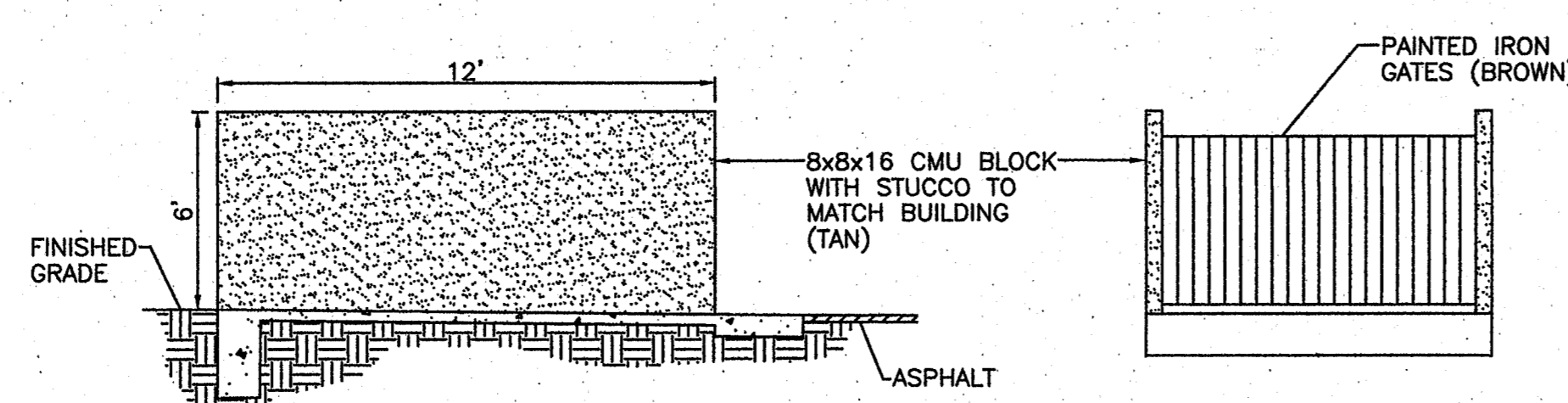


BIKE RACK DETAIL  
NTS



DUMPSTER ENCLOSURE ELEVATION  
NTS

LEGEND

- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- ===== PROPOSED BUILDING
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- ===== PROPOSED 6' SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING ENVELOPE
- 6' SCREEN WALL
- ☼ STREET LIGHTS
- Ⓟ ADA SIGNAGE

PROJECT NUMBER: 1010902  
APPLICATION NUMBER: 17-70033

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*Rogelio M. Uribe* 4/12/17  
Traffic Engineer, Transportation Division Date

*Andy Coe* 04-07  
Utilities Development Date

*Chandore* 4/12/17  
Parks & Recreation Department Date

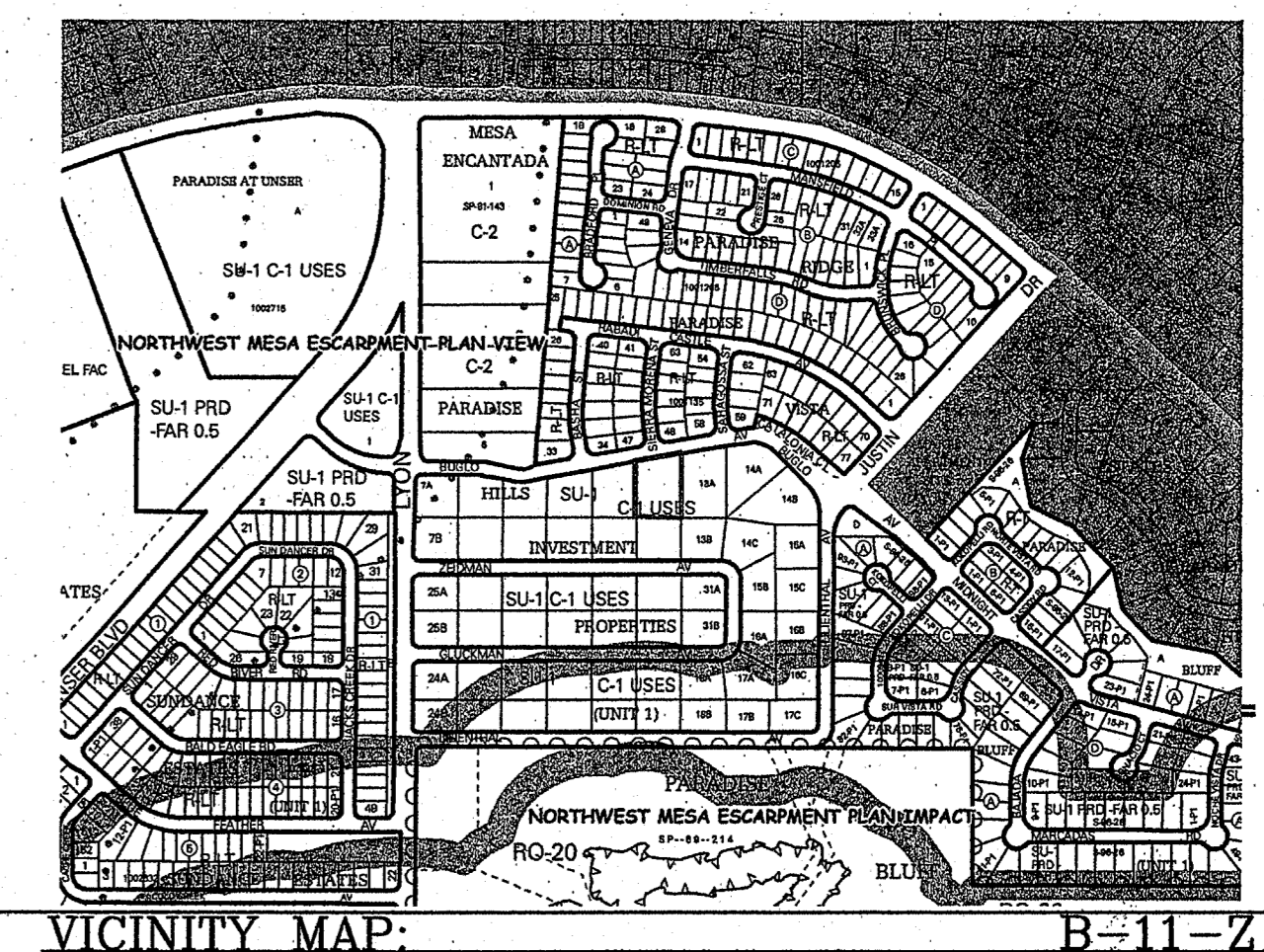
*Renee Sanchez-Rodriguez* 9/14/2017  
City Engineer Date

*John Williams* 9-14-17  
Environmental Health Department (conditional) Date

*John Williams* 9-14-17  
Solid Waste Management Date

*John Williams* 9-14-17  
DRB Chairperson, Planning Department Date

Environmental Health, if necessary  
12/16/03



LEGAL DESCRIPTION:

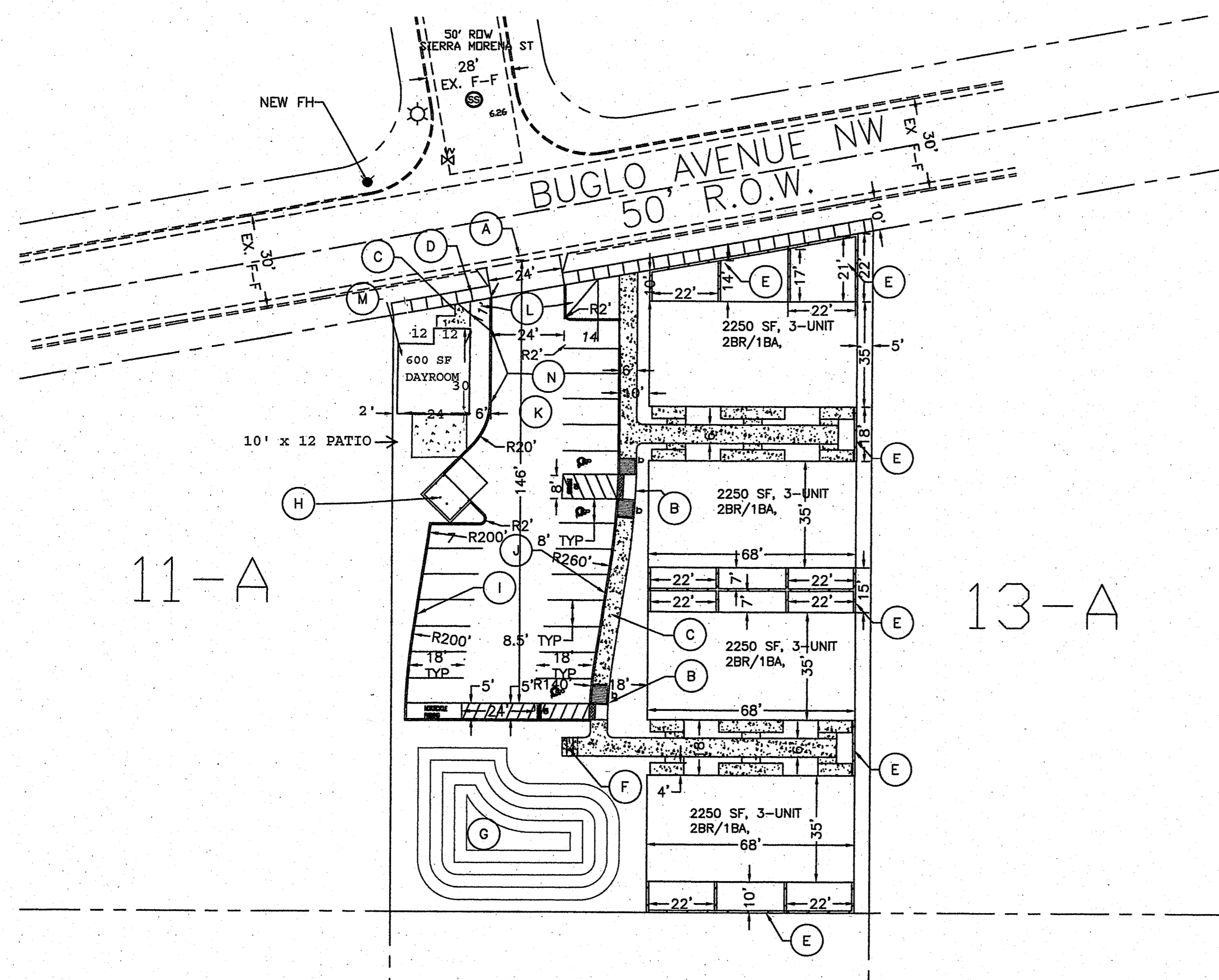
TRACT 12A PARADISE HILLS INVESTMENT

NOTES:

1. ALL BUILDING USAGE MUST COMPLY WITH EXISTING ZONING OF PROPERTY AND SITE PLAN FOR BUILDING PERMIT SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR FINAL APPROVAL.
2. THIS SITE IS LOCATED IN THE ESCARPMENT VIEW AREA, AS DESCRIBED WITHIN THE NORTHWEST ESCARPMENT PLAN (RANK 3).
3. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
4. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
5. ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441, 2426.
6. BUILDING MOUNTED SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS WITHOUT INTERNAL ILLUMINATIONS. NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.
7. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
8. VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
9. PATH WAY LIGHTING SHALL BE FULLY SHIELDED NOT TO EXCEED 36" FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD AND NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
10. MAXIMUM HEIGHT OF RETAINING WALL SHALL BE 5'
11. TRASH ENCLOSURE SHALL MEET SOLID WASTE DEPARTMENTS MINIMUM STANDARD AND SHALL CONFORM TO COA STANDARD DETAILS.
12. ADA ACCESSIBLE PARKING SIGNS MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA1978 VIOLATORS ARE SUBJECT TO A FINE AND OR TOWING
13. CLEAR SITE TRIANGLE REQUIREMENTS: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFOR SIGNS, WALLS, TREES, ADN SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
14. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
15. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB).
16. BUILDING TYPE VB-NON SPRINKLED, LARGEST AREA 750SF, EACH COMMON WALL SHALL BE 2-HOUR RATING; BUILDING PREMISE ID SHALL HAVE 10" HIGH TEXT WITH 2" STROKE. ALL TRAFFIC SHALL BE RATED FOR 75,000 # VEHICLE WITH GRADE LESS THAN 8%. BUILDINGS HEIGHT SHALL NOT EXCEED 30'. OCCUPANCY GROUP R3
17. NO MONUMENT SIGNAGE ALLOWED. BUILDING MOUNTED SIGNAGE LIMITED TO 25 SF PER FLOOR

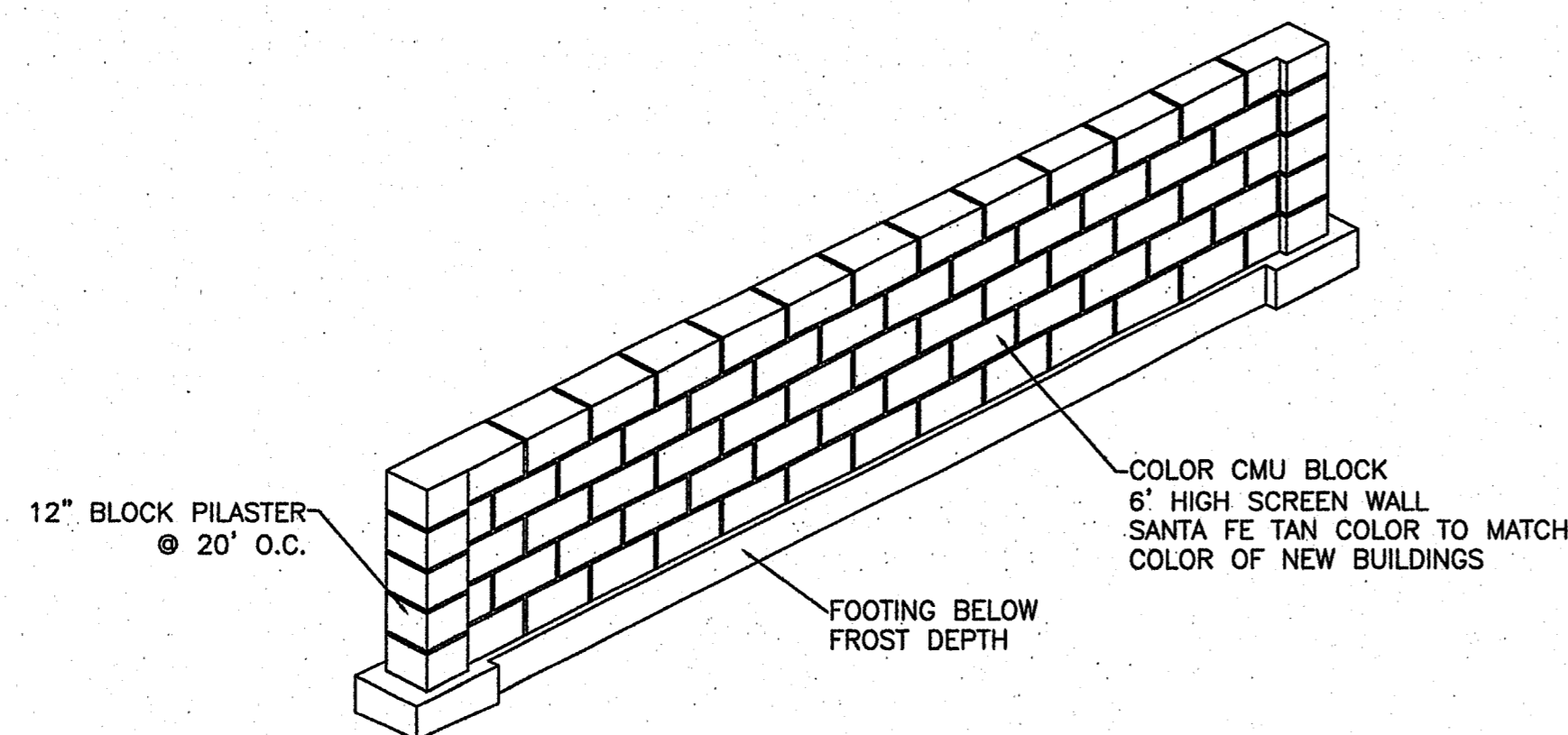
KEYED NOTE:

- (A) DRIVEPAD PER C.O.A. STD DWG #2425
- (B) HANDICAP RAMP
- (C) 6' SIDEWALK WITH ADA PATH
- (D) 4' PUBLIC SIDEWALK
- (E) 5' SCREEN/RETAINING WALL
- (F) BIKE RACK
- (G) WATER HARVEST AREA
- (H) DUMPSTER
- (I) 6" HEADER CURB PER COA STD 2415B
- (J) 6" SIDEWALK FLUSH WITH 6" HEADER CURB
- (K) PARKING AREA SHALL BE 3" AC OVER 4" ABC
- (L) CLEAR SITE TRIANGLE.
- (M) FIRE DEPARTMENT KNOX BOX
- (N) FIRE LANE, PAINT RED



11-A

13-A

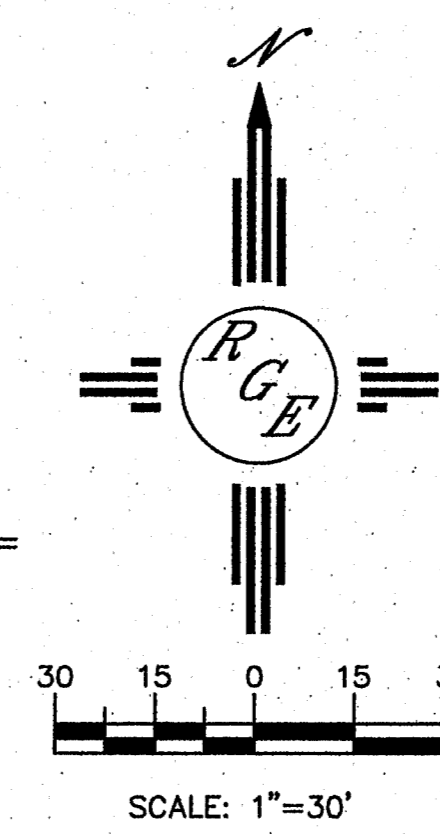


6' SCREEN WALL DETAIL  
NTS

SHEET INDEX

1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPE PLAN
3. MASTER UTILITY PLAN
4. CONCEPTUAL GRADING AND DRAINAGE PLAN
5. ELEVATIONS

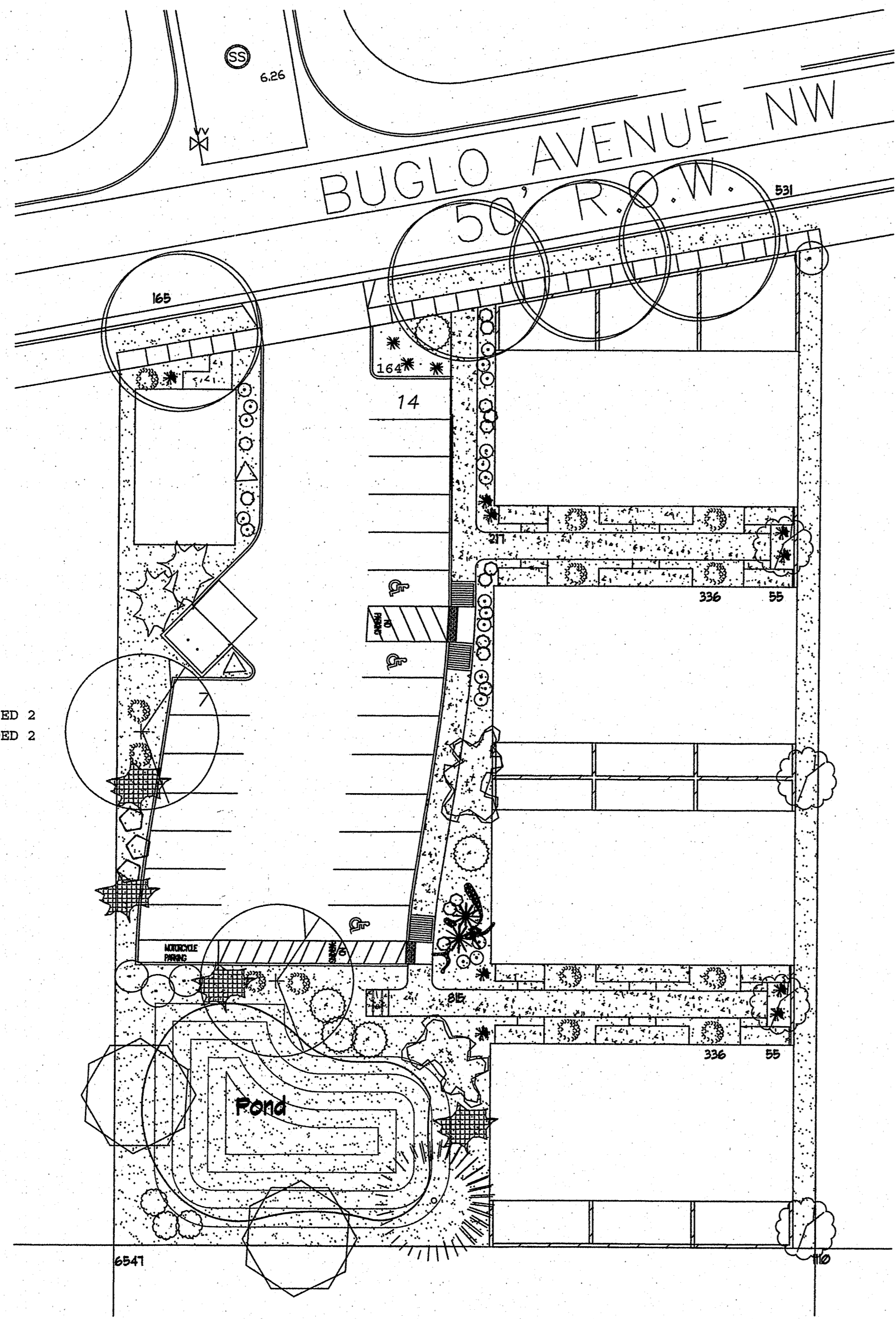
436876  
HYDRANT AND FIRE ACCESS  
ALBUQUERQUE FIRE MARSHAL'S OFFICE  
PLANS CHECKING DIVISION  
DATE: 2-22-17 CONSTRUCTION TYPE: 112  
FORM: 1219 NUMBER OF HYDRANTS: 1  
APPROVED / DISAPPROVED  
DATE: 2-22-17  
PROJECT/TEAM/NUMBER: 001



SITE DATA TABLE

LOT 12-A	
SITE ACREAGE:	0.7569 AC±
EXISTING ZONING:	SU1 FOR C1 USES
PROPOSED ZONING:	SU1 FOR C1 USES
PROPOSED USE:	OFFICE/APARTMENT
DWELLING UNITS:	12
PARKING REQUIRED:	12 SPACES
PARKING PROVIDED:	21 SPACES
HC PARKING REQUIRED:	1 SPACES
HC PARKING PROVIDED:	3 SPACES
BIKE SPACES REQUIRED:	2 SPACES
BIKE SPACES PROVIDED:	2 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACE
MOTORCYCLE SPACES PROVIDED:	1 SPACE
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	3506 SF
LANDSCAPE PROVIDED:	6217 SF
USABLE OPEN SPACE PROVIDED:	14,686 SF

ENGINEER'S SEAL	PARADISE VIEW UNIVERSAL APARTMENTS	DRAWN BY WCUJ
	SITE PLAN FOR BUILDING PERMIT	DATE 4-02-08
	<i>Rio Grande Engineering</i>	2511-SP50-3-25-06X
	1608 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-9850	SHEET # 1 OF 5
DAVID SOULE P.E. #14522		JOB # 2511



STREET TREES REQUIRED 4  
STREET TREES PROVIDED 4

PARKING LOT TREES REQUIRED 2  
PARKING LOT TREES PROVIDED 2

**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	H2O USE
<b>Trees</b>			
2	2" cal	Chinese Pistache 48x25 <i>Pistacia chinensis</i>	M
4	2" cal	Honey Locust 50x45 <i>Gleditsia triacanthos</i>	M
1	6 - 8'	Austrian Pine 35x25 <i>Pinus nigra</i>	M
2	4 - 6'	Crape Myrtle 15x15 <i>Lagerstroemia indica</i>	M
2	4 - 6'	Palm Yucca 15x6 <i>Yucca faxoniana</i>	M
4	15 Gal	Oklahoma Redbud 15x12 <i>Cercis reniformis</i>	M
2	15 Gal	Desert Willow 20x25 <i>Chilopsis linearis</i>	625 1250 M
<b>Shrubs &amp; Groundcovers</b>			
13	5 Gal	India Hawthorne 3x5 <i>Raphiolepis indica</i>	25 325 M
12	5 Gal	Feather Reed Grass 25x2 <i>Calamagrostis arundinacea</i>	4 48 M
3	5 Gal	Wintergreen Barberry 5x5 <i>Barberry juliana</i>	25 75 M
2	5 Gal	Butterfly Bush 5x5 <i>Buddleia davidii</i>	25 50 M
2	5 Gal	Winter Jasmine 4x12 <i>Jasminum nudiflorum</i>	144 288 M
4	5 Gal	Buffalo Juniper 1x12 <i>Juniperus sabina 'Buffalo'</i>	144 516 M
14	5 Gal	Cherry Sage 2x3 <i>Salvia greggii</i>	9 126 M
20	5 Gal	Blue Mist 3x3 <i>Caryopteris x clandonensis</i>	9 180 M
3	5 Gal	Fern Bush 5x6 <i>Humatabataria millefolium</i>	36 108 L
5	5 Gal	Apsche Flame 6x1 <i>Fallugia paradoxa</i>	48 245 L
4	5 Gal	Chenille 5x1 <i>Chrysothamnus nauseosus</i>	48 196 L
		Landscape Gravel / Filter Fabric 3/4" Crushed Gray	3467.000

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Gray Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters (2" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

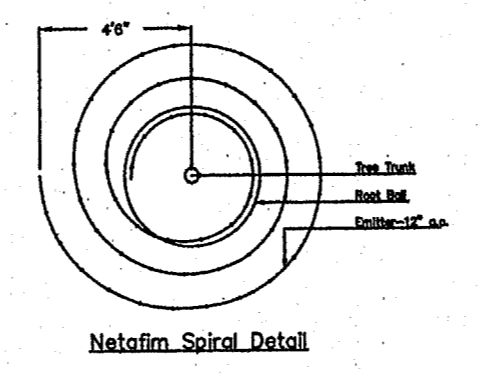
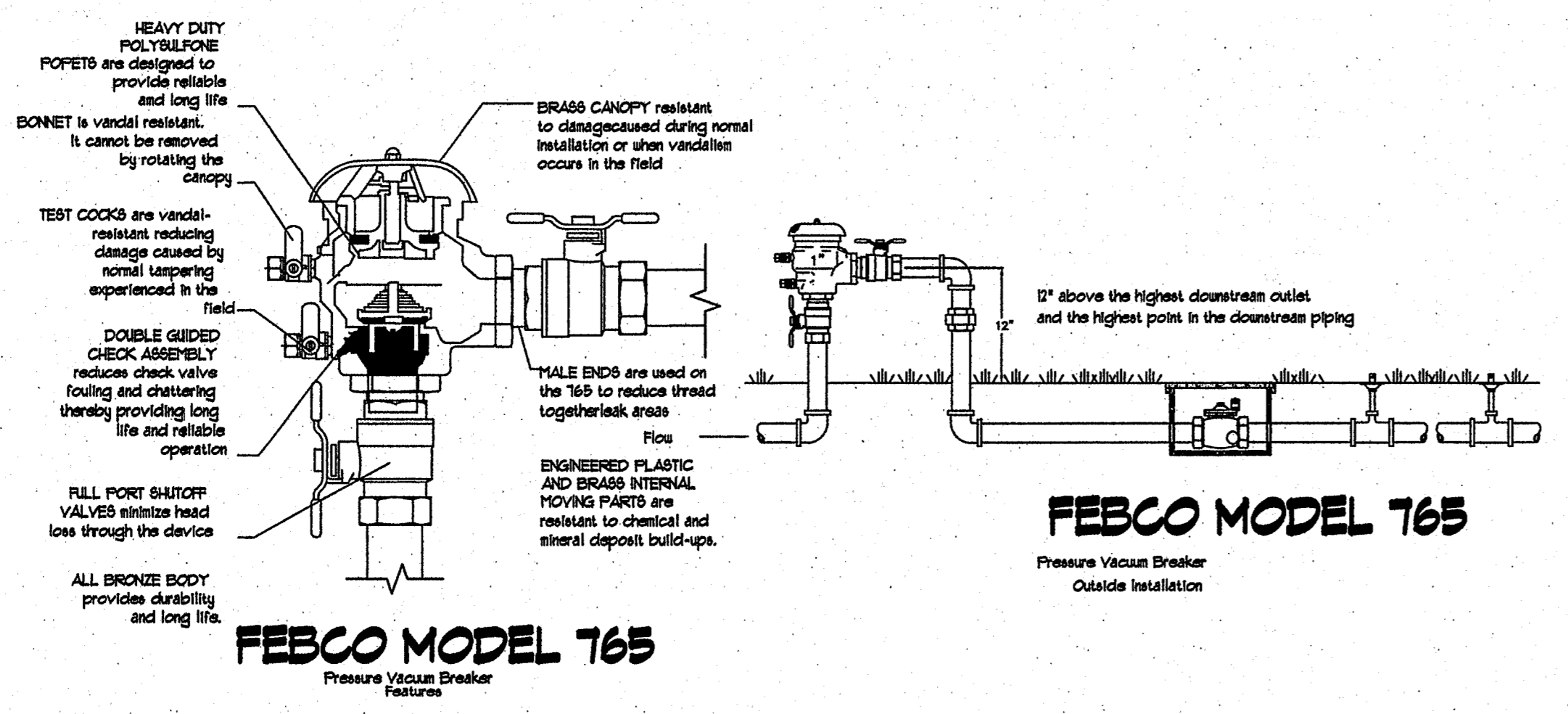
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	37362
TOTAL BUILDING AREA (sf)	9600
TOTAL LOT AREA (sf)	23362
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	3506
TOTAL ON-SITE LANDSCAPE PROVIDED	10331
TOTAL LIVE GROUND COVER REQUIRED	3099
TOTAL LIVE GROUND COVER PROVIDED	3461



**SHRUB PLANTING DETAIL**

**GENERAL NOTES:**  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
**CONSTRUCTION NOTES:**  
A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. BURN BERRY AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.

**TREE PLANTING DETAIL**

**GENERAL NOTES:**  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DASH TAB REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WEEDS, SCRAP AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.  
**CONSTRUCTION NOTES:**  
A. TREE.  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

Scale: 1" = 20'

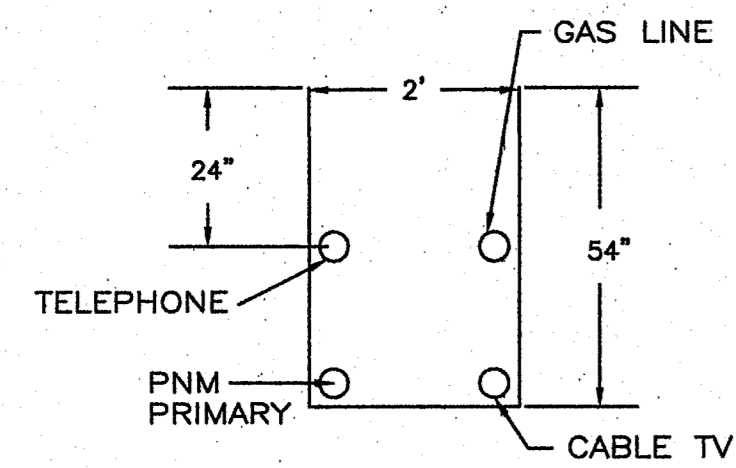
ENGINEER'S SEAL: DAVID SOULE, P.E. #14522

PARADISE VIEW UNIVERSAL APARTMENTS LANDSCAPE PLAN

Rio Grande Engineering  
1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0080

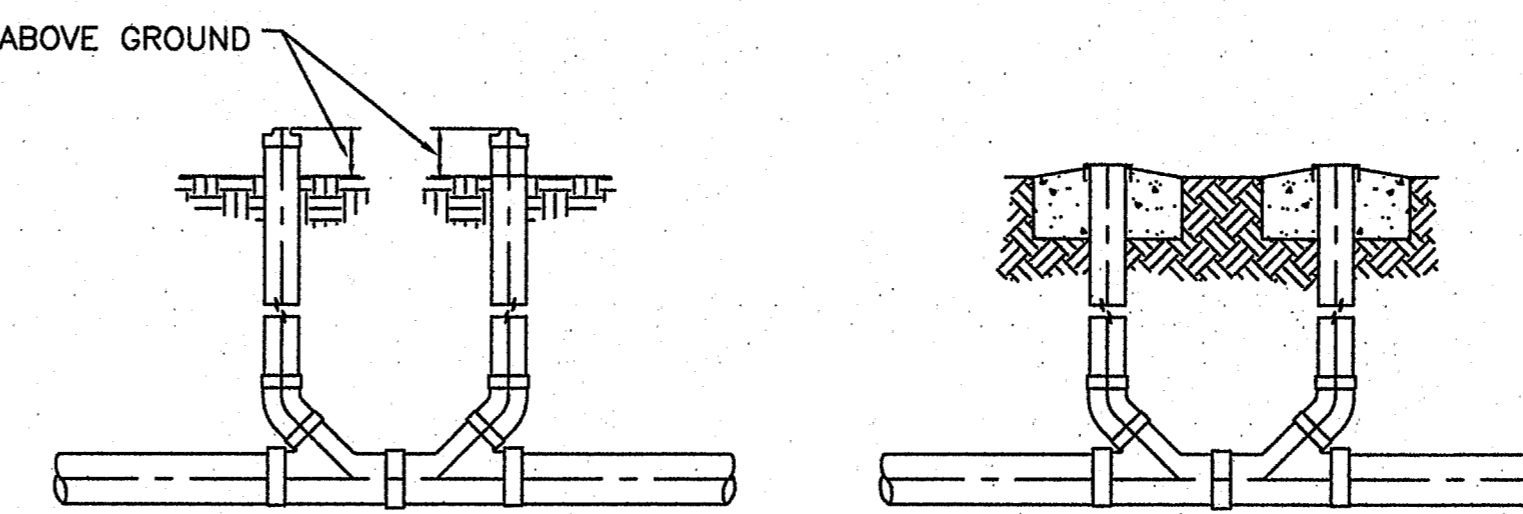
DATE: 4-03-08  
JOB # 2511

2 OF 5



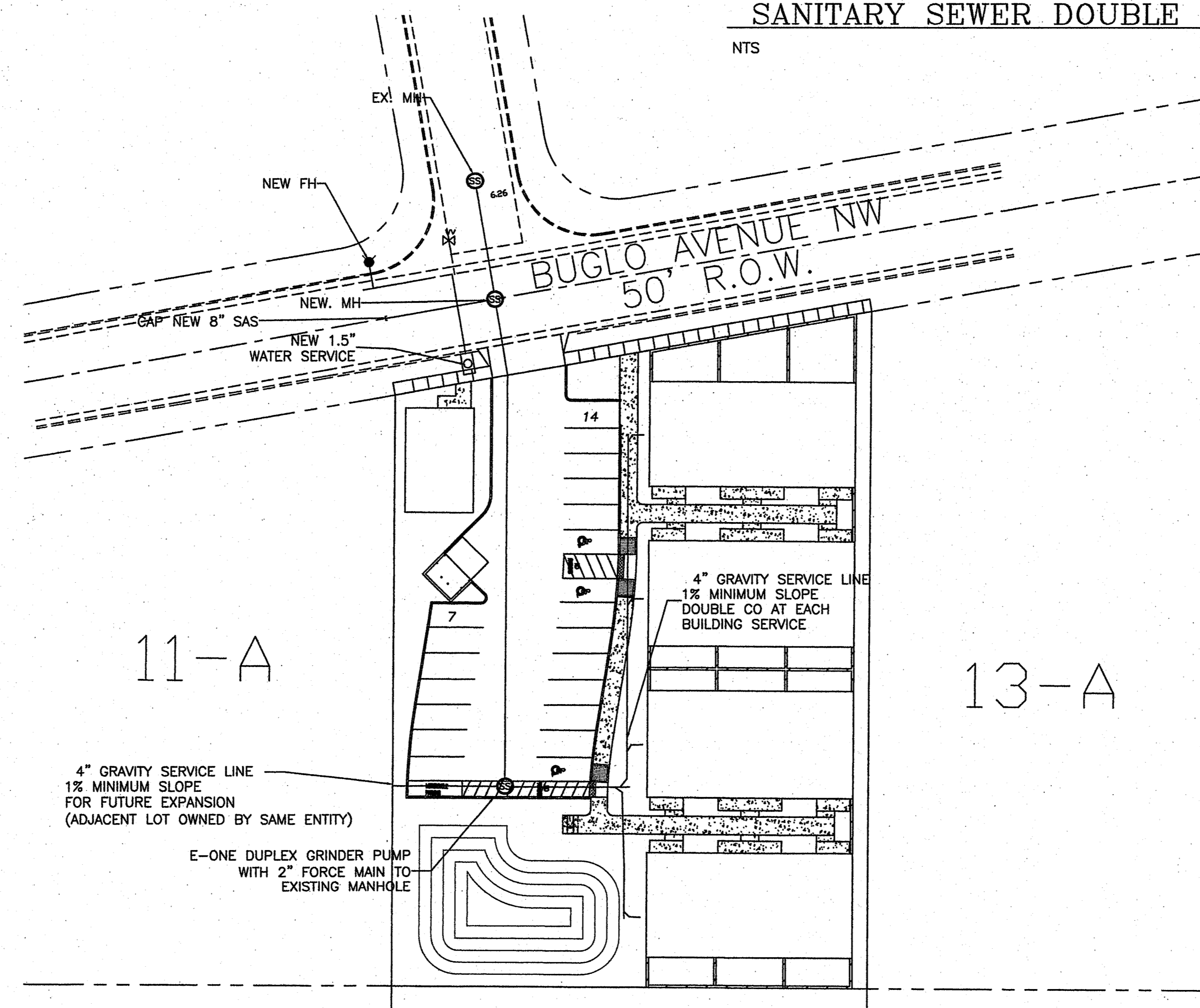
**UTILITY TRENCH DETAIL**

NTS



**SANITARY SEWER DOUBLE CLEAN-OUTS**

NTS



WATER SHUTOFF PLAN: SHUTOFF VALVES:

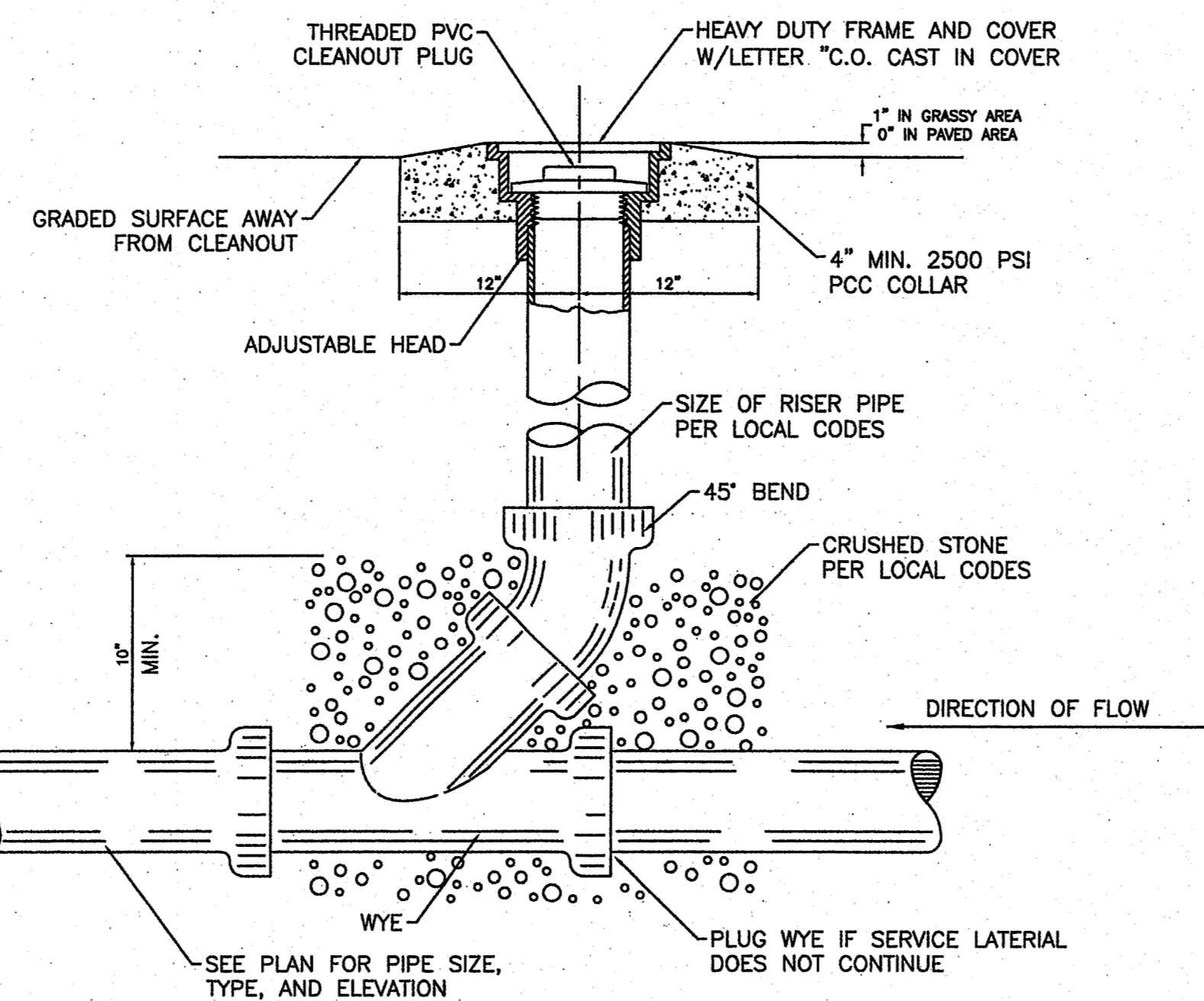
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH ABCWUA
  2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  3. NOTIFY ABCWUA THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
  4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
  5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
  6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY
  7. ALL INFRASTRUCTURE SHALL CONFORM TO THE ABCWUA SERVICABILITY LETTER AND DEVELOPMENT AGREEMENT

**LEGEND**

- EXISTING SAS MANHOLE
- - - EX. 8" SAS - - - EXISTING SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- ∞ PROPOSED CLEANOUT
- 8" SAS — PROPOSED SANITARY SEWER LINE
- — — SANITARY SEWER SERVICE LINE
- - - EX. 6" WL - - - EXISTING WATER LINE
- ⊠ PROPOSED METER
- ⊡ PROPOSED FIRE HYDRANT
- — — WATER SERVICE LINE
- 6" WL — PROPOSED WATER LINE
- — — PROPOSED STORM SEWER LINE
- ===== EXISTING CURB & GUTTER
- — — CENTERLINE
- — — RIGHT-OF-WAY
- — — BOUNDARY LINE
- - - EASEMENT

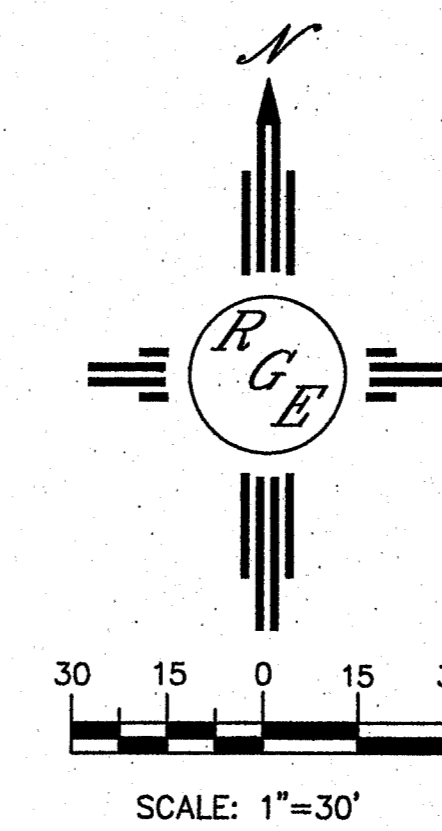
**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



**SANITARY SEWER CLEAN-OUT**

NTS



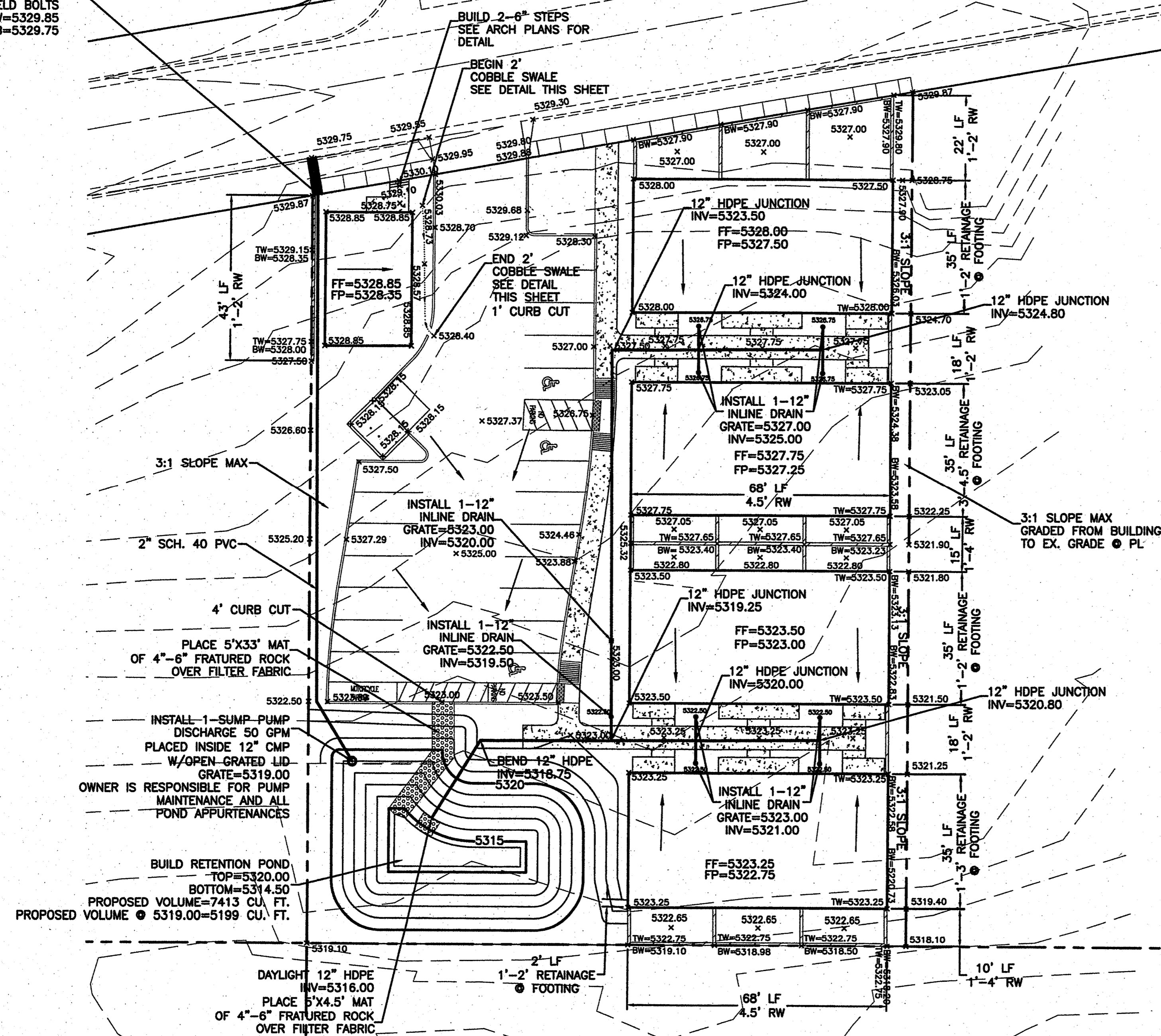
**GENERAL NOTES:**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

ENGINEER'S SEAL	PARADISE VIEW UNIVERSAL APARTMENTS	DRAWN BY WCUJ
	CONCEPTUAL MASTER UTILITY PLAN	DATE 4-03-08
 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0888		2511-EPC-3-25-08X
		SHEET # 3 OF 5
DAVID SOULE P.E. #14522		JOB # 2511

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

DAYLIGHT 2" SCH. 40 PVC  
AT BACK OF NEW 2" SW CULVERT  
PER COA STD DWG #2206  
TACK WELD BOLTS  
INV @ BACK OF SW=5329.85  
INV @ FL OF CURB=5329.75



**EROSION CONTROL NOTES:**

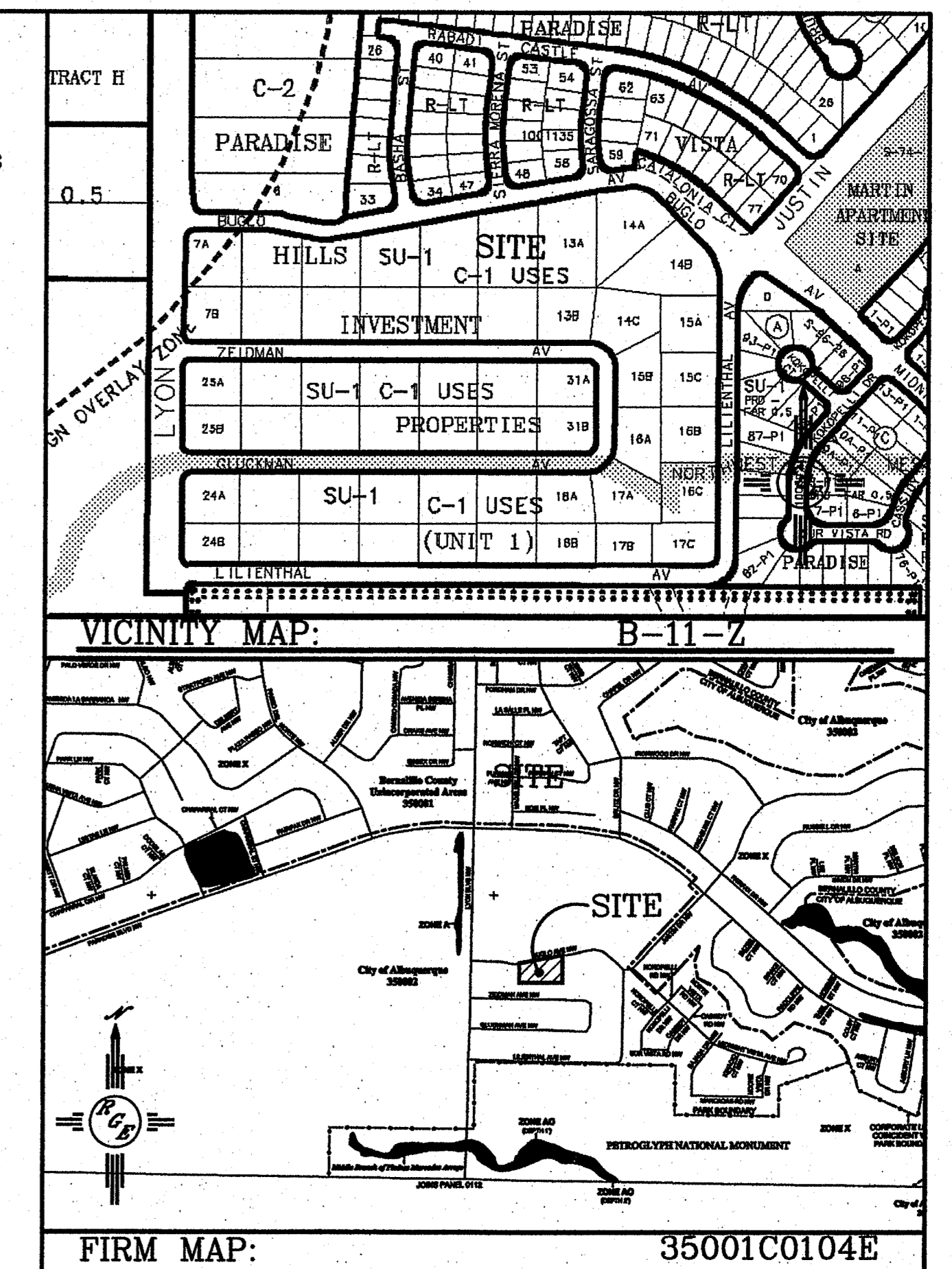
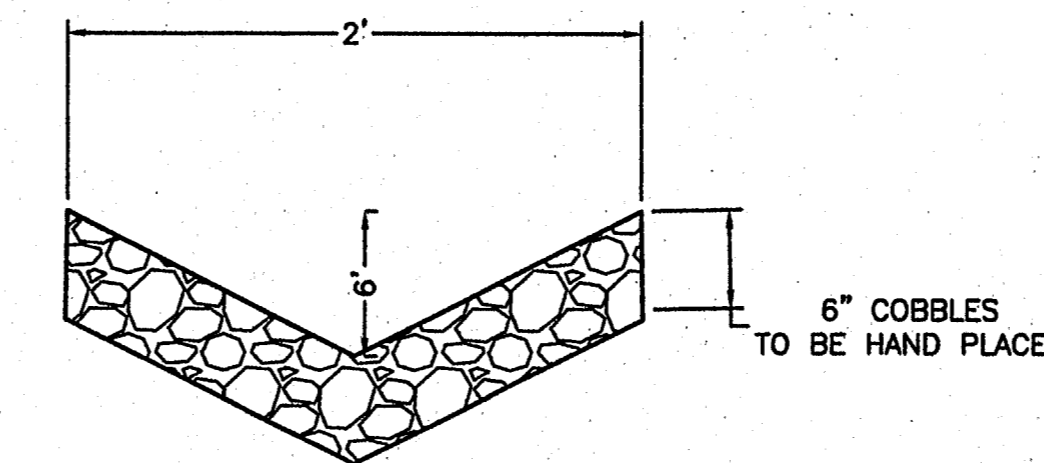
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

**PRIVATE DRAINAGE IMPROVEMNET IN PUBLIC ROW  
NOTICE TO CONTRACTORS**

Notice to Contractor  
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Prior to pouring concrete, contractor shall notify the storm drain inspector, 857-8074, to inspect reinforcement.

APPROVAL	NAME	DATE
INSPECTOR		



**LEGAL DESCRIPTION:**

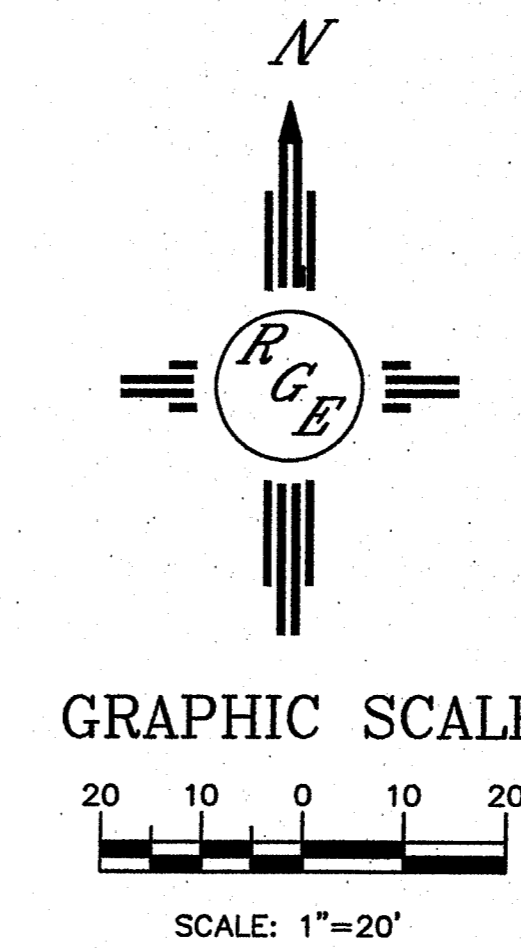
TRACT 12A PARADISE HILLS INVESTMENT

**NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB TO BE 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL SD PIPE TO BE 12" HDPE.
5. SEE ARCH PLANS FOR EXTENDED FOOTING INFORMATION.
6. TURN 1 BLOCK 4" BELOW FINISHED FLOOR AT ALL INTERMEDIARY WALLS.
7. TURN 1 BLOCK 3" ABOVE FINISHED GRADE AT PERIMETER WALLS.
8. ALL WALLS SHALL BE PERMITTED UNDER SEPERATE BUILDING PERMIT.

**LEGEND**

- 5414 --- EXISTING CONTOUR
- 5415 --- EXISTING INDEX CONTOUR
- 5414 --- PROPOSED CONTOUR
- 5415 --- PROPOSED INDEX CONTOUR
- ▲ SLOPE TIE
- 4048.25 EXISTING SPOT ELEVATION
- 4048.25 PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED SETBACK
- PROPOSED LOT LINE
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL DESIGN BY OTHERS

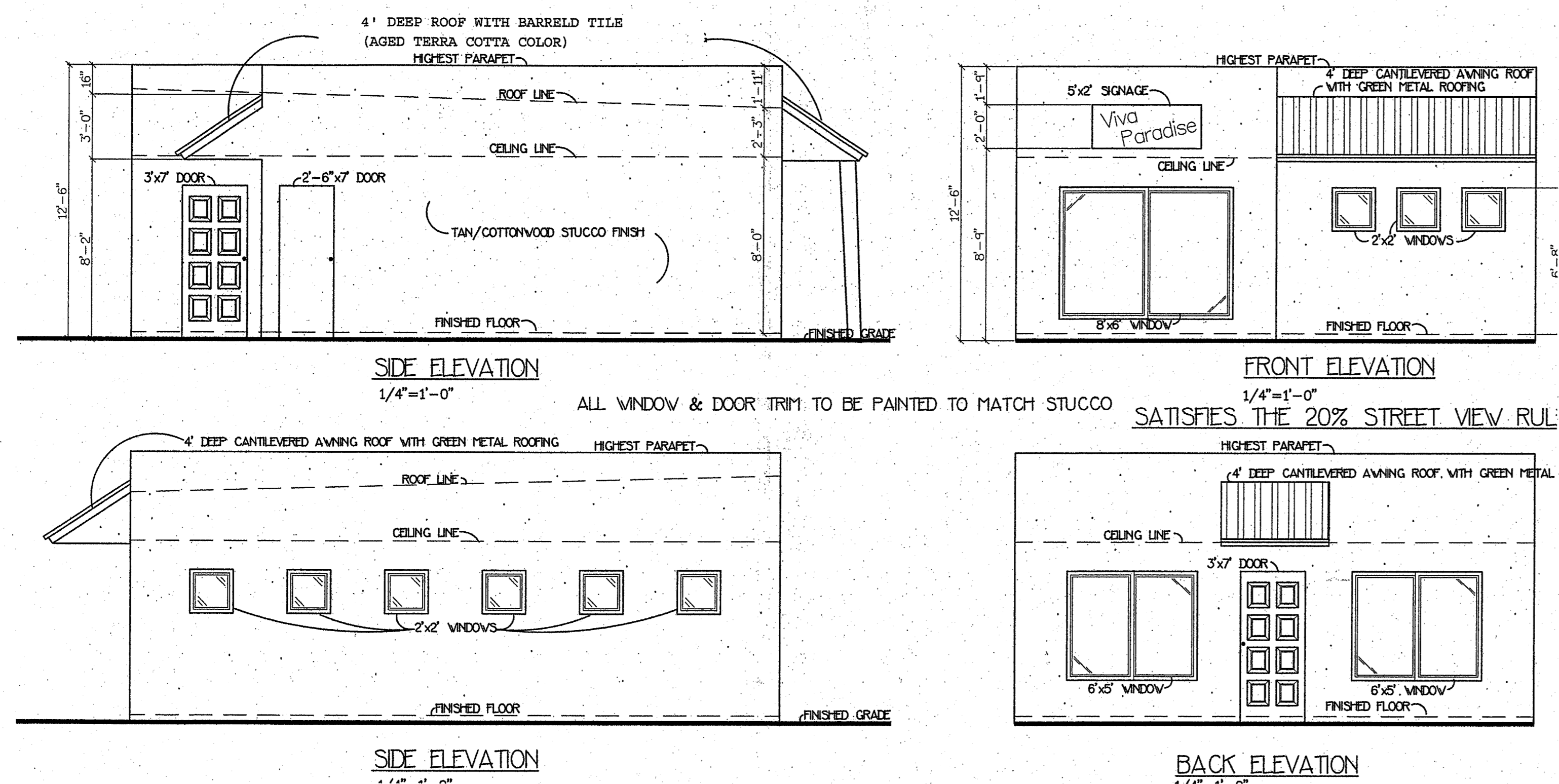


ENGINEER'S SEAL  3/15/17 DAVID SOULE P.E. #14322	<b>PARADISE VIEW UNIVERSAL APARTMENTS</b>	DRAWN BY WCUJ DATE 3-16-17 21641-10002-11-01-19
	<b>GRADING AND DRAINAGE PLAN</b>	SHEET # 4 JOB # 21641

VIVA PARADISE – TYPICAL MULTI DWELLING UNIT



VIVA PARADISE – COMMON BUILDING  
ELEVATIONS INDICATING ROOF STRUCTURE, FINISHES AND DIMENSIONS



VIVA PARADISE – TYPICAL SINGLE UNIT  
ELEVATIONS INDICATING ROOF STRUCTURE, FINISHES AND DIMENSIONS

