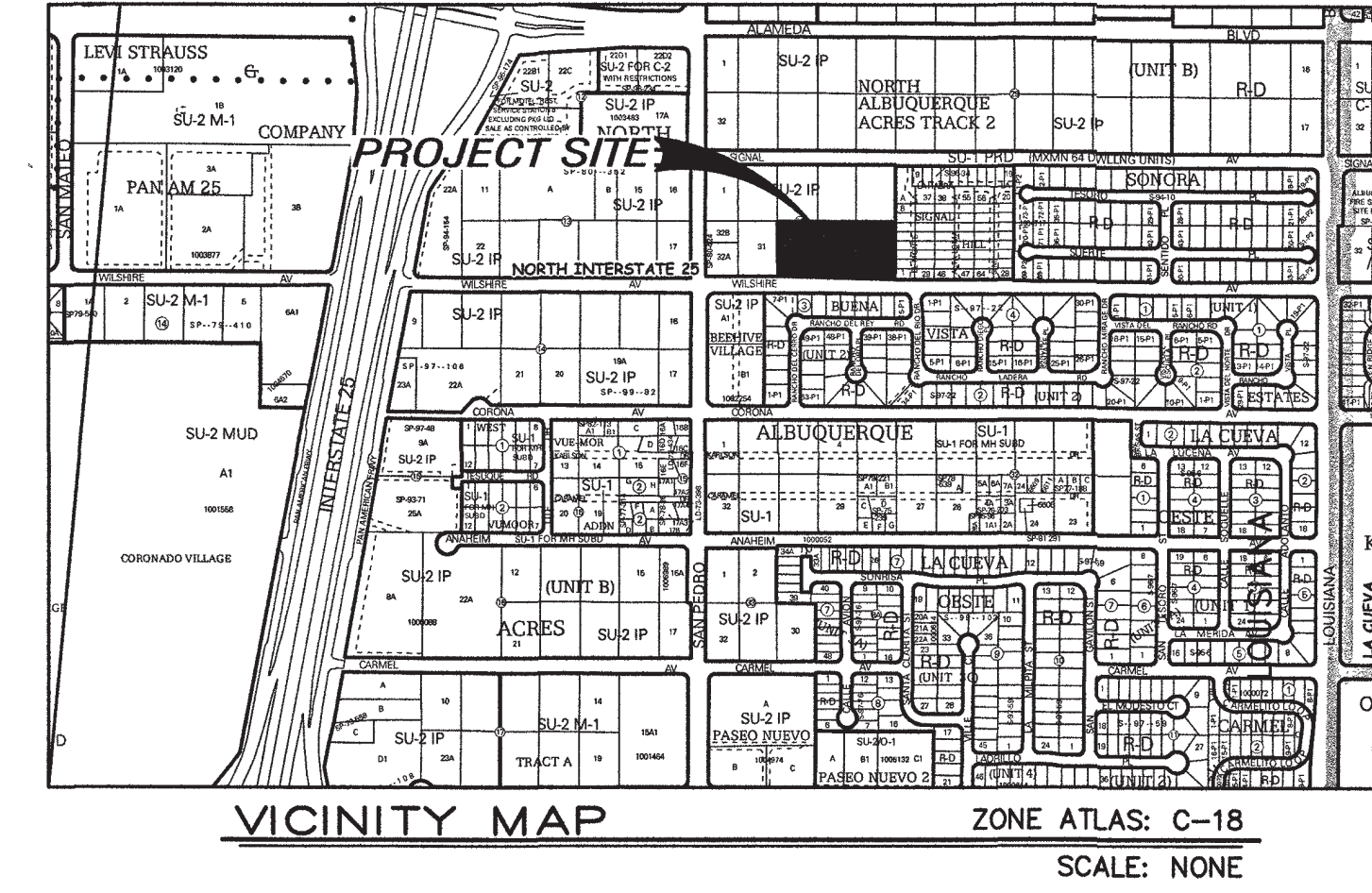
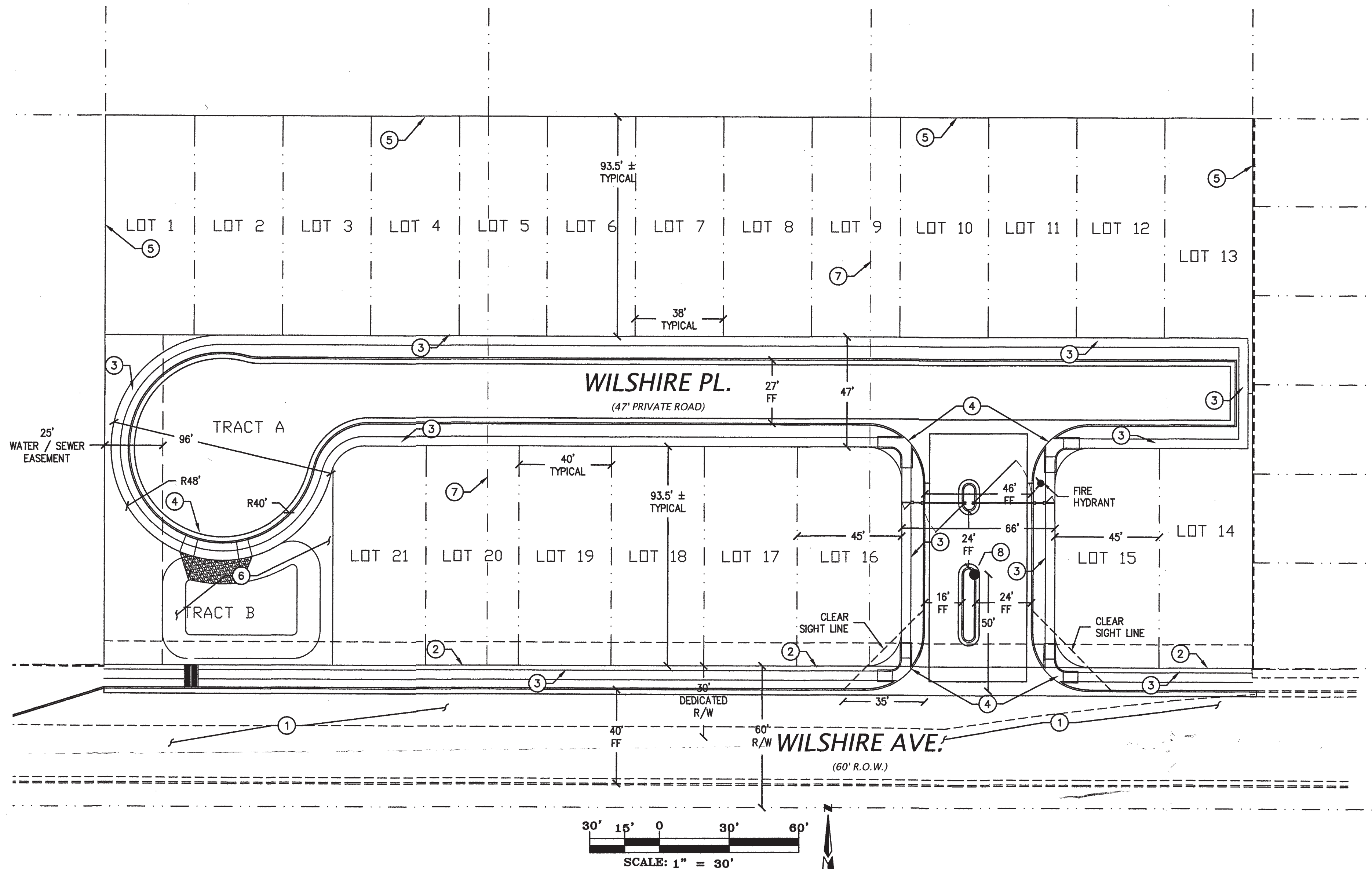


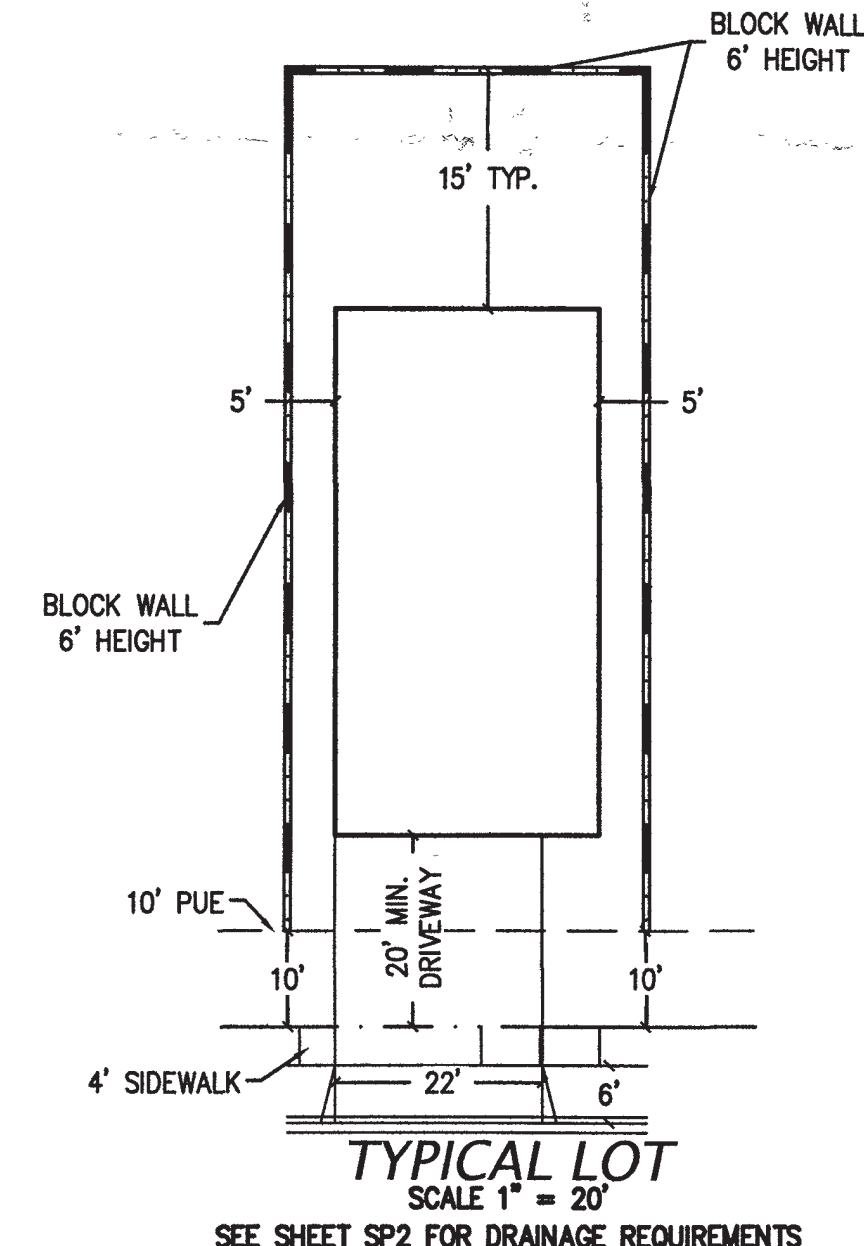
SITE DEVELOPMENT PLAN - WILSHIRE PLACE SUBDIVISION



LEGAL DESCRIPTION
 WILSHIRE PLACE SUBDIVISION
 (BEING A REPLAT OF LOT 28-30, BLOCK 30,
 TRACT A, UNIT B)
 WITHIN NORTH ALBUQUERQUE ACRES IN PROJECTED
 SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST
 ELENA CALLEGOS LAND GRANT NEW MEXICO
 PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

SUBDIVISION DATA
 PROJECT LOCATION
 ON WILSHIRE AVE. EAST OF SAN PEDRO BLVD.
 ZONE ATLAS MAP: C-18
 GROSS ACERAGE: 2.58 AC
 NUM. OF LOTS COMBINED: 3
 NUM. OF LOTS CREATED: 21
 NUM. OF TRACTS CREATED: 1
 TRACT A AREA (DRAINAGE AREA): 0.1526 AC
 EXISTING ZONING: SU-2
 DATE OF SURVEY: JANUARY 2018

BUILDING DATA
 MAXIMUM DWELLING UNITS: 21
 MAXIMUM BUILDING HEIGHT: 26'
 MINIMUM BUILDING SETBACKS:
 PER NORTH I-25 SDP
 FRONT: 15'
 BACK: 15'
 DRIVEWAY: 20'
 SIDE: 5'
 STREET SIDE AT CORNER: 10'



SITE INFORMATION

- INTRODUCTION**
 THE PROPOSED DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE AND THE FOLLOWING SITE REGULATIONS:
- SITE DESIGN**
 - OVERALL LAYOUT OF SITE**
 THE REPLAT WILL CONSOLIDATE THREE (3) LOTS INTO TWENTY TWO (21) SINGLE FAMILY RESIDENTIAL LOTS. THE RESIDENTIAL BUILDINGS SHALL BE ARRANGED ALONG AN EAST-WEST ORIENTED PRIVATE ROADWAY WITH A VEHICULAR ACCESS TO WILSHIRE AVE. THE RESIDENTIAL BUILDINGS SHALL BE SITUATED WITH FRONT ENTRANCES FACING THE PRIVATE WAY. 6' HIGH AUTOMATIC WROUGHT IRON VEHICULAR GATES AND KEYPAD FLANKED WITH 5' HIGH PEDESTRIAN GATES SHALL SECURE THE DEVELOPMENT. 4' PEDESTRIAN WALKWAYS TRAVERSE BOTH SIDES OF THE ROADWAY PROVIDING PEDESTRIAN CIRCULATION BETWEEN RESIDENCES. THE PEDESTRIAN WALKWAYS ALSO CONNECT TO THE PROPOSED PUBLIC SIDEWALKS ON WILSHIRE AVE. THE SINGLE FAMILY RESIDENCES SHALL BE TWO STORY AND ONE STORY WITH GARAGES FACING THE ROADWAY. A COMMON DRAINAGE AREA WILL ACCOMMODATE DRAINAGE REQUIREMENTS FROM ALL LOTS.
 - BUILDING PLACEMENT, ORIENTATION, SETBACKS**
 THE RESIDENTIAL FRONT ENTRIES AND GARAGE DOORS SHALL FACE THE SUBDIVISION ROADWAY. A CONCRETE DRIVEWAY (20' MINIMUM LENGTH) SHALL PROVIDE ACCESS TO THE TWO CAR GARAGES. FRONT YARD SETBACK SHALL BE FIFTEEN FEET (15') EXCEPT THAT DRIVEWAYS SHALL BE TWENTY FEET (20') LONG. SIDE YARD SETBACK SHALL BE FIVE FEET (5'). STREET SIDE CORNER SIDE YARD SETBACK SHALL BE TEN FEET (10'). REAR YARD SETBACK SHALL BE FIFTEEN FEET (15'). BUILDING HEIGHTS RANGE FROM 16' AT SINGLE STORY PEAK TO 26' AT TWO STORY PEAK.
 - PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)**
 THE SITE IS CONNECTED TO THE SURROUNDINGS. WILSHIRE AVE. VEHICULAR AND PEDESTRIAN ACCESS LIES TO THE SOUTH AND A BIKEWAY LIES TO THE NORTH ON ALAMEDA. INTERNAL TO THE SITE, 4' SIDEWALKS ON BOTH SIDES OF THE ROADWAY CONNECT EACH RESIDENCE WITH ITS NEIGHBOR. THE NEW PUBLIC SIDEWALKS ON WILSHIRE AVE. ADA RAMPS AT APPROPRIATE ROADWAY CORNERS PROVIDE HANDICAP ACCESSIBILITY TO THE DEVELOPMENT. THE PROPOSED ROADWAY PROVIDES A CUL-DE-SAC CONFIGURATION WITH ONE INGRESS/EGRESS ROAD THAT CONNECTS TO WILSHIRE AVE. SIDEWALK CONNECTIONS WILL PROVIDE DIRECT ACCESS TO THE BUS TRANSIT STOP AT THE INTERSECTION OF SAN PEDRO AND ALAMEDA BLVD.
 - PARKING LOCATION AND DESIGN**
 THE REQUIRED PARKING IN ACCORDANCE WITH THE NORTH I-25 SDP:
 2 SPACES FOR UNITS WITH 3+ BEDROOMS
 1.5 SPACES FOR UNITS WITH 2 BEDROOMS
 1 SPACE FOR UNITS WITH 1 BEDROOM
 THE OFF STREET RESIDENT PARKING FOR THE SITE IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. FOUR PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO CAR GARAGES. THE ROADWAY WILL BE LINED ON BOTH SIDES WITH RESIDENT-PROVIDED PLANTINGS WHICH WILL ENHANCE THE RESIDENTIAL CHARACTER OF THE DEVELOPMENT.
 - REFUSE & RECYCLE PICKUP**
 RECYCLE AND REFUSE PICKUP SHALL BE INDIVIDUAL CART TYPE WITH WEEKLY SCHEDULED PICKUP TIMES.
 - LOCATION, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS**
 THE DEVELOPMENT BLOCK WALLS PROVIDE PRIVACY AND SECURITY FOR THE RESIDENTS. ALL WALLS AND FENCES ARE SUBJECT TO THE I.D.O.. THEY SHALL BE EXPOSED BLOCK WITH REPEATING PATTERNS AND VARIEGATED TEXTURES.
 - LOCATION, HEIGHT, DESIGN AND PURPOSE OF LIGHTING**
 LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. RESIDENCE-MOUNTED LIGHTING ELEMENTS SHALL BE INCANDESCENT, METAL HALIDE OR HALOGEN ONLY. RESIDENCE MOUNTED FLOODLIGHTS (MAXIMUM 75 WATT BULBS) SHALL BE SHIELDED OR AIMED IN SUCH A WAY THAT THEY DO NOT SHINE INTO OTHER LOTS OR THE STREET.
 - STREET REALM**
 - TRANSIT, BICYCLE, PEDESTRIAN AMENITIES**
 THE SITE IS ACCESSIBLE TO TRANSIT ROUTES ON ALAMEDA BLVD., WHICH IS A PRINCIPAL ARTERIAL CITY OF ALBUQUERQUE "ARQ RIDE" BUS STOP IS LOCATED AT SAN PEDRO DR. AND ANAHEIM BLVD ONE-HALF BLOCK FROM THE DEVELOPMENT. THE SITE ADJUTS A PROPOSED CITY DESIGNATED BIKE ROUTE ON ALAMEDA BLVD. N.E. WHICH WILL EXTEND TO LOUISIANA BLVD. N.E.

- LANDSCAPING**
 LANDSCAPING IS A KEY TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS. PLANT SPECIES WILL BE LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER AND SCALE OF THE SURROUNDING NEIGHBORHOOD.
 - REQUIREMENTS**
 A CLEAR SITE TRIANGLE AT INTERSECTIONS MUST BE MAINTAINED 35 FEET FROM INTERSECTING FLOW LINES OF GUTTERS. A VERTICAL CLEARANCE BETWEEN 3 AND 8 FEET MEASURED FROM THE GUTTER PAN MUST BE FREE OF VISUAL OBSTRUCTION. TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. UNDER-STORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 8'.
 - WATER CONSERVATION TECHNIQUES**
 THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.
- BUILDING DESIGN**
 BUILDING DESIGN SHALL COMPLY WITH THE BUILDING DESIGN REGULATIONS OF THE NORTH I-25 SDP.
 - CONTEXT**
 THE PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. EXISTING INDUSTRIAL AND WHOLESALE WAREHOUSING USES EXIST SIDE BY SIDE WITH RESIDENTIAL DEVELOPMENTS. NUMEROUS COMMERCIAL USES ARE IN EVIDENCE EAST OF THE I-25/ALAMEDA INTERCHANGE. ON THE SOUTH ARE MULTI STORY HOTELS SUCH AS THE STAYBRIDGE AND THE BURGER KING FAST FOOD ESTABLISHMENT. ON THE NORTH, NUMEROUS VEHICLE DEALERSHIPS ARE ARRAYED ALONG THE NORTHBOUND INTERSTATE. THESE INCLUDE AMERICAN TOYOTA AND MERCEDES BENZ OF ALBUQUERQUE.
 - ARCHITECTURAL THEME OR STYLE**
 THE PROPOSED RESIDENTIAL BUILDING DESIGNS SHALL BE CONSISTENT WITH THE PREDOMINANT NEIGHBORING RESIDENTIAL DEVELOPMENTS. BOTH TWO AND ONE STORY CONFIGURATIONS WILL BE USED. ARCHITECTURAL STYLES SHALL RANGE FROM PITCHED SHINGLE ROOF/FRAME-STUCCO DESIGN TO FLAT ROOF/FRAME-STUCCO DESIGN. PARAPETS FOR FLAT ROOF DESIGNS SHALL NOT EXCEED 15% OF THE HEIGHT OF THE SUPPORTING WALL AND SHALL SHIELD THE VIEW OF THE ROOF MATERIAL FROM ANY PUBLIC OR PRIVATE RIGHT-OF-WAY. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".
 - BUILDING HEIGHT, SCALE, MASSING, MATERIALS, COLORS**
 ARTICULATION THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE A RESIDENTIAL NEIGHBORHOOD RESPONSE TO THE SITE. THE BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING THE ROADWAY. THE BUILDING DESIGNS SHALL INCORPORATE PRUDENT USE OF BOTH VERTICAL AND HORIZONTAL ARTICULATION AS APPROPRIATE TO RESIDENTIAL DESIGN. AN EARTH TONED PALETTE THAT GENERALLY INCLUDE YELLOW OCHRES, BROWNS, DULL REDS, AND GREY GREENS SHALL BE IN EVIDENCE AT ALL OF THE EXTERIOR BUILDING WALLS AND SURROUNDING PROPERTY LINE WALLS.
 - SCREENING OF UNDESIRABLE MATERIALS**
 WHEN FEASIBLE, MECHANICAL EQUIPMENT ON THE ROOF SHOULD NOT BE VISIBLE OR SHOULD BE SCREENED FROM ALL VANTAGE POINTS. SCREENING SHALL BE CONSISTENT WITH THE BUILDINGS ARCHITECTURAL DESIGN, MATERIALS AND FINISHES. GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICES.
- ACCESS AND UTILITY EASEMENTS**
 ACCESS AND UTILITY EASEMENTS SHALL BE FOR THE BENEFIT OF ALL LOTS. MAINTENANCE OF THE EASEMENTS AND IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION/

KEYED NOTES

- 30' ROW DEDICATION
- PERIMETER MASONRY DECORATIVE WALL 6' TO 8' HEIGHT
- 4' SIDEWALK
- CURB OPENING AND ADA RAMP
- MASONRY PLAIN FACE WALL 6' HEIGHT
- DRAINAGE AREA, SEE SP2 DRAINAGE AND GRADING PLAN
- LOT LINE TO BE REMOVED
- GATE KEYPAD AND EMERGENCY KNOX BOX

LEGEND

- PROPERTY LINE
- NEW CURB AND GUTTER & SIDEWALK
- EX CURB AND GUTTER & SIDEWALK

SHEET LIST

SHEET NUMBER	SHEET NAME
SP1	SITE DEVELOPMENT PLAN
SP2	GRADING AND DRAINAGE PLAN
SP4	MASTER PAVING PLAN
SP5	MASTER UTILITY PLAN

No.	Revision/Issue	Date

**WILSHIRE PLACE
 SITE DEVELOPMENT PLAN**
 Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
 300 BRANDING IRON RD. SE
 RIO RANCHO, NEW MEXICO 87124
 Phone: (505) 410-1622

Project Number: 1010656
 Application Number: 18 DRB-7016
 DRB SITE DEVELOPMENT PLAN APPROVAL:
 [Signature] DATE 9/12/18
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
 [Signature] DATE 09-12-18
 UTILITIES DEVELOPMENT
 [Signature] DATE 9/12/18
 PARKS AND RECREATION DEPARTMENT
 CODE ENFORCEMENT
 [Signature] DATE 9/12/2018
 CITY ENGINEER
 * ENVIRONMENTAL HEALTH DEPARTMENT - CONDITIONAL DATE
 SOLID WASTE MANAGEMENT DATE 9-12-18
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

Sheet Title	Sheet Number
SITE PLAN	SP1
Date	AUGUST 10, 2018
Project No.	1010656

SITE DEVELOPMENT PLAN - WILSHIRE PLACE SUBDIVISION

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 2.65 ACRES LOCATED ON THE SOUTH SIDE OF WILSHIRE AVENUE EAST OF SAN PEDRO BLVD. AS SEEN ON THE VICINITY MAP. THE SITE IS UNDEVELOPED. THE ADJACENT PROPERTY TO THE EAST IS DEVELOPED HIGH DENSITY WALLED COMMUNITY AND TO THE WEST WITH A COMMERCIAL SITE. THE PROPOSED DEVELOPMENT WILL BE TWENTY TWO (22) SINGLE FAMILY RESIDENTIAL LOTS ON A CUL-DE-SAC.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141 G, DATED APRIL 2, 2002 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING AHYMO SOFTWARE.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

EXISTING DRAINAGE

THE EXISTING DRAINAGE FROM THE SITE IS 5.88 CFS. THE FLOW DISCHARGES TO THE LOT WEST OF THE SITE AND ARE ACCEPTED IN THE GRADING AND DRAINAGE PLAN FOR THE LOT (C18D070). THE FLOW THEN CONTINUES TO WILSHIRE AVENUE.

DEVELOPED CONDITION

THIS SITE WILL BE DEVELOPED WITH A SINGLE STREET INTERCEPTING ALL OF THE SITE RUNOFF. THE RUNOFF WILL DISCHARGE INTO THE PROPOSED DETENTION POND. PER THE NORTH ALBUQUERQUE ACRES MASTER DRAINAGE PLAN, THE SITE HAS AN ALLOWABLE DISCHARGE OF 3.47 CFS/AC WITH A TOTAL DISCHARGE OF 9.20 CFS. THE POND OUTFALL WILL BE CONSTRUCTED TO RESTRICT FLOWS TO 8.38 CFS.

REQUIRED FIRST FLUSH VOLUME

OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RETENTION INDICATED. THE TOTAL VOLUME SHALL BE EQUAL TO:

IMPERVIOUS AREA * (0.44-0.10)/12 IN CUBIC FEET.
IMPERVIOUS AREA = 2,050 SQ.FT./LOT * 21 + 32,471 SQ.FT. ROW = 75,395 SQ.FT.

REQUIRED VOLUME = 75,395 * (0.44-0.10)/12 = 2,136 CU.FT.
VOLUME PROVIDED = 2,259 CU.FT.

HYDROLOGIC DATA - EXISTING

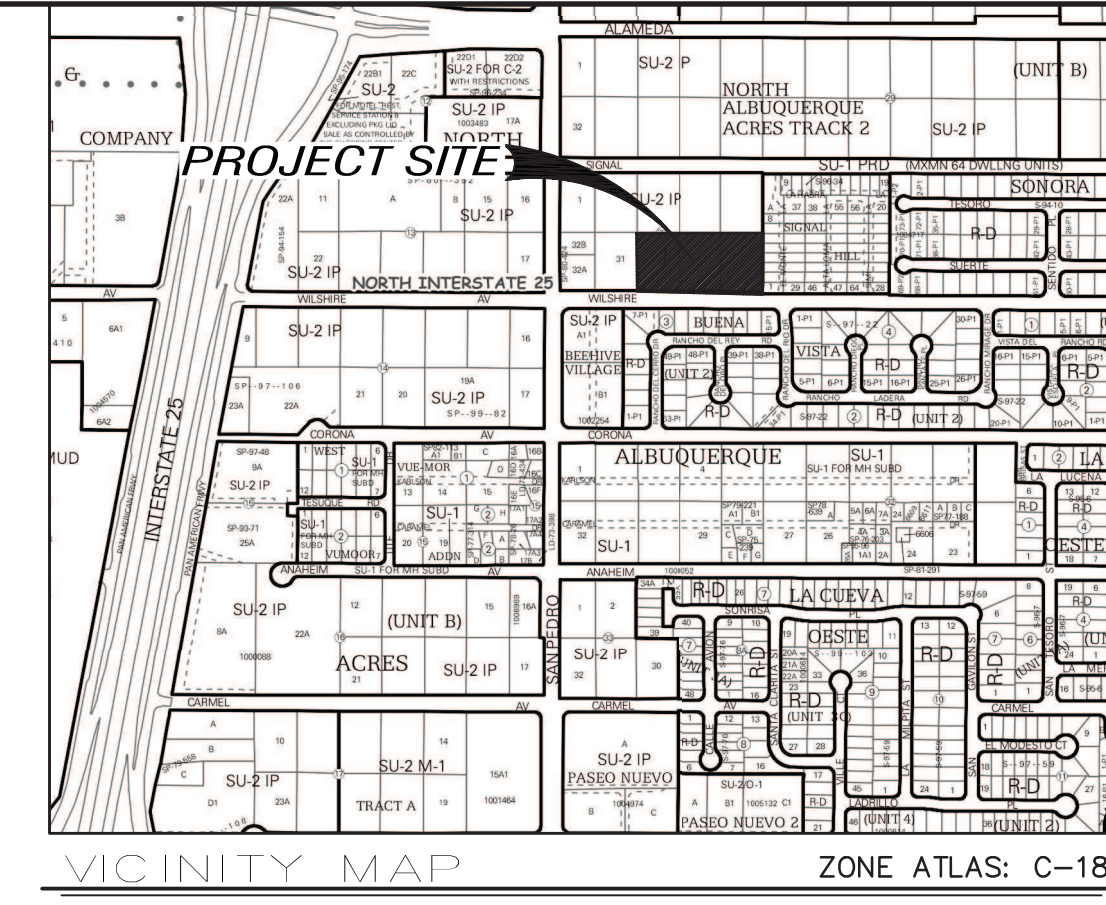
BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
X1	2.65	0	100	0	0	2.21	5.88	0.20

HYDROLOGIC DATA - PROPOSED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
P1	2.65	0	0	35	65	4.02	10.68	0.50
POND						3.07	8.38	0.46

HYDRAULIC SUMMARY

AP	DESCRIPTION	Q ¹⁰⁰ (cfs)
AP-1	POND IN	10.68
AP-2	POND OUT	8.38



- ### KEYED NOTES
- 1 PERIMETER MASONRY DECORATIVE WALL 6' TO 8' HEIGHT
 - 2 MASONRY PLAIN FACE WALL 6' HEIGHT
 - 3 POND DISCHARGE STRUCTURE WITH INLET CONTROL DISCHARGE
 - 4 15' CURB OPENING WITH DEPRESSED SIDEWALK
 - 5 COBBLE EROSION PROTECTION - D50>6"
 - 6 RETAINING WALL
 - 7 SIDEWALK CULVERT
 - 8 INSTALL STANDARD CURB AND GUTTER
 - 9 INSTALL MOUNTABLE CURB AND GUTTER

ACS BM 9-C18 THE STATION IS LOCATED 7.75 MILES NORTHEAST OF DOWNTOWN ALBUQUERQUE. FROM THE INTERSECTION OF I-40 AND LOUISIANA BOULEVARD NE GO NORTH ON LOUISIANA BOULEVARD 5.8 MILES TO WILSHIRE AVENUE. GO WEST ON WILSHIRE AVENUE 0.5 MILE TO SAN PEDRO BOULEVARD AND THE STATION ON THE LEFT. THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 INCH ALUMINUM DISC RIVETED TO A PIPE 0.05 FEET BELOW GROUND AND IS STAMPED 9-C18 1985-X=1542501.428 Y=1521497.624 (NAD 83) ELEV=5232.47 (NAVD 1988)

RON E. HENSELEY
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW MEXICO
LICENSE NO. 24850

AUG 10 2018
CONCEPTUAL GRADING PLAN
NOT FOR CONSTRUCTION

SCALE: 1" = 20'

- ### LEGEND
- AP-1 HYDRAULIC ANALYSIS POINT
 - RIP RAP
 - EL=11.28 PROPOSED ELEVATION
 - 66.33 EXISTING ELEVATION
 - DRAINAGE / GRADE BREAK
 - 99 PROPOSED CONTOUR
 - 99 EXISTING CONTOUR
 - PROPOSED EASEMENT
 - GRADE % PROPOSED GRADE
 - EXISTING WALL
 - PROPOSED WALL
 - PROPERTY LINE
 - NEW CURB AND GUTTER & SIDEWALK
 - EX CURB AND GUTTER & SIDEWALK

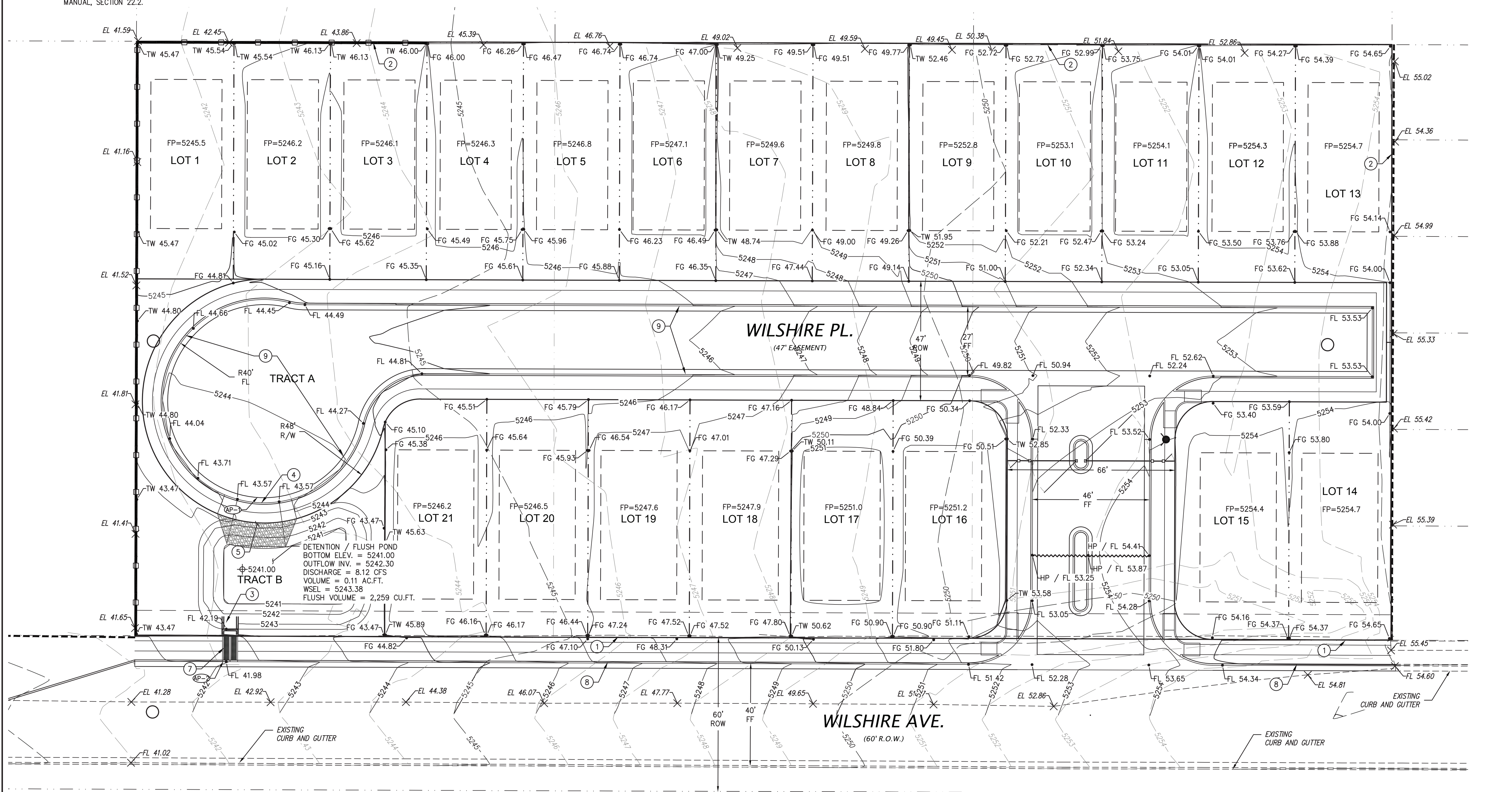
No.	Revision/Issue	Date

WILSHIRE PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico

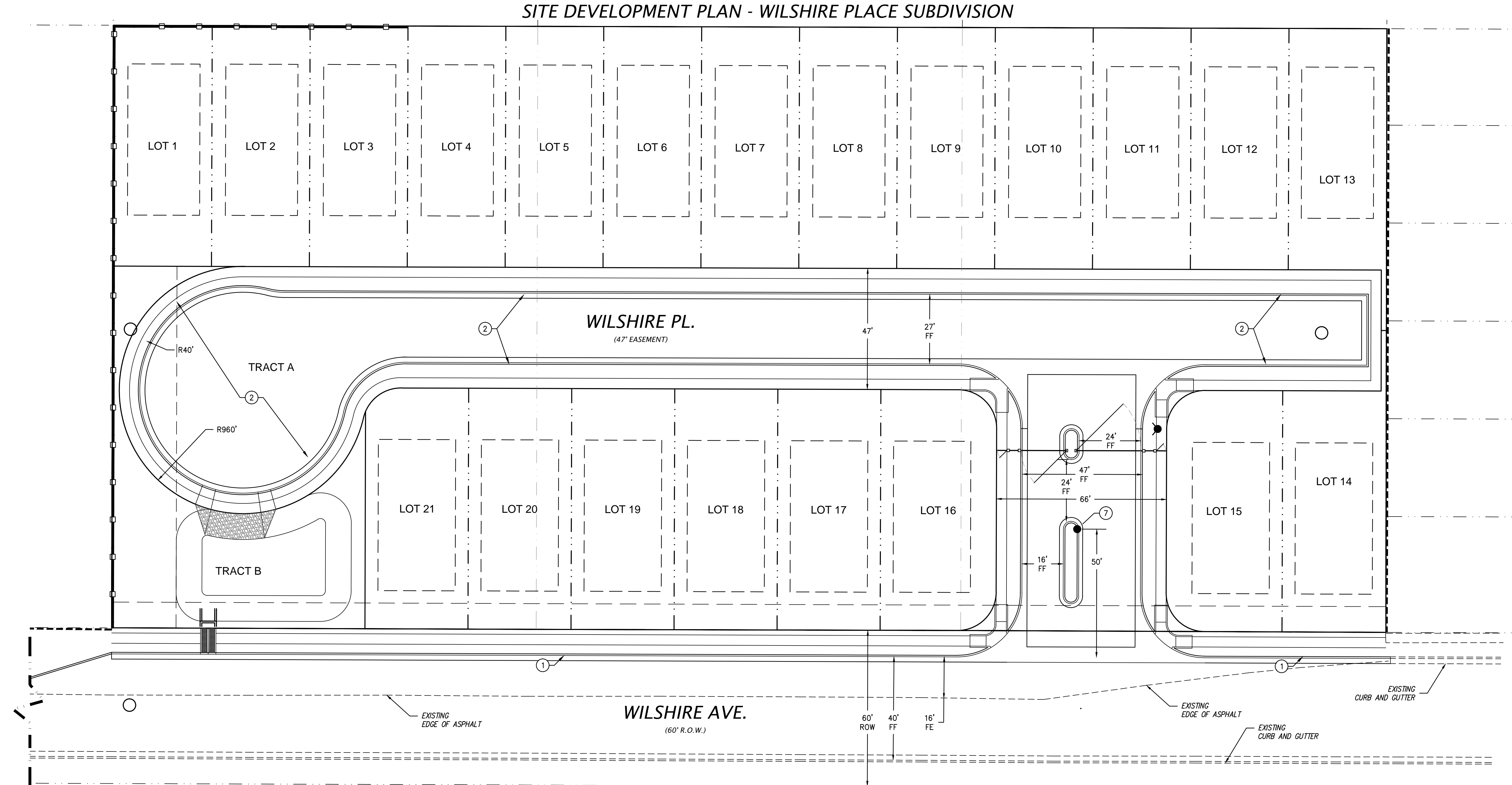
THE group

THE HENSELEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

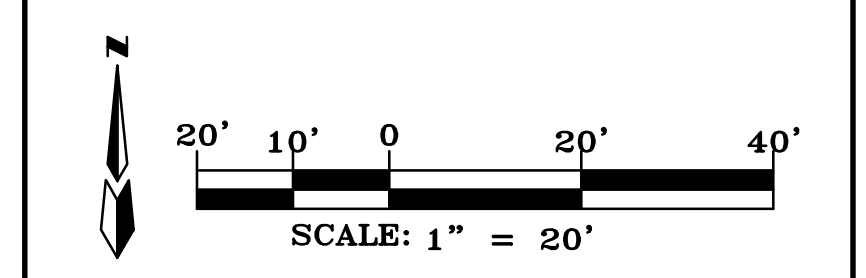
Sheet Title DRAINAGE AND CONCEPTUAL GRADING PLAN	Sheet Number SP2
Date AUGUST 10, 2018	Project No.



SITE DEVELOPMENT PLAN - WILSHIRE PLACE SUBDIVISION



- KEYED NOTES
- ① INSTALL STANDARD CURB AND GUTTER
 - ② INSTALL MOUNTABLE CURB AND GUTTER
 - ③ 4' SIDEWALK
 - ④ CURB OPENING AND ADA RAMP
 - ⑤ 15' CURB OPENING WITH DEPRESSED SIDEWALK
 - ⑥ SIDEWALK CULVERT
 - ⑦ GATE KEYPAD AND EMERGENCYKNOX BOX

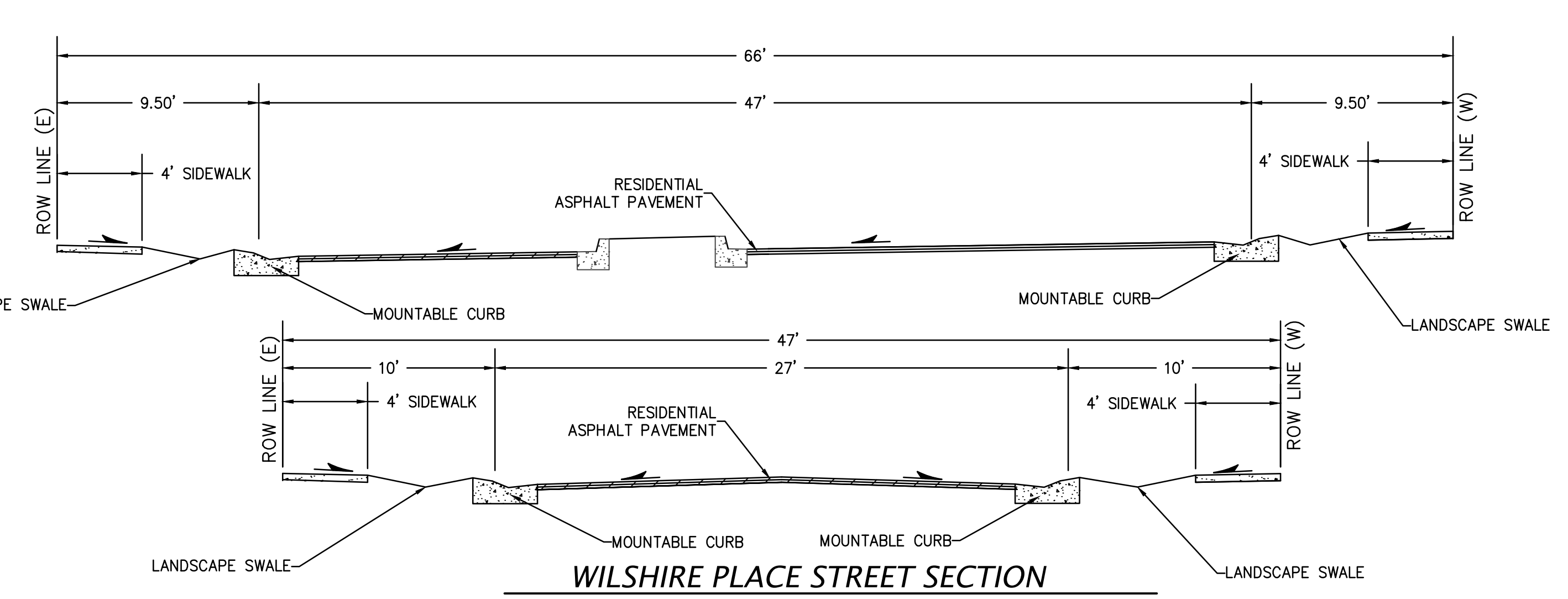
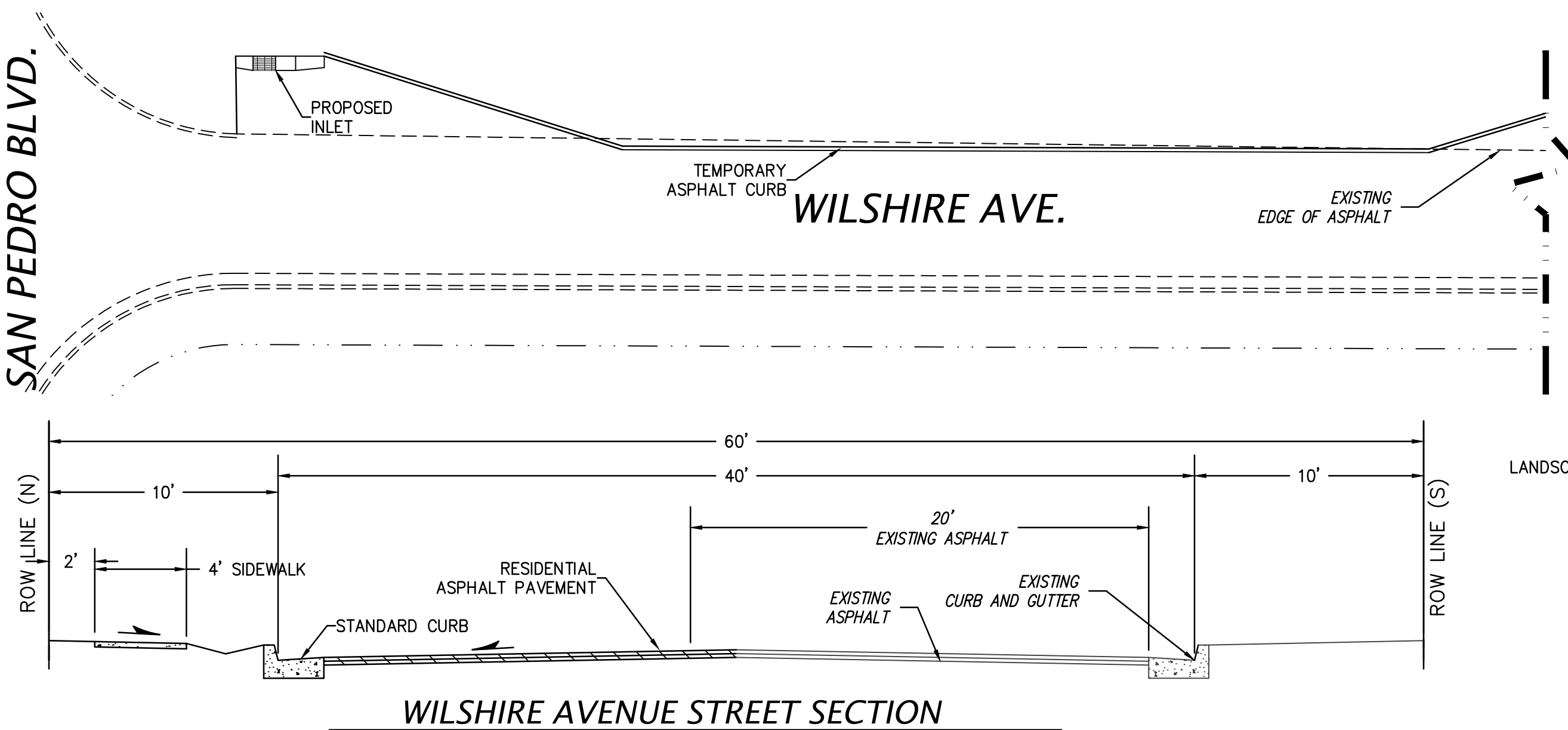


No.	Revision/Issue	Date

WILSHIRE PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico

THE group
THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

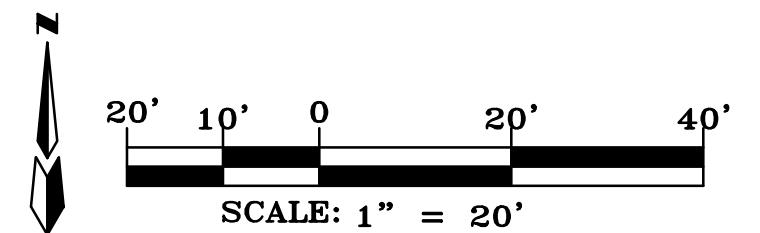
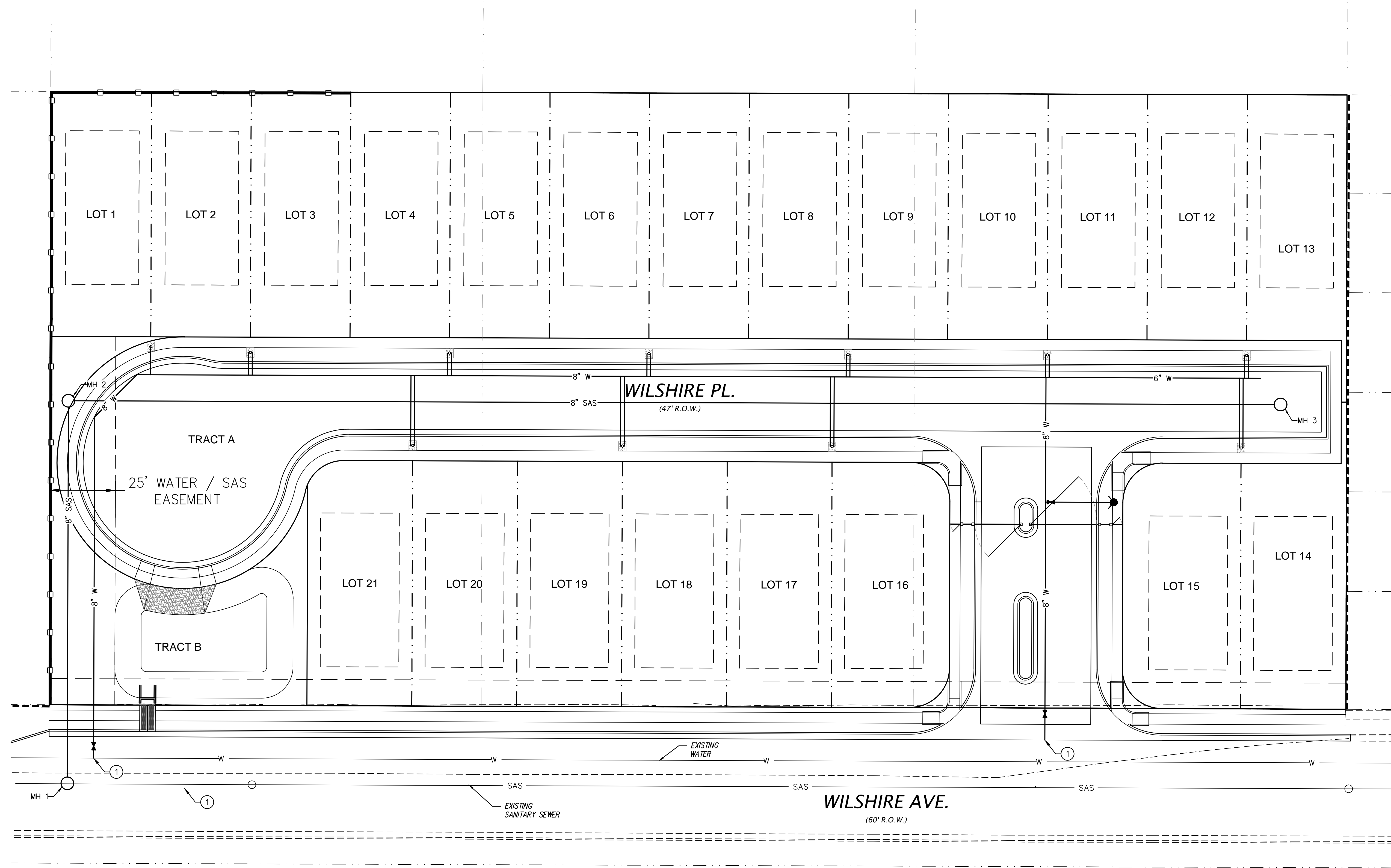
Sheet Title DPAVING PLAN	Sheet Number SP3
Date FEBRUARY 105, 2008	Project No.



SITE DEVELOPMENT PLAN - WILSHIRE PLACE SUBDIVISION

○ KEYED NOTES

- ① CONNECT TO EXISTING
- ② NEW FIRE HYDRANT



No.	Revision/Issue	Date

WILSHIRE PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

Sheet Title UTILITY PLAN	Sheet Number SP4
Date FEBRUARY 10, 2008	
Project No.	