

**site data:**

LOCATION:	4001 MASTHEAD ST. NE ALBUQUERQUE, NM
LEGAL DESCRIPTION:	LOT 1 JOURNAL CENTER 2 PHASE 2
UPC #:	101706319026630415
CURRENT ZONING:	IP
SETBACK REQUIREMENTS:	20' FRONT, 10' SIDES, 10' REAR
ZONE ATLAS PAGE:	D-17
BUILDING CONSTRUCTION:	2B (NON-SPRINKLED)
APPLICABLE CODE:	2009 IBC
TOTAL LOT AREA:	C.O.A. ZONING ORDINANCE 46,809 SF (1.0746 AC.)
BUILDING FOOTPRINT AREA:	9800 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	37,009 S.F.
FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA):	21%
PAVED AREA:	16,114 S.F.
LANDSCAPE AREA:	20,895 S.F.
LANDSCAPE % NET LOT AREA:	56%
LANDSCAPE TO PAVED AREA RATIO:	1.29
REQUIRED PARKING:	50 SPACES
OFFICE:	1 SPACE PER 200 SF.(9000 SF)=45 SPACES
RESTAURANT:	1 SPACE PER 4 SEATS (20 SEATS)=5 SPACES
PARKING PROVIDED:	61 SPACES
REQUIRED H.C. PARKING:	3 SPACES
H.C. PARKING PROVIDED:	3 SPACES
BICYCLE PARKING PROVIDED:	4 SPACES
REQUIRED MOTORCYCLE PARKING:	2 SPACES
MOTORCYCLE PARKING PROVIDED:	2 SPACES

- keyed notes:**
- REMOVE EXISTING CURB, GUTTER AND PORTION OF SIDEWALK AND INSTALL NEW DRIVEWAY AND SIDEWALK PER C.O.A. STD. DWG.
  - ELECTRICAL TRANSFORMER LOCATION: SEE ELECTRICAL DRAWINGS
  - LIGHT POLE: SEE ELECTRICAL SHEETS
  - EXISTING 6' WIDE CONC. WALK
  - ASPHALT PAVING: REFER TO SOILS REPORT FOR PAVING SECTION
  - 8' WIDE CONC. WALK
  - ADA ACCESSIBLE RAMP: SEE 16
  - NEW HCP RAMP W/ TRUNCATED DOMES @ SLOPED SURFACES. SEE C.O.A. STD. DWG 2441.
  - 4" THK. CONC. PAVING W/ CONTROL JOINTS AS SHOWN
  - 4' WIDE CONC. WALK
  - 20' BUILDING SETBACK LINE
  - 10' BUILDING SETBACK LINE
  - 4" WIDE WHITE PAINTED PARKING STRIPES
  - INTERNATIONAL HCP SYMBOL PAINTED BLUE ON ASPHALT
  - 2' WHITE PAINTED BLOCKS-WIDTH AS SHOWN
  - MOTORCYCLE PARKING: PAINTED WHITE
  - HCP. PARKING SIGN: SEE 17
  - MOTORCYCLE PARKING SIGN: SEE 18
  - NEW CURB AND GUTTER: SEE 110
  - DUMPSTER ENCLOSURE: SEE 16
  - 6' WIDE CONC. WALK
  - CONC. WALK FLUSH WITH ASPHALT HERE
  - STL. BOLLARD: SEE 15
  - MONUMENT SIGN: SEE 9
  - BIKE RACK: SEE 8
  - LANDSCAPE: SEE LANDSCAPE PLAN
  - REMOVE EXISTING CURB AND GUTTER AND LANDSCAPE THIS AREA AND INSTALL NEW ASPHALT PAVING PER SOILS REPORT PAVING SECTION RECOMMENDATION
  - EXISTING ASPHALT PAVING TO REMAIN
  - 5' WIDE CONC. WALK
  - 10' WIDE PUBLIC UTILITY EASEMENT
  - EXISTING STORM SEWER INLET TO REMAIN

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

Is an infrastructure list required? ( ) yes ( ) no If yes, then a set of approved IRC plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL: \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE \_\_\_\_\_

WATER UTILITY AUTHORITY DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT DATE \_\_\_\_\_

CITY ENGINEER DATE \_\_\_\_\_

SOLID WASTE MANAGEMENT DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE \_\_\_\_\_

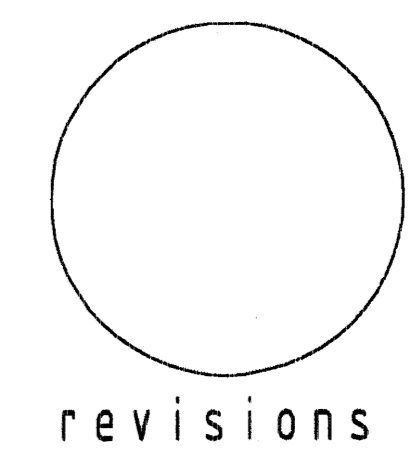
a new headquarters for:

4001 masthead st ne  
albuquerque, new mexico



slagleherrarchitects  
413 second st sw  
albuquerque nm  
87102  
5052460870  
slagleherr.com

**SITE PLAN  
SITE DETAILS**

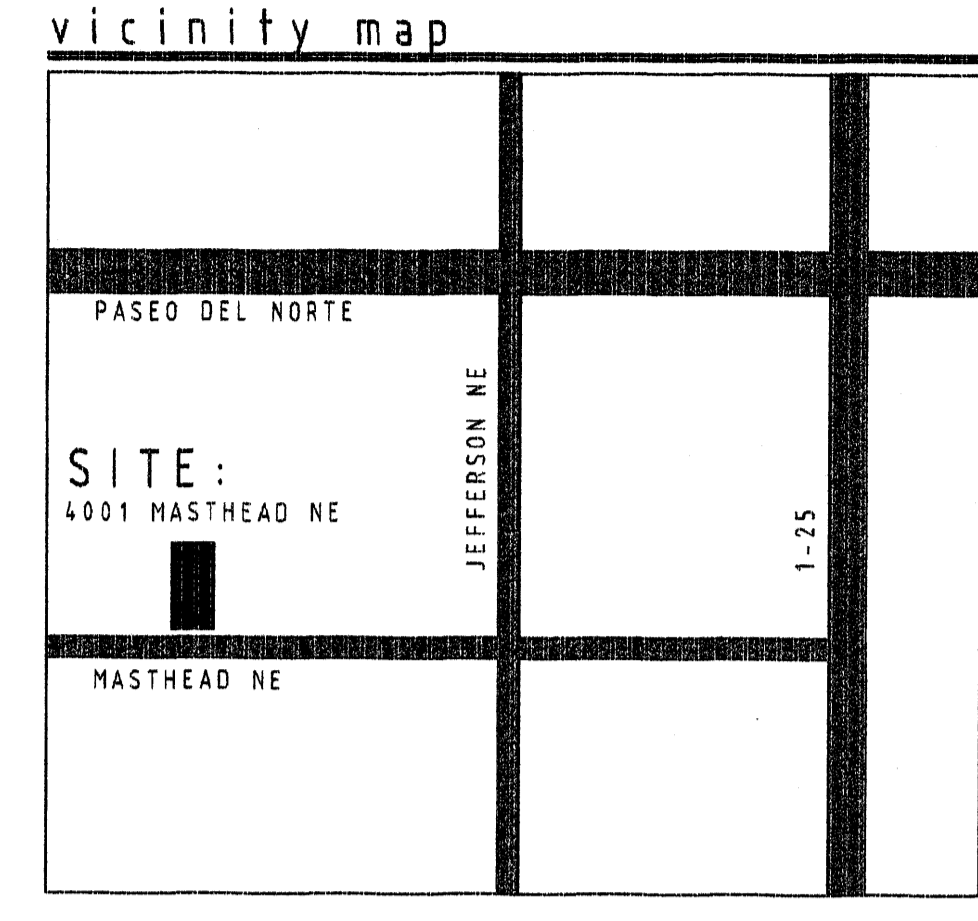
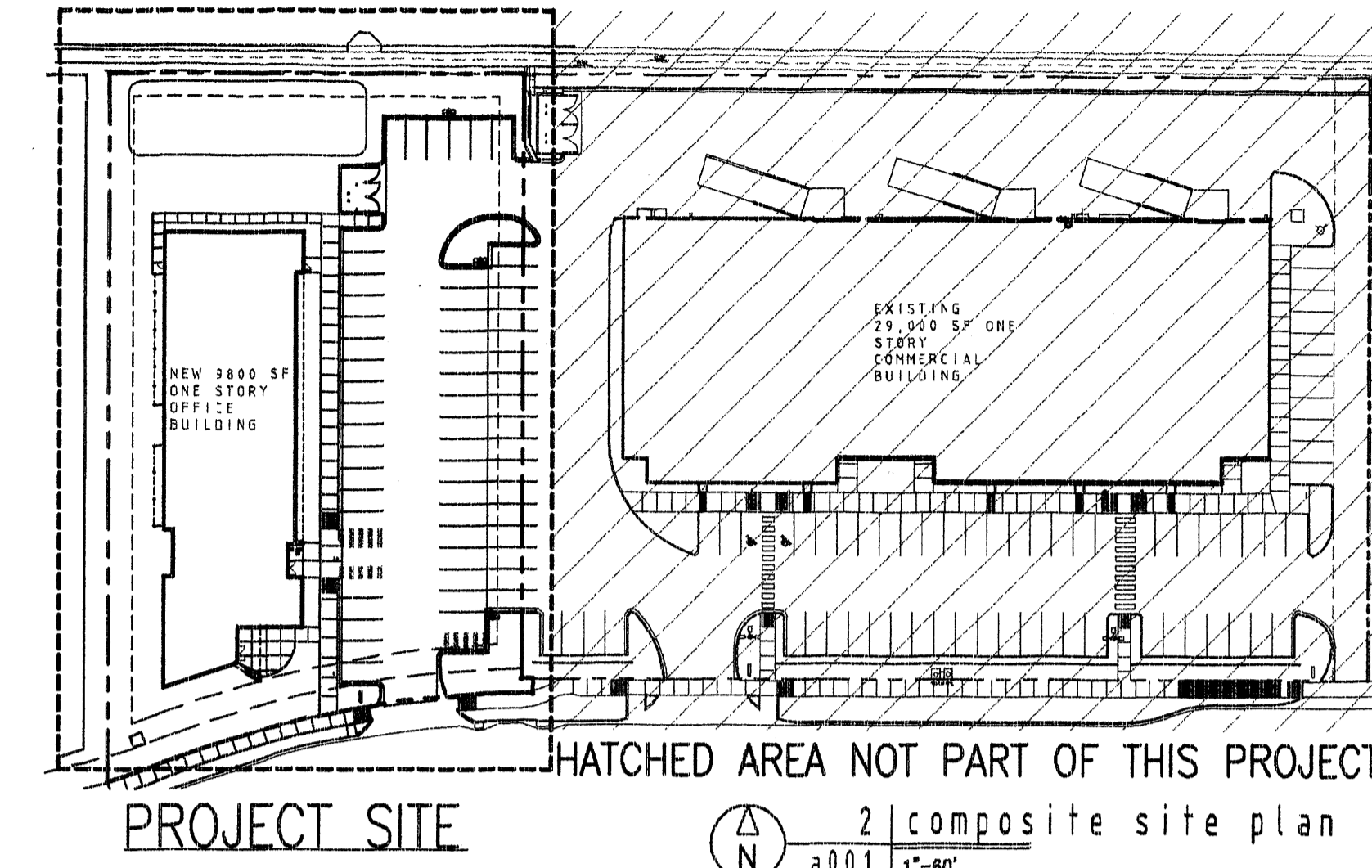
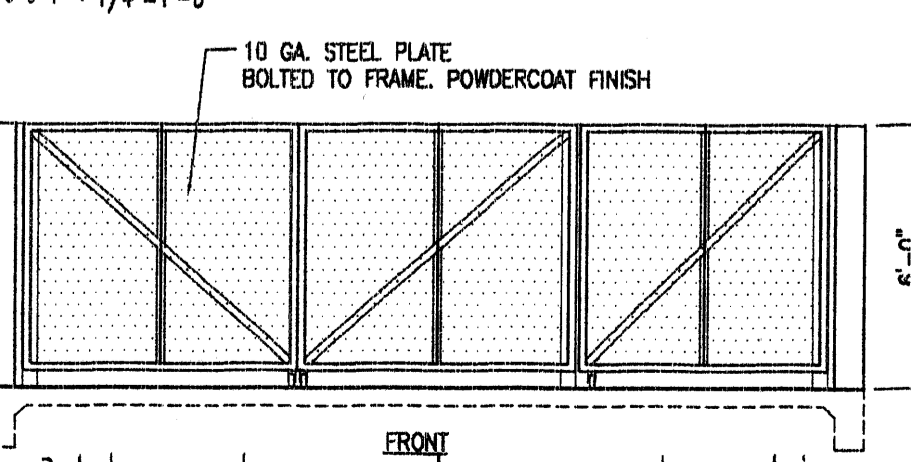
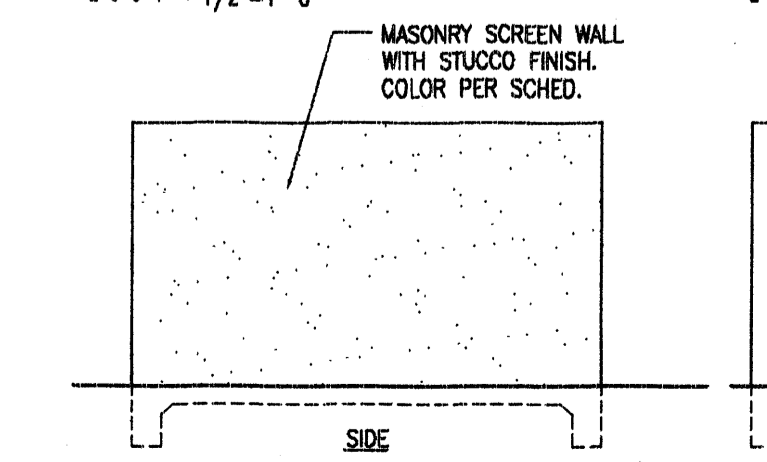
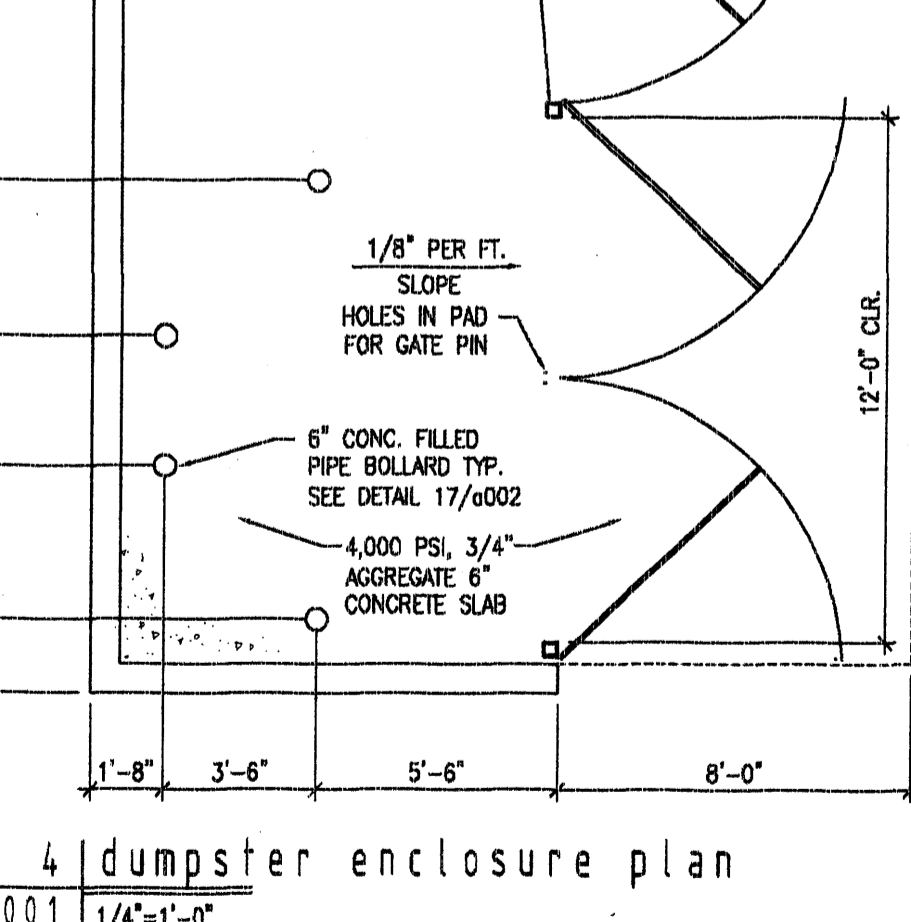
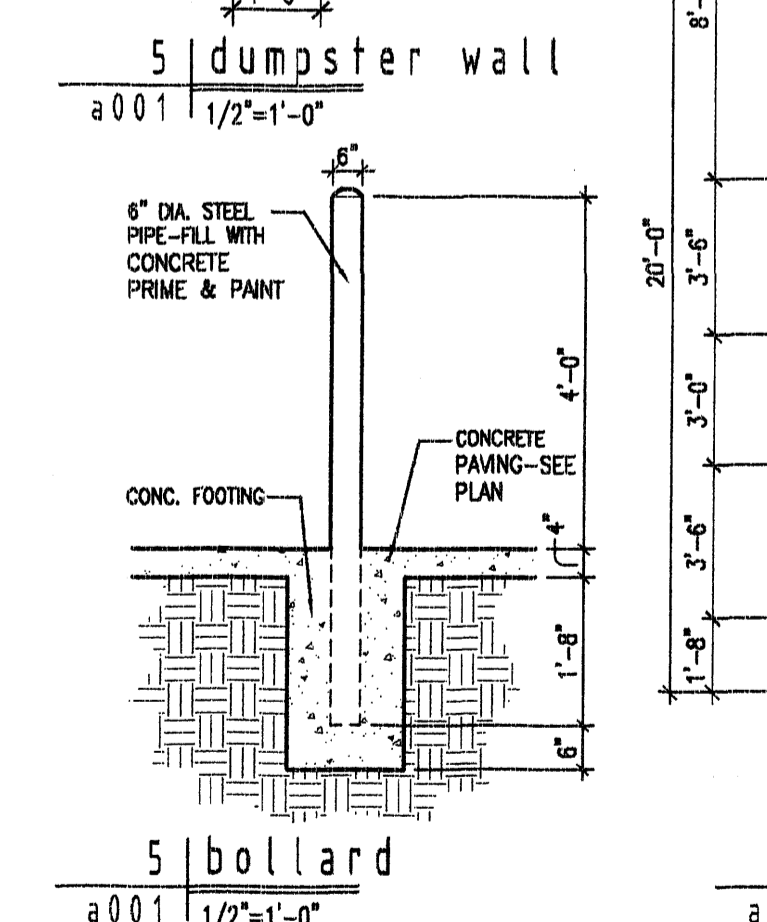
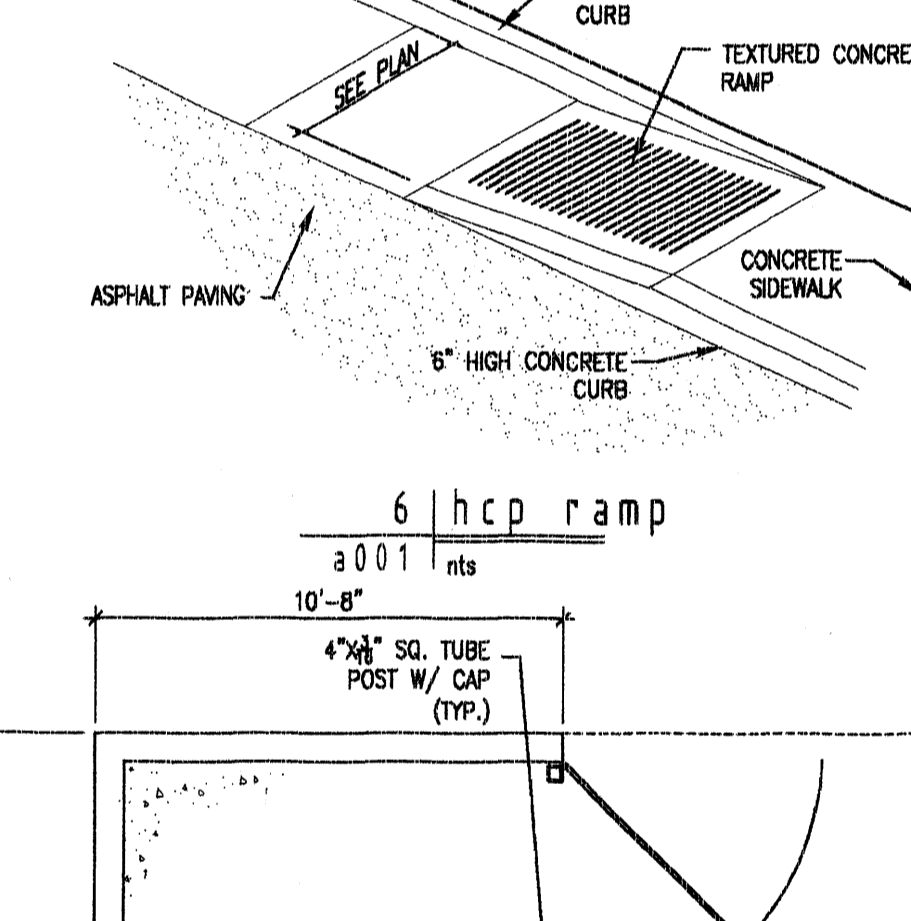
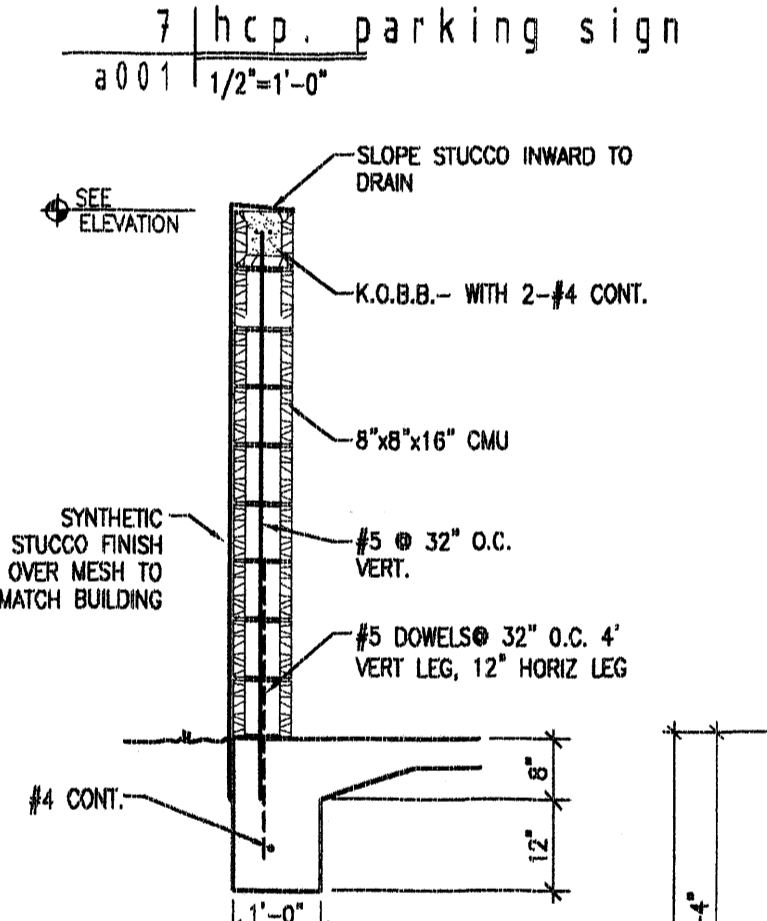
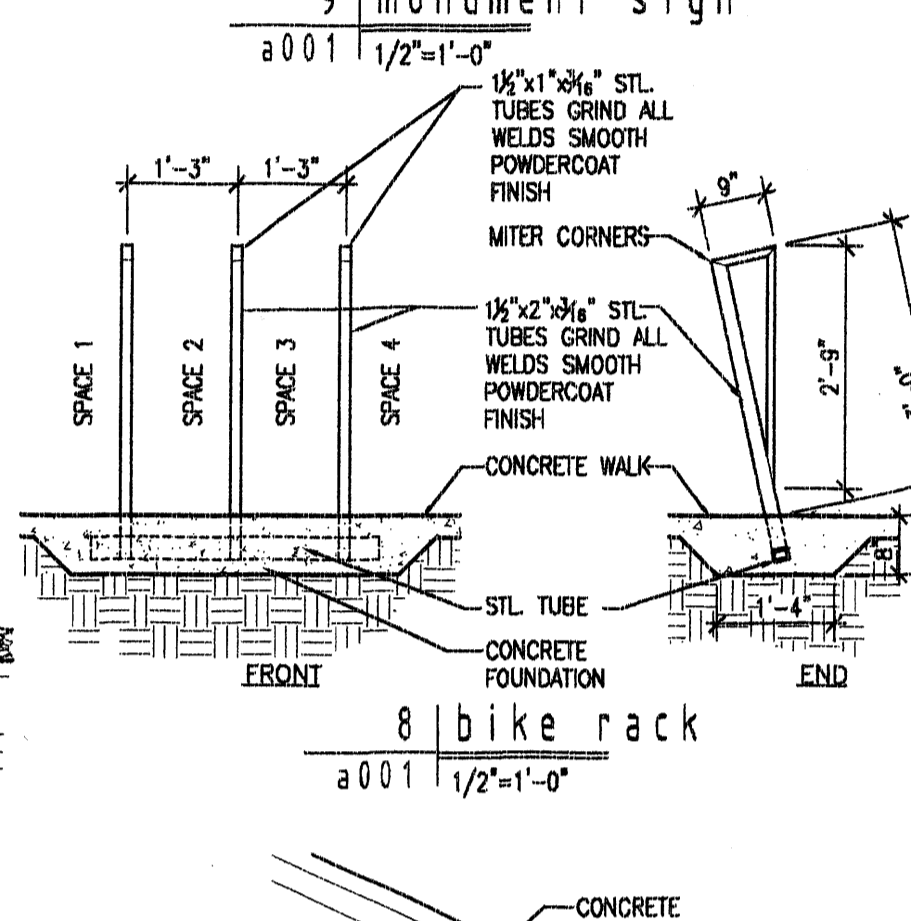
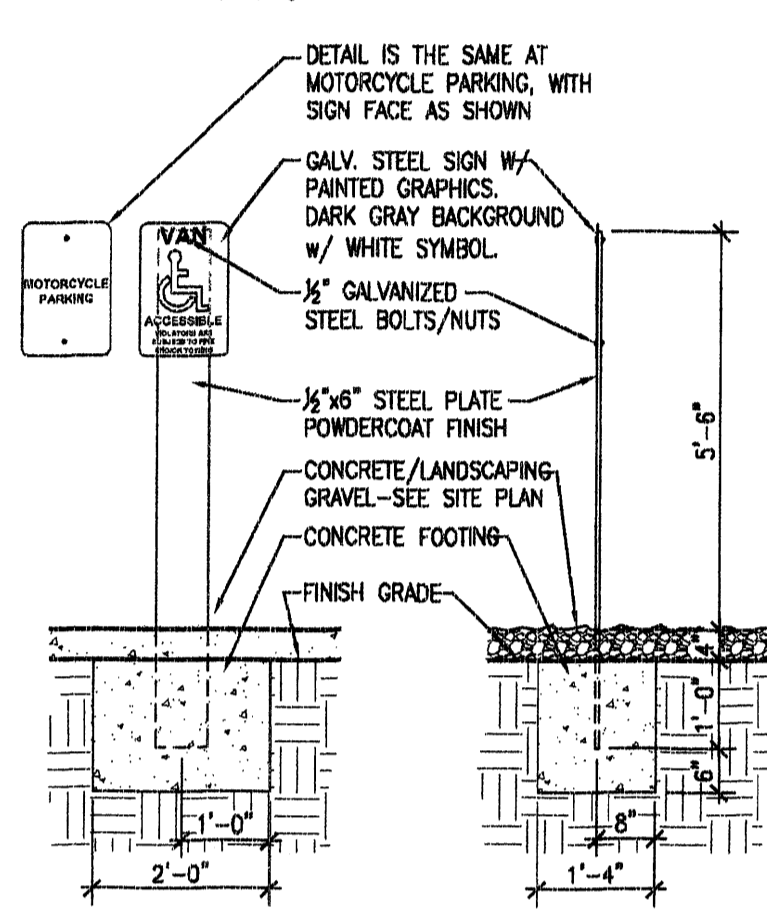
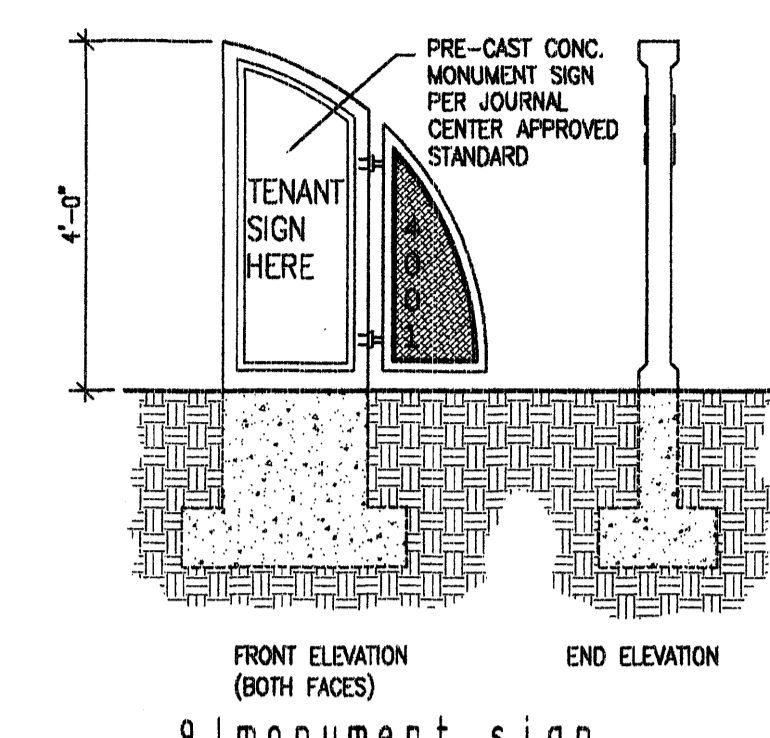
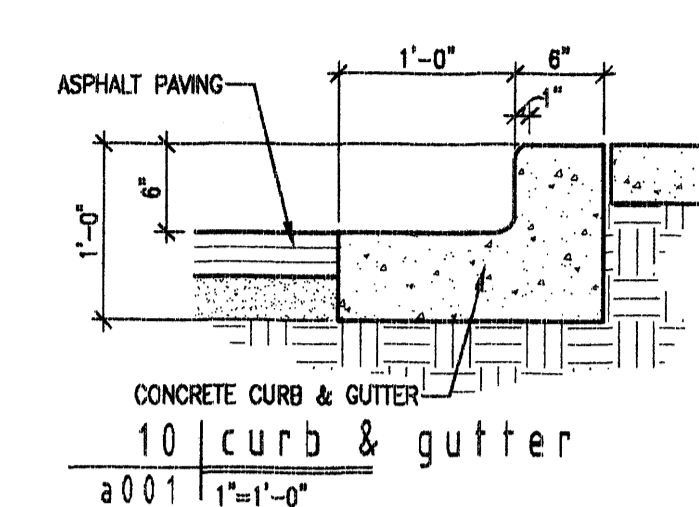


date  
**11-3-15**  
sheet  
**A001**

Fire Case# 5741-15  
HYDRANT AND FIRE ACCESS  
ALBUQUERQUE FIRE MARSHAL'S OFFICE  
PLANS CHECKING DIVISION  
SOFT 1822 CONSTRUCTION TYPE 20  
GPU 1426 NUMBER OF HYDRANTS 2  
APPROVED / DISAPPROVED  
Signature: 11-3-15

Preparer: 1010685  
DATE: 12-23-15  
APP: 15-70440  
Request: SRI





site data:

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PROJECT NUMBER: \_\_\_\_\_ APPLICATION NUMBER: \_\_\_\_\_

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WATER UTILITY AUTHORITY \_\_\_\_\_ DATE: \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE: \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE: \_\_\_\_\_

SOLID WASTE MANAGEMENT \_\_\_\_\_ DATE: 11-3-15

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE: \_\_\_\_\_

a new headquarters for:

4001 masthead st ne  
albuquerque, new mexico

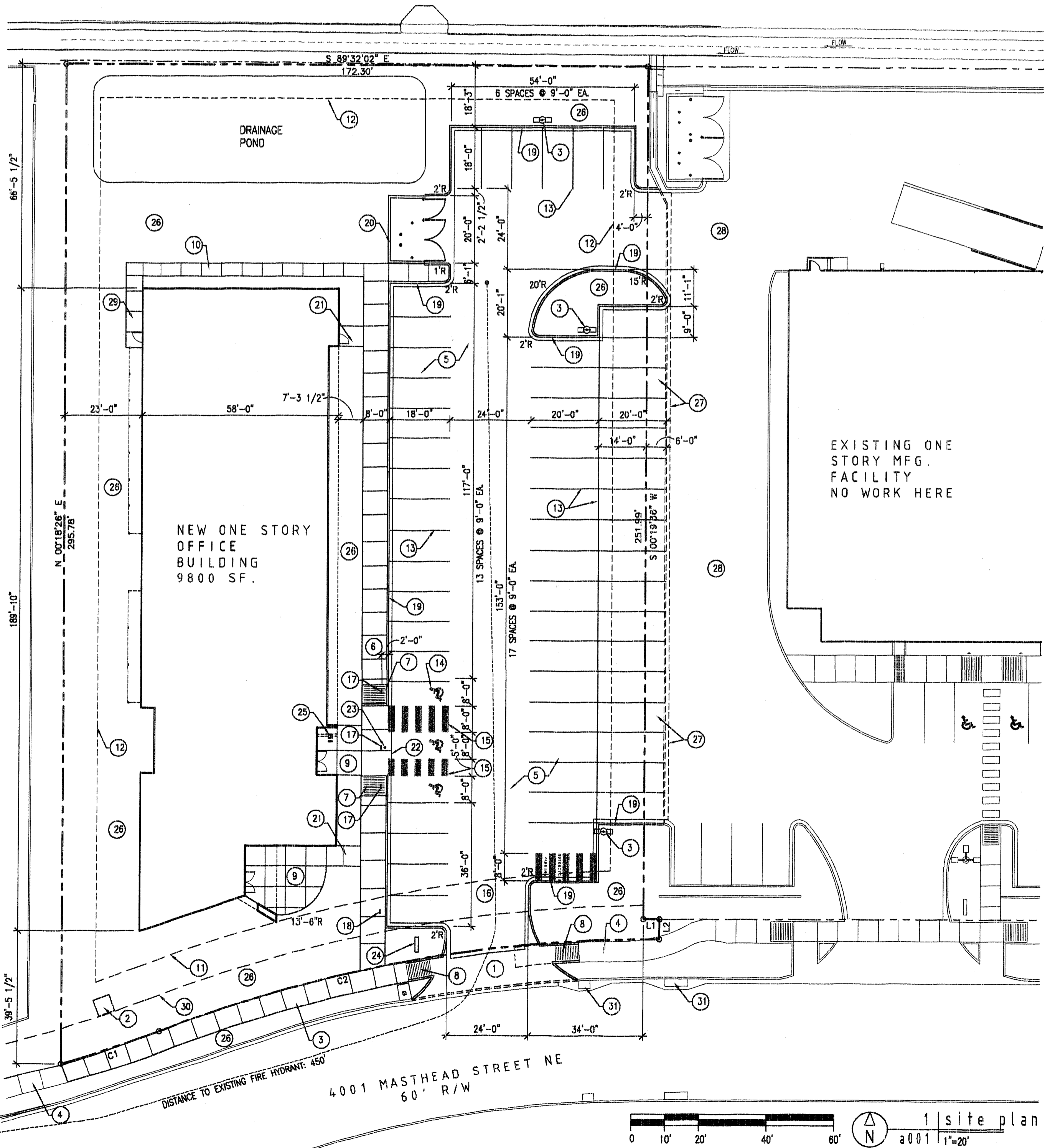
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Enterprise Builders Corporation  
General Contractor License #29031

slagLeherrarchitects  
413 second st sw  
albuquerque nm  
87102  
5052460870  
slagleherp.com

SITE PLAN  
SITE DETAILS

revisions

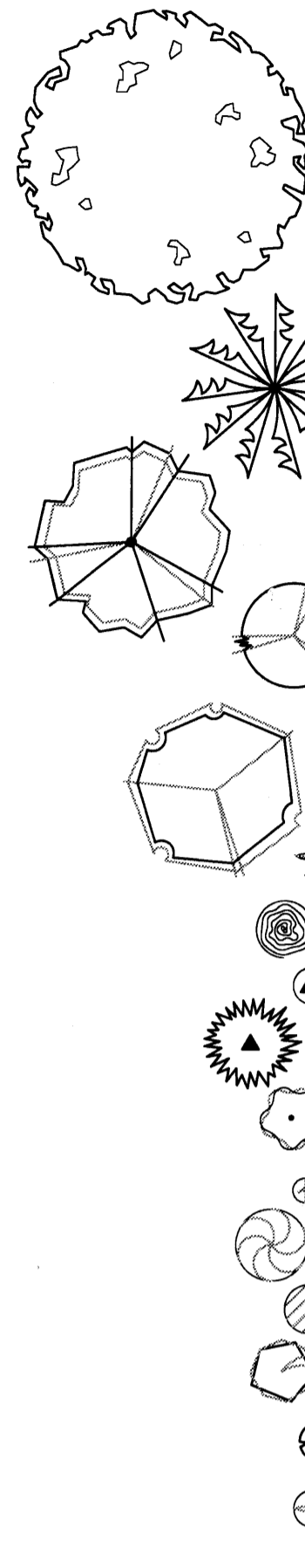
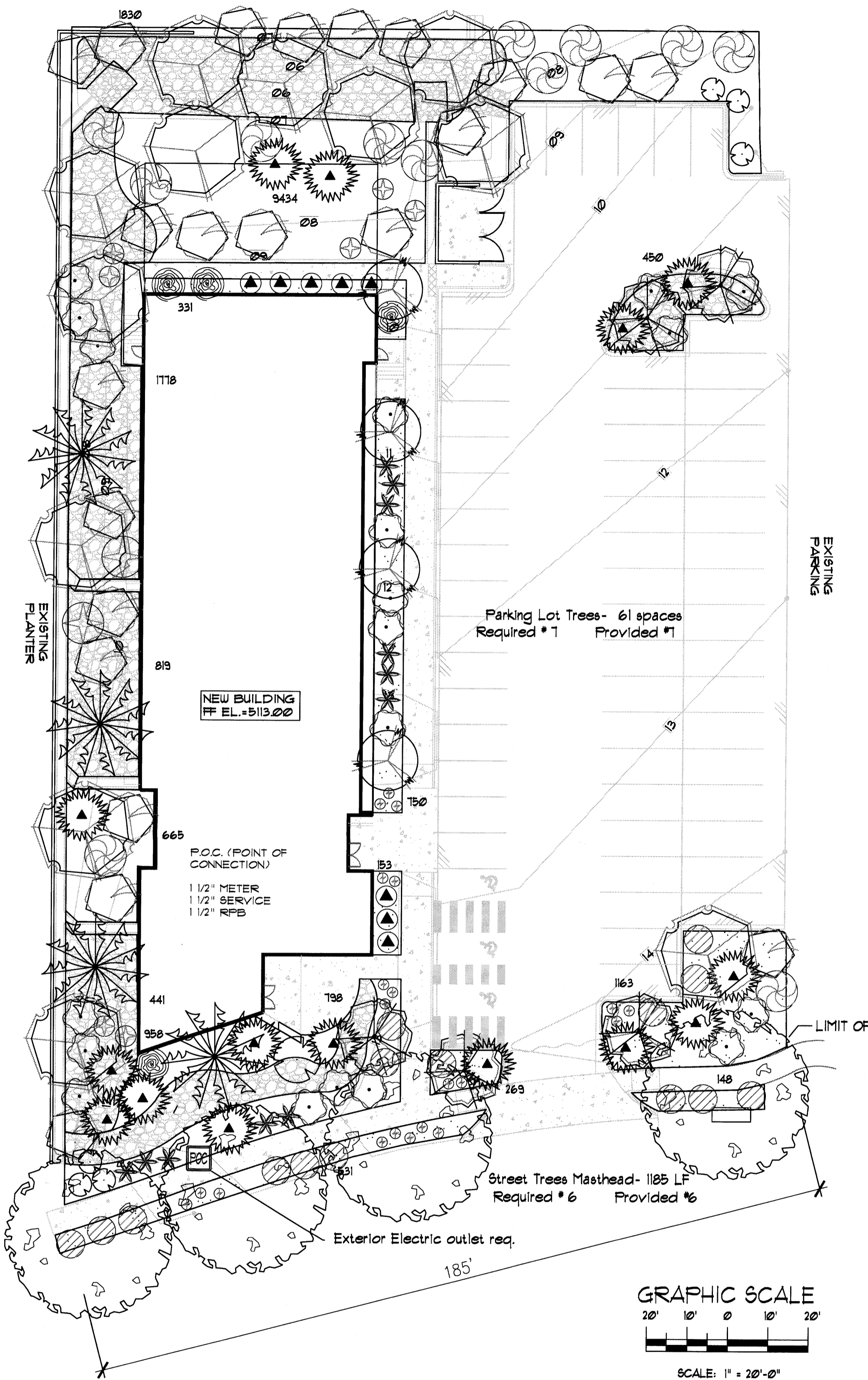


PROJECT: 100685  
DATE: 12-23-15  
APP: 15-70410  
REQUEST: SBP

date  
11-3-15  
sheet  
A001



AMAFCA DRAINAGE ROW



LANDSCAPE LEGEND

QTY	SIZE	COMMON BOTANICAL	MATURE SIZE	H2O USE	
<b>TREES</b>					
4	2" Cal.	Berinda Ash Fraxinus velutina 'Berinda'	30' x 30'	1600	6400 L
3	4 - 6'	Pinon Pinus edulis	30' x 20'	400	1200 M
4	2" Ca.	Purple Leaf Plum Prunus virginiana 'Krater Vesuvius'	20' x 20'	400	1600 L
4	15 Gal.	Spring Snow Crabapple Malus 'Spring Snow'	25' x 22'	484	2420 M 11620
<b>SHRUBS &amp; GROUNDCOVERS</b>					
13	1 Gal	Desert Willow Chilopsis linearis	20'x25'	625	8125 M
11	1 Gal	Maiden Grass Miscanthus sinensis	5'x3'	9	99 M
4	1 Gal	Purple Leaf Sand Cherry Prunus cistina	5x6	36	144 M
8	1 Gal	Oregon Grape Holly Mahonia aquifolium 'compacta'	4x4	16	128 M
11	1 Gal	Winter Jasmine Jasminum nudiflorum	4x12	144	1584 M
19	1 Gal	Halls Honeysuckle Lonicera japonica	6x12	36	684 M
11	1 Gal	Cherry Sage Salvia greggii	2x3	9	99 M
12	1 Gal	Chamaea Chrysothamnus nauseosus	5x10	100	1200 L
15	1 Gal	Blue Mist Caryopteris x clandonensis	3x3	9	135 M
22	1 Gal	Apache Plume Fallugia paradoxa	6x1	49	1078 L
7	1 Gal	Three Leaf Sumac Rhus trilobata	4x6	36	252 L
9	1 Gal	Japanese Barberry Barbaris thunbergii 'Atrapurplea'	4x4	16	1296 L 14824

13398	Landscape Gravel / Filter Fabric
679 off site	3/4" minus Gray Crushed Gravel
6331	Oversize Landscape Gravel / Filter Fabric Rounded Cobble 2" to 4"

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel Mulch over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

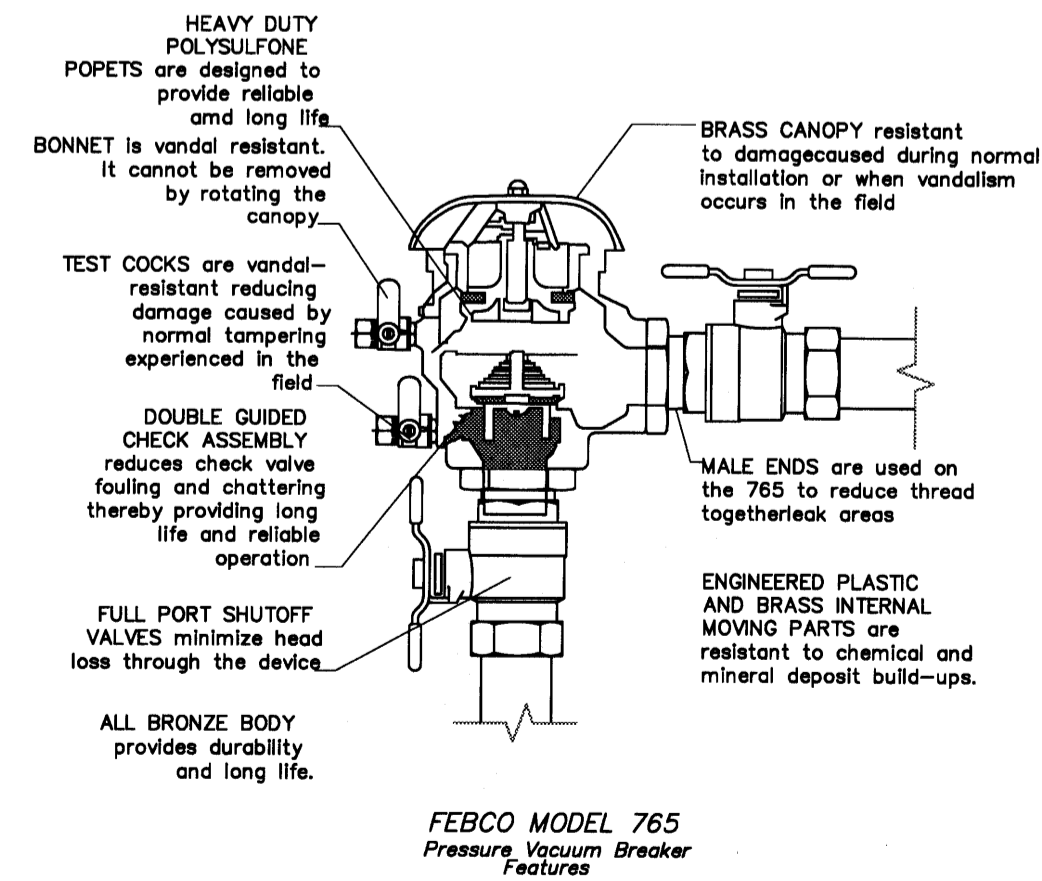
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

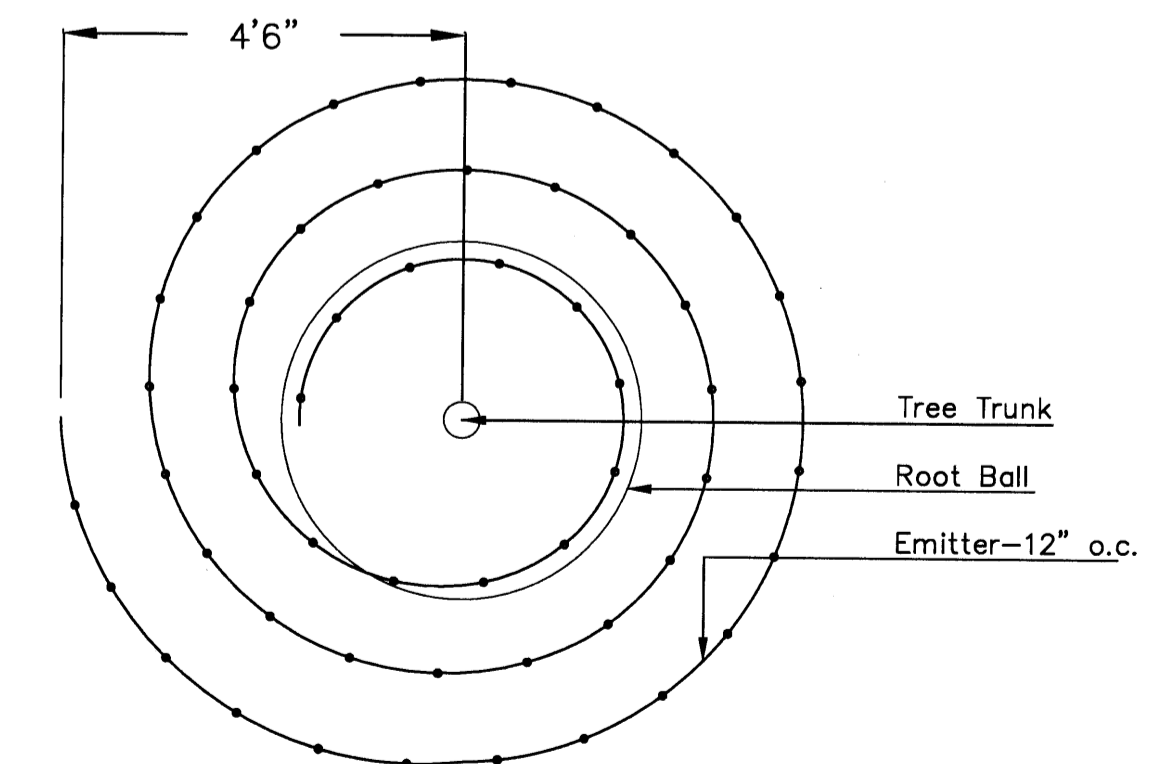
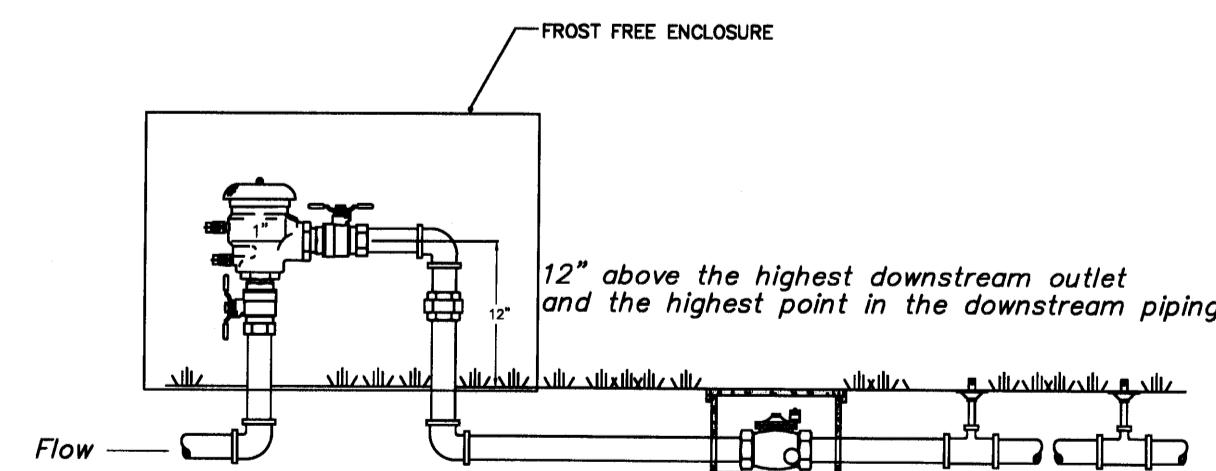
LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	46,809
TOTAL BUILDING AREA (sf)	9,800
NET LOT AREA (sf)	37,009
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED ( 15% )	5551
TOTAL ON-SITE LANDSCAPE PROVIDED ( 56% )	19129
TOTAL LIVE GROUND COVER REQUIRED ( 75% )	14796
TOTAL LIVE GROUND COVER PROVIDED ( 75% )	14824
TOTAL LIVE COVER PROVIDED ( 154% )	26444



BACKFLOW PREVENTER DETAILS

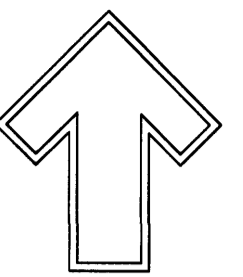
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Netafim Spiral Detail

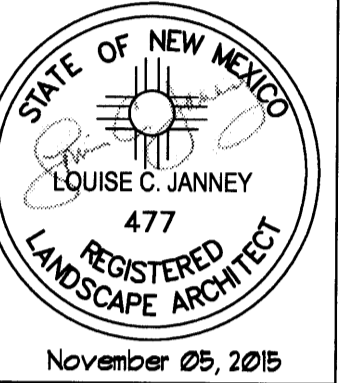
TREE IRRIGATION DETAIL

not to scale



The Hilltop  
1509 Edith NE  
Albuquerque, NM 87104  
Cont. Lic. #26459  
Ph: (505) 938-9650  
Fax: (505) 938-1131  
dhill@hilltoplandscaping.com

Landscape Architect



KENESIO  
400 Masthead St. NE  
Albuquerque, NM

LANDSCAPE PLAN

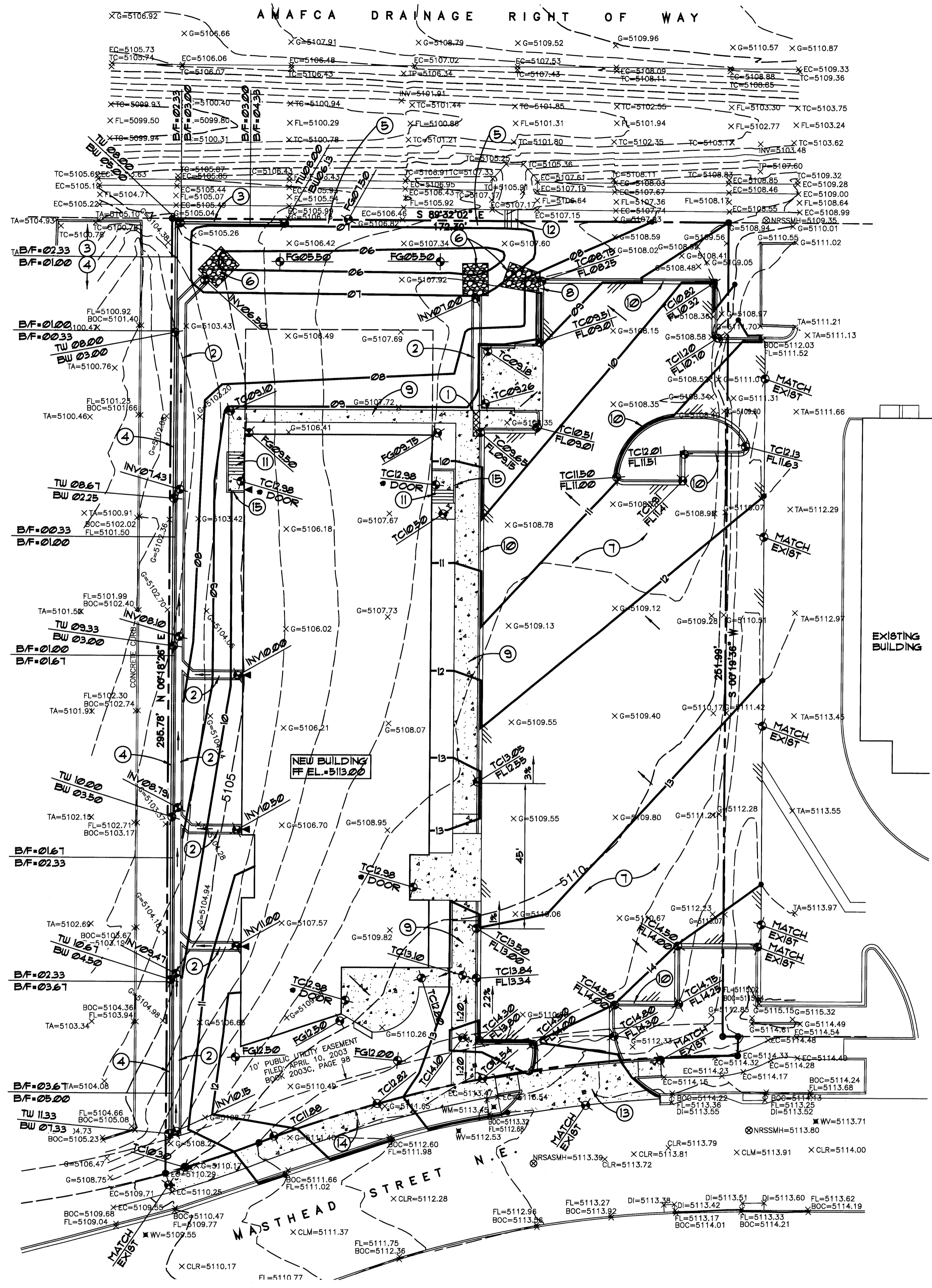
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The Hilltop  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY  
U  
REVISION #  
11-13-2015  
DATE  
11/15/2015

SHEET #  
LS-101





1 | conceptual grading and drainage plan  
 c101 1"=20'



### KEYED NOTES

- 1 2'-0" WIDE SIDEWALK CULVERT
- 2 2'-0" WIDE CONCRETE RUNDOWN
- 3 SITE RETAINING WALL
- 4 SITE RETAINING WALL
- 5 PROVIDE DIRT BERM AT NORTH EDGE OF POND
- 6 8'-0" W.D. x 10'-0" LONG 4" TO 6" RIPRAP PAD AT CHANNEL OUTLET
- 7 3" THICK ASPHALT PAVING
- 8 2'-0" WIDE BREAK IN CURB FOR DRAINAGE OUTLET
- 9 4" 4000 PSI, AIR-ENTRAINED CONCRETE SIDEWALK W/ MAXIMUM 2% CROSS SLOPE
- 10 4000 PSI, AIR-ENTRAINED CONCRETE CURB AND GUTTER
- 11 4000 PSI, AIR-ENTRAINED CONCRETE STAIR
- 12 SAWCUT EXISTING CURB AND REMOVE AS REQUIRED FOR NEW POND OUTLET - CONSTRUCT INFILTRATION/DISSIPATION CHANNEL
- 13 CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING #2425
- 14 CONCRETE SIDEWALK IN CITY ROW. PER C.O.A. STANDARD DRAWING #2430
- 15 CONCRETE RETAINING WALL AT STAIR AND LANDING

### LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- 5110--- EXISTING CONTOUR
- NEW CONTOUR
- X G=5109.55 EXISTING SPOT ELEVATION
- 1030 NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- EC EDGE OF CONCRETE
- DI DROP INLET
- FL FLOW LINE
- TG TOP OF GRATE
- TU TOP OF WALL
- BW BOTTOM OF WALL
- BU BOTTOM OF WALL
- B/F BOTTOM OF FOOTING
- INV INVERT
- BOC BACK OF CURB
- NRSSMH NORTH RIM SANITARY SEWER MANHOLE
- NEW CONCRETE PAVING
- NEW AC PAVING
- ROOF DRAIN LOCATION
- SUALE

### LEGAL DESCRIPTION

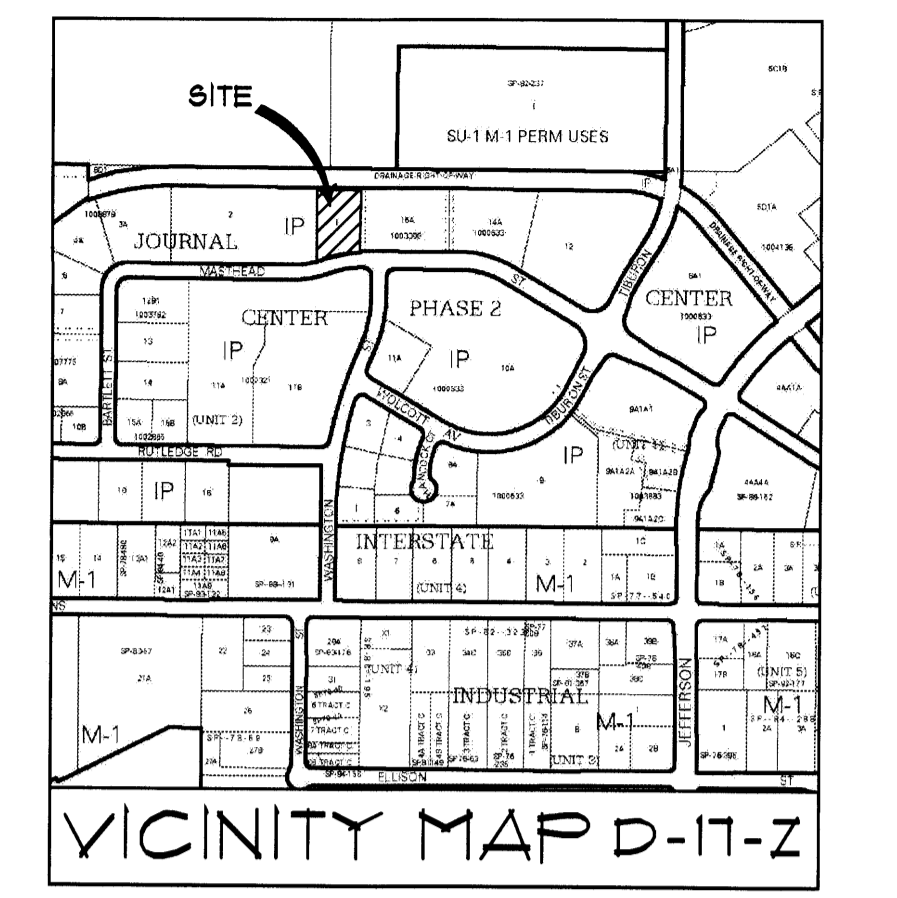
LOT NUMBERED ONE (1), IN PHASE 2, UNIT2, JOURNAL CENTER, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "13-ET1" HAVING AN ELEVATION OF 5141.036, NAVD 1988

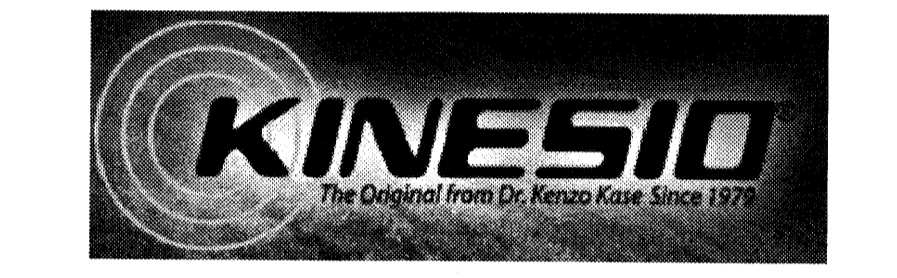
### DESIGN NARRATIVE

XXXX



**Walla** Structural Engineering  
 ENGINEERING LTD  
 8501 American Parkway NE Suite 301  
 Albuquerque, New Mexico 87110  
 861-5008 • Facsimile 861-4025

a new headquarters for:



4001 masthead street  
 albuquerque, new mexico

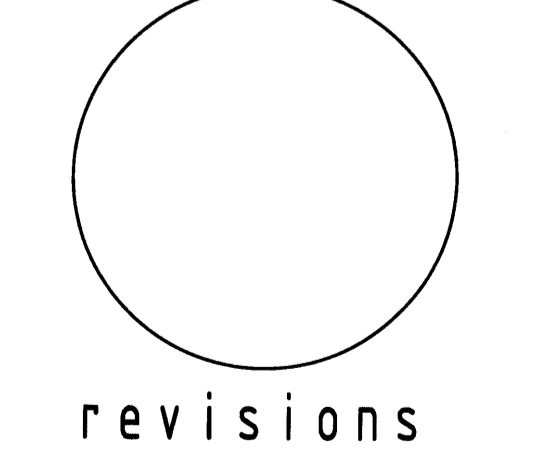
### EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

**EB**  
 Enterprise Builders  
 CORPORATION  
 General Contractor License #29031

**slagleherrarchitects**  
 413 second street  
 albuquerque nm  
 87102  
 5052460870  
 slagleherr.com

### CONCEPTUAL GRADING AND DRAINAGE PLAN

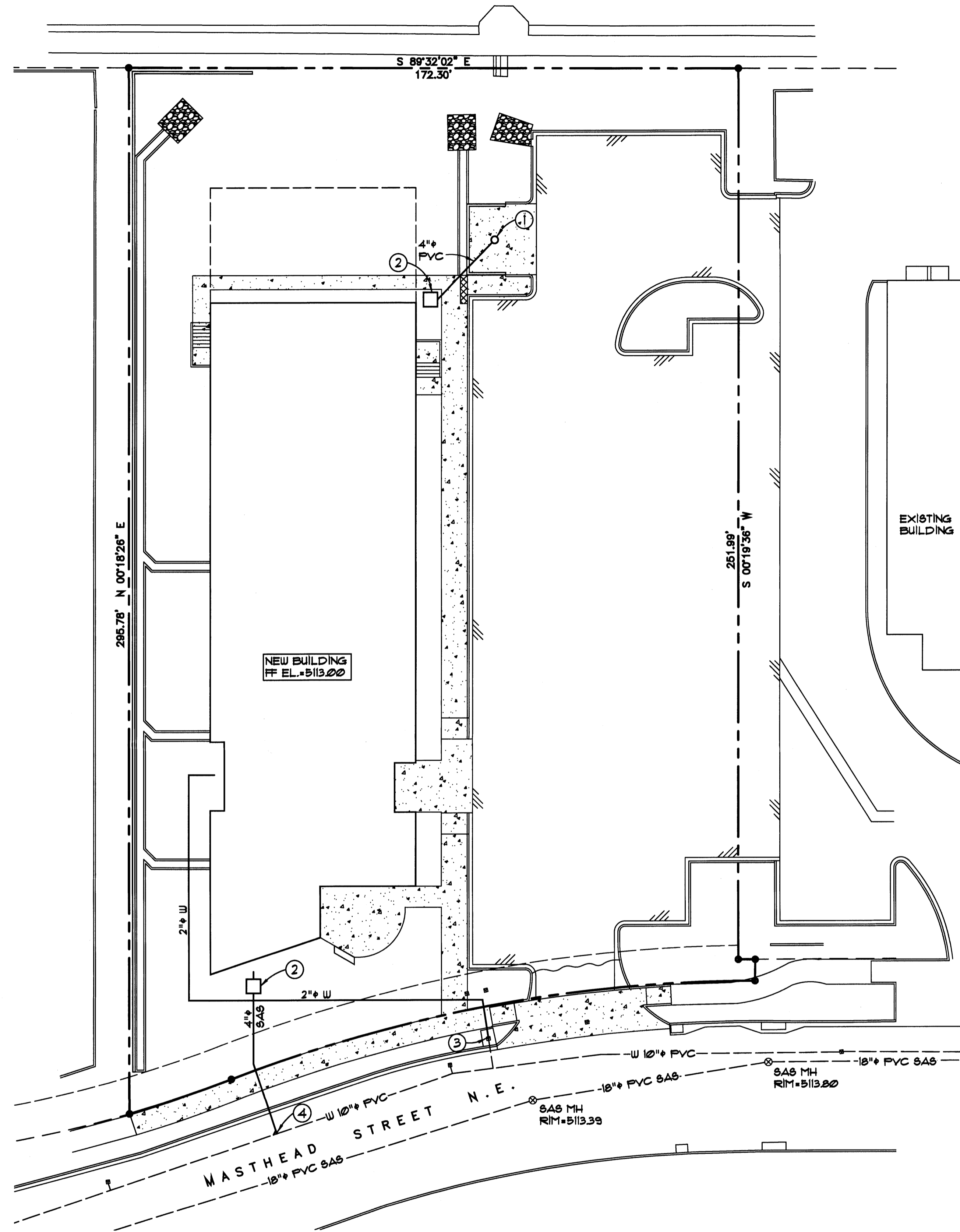


date  
**11-6-15**  
 sheet  
**C101**

### HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)		1hr	6hr	24hr	4day	10day
		2.01	2.35	2.75	3.30	3.95
EXISTING CONDITIONS						
LAND TRITMNT (ACRE)	AREA %	F6	Q	V6	V24	V4DAY
		(CFB/AC)	(CF)	(CF)	(CF)	(CF)
A	0.000 0%	0.53	1.56	0.00	0	0
B	0.000 0%	0.78	2.28	0.00	0	0
C	1.074 100%	1.13	3.14	3.31	4.401	4.401
D	0.000 0%	2.12	4.10	0.00	0	0
TOTALS	1.074 100%		3.31	4.401	4.401	4.401
PROPOSED CONDITIONS						
LAND TRITMNT (ACRE)	AREA %	F6	Q	V6	V24	V4DAY
		(CFB/AC)	(CF)	(CF)	(CF)	(CF)
A	0.000 0%	0.53	1.56	0.00	0	0
B	0.382 36%	0.78	2.28	0.81	1.082	1.082
C	0.000 0%	1.13	3.14	0.00	0	0
D	0.692 64%	2.12	4.10	3.25	5.325	6.330
TOTALS	1.074 100%		4.12	6.401	7.412	8.793

FIRST FLUSH: 30130 SF x 0.44 1/2 IN PER FT = 1105 CF  
 POND VOLUME: 2205 SF x 125 1/2 = 1378 CF



**KEYED NOTES**

- 1 ZURN AREA DRAIN
- 2 GREASE TRAP - SEE MECHANICAL
- 3 EXISTING WATER METER SADDLE AND BOX
- 4 SANITARY SEWER SERVICE CONNECTION

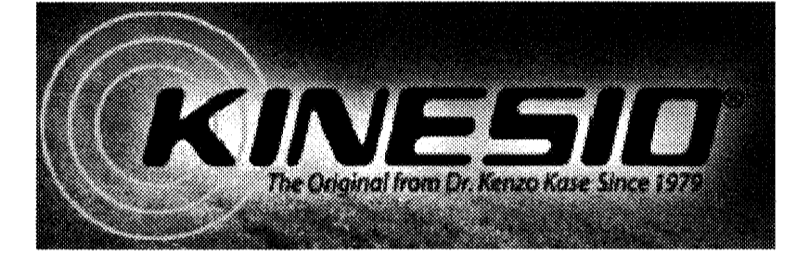
**LEGEND**

- SAS--- EXISTING SANITARY SEWER LINE
- SAS— SANITARY SEWER LINE
- W--- EXISTING WATER LINE
- W— WATER LINE
- WM WATER METER
- PROPERTY LINE
- SCO SEWER CLEAN OUT
- EXISTING MANHOLE
- INV. INVERT ELEVATION

1 | conceptual site utility plan  
 c102 1"=20'  
 0 10' 20' 40' 60'

**Walla** Structural Engineering  
 ENGINEERING LTD. CIVIL Engineering  
 6801 Americas Parkway NE Suite 301  
 Albuquerque, New Mexico 87110  
 881-3008 Facsimile 881-4025

a new headquarters for:

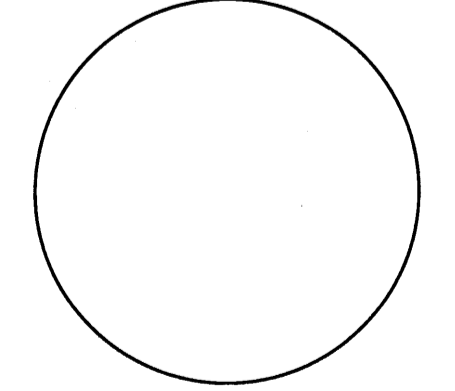


4001 masthead st ne  
 albuquerque, new mexico

**EB**  
**Enterprise Builders**  
 CORPORATION  
 General Contractor License #29031

**slagleherrarchitects**  
 413 second st sw  
 albuquerque nm  
 87102  
 5052460870  
 slagleherr.com

**CONCEPTUAL  
 SITE UTILITY  
 PLAN**



revisions

date  
**11-6-15**  
 sheet  
**C102**



KEYED NOTES:

- [S1] NEW SYNTHETIC STUCCO SYSTEM OVER EXISTING WALL. STUCCO COLOR: MEDIUM DARK GRAYISH GREEN
- [S2] NEW SYNTHETIC STUCCO SYSTEM OVER NEW FRAMING. STUCCO COLOR: WHITE
- [S3] NEW SYNTHETIC STUCCO SYSTEM OVER NEW FRAMING. STUCCO COLOR: TAN
- [W1] ALUM. STOREFRONT WINDOW PER SCHEDULE
- [DOOR] DOOR PER SCHEDULE
- [BKM] ALUM. BREAK METAL TO MATCH WINDOW FRAMES
- [MSS] METAL SHADE SCREEN: SEE 1 1  
2 A303 A304
- [MA] METAL AWNING: SEE 2 A304  
A304
- [MP1] METAL PANELS: MCCI PBC PANEL, GALVALUME PLUS FINISH. ALL TRIM TO MATCH. INSTALL W RIBS HORIZ. PER MFGRS INSTALLATION INSTRUCTIONS
- [SB] EXPOSED STEEL STRUCTURE: SEE STRUCTURAL
- [EE] ELECTRICAL EQUIPMENT: MDP AND METER
- [GM] GAS METER LOCATION
- [DS] LEADERHEAD AND DOWNSPOUT: GALVALUME TO MATCH MTL. PANELS. SEE ROOF PLAN FOR LOCATIONS
- [SIGN] INTERNALLY LIT INDIVIDUAL LETTERS AND LOGO. SIGNAGE TO BE DETERMINED. BY SIGN MFR.
- [STAIR] CONCRETE STAIR AND GUARDRAIL/HANDRAIL: SEE FLOOR PLAN

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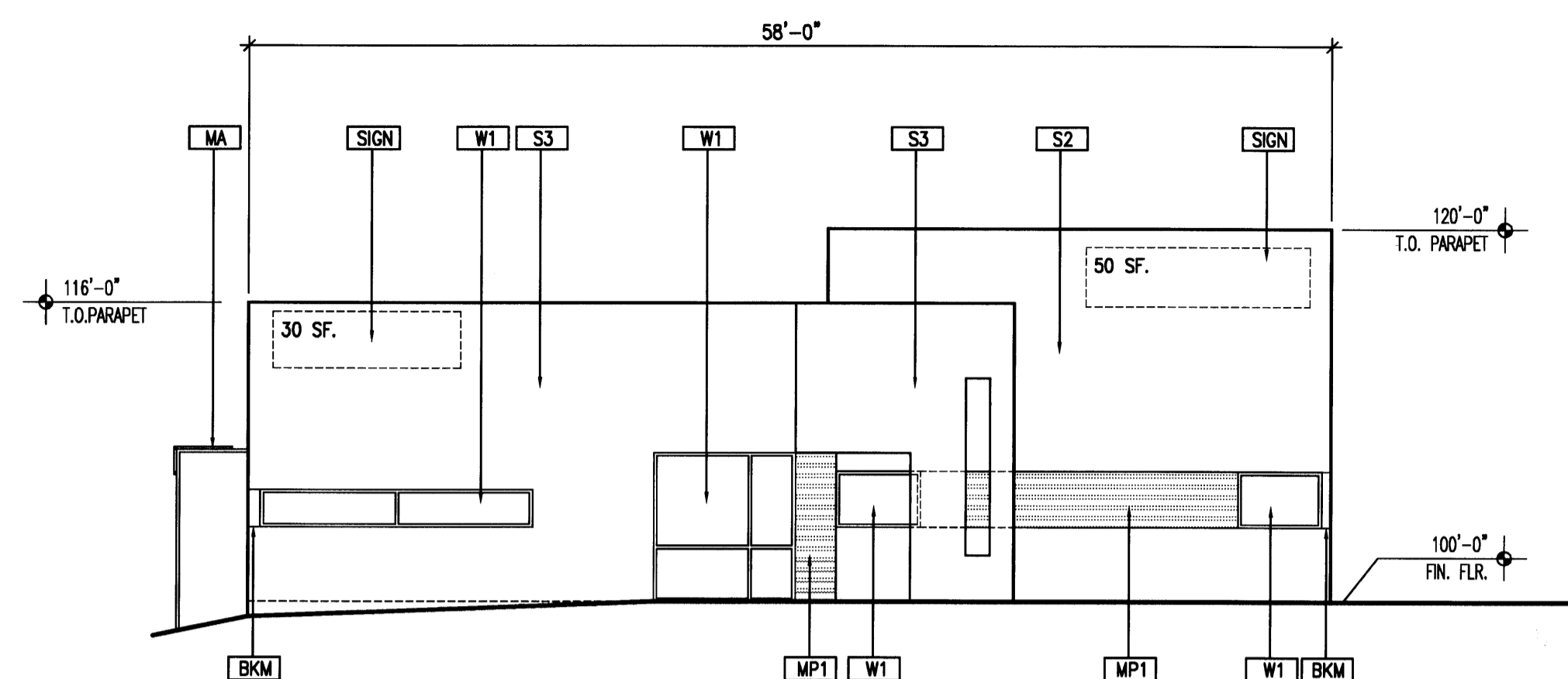


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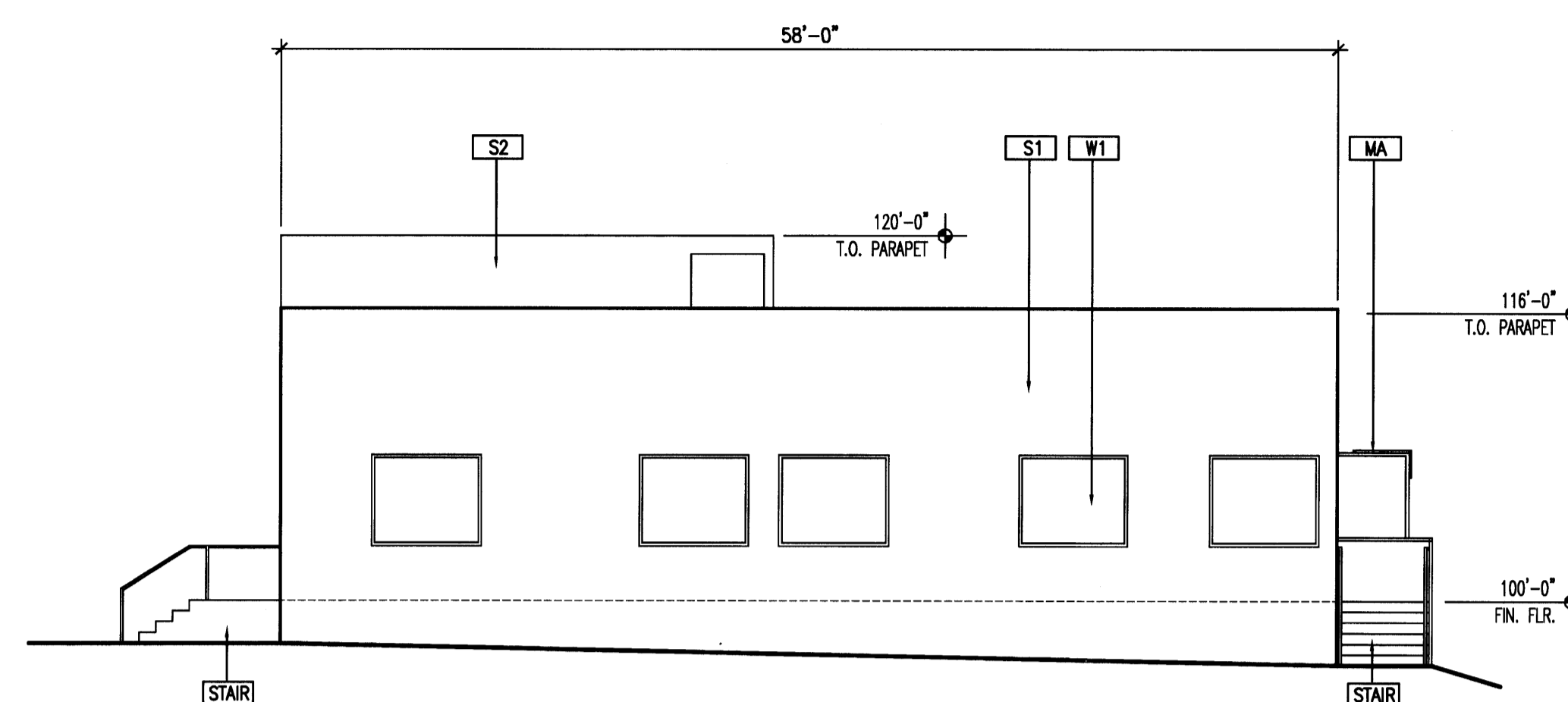
ELEVATIONS

revisions

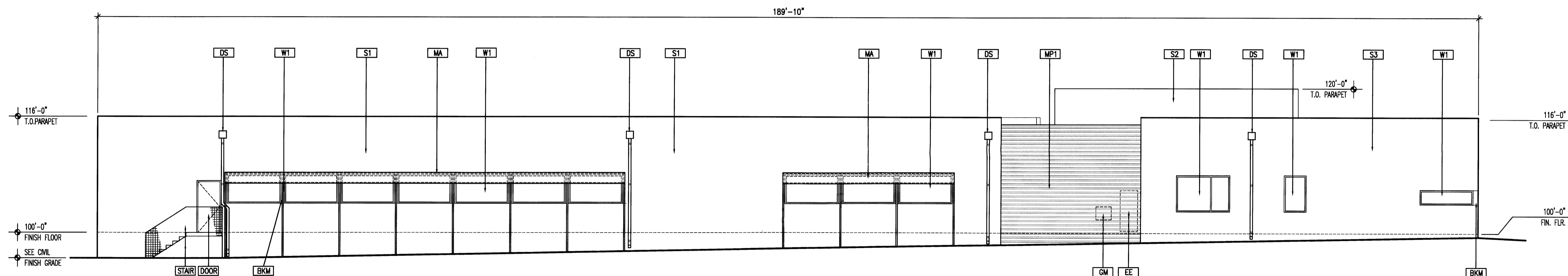
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sheet  
**A201**



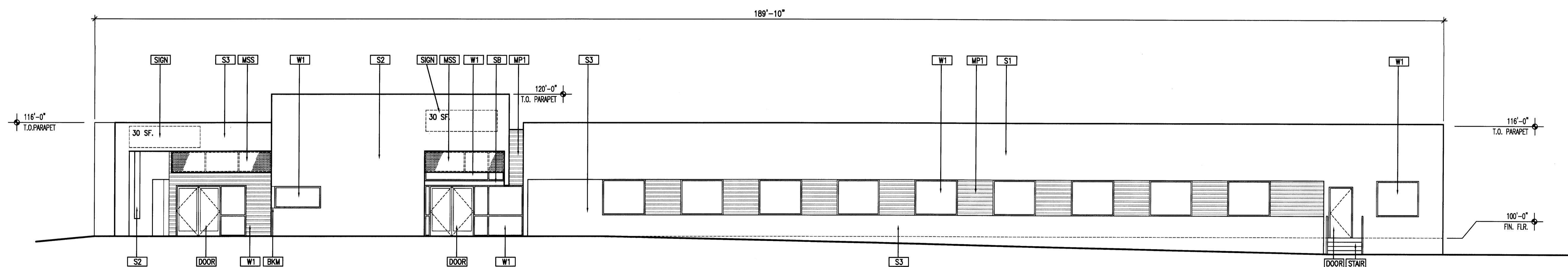
4 | south elevation  
A201 1/8" = 1'-0"



3 | north elevation  
A201 1/8" = 1'-0"



2 | west elevation  
A201 1/8" = 1'-0"



1 | east elevation  
A201 1/8" = 1'-0"