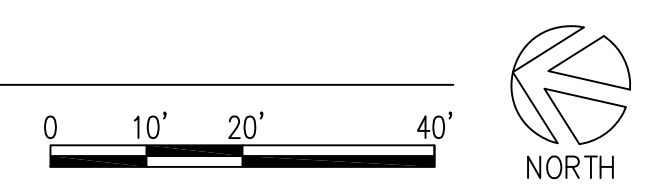


1 SITE PLAN  
C1 SCALE: 1" = 40'-0"



**PROJECT NUMBER:** \_\_\_\_\_  
Application Number: \_\_\_\_\_

The plan is consistent with the approved Site Development Plan approved by the Environmental Planning Commission (EPC), and the Planning and Ordinance in the Official Code of the City of Albuquerque. If an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved SDP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**SUBMIT DEVELOPMENT PLAN, SIGNATURE APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABO/WUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (optional)	Date
Solid Waste Management	Date
GIS/Geographic Information System	Date

Underwritten Not A. Temporary Stamp

**SITE PLAN KEYED NOTES**

- ① EXISTING PROPERTY LINE
- ② PROPOSED NEW PROPERTY LINE
- ③ EXISTING 10' WATERLINE EASEMENT, FILED DEC. 27, 1974 VOL. 400 PGS. 318-82
- ④ EXISTING 20' SOUTHERN UNION GAS CO. EASEMENT, FILED DEC. 23, 1974, BOOK 300 PGS. 963-84
- ⑤ EXISTING 10' UTILITY EASEMENT, FILE AUG. 8, 1974, VOL. 300 PG. 510
- ⑥ EXISTING 50' ROADWAY AND TEMPORARY DRAINAGE EASEMENT FILE APRIL 30, 1982, VOL. 264 PG. 147
- ⑦ PROPOSED FUTURE DEVELOPMENT
- ⑧ EXISTING PEDESTRIAN CONNECTION / PUBLIC WALKWAY
- ⑨ EXISTING SHARED ACCESS DRIVE. (RIGHT-IN, RIGHT-OUT, LEFT IN)
- ⑩ EXISTING SHARED ACCESS DRIVE (RIGHT-IN, RIGHT-OUT)

**SITE DATA**

**LEGAL DESCRIPTION:**  
TRACT C-4-A OF TRACTS C3A, C3B, C3C & C4A SEVEN BAR RANCH CONT

**ZONING:**  
SU-1 for IP Uses

**SECTOR PLAN:**  
SEVEN BAR RANCH SECTOR DEVELOPMENT PLAN

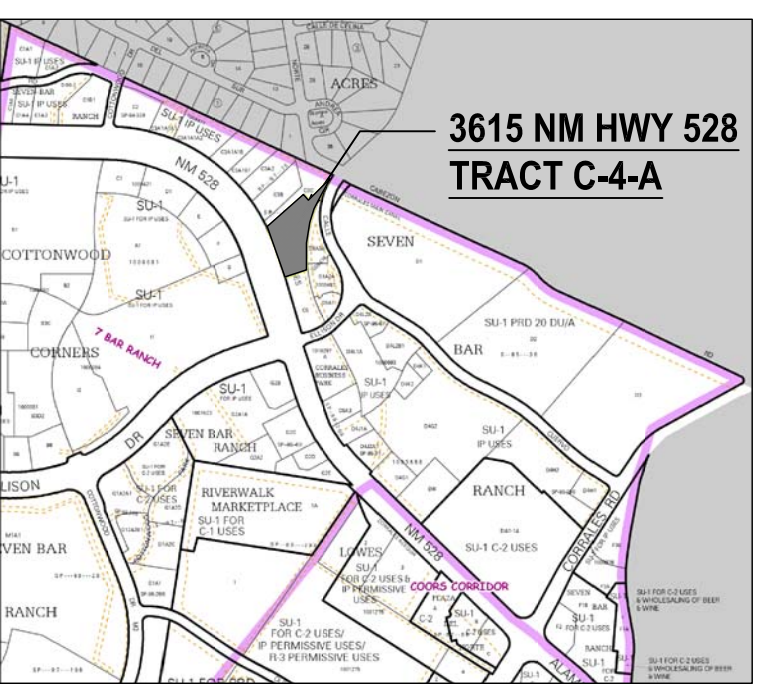
**SITE AREA**  
TOTAL (EXISTING) LOT SQ. FT. = 86,684 SF.  
TOTAL (EXISTING) LOT ACRES = 1.99 ACRES  
PROPOSED LOT 1 SQ. FT. = 53,566 SF. (1.22 AC.)  
PROPOSED LOT 2 SQ. FT. = 33,118 SF. (.77 AC.)

**BUILDING SETBACKS**

FRONT	15' MIN.
REAR	15' MIN.
SIDE	5' MIN.
SIDE	5' MIN.

**MAXIMUM BUILDING HEIGHT**  
26 FT.

**FLOOR AREA RATIO:**  
.5 MAX. - .27 MIN.



**VICINITY MAP:**  
ZONE ATLAS PAGE A-14-Z

**SITE PLAN GENERAL NOTES**

- DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB)
- SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
- ALL NEW REFUSE ENCLOSURES MUST BE BUILT TO COA MINIMUM SPEC. REQUIREMENTS INCLUDING A SANITARY DRAIN.
- GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6' OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO PNUM ELECTRIC SERVICE GUIDE AT WWW.PNUM.COM FOR SPECIFICATIONS
- DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB)
- THE SUBDIVISION OF THE SITE SHALL COMPLY WITH THE PURPOSE, INTENT AND REGULATIONS OF THE SUBDIVISION ORDINANCE (14-14-1-3)
- THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE, THE SUBDIVISION ORDINANCE, AND ALL OTHER APPLICABLE DESIGN REGULATIONS, EXCEPT AS SPECIFICALLY APPROVED BY EPC
- A CROSS-ACCESS AND PARKING AGREEMENT SHALL BE RECORDED PRIOR TO THE RECORDING OF THE PLAT.
- IT IS NECESSARY FOR THE DEVELOPER TO CONTACT PNUM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE REGARDING THIS PROJECT
- IT IS THE APPLICANTS OBLIGATION TO DETERMINE IF EXISTING UTILITY EASEMENTS OR RIGHTS-OF-WAY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THOSE EASEMENTS

**SYMBOL LEGEND**

	PEDESTRIAN INGRESS/EGRESS
	VEHICLE INGRESS/EGRESS
	INTERNAL CIRCULATION 2-WAY DRIVE
	PROPOSED NEW PROPERTY LINE
	EXISTING PROPERTY LINE

**ARCHITECT:**

Architect:  
**Clint Wilsey**  
clint.wilsey@gmail.com  
505 280-0043

**DRAWN BY:** CJW

**ISSUE:** -

**COMMERCIAL REDEVELOPMENT**  
3615 NM HWY 528  
Albuquerque, NM

**DATE:** 12/5/16

**SHEET TITLE:**  
DRB -FINAL SIGN-OFF  
FOR EPC APPROVED SDP  
FOR SUBDIVISION

**A-1 SITE PLAN**



I. PURPOSE & INTENT

The following design standards were prepared with the intent of informing, guiding and preparing design professionals and developers to achieve the goals and standards set forth in this document.

The goals of the design standards are to bring thoughtful, safe, harmonious design to new development, buildings and sites along the 3600 block of HWY 528. The proposed future uses are commercial retail and restaurants, so the standards emphasize safe and functional pedestrian use, with convenient vehicular ingress/egress and parking. The architecture standards establish criteria for aesthetically pleasing buildings, with materials and features consistent and complimentary to the local built and natural environment.

- a. All new development shall meet or exceed the requirements of City of Albuquerque Comprehensive Zoning Code, and the Seven Bar Ranch Sector Development Plan for SU-1 zoning.

II. SETBACKS AND BUILDING HEIGHT

Building height shall meet the requirements of the City of Albuquerque Comprehensive Zoning Code. For SU-1 Zoning the code refers to R-2 Zoning limitations (Sect. 14-16-2-11(C)). Structure height up to 26' is permitted. Structures over 26' shall fall within 45' angle plan requirements described in the above section.

- a. Setbacks shall meet the requirements of the City of Albuquerque Comprehensive Zoning Code (Sect. 14-16-2-11(E)). For SU-1 Zoning the code refers to R-2 Zoning requirements. Setbacks shall be as follows:

Front yard setback: 15' min.
Side yard setback: 5' min.
Rear yard setback: 15' min.

- b. Landscape setbacks shall meet the requirements of the CABQ Comp. Zoning Code section 14-16-3-10(E)(3)..

III. VEHICULAR ACCESS, CIRCULATION & PARKING

Proper parking and vehicle circulation is key to a safe, efficient and convenient commercial development. Visually, parking areas shall not dominate the frontage along Hwy 528. Parking shall be dispersed into smaller lots, and primarily situated between and behind buildings. Cross access and shared parking is encouraged. Careful consideration should be given to screening parking, while maintaining clear sight at intersections and pedestrian connections.

- a. Off-street parking areas, including parking spaces size, drive aisle widths, pedestrian walkways, and screening shall comply with Section 14-16-3-1 of the CABQ Comp. Zoning Code.
1. Parking areas shall be designed to include a min. 6 foot wide pedestrian connections to buildings

- 1. Parking shall be placed beside, behind buildings or screened from surrounding neighborhoods by a 3 foot wall or landscaping. Walls shall compliment the material and style of surrounding buildings.
b. Bicycle parking shall comply with Section 14-16-3-1(B) of the CABQ Comp. Zoning Code.
1. Secure bicycle parking shall be provided in convenient locations to help promote cycle commuting.
c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the CABQ Comp. Zoning Code.
d. Building entries shall be clearly visible from parking areas or by site access and circulation.
e. Grading and drainage design of parking areas shall comply with Chapt 22 of the Development Process Manual and shall incorporate low impact development principles.

- 1. Parking islands shall allow for proper drainage or used for water harvesting.

V. WALLS, FENCES & SCREENING

To enhance the attractiveness of site and parking lots, screening of areas such as parking and utility items, as well as retaining walls shall meet the following design standards. Walls, fences and screening shall meet the requirements of Section 14-16-3-19 of the Abq. Comprehensive Zoning Code.

- a. Parking shall be screened from the public rights-of-way by means of a 3 foot high wall and/or landscaping. These walls shall be complimentary to the building designs on site, and should reflect local materials and colors.
b. Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage. (loading zones located in parking areas and drives, that are not depressed or do not contain a raised dock are not subject to screening)
1. Trash enclosures shall be consistent with the architectural styles and materials of buildings on site.
2. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash stored between collections.
3. Trash enclosures shall have solid, or opaque gates as tall as the enclosure.
c. Walls and fences shall be at least as tall as the objects they are intended to screen but shall not exceed 8 feet high.

- d. All screening devices shall be in compliance with the City of Albuquerque DPM's Clear Sight Triangle regulations.

- e. All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(6) of the CABQ Comp. Zoning Code.

- 1. All mechanical equipment shall be screened from public view by materials that compliment the style and colors of the buildings on site and the surrounding areas.

- f. Walls and fences shall comply with Section 14-16-3-19 of the CABQ Comp. Zoning Code.

- g. Perimeter walls shall include openings at all pedestrian connections to insure convenient access to adjacent tracts.

- h. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slots, cyclone fencing or unfinished, smooth, grey CMU is prohibited.

- i. Some examples of acceptable wall & fence materials include:

- 1. stucco over CMU
2. split faced block
3. brick
4. stone
5. curved interlock blocks
6. solid, perforated or patterned sheet metal. (no corrugated roofing sheet metal)

- j. The finish of walls & fences shall be attractive and complimentary to the building materials on site.

- k. Retaining walls are permitted and shall be attractive and complimentary to the building materials and colors on site.

- 1. Retaining walls, seat walls, or elements intended to compensate for the slope in the site, shall avoid long, unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot in planes not running in on continuous direction for more than fifty feet without a change in height or setback.

- 2. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes with the site.

- l. Grading and drainage plans must comply with the City of Albuquerque's Drainage Ordinance.

- 1. All measures shall be taken to provide public safety at ponding locations

VI. LIGHTING AND SECURITY

To improve safety, security and site aesthetics, lighting design shall be carefully considered. The primary design goal of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings or roadways with extraneous glare or reflection.

- a. All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the CABQ Comp. Zoning Code.
b. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act. (74-12-1 to 74-12-10 NMSA 1978)
c. All free-standing lights shall be of consistent design throughout the site.
d. High pressure sodium & cobra-head type lighting fixtures are not permitted.
e. Light fixtures shall be located on Site Development Plans for Building Permit
f. The height of street lights and off-street parking area lights shall not exceed 26 feet.
g. All lights shall be shielded to prevent light spillage onto adjacent properties or the public right-of-way.
h. Pedestrian lighting shall not exceed 12 feet in height
i. Tree canopy lighting may be used to accent and enhance pedestrian connections.
j. Exterior elevations of buildings fronting the public right-of-way may use accent lighting to enhance the building

VII. LANDSCAPING

The site development landscape shall strive to improve and enhance the aesthetics of the site and its presence from the street, as well as define and enhance pedestrian and vehicular connections. The goal is to create a natural setting, indicative of the New Mexico landscape, and that provides year around coverage, color and interest for the development. A clear theme and style for the development shall be planned and reflected in the hardscape, paving, plantings, signage, and site amenities. Landscaping shall conform to the regulations applicable to Apartment and Non-residential Development required in Section 14-16-3-10 of the Abq. Comprehensive Zoning Code.

- a. Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Tree Ordinance) of the CABQ Comp. Zoning Code.

- b. A minimum of 15% of the net site area shall be devoted to landscape materials.

- c. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas

- d. Gravel shall be a 1-1/2" maximum, and color shall be consistent or specific to a design pattern throughout the site.

- e. All plant material shall be maintained by the building owner in a living, attractive condition, and free of weeds and trash.

- f. Minimum plant material sizes at the time of installation shall be:

- 1. Canopy Trees - 2" caliper
2. Evergreen Trees - 10" min. height
3. Accent Trees - 2" caliper
4. Shrubs and groundcovers - 1 gallon minimum

- g. Landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.

- h. Drought tolerant species shall be used in landscape areas, and zericape planting is encouraged. Live plant materials shall cover a min. 75% of landscape areas at maturity.

- i. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying on walls, buildings, fences, sidewalks, parking areas, etc. Irrigation components shall be maintained properly in full working condition at all times.

- j. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.

- k. Landscape beds shall be at grade to promote water harvesting.

VIII. ARCHITECTURE / DESIGN

The architectural design of buildings and site amenities shall be thoughtful and reflect a high quality of aesthetics, character, and appropriate scale and massing. The design shall reflect the built and natural surrounding of the southwest, and shall respond to climate, views, solar access and street visibility.

- a. All development shall comply with the General Building & Site Design Regulations for Non-residential uses of the CABQ Comp. Zoning Code.

- b. Architectural Style:

- 1. The development shall provide a cohesive material and color palette among all buildings.

- 2. Building features like shade canopies, storefronts, and building accents should be consistent or complimentary to the overall style of the development.

- 3. All buildings shall be "contemporary" in design and reflect characteristics and architectural styling of the present time. Contemporary design is based in modern architecture styling and can include clean lines, explicit geometry, variation in massing, minimal or no ornamentation, careful and honest use of materials, emphasis on shadow/light, and creative use of openings and glazing.

- 4. Historical references to traditional New Mexico styles shall be in a contemporary interpretation of those styles.

- c. Articulation

- 1. Buildings shall have a variety of structural forms to create visual interest and character.

- 2. Long unarticulated facades shall be prohibited. Facades shall have varied front setbacks, bump-outs, or wall planes that do not run in one continuous direction of more than 100 feet without a change in color, material or architectural treatment.

- 3. Massing elements shall be reinforced with accent color or material variation.

- d. Materials:

- 1. The architectural expression of all buildings shall reflect contemporary style with materials that compliment New Mexico and southwest vernacular.

- 2. Individual building elements and materials shall be of excellent design, construction, and quality. Examples of appropriate materials include:
- Metal wall panels
- Porcelain tile
- Natural or cast stone
- Concrete (colored or patterned)
- Rammed earth
- Glass
- Stucco or EIFS
- Brick or decorative CMU

- 3. The following exterior building materials shall be prohibited:
- Engineered wood paneling
- Vinyl or plastic siding
- plain grey, or unfinished smooth CMU

- 4. All glazing shall be clear and neutral in color. Reflective, deeply colored, and patternized glazing is prohibited

- 5. Canopies, trellises and awnings shall be durable and weather resistant, such as metal, corrugated metal, or steel.

- 6. Colors shall include earth tones with accent colors in limited areas.
i. No more than 2 accent colors shall be used per building
ii. The use of contrasting colors for shade elements and metal accents are encouraged.

IX. SIGNAGE

Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their users.

- a. All signage on subject site must comply with Sections 14-16-3-5 (General Sign Regulations) and 14-16-2-19(A)(25)(Industrial Park Zone).

\* Per these requirements, one free standing sign is permitted for each street frontage, or joint sign premises, which as at least 200 feet of street frontage. This would allow a single, 26-foot high, 100sf. sign on the subject site along NM Highway 528. A maximum of twenty percent of building facades facing NM Hwy 528 may be used as building mounted signage area.

- b. Free standing signs shall be designed so as to not require and external bracing, angle supports, guy wires or similar devices

- c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights

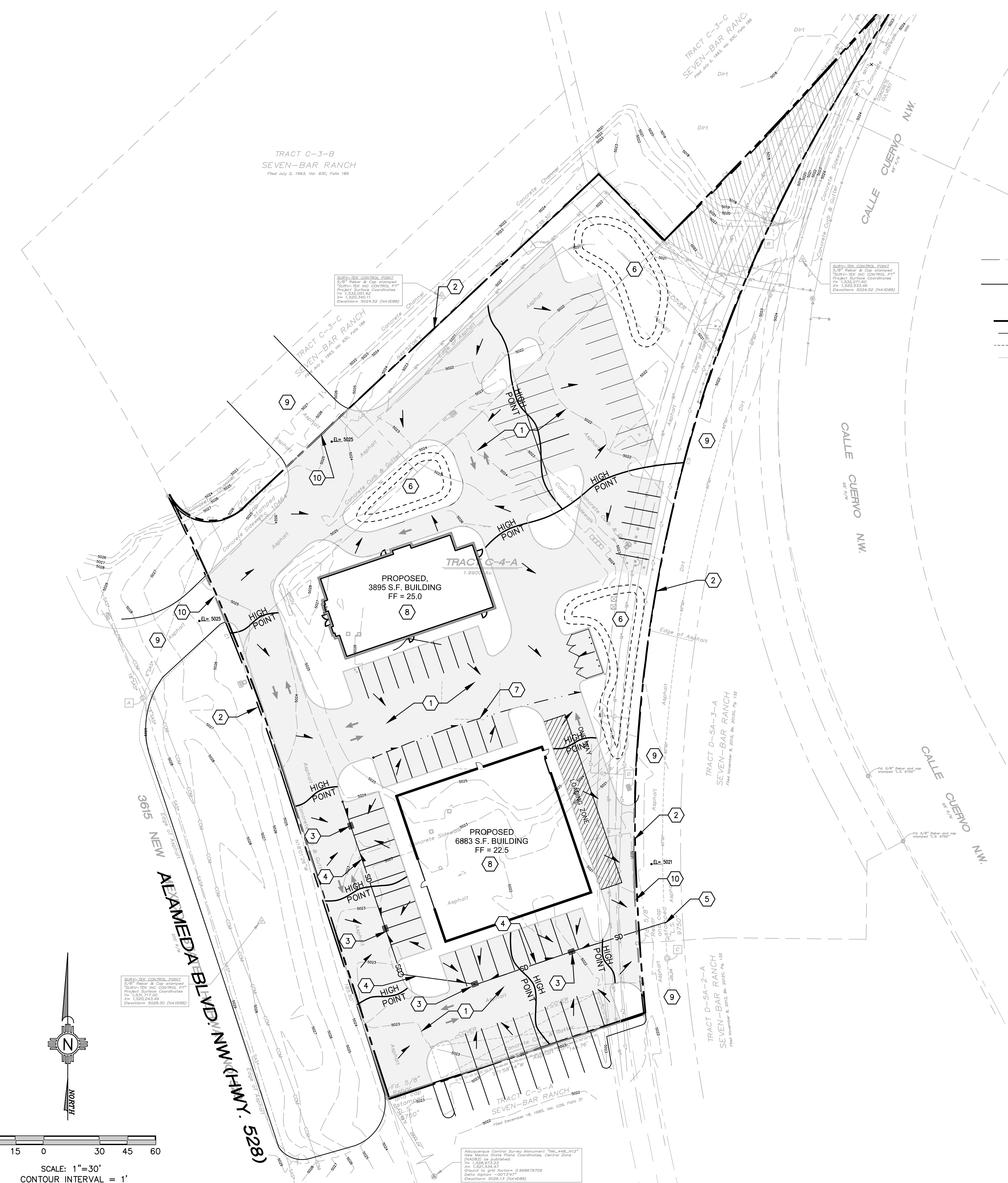
- d. Signs shall not overhang into the public right-of-way or extend above the buildings parapet or roof line.

- e. Off-premise signs and portable signs are prohibited

- f. Building mounted signs shall have contrasting colors from the background and text height and font to ensure readability

X. PROCESSING building mounted sign shall intrude upon architectural features like windows, columns, or parapets. Application for Building Permit shall be delegated to the Development Review Board and shall be consistent with the design standards established by the Site Development Plan for Subdivision.

ARCHITECT:
Architect:
Clint Wilsey
clint.wilsey@gmail.com
505 280-0043
DRAWN BY: CJW
ISSUE: -
COMMERCIAL REDEVELOPMENT
3615 NM HWY 528
Albuquerque, NM
DATE: 12/5/16
SHEET TITLE:
DRB -FINAL SIGN-OFF
FOR EPC APPROVED SDP
FOR SUBDIVISION
A-2 DESIGN STANDARDS



LEGEND:

- 38.00 FG PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH (85.19) MATCH EXISTING ELEVATIONS
- TCON TOP OF CONCRETE FLOW LINE, CURB
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- FLOW ARROW
- === GRADE BREAK—HIGH POINT
- SWALE
- SD STORM DRAIN LINE
- 5895 PROPOSED MAJOR CONTOUR
- 5895 PROPOSED MINOR CONTOUR
- 5895 EXISTING MAJOR CONTOUR
- 5895 EXISTING MINOR CONTOUR
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- SAS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- STORM DRAIN INLET
- POWER POLE
- GUY WIRE
- OHW OVERHEAD WIRES
- SEWER SEWER
- E UNDERGROUND ELECTRIC LINE
- COM UNDERGROUND COMMUNICATIONS LINE
- G UNDERGROUND GAS LINE
- W UNDERGROUND WATER LINE
- SANITARY SEWER CLEAN-OUT
- WATER METER
- WATER VALVE
- HYDRANT
- X — X FENCE

GRADING AND DRAINAGE NARRATIVE

THE EXISTING PROPERTY FOR COMMERCIAL DEVELOPMENT IS LOCATED AT 3615 ALAMEDA BLVD. NW (HWY. 528). THE SITE IS ACCESSED FROM THE NORTH SIDE (EXISTING DEVELOPMENT) FROM NORTH BAR RANCH NW AND THE WEST SIDE FROM ALAMEDA BLVD. NW. AND FROM THE EAST SIDE COMMERCIAL DEVELOPMENT. THE SITE CONSISTS OF AN EXISTING PARKING LOT, BUILDING AND CONCRETE FLATWORK. THERE IS AN EXISTING DEVELOPMENT (SEVEN BAR RANCH) ON THE NORTH AND SOUTH SIDE. THE PROPERTY IS BOUNDED BY ALAMEDA BLVD (NM-528) ON THE WESTSIDE. TO THE EAST IS A VACANT COMMERCIAL LOT. THE LAND IS GENERALLY FLAT AND SLOPES FROM THE SOUTHWEST TO THE NORTHEAST. THE POSSIBLE IMPROVEMENTS WILL BE NEW BUILDINGS AND ASSOCIATED CONCRETE FLATWORK, ASPHALT PARKING LOT, CURB AND GUTTERS AND ASSOCIATED SITE WORK.

THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE STANDARD CURB AND GUTTER, WITH CURB CUTS AND RUNDOWNS ALLOWING STORMWATER INTO PROPOSED WATER HARVESTING AREAS. THIS WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REQD VOL = (0.33 IN. \* 65900 SF)/12 = 1850 CF. PROPOSED WATER HARVEST AREA VOL 4500 CF > 1850 CF, AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. ALL ROOF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO WATER HARVEST AREAS IN THE NORTH AND NORTHEAST CORNER OF THE SITE AND THE EASTERN PORTION OF THE SITE.

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEMA DESIGNATED FLOOD ZONE AS PER FEMA MAPS.

KEYED NOTES:

- 1) NEW HOT MIX ASPHALT.
- 2) APPROXIMATE LOCATION OF PROPERTY LINE.
- 3) NEW WATER QUALITY INLET (4 TYPICAL).
- 4) NEW 12" STORM DRAIN PIPE.
- 5) CONNECT TO EXISTING STORM DRAIN MAIN.
- 6) NEW WATER HARVEST AREA.
- 7) SWALE.
- 8) NEW BUILDING.
- 9) EXISTING ASPHALT.
- 10) SAW CUT EXISTING ASPHALT, MATCH EXISTING ELEVATION. SEE PLAN FOR ELEVATION.

CONSULTANT:

**ME** MILLER ENGINEERING CONSULTANTS  
 Engineers • Planners  
 3500 COMANCHE, NE  
 ALBUQUERQUE, NM 87110  
 (505) 888-7500  
 (505) 888-3800 (FAX)  
 WWW.MECON.COM

OWNER:

ARCHITECT:

Architect:  
 Clint Wilsey  
 clint.wilsey@gmail.com  
 505 280-0043

DRAWN BY: **RA**

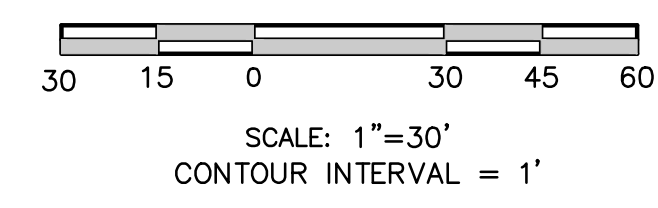
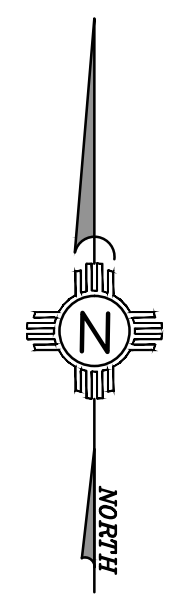
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**COMMERCIAL REDEVELOPMENT**  
 3615 NM HWY 528  
 Albuquerque, NM

DATE: **8/31/16**

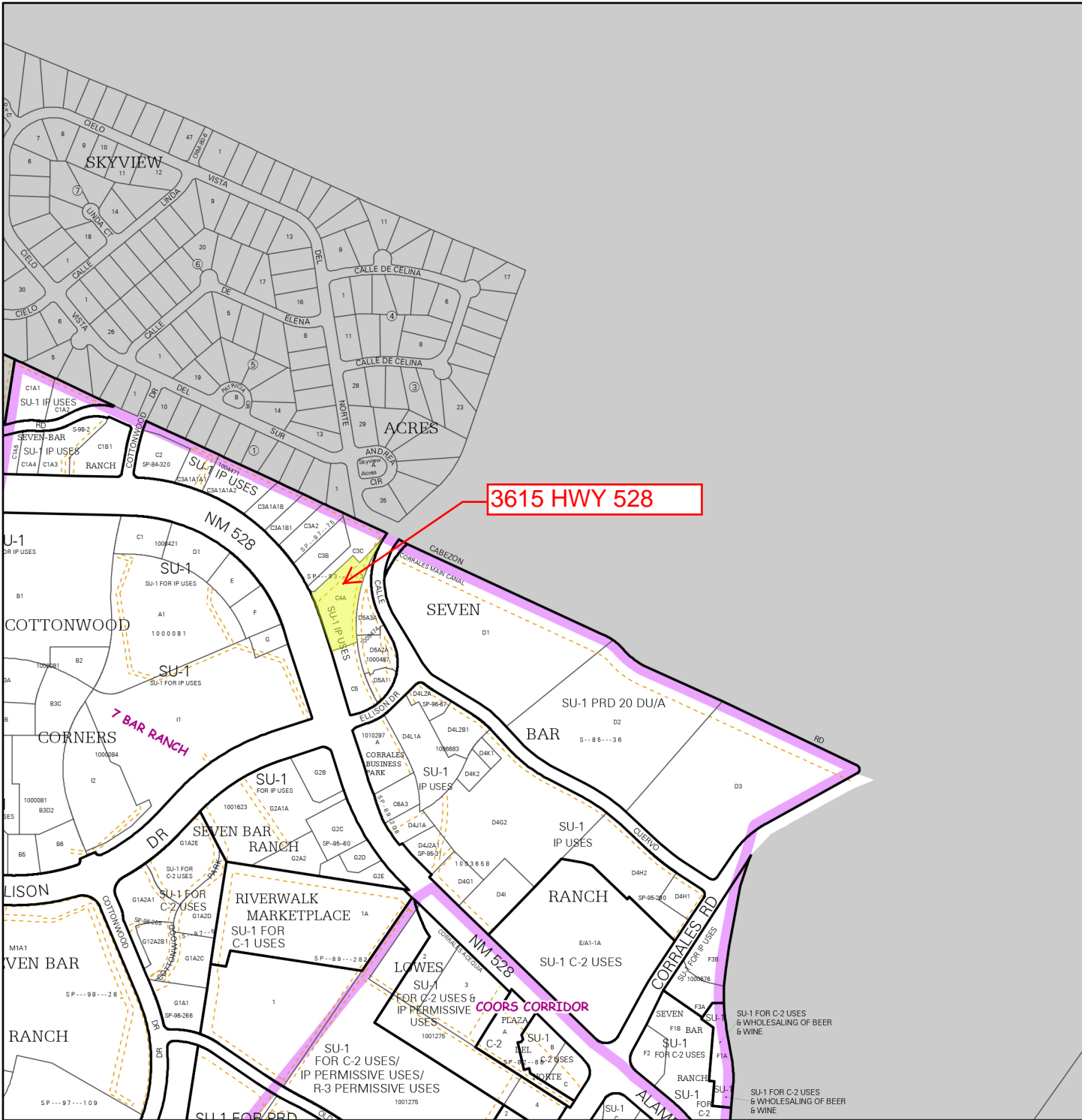
SHEET TITLE:  
**EPC CONCEPTUAL GRADING AND DRAINAGE PLAN FOR SUBDIVISION**

**C-101**

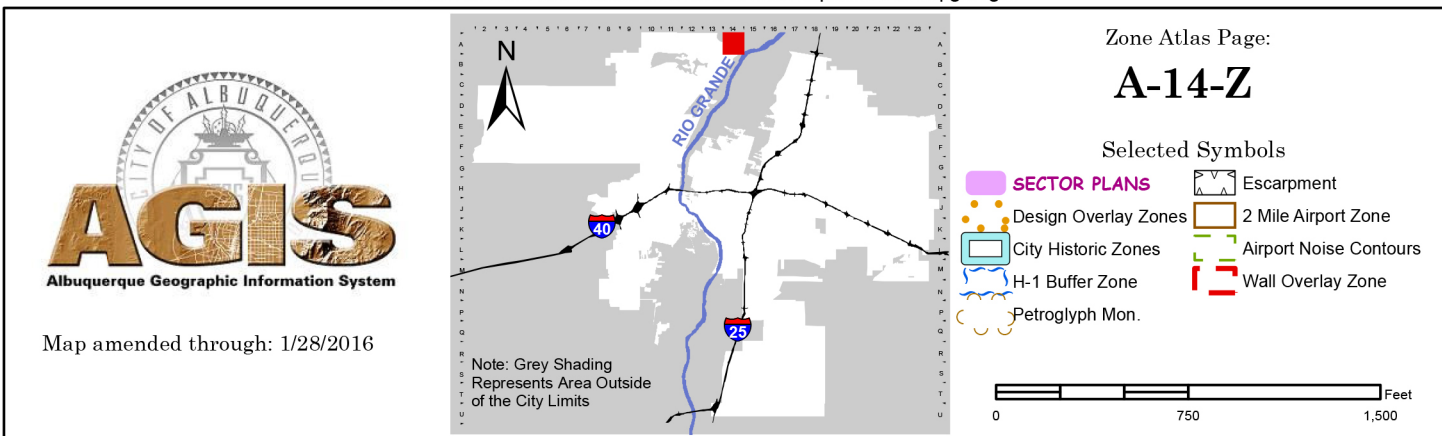


**A1 GRADING AND DRAINAGE PLAN**  
 SCALE: 1" = 30'





For more current information and details visit: <http://www.cabq.gov/gis>







Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- V**  Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P**  Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

**D**  Street Name Change (Local & Collector)

**L A APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Clint Wilsey, 66Architect, LLC PHONE: 505-280-0043

ADDRESS: 2041 S. Plaza St. NW FAX: \_\_\_\_\_

CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: clint.wilsey@gmail.com

APPLICANT: 3615 HWY 528 LLC PHONE: 505-459-2907

ADDRESS: 3535 Princeton Dr. NE FAX: \_\_\_\_\_

CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: \_\_\_\_\_

Proprietary interest in site: \_\_\_\_\_ List all owners: 3615 Hwy 528, LLC

DESCRIPTION OF REQUEST: DRB final sign-off / approval for site plan for subdivision as approved by EPC project # 1010999

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract C-4-A Block: \_\_\_\_\_ Unit: \_\_\_\_\_

Subdiv/Addn/TBKA: Seven Bar Ranch

Existing Zoning: su-1 Proposed zoning: su-1 MRGCD Map No \_\_\_\_\_

Zone Atlas page(s): a-14-z UPC Code: 101406615023620114

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): EPC SDP for Subdivision Proj.# 1010999

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  no

No. of existing lots: 1 No. of proposed lots: 2 Total site area (acres): 1.99 acres

LOCATION OF PROPERTY BY STREETS: On or Near: NM Hwy 528

Between: Ellison Dr. NW and Calle Cuervo NW

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE 12-6-16

(Print Name) Clint Wilsey / 66Architect LLC Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____ - _____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____ - _____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____ - _____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____ - _____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____ - _____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____ - _____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____

Hearing date \_\_\_\_\_

Project # \_\_\_\_\_

Staff signature & Date \_\_\_\_\_

# 66Architect

December 6, 2016

2041 S. Plaza St. NW  
Albuquerque, NM 87104  
Ph. 505.280.0043  
clint.wilsey@gmail.com

To: City of Albuquerque Development Review Board

To whom it may concern,

66Architect LLC, representing **3615 Hwy 528 LLC** is pleased to present the following application for the final approval of Site Development Plan for Subdivision. The intent is to allow the subdivision of Tract C-4-A at the address of 3615 Hwy 528 into two separate parcels at 1.22ac. and .77acres. Future development is planned for potential uses of retail, office and/or restaurant use. Design standards have been provided in this package to guide future development. Our goal and intent is to provide a safe, pleasing, functional, and convenient development, while adding needed amenities and uses to the surrounding neighborhoods.

The subdivision of the lot has been previously approved with conditions by the Environmental Planning Commission under EPC SDP for Subdivision project # 1010999. The conditions of approval are listed below along with explanations of how we have met and addressed those conditions.

## Conditions of Approval EPC SDP Subdivision:

1. *The EPC delegates final sign off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for the ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.* RESPONSE: Noted. The site plan has not been modified. No modifications to site plan necessary for EPC conditions.
2. *Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.* RESPONSE: Noted
3. *All future Site Development Plans for Building Permit will be subject to approval by the EPC.* RESPONSE: Noted
4. *The zoning designation listed in the Site Data Section on Sheet A-1 currently reads "Su-1/IP, and shall be amended to read "SU-1 for IP Uses".* RESPONSE: Revision made to Site Date Section of Sheet A-1



5. *The Design Guidelines on Sheet A-2 shall be amended according to the following:*
  - a. *All citations / referenced sections of the Zoning Code contained within the Design Standars must include the title / descriptor of that Zoning Code Section.*  
RESPONSE: Documents reviewed to assure all citations reference Zoning Code sections.
  - b. *Section V.h. (Walls, Fences & Screening) currently reads "The used of razor ribbon, razor wire, barbed wire, chain link fencing..", and shall be amended to read "The use of razor ribbon, razor wire, barbed wire, chain link fencing.."*  
RESPONSE: Correction made to Section V h. See sheet A-2
  - c. *Section IX a. (Signage) currently reads "Signage shall comply with Section 12-16-3-5.." and shall be amended to read "All signage on the subject site must comply with Sections 14-16-3-5 (General Sign Regulations) and 14-16-2-19(A)(25)(Industrial Park Zone). Per these requirements, one free-standing sign is permitted for each street frontage, or joint sign premises, which has at least 200 feet of street frontage. This would allow a single 26' high, 100 sq. ft. sign on th e subject site along NM Hwy 528. A maximum of twenty percent of the building facades facing NM Hwy 528 may be used as building mounted signage area".* RESPONSE: Section IX a. amended and revised. See Sheet A-2
6. City Engineer Conditions of Approval:
  - a. *Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB)* RESPONSE: See 'Site Plan General Notes # 1 Sheet A-1
7. Public Service Company of New Mexico Condition of Approval:
  1. *It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any condition or terms of those easements.* RESPONSE: See 'Site Plan General Notes' #10 Sheet A-1
  2. *It is necessary for the developer to contact PNM's New Service Delivery Dept. to coordinate electric service regarding this project. Contact: Mike Moyer*  
RESPONSE: See 'Site Plan General Notes' #9 Sheet A-1
  3. *Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications* RESPONSE: Note added to 'Site Plan General Notes' #4 Sheet A-1
8. *Site Plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.*  
RESPONSE: See 'Site Plan General Notes' #2 Sheet A-1
9. *The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3)"* RESPONSE: See 'Site Plan General Notes' #6 Sheet A-1
10. *The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulation, except as specifically approved by the EPC* RESPONSE: See 'Site Plan General Notes' #7 Sheet A-1
11. *A cross-access and parking agreement shall be recorded prior to the recording of the plat.* RESPONSE: See 'Site Plan General Notes' #8 Sheet A-1

Thank you for your consideration.

Clint Wilsey  
66Architect, LLC  
2041 S. Plaza St. NW  
Albuquerque, NM 87104  
Ph. 505.280.0043



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT**  
**URBAN DESIGN & DEVELOPMENT DIVISION**  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339

## OFFICIAL NOTIFICATION OF DECISION

October 14, 2016

66 Architect, LLC  
Clint Wilsey  
2041 S. Plaza St. NW  
ABQ, NM 87104

**Project# 1010999**  
16EPC-40050 Site Development Plan for Subdivision

### **LEGAL DESCRIPTION:**

The above action for all or a portion of Tract C-4-A, Plat of Tracts C3A, C3B, C3C and C4A, Seven Bar Ranch, zoned SU-1 for IP Uses, located on NM Highway 528, between Ellison Dr. NW, and Cabezon Rd. NW, containing approximately 2 acres.  
(A-14) Staff Planner: Vicente Quevedo

PO Box 1293

On October 13, 2016 the Environmental Planning Commission (EPC) voted to APPROVE Project #1010999/16EPC-40050, a Site Development Plan for Subdivision, based on the following findings and Albuquerque subject to the following conditions:

### **FINDINGS:**

NM 87103

1. This is a request for a Site Development Plan for Subdivision for Tract C-4-A, Plat of Tracts C3A, C3B, C3C and C4A, Seven Bar Ranch located on NM Highway 528, between Ellison Dr. NW and Calle Cuervo Rd. NW and containing approximately 2 acres.
2. The applicant is proposing to demolish the existing 20,000 square foot vacant building on the subject site, subdivide the property into two lots and redevelop the subject site for retail and restaurant uses.
3. The subject site is zoned SU-1 for IP Uses. The applicant states that future tenants on the subject site will include recognizable national and local chain restaurant and retail businesses. The proposed uses are permissive under the existing zoning designation for the subject site.
4. Staff was unable to locate any historical site development plan information for the existing 20,000 square foot, two-story vacant building within the Planning Department archives.

www.cabq.gov



OFFICIAL NOTICE OF DECISION

Project #1010999

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5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Seven Bar Ranch Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is located within the Seven Bar Ranch Neighborhood Center and Seven Bar Regional Center as designated by the West Side Strategic Plan.
7. The Seven Bar Ranch Neighborhood Center is intended to contain most retail needs of the residents of the eastern portion of the Seven Bar Community.
8. The Seven Bar Regional Center is intended to serve as a major employment center, and contain a significant amount of commercial services, professional services and employment. Anticipated Seven Bar Regional Center regional uses include: Regional retail, services, higher density housing, and public / institutional.
9. The request furthers the Established Urban Area goal of the Comprehensive Plan:

- A. Goal of the Established Urban Area is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.

The request furthers the Established Urban Area goal because it will contribute to the ongoing construction of a quality environment that perpetuates the tradition of identifiable communities within the metropolitan area by offering a variety of additional commercial service and retail uses that respond to the needs of residents within the Seven Bar Ranch community. This Established Urban Area goal is also re-stated within the Planning Policies and Goals section on page 4 of the Seven Bar Ranch Sector Development Plan.

10. The request furthers the following West Side Strategic Plan policies:

- A. Policy 3.1: The Cottonwood Mall area shall be designated as the West Side's Regional Center. The boundaries of the Regional Center are shown on page 33. Development appropriate to a Regional Center, including the largest commercial and highest density development of anywhere on the West Side, shall occur in this location.
- B. Policy 3.3: Development of the Regional Center shall be inclusive of mixed-uses, and multi-modal transportation systems. Connections to transit systems and bicycle/pedestrian linkages must be provided with all new development. The City will continue discussion regarding location of a transit center within the Regional Center.

The request furthers WSSP Policies 3.1 and 3.3 because the proposed commercial service and retail uses are appropriate to a Regional and Neighborhood Center as defined by the WSSP. The proposed uses are also intended to serve the retail needs of the residents of the eastern portion of



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the Seven Bar Community. The subject site is also located near a transit route (Bus Route 98 – Wyoming Commuter).

11. The request furthers the following Seven Bar Ranch Sector Development plan sections and goals:
  - A. Location and Setting: “The Sector Plan [Seven Bar Ranch SDP] is the northwestern hub of the transportation network mesa and should consequently serve as an area of relatively intense land use providing services to the less intense development areas which surround it”.
  - B. Goal A2: “The goal is to create a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.”

The request furthers the intent of the SBRSDP by proposing commercial service and retail uses that are appropriate to the sector development plan area that will serve the lower intensity residentially developed parcels surrounding the subject site. The request also furthers SBRSDP Goal A2 by seeking to implement the Established Urban Area goal of contributing to the ongoing construction of a quality environment that perpetuates the tradition of identifiable communities within the metropolitan area by offering a variety of additional commercial service and retail uses that respond to the needs of residents within the Seven Bar Ranch community.
12. The applicant has included design standards as part of the Site Development Plan for Subdivision plan set.
13. The applicant is requesting delegation of future Site Development Plans for Building Permit to the Development Review Board (DRB) for final sign-off.
14. The EPC has complete discretion over whether DRB delegation will be approved.
15. Design standards must be clear and provide sufficient direction with regard to the design and pad site layout for future requests for Site Development Plans for Building Permit.
16. The proposed design guidelines do not warrant delegation to DRB as they do not provide sufficient design and pad site layout for future requests for Site Development Plans for Building Permit.
17. The Westside Coalition of Neighborhood Associations as well as property owners within 100 feet of the subject site were all notified of this request as required.
18. Planning Staff has not received any correspondence or phone calls regarding the requested action. A facilitated meeting was not recommended or held, and there is no known opposition to this request.



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19. The Planning Department received agency comments from the New Mexico Department of Transportation (NMDOT) stating that the section of NM HWY 528 adjacent to the subject site became part of the City of Albuquerque's roadway network in 2011. NM DOT also stated that their office does not have any permit paperwork regarding the existing shared driveways on the subject site.

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. All future Site Development Plans for Building Permit will be subject to approval by the EPC.
4. The zoning designation listed in the Site Data Section on Sheet A-1 currently reads "SU-1 / IP", and shall be amended to read "SU-1 for IP Uses".
5. The Design Guidelines on Sheet A-2 shall be amended according to the following:
  - a. All citations / referenced sections of the Zoning Code contained within the Design Standards must include the title / descriptor of that Zoning Code section.
  - b. Section V.h. (Walls, Fences & Screening) currently reads "The used of razor ribbon, razor wire, barbed wire, chain link fencing.....", and shall be amended to read "The use of razor ribbon, razor wire, barbed wire, chain link fencing.....".
  - c. Section IX.a. (Signage) currently reads "Signage shall comply with Section 12-16-3-5.....", and shall be amended to read "All signage on the subject site must comply with Sections 14-16-3-5 (General Sign Regulations) and 14-16-2-19(A)(25) (Industrial Park Zone). Per these requirements, one free-standing sign is permitted for each street frontage, or joint sign premises, which has at least 200 feet of street frontage. This would allow a single, 26' foot high, 100 square foot sign on the subject site along NM Highway 528. A maximum of twenty percent of building facades facing NM Highway 528 may be used as building mounted signage area."



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6. City Engineer Conditions of Approval:

- a. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB).

7. Public Service Company of New Mexico Conditions of Approval:

1. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.
2. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. Contact:

Mike Moyer  
PNM Service Center  
4201 Edith Boulevard NE  
Albuquerque, NM 87107  
Phone: (505) 241-3697

3. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.
8. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
9. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3)."
10. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
11. A cross-access and parking agreement shall be recorded prior to the recording of the plat.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **October 28, 2016**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.



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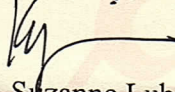
For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,



for Suzanne Lubar  
Planning Director

SL/VQ

cc: 66 Architect, LLC, Clint Wilsey, 2041 S. Plaza St. NW, ABQ, NM 87104  
Harry Hendriksen, Westside Coalition of NA's, 10592 Rio Del Sole Ct NW, ABQ, NM 87114-2701  
Rene Horvath, Westside Coalition of NA's, 5515 Palomino Dr. NW, ABQ, NM 87120