



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1010656
Application No. 18DRB-70160-70161-70162

TO:

- Kym Dicome, DRB Chair, Planning Department**
- James Hughes, P.E., Hydrology**
- Racquel Michel, P.E., Transportation Development**
- Kris Cadena, P.E., Albuquerque/ Bernalillo Co. WUA**
- Ben McIntosh, Code Enforcement**
- Jason Coffey, Parks/Municipal Development**

NOTE: PDF Required

***(Please attach this sheet with each collated set per board member)**

NEXT HEARING DATE: 8/29/2018

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: REVISED SITE PLAN, PRELIMINARY PLAR AND INFRASTRUCTURE LIST

CONTACT NAME: RON HENSLEY

TELEPHONE: 505-410-1622 **EMAIL:** ron@thegroup.cc

SITE DEVELOPMENT PLAN - WILSHIRE PLACE SUBDIVISION

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 2.65 ACRES LOCATED ON THE SOUTH SIDE OF WILSHIRE AVENUE EAST OF SAN PEDRO BLVD. AS SEEN ON THE VICINITY MAP. THE SITE IS UNDEVELOPED. THE ADJACENT PROPERTY TO THE EAST IS DEVELOPED HIGH DENSITY WALLED COMMUNITY AND TO THE WEST WITH A COMMERCIAL SITE. THE PROPOSED DEVELOPMENT WILL BE TWENTY TWO (22) SINGLE FAMILY RESIDENTIAL LOTS ON A CUL-DE-SAC.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141 G, DATED APRIL 2, 2002 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING AHYMO SOFTWARE.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

EXISTING DRAINAGE

THE EXISTING DISCHARGE FROM THE SITE IS 5.88 CFS. THE FLOW DISCHARGES TO THE LOT WEST OF THE SITE AND ARE ACCEPTED IN THE GRADING AND DRAINAGE PLAN FOR THE LOT (C18D070). THE FLOW THEN CONTINUES TO WILSHIRE AVENUE.

DEVELOPED CONDITION

THIS SITE WILL BE DEVELOPED WITH A SINGLE STREET INTERCEPTING ALL OF THE SITE RUNOFF. THE RUNOFF WILL DISCHARGE INTO THE PROPOSED DETENTION POND. PER THE NORTH ALBUQUERQUE ACRES MASTER DRAINAGE PLAN, THE SITE HAS AN ALLOWABLE DISCHARGE OF 3.47 CFS/AC WITH A TOTAL DISCHARGE OF 9.20 CFS. THE POND OUTFALL WILL BE CONSTRUCTED TO RESTRICT FLOWS TO 8.12 CFS.

REQUIRED FIRST FLUSH VOLUME

OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RETENTION INDICATED. THE TOTAL VOLUME SHALL BE EQUAL TO:
 IMPERVIOUS AREA * (0.44-0.10)/12 IN CUBIC FEET.
 IMPERVIOUS AREA = 2,050 SQ.FT./LOT * 21 + 32,471 SQ.FT. ROW = 75,395 SQ.FT.

REQUIRED VOLUME = 75,395 * (0.44-0.10)/12 = 2,136 CU.FT.
 VOLUME PROVIDED = 2,259 CU.FT.

HYDROLOGIC DATA - EXISTING

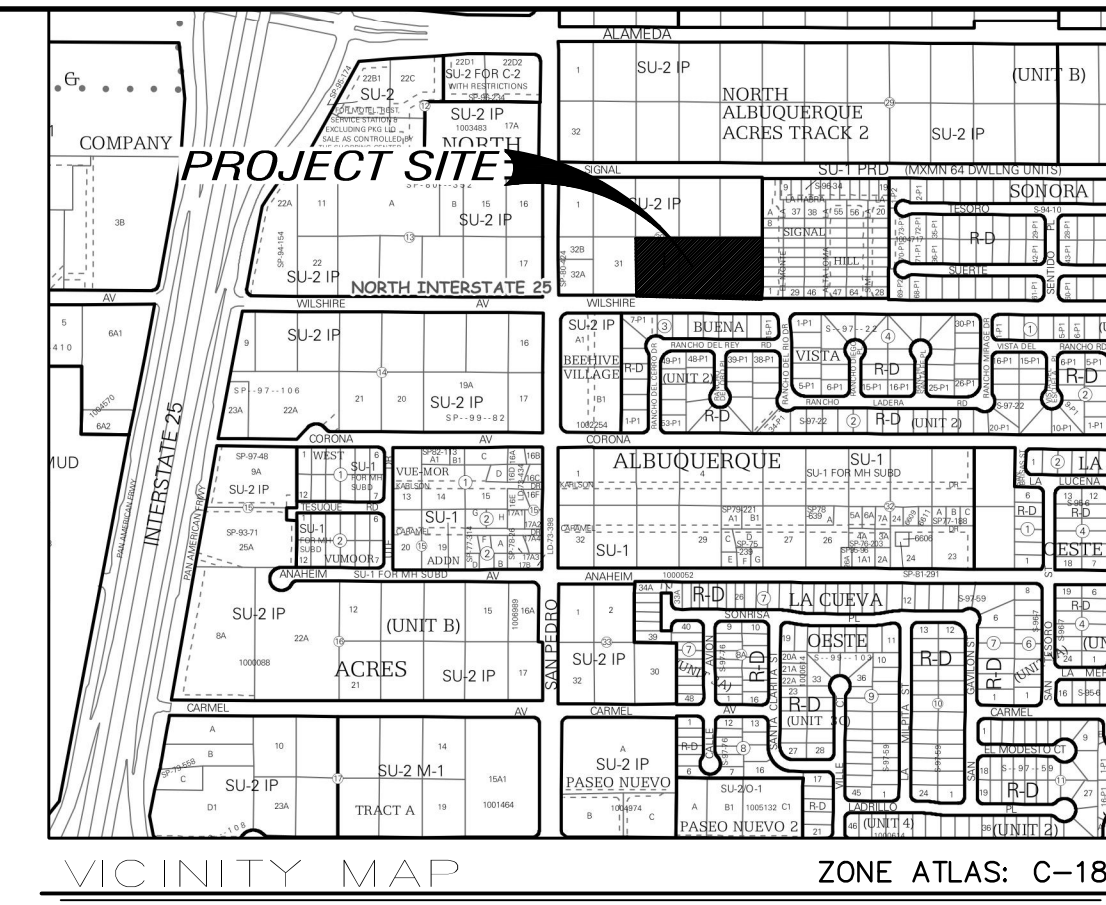
BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
X1	2.65	0	100	0	0	2.21	5.88	0.20

HYDROLOGIC DATA - PROPOSED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
P1	2.65	0	0	35	65	4.02	10.68	0.50
POND						3.07	8.16	0.46

HYDRAULIC SUMMARY

AP	DESCRIPTION	Q ¹⁰⁰ (cfs)
AP-1	POND IN	10.68
AP-2	POND OUT	8.12



KEYED NOTES

- 1 PERIMETER MASONRY DECORATIVE WALL 6' TO 8' HEIGHT
- 2 MASONRY PLAIN FACE WALL 6' HEIGHT
- 3 POND DISCHARGE STRUCTURE WITH INLET CONTROL DISCHARGE
- 4 15" CURB OPENING WITH DEPRESSED SIDEWALK
- 5 COBBLE EROSION PROTECTION - D50>6"
- 6 RETAINING WALL
- 7 SIDEWALK CULVERT
- 8 INSTALL STANDARD CURB AND GUTTER
- 9 INSTALL MOUNTABLE CURB AND GUTTER

ACS BM 9-C18 THE STATION IS LOCATED 7.75 MILES NORTHEAST OF DOWNTOWN ALBUQUERQUE FROM THE INTERSECTION OF I-40 AND LOUISIANA BOULEVARD NE GO NORTH ON LOUISIANA BOULEVARD 5.8 MILES TO WILSHIRE AVENUE GO WEST ON WILSHIRE AVENUE 0.5 MILE TO SAN PEDRO BOULEVARD AND THE STATION ON THE LEFT. THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 INCH ALUMINUM DISC RIVETED TO A PIPE 0.05 FEET BELOW GROUND AND IS STAMPED "9-C18 1985" X=1542501.428 Y=1521497.624 (NAD 83) ELEV=5232.47 (NAVD 1988)

RON E. HENSELEY
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF NEW MEXICO
 LICENSE NO. 24850

AUG 10 2018
 CONCEPTUAL GRADING PLAN
 NOT FOR CONSTRUCTION

SCALE: 1" = 20'

LEGEND

- AP-1 HYDRAULIC ANALYSIS POINT
- RIP RAP
- EL=11.28 PROPOSED ELEVATION
- 66.33 EXISTING ELEVATION
- DRAINAGE / GRADE BREAK
- 99 PROPOSED CONTOUR
- 99 EXISTING CONTOUR
- PROPOSED EASEMENT
- GRADE % PROPOSED GRADE
- EXISTING WALL
- PROPOSED WALL
- PROPERTY LINE
- NEW CURB AND GUTTER & SIDEWALK
- EX CURB AND GUTTER & SIDEWALK

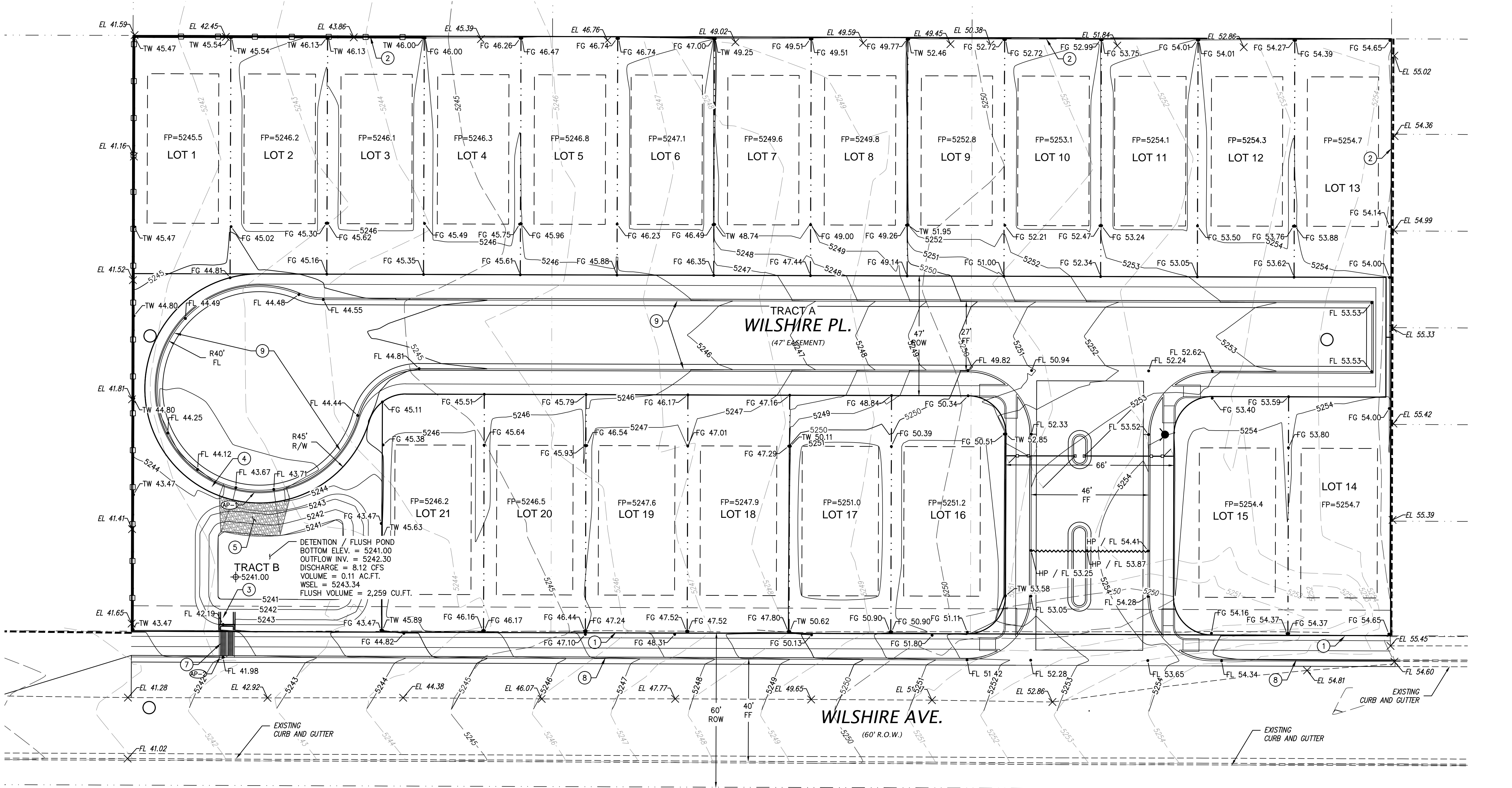
No.	Revision/Issue	Date

WILSHIRE PLACE
SITE DEVELOPMENT PLAN
 Albuquerque, New Mexico

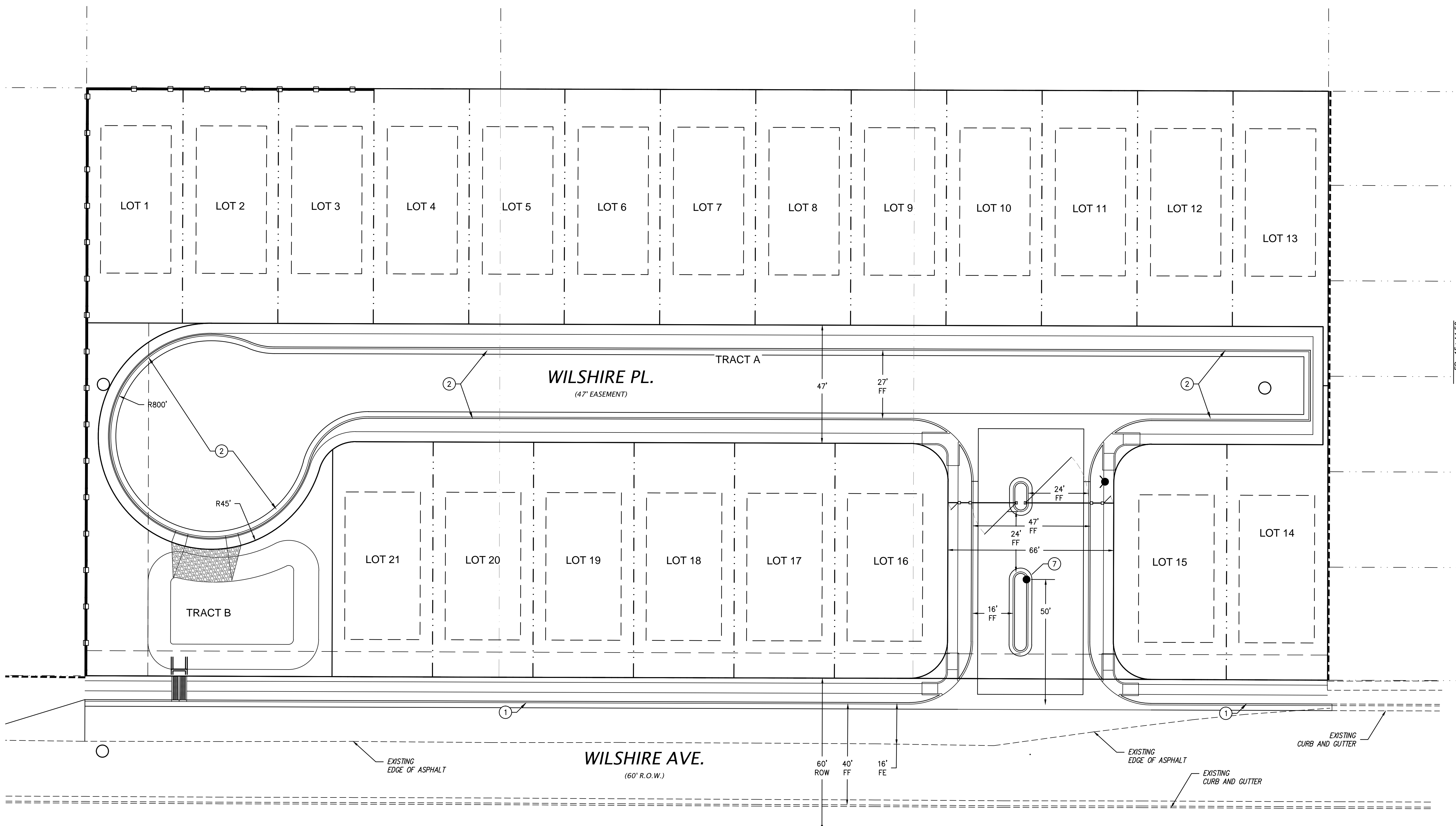
THE group

THE HENSELEY ENGINEERING GROUP
 300 BRANDING IRON RD. SE
 RIO RANCHO, NEW MEXICO 87124
 Phone: (505) 410-1622

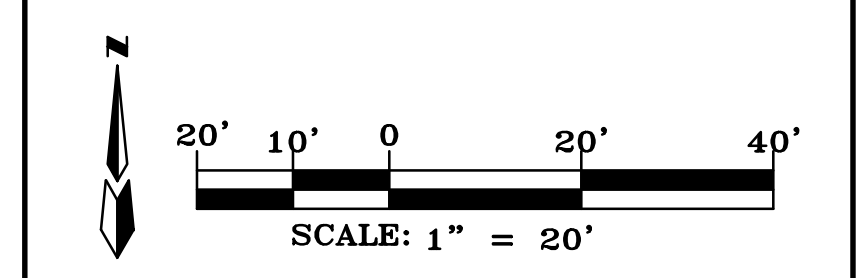
Sheet Title DRAINAGE AND CONCEPTUAL GRADING PLAN	Sheet Number SP2
Date AUGUST 10, 2018	Project No.



SITE DEVELOPMENT PLAN - WILSHIRE PLACE SUBDIVISION



- KEYED NOTES
- ① INSTALL STANDARD CURB AND GUTTER
 - ② INSTALL MOUNTABLE CURB AND GUTTER
 - ③ 4' SIDEWALK
 - ④ CURB OPENING AND ADA RAMP
 - ⑤ 15' CURB OPENING WITH DEPRESSED SIDEWALK
 - ⑥ SIDEWALK CULVERT
 - ⑦ GATE KEYPAD AND EMERGENCYKNOX BOX



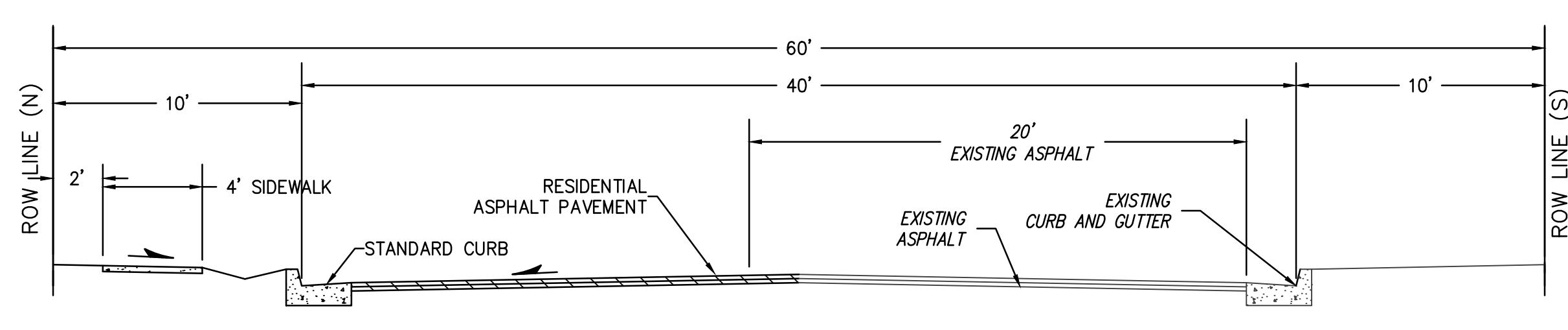
No.	Revision/Issue	Date

WILSHIRE PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico

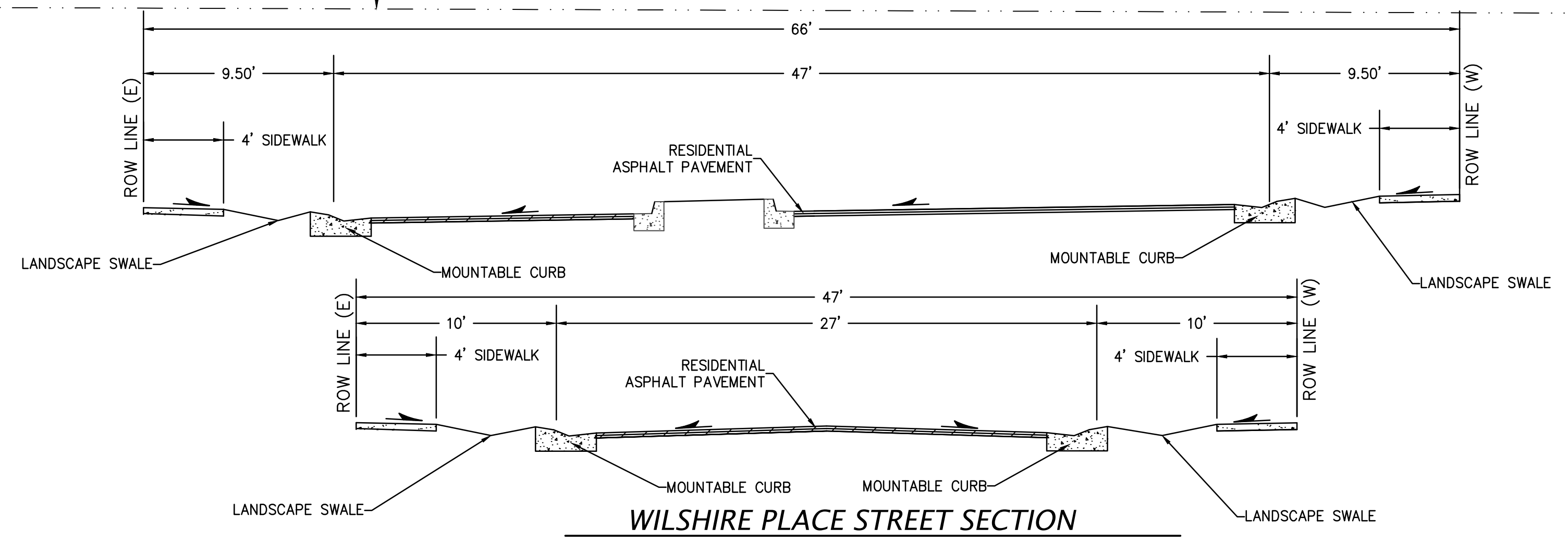


THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

Sheet Title DPAVING PLAN	Sheet Number SP3
Date FEBRUARY 105, 2008	
Project No.	



WILSHIRE AVENUE STREET SECTION

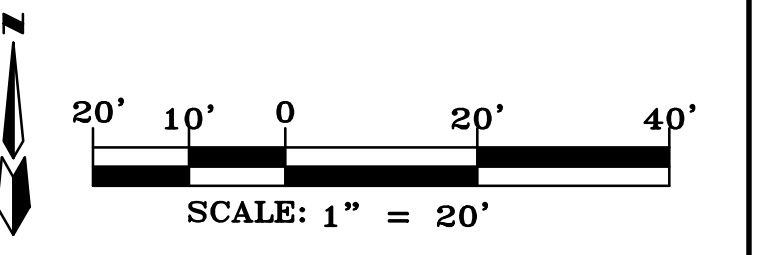
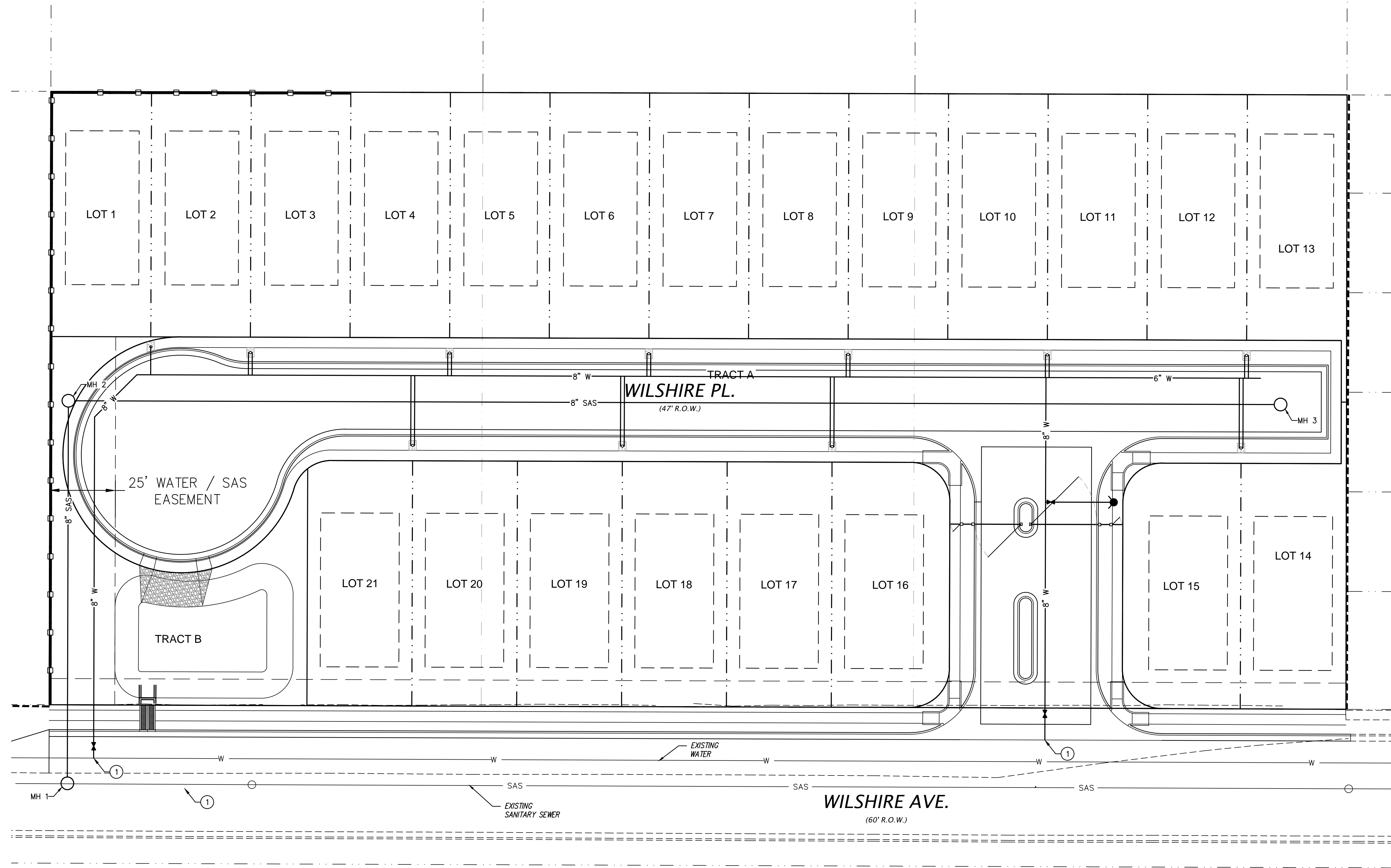


WILSHIRE PLACE STREET SECTION

SITE DEVELOPMENT PLAN - WILSHIRE PLACE SUBDIVISION

○ KEYED NOTES

- ① CONNECT TO EXISTING
- ② NEW FIRE HYDRANT



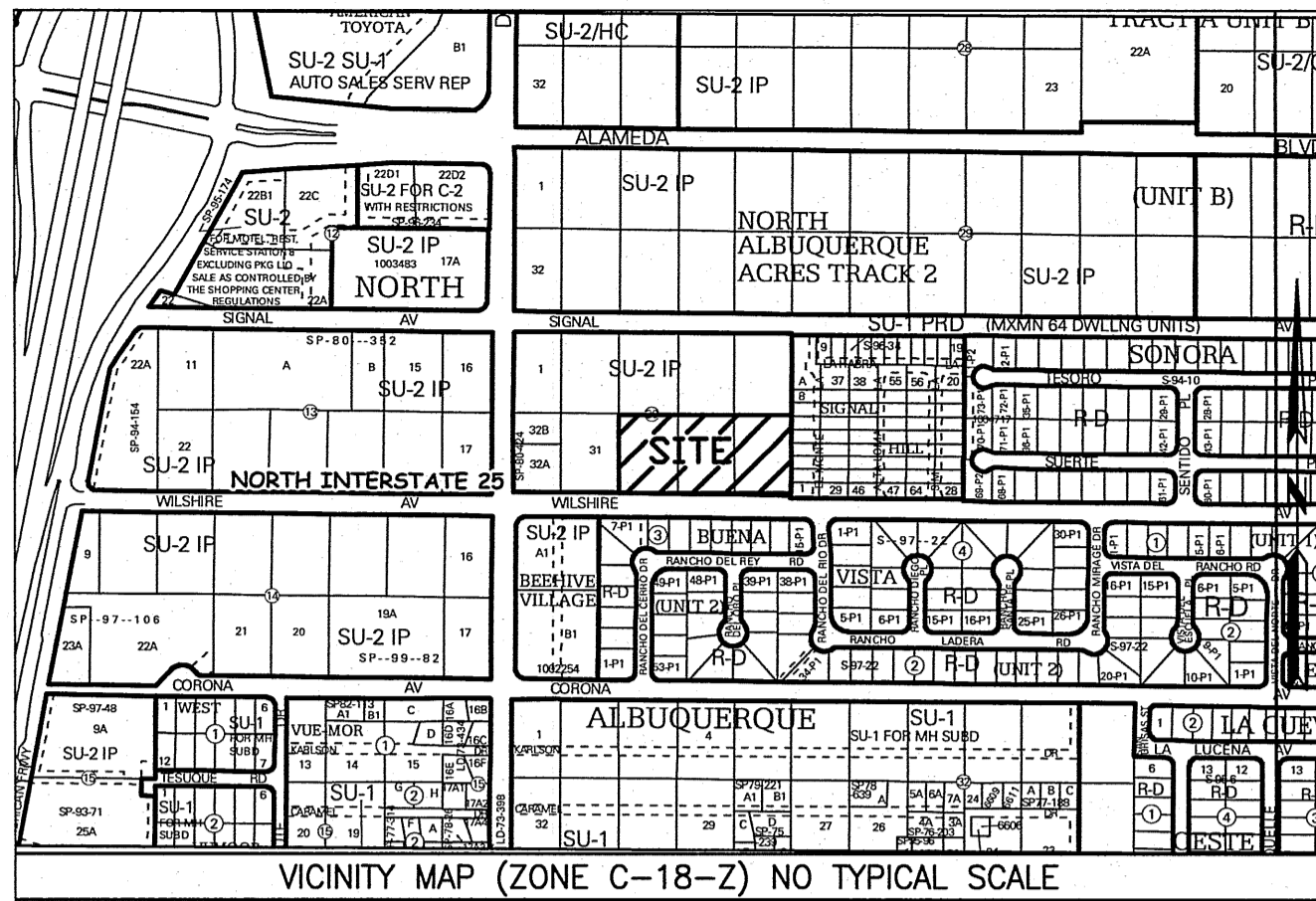
No.	Revision/Issue	Date

WILSHIRE PLACE
SITE DEVELOPMENT PLAN
Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

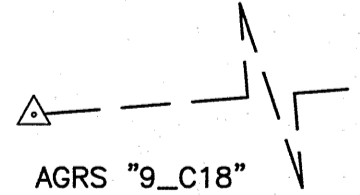
Sheet Title UTILITY PLAN	Sheet Number SP4
Date FEBRUARY 10, 2008	Project No.



THE PURPOSE OF THIS PLAT IS TO REPLAT LOTS 28 THROUGH 31 OF BLOCK 30, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT 3 INTO 21 LOTS AND TWO HOA TRACTS AND TO GRANT PUBLIC UTILITY EASEMENTS TO SERVE THE PARCELS CREATED.

- NOTES:
- 1) UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (O) SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED "PWT 10204".
 - 2) ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (Δ) WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKER, DO NOT DISTURB, PS #10204.
 - 3) BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - 4) BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - 5) ALL DISTANCES SHALL BE GROUND DISTANCES.
 - 6) MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
 - 7) GROSS SUBDIVISION ACREAGE 3.0002 ACRES.
 - 8) DETACHED OPEN SPACE PER THE PROVISIONS OF SECTION 14-16-3-8(a)(3).
 - 9) A BLANKET EASEMENT FOR PUBLIC DRAINAGE, WATER AND SANITARY SEWER PURPOSES SHALL APPLY TO THE ENTIRE HOA TRACT SITUATE IN THE SOUTHWEST CORNER OF THIS SUBDIVISION AND IS GRANTED UPON THE FILING OF THIS PLAT.
 - 10) WILSHIRE LANE, N.E. SHALL BE A PRIVATE STREET FOR WHICH THE HOMEOWNER'S ASSOCIATION (HOA) SHALL ASSUME MAINTENANCE RESPONSIBILITY. THE HOA TRACT THAT ENCLOSES THE PRIVATE STREET SHALL SERVE AS A PUBLIC UTILITY AND DRAINAGE EASEMENT.

X=1542501.428 US SURVEY FT.
 Y=1521497.624 US SURVEY FT.
 GROUND-GRID: 0.999664563
 MAPPING ANGLE: -00°11'19.69"
 NAD83, NM COORDINATE SYSTEM CENTRAL ZONE
 ORTHO HEIGHT: 5232.47 US SURVEY FT. (NAVD 88)



Foran P.S. 8/23/18
 CITY SURVEYOR, CITY OF ALBUQUERQUE DATE

[Signature] 8/23/18
 KHALID A. PASHTOON - OWNER DATE

[Signature] 8/23/18
 NAFEEZA PASHTOON - OWNER DATE

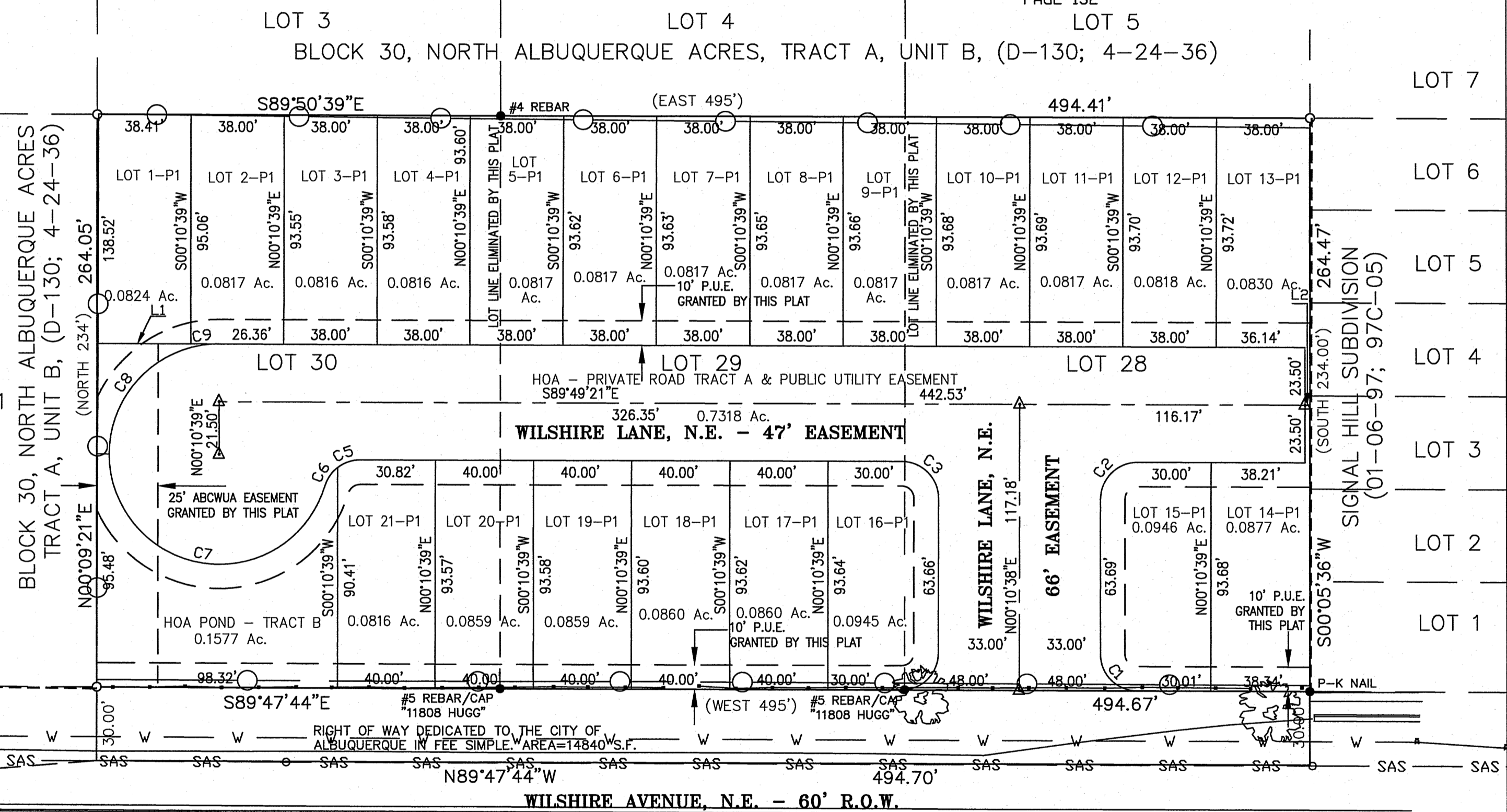
DRAINAGE EASEMENT

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ["DETENTION AREAS"] ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES [STORM WATER DETENTION FACILITIES] IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT (DETENTION AREA) AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT (DETENTION AREA) AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION.

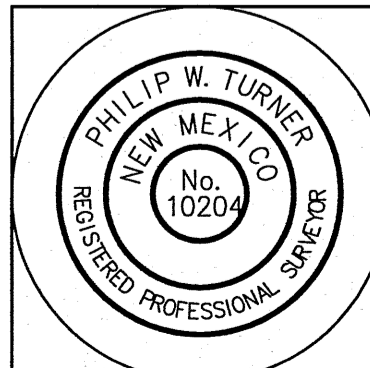
THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

**PRELIMINARY PLAT OF
 WILSHIRE ESTATES**
 SITUATE WITHIN
**PROJECTED SECTION 24
 T.11N., R.3E., N.M.P.M.
 ELENA GALLEGOS LAND GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO**
 MARCH 2018

LEGAL DESCRIPTION
 ALL OF LOTS THREE THROUGH SIX OF BLOCK 20 OF TRACT 3, UNIT 1 OF NORTH ALBUQUERQUE ACRES SUBDIVISION AS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION AS THE SAME IS FILED IN THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 23, 1931, IN BOOK D AT PAGE 132



No property within the area of requested final action plat shall at any time be subject to deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-4-7(B))



PLAT AND SURVEY BY:
TERRAMETRICS NM LLC
PROFESSIONAL LAND SURVEYING
 4175 MONTGOMERY BOULEVARD, N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE: (505) 881-2903

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 9-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Wilshire Place Subdivision

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOTS 28-30 Block 30 Unit B Tract A of North Albuquerque Acres

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		27' FF	Paving Res. Pvmt. w/ Mountable Curb (Both Sides & Cul De Sac)	Wilshire Place	West PL	East PL	/	/	/
		4'	Sidwalk North/South Side and Cul De Sac (Deferred)	Wilshire Place	West PL	East PL	/	/	/
		46' FF	Res. Pvmt. w/ Mountable Curb and 4' Sidewalk (Both Sides)	Wilshire Place Ent.	Wilshire Place	Wilshire Ave,	/	/	/
		16' FE	Res. Pvmt. w/ Standard Curb and 4' Sidewalk	Wilshire Ave.	West PL	East PL	/	/	/
		* 6"	Temporary Asphalt Curb Per Note 1	Wilshire Ave.	West PL	Inlet @ San Pedro	/	/	/
			Water						
		8"	Water Line, Hydrant and Appurtances	Wilshire Place	Lot1	Lot 13	/	/	/
		8"	Water Line and Appurtances	Wilshire Place Ent.	Wilshire Place	Wilshire Ave,	/	/	/
		8"	Water Line and Appurtances	25' Easement	Wilshire Place	Wilshire Ave,	/	/	/
			Sanitary Sewer						
		8"	SAS W/ Appurtances and Services	Wilshire Place	Lot 13	25' Easement @ West PL	/	/	/
		8"	SAS W/ Appurtances	25' Easement	Wilshire Place	Wilshire Ave,	/	/	/

listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		* Type C	Storm Drain Inlet w/ Connector Pipe and Attached Curb, Per Note 1	Wilshire Ave.	Pond	Wilshire Ave.	/	/	/
		2 - 24"	Sidewalk Culverts W/ Pond, Outlet Structure and Appurtances	Wilshire Ave.	Pond	Wilshire Ave.	/	/	/
			ENGINEERS GRADING CERTIFICATION	LIMITS OF WORK	START	FINISH	/	/	/
						Approval of Creditable Items:		Approval of Creditable Items:	
						Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

1 * SPECIFIC SCOPE AND LIMITS OF IMPROVMENTS TO BE APPROVED PRIOR TO WORK ORDER

2

3

AGENT / OWNER

Ron E. Hensley P.E.

NAME (print)

THE Group

FIRM

SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRB CHAIR - date

PARKS & GENERAL RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER