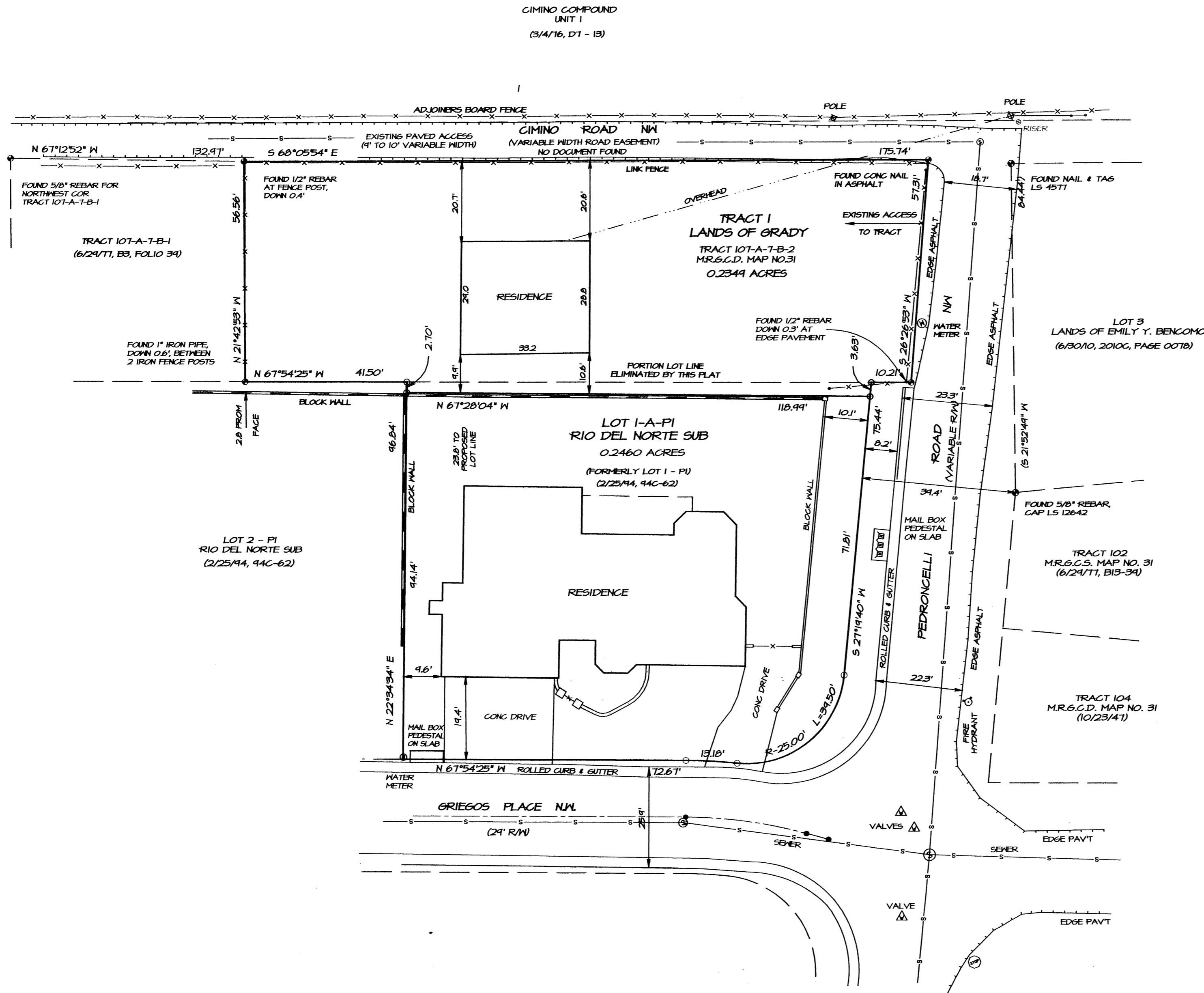
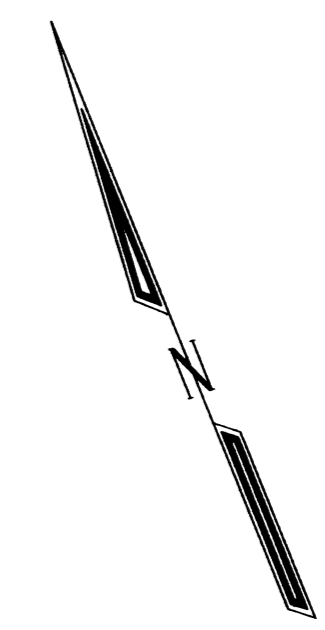
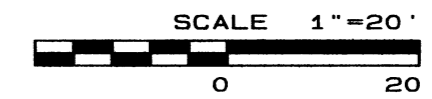
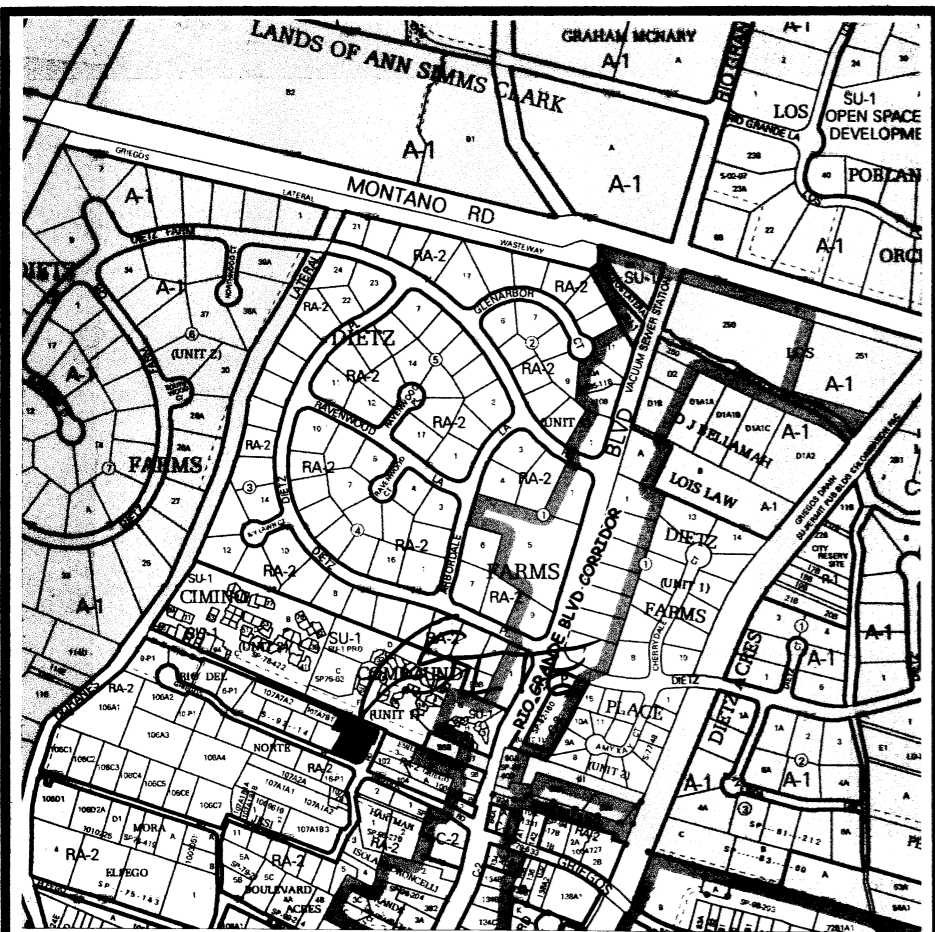


PLAT OF  
TRACT I  
LANDS OF GRADY  
&  
LOT 1-A-PI  
RIO DEL NORTE SUBDIVISION

PROJECTED SECTION 31, T. 11 N., R. 3 E., N.M.P.M.  
ELENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER 2016





VICINITY MAP  
ZONE PAGE F-13 Z

**PLAT OF  
TRACT 1  
LANDS OF GRADY  
&  
LOT 1-A-PI  
RIO DEL NORTE SUBDIVISION**  
PROJECTED SECTION 31, TOWNSHIP 11 N., R. 3 E., N.M.P.M.  
ELENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

SEPTEMBER 2016

**PURPOSE OF PLAT**

THE PURPOSE OF THIS PLAT IS TO RECONFIGURE TWO (2) EXISTING TRACTS OF LAND INTO TWO (2) NEW TRACTS OF LAND, AND TO GRANT ANY EASEMENTS AS SHOWN HEREON.

**LEGAL DESCRIPTION**

A CERTAIN TRACT OF LAND SITUATE WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, MEXICO, WITHIN THE ELENA GALLEGOS GRANT AND PROJECTED SECTION 31, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., BEING AND COMPRISING TRACT 107-A-7-B-2 OF THE MIDDLE RIO GRANDE CONSERVANCY MAP NO. 31, AS SAME IS SHOWN AND DESIGNATED ON THE PLAT OF HEIRS OF RICARDO GRIEGO, AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 29, 1977, IN VOLUME B13, FOLIO 34.

TOGETHER WITH

LOT ONE-PI (1-PI) OF THE PLAT OF RIO DEL NORTE SUBDIVISION, WITHIN SECTION 31, T 11 N, R 3 E, N.M.P.M. ALBUQUERQUE, NEW MEXICO, AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 25, 1994, IN VOLUME 94C, FOLIO 62.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- C. CENTURY LINK FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. COMCAST CABLE FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

**DISCLAIMER**

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMSG) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMSG DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

DRB CASE NO. \_\_\_\_\_

**APPROVALS**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
CITY OF ALBUQUERQUE SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ABCNWA	DATE

**UTILITY APPROVALS**

NEW MEXICO GAS COMPANY	DATE
P.N.M. ELECTRIC SERVICES	DATE
QWEST CORPORATION db/a CENTURYLINK GC	DATE
COMCAST CABLE	DATE

**M.R.G.C.D. APPROVAL STATEMENT**

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

**FREE CONSENT**

SURVEYED AND REPLATTED AS SHOWN HEREON, AND NOW TO BE DESIGNATED AS TRACT ONE (1), LANDS OF GRADY, AND LOT ONE -A-PI (1-A-PI) OF THE RIO DEL SOL SUBDIVISION, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE WISHES OF THE UNDERSIGNED OWNERS THEREOF. THE UNDERSIGNED OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND IN THE LAND SUBDIVIDED. THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS SHOWN HEREON.

OWNER \_\_\_\_\_

OWNER \_\_\_\_\_

**NOTARY ACKNOWLEDGEMENT**

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016,

BY: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC

**SUBDIVISION DATA / NOTES**

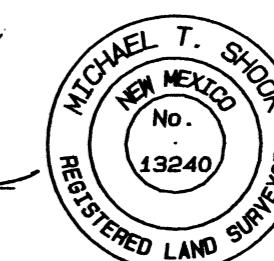
1. PLAT WAS COMPILED FROM A FIELD SURVEY AND EXISTING RECORD INFORMATION.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983, AND ARE BASED ON ACS CONTROL STATIONS B\_LL13 AND IO\_LL14, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. DATA WITHIN PARENTHESES ( ) ARE RECORD PER PLATS REFERENCED HEREON.
6. GROSS ACREAGE = 0.4809 ACRES GROSS
7. NUMBER OF EXISTING TRACTS = 2
8. NUMBER OF TRACTS CREATED = 2
9. PROPERTY SURVEYED AUGUST, 2016.
10. CITY WATER AND SEWER SERVICE IS AVAILABLE TO PROPERTY.
11. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT

**SURVEYORS CERTIFICATION**

I, MICHAEL T. SHOOK, A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR THE PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO (EFFECTIVE DATE OF MAY 1, 2007) AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Michael T. Shook*

MICHAEL T. SHOOK NMLS NO. 13240



9-5-16

DATE



ADVANTAGE  
SURVEYING

243-1212 OFFICE  
248-0833 FAX

**INDEXING INFORMATION FOR COUNTY CLERK**

OWNER: JOE J. GRADY TRACT 107-A-7-B-2  
OWNER: MARIE OLGUIN LOT 1-PI RIO DEL NORTE  
LOCATION: CITY OF ALBUQUERQUE  
SUBDIVISION: MRGCD MAP NO. 31  
SUBDIVISION: RIO DEL NORTE SUBDIVISION  
UPC NO. 101306112424630753  
UPC NO. 101306112023930711