

7. **Project# 1010675**
15DRB-70431 – SITE DEVELOPMENT
PLAN 15DRB-70432 - SITE
DEVELOPMENT PLAN FOR BUILDING
PERMIT FOR SUBDIVISION

MODULUS ARCHITECTS INC agents for PALOMAS
EQUITIES LLC request the referenced/ above actions for
Lots 5-A and 28-32, Block 11, **NORTH ALBUQUERQUE**
ACRES Tract A, Unit A, zoned C-1/ or SU-2/RC, located
on the southeast corner of PASEO DEL NORTE NE and
SAN PEDRO DR NE containing approximately 6.9196
acres. (D-18) [Deferred from 12/9/15] **DEFERRED TO 2/3/16.**

8. **Project# 1010685**
15DRB-70440– SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

SLAGLE HERR ARCHITECTS agents for MKK, LLC
request the referenced/ above action for Lot 1, **JOURNAL**
CENTER PHASE 2 UNIT 2 zoned IP, located on the
north side of MASTHEAD ST NE at WASHINGTON ST
NE containing approximately 1.0746 acres. (D-17) [Deferred
12/23/15] **THE SITE DEVELOPMENT PLAN FOR BUILDING
PERMIT WAS APPROVED WITH FINAL SIGN-OFF
DELEGATED TO THE WATER AUTHORITY FOR
COMMENTS AND TO PLANNING FOR RECORDING OF
SHARED EASEMENT AND 15 DAY APPEAL PERIOD.**

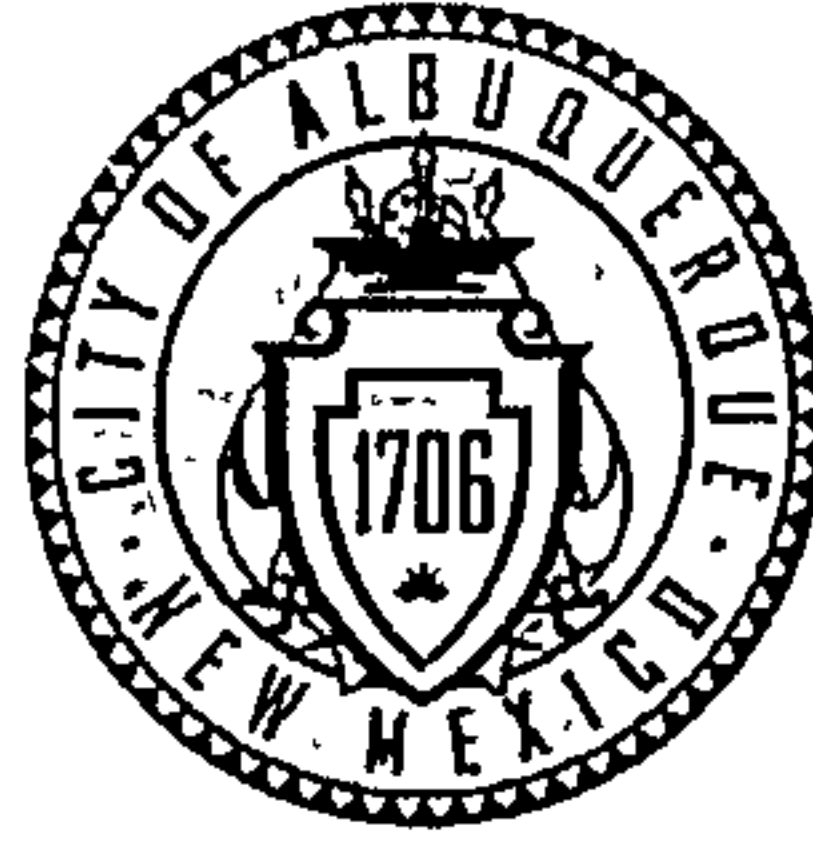
MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project# 1001523**
15DRB-70471 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

RIO GRANDE ENGINEERING agent(s) for UNSER/98TH
STREET PARTNERS, LLC request(s) the above action(s)
for all or a portion of Lot(s) 11, **LADERA BUSINESS**
PARK zoned SU-1/L1, located on LA MORADA
BETWEEN UNSER AND VISTA ORIENTE containing
approximately 31 acre(s). (H-10) **INDEFINITELY
DEFERRED.**

10. **Project# 1004732**
15DRB-70472 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

RIO GRANDE ENGINEERING agent(s) for EVERGREEN
DEVELOPMENT LTD CO request(s) the above action(s)
for all or a portion of Tract(s) A-1 AND A-2, **LAND OF**
DAVID MACIEL zoned SU-2-LD R-LT, located on
MONTROYA BETWEEN FLORAL AND SORITA
containing approximately .675 acre(s). (H-12) **WITH THE
SIGNING OF THE INFRASTRUCTURE LIST DATED
1/6/16, THE PRELIMINARY WAS APPROVED. FINAL
PLAT WAS DEFERRED FOR THE SUBDIVISION
IMPROVEMENTS AGREEMENT AND FOR THE
ADDITION OF DRAINAGE EASEMENT.**



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1010685

Board hearing date:

WEDNESDAY, December 22, 2015



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Joe Slagle, Slagle Herr Architects PHONE: 246-0870
 ADDRESS: 413 2nd Street SW FAX: _____
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: joe@slagleherr.com
 APPLICANT: MKK, LLC. PHONE: 856-2029
 ADDRESS: 3901 Georgia NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Site Plan for Building Permit approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 1 plat of Journal Center 2 phase 2 Block: _____ Unit: 2
 Subdiv/Addn/TBKA: Journal Center 2 Phase 2
 Existing Zoning: IP Proposed zoning: IP MRGCD Map No _____
 Zone Atlas page(s): D-17 UPC Code: 101706319026630415

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.):
1000633 & 1002321

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? no
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 1.0746
 LOCATION OF PROPERTY BY STREETS: On or Near: West of Jefferson on Masthead Street NE
 Between: Paseo del Norte and Ellison
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE _____ DATE November 24, 2015
 (Print Name) Joe Slagle Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>ISDRB 70440</u>	<u>SBP</u>	_____	\$ <u>385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADU</u>	_____	\$ <u>25.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>December 23, 2015</u>			Total \$ <u>480.00</u>

[Handwritten Signature]

11-24-15
Staff signature & Date

Project # 101068S

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center. Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center. Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

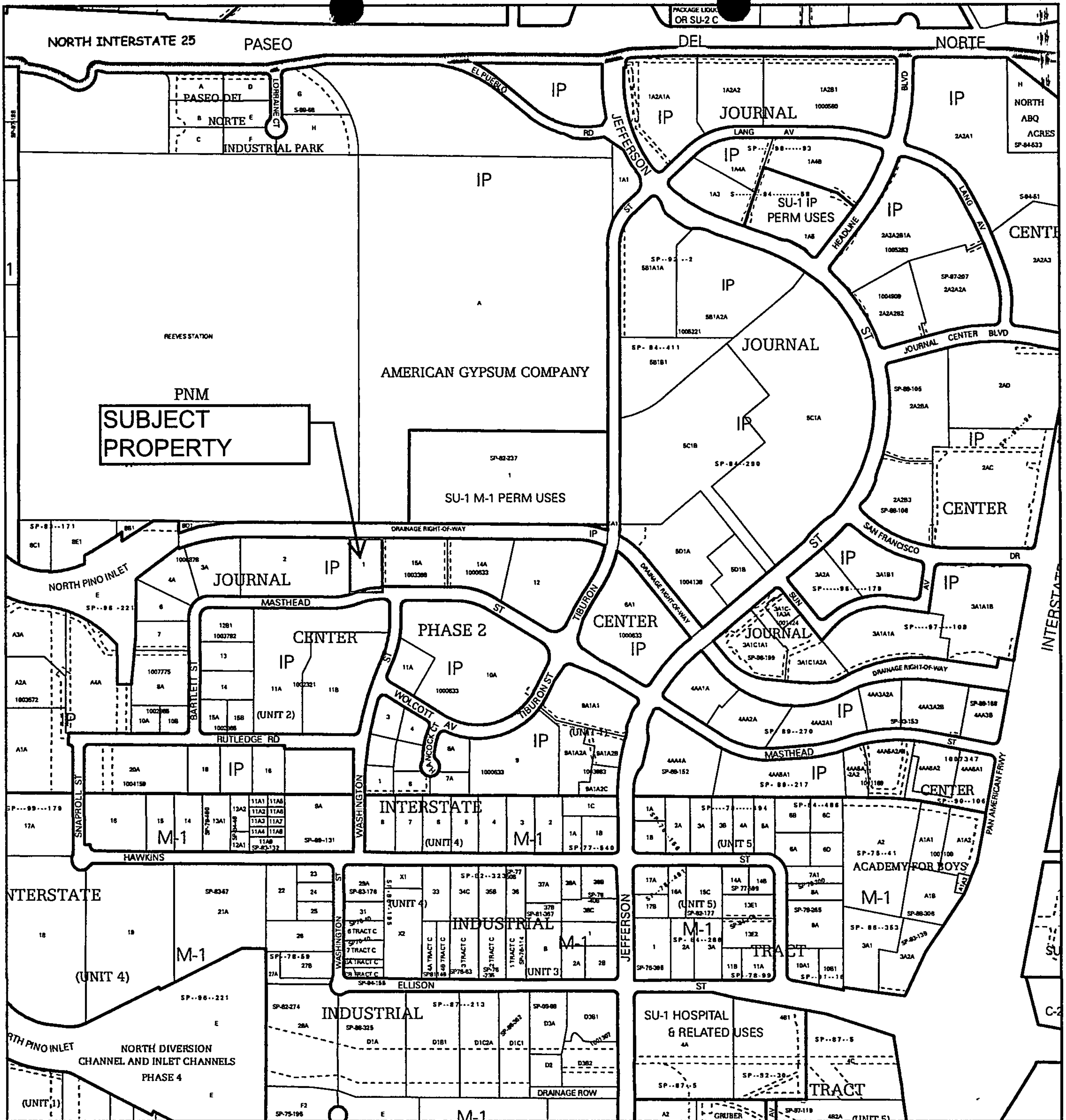
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JOE SLAGLE
Applicant name (print)
11-24-15
Applicant signature / date

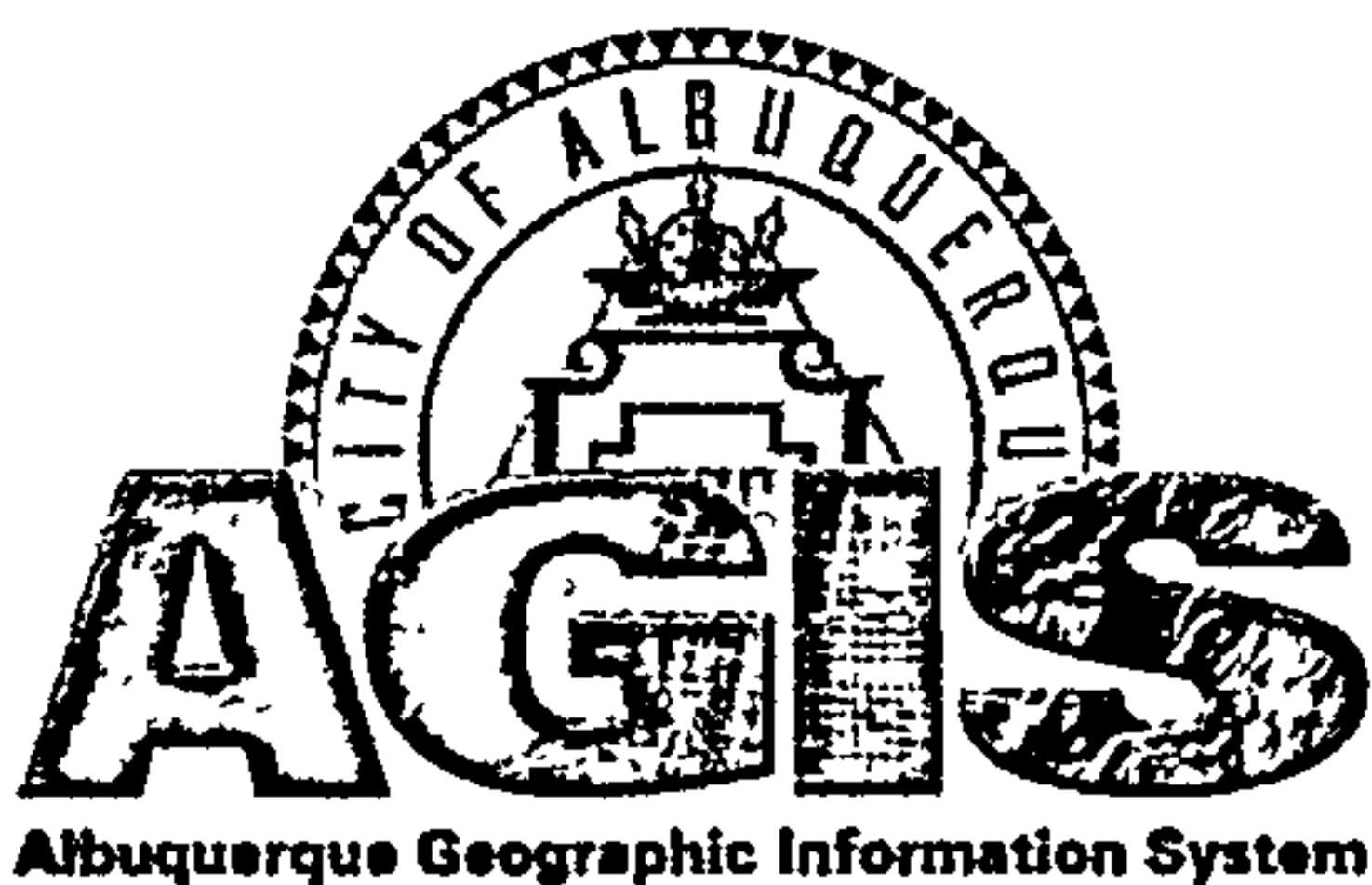


Form revised October 2007
[Signature] 11-24-15
Planner signature / date
Project # 1010685

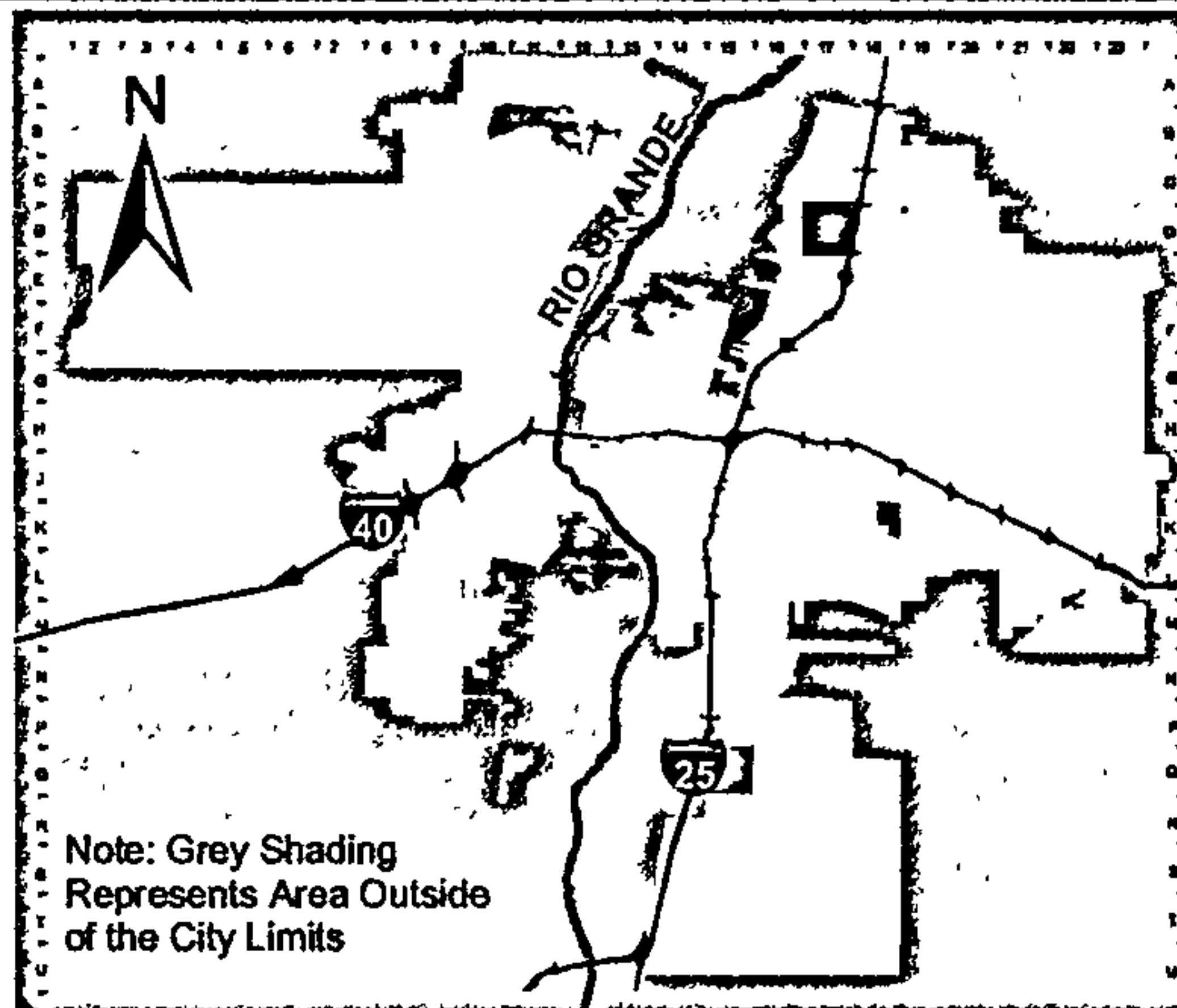
- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
15DRB-20440



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 9/2/2014



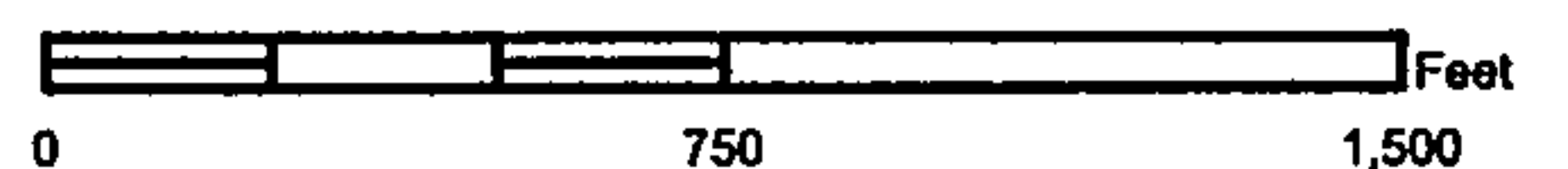
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

D-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


4. TIME

Signs must be posted from DEC. 9, 2015 to DEC. 23, 2015

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.




(Applicant or Agent)

11.24.15

(Date)

I issued 1 signs for this application, 11-24-15

(Date)



(Staff Member)

PROJECT NUMBER: 1010685



11
11
11
11

November 24, 2015

Planning Department
City of Albuquerque
600 2nd St NW
Albuquerque, NM 87103

Re: Authorization letter for 4001 Masthead Street NE Albuquerque, New Mexico

Planning Department:

This letter shall serve as authorization for Joe Slagle of Slagle Herr Architects, Inc. to act on our behalf in regard to obtaining Planning Department Approvals for the property listed above.

Please let me know if you have any questions or need any additional information. Thank you.

Sincerely,

7015 1520 0000 0000 025T 5102

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

ALBUQUERQUE, NM 87104

Certified Mail Fee \$3.45

Extra Services & Fees (Apply to Certified Mail only)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.49

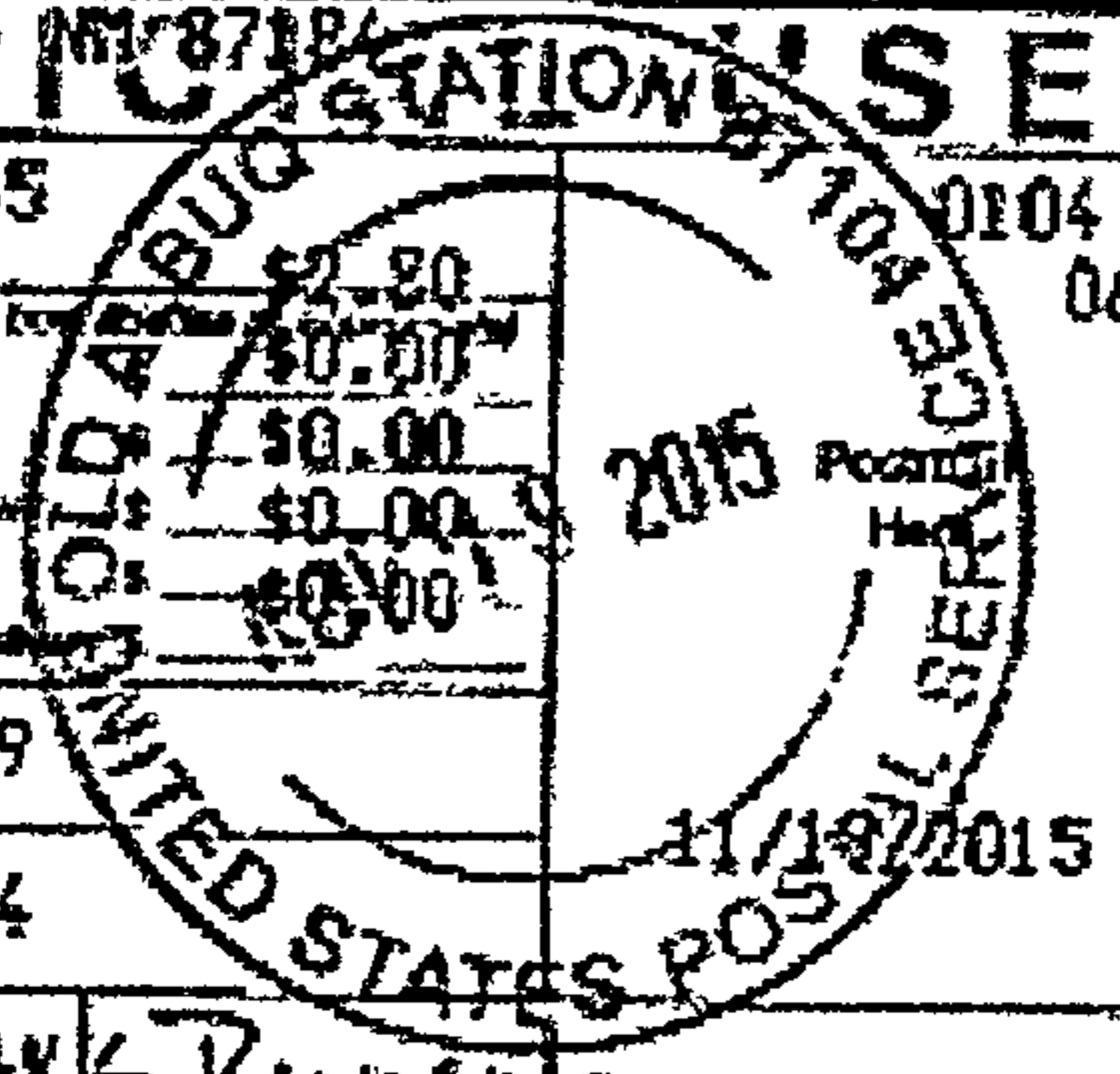
Total Postage and Fees \$6.74

Sent to Mark Ruppert

Street and Apt. No., or PO Box No. _____

City, State, ZIP+4® _____

PS Form 3800, April 2013 PSN 7530-02-000-9047 See Reverse for Instructions



7900 504E 0000 0000 025T 5102

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CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

ALBUQUERQUE, NM 87113

Certified Mail Fee \$3.45

Extra Services & Fees (Apply to Certified Mail only)

Return Receipt (hardcopy) \$0.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.49

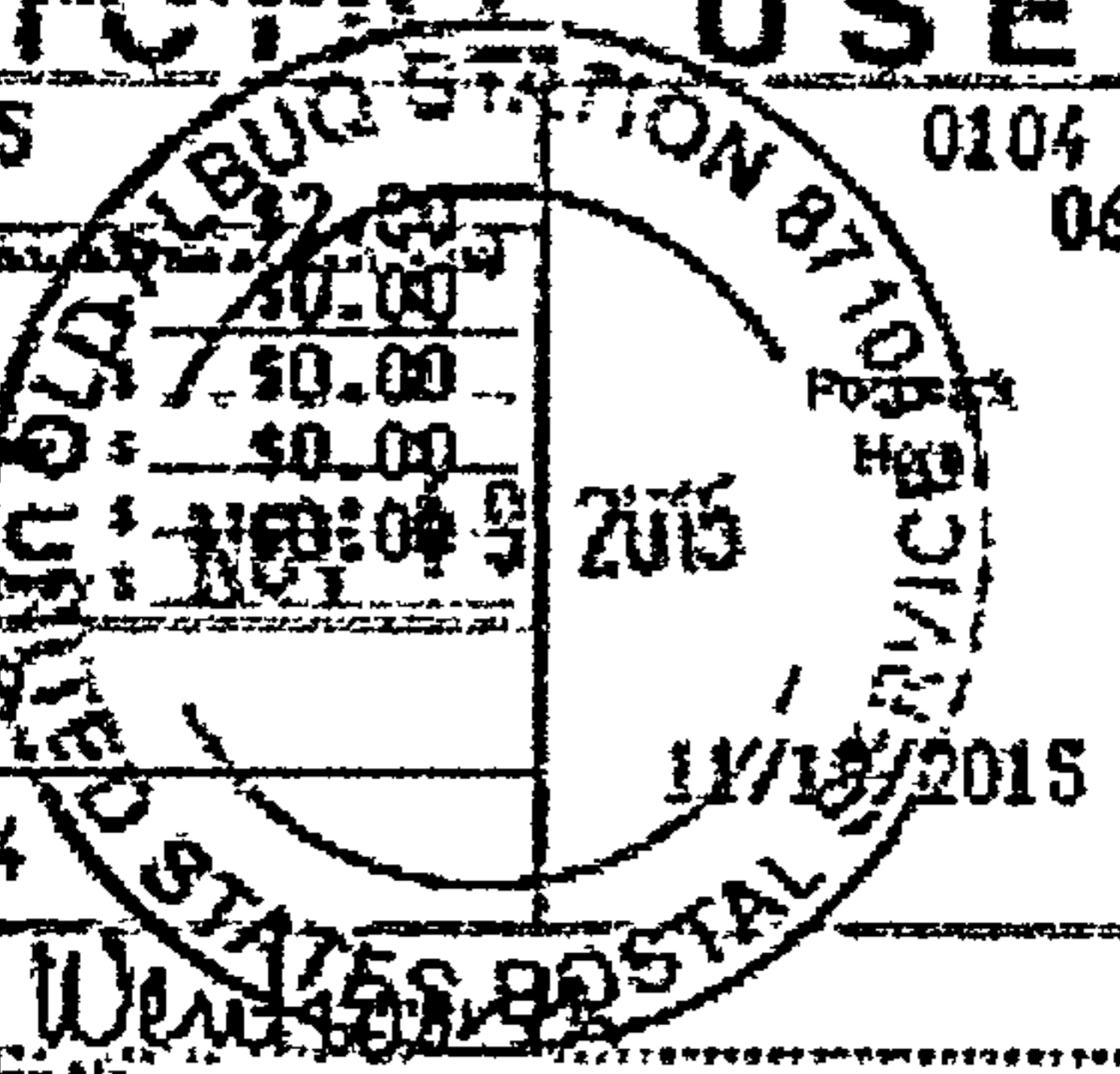
Total Postage and Fees \$6.74

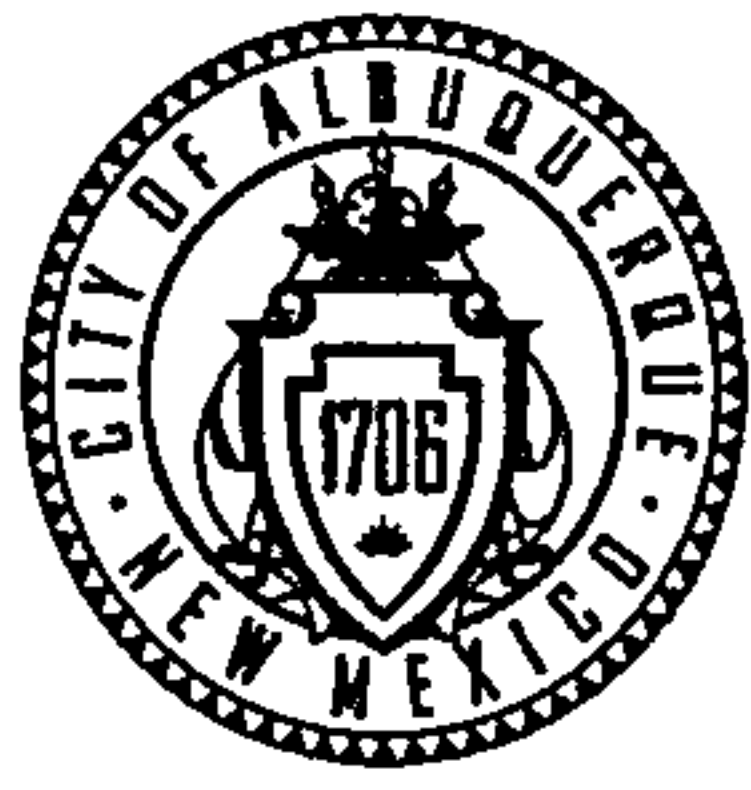
Sent to Steve Wenzel

Street and Apt. No., or PO Box No. _____

City, State, ZIP+4® _____

PS Form 3800, April 2013 PSN 7530-02-000-9047 See Reverse for Instructions





DEVELOPER INQUIRY SHEET

To obtain NAHOA Contact Information for Application Submittal to the Planning Department.

The Office of Neighborhood Coordination (ONC) located in Room 440 (4th floor) of the Plaza Del Sol Building, 600 Second Street NW is where you obtain neighborhood and homeowner association information for your planning submittal.

You can submit your *Developer Inquiry Sheet* in the following ways: 1) In person at the address listed above; 2) Fax it to (505) 924-3913; or 3) E-mail it with the zone map to BOTH: Stephani Winklepleck at swinklepleck@cabq.gov and Dalaina Carmona at dcarmona@cabq.gov.

ONC will need the following information BEFORE any neighborhood or homeowner association information is released you. If you have questions, please feel free to contact our office at (505) 924-3914.

Zone map and this Developer Inquiry Sheet MUST be provided with request

Please mark zone map to indicate where the property is located

Developer Inquiry is for the following (mark the one that applies):

Cell Tower Submittal: Free-Standing Tower -OR- Concealed Tower

EPC Submittal DRB Submittal LUCC Submittal Liquor Submittal

AA Submittal City Project Submittal ZHE Submittal (need address/zone map # only)

Contact Name: Joe Slagle

Company Name: Slagle Herr Architects

Address/Zip: 413 2nd St. SW Abq, NM 87102

Phone: 246-0870 Fax: _____ E-mail: joe@slagleherr.com

Legal Description Information

Describe the legal description of the subject site for this project below:

(i.e., Lot A, Block A, of the XYZ Subdivision)

Lot 1 plat of Journal Center Phase 2, Unit 2, a replat
of Tract 8A-1 Journal Center Phase 2, Unit 2 Unit 2.

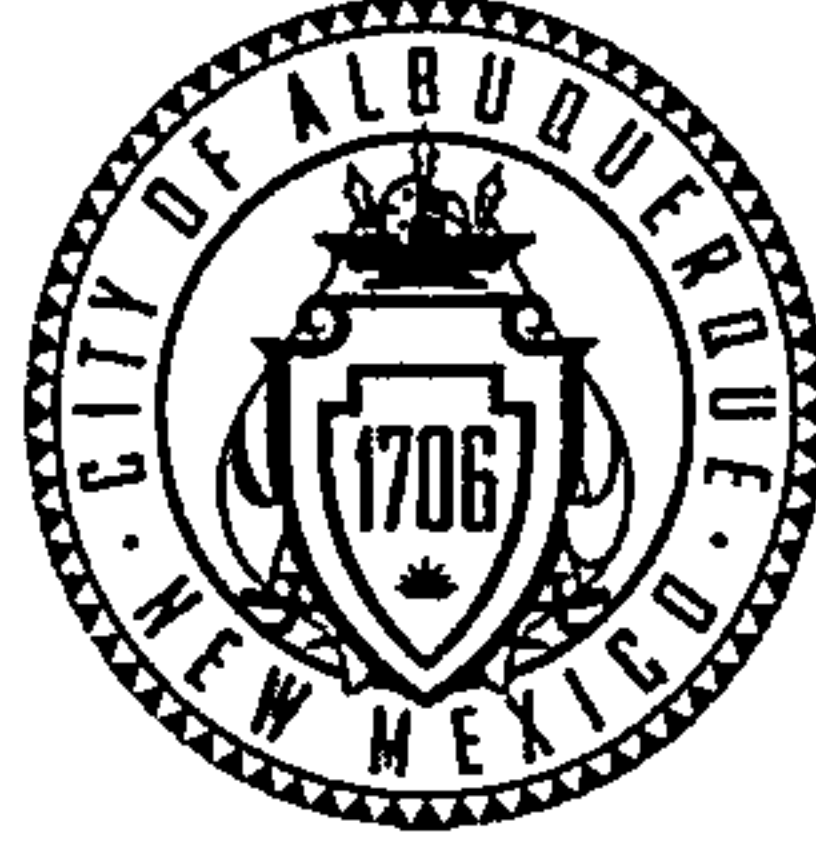
Located On 4001 Masthead Steet NE
street name (ex. - 123 Main St. NW) or other identifying landmark

Between Ellison and Paseo del Norte and
street name or other identifying landmark

west of Jefferson.

street name or other identifying landmark

The site is located on the following zone atlas page (D17).



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

November 19, 2015

Joe Slagle
Slagle Herr Architects
413 Second Street SW/87102
Phone: 505-246-0870
E-mail: joe@slagleherr.com

Dear Joe:

Thank you for your inquiry of **November 19, 2015** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) LOT 1 PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2 A REPLAT OF TRACT 8A-1, JOURNAL CENTER, PHASE 2, UNIT 2, UNIT 2, LOCATED ON 4001 MASTHEAD STREET NE BETWEEN ELLISON STREET NE AND PASEO DEL NORTE NE AND WEST OF JEFFERSON STREET NE** zone map **D-19**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

ALAMEDA NORTH VALLEY ASSN. "R"

Steve Wentworth, 8919 Boe Lane NE/87113-2328 897-3052 (h)

Mark Rupert, P.O. Box 10454/87184 270-2462 (w)

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing (***please attach: 1) Copy of this letter; 2) Copy of letters sent to NA/HOA's and 3) Copy of White Receipts showing proof that you sent certified mail.***) If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck

Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NA/HOA FOR THIS PLANNING DEPARTMENT SUBMITTAL

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **11/19/15** Time Entered: **11:05 a.m.** ONC Rep. Initials: **siw**



14
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14
14

November 19, 2015

Alameda North Valley Assn.
Attn: Mark Rupert
P.O. Box 10454
Albuquerque, NM 87184

Re: Office development at 4001 Masthead NE.

Mr. Rupert:

This letter is to notify your association of a proposed single story office building development. The building will comprise approximately 9800 sf. The building will contain offices as well as a small 800 sf restaurant. Reduced copies of the proposed site plan and elevations are enclosed.

The legal description of the property is Lot 1 plat of Journal Center Phase 2, Unit 2, a replat of Tract 8A-1, Journal Center Phase 2, Unit 2. The property is located on Masthead Street NE between Ellison and Paseo del Norte and West of Jefferson Blvd. NE. in the Journal Center Phase 2. The Zone map page is D17.

The project will be submitted for DRB for Site Plan for Building Permit Approval on November 24, 2015 and the Public Hearing will be December 23, 2015.

If you have any questions or need more information, please do not hesitate to contact me.

Sincerely,

Joe L. Slagle
President
Slagle Herr Architects, inc.

Enclosed: Site Plan and Elevations

4 1 3 s e c o n d s t r e e t s w
a l b u q u e r q u e n e w m e x i c o 8 7 1 0 2
5 0 5 2 4 6 0 8 7 0 s l a g l e h e r r . c o m



November 19, 2015

Alameda North Valley Assn.
Attn: Steve Wentworth
8919 Boe Lane NE
Albuquerque, NM 87113

Re: Office development at 4001 Masthead NE.

Mr. Wentworth:

This letter is to notify your association of a proposed single story office building development. The building will comprise approximately 9800 sf. The building will contain offices as well as a small 800 sf restaurant. Reduced copies of the proposed site plan and elevations are enclosed.

The legal description of the property is Lot 1 plat of Journal Center Phase 2, Unit 2, a replat of Tract 8A-1, Journal Center Phase 2, Unit 2. The property is located on Masthead Street NE between Ellison and Paseo del Norte and West of Jefferson Blvd. NE. in the Journal Center Phase 2. The Zone map page is D17.

The project will be submitted for DRB for Site Plan for Building Permit Approval on November 24, 2015 and the Public Hearing will be December 23, 2015.

If you have any questions or need more information, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Joe L. Slagle".

Joe L. Slagle
President
Slagle Herr Architects, inc.

Enclosed: Site Plan and Elevations

4 1 3 s e c o n d s t r e e t s w
a l b u q u e r q u e n e w m e x i c o 8 7 1 0 2
5 0 5 2 4 6 0 8 7 0 s l a g l e h e r r . c o m

- Service Areas (Trash, Loading Docks, etc.)
- Utility Locations
- Exact Egress and Ingress
- Signage
- Parking and Circulation
- Landscape
- Building Elevations
- Building Materials
- Building Colors
- Pedestrian Circulation on Site
- Mechanical Screening
- Stormwater Treatment Device
- Grading and Drainage Plans
- Floorplans (show doorways and windows)

3.1.3. Third Stage/Final Approval

- Submit final set of development plans to Journal Center 2 ARC including:
 - Site Plan
 - Landscape Plan
 - Grading and Drainage Plan
 - Building Elevations
 - Building Floorplans
 - Details of Signage

Final approval will be granted in writing and submittal package will be forwarded to Journal Center 2 ARC, following approval applicant may submit plans to the City of Albuquerque. Contact Administrative Manager for Tiburon Investment LLC to set up inspection date.

3.1.4. Final Inspection by Journal Center 2 ARC

Final inspection of the entire landscape, site and building must be conducted at the completion of construction activities.

3.1.5. City of Albuquerque Approval

After approval of the plans by both the Journal Center ARC and Journal Center 2 ARC, plans must be submitted to the City of Albuquerque for approval. All Journal Center development is subject to the City of Albuquerque ordinances and zoning code. The parcel owner is responsible to obtain such approval.

These Guidelines may not address every site plan, building, design or approval issue at Journal Center 2, The Journal Center 2 ARC may impose requirements or conditions that are additional to those requirements and conditions specifically indicated in these Journal Center 2 Design Guidelines.

Four years after the time that Tiburon no longer owns property in Journal Center 2, the Journal Center 2 ARC shall cease to function and exist. At that time all reviews shall be made by the Journal Center ARC. Journal Center ARC will review

§ 14-16-2-19 IP INDUSTRIAL PARK ZONE.

This zone provides suitable sites for a wide range of industrial and commercial uses, provided such uses are conducted in a compatible and harmonious manner within industrial environments achieved through a Development Plan.

(A) Permissive Uses.

- (1) Adult amusement establishment, or adult store, provided:
 - (a) The use is located at least 1,000 feet from any adult amusement establishment or adult store; and
 - (b) The use is located at least 500 feet from the nearest residential zone, or from any church or pre-elementary, elementary or secondary school.
- (2) Air separation plant for nitrogen, oxygen and argon only.
- (3) Auditorium, place of assembly.
- (4) Bottling plant.
- (5) Club.
- (6) Cold storage plant.
- (7) Golf course or golf driving range.
- (8) Hospital for animals.
- (9) Institution, including library, museum, school, day care center, but not disciplinary institutions or hospital for human beings.
- (10) Laboratory — experimental, testing, or medical, provided all activities are conducted within a completely enclosed building. Noxious fumes, odor, or dust shall not be emitted from the premises.
- (11) Machine Shop.
- (12) Manufacturing, assembling, treating, repairing, or rebuilding articles except those conditional or otherwise limited in this zone and the M-1 zone or specifically listed as permissive or conditional in the M-2 zone, provided manufacturing is conducted within a completely enclosed building.
- (13) Office.
- (14) Office machine equipment sales and repairs.
- (15) One dwelling per premises for a watchman or caretaker on the same premises with commercial or industrial use.
- (16) Park-and-ride temporary facilities.



11/24/15

November 24, 2015

Development Review Board
Planning Department
Plaza del Sol Building
600 2nd St NW
Albuquerque, NM 87102

**Re: Proposed office development at 4001 Masthead Street NE, Albuquerque, NM
PROJECT SUMMARY**

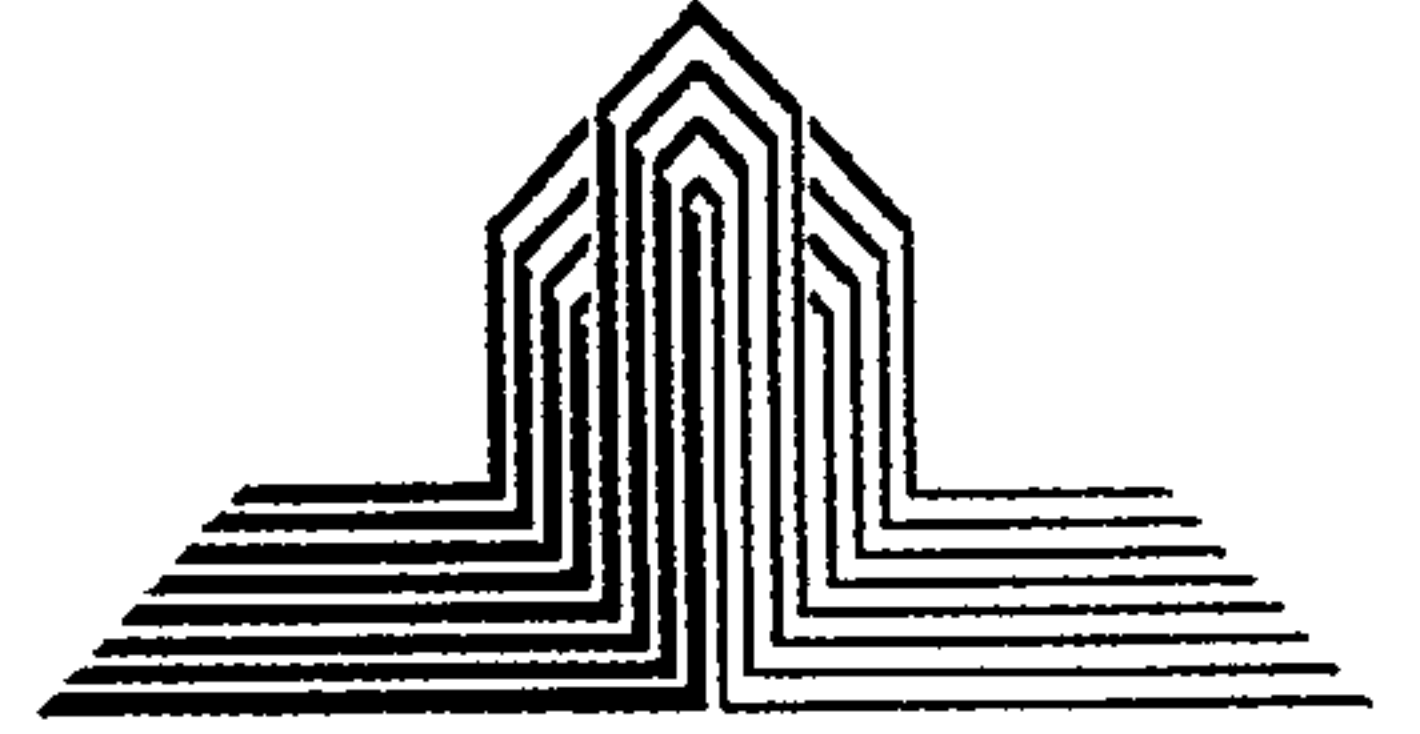
This project is a 9800 sf single story office building to be located in Journal Center Phase 2. The construction will be steel frame with a synthetic stucco finish consisting of three colors: medium dark grayish green, tan and white. The different colors are designated to the different massing elements as a method of breaking up the scale of the building. The building is oriented in a north south orientation, which lessens the visual impact of the building from the street. Shade devices that have been designed for the windows will enhance the architecture and improve energy efficiency. A small restaurant is to be included a part of the building and this feature will be located on the south end of the building, closest to the street. The restaurant will serve breakfast and lunch for the large number of daily workers in the area. A small patio will be provided adjacent to the restaurant entrance for outdoor dining as well. The property will be landscaped in accordance with Journal Center standards and all site circulation, parking and hardscape has been designed to comply with Journal Center and City of Albuquerque zoning ordinance standards.

It is our intent that the project will be a positive addition to Journal Center Phase 2 and we believe for the reasons mentioned above it is highly compatible with the existing surroundings.

Joe Slagle
Slagle Herr Architects

4 1 3 s e c o n d s t r e e t s w
a l b u q u e r q u e n e w m e x i c o 8 7 1 0 2
5 0 5 2 4 6 0 8 7 0 s l a g l e h e r r . c o m

JOURNAL
CENTER
CORPORATION



November 17, 2015

slagleherrarchitects
Joe Slagle
413 Second St. SW
Albuquerque, NM 87102

Re: Kinesio Bldg. 4001 Masthead St. NE


Dear Joe:

The Journal Center Architectural Review Committee has reviewed and approved the Plans for the one story office Building at 4001 Masthead St. NE as provided on the submitted Landscape Plan (LS-101), Site, Elevations and Conceptual Plans (A001, A201, A301, C101, C102) that you have prepared.

We understand that this approval letter of the Plans will be included in the DRB submittal at the City of Albuquerque.

Please do not hesitate to call our office if you have any questions as you move forward with this project.

Sincerely,


Lowell A. Hare
President & CEO

Cc: JCCARC Members

LAH/jk

P.O. Drawer J 7777 Jefferson Street, N.E. Albuquerque, NM 87103
(505) 823-7000 FAX (505) 3413



16
16
16
16
16

November 24, 2015

Development Review Board
Planning Department
Plaza del Sol Building
600 2nd St NW
Albuquerque, NM 87102

Re: Proposed office development at 4001 Masthead Street NE, Albuquerque, NM

Board Members:

This submittal is for Site Development Plan for Building Permit for an office building development at 4001 Masthead NE. The legal description of the property is Lot 1, Journal Center 2, Phase 2. The property is currently zoned IP, the zone atlas map no. is D17 and the property contains approximately 1.0746 acres. IP zoning delegates final site plan approval by DRB.

The proposed development consists of a new one story office building containing approximately 9800 s.f. The building will also contain a small 900 s.f. restaurant space at the southern portion of the building. All associated site work including parking, walkways, landscape and drainage management are also part of the project.

The Architectural Control Committee of Journal Center Corporation has reviewed and approved the project. Their approval letter is included as part of this submittal. If you have any questions or need more information, please do not hesitate to contact me.

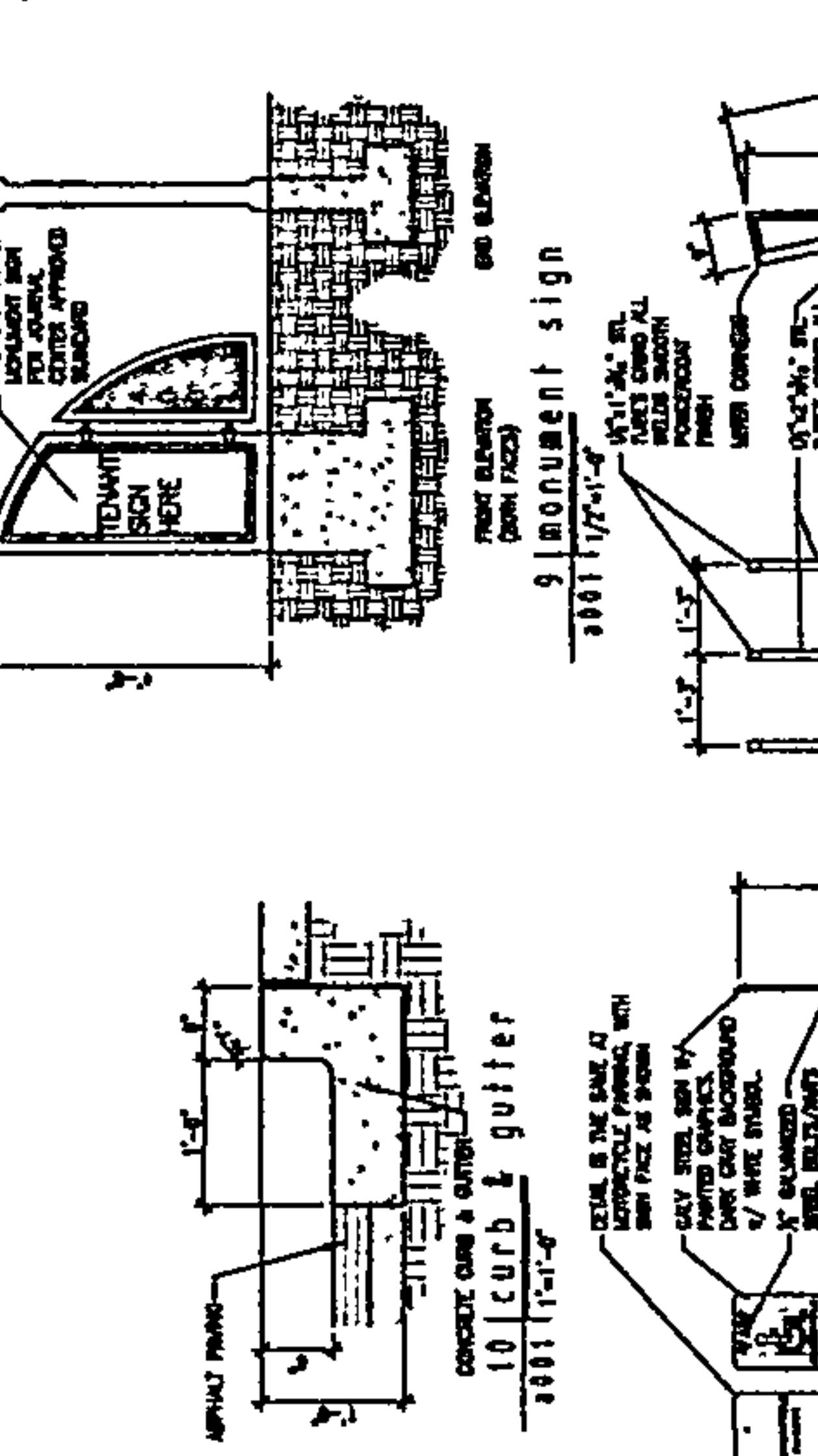
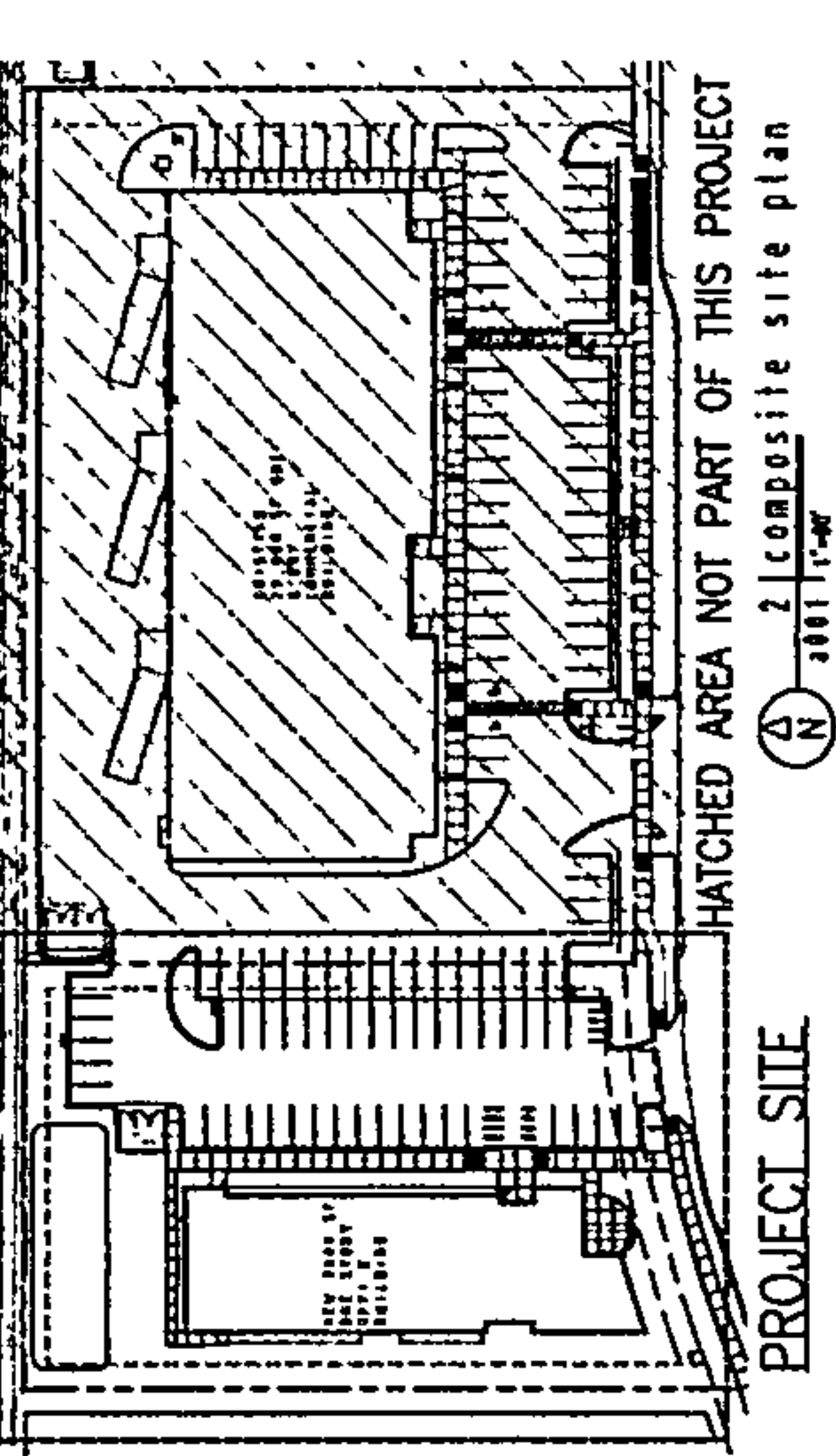
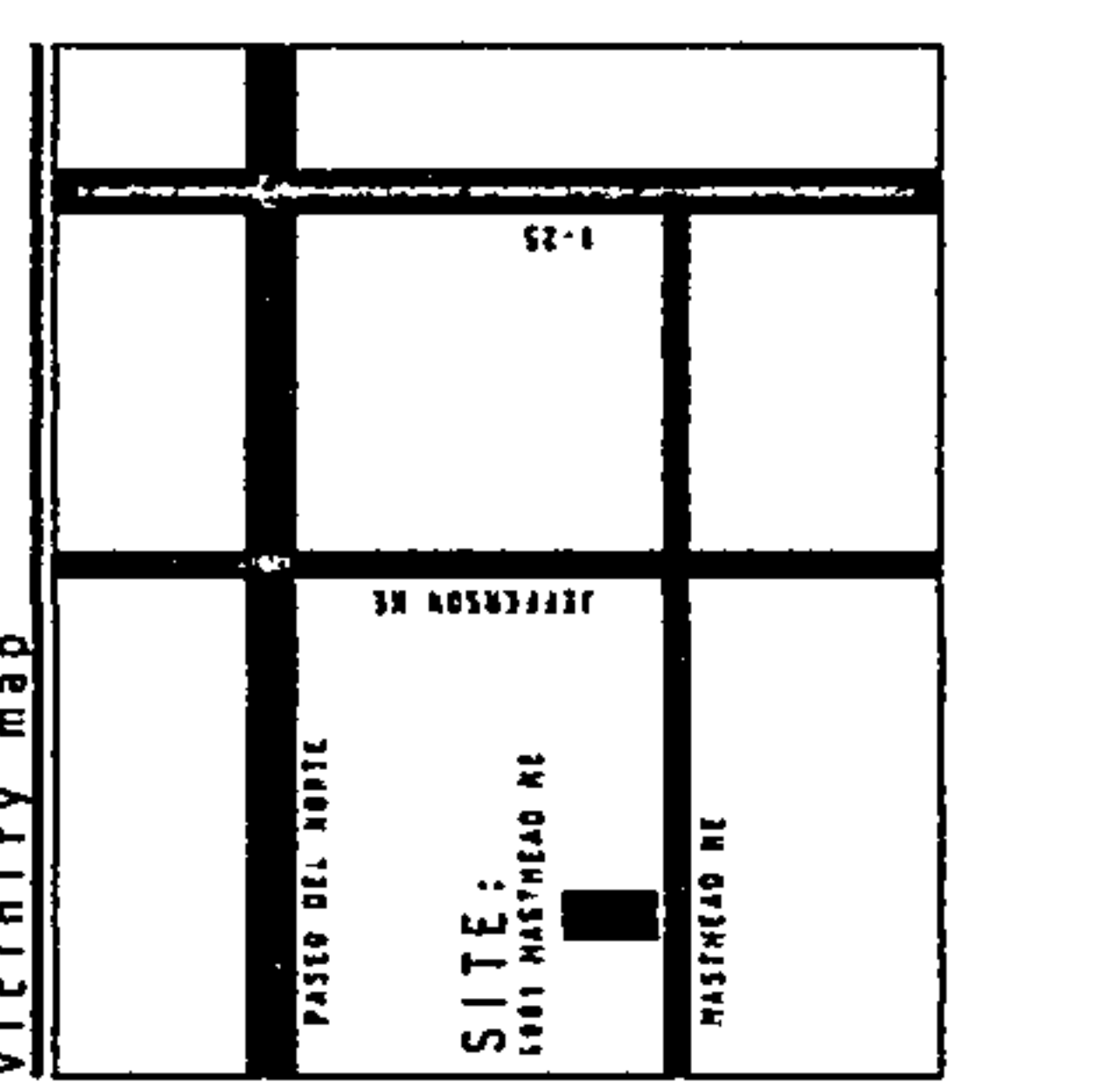
Respectfully,

Joe L. Slagle
President
Slagle Herr Architects, inc.

4 1 3 s e c o n d s t r e e t s w
a l b u q u e r q u e n e w m e x i c o 8 7 1 0 2
5 0 5 2 4 6 0 8 7 0 s l a g l e h e r r . c o m

PROJECT NUMBER: APPLICATION NUMBER: DATE: PROJECT DESCRIPTION: DATE: CITY: DATE: 11-3-15

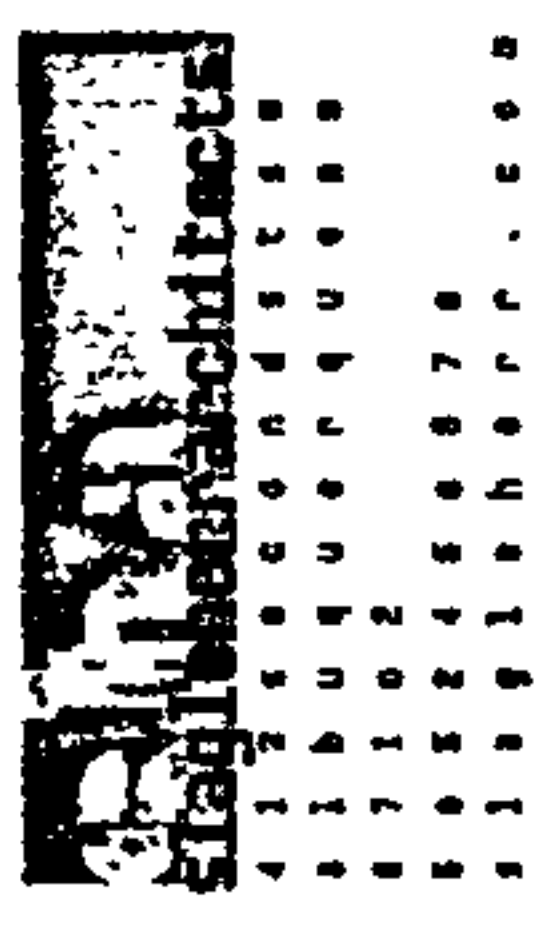
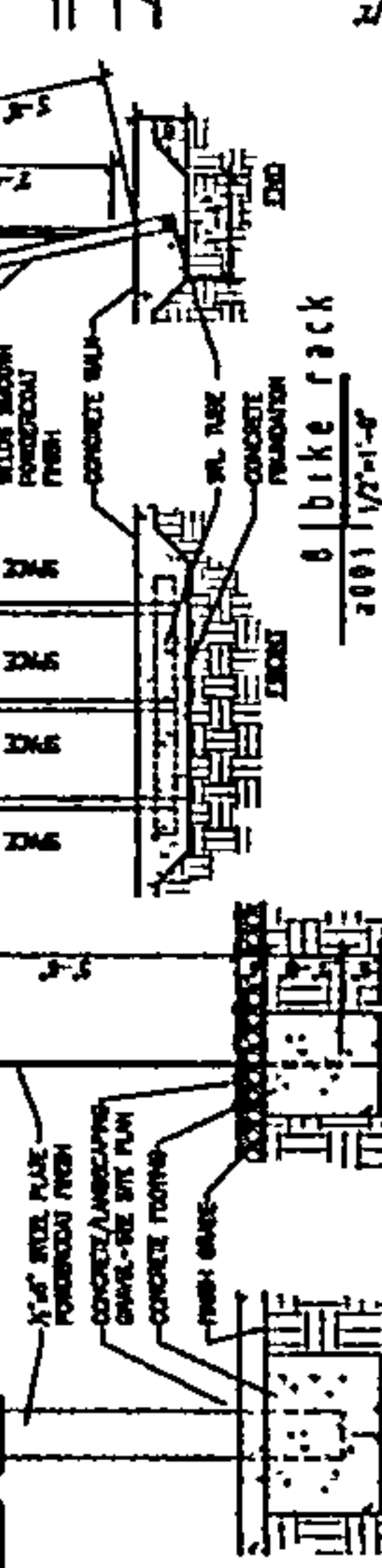
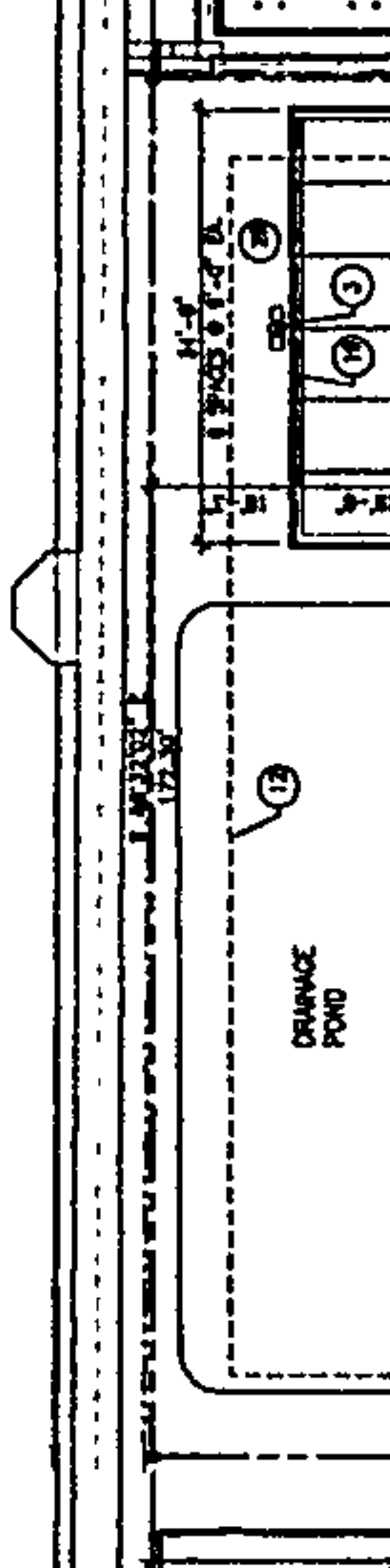
site data: LOCATION: SOLE LICENSEE OF THE ALABAMA STATE UNIVERSITY SYSTEM: DATE: 11-3-15



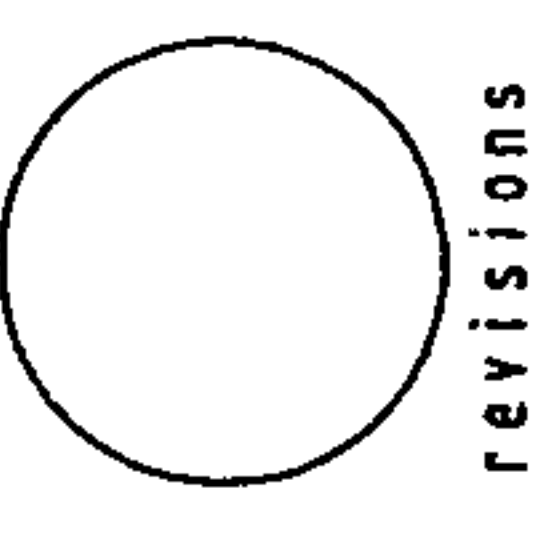
KEYED NOTES:

- 1. EXISTING CURB, GUTTER AND SIDEWALK TO BE REMOVED AND REPLACED WITH NEW CONC. CURB, GUTTER AND SIDEWALK PER C.A. 2011.
- 2. ALL ELECTRICAL WORK TO BE DONE PER THE 2011 ALABAMA ELECTRICAL CODE.
- 3. ALL MECHANICAL WORK TO BE DONE PER THE 2011 ALABAMA MECHANICAL CODE.
- 4. ALL PLUMBING WORK TO BE DONE PER THE 2011 ALABAMA PLUMBING CODE.
- 5. ALL CONCRETE WORK TO BE DONE PER THE 2011 ALABAMA CONCRETE CODE.
- 6. ALL IRONWORK TO BE DONE PER THE 2011 ALABAMA IRONWORK CODE.
- 7. ALL PAINT TO BE DONE PER THE 2011 ALABAMA PAINT CODE.
- 8. ALL ASPHALT TO BE DONE PER THE 2011 ALABAMA ASPHALT CODE.
- 9. ALL LANDSCAPE TO BE DONE PER THE 2011 ALABAMA LANDSCAPE CODE.
- 10. ALL SITEWORK TO BE DONE PER THE 2011 ALABAMA SITEWORK CODE.

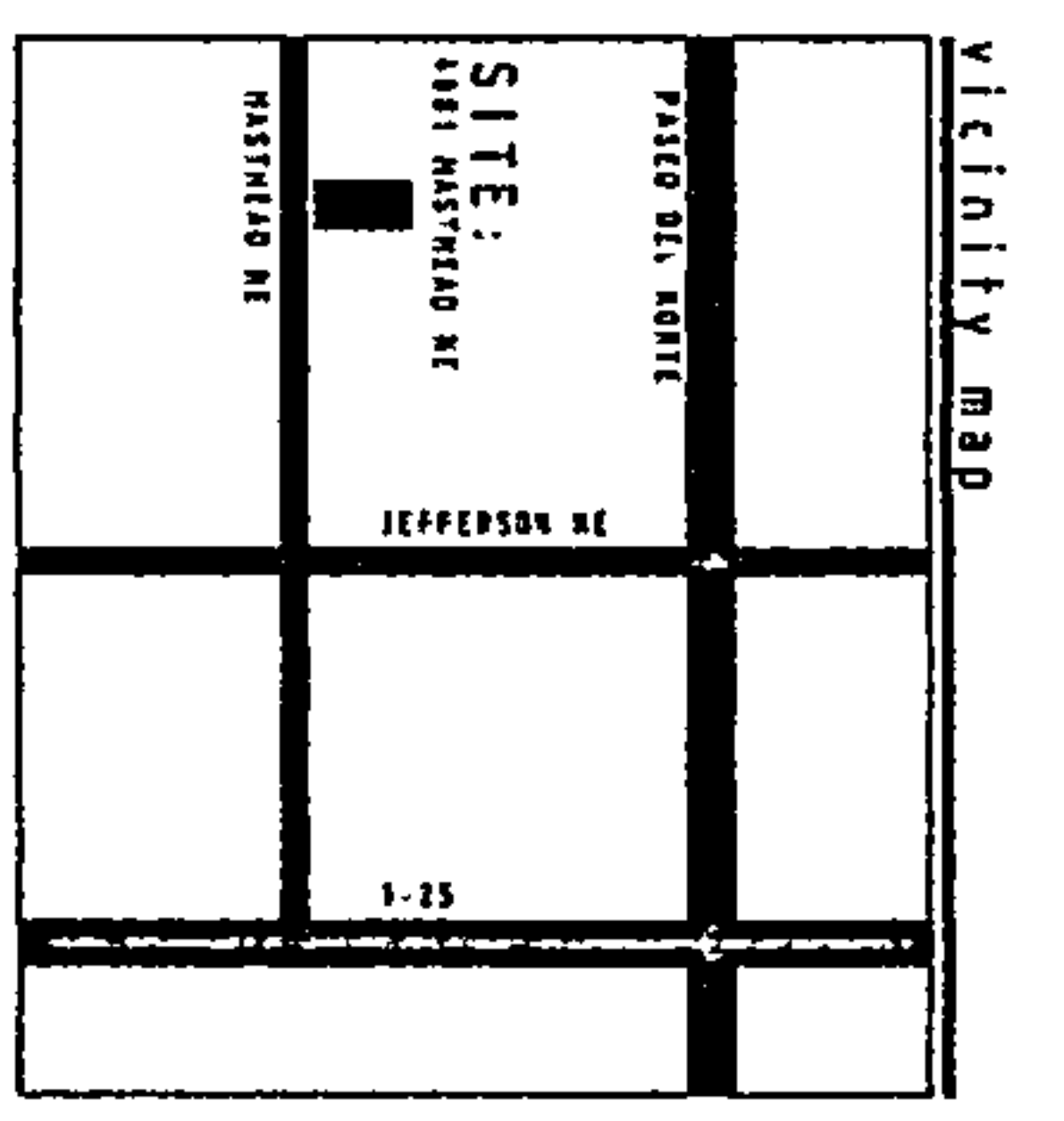
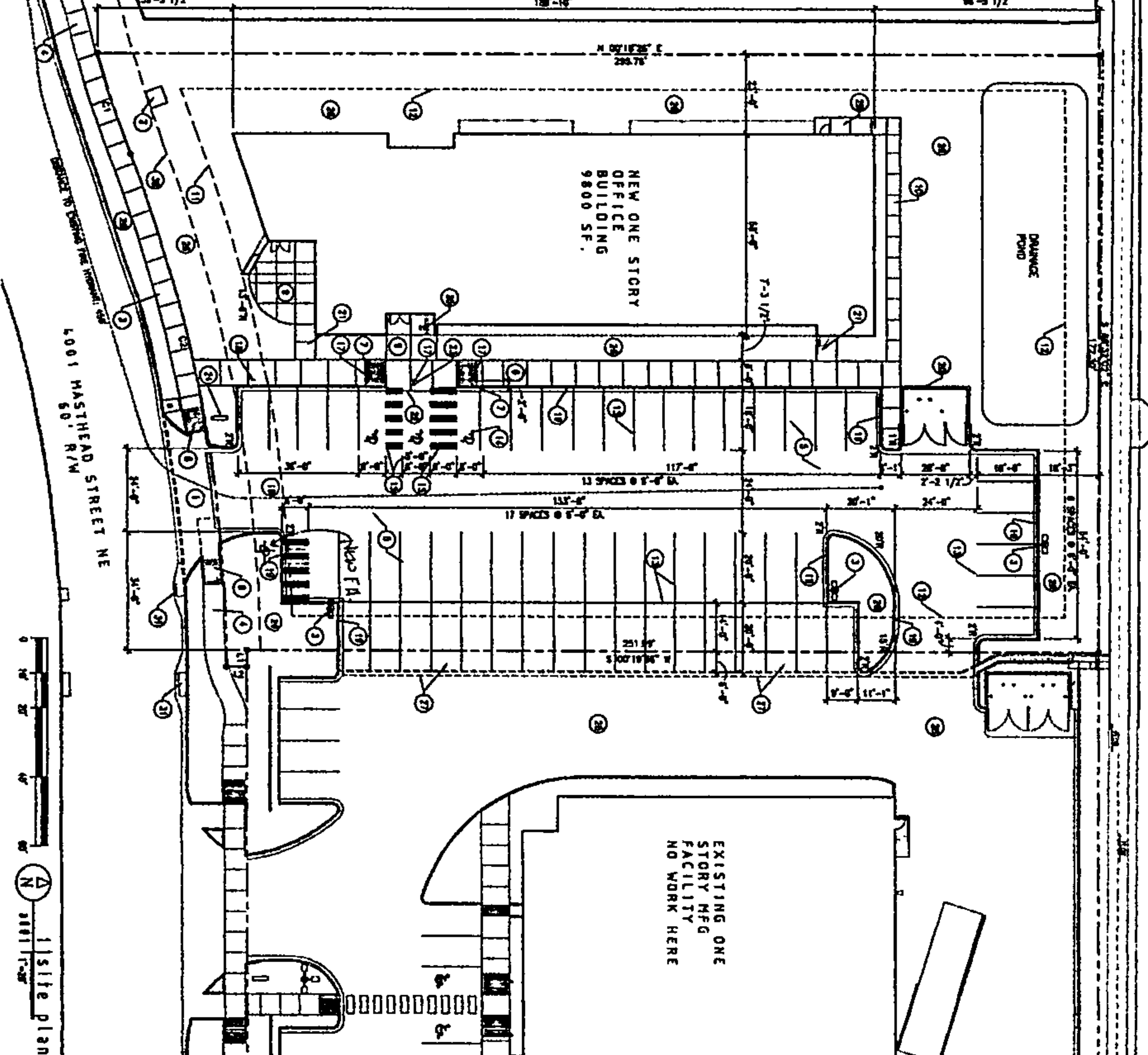
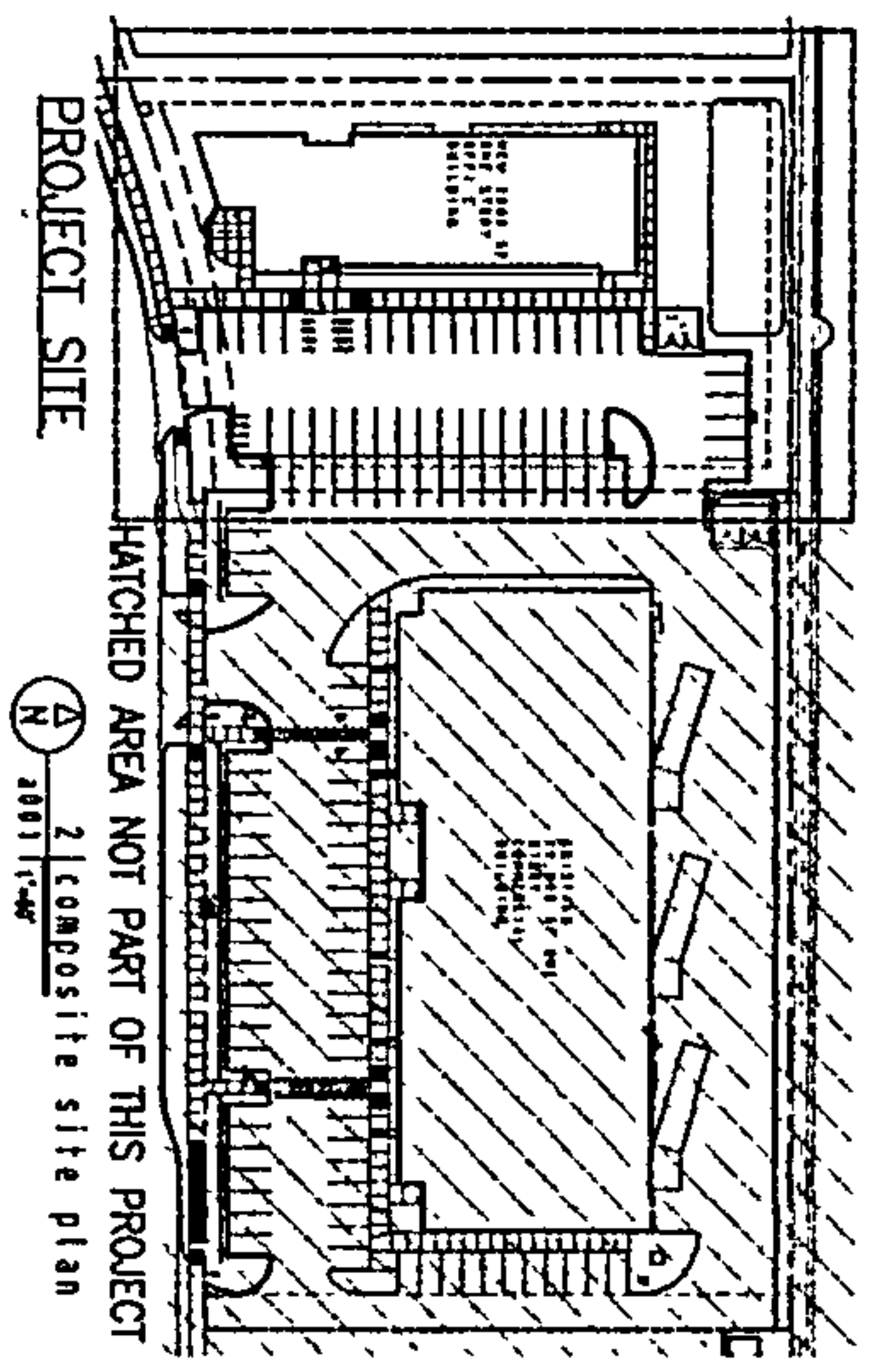
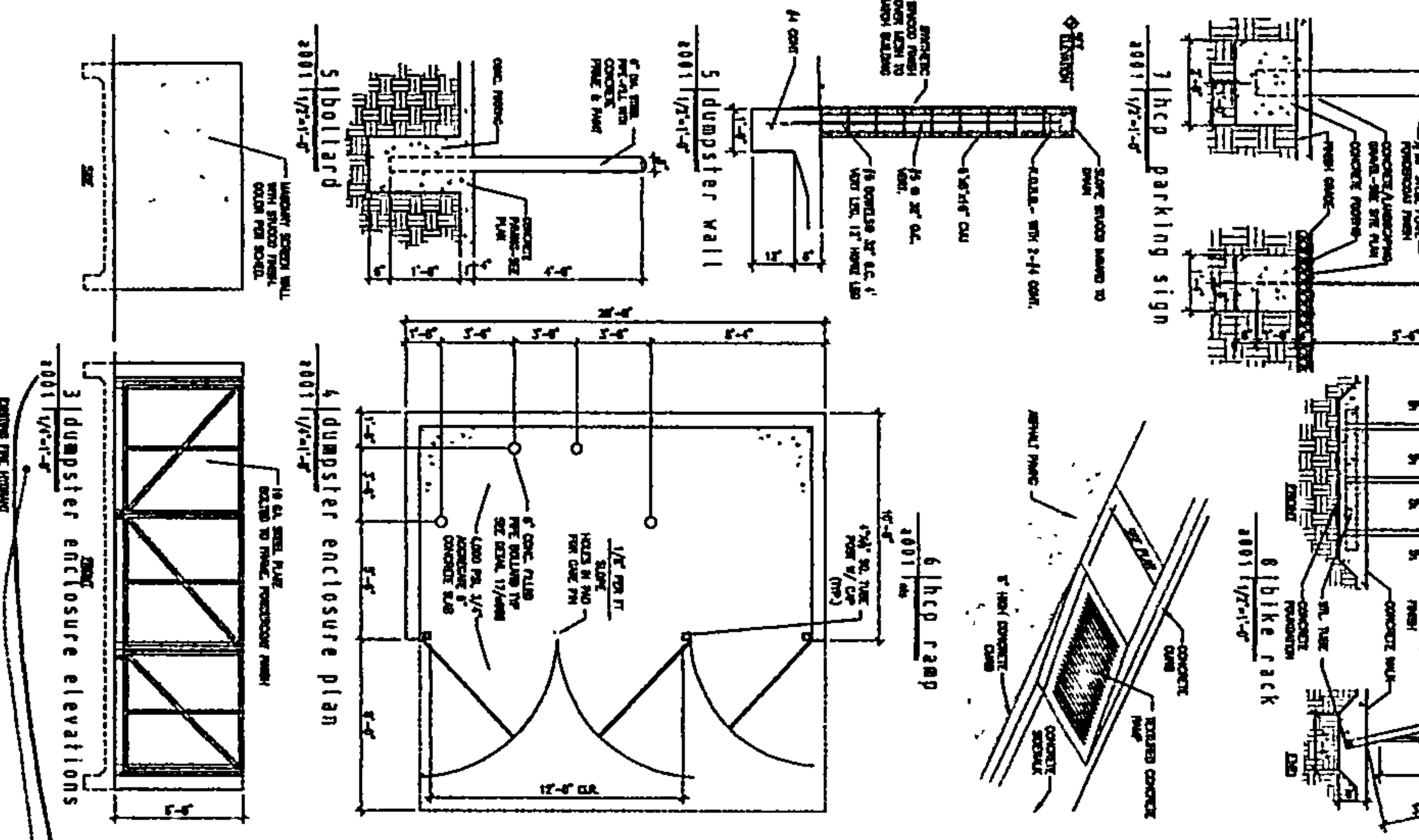
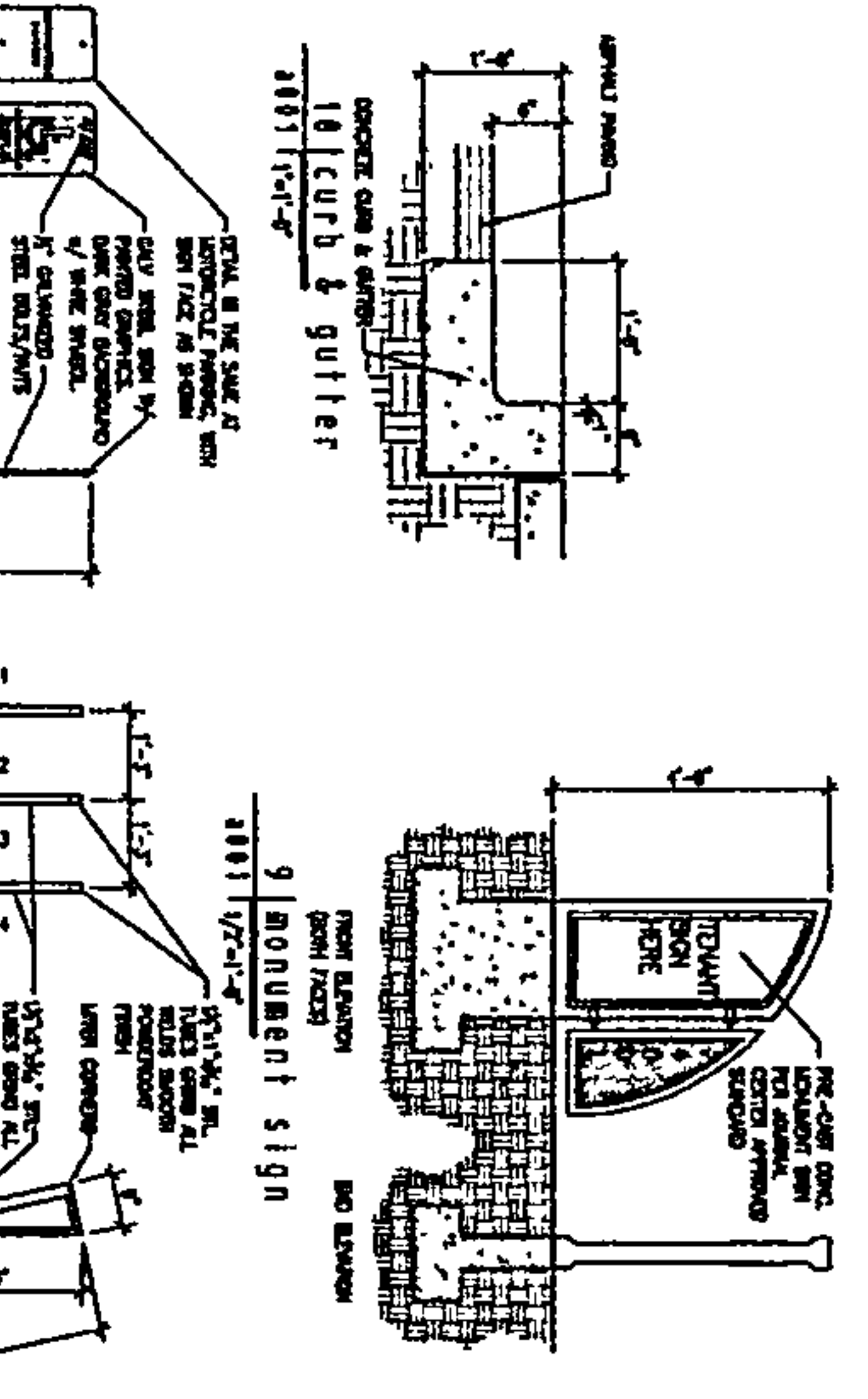
3 new headquarters for: KINESIS 5001 Masthead St ne albuquerque, new mexico



SITE PLAN SITE DETAILS



date 11-3-15 sheet A001



Site data:

ADDRESS:	4001 HASTHEAD NE NE
CITY:	ALBUQUERQUE, NM
STATE:	NM
ZIP:	87105
OWNER:	KINESIS
DESIGNER:	ENTERPRISE BUILDERS ASSOCIATION
DATE:	11-3-15
PROJECT NO.:	11-3-15
SCALE:	AS SHOWN
DATE:	11-3-15
BY:	11-3-15
CHECKED BY:	11-3-15
DATE:	11-3-15
PROJECT NO.:	11-3-15
SCALE:	AS SHOWN
DATE:	11-3-15
BY:	11-3-15
CHECKED BY:	11-3-15
DATE:	11-3-15

Keyed notes:

1. REMOVE EXISTING CURB, GUTTER AND FORMER 2'-0" WIDE SIDEWALK AND REINSTALL NEW SIDEWALK AND GUTTER FOR 4001 ST.
2. ELECTRICAL, MECHANICAL, PLUMBING, SEE ELECTRICAL DRAWINGS.
3. LIGHT FIXTURES: SEE ELECTRICAL DRAWINGS.
4. CONCRETE: 4" CONC. W/ #4 BARS.
5. ASPHALT: ASPHALT PAVING: 4" ASPHALT W/ 2" SAND.
6. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
7. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
8. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
9. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
10. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
11. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
12. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
13. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
14. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
15. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
16. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
17. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
18. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
19. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.
20. 4" CONC. SLAB: 4" CONC. SLAB W/ #4 BARS.

REVISIONS

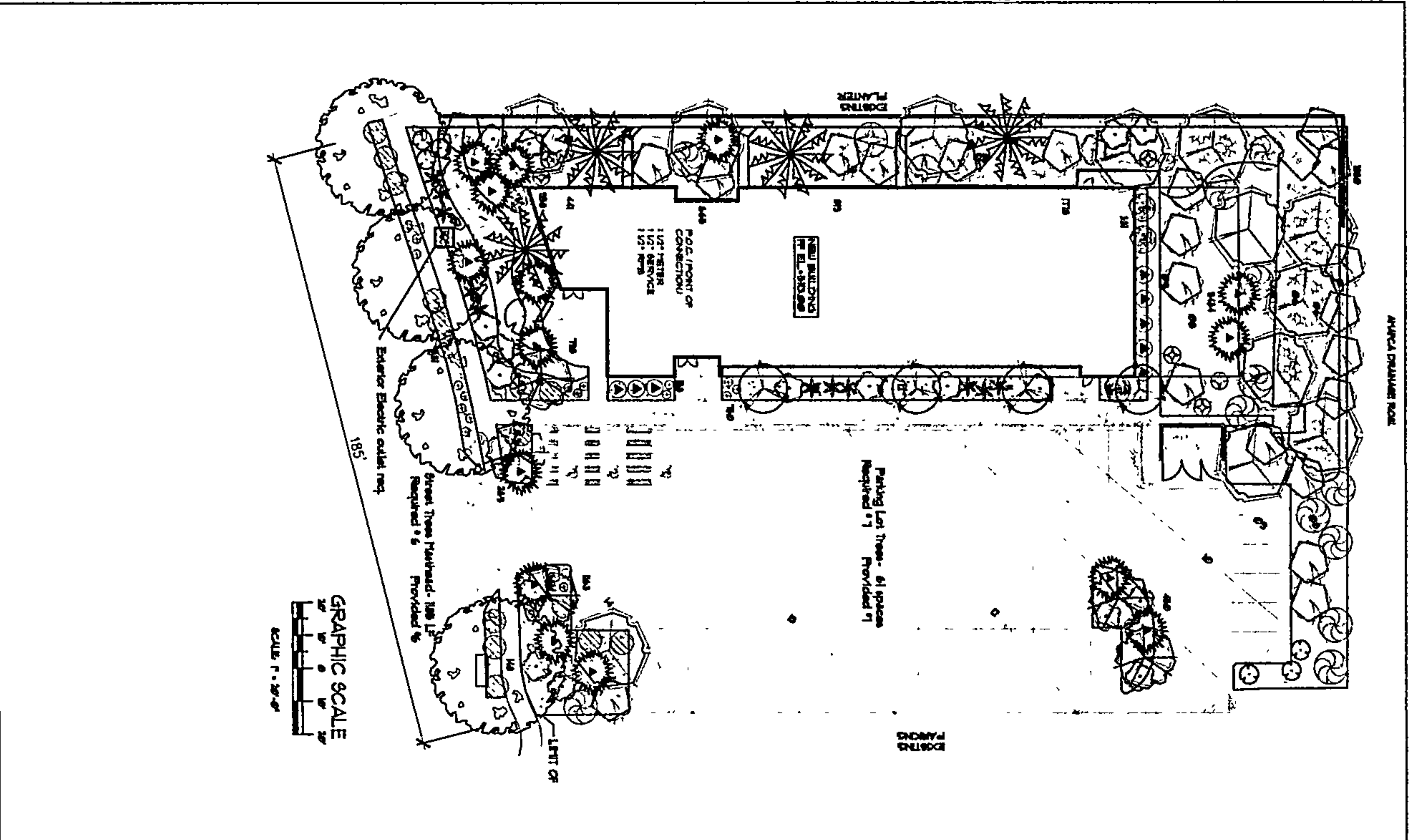
NO.	DATE	DESCRIPTION
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2	11-3-15	ISSUE FOR PERMIT
3	11-3-15	ISSUE FOR PERMIT
4	11-3-15	ISSUE FOR PERMIT
5	11-3-15	ISSUE FOR PERMIT
6	11-3-15	ISSUE FOR PERMIT
7	11-3-15	ISSUE FOR PERMIT
8	11-3-15	ISSUE FOR PERMIT
9	11-3-15	ISSUE FOR PERMIT
10	11-3-15	ISSUE FOR PERMIT
11	11-3-15	ISSUE FOR PERMIT
12	11-3-15	ISSUE FOR PERMIT
13	11-3-15	ISSUE FOR PERMIT
14	11-3-15	ISSUE FOR PERMIT
15	11-3-15	ISSUE FOR PERMIT
16	11-3-15	ISSUE FOR PERMIT
17	11-3-15	ISSUE FOR PERMIT
18	11-3-15	ISSUE FOR PERMIT
19	11-3-15	ISSUE FOR PERMIT
20	11-3-15	ISSUE FOR PERMIT

11-3-15 date
sheet
A001

FOR GATED SITE ACCESS
PERMITTING AND FIRE DEPARTMENT APPROVAL
THIS DRAWING IS THE PROPERTY OF ENTERPRISE BUILDERS ASSOCIATION
IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED
HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN
CONSENT OF ENTERPRISE BUILDERS ASSOCIATION IS STRICTLY PROHIBITED.
DATE: 11-3-15

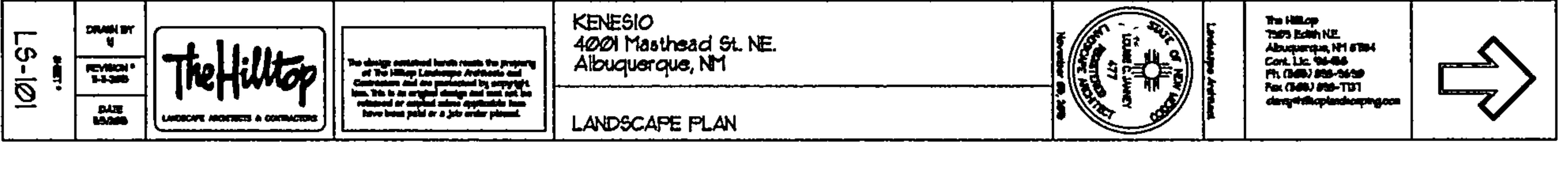
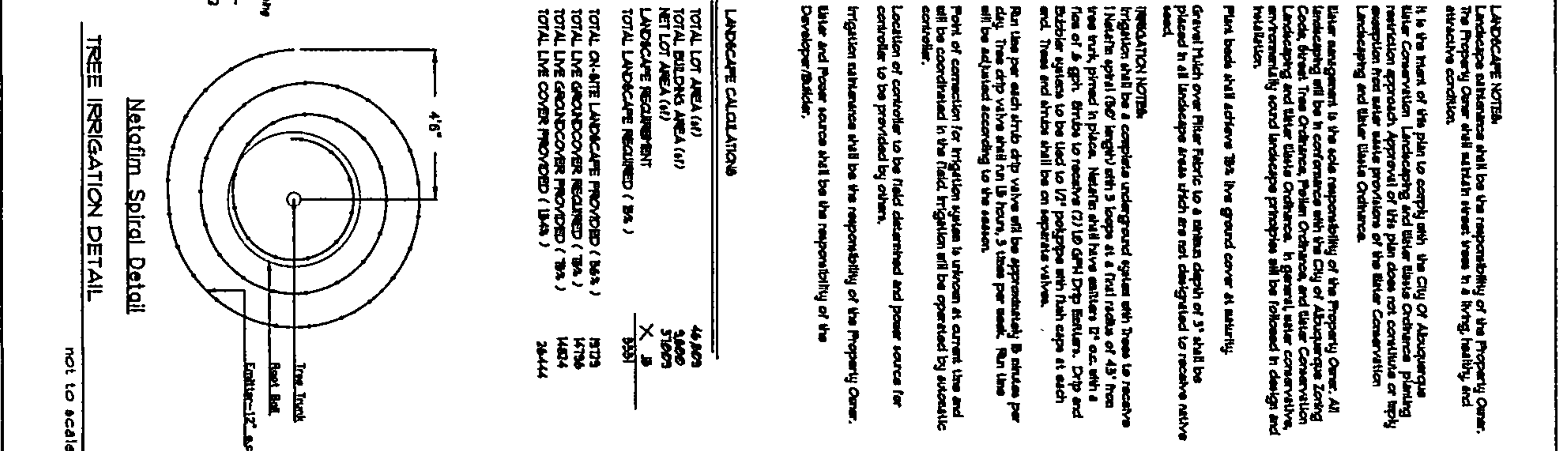
ENTERPRISE BUILDERS ASSOCIATION
CORPORATION
General Contractor License # 125001

KINESIS
2 new headquarters for:
albuquerque, new mexico
4001 hasthead st ne



LANDSCAPE LEGEND

QTY	SIZE	CARTOGRAPHICAL	NATIVE SIZE	100' LINE
TREES				
4	2' Cal.	Berard Ash Fraxinus velutina 'Santini'	30" x 30"	1,000 6,000 L
3	4'-6"	Prunus alata	30" x 30"	400 1,200 H
4	2' Cal.	Purple Leaf Plum Prunus virginiana 'Yves Vanwyk'	30" x 30"	400 1,600 L
4	5' Cal.	Spring Beam Catalpa Ficus sphenoloba	30" x 20"	400 2,000 H
SHRUBS & GROUNDCOVERS				
1	1' Cal.	Desert Shrub Chilopsis linearis	20" x 20"	800 800 H
1	1' Cal.	Hydrangea Alcea rosea	18" x 18"	9 90 H
4	1' Cal.	Prunella Prunella laevigata	18" x 18"	36 144 H
1	1' Cal.	Chrysothamnus Chrysothamnus nauseosus	24" x 24"	9 36 H
1	1' Cal.	Corydalis Corydalis x dandersonii	6" x 6"	49 175 L
1	1' Cal.	Folkia Folkia parviflora	4.5" x 5"	202 L
1	1' Cal.	Rhus Rhus trilobata	4.5" x 5"	202 L
1	1' Cal.	Barbours Barbours thurberii	4.5" x 5"	202 L
1	1' Cal.	Barbours Barbours thurberii	4.5" x 5"	202 L
1	1' Cal.	Barbours Barbours thurberii	4.5" x 5"	202 L



LANDSCAPE CALCULATIONS

TOTAL LOT AREA (A1)	44,800
TOTAL BUILDING AREA (A2)	3,000
NET LOT AREA (A1)	41,800
LANDSCAPE REQUIREMENT	X .5
TOTAL LANDSCAPE REQUIRED (BS)	20,900
TOTAL ON-SITE LANDSCAPE PROVIDED (BSA)	17,725
TOTAL LIVE GROUNDCOVER PROVIDED (BSA)	14,796
TOTAL LIVE GROUNDCOVER PROVIDED (BSA)	14,824
TOTAL LIVE COVER PROVIDED (BSA)	24,444

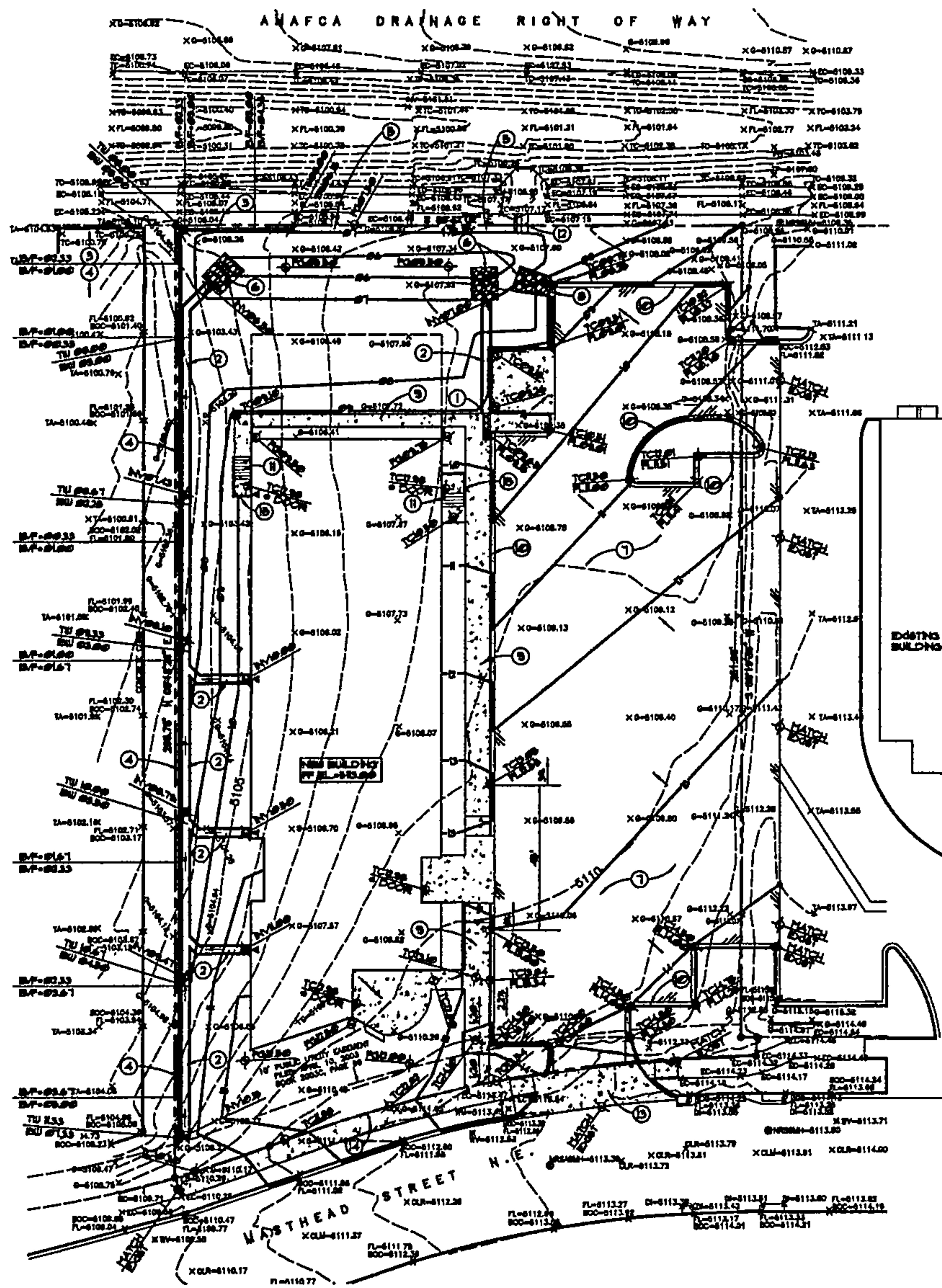
THE HILLTOP
LANDSCAPE ARCHITECTS & CONTRACTORS

Kenesio
4001 Maathead St. NE
Albuquerque, NM

LANDSCAPE PLAN

SEAL OF NEW MEXICO
LOCAL 477
LANDSCAPE ARCHITECT
November 20, 2008

DATE: 05/20/08
REVISION: 1-1-08
DRAWN BY: [Signature]



1 | conceptual grading and drainage plan
 1"=20'

KEYED NOTES

- 1 2'-6" WIDE SIDEWALK CURB/VERT
- 2 2'-6" WIDE CONCRETE FINDOUN
- 3 SITE RETAINING WALL
- 4 SITE RETAINING WALL
- 5 PROVIDE DIRT BERRY AT NORTH EDGE OF POND
- 6 8'-6" ED. x 12'-6" LONG 4" TO 6" REFRAP PAD AT CHANNEL OUTLET
- 7 3" THICK ASPHALT PAVING
- 8 2'-6" SIDE BREAK IN CURB FOR DRAINAGE OUTLET
- 9 4" 4000 PSI AIR-ENTRAINED CONCRETE SIDEWALK W/ MAXIMUM 2% CROSS SLOPE
- 10 4000 PSI AIR-ENTRAINED CONCRETE CURB AND GUTTER
- 11 4000 PSI AIR-ENTRAINED CONCRETE STAIR
- 12 SMOOTH EDGING CURBS AND REMOVE AS REQUIRED FOR NEW POND OUTLET - CONSTRUCT INFILTRATION/DISSIPATION CHANNEL
- 13 CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING 9349
- 14 CONCRETE SIDEWALK IN CITY ROAD PER C.O.A. STANDARD DRAWING 9349
- 15 CONCRETE RETAINING WALL AT STAIR AND LANDINGS

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- 5110 --- EXISTING CONTOUR
- NEW CONTOUR
- X 0-8108.55 EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- EC EDGE OF CONCRETE
- DI DROP INLET
- FL FLOW LINE
- TG TOP OF GRATE
- TU TOP OF WALL
- BU BOTTOM OF WALL
- BU BOTTOM OF WALL
- BF BOTTOM OF FOOTING
- IV INVERT
- BOC BACK OF CURB
- NBSM-N NORTH RHY SANITARY SINKER MANHOLE
- NEW CONCRETE PAVING
- NEW AC PAVING
- ROOF DRAIN LOCATION
- SCALE

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2
 DESIGN STORM (IN)

1"	2"	3"	4.6"	10day			
2.01	2.38	2.78	3.38	3.88			
EXISTING CONDITIONS							
LAND AREA (ACRES)	%	P ₆ (CP/AC)	C (CP)	V ₆ (CP)	V ₂₄ (CP)	1DAY (CP)	10DAY (CP)
A	0.000	0%	0.33	1.06	0.00	0	0
B	0.000	0%	0.19	2.38	0.00	0	0
C	1.074	100%	1.3	3.14	3.37	4.487	4.487
D	0.000	0%	2.2	4.19	0.00	0	0
TOTALS	1.074	100%			3.37	4.487	4.487
PROPOSED CONDITIONS							
LAND AREA (ACRES)	%	P ₆ (CP/AC)	C (CP)	V ₆ (CP)	V ₂₄ (CP)	1DAY (CP)	10DAY (CP)
A	0.000	0%	0.33	1.06	0.00	0	0
B	0.300	30%	0.19	2.38	0.07	1.002	1.002
C	0.000	0%	1.3	3.14	0.00	0	0
D	0.642	64%	2.2	4.19	3.70	6.350	6.350
TOTALS	1.074	100%			4.8	6.487	6.487

FIRST FLUSH: 3000 SF x 0.44"/2 IN PER FT = 100 CF
 POND VOLUME: 2200 SF x 12 1/2" = 1375 CF

LEGAL DESCRIPTION

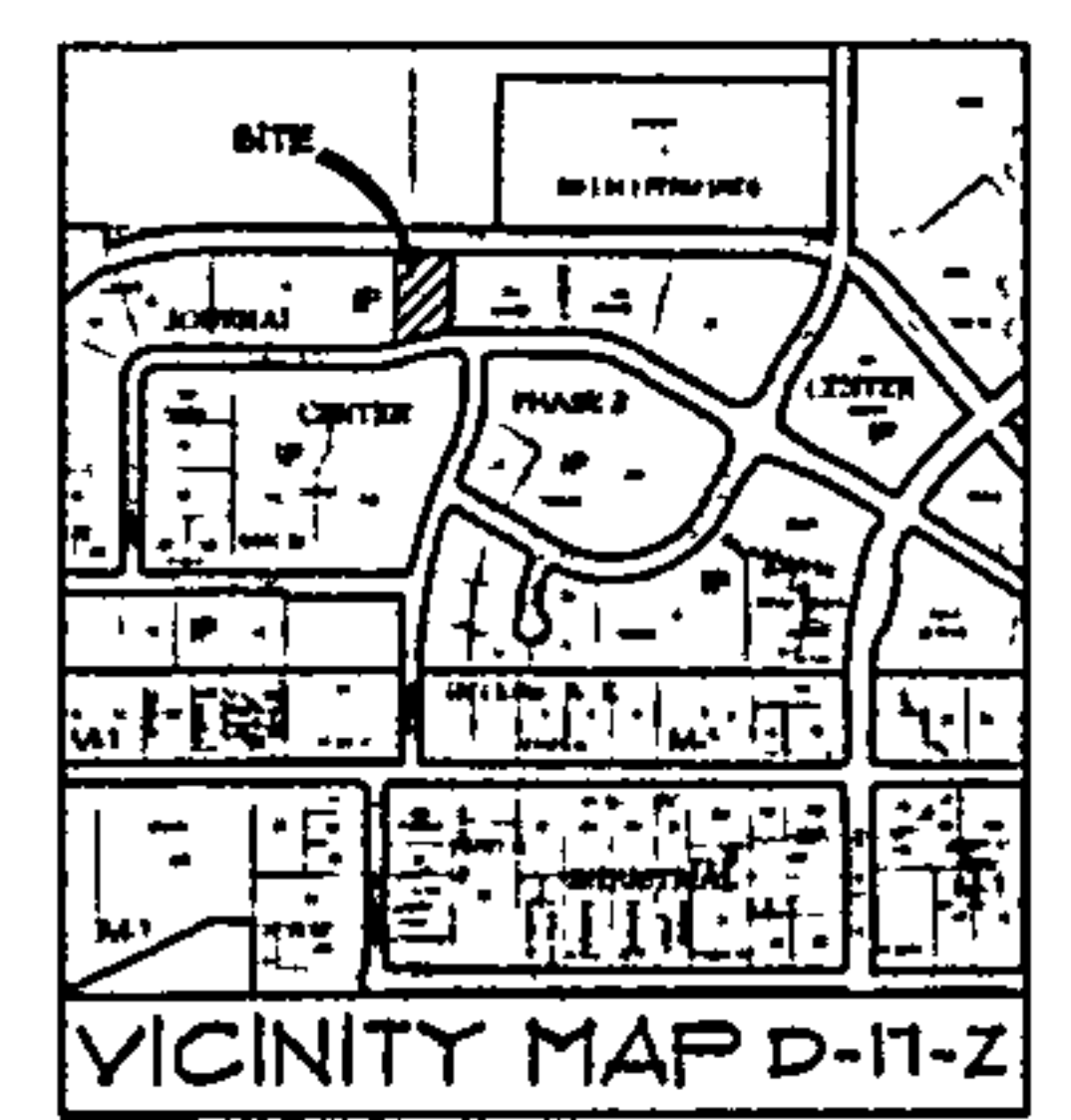
LOT NUMBERED ONE (1) IN PHASE 2, UNIT 2, JOURNAL CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. 78-271, HAVING AN ELEVATION OF 5485.66, NAVD 1988

DESIGN NARRATIVE

3000X



Walla Structural Engineering
 2521 Avenue U, Suite 200, Albuquerque, NM 87112
 505-261-2000 • Fax: 505-261-2001

a new headquarters for:

4001 masthead st ne
 albuquerque, new mexico

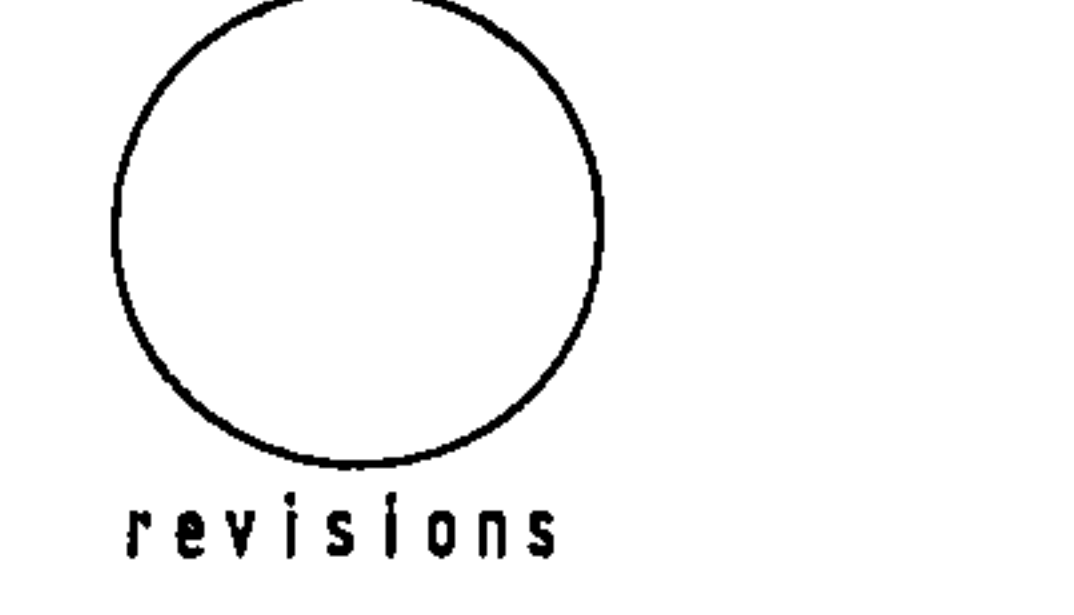
EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

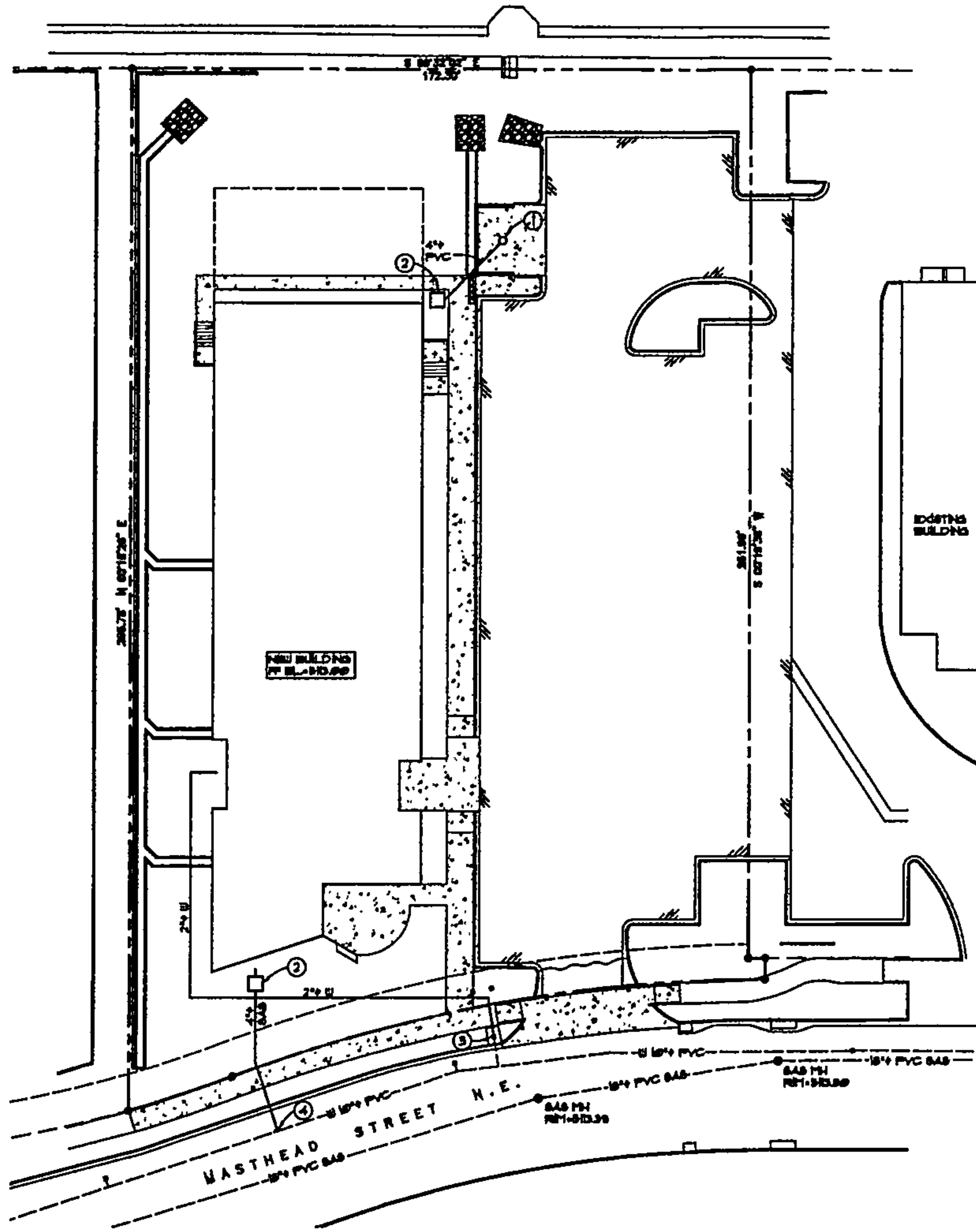
General Contractor License # 29031

413 2nd street NW
 Albuquerque, NM 87102
 505-241-8007
 slagleharrarchitects.com

CONCEPTUAL GRADING AND DRAINAGE PLAN



date
11-6-15
 sheet
C101



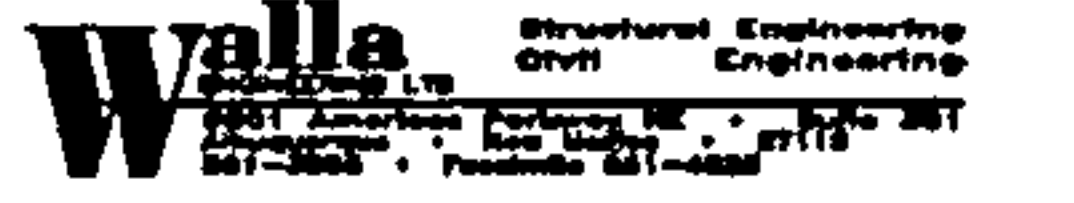
1 | conceptual site utility plan
 c102 | 11-6-15
 0 10' 20' 40' 60'

KEYED NOTES

- 1 ZURN AREA DRAIN
- 2 GREASE TRAP - SEE MECHANICAL
- 3 EXISTING WATER METER SADDLE AND BOX
- 4 SANITARY SEWER SERVICE CONNECTION

LEGEND

- SAS— EXISTING SANITARY SEWER LINE
- SAS— SANITARY SEWER LINE
- W— EXISTING WATER LINE
- W— WATER LINE
- M— WATER METER
- P— PROPERTY LINE
- C— SEWER CLEAN OUT
- M— EXISTING MANHOLE
- EV— INVERT ELEVATION

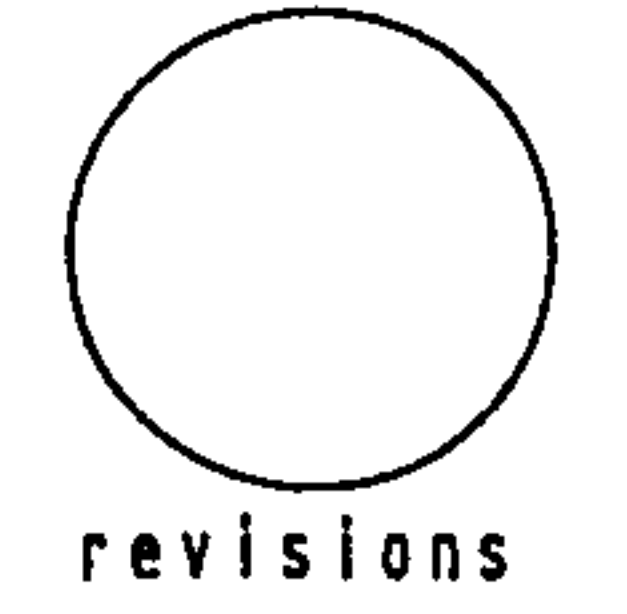


a new headquarters for:

 4001 Wasthead St NE
 Albuquerque, New Mexico



**CONCEPTUAL
 SITE UTILITY
 PLAN**



date
11-6-15
 sheet
C102

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.



Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan

B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale:
1.0 acre or less 1" = 10' Over 5 acres 1" = 50'
1.0 - 5.0 acres 1" = 20' Over 20 acres 1" = 100'
[other scales, if approved by staff]
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
- na 9. Phases of development including location and square footages of structures, circulation, parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

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B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 50 provided: 61
Handicapped spaces (included in required total) required: 3 provided: 3
Motorcycle spaces (in addition to required total) required: 2 provided: 2
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 3 provided: 4
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
 - A. Conceptual onsite drainage system
 - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
 - a. Identify facade orientation (north, south, east, & west)
 - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
 - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
 - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance

PROJECT#
1010685

DECEMBER 23. 2015

SP