



Supplemental Form (SF)

SUBDIVISION

- ☐ Major subdivision action  
☐ Minor subdivision action  
☐ Vacation  
☐ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ☒ for Subdivision  
☒ for Building Permit  
☐ Administrative Amendment (AA)  
☐ Administrative Approval (DRT, URT, etc.)  
☐ IP Master Development Plan  
☐ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- ☐ Annexation  
  
**V** ☐ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)  
**P** ☐ Adoption of Rank 2 or 3 Plan or similar  
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

**D** ☐ Street Name Change (Local & Collector)

**L A APPEAL / PROTEST of...**

- ☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: \_\_\_\_\_

ADDRESS: PO BOX 93924 FAX: \_\_\_\_\_

CITY: ALBUQUERQUE STATE NM ZIP 87199 david@riograndeengineering.com E-MAIL: \_\_\_\_\_

APPLICANT: buglo properties,llc PHONE: 321.9099

ADDRESS: PO box 93924 FAX: \_\_\_\_\_

CITY: ALBUQUERQUE STATE NM ZIP 87199 david@riograndeengineering.com E-MAIL: \_\_\_\_\_

Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: DRB FINAL SIGNOFF OF SITE PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☒ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 12A Block: \_\_\_\_\_ Unit: 1

Subdiv/Addn/TBKA: PARADISE HILLS INVESTMENT PROPERTIES

Existing Zoning: SU1 -C1 Proposed zoning: SU1-C1 MRGCD Map No \_\_\_\_\_

Zone Atlas page(s): B11 UPC Code: 101106529115340117

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_,Z\_, V\_, S\_, etc.): \_\_\_\_\_

1010902, 16E[C-4028

CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? NO

No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): .76

LOCATION OF PROPERTY BY STREETS: On or Near: BUGLO NW

Between: JUSTIN NW and LYONS NW

Check if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team(PRT) ☐ Review Date: \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

(Print Name) DAVID SOULE Applicant: ☐ Agent: ☒

FOR OFFICIAL USE ONLY

Revised: 11/2014

☐ INTERNAL ROUTING

- ☐ All checklists are complete  
☐ All fees have been collected  
☐ All case #s are assigned  
☐ AGIS copy has been sent  
☐ Case history #s are listed  
☐ Site is within 1000ft of a landfill  
☐ F.H.D.P. density bonus  
☐ F.H.D.P. fee rebate

Application case numbers

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Action

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S.F.

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Fees

\$ \_\_\_\_\_  
\$ \_\_\_\_\_  
\$ \_\_\_\_\_  
\$ \_\_\_\_\_  
\$ \_\_\_\_\_  
Total  
\$ \_\_\_\_\_

Hearing date \_\_\_\_\_

Project # \_\_\_\_\_

Staff signature & Date \_\_\_\_\_

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- ☐ **SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24” x 36”**
  - ☐ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
  - ☐ Zone Atlas map with the entire property(ies) clearly outlined
  - ☐ Letter briefly describing, explaining, and justifying the request
  - ☐ List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- ☐ **SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24” x 36”**
  - ☐ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - ☐ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - ☐ Zone Atlas map with the entire property(ies) clearly outlined
  - ☐ Letter briefly describing, explaining, and justifying the request
  - ☐ Letter of authorization from the property owner if application is submitted by an agent
  - ☐ Copy of the document delegating approval authority to the DRB
  - ☐ Completed Site Plan for Subdivision Checklist
  - ☐ Infrastructure List, if relevant to the site plan
  - ☐ Fee (see schedule)
  - ☐ List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**  
**Your attendance is required.**

- ☐ **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24” x 36”**
  - ☒ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - ☒ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - ☒ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
  - ☐ Solid Waste Management Department signature on Site Plan
  - ☒ Zone Atlas map with the entire property(ies) clearly outlined
  - ☒ Letter briefly describing, explaining, and justifying the request
  - ☒ Letter of authorization from the property owner if application is submitted by an agent
  - ☒ Copy of the document delegating approval authority to the DRB
  - ☒ Infrastructure List, if relevant to the site plan
  - ☒ Completed Site Plan for Building Permit Checklist
  - ☒ Copy of Site Plan with Fire Marshal's stamp
  - ☐ Fee (see schedule)
  - ☒ List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**  
**Your attendance is required.**

- ☐ **AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24” x 36”**
- ☐ **AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24” x 36”**
  - ☐ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - ☐ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - ☐ Zone Atlas map with the entire property(ies) clearly outlined
  - ☐ Letter briefly describing, explaining, and justifying the request
  - ☐ Letter of authorization from the property owner if application is submitted by an agent
  - ☐ Infrastructure List, if relevant to the site plan
  - ☐ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - ☐ Fee (see schedule)
  - ☐ List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**  
**Your attendance is required.**

- ☐ **FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- ☐ **FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
  - ☐ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - ☐ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - ☐ Solid Waste Management Department signature on Site Plan for Building Permit
  - ☐ Zone Atlas map with the entire property(ies) clearly outlined
  - ☐ Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
  - ☐ Infrastructure List, if relevant to the site plan
  - ☐ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - ☐ List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date



Form revised **October 2007**

- ☐ Checklists complete
- ☐ Fees collected
- ☐ Case #s assigned
- ☐ Related #s listed
- Application case numbers
- \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_
- \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_
- \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Planner signature / date

Project #

February 6, 2017

Jack Cloud  
Chair- DRB  
City of Albuquerque  
600 Second St. NW  
Albuquerque NM 87102

Michael Vos

**RE: Paradise View Universal Apartments  
lot 12A Paradise Hills Investment Properties  
Site plan for building permit  
EPC final signoff**

Dear Mr. Cloud:

Rio Grande Engineering requests DRB approval of the enclosed site plan for building permit. This plan was approved with conditions by the EPC on August 12, 2016. An appeal of this approval was denied by the approval upheld by the city council on November 7, 2016 (AC-16-13). We have revised the plans to address the conditions. Below is the list of conditions with the resulting corrective actions taken underlined.

1. The EPC delegates final sign off authority of this site plan to the DRB... A letter shall accompany the submittal specifying all the modifications that have been made..  
This letter satisfies this requirement
2. Prior to application applicant shall meet with staff planner to assure conditions of approval have been met  
We have met with Mr. Vos, an email of his concurrence will be sent prior to the hearing
3. The proposed colors of the buildings including awnings shall conform to the color palate of the northwest mesa escarpment plan. A minimum of 2 additional architectural features or elements found in the surrounding neighborhoods shall be added  
We have labeled the colors. We have added (1) tile roof and (2) stucco posts to the front porches to satisfy this requirement the tile and posts are prevalent in the neighborhood
4. The applicant shall place the exact calculations of usable open space provided by the proposed development on the site plan  
We have added this calculation
5. Clearer, more detailed notes shall be added to the landscape plan.  
We have added an updated landscape plan
6. Notes need to be added referencing the restrictions on signage to maximum of 25 square feet per building facade and no freestanding signage are permitted  
We show the only signage and added note 17 to site plan

7. Conditions of approval from transportation development

- A. Identify the right of way width, medians, curb cuts, and street widths on Buglo Ave. and cross streets north of project area.

We have added to the plan

- B. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.

We have added as note 12

- C. Show all drive aisle widths and radii.

We have labeled

- D. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.

We have labeled and referenced city standard details

- E. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details. Provide striped access isle across drive pad from Dayroom HC parking to access isle leading to residential units.

We have added

- F. All sidewalks along streets should be placed at the property line.

We show sidewalks at property line

- G. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.

we have labeled as key note J

- H. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.

Solid waste has signed

- I. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.

We have labeled as key note K

- J. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please provide this detail at the entrance/exit on Buglo Ave.

We have labeled as key note L

- K. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

We have added note 13

- L. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."

We have added note 14



- M. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

We have added note 15

8. Conditions of approval from ABCWUA

- A. Serviceability statement #151107 is still current but a new request is needed as the fire marshal requirements were never submitted. This is required prior to future condition as indicated in the aforementioned serviceability statement.

We have provided updated serviceability statement

- B. The development is located outside of the adopted service, therefore Board approval is required. If extensions of public waterline or sanitary sewer are required, a Board approved development agreement is required.

We have submitted this request

- C. Extension of waterline is required to cover the property frontage. This is required to allow for future extensions for the properties to the west.

We have shown this extension in addition to a new fire hydrant

- D. The utility plan indicated a private grinder pump for discharge into the exiting manhole along Sierra Morena St. This may not be acceptable as a public sanitary sewer extension (force main) may be required to cover the property frontage. The requirements will be determined by the serviceability statement

We have modified the plan to show a public gravity line extension upstream

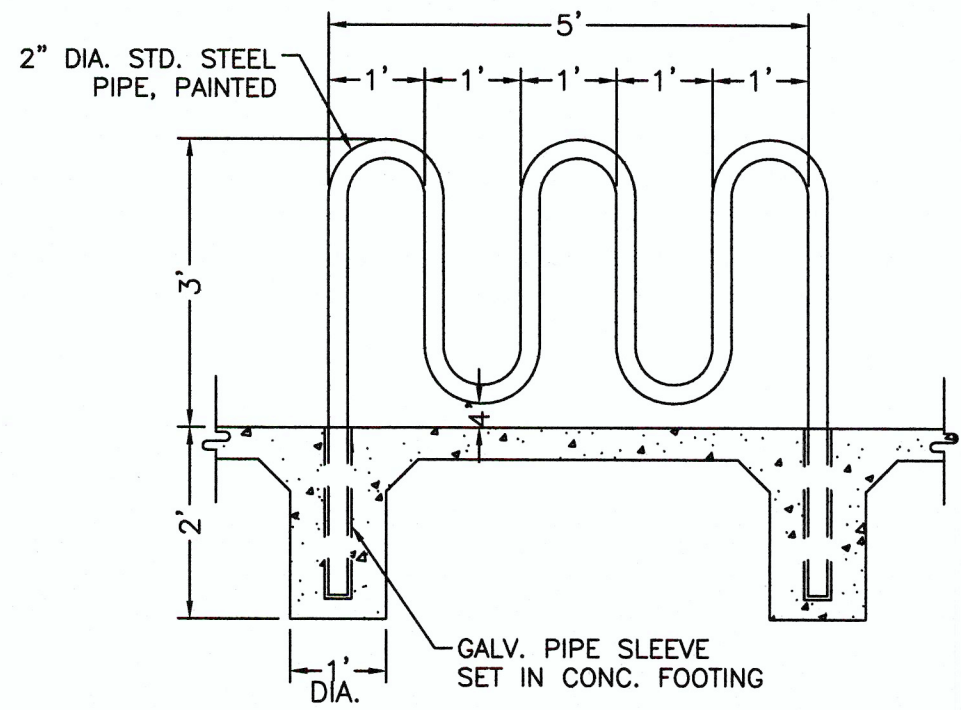
Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

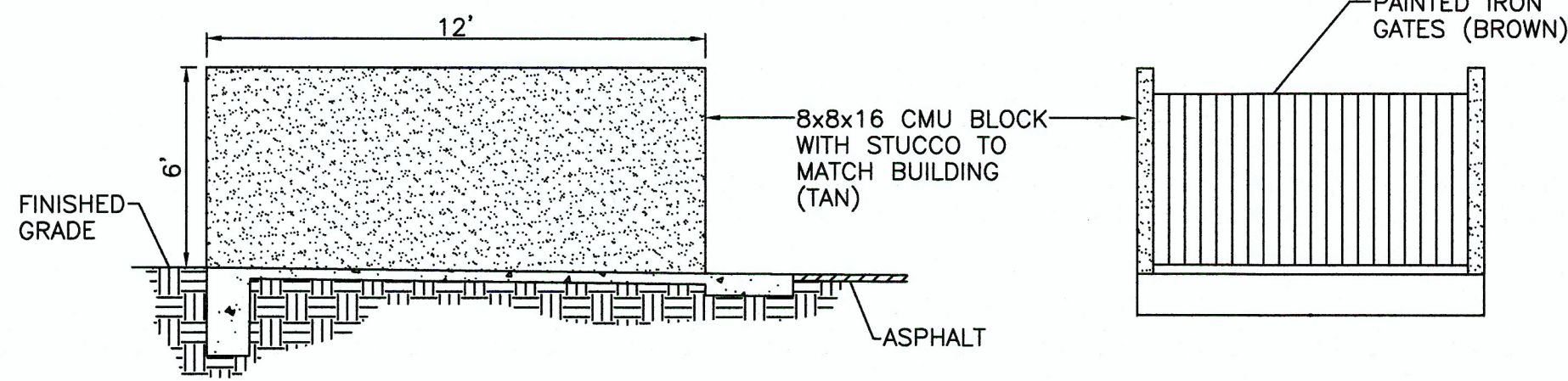
David Soule, PE  
RIO GRANDE ENGINEERING  
PO Box 93924  
ALBUQUERQUE, NM 87199  
321-9099

Enclosures





BIKE RACK DETAIL  
NTS



DUMPSTER ENCLOSURE ELEVATION  
NTS

## LEGEND

=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
=====	PROPOSED BUILDING
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
=====	PROPOSED 6' SIDEWALK
-----	CENTERLINE
=====	RIGHT-OF-WAY
=====	BUILDING ENVELOPE
=====	6' SCREEN WALL
☼	STREET LIGHTS
⊙	ADA SIGNAGE

PROJECT NUMBER: \_\_\_\_\_  
APPLICATION NUMBER: \_\_\_\_\_

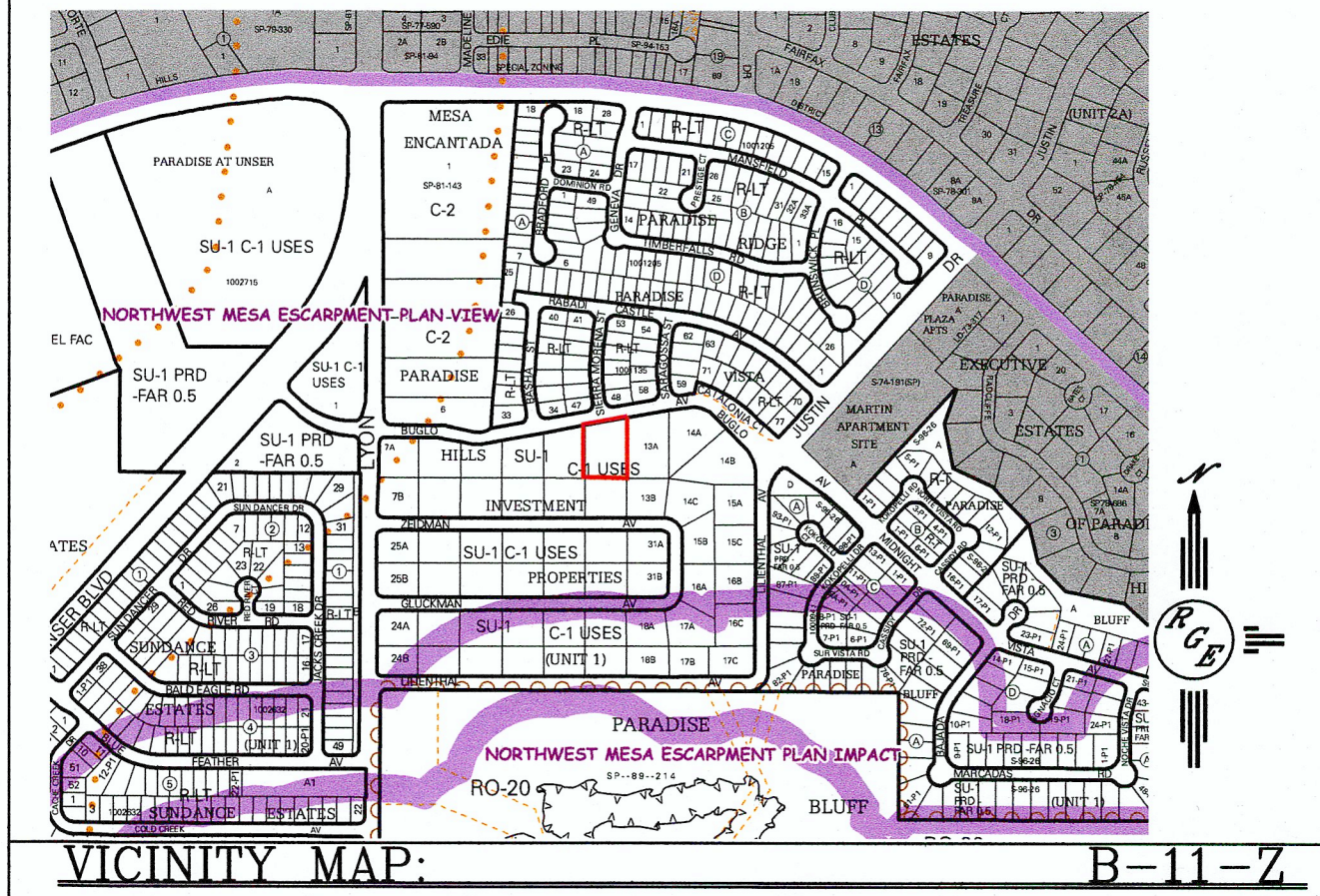
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary  
12/16/03



## LEGAL DESCRIPTION:

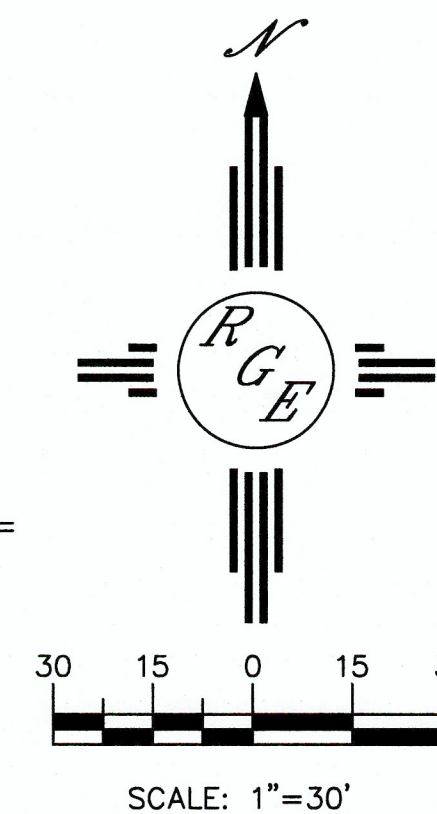
TRACT 12A PARADISE HILLS INVESTMENT

## NOTES:

- ALL BUILDING USAGE MUST COMPLY WITH EXISTING ZONING OF PROPERTY AND SITE PLAN FOR BUILDING PERMIT SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR FINAL APPROVAL.
- THIS SITE IS LOCATED IN THE ESCARPMENT VIEW AREA, AS DESCRIBED WITHIN THE NORTHWEST ESCARPMENT PLAN (RANK 3).
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
- ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441, 2426.
- BUILDING MOUNTED SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS WITHOUT INTERNAL ILLUMINATIONS. NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.
- NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
- VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
- PATH WAY LIGHTING SHALL BE FULLY SHIELDED NOT TO EXCEED 36" FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED LENSES SHOULD AND NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
- MAXIMUM HEIGHT OF RETAINING WALL SHALL BE 5'
- TRASH ENCLOSURE SHALL MEET SOLID WASTE DEPARTMENTS MINIMUM STANDARD AND SHALL CONFORM TO COA STANDARD DETAILS
- ADA ACCESSIBLE PARKING SIGNS MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA1978 VIOLATORS ARE SUBJECT TO A FINE AND OR TOWING
- CLEAR SITE TRIANGLE REQUIREMENTS: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFOR SIGNS, WALLS, TREES, ADN SHRUBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB).
- BUILDING TYPE VB-NON SPRINKLED, LARGEST AREA 750SF. EACH COMMON WALL SHALL BE 2-HOUR RATING. BUILDING PREMISE ID SHALL HAVE 10" HIGH TEXT WITH 2" STROKE. ALL TRAFFIC SHALL BE RATED FOR 75,000 # VEHICLE WITH GRADE LESS THAN 8%. BUILDINGS HEIGHT SHALL NOT EXCEED 30'. OCCUPANCY GROUP R3
- NO MONUMENT SIGNAGE ALLOWED. BUILDING MOUNTED SIGNAGE LIMITED TO 25 SF
- DAY ROOM WILL BE CONSTRUCTED AFTER RESIDENTIAL UNITS CONSTRUCTED

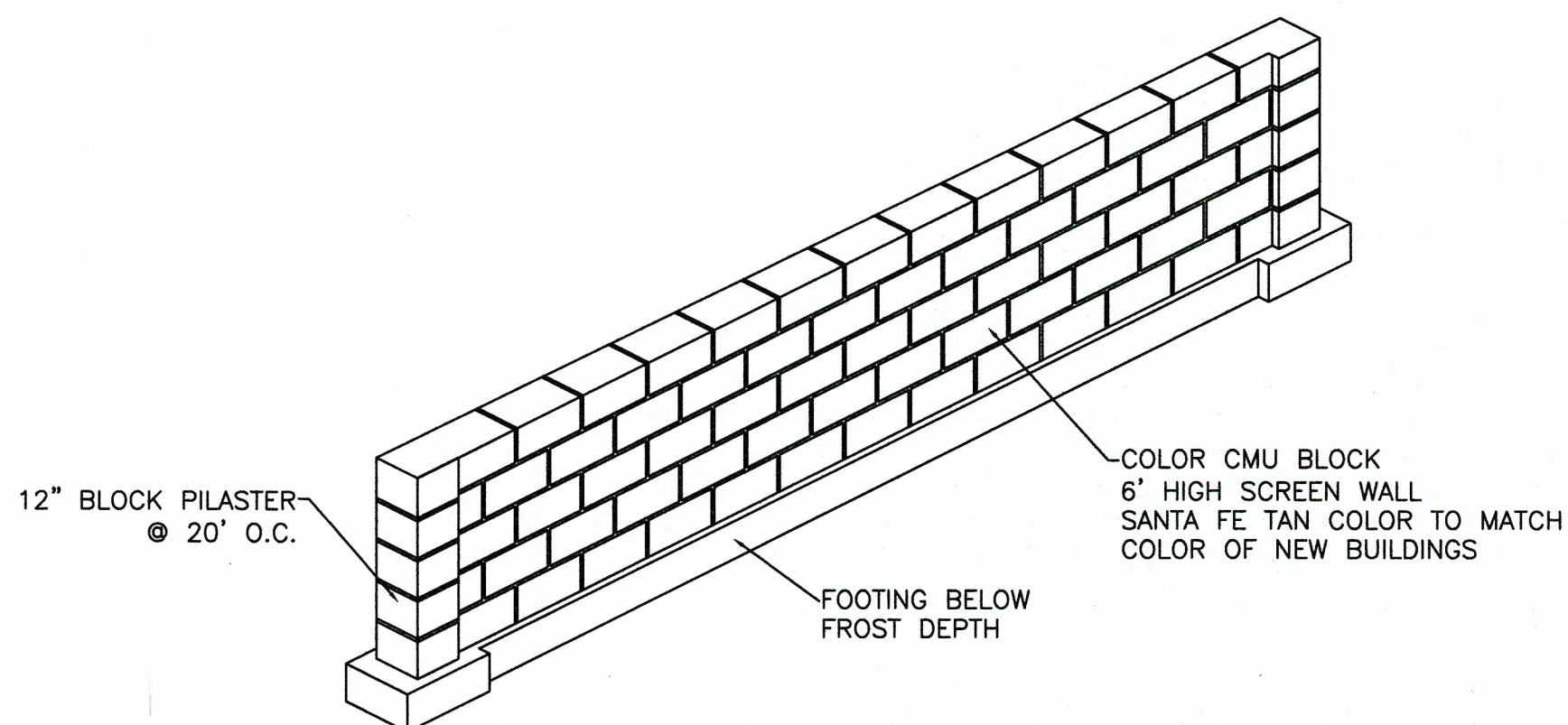
## SITE DATA TABLE

	LOT 12-A
SITE ACREAGE:	0.7569 AC±
EXISTING ZONING:	SU1 FOR C1 USES
PROPOSED ZONING:	SU1 FOR C1 USES
PROPOSED USE:	OFFICE/APARTMENT
DWELLING UNITS	12
PARKING REQUIRED:	12 SPACES
PARKING PROVIDED:	22 SPACES
HC PARKING REQUIRED:	1 SPACES
HC PARKING PROVIDED:	5 SPACES
BIKE SPACES REQUIRED:	2 SPACES
BIKE SPACES PROVIDED:	2 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACE
MOTORCYCLE SPACES PROVIDE:	1 SPACE
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	3506 SF
LANDSCAPE PROVIDED:	6217 SF
USABLE OPENS SPACE PROVIDED	14,868 SF

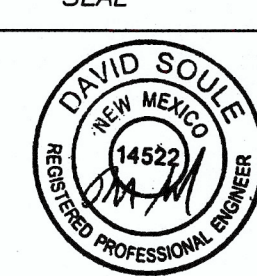
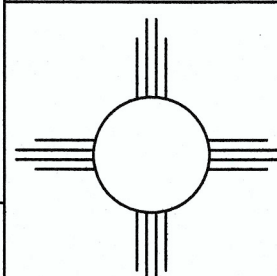


## SHEET INDEX

- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- MASTER UTILITY PLAN
- CONCEPTUAL GRADING AND DRAINAGE PLAN
- ELEVATIONS



6' SCREEN WALL DETAIL  
NTS

ENGINEER'S SEAL  12/16/16 DAVID SOULE P.E. #14522	PARADISE VIEW UNIVERSAL APARTMENTS SITE PLAN FOR BUILDING PERMIT  1806 CENTRAL AVENUE SE ALBUQUERQUE, NM 87106 (505) 872-0999	DRAWN BY WCWJ DATE 4-02-08 2511-SPSD-3-25-08X SHEET # 1 OF 5 JOB # 2511
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**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

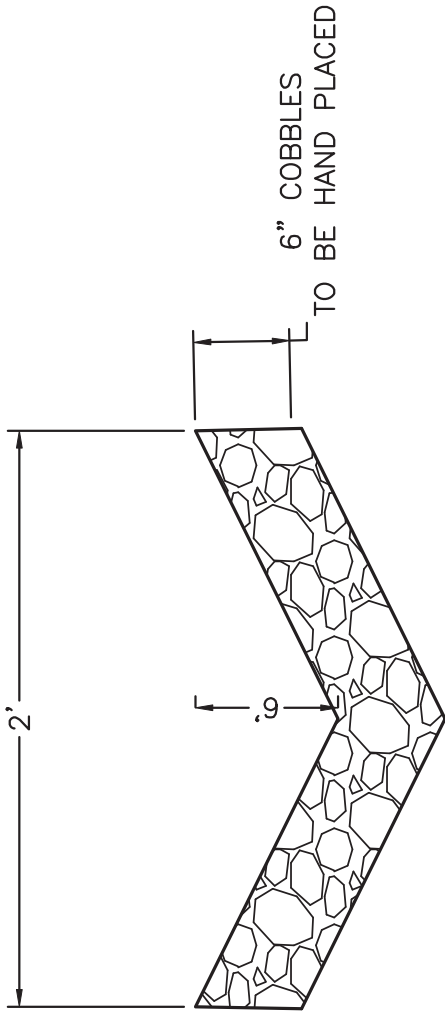
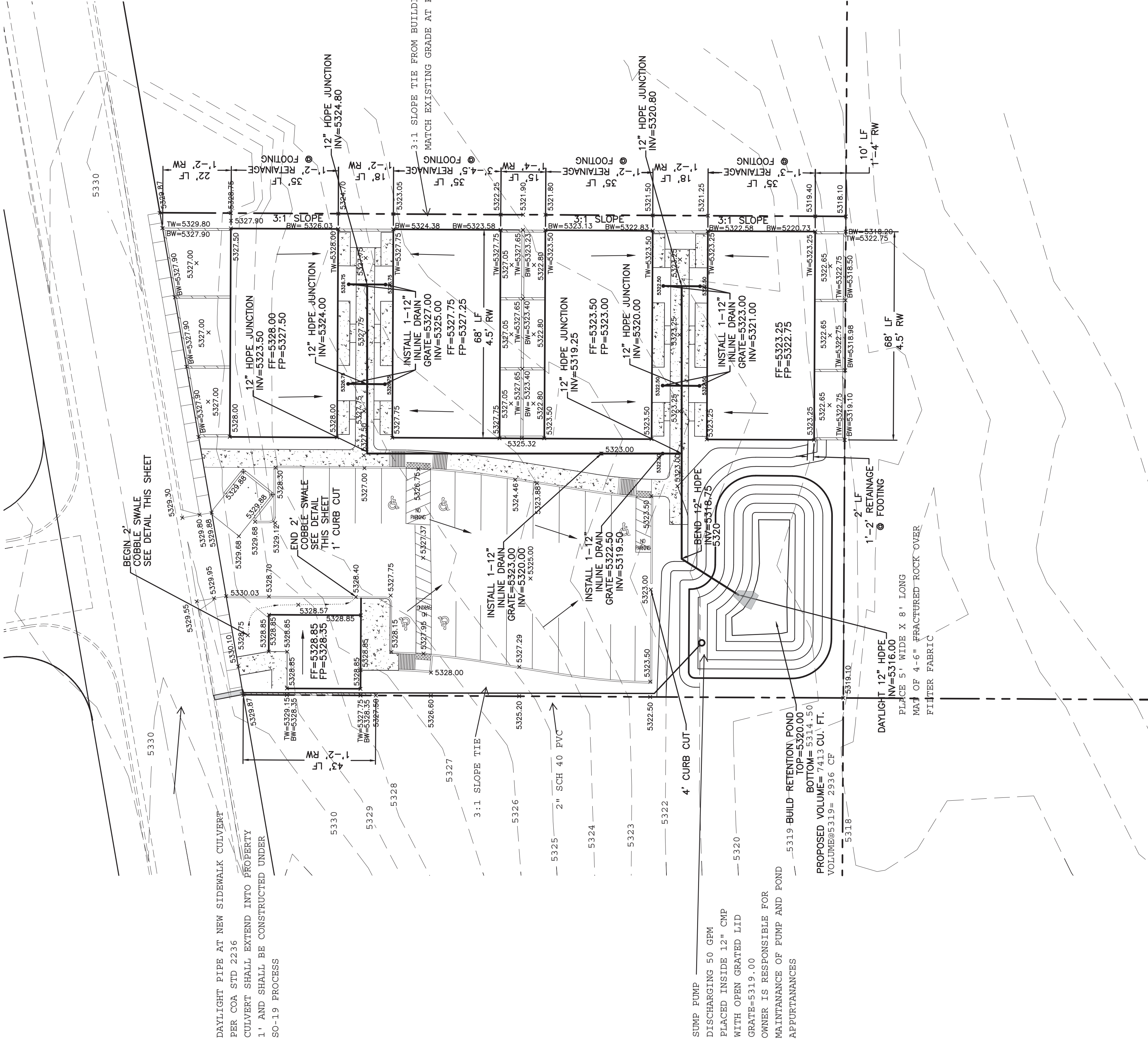
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

**PRIVATE DRAINAGE IMPROVEMENT IN PUBLIC ROW**  
**NOTICE TO CONTRACTORS**

Notice to Contractor  
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Orleans One Call, dial "811" [or (504) 260-1990] for the location of existing utilities.
4. Prior to constructions, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. The contractor shall be responsible for the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Prior to pouring concrete, contractor shall notify the storm drain inspector, 857-8074, to inspect reinforcement.

APPROVAL	NAME	DATE
INSPECTOR		



**COBBLE SWALE DETAIL**

NTS

**LEGAL DESCRIPTION:**

TRACT 12A PARADISE HILLS INVESTMENT

**NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB TO BE 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL SD PIPE TO BE 12" HDPE.
5. SEE ARCH PLANS FOR EXTENDED FOOTING INFORMATION.
6. TURN 1 BLOCK 4" BELOW FINISHED FLOOR AT ALL INTERMEDIARY WALLS.
7. TURN BLOCKS 3" ABOVE FINISHED GRADE AT PERIMETER
8. ALL WALLS SHALL BE PERMITTED UNDER SEPARATE PERMIT

**LEGEND**

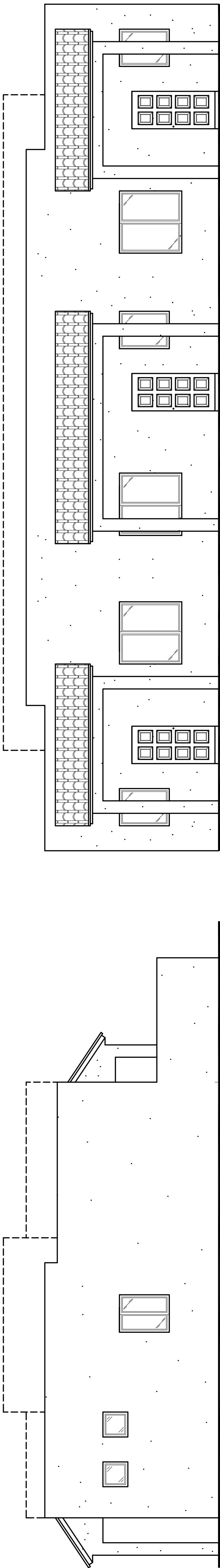
- 5414--- EXISTING CONTOUR
- 5415--- EXISTING INDEX CONTOUR
- 5414--- PROPOSED CONTOUR
- 5415--- PROPOSED INDEX CONTOUR
- ▲ SLOPE TIE
- 1' x 4048.25 EXISTING SPOT ELEVATION
- 1' x 4048.25 PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- ===== PROPOSED CURB AND GUTTER
- ===== EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED SETBACK
- PROPOSED LOT LINE
- ===== PROPOSED SCREEN WALL
- ===== PROPOSED RETAINING WALL DESIGN BY OTHERS



<b>ENGINEER'S SEAL</b> 	<b>PARADISE VIEW UNIVERSAL APARTMENTS</b>	<b>DRAWN BY WCWJ</b>
	<b>GRADING AND DRAINAGE PLAN</b>	<b>DATE 11-21-16</b>
1/26/17	 <b>Rio Grande Engineering</b> 1606 CENTRAL AVENUE ALBUQUERQUE, NM 87106 (505) 872-0999	<b>SHEET # 4</b>
DAVID SOULE P.E. #14522		<b>JOB # 21641</b>

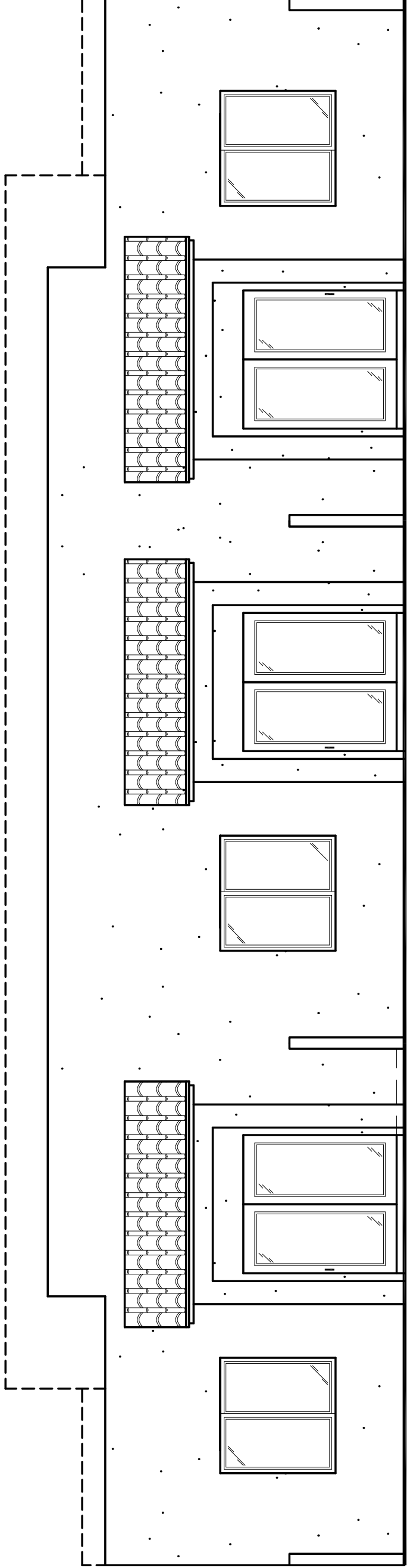


VIVA PARADISE — TYPICAL DWELLING UNIT



END ELEVATION

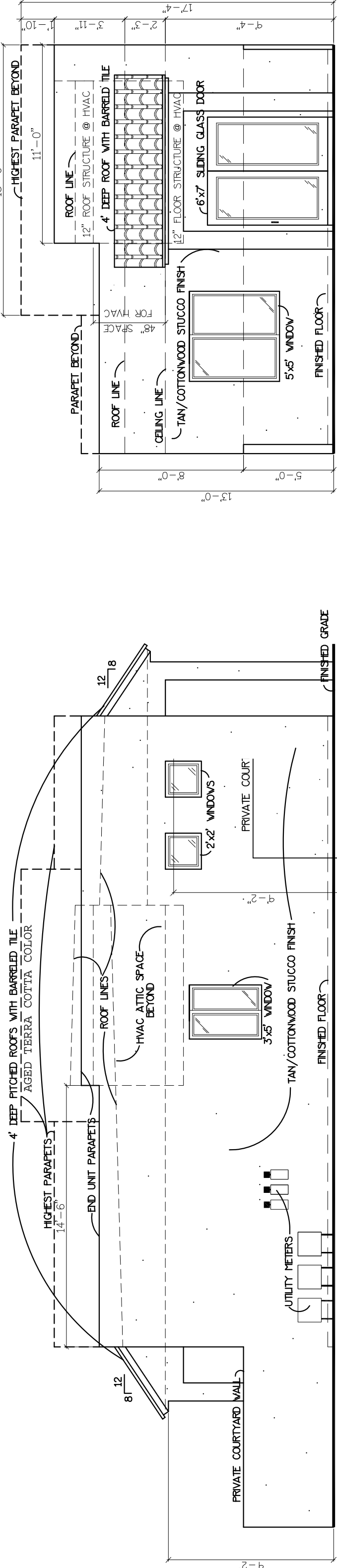
FRONT ELEVATION — 3 DWELLING UNIT



END ELEVATION

BACK ELEVATION — 3 DWELLING UNIT

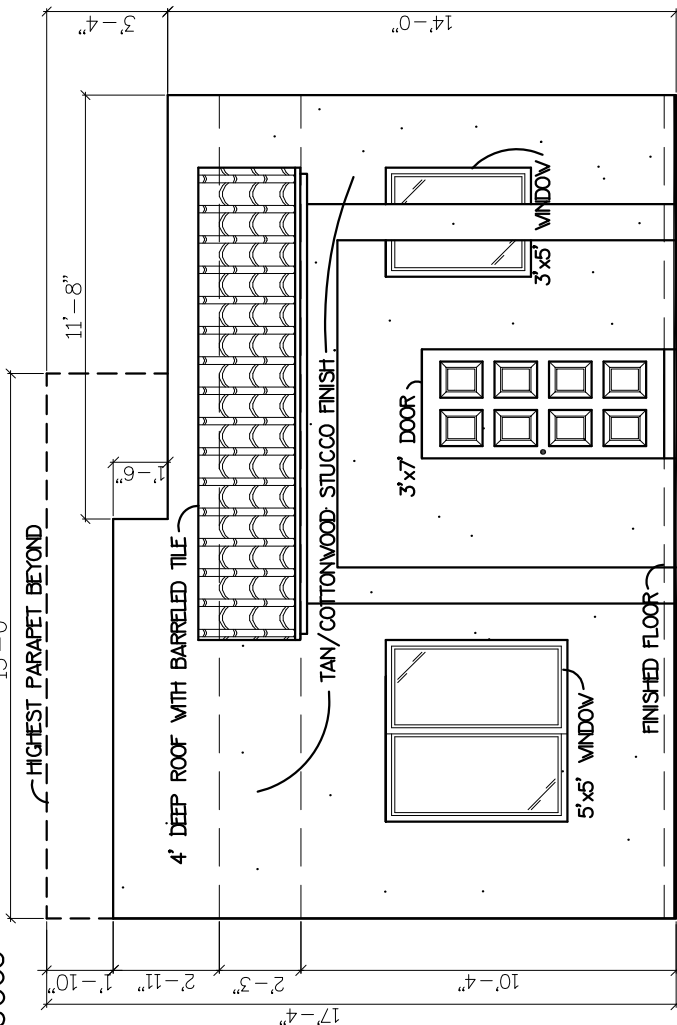
VIVA PARADISE — TYPICAL SINGLE UNIT  
ELEVATIONS INDICATING ROOF STRUCTURE, FINISHES AND DIMENSIONS



END ELEVATION

BACK ELEVATION

SATISFIES THE 20% STREET VIEW RULE

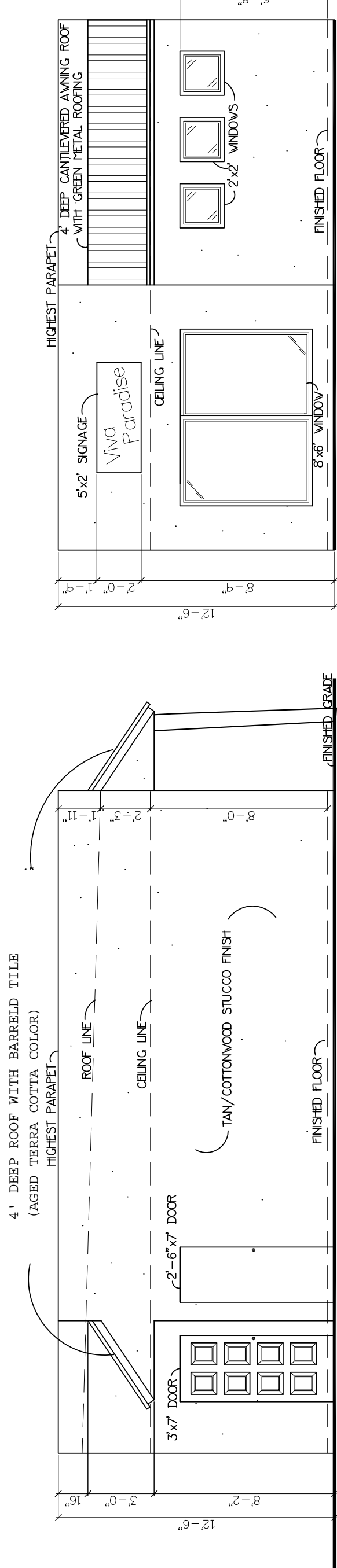


END ELEVATION

FRONT ELEVATION

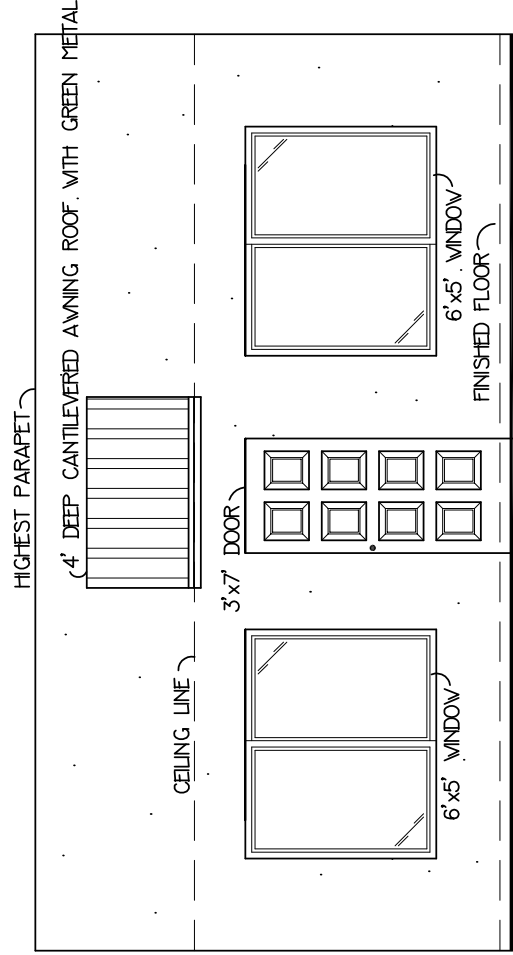
END ELEVATION

VIVA PARADISE — COMMON BUILDING  
ELEVATIONS INDICATING ROOF STRUCTURE, FINISHES AND DIMENSIONS



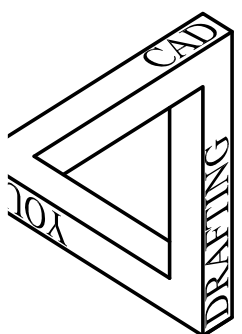
FRONT ELEVATION

SATISFIES THE 20% STREET VIEW RULE



BACK ELEVATION

SCALE		DATE	7-29-16	#	9
1/4"=1'-0"					
MEASURED BY	R	E	1		
DESIGNED BY	MG	F	6		
DRAFTED BY	MG	R	0		
CHECKED BY	JL	E	4		
	N	C	4		
		E	9		



YCD DESIGNS  
505-899-1199

FRONT ELEVATION

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.**

\_\_\_\_\_  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

***Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.***

## Accompanying Material

X A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan

X B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 – SITE PLAN

### A. General Information

- X 1. Date of drawing and/or last revision
- X 2. Scale:
  - 1.0 acre or less 1" = 10'
  - 1.0 - 5.0 acres 1" = 20'
  - Over 5 acres 1" = 50'
  - Over 20 acres 1" = 100'
  - [other scales, if approved by staff]
- X 3. Bar scale
- X 4. North arrow
- X 5. Vicinity map
- X 6. Signature Block (for DRB site dev. plans)
- X 7. Property lines (clearly identify)
- X 8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
- X 9. Phases of development including location and square footages of structures, circulation, parking and landscaping
- X 10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## B. Proposed Development

### 1. Structural

- X 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- X 2. Dimensions and square footage of each structure
- X 3. Proposed use of each structure
- X 4. Walls, fences, and screening: indicate height, length, color and materials
- X 5. Loading facilities
- X 6. Conceptual site lighting (indicate general location & maximum height)
- X 7. Location of refuse container and enclosure
- X 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

### 2. Parking and Circulation

- X A. Parking layout with spaces numbered per aisle and totaled.

X 1. **Location and typical dimensions**, including handicapped spaces

X 2. **Calculations:** spaces required: 12 provided: 22

Handicapped spaces (included in required total) required: 1 provided: 5

Motorcycle spaces (in addition to required total) required: 1 provided: 1

- X B. Bicycle parking & facilities

X 1. Bicycle racks, spaces required: 2 provided: 2

NA 2. Bikeways and other bicycle facilities, if applicable

- X C. Public Transit

NA 1. Bus facilities, including routes, bays and shelters existing or required

- X D. Pedestrian Circulation

X 1. Location and dimensions of all sidewalks and pedestrian paths

X 2. Location and dimension of drive aisle crossings, including paving treatment

X 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk

- X E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)

X 1. Ingress and egress locations, including width and curve radii dimensions

X 2. Drive aisle locations, including width and curve radii dimensions

X 3. End aisle locations, including width and curve radii dimensions

X 4. Location & orientation of refuse enclosure, with dimensions

X 5. Curb cut locations and dimensions

X 6. Existing and proposed street widths, right-of-way widths and curve radii

X 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions

X 8. Location of traffic signs and signals related to the functioning of the proposal

X 9. Identify existing and proposed medians and median cuts

### 3. Phasing – This is required information if phasing of project is anticipated

- X Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- X 1. Scale - must be same as scale on sheet #1 - Site Plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- X 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- X 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- X 9. Identify location and size (SF) of all landscaping areas, including:
  - A. Type, location and size of trees (common and/or botanical names)
  - B. Type and location of all ground cover material (organic/inorganic)
  - C. Existing vegetation, indicating whether it is to be preserved or removed
  - D. Ponding areas either for drainage or landscaping/recreational use
  - E. Turf area – only 20% of landscaped area can be high water-use turf
- X 10. Landscape calculation table:
  - A. Required and Provided Landscape Area – square footage and percent
  - B. Required and Provided Trees (street, parking lot, screening, etc.)
- X 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- X 12. Verification of adequate sight distance
- X 13. Provide a plant list of shrubs, grasses, and perennials

## SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

### A. General Information

- X 1. Scale - must be same as Sheet #1 - Site Plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Building footprints
- X 6. Location of Retaining walls

### B. Grading Information

- X 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- X 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- X 3. Identify whether ponding is required
- X 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

X 5. Cross Sections

Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.

X 6. In addition to the above, the following must be provided for DRB applications:

A. Conceptual onsite drainage system

B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

## SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

X 1. Fire hydrant locations, existing and proposed.

X 2. Distribution lines

X 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.

X 4. Existing water, sewer, storm drainage facilities (public and/or private).

X 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

X 1. Scale (minimum of 1/8" or as approved by Planning Staff)

X 2. Bar Scale

X 3. Detailed Building Elevations for each facade

X a. Identify facade orientation (north, south, east, & west)

X b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)

X c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.

X d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)

X 4. Dimensions, colors and materials of Refuse Enclosure

X 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

### B. Signage

X 1. Site location(s)

X 2. Sign elevations to scale

X 3. Dimensions, including height and width

X 4. Sign face area - dimensions and square footage clearly indicated

NA 5. Lighting

X 6. Materials and colors for sign face and structural elements

NA 7. Verification of adequate sight distance

**INFRASTRUCTURE LIST****EXHIBIT "A"****TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST****PARADISE VISTA UNIVERSAL APARTMENTS  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN****LOT12A PARADISE HILLS INVESTMENTS UNIT 1  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	8"	WATER LINE AND SINGLE HYDRANT	BUGLO	EXISTING	WEST PROPERTY LINE	/	/	/
<input type="text"/>	<input type="text"/>	8"	SEWER LINE	BUGLO	SIERRA MORENA	WEST PROPERTY LINE	/	/	/
<input type="text"/>	<input type="text"/>	8"	SEWER LINE	SIERRA MORENA	EXISTING	BUGLO	/	/	/

**NOTES**

1 \_\_\_\_\_

3 \_\_\_\_\_

<b>AGENT / OWNER</b>	<b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b>
----------------------	--

NAME (print) \_\_\_\_\_

DRB CHAIR - date \_\_\_\_\_

PARKS &amp; GENERAL SERVICES - date \_\_\_\_\_

FIRM \_\_\_\_\_

TRANSPORTATION DEVELOPMENT - date \_\_\_\_\_

AMAFCA - date \_\_\_\_\_

SIGNATURE - date \_\_\_\_\_

UTILITY DEVELOPMENT - date \_\_\_\_\_

\_\_\_\_\_ - date \_\_\_\_\_

 MAXIMUM TIME ALLOWED TO CONSTRUCT  
 THE IMPROVEMENTS WITHOUT A DRB  
 EXTENSION: \_\_\_\_\_

CITY ENGINEER - date \_\_\_\_\_


\_\_\_\_\_ - date \_\_\_\_\_

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

### Letter of Authorization

I, David Soule, managing member of Buglo Properties, LLC owner of lot 12A Paradise Hills Investment Company, hereby authorize Rio Grande Engineering of New Mexico, LLC to act as our agent regarding the submittal and approval process for the a platting and site plan for building permit for our development within the city of Albuquerque for the subject property

Property Owners:  Date 2/6/17

