

SITE DATA:
TOTAL DEVELOPED AREA: 2.77 AC

ZONING: SU-2/C-1 WITH AN OVERLAY DESIGNATION OF NC PER THE NORTH I-25 SECTOR DEVELOPMENT PLAN. THIS SITE IS BEING DEVELOPED UNDER THE LAND USE DISTRICT SU-2/ NC, WHICH ALLOWS THE PERMISSIVE AND CONDITIONAL USES OF THE R-C, O-1 AND C-1 ZONES.

LAND USE: SINGLE FAMILY RESIDENTIAL SUBDIVISION WITH PRIVATE OPEN SPACE AREA. NO COMMERCIAL USE IS ALLOWED.

PROPOSED DWELLING UNITS: 23

DENSITY: 8.28 DWELLING UNITS PER ACRE.

VEHICULAR ACCESS: PRIMARY, AND ONLY, VEHICULAR INGRESS/EGRESS IS FROM OLIVINE COURT NE VIA OAKLAND AVENUE NE, AN EXISTING LOCAL STREET.

PEDESTRIAN ACCESS: PEDESTRIAN INGRESS/EGRESS IS PROVIDED BY PUBLIC SIDEWALKS TO OAKLAND AVENUE AND ALAMEDA BOULEVARD.

SETBACKS (N I-25 SDP, NC LAND USE DISTRICT, PAGE 27):

- MINIMUM FRONT YARD SETBACK: PER THE O-1 ZONE - 11 FEET, EXCEPT 20 FEET FOR GARAGES FACING STREET.
- MINIMUM SIDE STREET SETBACK: 5 FEET.
- MINIMUM REAR YARD SETBACK: 5 FEET.

HEIGHT: MAXIMUM BUILDING HEIGHT WILL BE 39 FEET PER THE NORTH I-25 SDP.

ARCHITECTURAL STYLE: THE PROPOSED RESIDENTIAL BUILDING DESIGNS SHALL BE CONSISTENT WITH THE SURROUNDING NEIGHBORHOODS INCLUDING:

- PRIMARY FINISH SHALL BE STUCCO;
- COLORS SHALL BE CONTEMPORARY SOUTHWESTERN COLORS INCLUDING TANS, BROWNS, OCHRE, SAGE AND OTHERS CONSISTENT WITH THOSE IN THE SURROUNDING NEIGHBORHOODS;
- ACCENT MATERIALS INCLUDING STONE AND BRICK ARE PERMITTED;
- HEIGHT SHALL BE LIMITED TO 26 FEET PER THE CITY ZONING REQUIREMENTS; AND
- FLAT, PITCHED, AND A COMBINATION OF FLAT AND PITCHED ARE PERMITTED.

APPROVALS: SITE PLANS FOR BUILDING PERMIT FOR THE INDIVIDUAL HOUSES SHALL BE DELEGATED TO THE STANDARD BUILDING PERMIT REVIEW PROCESS. BUILDING PERMIT APPLICATIONS SHALL ADHERE TO THE STANDARDS AND GUIDELINES INCLUDED IN THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION.

LEGAL DESCRIPTION:

A TRACT OF LAND SITUATED WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING LOT 15, 16, 17 & 18, BLOCK 28, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, PAGE 130, AND CONTAINING 4.0446 GROSS ACRES MORE OR LESS.

EXCEPTING THEREFROM, AN AREA OF UNDEDICATED RIGHT-OF-WAY BEING PORTIONS OF OAKLAND AVENUE NE LOUISIANA BOULEVARD NE AND ALAMEDA BOULEVARD NE, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, PAGE 130, AND CONTAINING 0.8236 ACRES MORE OR LESS.

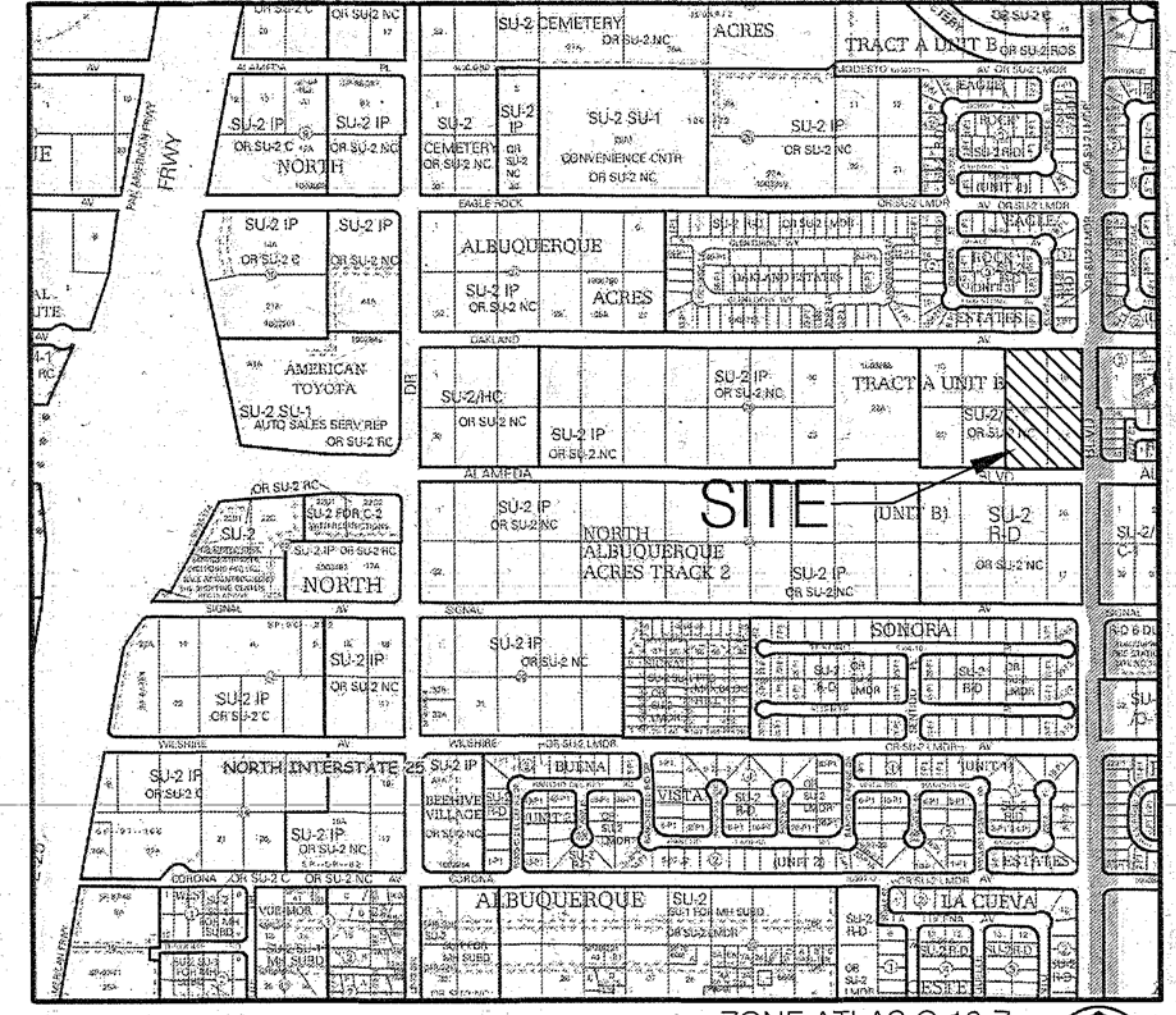
FURTHER EXCEPTING THEREFROM, A TRACT OF LAND FOR PUBLIC RIGHT-OF-WAY, DEDICATED TO THE CITY OF ALBUQUERQUE, AS THE SAME IS SHOWN AND DESIGNATED IN WARRANTY DEED, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, PAGE 130, AND CONTAINING 0.4433 ACRES MORE OR LESS.

COMPRISING 2.7777 NET ACRES, MORE OR LESS.

GENERAL NOTES:

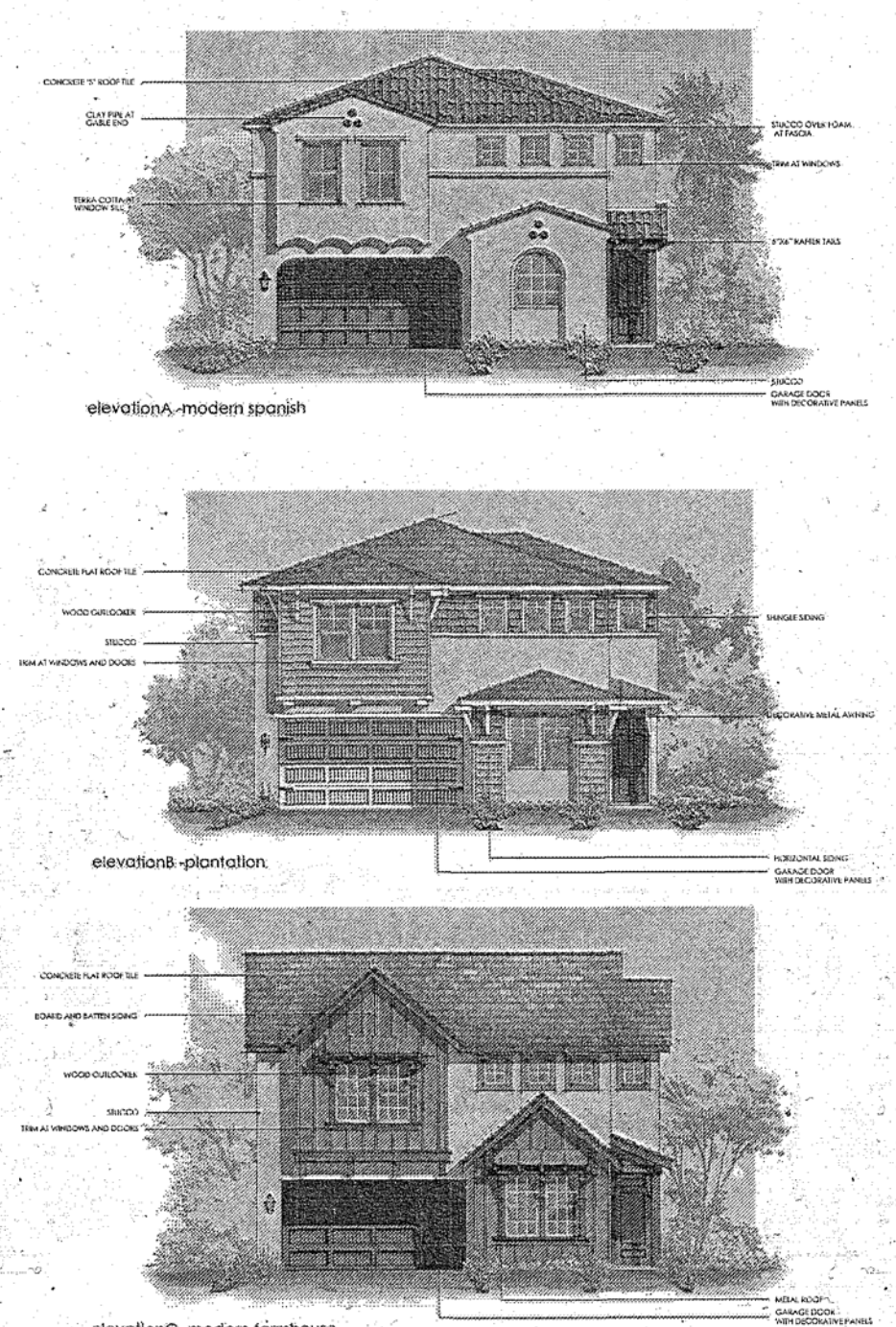
1. LOT SIZE REQUIREMENTS ARE PER THE RC ZONE, WHICH HAS NO MINIMUM LOT SIZE.
2. THE NORTH I-25 SECTOR DEVELOPMENT PLANS INCLUDES DESIGN STANDARDS, HOWEVER, THESE STANDARDS ARE GEARED TOWARD NON-RESIDENTIAL AND MIXED-USE PROJECTS, WHICH ARE NOT APPLICABLE TO THIS SINGLE-FAMILY DEVELOPMENT.
3. SUBDIVISION LOT LAYOUTS DEPICTED ARE FOR GENERAL INFORMATION ONLY. EXACT LOT SIZE, CONFIGURATION, QUANTITY AND INTERNAL ROADWAY CONFIGURATION MAY VARY, AND SHALL BE DETERMINED WITH PRELIMINARY AND FINAL PLATS.
4. WATER AND SEWER PROVIDED BY ABCWUA PURSUANT TO THE WATER AND SEWER AVAILABILITY LETTER.
5. PERIMETER WALLS. PERIMETER WALLS SHALL BE CMU BLOCK WALLS 6-FEET IN HEIGHT. THEY SHALL BE EXPOSED BLOCK WITH REPEATING PATTERNS AND VARIATED TEXTURES. THE PERIMETER WALL ALONG THE WEST SIDE OF THE SITE IS EXISTING.
6. ALL WALLS AND FENCES WITHIN THE DEVELOPMENT SHALL BE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA. SEE LANDSCAPE PLAN SHEET 2 OF 2.
7. LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. RESIDENCE-MOUNTED FLOODLIGHTS (MAXIMUM 75 WATT BULBS) SHALL BE SHIELDED OR AIMED IN SUCH A WAY THAT THEY DO NOT SHINE INTO OTHER LOTS OR THE STREET.
8. TRANSIT: BUS ROUTE 98, WYOMING COMMUTER, RUNS ALONG ALAMEDA BOULEVARD. EAST BOUND AND WEST BOUND BUS STOPS FOR ROUTE 98 ARE LOCATED DIRECTLY IN ADJACENT TO THE SITE ALONG ALAMEDA BOULEVARD.
9. BICYCLE LANES ARE EXISTING WITHIN ALAMEDA BOULEVARD AND LOUISIANA BOULEVARD ROADWAYS. A MULTI-PURPOSE TRAIL IS PROPOSED ALONG ALAMEDA BOULEVARD PER THE MRCOG LONG RANGE BIKEWAY SYSTEM MAP.

SITE VICINITY



EASEMENTS/RIGHTS-OF-WAY:

- ① EXISTING ROADWAY AND UTILITY EASEMENT (04-24-1936, D-130).
- ② EXISTING C.O.A. ADDITIONAL PUBLIC RIGHT-OF-WAY (10-29-2013, 2013118575)
- ③ EXISTING 10' P.U.E. (12-2015, UNFILED)



TYPICAL ARCHITECTURAL ELEVATIONS: N.T.S.

PROJECT NUMBER:
APPLICATION NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY, OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Rosario M. Mendez 7/12/17 Date
Traffic Engineering, Transportation Division

Walter L. Ladd 07-12-17 Date
ABCWUA

Osmond 7/12/17 Date
Parks and Recreation Department

Renee Brissett 7/12/17 Date
City Engineer

Solid Waste Management

Paul Christ 7/12/17 Date
DRB Chairperson, Planning Department

OAKLAND RIDGE

SITE PLAN FOR SUBDIVISION

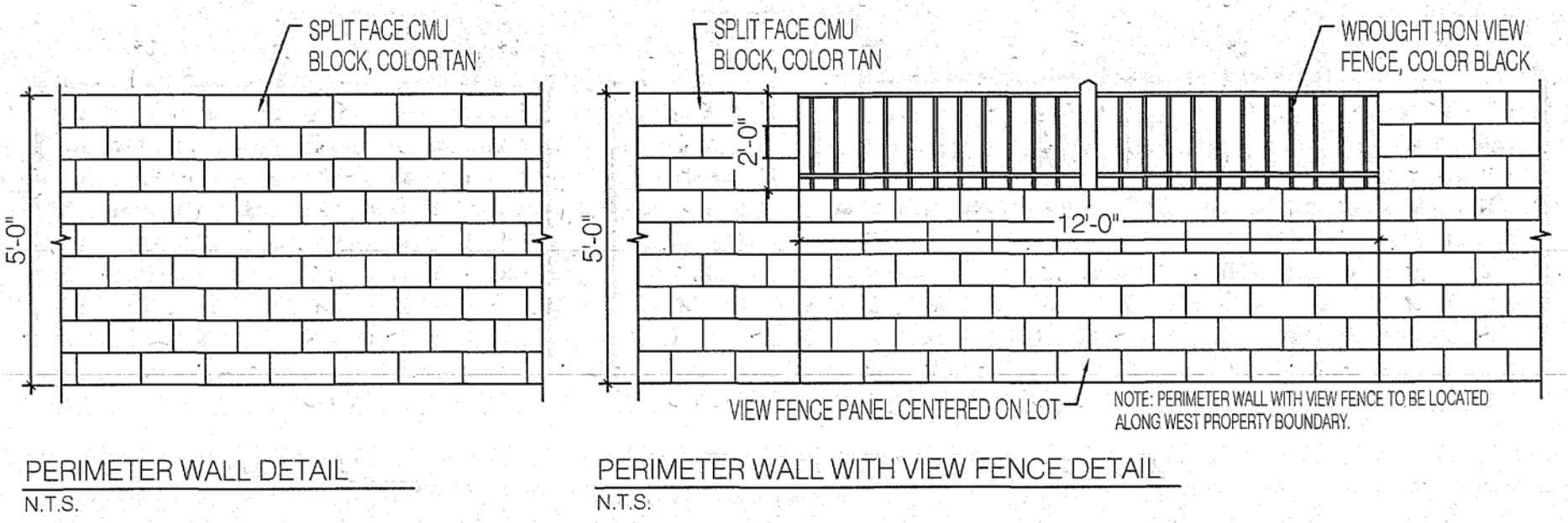
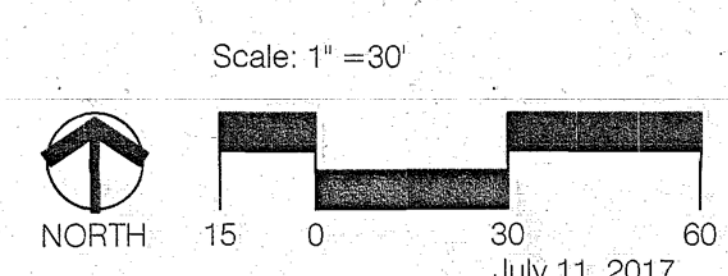
Prepared For:

Prepared By:

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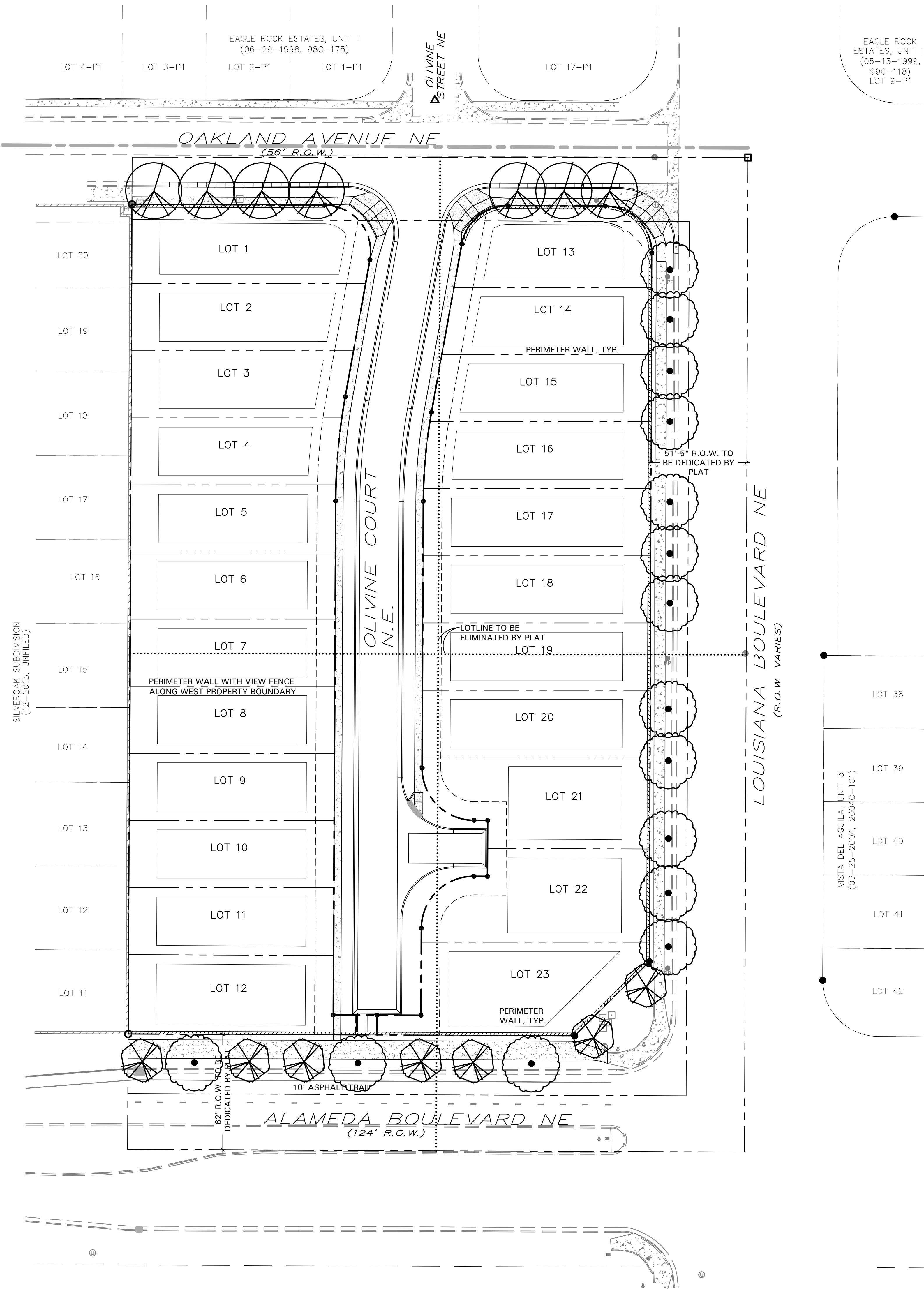
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LOT LINE AND EASEMENTS DETAIL
SCALE: 1" = 20'

PERIMETER WALL DETAIL
N.T.S.

PERIMETER WALL WITH VIEW FENCE DETAIL
N.T.S.



IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS.

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (3) 0.25 GPM DRIP BUBBLERS AND SHRUBS TO RECEIVE (1) 0.25 GPM BUBBLER.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., FOR UNIVERSE BOULEVARD, WOODMONT AVENUE, AND OAKRIDGE STREET AND THE PEDESTRIAN CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE HOME OWNER'S ASSOCIATION.

STATEMENT OF WATER WASTE
THE LANDSCAPE PLAN FOR THIS SITE SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPE AREA.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

STREET TREES
ALAMEDA BOULEVARD IS A REGIONAL PRINCIPAL ARTERIAL AND LOUISIANA BOULEVARD IS A MAJOR COLLECTOR AND THEREFORE REQUIRE STREET TREES. OAKLAND AVENUE IS A LOCAL STREET AND DOES NOT REQUIRE STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

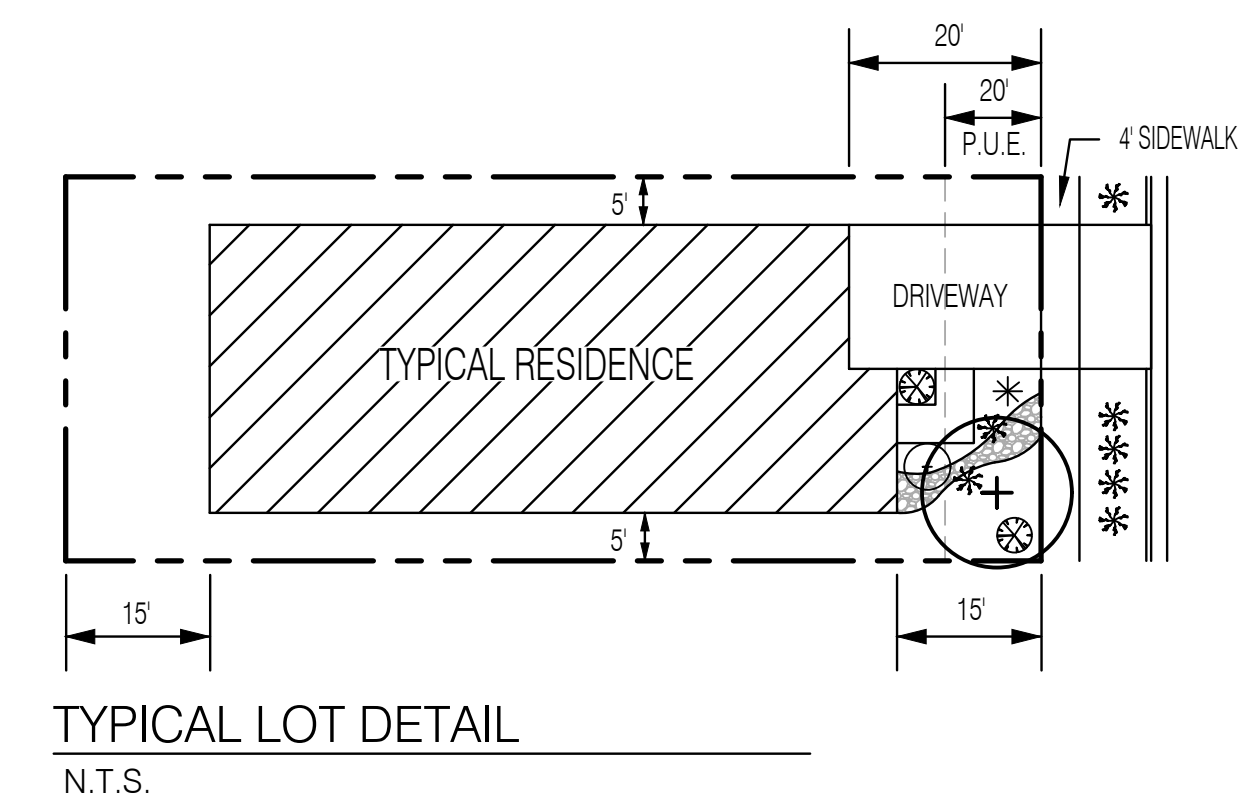
ALAMEDA BOULEVARD FRONTAGE IS 268'.
STREET TREES REQUIRES: 9
STREET TREES PROVIDED: 9

LOUISIANA BOULEVARD FRONTAGE IS 395'.
STREET TREES REQUIRES: 13
STREET TREES PROVIDED: 13

GENERAL NOTES:

- LANDSCAPE DESIGN IS CONCEPTUAL. LANDSCAPE WITHIN R.O.W. SHALL BE ACCOMPLISHED WITH A LANDSCAPE MAINTENANCE AGREEMENT BETWEEN THE HOMEOWNER'S ASSOCIATION AND THE CITY OF ALBUQUERQUE.
- ALL UNPLANTED DISTURBED AREAS WILL BE REVEGETATED WITH NATIVE SEED MIX.
- ALL SHRUB PLANTING AREAS SHALL BE TOP DRESSED WITH 3/4" SANTA FE BROWN ROCK MULCH AND 2" - 4" SANTA ANA TAN COBBLE (3:1 RATIO). MINIMUM DEPTH OF MULCH SHALL BE 3".
- ALL PLANTS WITHIN 6' OF CURB MUST BE MAINTAINED AT A MAX. HEIGHT OF 3'.
- BOULDERS WITHIN 6' OF CURB MAY NOT EXCEED 8" IN HEIGHT, THOSE WITHIN 12' MAY OT EXCEED 16".

PLANT LIST		SIZE	WATER USE
COMMON NAME	BOTANICAL NAME	MATURE SIZE	
STREET TREES			
CHITALPA	CHITALPA TASHKENTENSIS	2.0' CAL. 25' HT. x 25' SPR.	MEDIUM
IMPERIAL HONEYLOCUST	GLEDTISIA TRIACANTHOS 'IMPERIAL'	2.5' CAL. 40' HT. x 35' SPR.	MEDIUM
SHUMARD OAK	QUERCUS SHUMARDII	2.5' CAL. 40' HT. x 35' SPR.	MEDIUM
FRONT YARD PLANT LIST TYPICAL TREES			
AUSTRIAN PINE	PINUS NIGRA	6 FT. HT.	MEDIUM
DESERT WILLOW	CHILOPSIS LINEARIS	2.0' CAL.	LOW+
GOLDENRAIN TREE	KOELREUTERIA PANICULATA	2.0' CAL.	MEDIUM
NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	15 GAL	LOW
NEWPORT FLOWERING PLUM	PRUNUS C. 'NEWPORT'	2.0' CAL.	MEDIUM
WESTERN REDBUD	CERCIS OCCIDENTALIS	2.0' CAL.	MEDIUM
SHUMARD OAK	QUERCUS SHUMARDII	2.0' CAL.	MEDIUM
SHRUBS			
BLUE MIST SPIREA	CARYOPTERIS X. CLANDONENSIS	5 GAL	MEDIUM
BIG SAGE	ARTEMISIA TRIDENTATA	5 GAL	LOW
WESTERN SAND CHERRY	PRUNUS BESSEYI	5 GAL	MEDIUM
RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL	LOW
CHERRY SAGE	SALVIA GREGGI	5 GAL	LOW
PROSTRATE ROSEMARY	ROSMARINUS O. 'PROSTRATUS'	5 GAL	LOW+
TURPENTINE BUSH	ERICAMERIA LARICIFOLIA 'AGUIRRE'	5 GAL	LOW+
GRASSES			
BEARGRASS	NOLINA MICROCARPA	5 GAL	LOW+
KARL FOERSTER REED GRASS	CALAMAGROSTIS 'KARL FOERSTER'	5 GAL	MEDIUM
REGAL MIST DEERGRASS	MUHLBERGIA C. 'REGAL MIST'	5 GAL	MEDIUM
SILVER FEATHER MAIDEN GRASS	MISCANTHUS S. 'SILVER FEATHER'	5 GAL	MEDIUM+
THREADGRASS	NASSELLA TENUISSIMA	1 GAL	LOW+
YAKUSHIMA MAIDEN GRASS	MISCANTHUS S. 'YAKUSHIMA'	5 GAL	MEDIUM+
FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES	5 GAL	MEDIUM
CACTI / AGAVES / ALOES / YUCCAS			
BROADLEAF YUCCA	YUCCA BACCATA	5 GAL	LOW
CHOLLA	OPUNTIA SPP.	5 GAL	LOW
PARRY AGAVE	AGAVE PARRYII	5 GAL	LOW
RED FLOWERING ALOE	HESPERALOE PARVIFLORA	5 GAL	LOW+



OAKLAND RIDGE

LANDSCAPE PLAN

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Scale: 1" = 30'

NORTH

15 0 30 60

July 11, 2017