submittal [x] DRB Submittal [ ] LUCC Submittal [ ] Liquor Submittal**

**[ ] AA Submittal [ ] City Project Submittal [ ] ZHE Submittal (need address/zone map # only)**

Contact Name: DAVID SOULE

Company Name: RIO GRANDE ENGINEERING

Address/Zip: PO BOX 93924

Phone: 505.321.9099 Fax: 505.872.0999 E-mail: david@riograndeengineering.com

## **Legal Description Information**

Describe the legal description of the subject site for this project below:

*(i.e., Lot A, Block A, of the XYZ Subdivision)*

LOTS 13,14,19,20 BLOCK 28, TRACT A UNIT B NORTH ALBUQUERQUE ACES

Located On ALAMEDA NE  
*street name (ex. - 123 Main St. NW) or other identifying landmark*

Between SAN PEDRO NE and  
*street name or other identifying landmark*

LOUISIANA NE  
*street name or other identifying landmark*

The site is located on the following zone atlas page (C-18).