

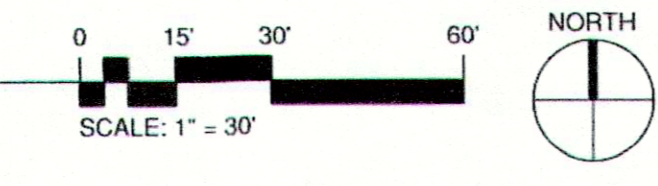
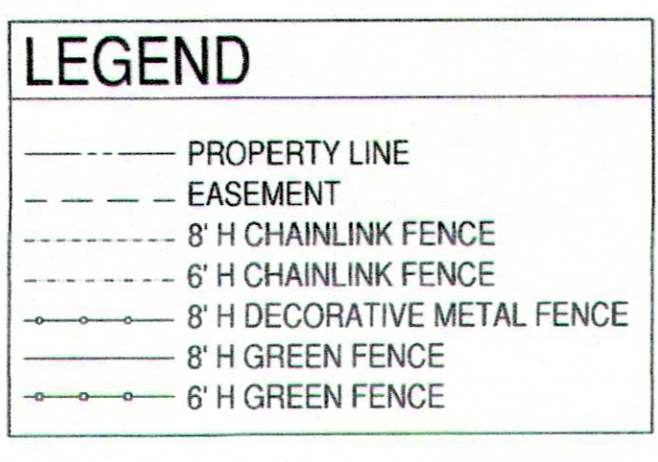
Parking Calculation for Site Development Plan for Building Permit

Use	UNIT	RATIO	REQUIRED	PROVIDED
Hospital	68 Clients	1 Space/2 Clients	34	60
	Additional Staff Spaces	N/A	N/A	29
	Visitor Spaces	N/A	N/A	10
Total Parking			34	99
Motorcycle Spaces		3 spaces per 51-100 auto	3	4
Bicycle		1 space per 20 auto	2	4
ADA Spaces Required		4 spaces per 51-100 auto	4	5

- GENERAL NOTES**
- ALL EXISTING STRUCTURES, PAVING, FENCING, WALLS, FOUNDATIONS, SIDEWALKS SHOWN HERE ARE TO REMAIN.
 - ACCESSIBLE CURB CUTS AND RAMPS PROVIDED THROUGHOUT SITE.
 - SEE PLAT FOR ALL EASEMENTS.
 - ALL WALLS AND FENCES SHALL CONFORM TO THE REQUIREMENTS OF THE GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS OF THE ZONING CODE EXCEPT AS NOTED BY KEYED NOTES 31, 32, 33.

- KEYED NOTES**
- PROPERTY LINE, TYP.
 - EXISTING LANDSCAPING TO REMAIN
 - EXISTING PARKING LOT AREA LIGHT TO REMAIN
 - EXISTING CONCRETE SIDEWALK TO REMAIN
 - NEW CONCRETE SIDEWALK, WIDTH PER PLAN, PER COA STD. DWG. 2430.
 - EXISTING RETAINING WALLS TO REMAIN. HEIGHT VARIES. REFER TO BUILDING ELEVATIONS.
 - EXISTING FIRE HYDRANT
 - EXISTING BRICK PAVED RAMP (1:20 SLOPE MAX)
 - EXISTING LOADING DOCK TO REMAIN
 - ACCESSIBLE PARKING SPACE, 8' W. x 20' L. SPACE W/ 5' W. AISLE. (TOTAL OF 3)
 - ACCESSIBLE VAN PARKING, 9' W. x 20' L. SPACE W/ 9' W. AISLE. (TOTAL OF 2)
 - STANDARD EXISTING PARKING SPACE, 8' W. x 20' L. TYP. (TOTAL OF 93)
 - EXISTING CONCRETE STAIRS WITH HANDRAIL TO REMAIN.
 - BUILDING ON ADJACENT PROPERTY (MORE THAN 20' FROM PROPERTY LINE)
 - MOTORCYCLE SPACE, 4' W. x 8' L. MIN., TYP.
 - EXISTING REFUSE CONTAINERS AND ENCLOSURE
 - NEW GROUND MONUMENT SIGN. REFER TO A2/SDP 5.3
 - EXISTING ELEVATED PLANTER UTILITY EASEMENT
 - EXISTING TRANSFORMER ON CONCRETE PAD
 - EXISTING MECHANICAL UNITS
 - NEW ADA CURB RAMP PER COA STANDARD DETAIL 2440.
 - EXISTING CONCRETE OR ASPHALT PAVING TO REMAIN
 - NEW STANDARD CURB AND GUTTER PER COA STANDARD DETAIL 2415A
 - EXISTING STRIPED AREA ON ASPHALT FOR EMERGENCY VEHICLE PARKING AND LOADING ONLY.
 - NEW 12' HIGH POLE-MOUNTED LIGHT FIXTURE. REFER D2/SDP 5.3
 - NEW 4,709 SF "SENSORY" PLAY AREA WITH WOOD CHIP OR RECYCLED RUBBER TILE SURFACE

- SHEET INDEX:**
- | | |
|---------|---|
| SDP 1.0 | SITE DEVELOPMENT PLAN FOR BUILDING PERMIT |
| SDP 2.0 | LANDSCAPE PLAN |
| SDP 3.0 | CONCEPTUAL GRADING & DRAINAGE |
| SDP 4.0 | UTILITY PLAN |
| SDP 5.0 | ELEVATIONS |
| SDP 5.1 | ELEVATIONS |
| SDP 5.2 | SITE DEVELOPMENT DETAILS |
- NEW 5,497 SF "ACTIVE" PLAY AREA WITH BASKETBALL GOAL (PORTABLE) OVER EXISTING ASPHALT PAVING.
 - NEW 12,860 SF ACTIVITY AREA WITH PLAY EQUIPMENT OVER WOOD CHIP OR RECYCLED RUBBER TILE SURFACE
 - EXISTING METAL BIKE RACK TO REMAIN
 - 5' WIDE MINIMUM LANDSCAPE SETBACK WITH 6' HIGH (MAX 8' H PER KEY) FENCING WITH PLANTED VINES. REFER TO A4/SDP 5.3
 - CHAIN LINK FENCE, MINIMUM 6' HIGH, MAX 8' HIGH PER KEY, GREEN COATED FINISH. REFER TO D4/SDP 5.3
 - NEW ORNAMENTAL 8' HIGH MAX. METAL FENCE WITH BLACK PAINTED FINISH. REFER TO B4/SDP 5.3
 - 4' WIDE BY 8' HIGH DECORATIVE METAL GATE TO MATCH NEW DECORATIVE METAL FENCE
 - 4' WIDE BY 8' HIGH CHAINLINK FENCE GATE TO MATCH NEW CHAINLINK FENCE
 - PAIR 20' WIDE BY 8' HIGH CHAINLINK PAIR GATE FOR VEHICULAR ACCESS TO EXISTING LOADING DOCK AREA. GATE TO MATCH NEW CHAINLINK FENCE.
 - NEW 5' WIDE LANDSCAPE BUFFER ON THE PUBLIC/STREET SIDE OF NEW FENCING. REFER TO LANDSCAPE PLAN ON SDP 2
 - NEW PICNIC AREA WITH CRUSHER FINE OVER BASE COURSE
 - NEW 24" HIGH MAX INTERLOCKING LANDSCAPE BLOCK RETAINING WALL. COLOR TO BE TAN.
 - NEW PICNIC TABLES AND BENCHES BY OWNER.
 - REFUSE CONTAINERS IN LOADING DOCK AREA
 - REMOVE 8' W MIN PORTION OF LANDSCAPED AREA TO INFILL NEW CONCRETE SIDEWALK SECTION BETWEEN EXISTING CONCRETE CURB AND GUTTER.
 - ACCESSIBLE PARKING SIGNS, MOTORCYCLE PARKING SIGNS, OR BICYCLE PARKING SIGNS. REFER TO C5/SDP 1.2
 - NEW 15' X 20' PICNIC AREA WITH MULCH GROUND COVER
 - SIGNAGE INDICATING "PRIVATE PARK" TO BE PLACED ON NEW FENCING



PROJECT NUMBER: 1011008
 APPLICATION NUMBER: 16088-70423

DRB SITE DEVELOPMENT PLAN APPROVAL:

Reginald Wright 12/14/16
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

Keith Cook 12-14-16
 UTILITIES DEVELOPMENT

Carl S. Dumont 12-14-16
 PARKS AND RECREATION DEPARTMENT

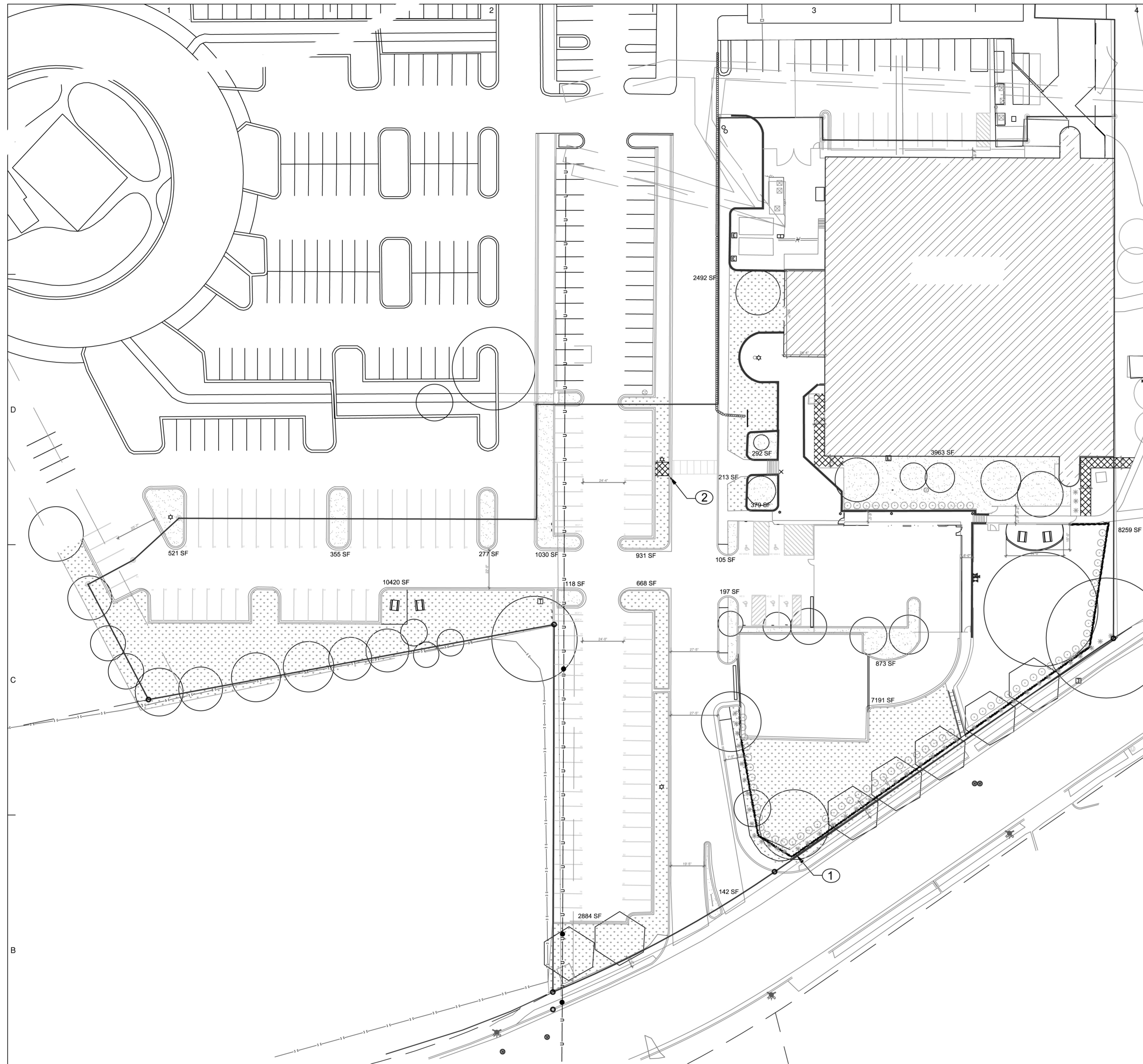
Alvin 12-16-16
 CITY ENGINEER

Carla Wilkins 11-30-16
 SOIL AND WATER MANAGEMENT

Paul Abel 12-16-16
 DRB CHAIRPERSON, PLANNING DEPARTMENT

Bin will need to be on Closures for safe access.

A SITE PLAN
 SCALE: 1" = 30'-0"



LANDSCAPE CALCULATIONS

SITE AREA: 142,158SF
 BUILDING FOOTPRINT AREA: 30,320SF
 BUILDING TOTAL AREA: 83,323SF
 NET SITE AREA: 111,838SF

REQUIRED LANDSCAPE AREA: 16,775SF(15% OF NET LOT AREA)
 PROVIDED LANDSCAPE AREA: 42,018SF
 PROVIDED HIGH WATER USE TURF AREA: 33,058SF(81%)

TREES PER PARKING SPACES REQUIRED: 1 TREE/10 PARKING SPACES
 TOTAL NUMBER OF PARKING SPACES: 99 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES: 10
 PROVIDED NUMBER OF PARKING LOT TREES: 21

LEGEND

SYMBOL	AREA	DESCRIPTION
○	n/a	Existing trees to remain.
▨	33058 SF	Existing turf to remain.
▩	7960 SF	Existing planting beds to remain.

KEYED NOTES

- ① Fencing with vine planting. See Fencing Planting Enlargement.
- ② New 8' wide concrete sidewalk.

GENERAL NOTES

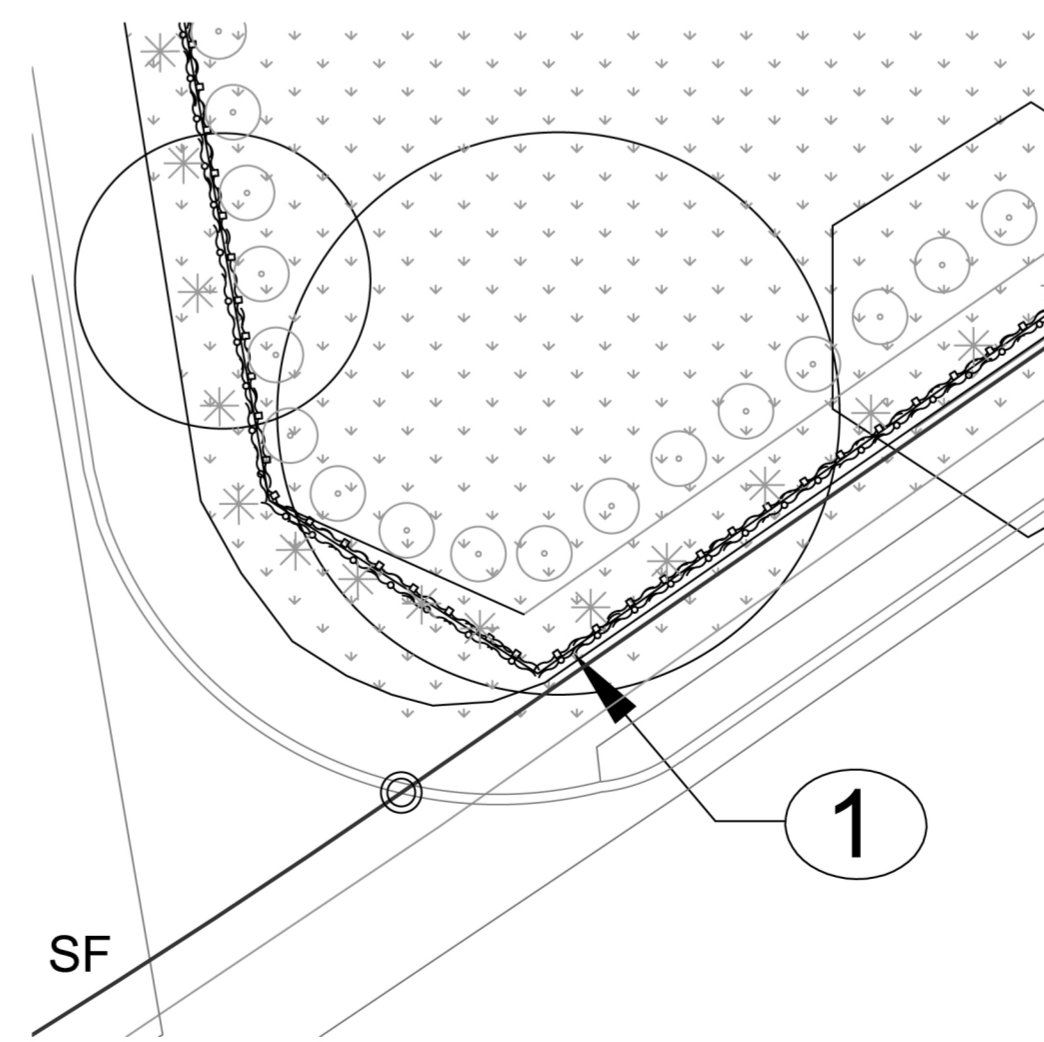
- A. Contact the local underground utility services for utility location and identification.
- B. Refer to civil engineer's utility, easement and grading plans for utility location, existing and proposed easements and grading.
- C. See site plan for descriptions of elements such as site furnishings, paving materials and other site elements.

IRRIGATION NOTES

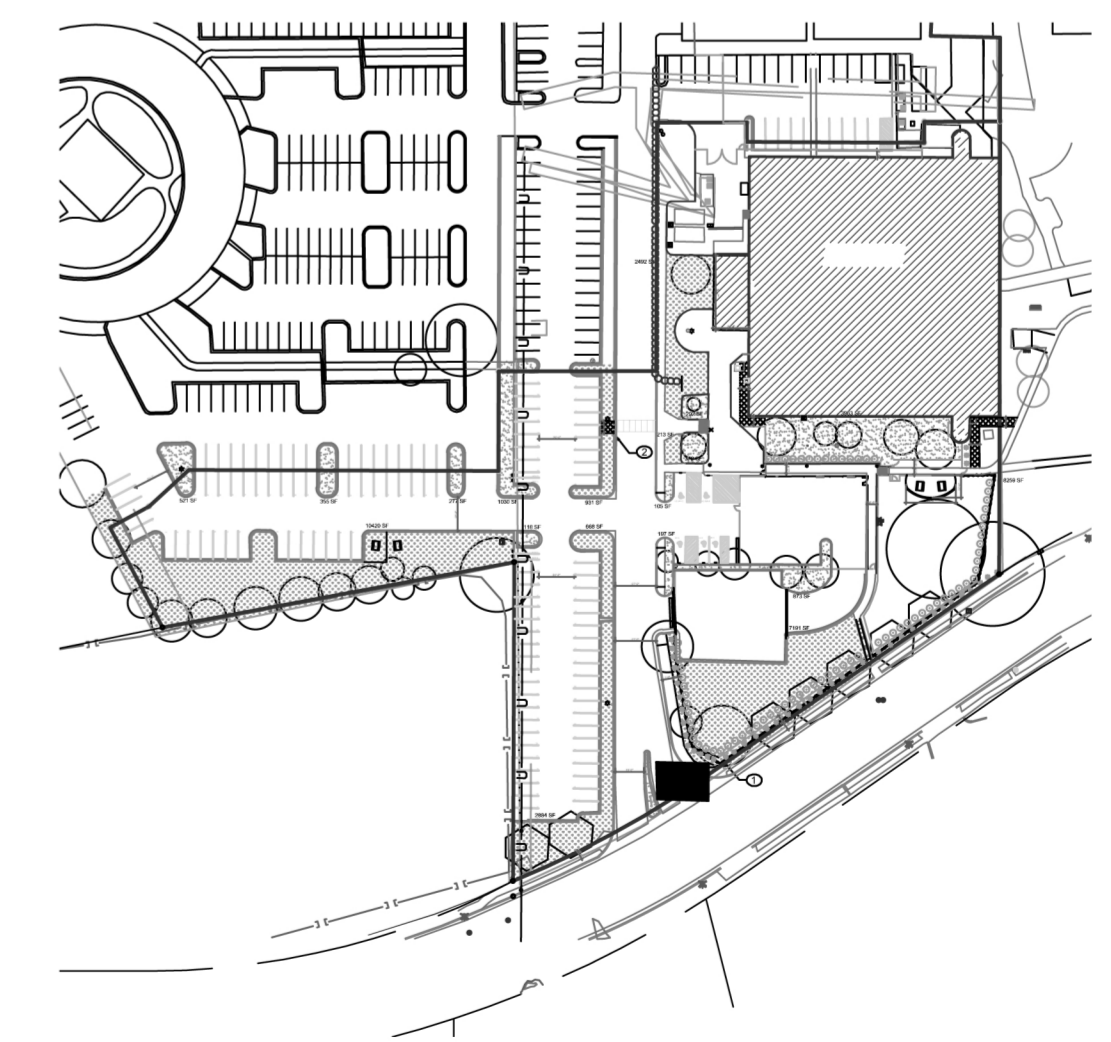
- 1. Irrigation design shall comply with the intent of the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance.
- 2. Installation and maintenance of irrigation shall be the responsibility of the property owner.
- 3. The irrigation system shall be operated with a fully automated smart controller. Run times shall be adjusted according to season, location, and plant performance. Drip emitters shall be used for all plant material.
- 4. The contractor shall design an irrigation system to permanently irrigate the planting plan as noted. The plan shall include a piping and emitter layout, pipe sizing, valve locations, valve schedule and construction details. The contractor shall submit the irrigation system design to the architect for approval prior to installation.
- 5. Emitters to be placed uphill from plant center.
- 6. Piping: Minimum allowable PVC size is 3/4". All lateral piping to be schedule 40 class pipe.
- 7. Emitters to be placed uphill from plant center.
- 8. Emitters quantities and flow rates as follows:
 Trees-quantity 5 emitters @ 2gph each
 Shrubs-quantity 2 emitters @ 2gph each
 Ornamental Grasses, Perennials, Accents-quantity 1 emitter @ 2gph each

PLANTING NOTES

- 1. The design intent of the site is to occupy the site as is with a planting plan that maximizes the existing turf grass and established trees. It takes into account the sensory acuteness of the children attending the facility while providing privacy screening and landscape buffer of the outdoor activity areas from the public's view.
- 2. Planting plan complies with the City of Albuquerque's Water Conservation, Landscaping and Water Waste Ordinance, and section 14-16-3-10 of the City of Albuquerque's General Regulations for proposed planting as shown in Plant Legend.
- 3. Planting plan complies with the City of Albuquerque's clear sight triangle at exits and street corners as per section 8-2-2-15 of the Traffic Code, and section 14-16-1-5 of the Zoning Code.
- 4. Street Trees meet the requirements of the City of Albuquerque's Zoning Code section 14-16-3-10 Street Trees.
- 5. Contractor shall verify plant counts and square footages. This information is provided as information only. If quantities on plant list differ from plan indications, plan quantities shall prevail.
- 6. Exact location of plant materials shall be approved by architect in the field prior to installation. The architect reserves the right to adjust plant placement in the field.
- 7. Biological soil amendment such as Soil Secrets or approved equal shall be applied over planting pits during installation and again after the warranty period. Amendment quantities based on two applications shall be determined as follows:
 Each Tree: 78.5SF
 Each 5 Gallon Plant: 28SF
 Each 1 Gallon Plant: 12SF
- 8. Plants shall bear the same relation to finished grade as in original nursery condition.
- 9. All landscaped areas shall be covered with rock mulch and filter fabric in order to minimize weed growth, add visual interest and protect soil moisture. See Legend.
- 10. Planting beds shall achieve a minimum 75% live vegetative coverage upon plant maturity as per City of Albuquerque requirements.



Fencing Planting Enlargement
 Bernalillo Academy
 NTS



Landscape Plan Enlargement
 Key Map
 NTS

Landscape Plan
 Bernalillo Academy
 1:30

PLANT LEGEND

Trees							
SYMBOL	QTY	INSTALLED SIZE	COMMON NAME	BOTANNICAL NAME	HEIGHT	WIDTH	WATER USE
○	7	2"-Cal Single Trunk	CHINESE PISTACHE	<i>Pistacia chinensis</i>	30.00	30.00	Medium Water Use
Vines							
SYMBOL	QTY	INSTALLED SIZE	COMMON NAME	BOTANNICAL NAME	HEIGHT	WIDTH	WATER USE
—○—	119	1-Gal	MAJOR WHEELER	<i>Lonicera sempervirens</i>	10.00	4.00	Low Water Use
—○—	125	1-Gal	HONEYSUCKLE VINE	<i>Gelsemium sempervirens</i>	10.00	4.00	Low Water Use

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DESIGN PLUS LLC
 The New Mexico Water Collaborative
 1751 Bellamah NW, #1101
 Albuquerque, NM 87104
 BERNALILLO ACADEMY
 1801 RANDOLPH RD SE
 ALBUQUERQUE, NEW MEXICO

DATE: 10/12/2016

REVISIONS

DRAWN BY: ML, YT

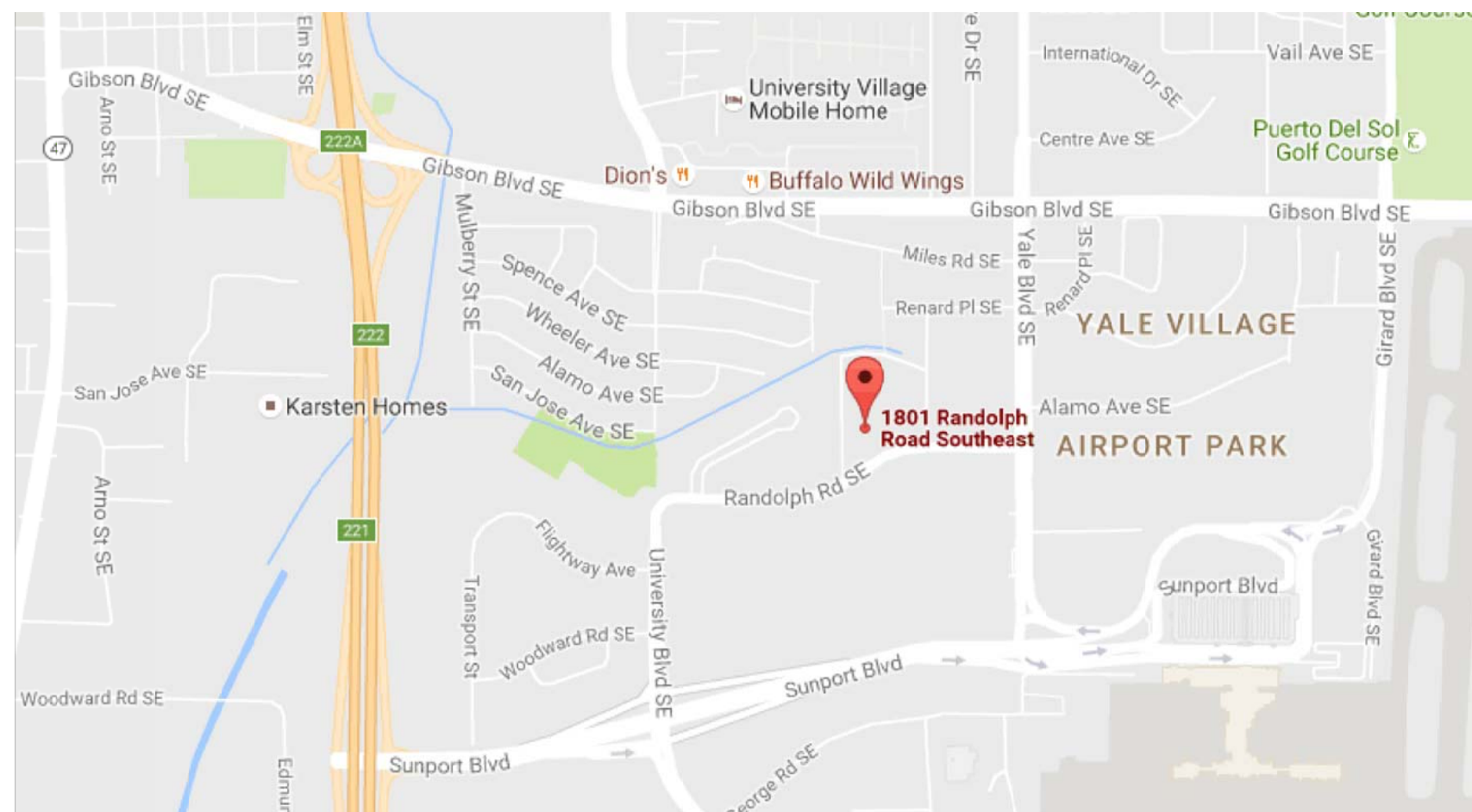
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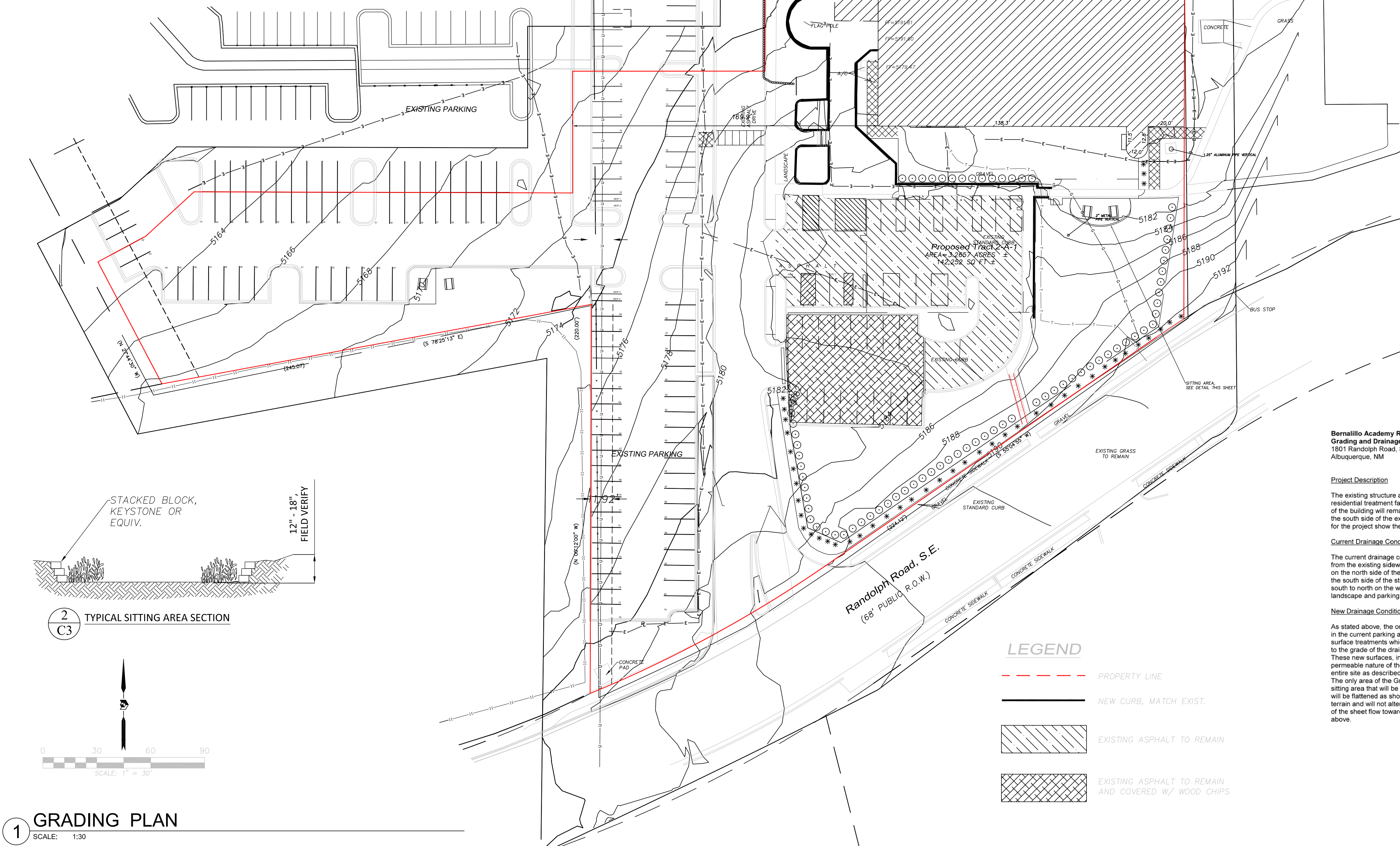
LANDSCAPE PLAN

SDP 2.0 V3

SHEET 1 OF 1



Vicinity Map



GRADING NOTES

1. THE SITE IS TO REMAIN PREDOMINATELY UNCHANGED WITH THE EXCEPTION OF THE ADDITION OF ALTERNATIVE GROUND COVER METHODS AS DESCRIBED IN THE LANDSCAPE PLAN AND A SMALL SITTING AREA AS SHOWN ON THE PLAN. IN ADDITION, AN ACCESS ROAD NEAR THE NORTH WEST CORNER OF THE BUILDING WILL BE ADDED CONSISTING OF THE REMOVAL OF AN EXIST. WALL SECTION AND THE CONSTRUCTION OF NEW CURB AND GUTTER DRIVEWAY EDGE AND THE PAVING OF THIS AREA WITH ASPHALT TO MATCH EXIST..
2. THE RE-GRADING OCCURS AT THE SOUTH EDGE OF THE CONCRETE SIDEWALK TO THE SOUTH OF THE EXISTING BUILDING. THIS RE-GRADING IS A SMALL SITTING AREA WHICH WILL BE DEMARCATED WITH STACKED STONE AROUND THE PERIMETER OF THE SITTING AREA.
3. NO ADDITIONAL DRAINAGE RUNOFF WILL BE CREATED BY THE PROPOSED LANDSCAPING CHANGES. ALL EXISTING RUNOFF WILL FOLLOW EXISTING CONTOURS TO EXISTING RETENTION AREAS.
4. NEW CURB CONSTRUCTION SHALL BE 8" STANDARD CURB & GUTTER PER COA STANDARD DETAILS.

Bernalillo Academy Re-location
Grading and Drainage Description
 1801 Randolph Road, SE
 Albuquerque, NM

October 18, 2016

Project Description

The existing structure at 1801 Randolph Road, SE in Albuquerque, NM is being renovated for a new residential treatment facility which will entail modifications to the interior of the structure. The outside of the building will remain in its current configuration with the exception of a new outdoor play area on the south side of the existing structure. The current grading and drainage plan and landscape designs for the project show these modifications for the playground area.

Current Drainage Conditions

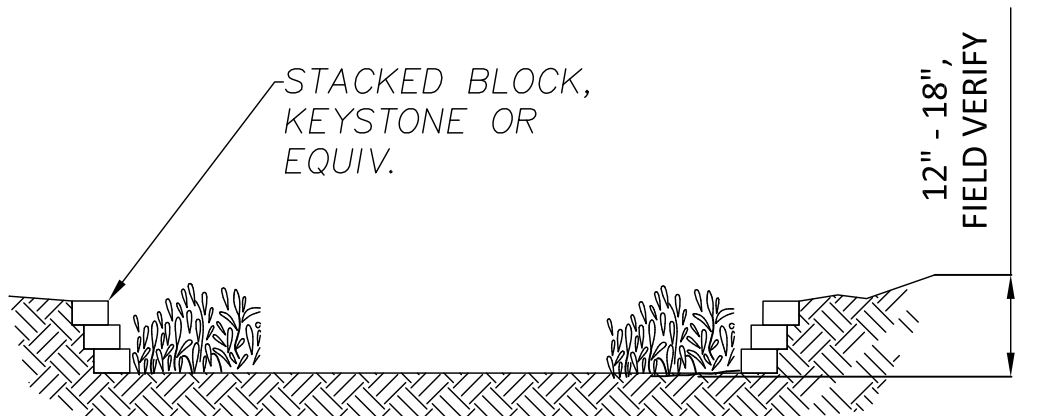
The current drainage configuration for the site consists of sheet flow drainage in a northwest direction from the existing sidewalk edge along Randolph Road. This drainage flows across a landscaped area on the north side of the sidewalk along Randolph Road to the existing parking lot areas adjacent to the south side of the structure. Sheet flow is across the parking areas to the access road running south to north on the west side of the building and continues to the northwest across existing landscape and parking areas.

New Drainage Conditions

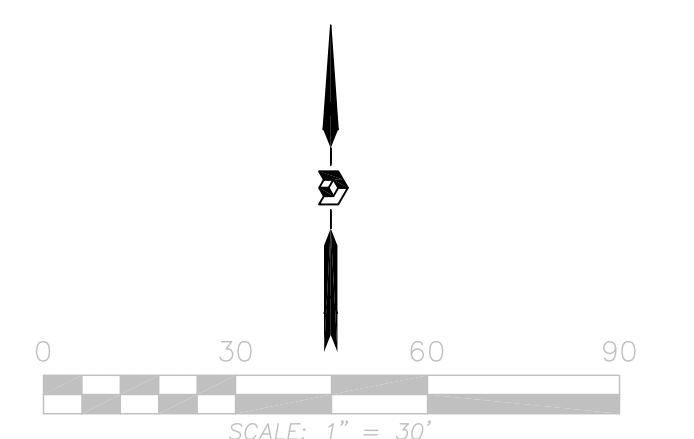
As stated above, the only modifications to the outside of the building will be the addition of a play area in the current parking areas on the south side of the building. These areas are to receive various surface treatments which will provide an acceptable playing surface for the children. No modifications to the grade of the drainage surfaces will be made other than the application of the play surfaces. These new surfaces, in effect, will slow the transportation of sheet drainage flows because of the permeable nature of the new surfaces. The end effect will still be sheet flow to the northwest for the entire site as described above.
 The only area of the Grading and Drainage Plan that reflects a new surface configuration is the small sitting area that will be built along the south edge of the building near the southeast corner. This area will be flattened as shown and defined by a small rock wall. This area is in an existing landscaped terrain and will not alter the direction of sheet flow away from the building nor the existing destination of the sheet flow towards the existing parking areas and ultimately to the northwest as described above.

LEGEND

- - - - - PROPERTY LINE
- NEW CURB, MATCH EXIST.
- ▨ EXISTING ASPHALT TO REMAIN
- ▩ EXISTING ASPHALT TO REMAIN AND COVERED W/ WOOD CHIPS



2
C3 TYPICAL SITTING AREA SECTION



1 GRADING PLAN
 SCALE: 1" = 30'

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1801 RANDOLPH ROAD, SE
 1801 RANDOLPH ROAD, SE

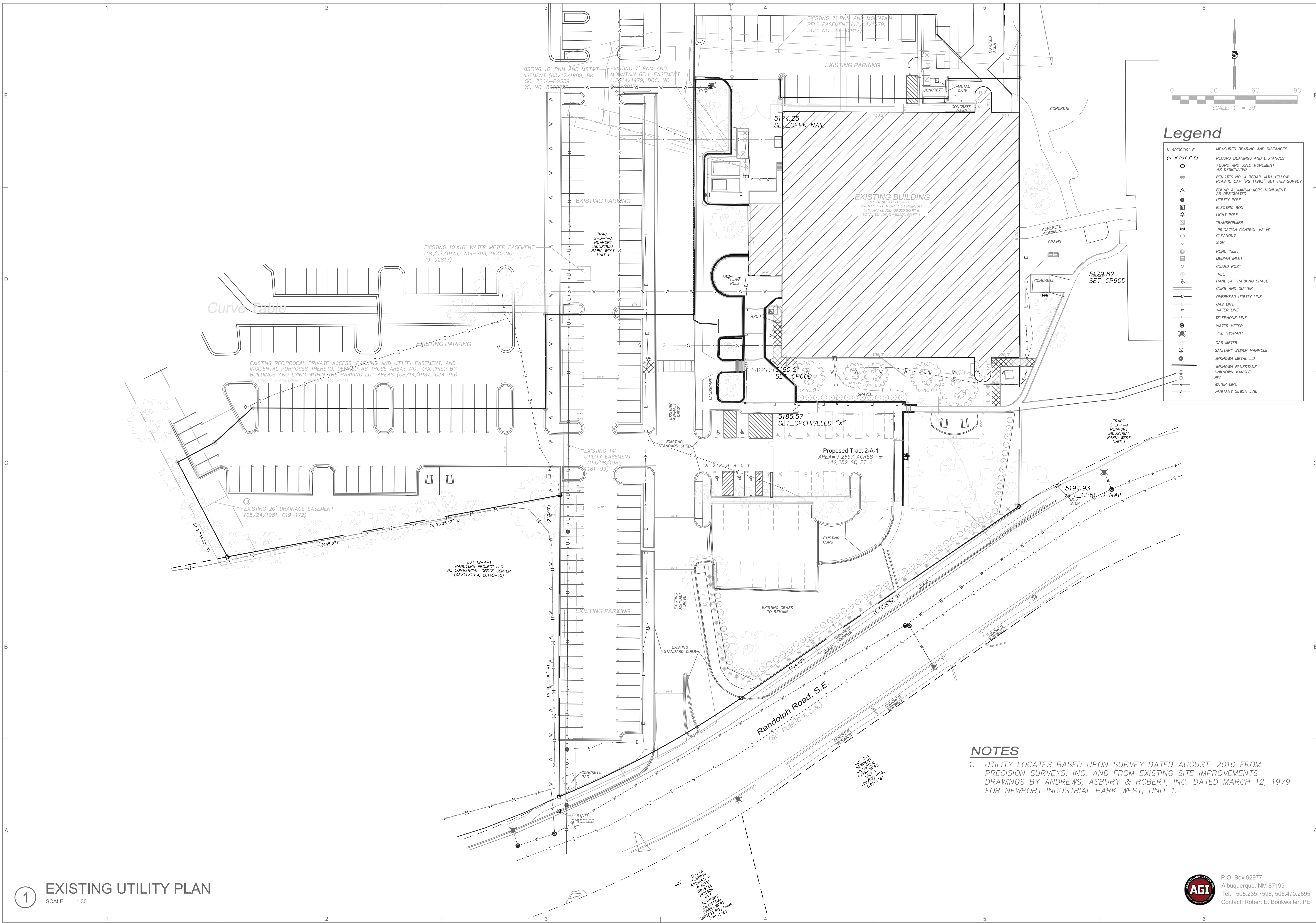
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GRADING PLAN

V.2
SDP 3.0
 SHEET ___ OF ___

AGI
 P.O. Box 92977
 Albuquerque, NM 87199
 Tel. 505.235.7596, 505.470.2895
 Contact: Robert E. Bookwalter, PE



Legend

(Symbol: N 90°00'00" E)	MEASURED BEARING AND DISTANCES
(Symbol: N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
(Symbol: Circle with dot)	FOUND AND USED MONUMENT AS DESIGNATED
(Symbol: Triangle with dot)	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
(Symbol: Square with dot)	UTILITY POLE
(Symbol: Circle with cross)	ELECTRIC BOX
(Symbol: Square with cross)	LIGHT POLE
(Symbol: Circle with X)	TRANSFORMER
(Symbol: Square with X)	IRRIGATION CONTROL VALVE
(Symbol: Circle with X)	CLEANOUT
(Symbol: Triangle with X)	SIGN
(Symbol: Square with X)	POND INLET
(Symbol: Circle with X)	MEDIAN INLET
(Symbol: Square with X)	GUARD POST
(Symbol: Circle with X)	TREE
(Symbol: Square with X)	HANDICAP PARKING SPACE
(Symbol: Square with X)	CURB AND CUTTER
(Symbol: U-shape)	OVERHEAD UTILITY LINE
(Symbol: W-shape)	GAS LINE
(Symbol: T-shape)	WATER LINE
(Symbol: T-shape)	TELEPHONE LINE
(Symbol: Circle with X)	WATER METER
(Symbol: Square with X)	FIRE HYDRANT
(Symbol: Circle with X)	GAS METER
(Symbol: Square with X)	SANITARY SEWER MANHOLE
(Symbol: Circle with X)	UNKNOWN METAL LID
(Symbol: Circle with X)	UNKNOWN BLUESTAKE
(Symbol: Circle with X)	UNKNOWN MANHOLE
(Symbol: W-shape)	PV
(Symbol: W-shape)	WATER LINE
(Symbol: S-shape)	SANITARY SEWER LINE

NOTES

1. UTILITY LOCATES BASED UPON SURVEY DATED AUGUST, 2016 FROM PRECISION SURVEYS, INC. AND FROM EXISTING SITE IMPROVEMENTS DRAWINGS BY ANDREWS, ASBURY & ROBERT, INC. DATED MARCH 12, 1979 FOR NEWPORT INDUSTRIAL PARK WEST, UNIT 1.

DESIGN PLUS LLC

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1801 RANDOLPH ROAD, SE
1801 RANDOLPH ROAD, SE

DATE: 9/27/2016

REV No.	DESCRIPTION
1	LEGEND EDIT, ALL EXIST. UTILITIES SHOWN
2	REVISED SITE PLAN

000

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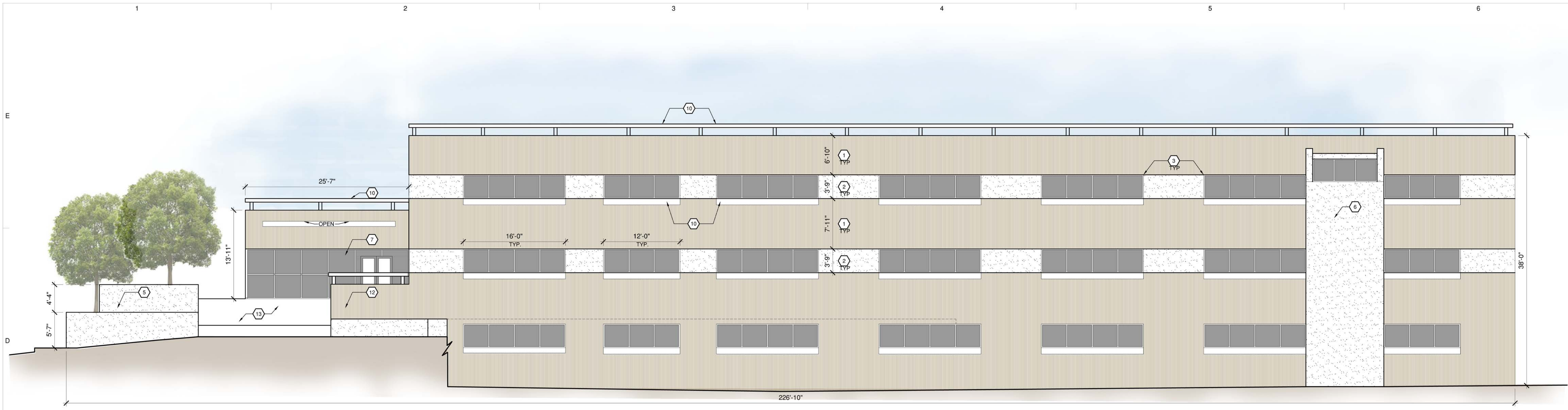
EXISTING
UTILITY PLAN

V.3
SDP 4.0

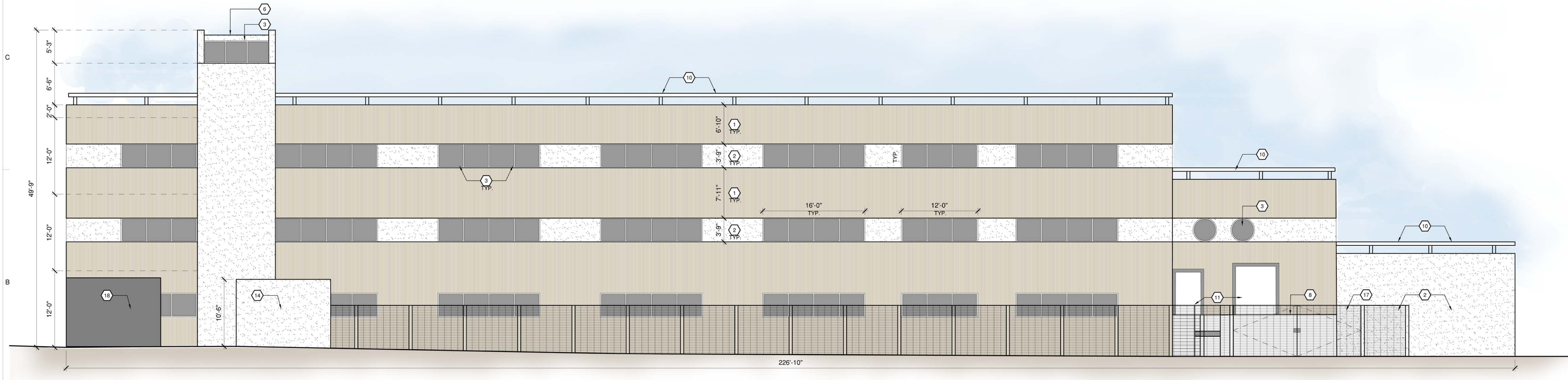
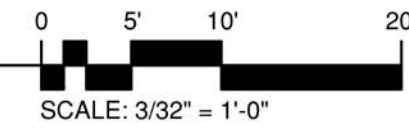
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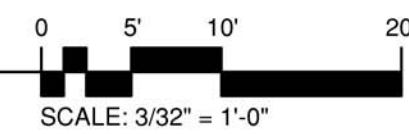
1 EXISTING UTILITY PLAN
SCALE: 1:30



D1 SOUTH ELEVATION
1/8"=1'-0"



A1 NORTH ELEVATION
1/8"=1'-0"



SHEET KEYED NOTES

- | | |
|--|--|
| 1. EXISTING INSULATED CONCRETE SPANDREL PANELS. | 11. EXISTING OVERHEAD COILING DOOR TO REMAIN. |
| 2. EXISTING STUCCO FINISH. | 12. EXISTING CONCRETE RETAINING WALL WITH PAINTED FINISH & METAL GUARDRAIL TO REMAIN. |
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| 10. PRECAST CONCRETE SILL-TYPICAL. | |

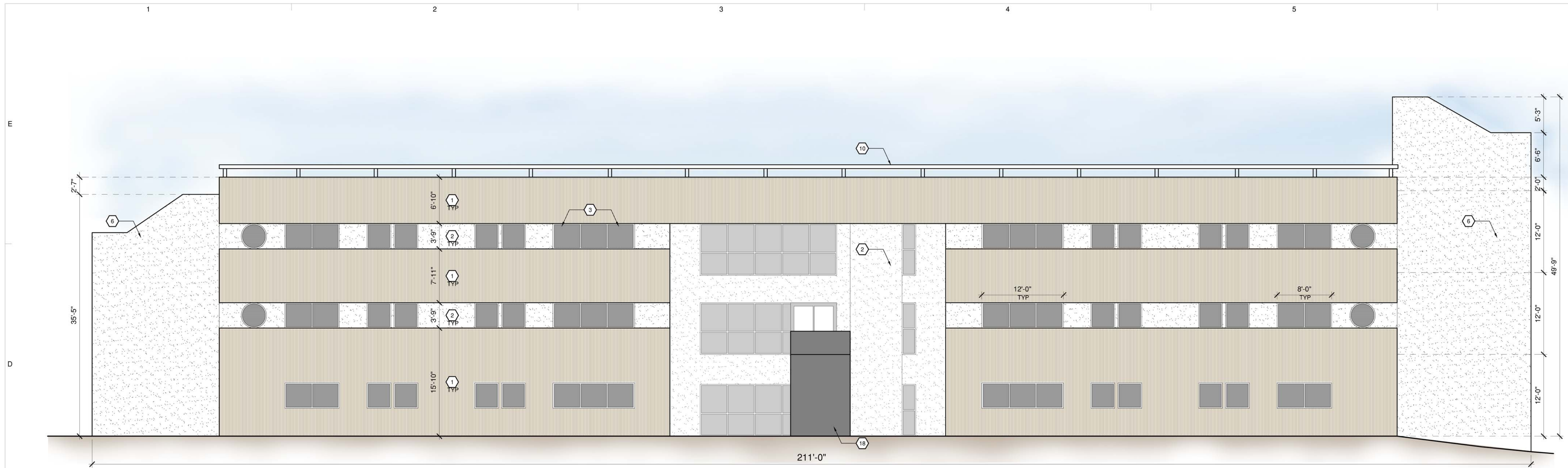
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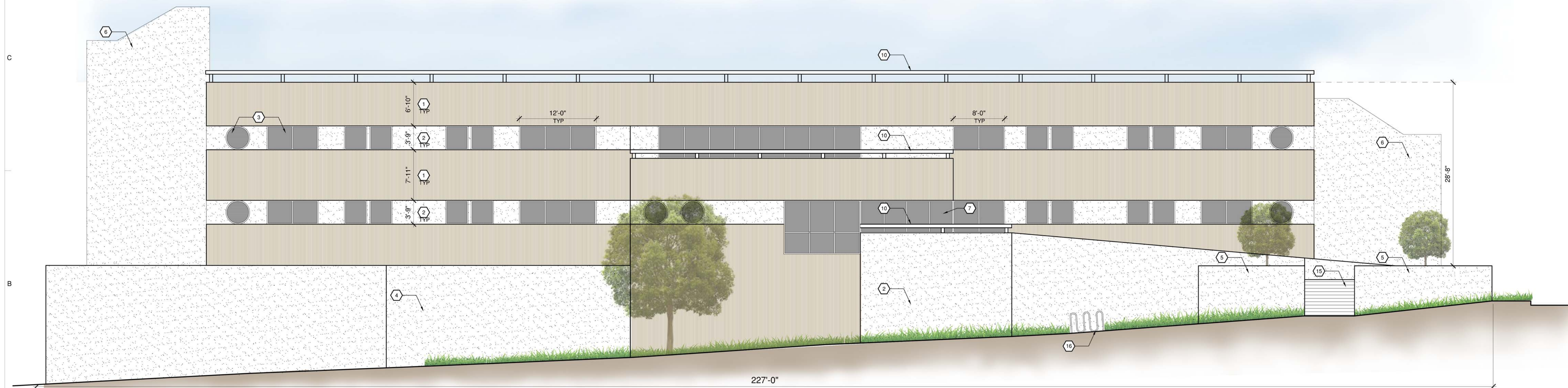
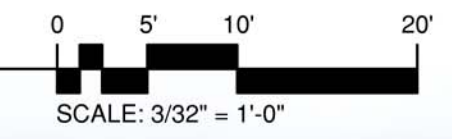
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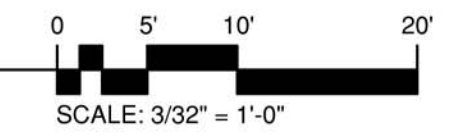
ELEVATIONS
V.3
SDP 5.0
SHEET ___ OF ___



D1 EAST ELEVATION
1/8"=1'-0"



A1 WEST ELEVATION
1/8"=1'-0"



SHEET KEYED NOTES

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BERNALILLO ACADEMY RENOVATION
1801 RANDOLPH RD SE
ALBUQUERQUE, NEW MEXICO

DATE: 10/12/2016

REVISIONS

CAD DWG FILE:

DRAWN BY: CA, LS

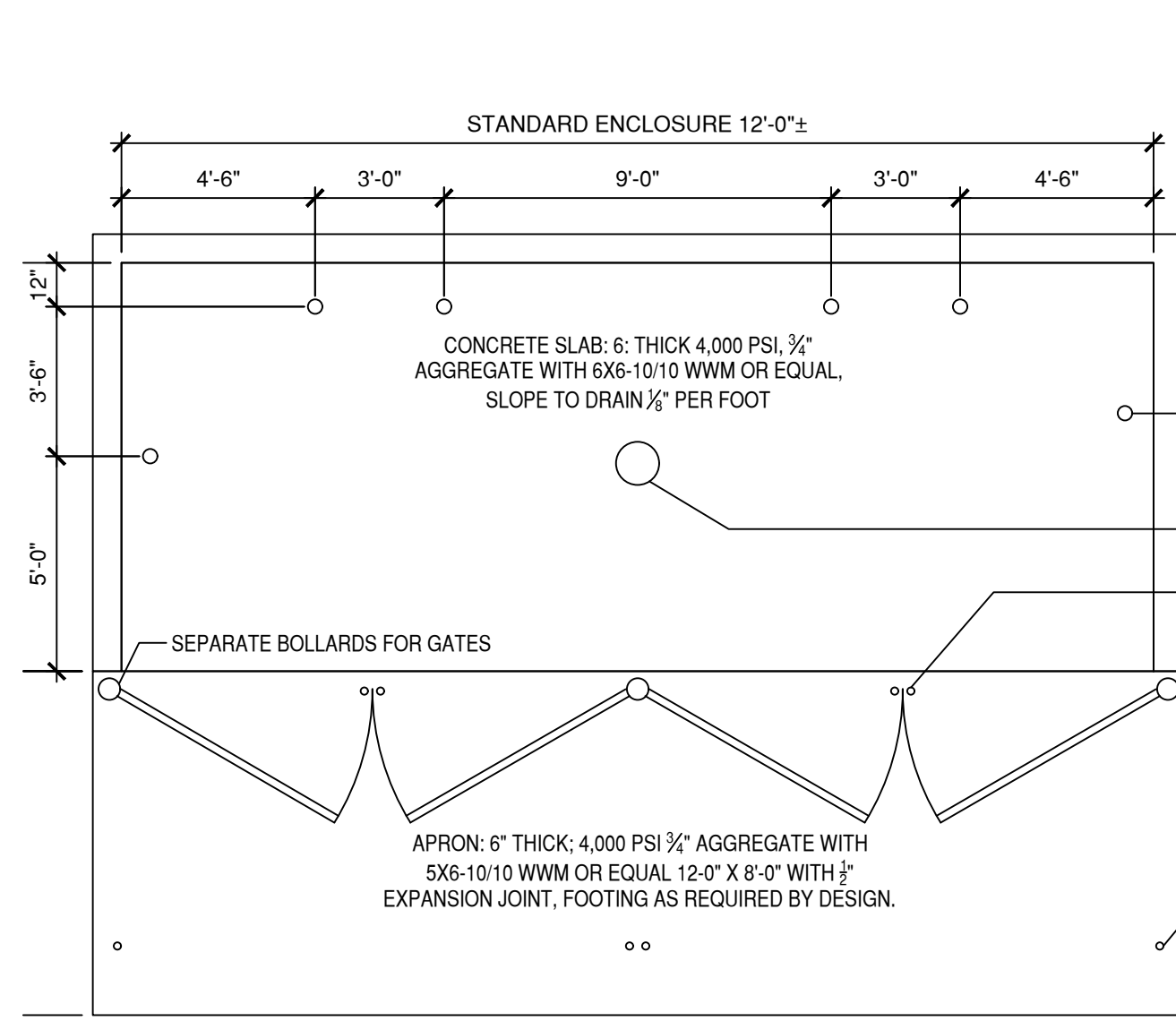
CHECKED BY: RE

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DESIGN PLUS, LLC

SHEET TITLE

ELEVATIONS

V.3
SDP 5.1
SHEET ___ OF ___



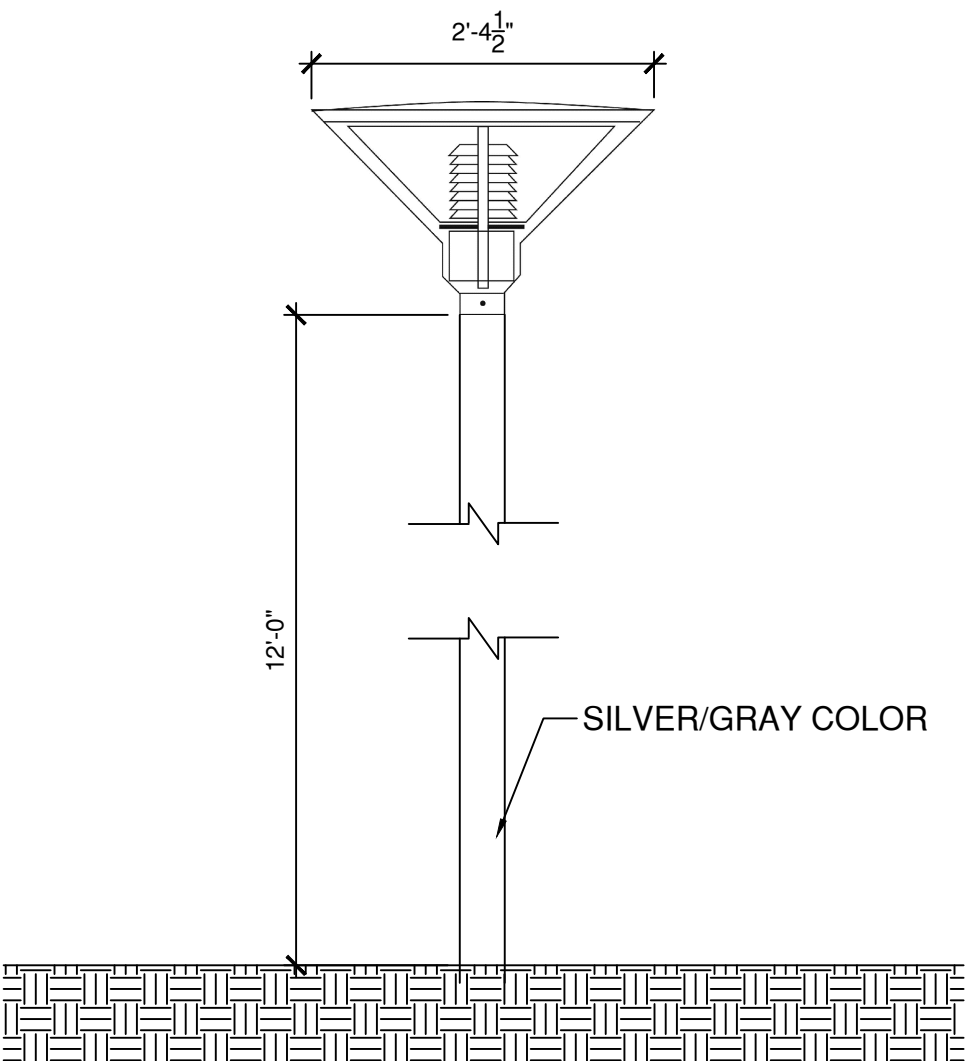
DIMENSIONS GIVEN ARE TO THE INSIDE OF ENCLOSURE WALLS AND THE MINIMUM SIZES REQUIRED FOR THE SLAB ITSELF. FOOTING WILL VARY WITH THE DESIGN OF THE ENCLOSURE.

SIDE BOLLARDS MAY BE REQUIRED. BOLLARDS ARE TO BE 6" FROM WALL

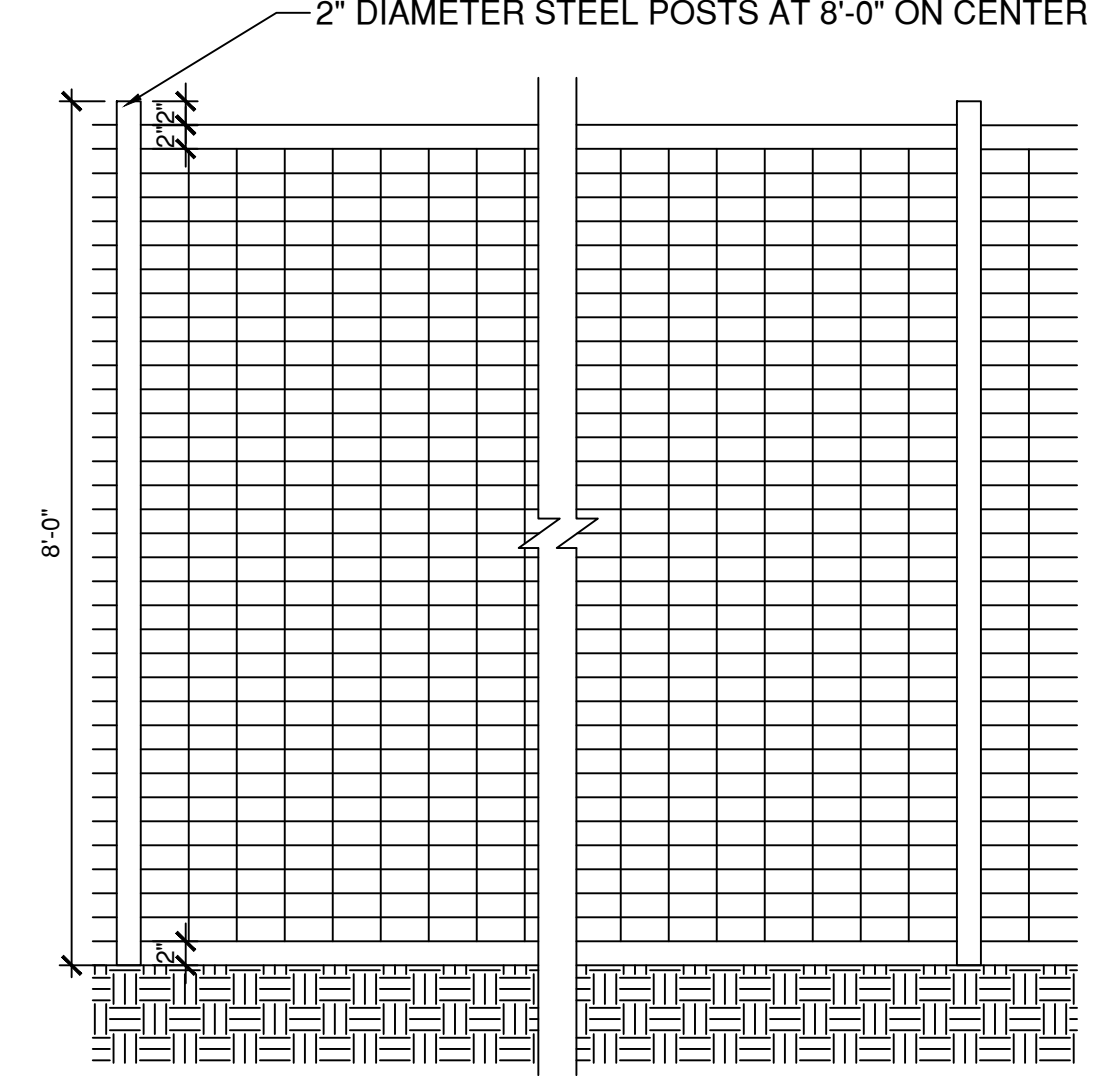
SANITARY DRAIN

HOLES IN APRON FOR GATE PIN

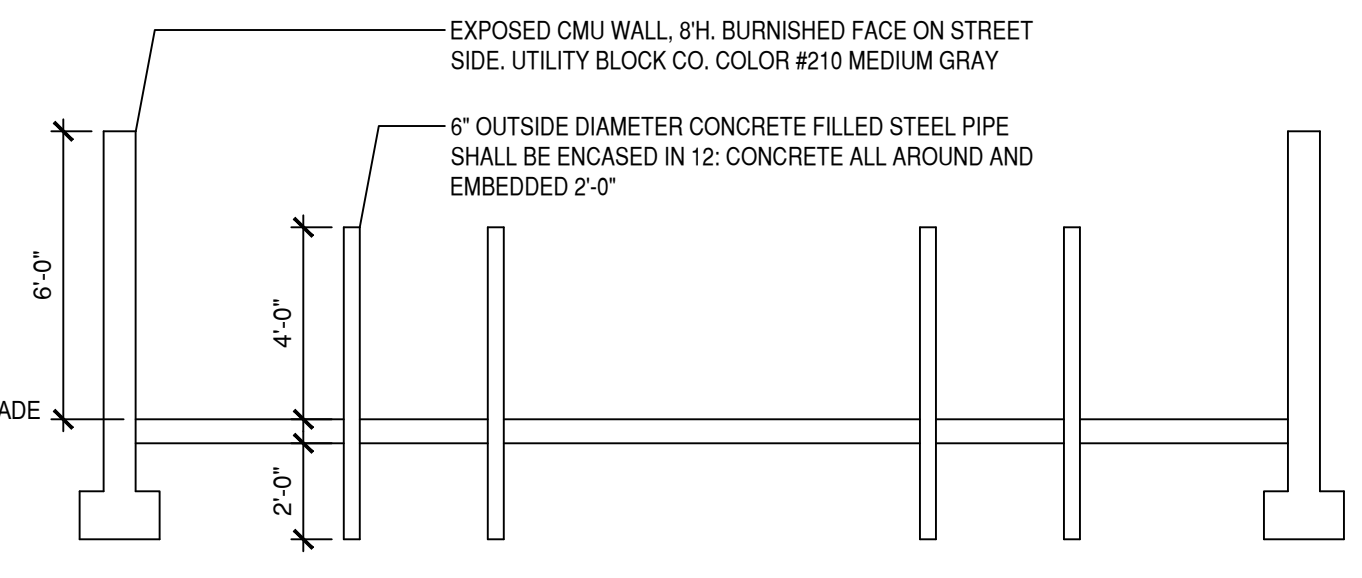
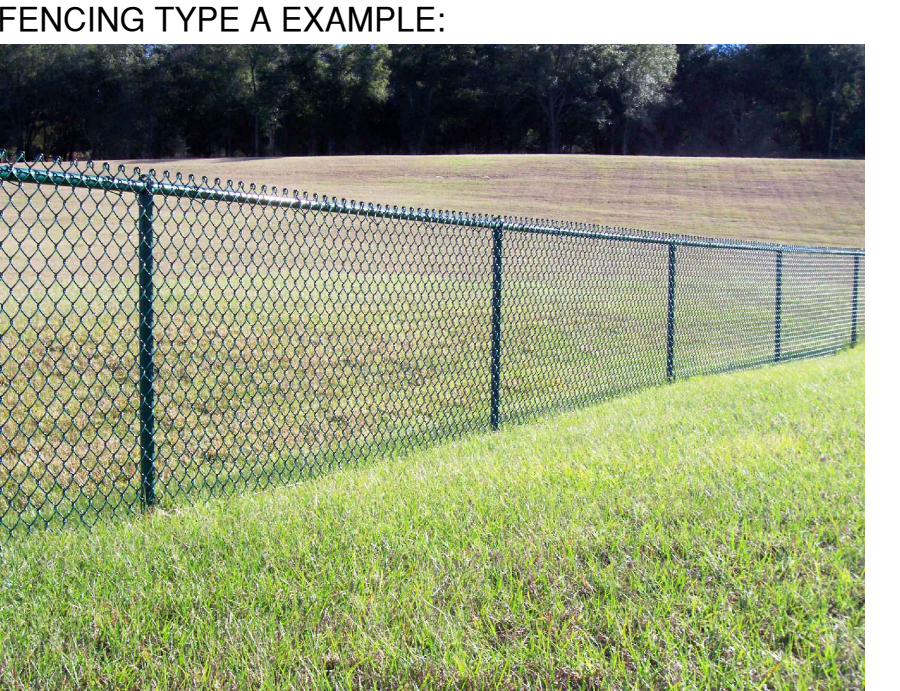
SEPARATE BOLLARDS FOR GATES



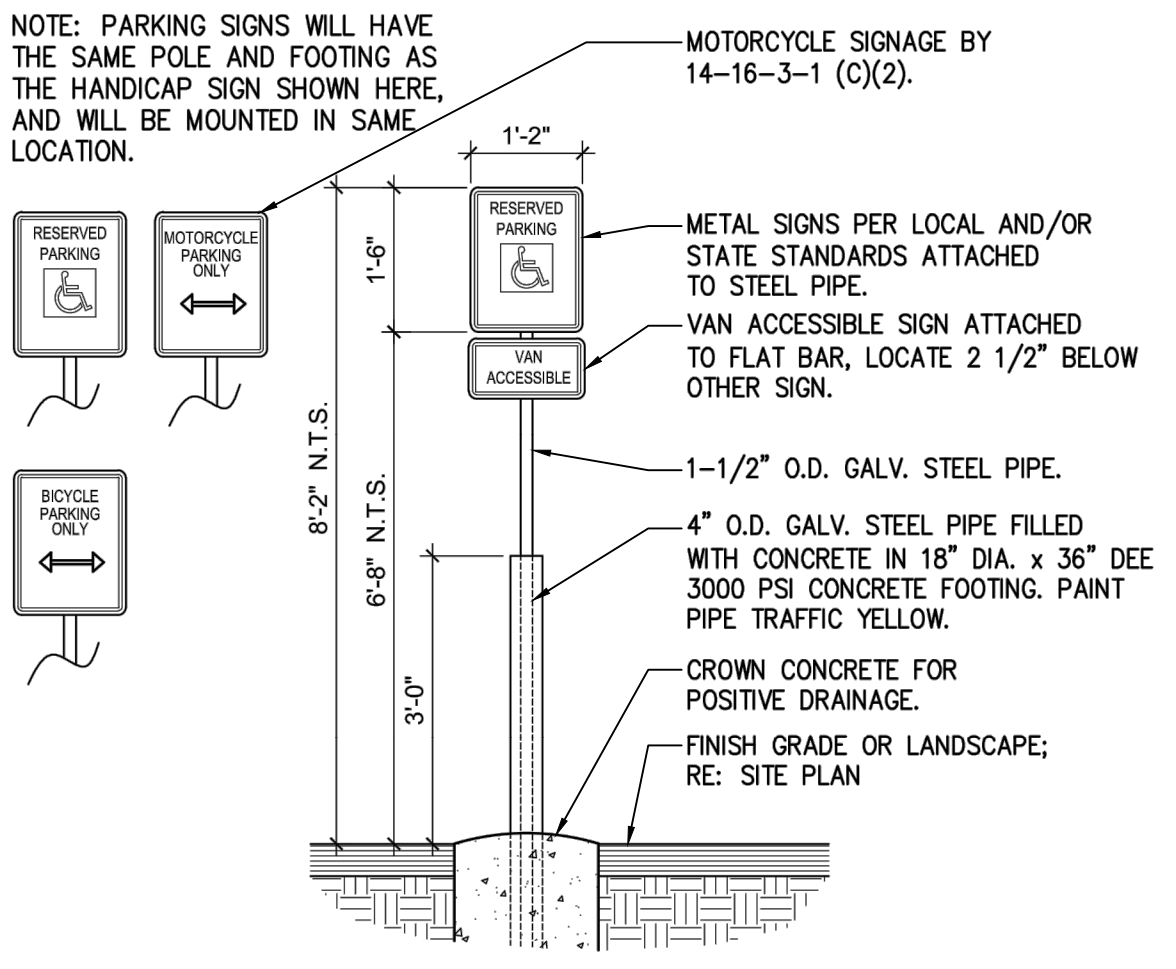
D2 EXTERIOR POLE MOUNTED LED LIGHT
SCALE 3/4" = 1'-0"



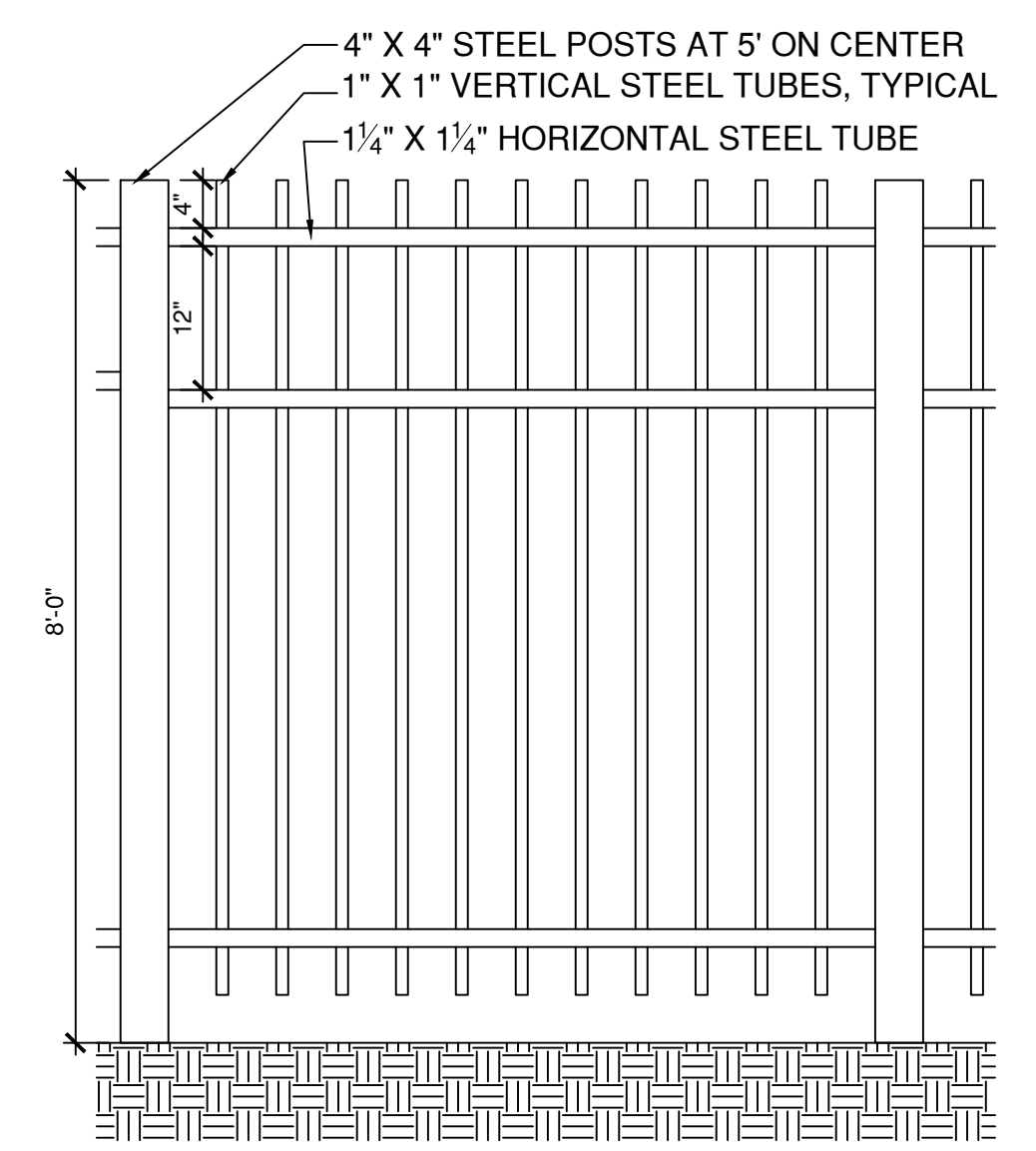
D4 TYPE A CHAINLINK FENCING
SCALE 3/4" = 1'-0" GREEN COATED FINISH



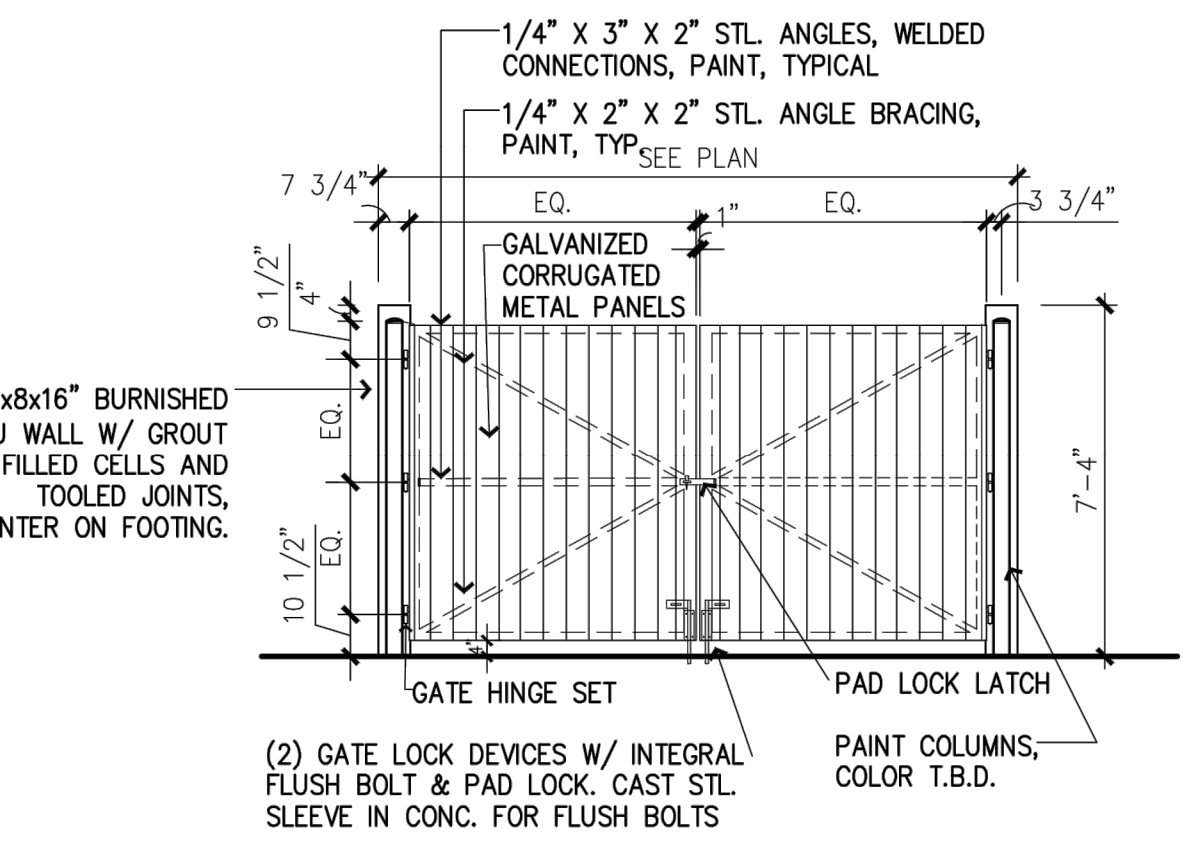
C1 REFUSE ENCLOSURE DETAILS
SCALE 1/4" = 1'-0"



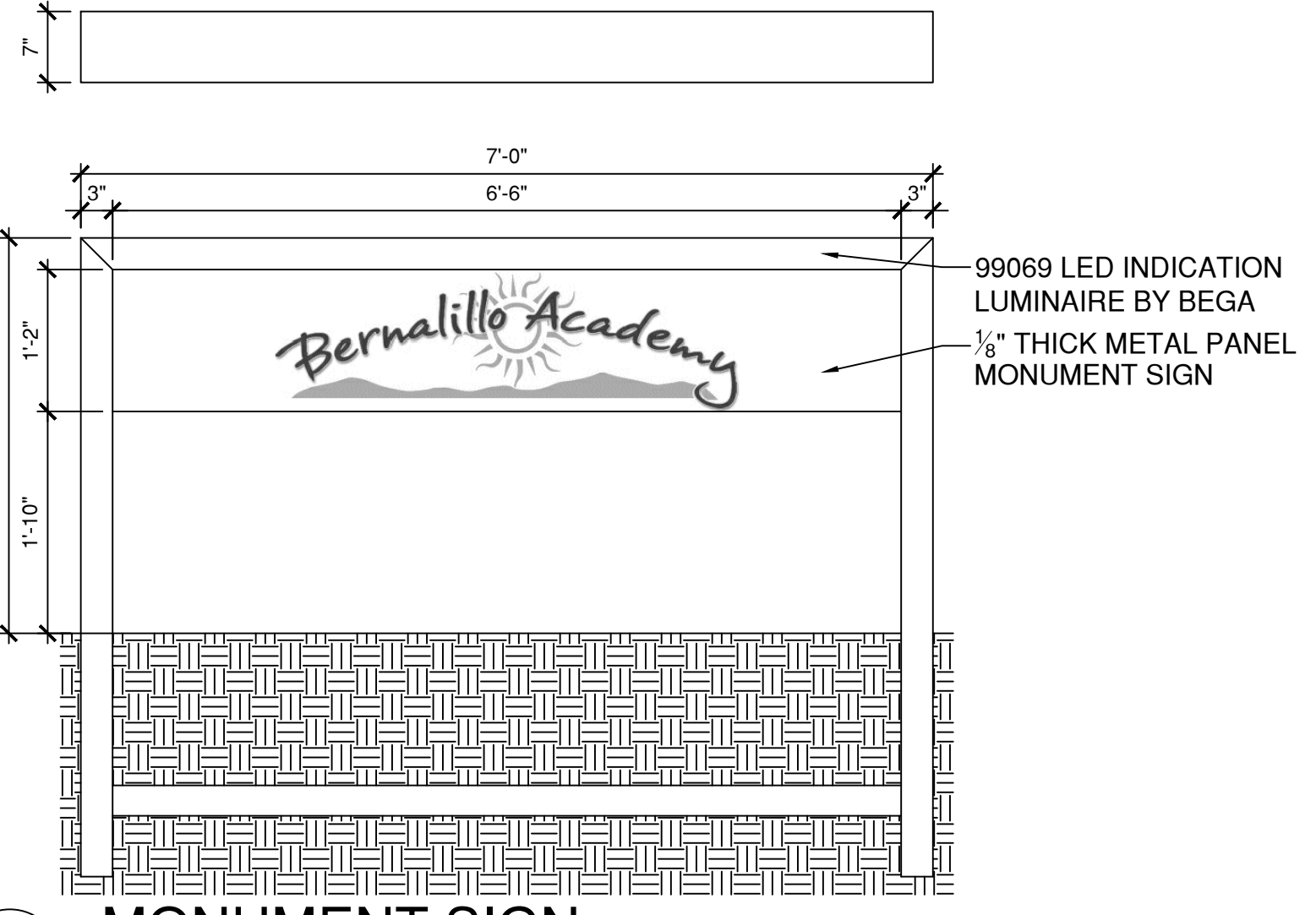
B2 PARKING SIGNS
SCALE 1/2" = 1'-0"



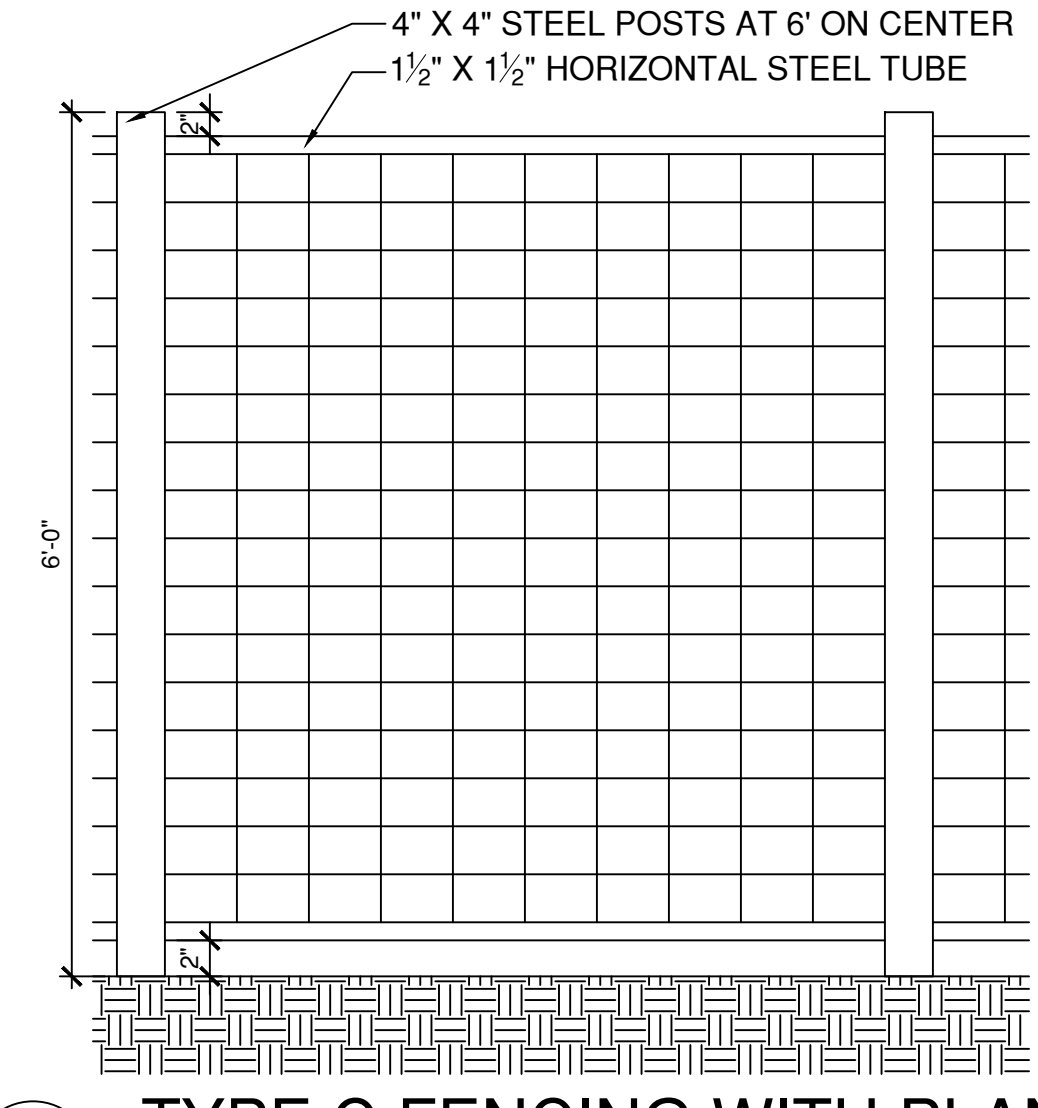
B4 TYPE B DECORATIVE METAL FENCING
SCALE 3/4" = 1'-0" BLACK PAINTED FINISH



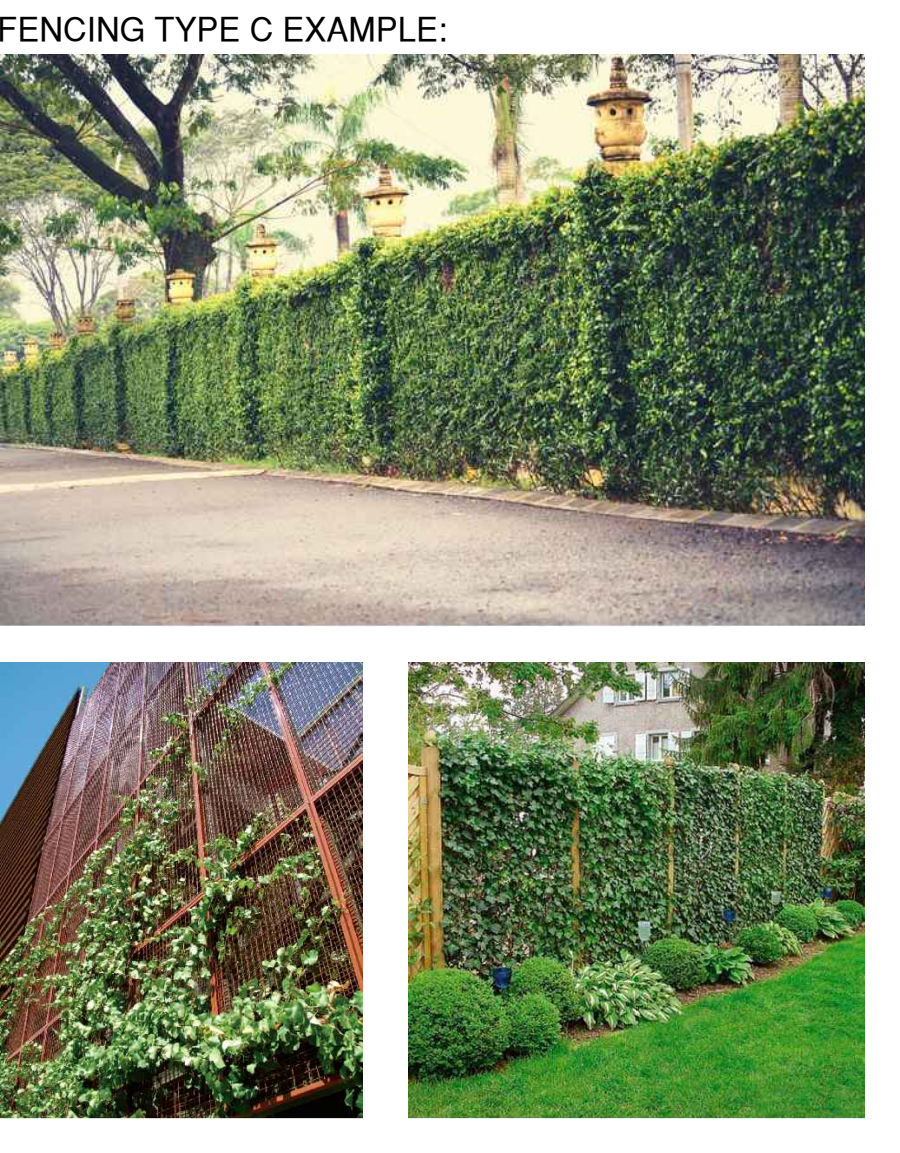
A1 REFUSE ENCLOSURE GATE
SCALE 1/4" = 1'-0"



A2 MONUMENT SIGN
SCALE 3/4" = 1'-0"



A4 TYPE C FENCING WITH PLANTING
SCALE 3/4" = 1'-0" GREEN COATED FINISH

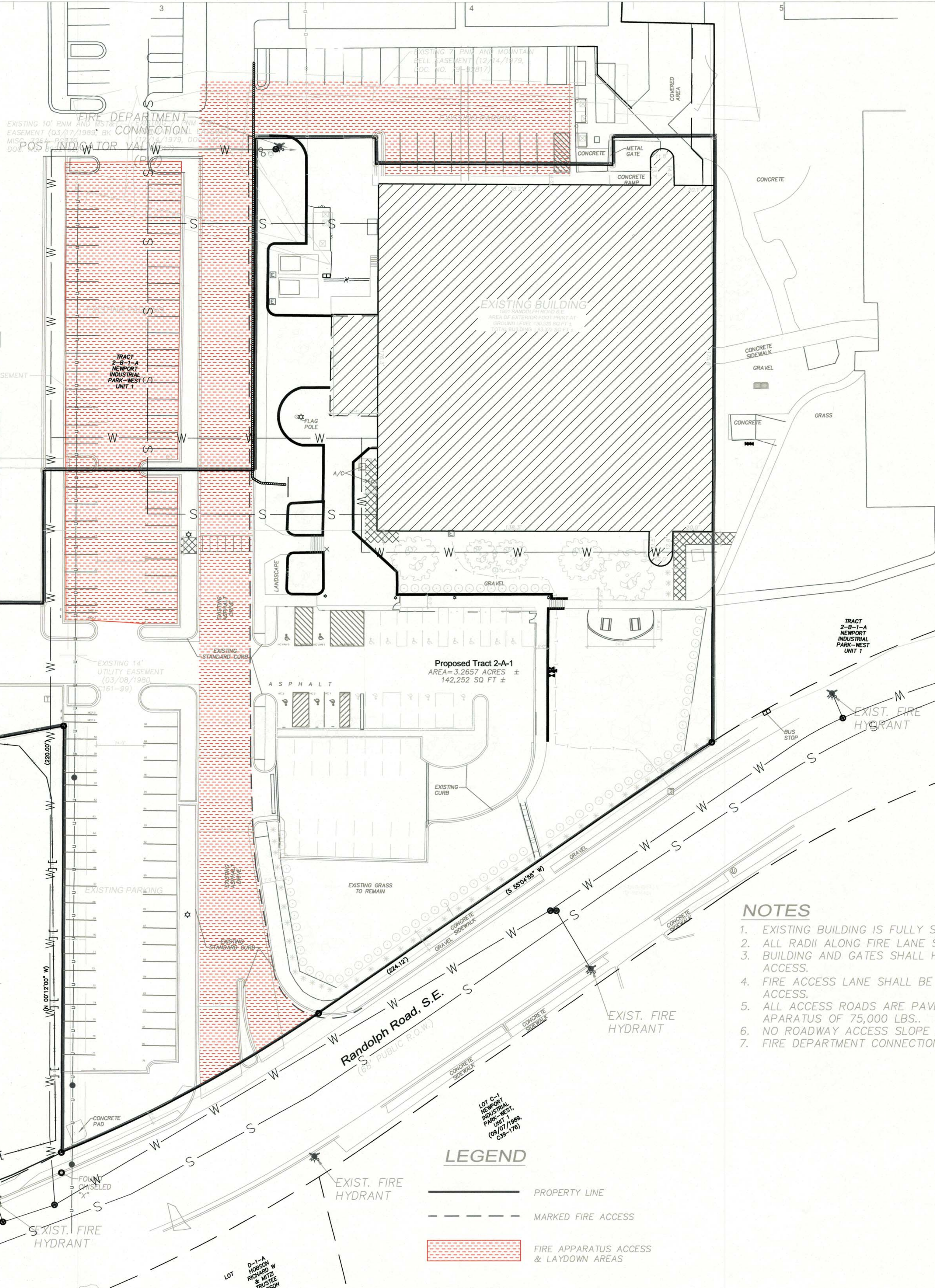
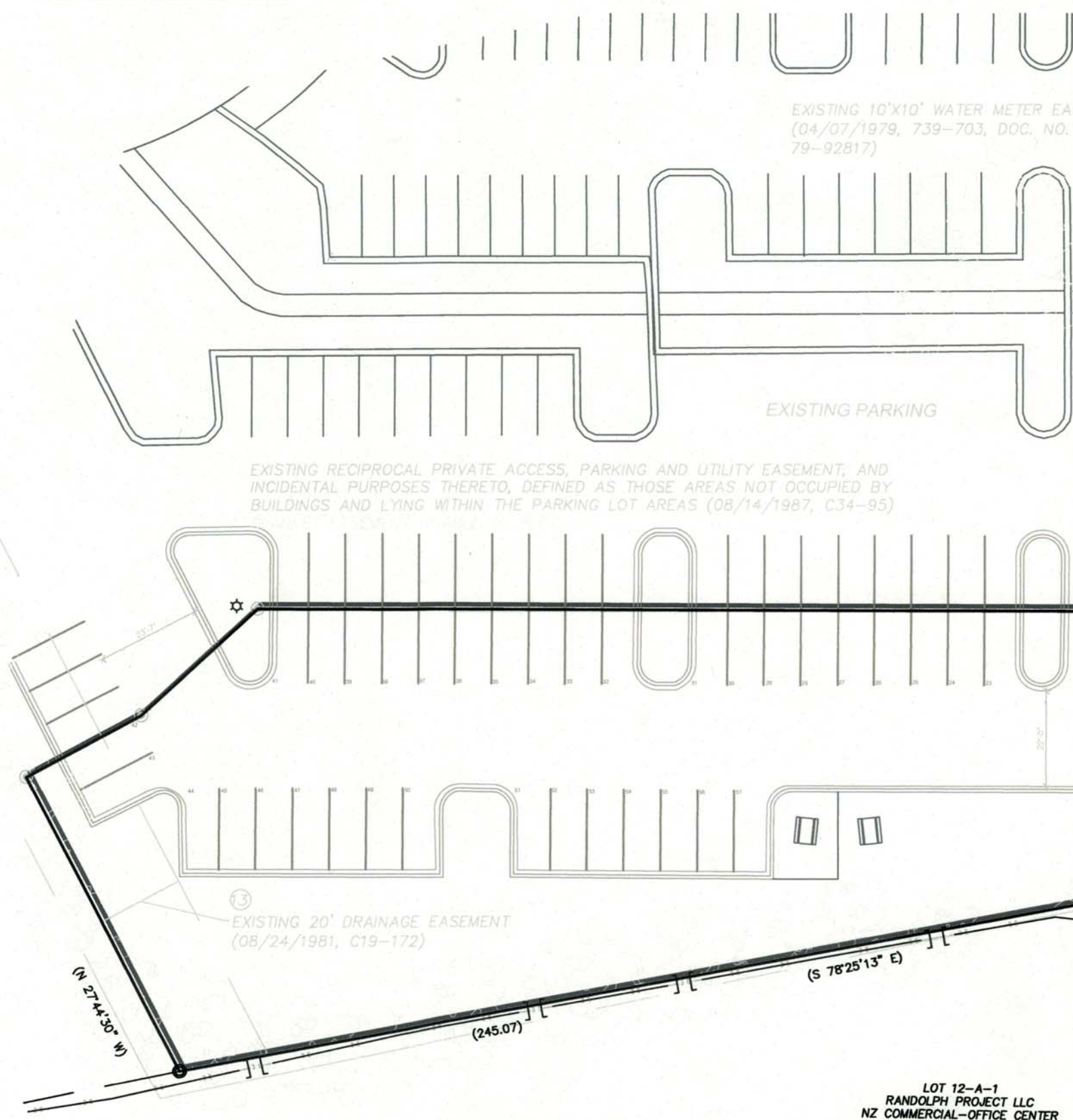
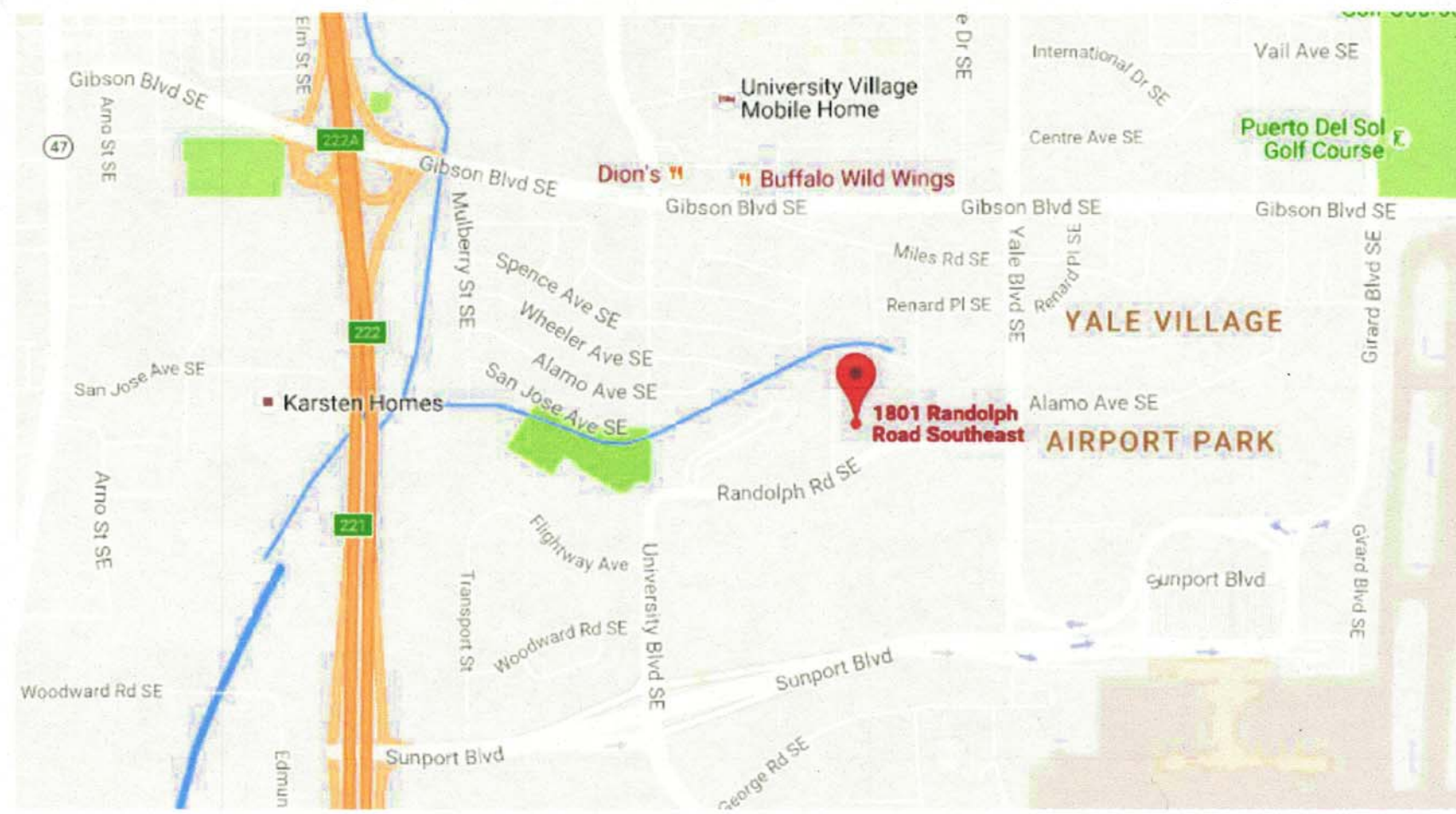


GENERAL NOTES

A. ALL WALLS AND FENCES SHALL CONFORM TO THE REQUIREMENTS OF THE GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS OF THE ZONING CODE

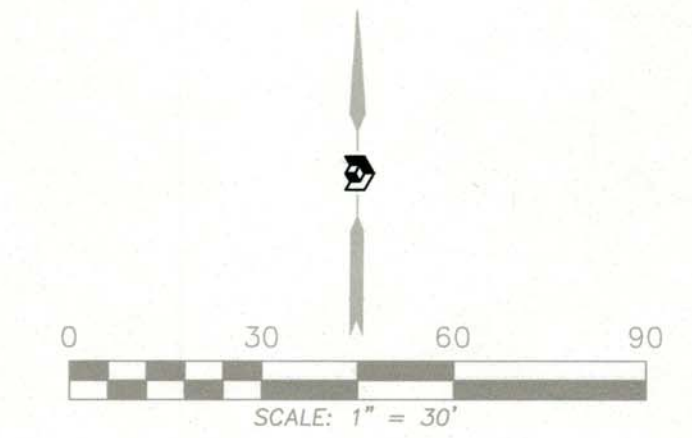
B. ALL ON-SITE LIGHTING SHALL CONFORM TO THE REQUIREMENTS OF THE AREA LIGHT REGULATIONS OF THE ZONING CODE AS WELL AS THE NEW MEXICO NIGHT SKY PROTECTION ACT

C. ALL PROPOSED SIGNAGE WILL MEET THE REQUIREMENTS OF THE IP ZONE AND GENERAL SIGN REGULATIONS OF THE ZONING CODE.



Legend

○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	NOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
⊕	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
⊗	UTILITY POLE
⊛	ELECTRIC BOX
⊙	LIGHT POLE
⊕	TRANSFORMER
⊗	IRRIGATION CONTROL VALVE
⊙	CLEANOUT
⊕	SIW
⊗	POND INLET
⊙	MEDIAN INLET
⊕	GUARD POST
⊗	TREE
⊙	HANDICAP PARKING SPACE
⊕	CURB AND GUTTER
⊗	OVERHEAD UTILITY LINE
⊙	GAS LINE
⊕	WATER LINE
⊗	TELEPHONE LINE
⊙	WATER METER
⊕	FIRE HYDRANT
⊗	GAS METER
⊙	SANITARY SEWER MANHOLE
⊕	UNKNOWN METAL LID
⊗	UNKNOWN BLUESTAKE
⊙	UNKNOWN MANGLE



1801 Randolph Rd., SE

ADDRESS: 1801 RANDOLPH RD., SE
 LEGAL DESCRIPTION: SEE SURVEY
 ZONE ATLAS: M-16
 BUILDING AREA:
 GROUND LEVEL: 30320 SF
 2nd FLOOR: 25630 SF
 3rd FLOOR: 25630 SF
 TOTAL: 81580 SF
 CONSTRUCTION TYPE: II-B
 SPRINKLERED: YES
 FIRE FLOW: 3000 GPM (50% REDUCTION)
 BUILDING HEIGHT: 42'
 HYDRANTS REQ'D: 3

- ### NOTES
- EXISTING BUILDING IS FULLY SPRINKLERED.
 - ALL RADII ALONG FIRE LANE SHALL BE 28'.
 - BUILDING AND GATES SHALL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
 - FIRE ACCESS LANE SHALL BE MARKED "FIRE LANE" ON EAST SIDE OF ACCESS.
 - ALL ACCESS ROADS ARE PAVED ASPHALT CAPABLE OF SUPPORTING FIRE APARATUS OF 75,000 LBS..
 - NO ROADWAY ACCESS SLOPE EXCEEDS 10% GRADE.
 - FIRE DEPARTMENT CONNECTION IS WITHIN 100 FT OF A HYDRANT.

LEGEND

—	PROPERTY LINE
- - -	MARKED FIRE ACCESS
▨	FIRE APPARATUS ACCESS & LAYDOWN AREAS

12/1/16
 * EXISTING BUILDING - NO ADDITIONAL SCOUR COATING WILL BE ADDED - EXISTING EMERGENCY VEHICLE ACCESS LIKE MONROA AFD 12/1/16

F1 FIRE ONE PLAN
 SCALE: 1:30

2415 PRINCETON DR. NE, SUITE G-2
 ALBUQUERQUE, NM 87107
 505.843.7587
 www.designplusllc.com

DESIGN PLUS LLC

1801 RANDOLPH RENOVATION
 1801 RANDOLPH ROAD, SE

DATE: 9/13/2016

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CAD DWG FILE:

DRAWN BY: REB

CHECKED BY: REB

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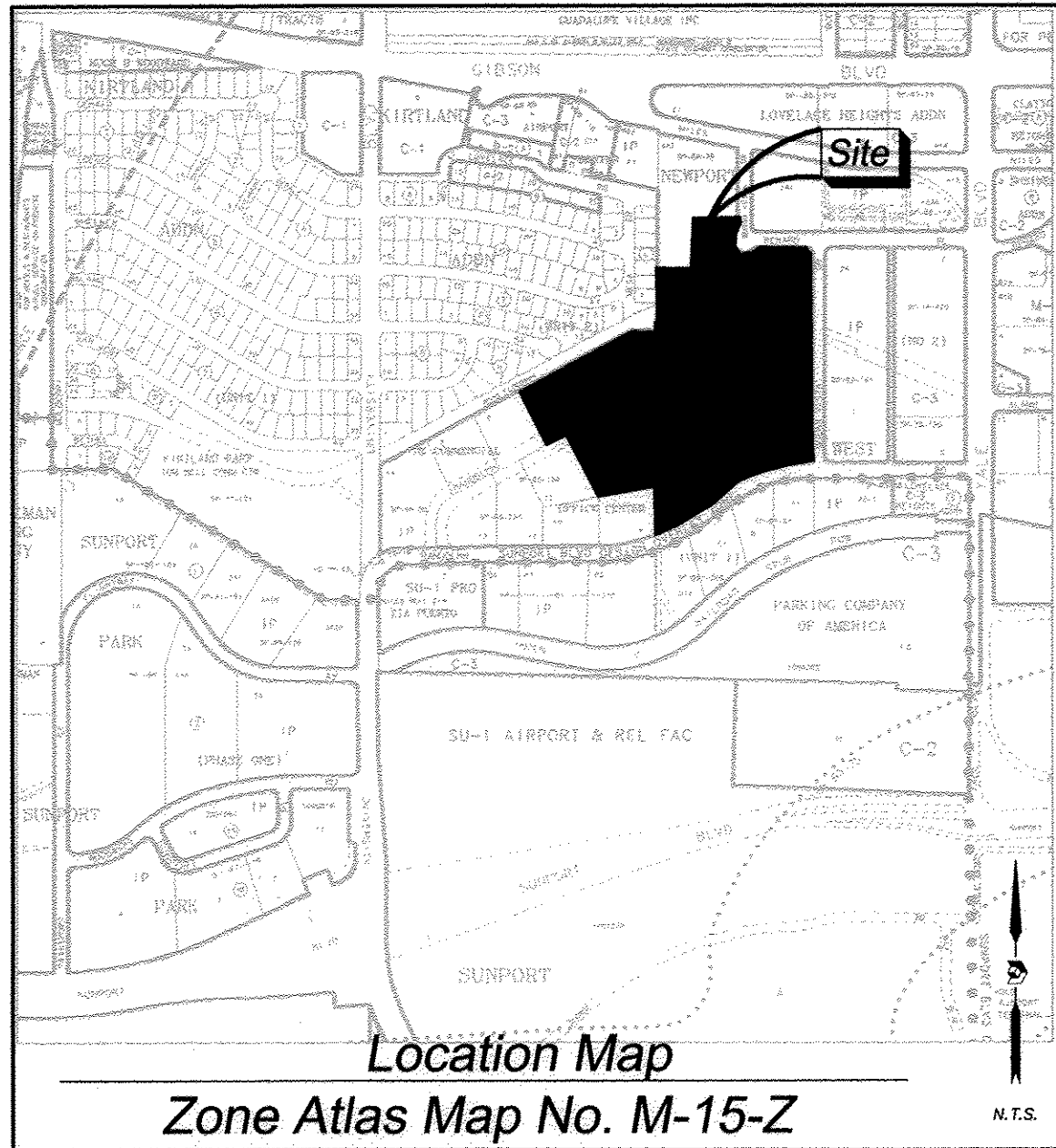
SHEET TITLE

FIRE ONE PLAN

F-101

SHEET ___ OF ___

AGI
 P.O. Box 92377
 Albuquerque, NM 87199
 Tel. 505.235.7596, 505.470.2895
 Contact: Robert E. Bookwalter, PE



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 03 EAST, N.M.P.M. COMPRISING OF TRACTS 2-A AND 2-B-1 AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLATS THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 1, 1986 IN BOOK C32, PAGE 74 AND ON AUGUST 14, 1987 IN BOOK C34, PAGE 95, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE NAD-1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHERN MOST POINT OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF BUENA VISTA DRIVE, S.E., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "7_L15" BEARS N 16°47'38" E, A DISTANCE OF 3545.44 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID WEST RIGHT OF WAY LINE, S 00°11'40" W, A DISTANCE OF 38.83 FEET TO A POINT OF CURVATURE;

THENCE CONTINUING ALONG SAID WEST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 24.21 FEET, AN ARC LENGTH OF 21.50 FEET, A DELTA ANGLE OF 50°53'10", A CHORD BEARING OF S 24°37'40" W, AND A CHORD LENGTH OF 20.80 FEET, TO A POINT OF NON-TANGENT CURVATURE, MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "LS 6401";

THENCE CONTINUING ALONG SAID WEST RIGHT OF WAY LINE, ALONG A NON-TANGENT REVERSE CURVE TO THE LEFT, HAVING A RADIUS OF 60.02 FEET, AN ARC LENGTH OF 198.32 FEET, A DELTA ANGLE OF 189°19'33", A CHORD BEARING OF S 45°00'51" E, AND A CHORD LENGTH OF 119.64 FEET, TO A POINT OF REVERSE CURVATURE, MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP "3243";

THENCE ALONG THE SOUTH RIGHT OF WAY LINE OF RERNARD PLACE S.E., ALONG A REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 25.15 FEET, AN ARC LENGTH OF 21.60 FEET, A DELTA ANGLE OF 49°13'15", A CHORD BEARING OF N 64°54'27" E, AND A CHORD LENGTH OF 20.94 FEET, TO AN ANGLE POINT, MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP "4078";

THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, S 89°59'39" E, A DISTANCE OF 215.50 FEET, TO A POINT OF CURVATURE MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP "10464";

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.18 FEET, AN ARC LENGTH OF 39.38 FEET, A DELTA ANGLE OF 89°36'05", A CHORD BEARING OF S 44°50'49" E, AND A CHORD LENGTH OF 35.49 FEET, TO A POINT LYING ON THE WEST RIGHT OF WAY LINE OF BUENA VISTA DRIVE S.E., MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP "LS 6401";

THENCE ALONG SAID WEST RIGHT OF WAY LINE, S 00°28'17" W, A DISTANCE OF 891.72 FEET TO A POINT OF CURVATURE, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 38.72 FEET, A DELTA ANGLE OF 88°43'58", A CHORD BEARING OF S 45°16'07" W, AND A CHORD LENGTH OF 34.96 FEET, TO A POINT LYING ON THE NORTH RIGHT OF WAY LINE OF RANDOLPH ROAD, S.E., MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP (ILLEGIBLE);

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°52'55" W, A DISTANCE OF 8.25 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO 5 REBAR WITH PLASTIC CAP "LS 6401";

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 582.39 FEET, AN ARC LENGTH OF 351.32 FEET, A DELTA ANGLE OF 34°33'49", A CHORD BEARING OF S 72°41'37" W, AND A CHORD LENGTH OF 346.02 FEET, TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 55°21'57" W, A DISTANCE OF 224.12 FEET, TO A POINT OF CURVATURE, MARKED BY A FOUND CHISELED "X" ON FACE OF CURB;

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 698.76 FEET, AN ARC LENGTH OF 148.96 FEET, A DELTA ANGLE OF 12°12'50", A CHORD BEARING OF S 61°31'02" W, AND A CHORD LENGTH OF 148.68 FEET, TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "5110";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°12'00" E, A DISTANCE OF 216.61 FEET TO AN ANGLE POINT, MARKED BY A FOUND CHISELED "X";

THENCE S 79°30'43" W, A DISTANCE OF 243.07 FEET, TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND 60 D NAIL SET IN A RAILROAD TIE;

THENCE N 27°42'36" W, A DISTANCE OF 304.51 FEET TO AN ANGLE POINT, MARKED BY A FOUND NO 5 REBAR WITH YELLOW PLASTIC CAP "LS 6401";

THENCE S 62°36'05" W, A DISTANCE OF 93.75 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR (BENT);

THENCE N 27°22'32" W, A DISTANCE OF 250.28 FEET TO THE WESTERNMOST CORNER OF DESCRIBED TRACT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "LS 6401";

THENCE N 62°36'08" E, A DISTANCE OF 576.82 FEET, TO A POINT OF CURVATURE MARKED BY SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 707.93 FEET, AN ARC LENGTH OF 14.49 FEET, A DELTA ANGLE OF 01°10'22", A CHORD BEARING OF N 63°17'38" E, AND A CHORD LENGTH OF 14.49 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "LS 6401";

THENCE S 86°26'38" E, A DISTANCE OF 62.30 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR;

THENCE N 00°21'10" W, A DISTANCE OF 263.16 FEET TO AN ANGLE POINT, MARKED BY SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 88°30'16" E, A DISTANCE OF 146.13 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "LS 6401";

THENCE N 00°00'17" E, A DISTANCE OF 220.00 FEET TO AN ANGLE POINT MARKED BY SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°59'25" E, A DISTANCE OF 197.00 FEET TO THE POINT OF BEGINNING, CONTAINING 22.6409 ACRES (986,217 SQUARE FEET) MORE OR LESS, NOW COMPRISING OF TRACT 2-A-1 AND 2-B-1-A, NEWPORT INDUSTRIAL PARK WEST UNIT 1.

Plat of
Tracts 2-A-1 and 2-B-1-A
Newport Industrial Park West, Unit 1
 Section 33, Township 10 North, Range 3 East
 New Mexico Principal Meridian
 City of Albuquerque, Bernalillo County, New Mexico
 September 2016

Project No. _____

Application No. **16DRB-**_____

Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE

City Approvals

<i>Soren N. Risenhoover</i> P.S. CITY SURVEYOR	9/12/16 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

Subdivision Data:

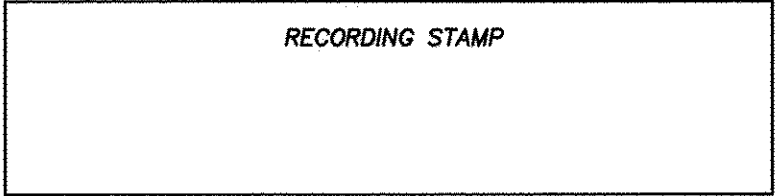
GROSS SUBDIVISION ACREAGE: 22.6446 ACRES±
 ZONE ATLAS INDEX NO: M-15-Z
 NO. OF TRACTS CREATED: 2
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JUNE 28, 2016

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO TWO NEW TRACTS

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES--US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 03 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.



Public Utility Easements

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.**
 - NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.**
 - QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.**
 - CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.**

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Mitar M

9/15/16

J.R. ORTON III,
 MANAGER,
 AOC NEW MEXICO, LLC

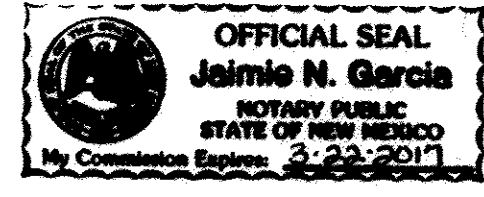
Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF September, 2016 BY J.R. ORTON III, MANAGER, AOC NEW MEXICO, LLC

Jaimie N. Garcia
 NOTARY PUBLIC

MY COMMISSION EXPIRES: 3-22-2017



Larry W. Medrano
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 9/16/16
 DATE



OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

505.856.5700 PHONE
 505.856.7900 FAX

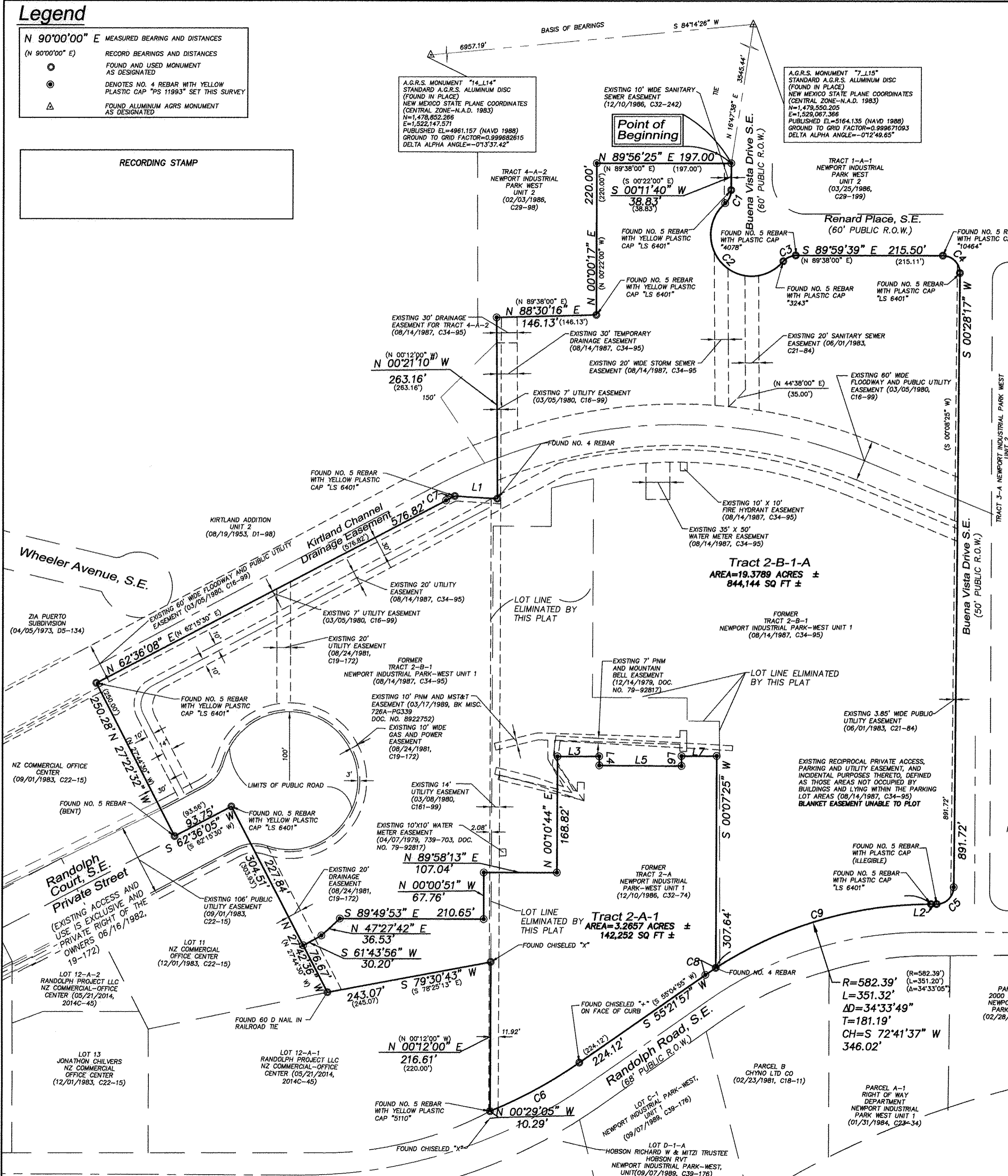
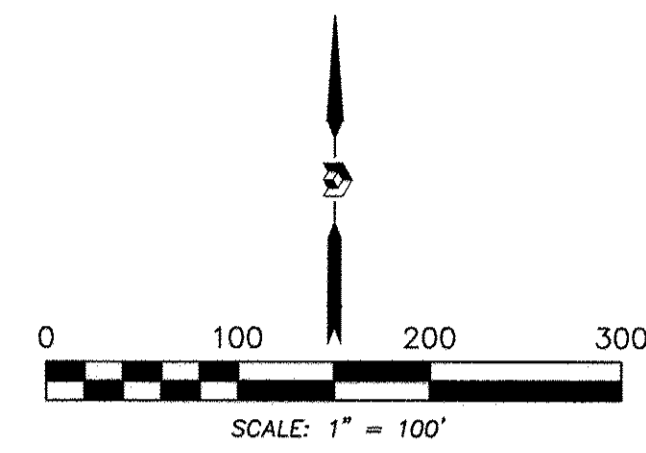
INDEXING INFORMATION FOR COUNTY CLERK
 OWNER AOC NEW MEXICO LLC
 SECTION 33, TOWNSHIP 10 N., RANGE 03 E.
 UPC NO. 101-505-539-140-410-408 (TR. 2-B-1)
 UPC NO. 101-505-539-140-410-407 (TR. 2-A)
 SUBDIVISION NEWPORT INDUSTRIAL PARK-WEST UNIT 1

Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
(N 90°00'00" E)
- RECORD BEARINGS AND DISTANCES
AS DESIGNATED
- FOUND AND USED MONUMENT
AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW
PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT
AS DESIGNATED

RECORDING STAMP

Plat of
Tracts 2-A-1 and 2-B-1-A
Newport Industrial Park West, Unit 1
 Section 33, Township 10 North, Range 3 East
 New Mexico Principal Meridian
 City of Albuquerque, Bernalillo County, New Mexico
 September 2016



Line Table

LINE	BEARING	DISTANCE
L1	S 86°26'38" E	62.30'
	(S 89°48'00" W)	(59.93')
L2	S 89°52'55" W	8.25'
	(S 89°38'00" W)	(8.22')
L3	S 89°48'08" W	61.13'
L4	N 00°12'19" W	13.25'
L5	N 89°42'12" W	120.47'
L6	S 00°12'19" E	14.31'
L7	N 89°47'41" E	51.59'

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	24.21'	21.50'	50°53'10"	11.52'	20.80'	S 24°37'40" W
	(25.00')	(21.68')	(49°40'47")	(11.57')	(21.00')	(S 24°28'24" W)
C2	60.02'	198.32'	189°19'33"	735.82'	119.64'	S 45°00'51" E
	(60.00')	(198.30')	(189°21'33")	(735.82')	(119.60')	(S 45°22'00" E)
C3	25.15'	21.60'	49°13'15"	11.52'	20.94'	N 64°54'27" E
	(25.00')	(21.88')	(49°40'47")	(11.57')	(21.00')	(N 64°47'36" E)
C4	25.18'	39.38'	89°36'05"	25.01'	35.49'	S 44°50'49" E
	(25.00')	(39.49')	(90°30'25")	(25.22')	(35.51')	(S 45°06'47" E)
C5	25.00'	38.72'	88°43'58"	24.45'	34.96'	S 45°16'07" W
	(25.00')	(39.05')	(89°29'35")	(24.78')	(35.20')	(S 44°53'12" W)
C6	698.76'	148.96'	127°12'50"	74.76'	148.68'	S 61°12'08" W
	(697.35')	(149.02')	(127°14'39")	(74.80')	(148.74')	(S 61°12'08" W)
C7	707.93'	14.49'	1°10'22"	7.25'	14.49'	N 83°17'38" E
	(707.93')	(14.48')	(1°10'13")	(7.25')	(14.48')	(N 82°50'36" E)
C8	582.39'	18.33'	1°48'13"	9.17'	18.33'	S 56°18'49" W
	(582.39')	(18.33')	(1°48'13")	(9.17')	(18.33')	(S 56°18'49" W)
C9	582.39'	332.99'	32°45'36"	171.19'	328.47'	S 73°35'44" W

Notes

- TRACTS 2-A AND 2-B SHARE AN EXISTING RECIPROCAL PRIVATE ACCESS, PARKING AND UTILITY EASEMENT. THIS EASEMENT SHALL BE DEFINED AS THOSE AREAS NOT OCCUPIED BY BUILDINGS AND SHALL LIE WITHIN THE PARKING LOT AREAS. EASEMENT SHALL BE MAINTAINED EQUALLY BY THE OWNERS OF EACH TRACT.
- TRACTS 2-A AND 2-B SHARE EXISTING RECIPROCAL DRAINAGE EASEMENTS FOR THE PURPOSE OF CONVEYING THAT DRAINAGE TO THE EXISTING CONCRETE DRAINAGE CHANNEL. CONVEYANCE WILL TAKE PLACE VIA PAVE SURFACES AND DRAINAGE SWALES AND CHANNELS, AND WILL CONSTITUTE PRIVATE DRAINAGE EASEMENTS. MAINTENANCE OF SAID EASEMENTS SHALL BE MAINTAINED BY THE OWNERS OF EACH TRACT.
- ACCESS FROM TRACT 2B TO LOTS 5, 6, AND 7 AND SPENCE AVENUE/MESA DRIVE OF THE KIRTLAND ADDITION IS PROHIBITED.
- TRACT 2-B SHALL ACCEPT DRAINAGE FROM TRACT 4-A-2 AS NOTED ON PLAT FIELD FEBRUARY 3, 1986, BOOK C-29, PAGE 96.



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 SECTION 33, TOWNSHIP 10 N, RANGE 03 E,
 UPC NO. 101-505-539-140-410-408 (TR. 2-B-1)
 UPC NO. 101-505-539-140-410-407 (TR. 2-A)
 SUBDIVISION, NEWPORT INDUSTRIAL PARK-WEST UNIT 1