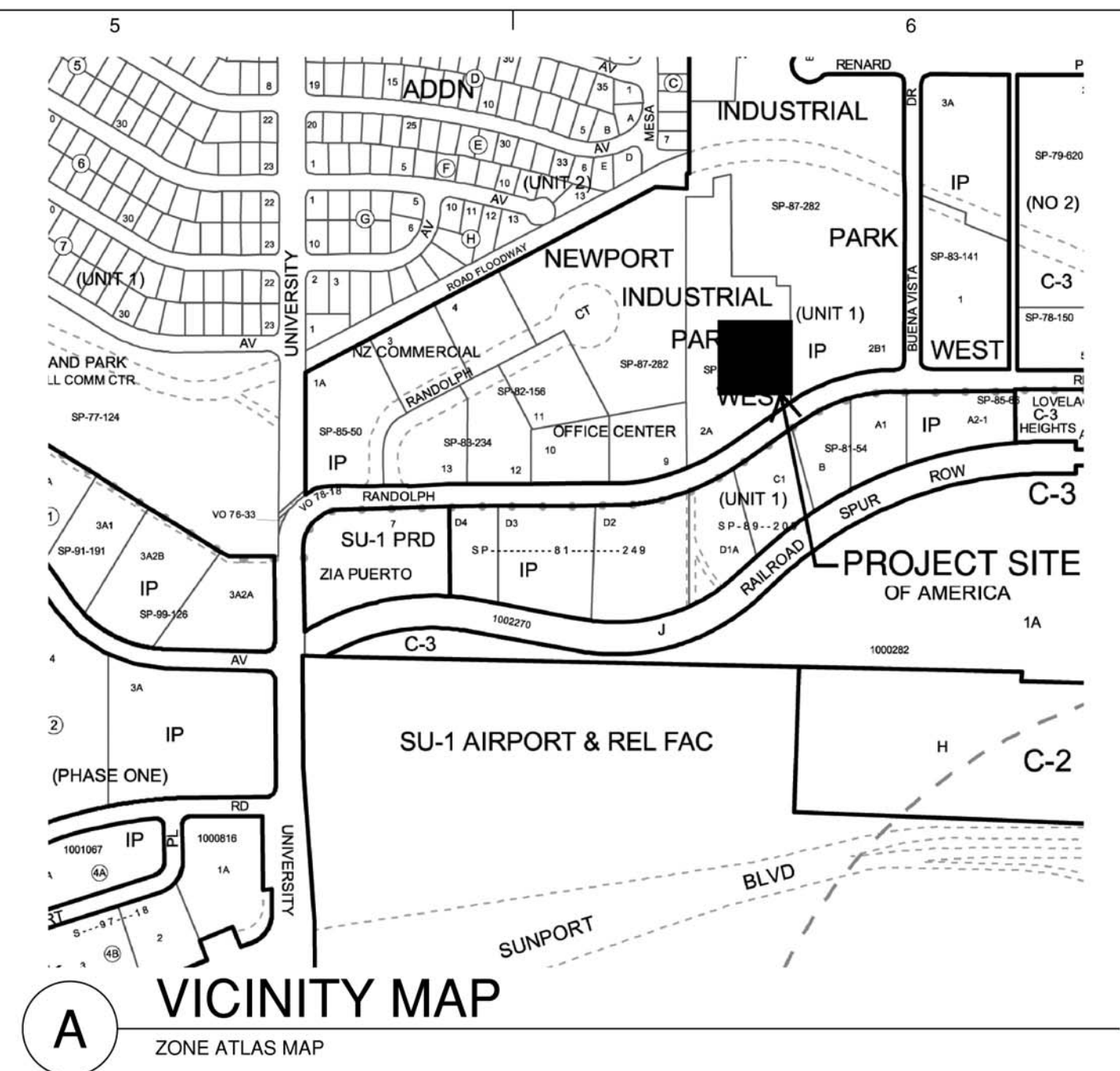
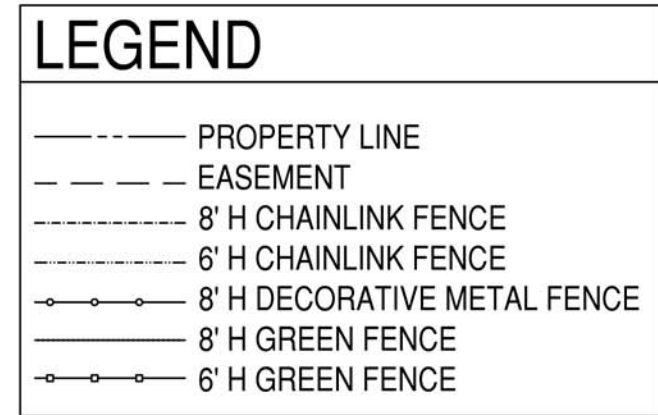


**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_  
**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
UTILITIES DEVELOPMENT	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
CITY ENGINEER	DATE _____
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE _____
SOLID WASTE MANAGEMENT	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

**A SITE PLAN**  
 SCALE: 1" = 30'-0"



**Parking Calculation for Site Development Plan for Building Permit**

Use	UNIT	RATIO	REQUIRED	PROVIDED
Hospital	68 Clients	1 Space/2 Clients	34	60
	Additional Staff Spaces	N/A	N/A	29
	Visitor Spaces	N/A	N/A	10
<b>Total Parking</b>			<b>34</b>	<b>99</b>
Motorcycle Spaces		3 spaces per 51-100 auto	3	4
Bicycle		1 space per 20 auto	2	4
ADA Spaces Required		4 spaces per 51-100 auto	4	5

- GENERAL NOTES**
- ALL EXISTING STRUCTURES, PAVING, FENCING, WALLS, FOUNDATIONS, SIDEWALKS SHOWN HERE ARE TO REMAIN.
  - ACCESSIBLE CURB CUTS AND RAMPS PROVIDED THROUGHOUT SITE.
  - SEE PLAN FOR ALL EASEMENTS.
  - ALL WALLS AND FENCES SHALL CONFORM TO THE REQUIREMENTS OF THE GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS OF THE ZONING CODE EXCEPT AS NOTED BY KEYED NOTES 31, 32, 33

- SHEET INDEX:**
- |         |   |
|---------|---|
| SDP 1.0 | SITE DEVELOPMENT PLAN FOR BUILDING PERMIT |
| SDP 2.0 | LANDSCAPE PLAN                            |
| SDP 3.0 | CONCEPTUAL GRADING & DRAINAGE             |
| SDP 4.0 | UTILITY PLAN                              |
| SDP 5.0 | ELEVATIONS                                |
| SDP 5.1 | ELEVATIONS                                |
| SDP 5.2 | SITE DEVELOPMENT DETAILS                  |

- KEYED NOTES**
- PROPERTY LINE, TYP
  - EXISTING LANDSCAPING TO REMAIN
  - EXISTING PARKING LOT AREA LIGHT TO REMAIN
  - EXISTING CONCRETE SIDEWALK TO REMAIN
  - NEW CONCRETE SIDEWALK, WIDTH PER PLAN, PER COA STD. DWG. 2430.
  - EXISTING RETAINING WALLS TO REMAIN. HEIGHT VARIES. REFER TO BUILDING ELEVATIONS.
  - EXISTING FIRE HYDRANT
  - EXISTING BRICK PAVED RAMP (1:20 SLOPE MAX)
  - EXISTING LOADING DOCK TO REMAIN
  - ACCESSIBLE PARKING SPACE, 8' W. x 20' L. SPACE W/ 5' W. AISLE. (TOTAL OF 3)
  - ACCESSIBLE VAN PARKING, 9' W. x 20' L. SPACE W/ 9' W. AISLE. (TOTAL OF 2)
  - STANDARD EXISTING PARKING SPACE, 8' W. x 20' L., TYP. (TOTAL OF 93)
  - EXISTING CONCRETE STAIRS WITH HANDRAIL TO REMAIN.
  - BUILDING ON ADJACENT PROPERTY (MORE THAN 20' FROM PROPERTY LINE)
  - MOTORCYCLE SPACE, 4' W. x 8' L. MIN., TYP.
  - EXISTING REFUSE CONTAINERS AND ENCLOSURE
  - NEW GROUND MONUMENT SIGN. REFER TO A2/SDP 5.3
  - EXISTING ELEVATED PLANTER
  - UTILITY EASEMENT
  - EXISTING TRANSFORMER ON CONCRETE PAD
  - EXISTING MECHANICAL UNITS
  - NEW ADA CURB RAMP PER COA STANDARD DETAIL 2440.
  - EXISTING CONCRETE OR ASPHALT PAVING TO REMAIN
  - NEW STANDARD CURB AND GUTTER PER COA STANDARD DETAIL 2415A
  - EXISTING STRIPED AREA ON ASPHALT FOR EMERGENCY VEHICLE PARKING AND LOADING ONLY.
  - NEW 12' HIGH POLE-MOUNTED LIGHT FIXTURE. REFER D2/SDP 5.3
  - NEW 4,709 SF "SENSORY" PLAY AREA WITH WOOD CHIP OR RECYCLED RUBBER TILE SURFACE

- NEW 5,497 SF "ACTIVE" PLAY AREA WITH BASKETBALL GOAL (PORTABLE) OVER EXISTING ASPHALT PAVING.
- NEW 12,860 SF ACTIVITY AREA WITH PLAY EQUIPMENT OVER WOOD CHIP OR RECYCLED RUBBER TILE SURFACE
- EXISTING METAL BIKE RACK TO REMAIN
- 5' WIDE MINIMUM LANDSCAPE SETBACK WITH 6' HIGH (MAX 8'H PER KEY) FENCING WITH PLANTED VINES. REFER TO A4/SDP 5.3
- CHAIN LINK FENCE, MINIMUM 6' HIGH, MAX 8' HIGH PER KEY. GREEN COATED FINISH. REFER TO D4/SDP 5.3
- NEW ORNAMENTAL 8' HIGH MAX. METAL FENCE WITH BLACK PAINTED FINISH. REFER TO B4/SDP 5.3
- 4' WIDE BY 8' HIGH DECORATIVE METAL GATE TO MATCH NEW DECORATIVE METAL FENCE
- 4' WIDE BY 8' HIGH CHAINLINK FENCE GATE TO MATCH NEW CHAINLINK FENCE
- PAIR 20' WIDE BY 8' HIGH CHAINLINK PAIR GATE FOR VEHICULAR ACCESS TO EXISTING LOADING DOCK AREA. GATE TO MATCH NEW CHAINLINK FENCE.
- NEW 5' WIDE LANDSCAPE BUFFER ON THE PUBLIC/STREET SIDE OF NEW FENCING. REFER TO LANDSCAPE PLAN ON SDP 2
- NEW PICNIC AREA WITH CRUSHER FINE OVER BASE COURSE
- NEW 24" HIGH MAX INTERLOCKING LANDSCAPE BLOCK RETAINING WALL. COLOR TO BE TAN.
- NEW PICNIC TABLES AND BENCHES BY OWNER.
- REFUSE CONTAINERS IN LOADING DOCK AREA
- REMOVE 8' W MIN PORTION OF LANDSCAPED AREA TO INFILL NEW CONCRETE SIDEWALK SECTION BETWEEN EXISTING CONCRETE CURB AND GUTTER.
- ACCESSIBLE PARKING SIGNS, MOTORCYCLE PARKING SIGNS, OR BICYCLE PARKING SIGNS. REFER TO C5/SDP 1.2
- NEW 15' X 20' PICNIC AREA WITH MULCH GROUND COVER

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**DESIGN PLUS LLC**

BERNALILLO ACADEMY  
 1801 RANDOLPH RD SE  
 ALBUQUERQUE, NEW MEXICO

DATE: 10/12/2016

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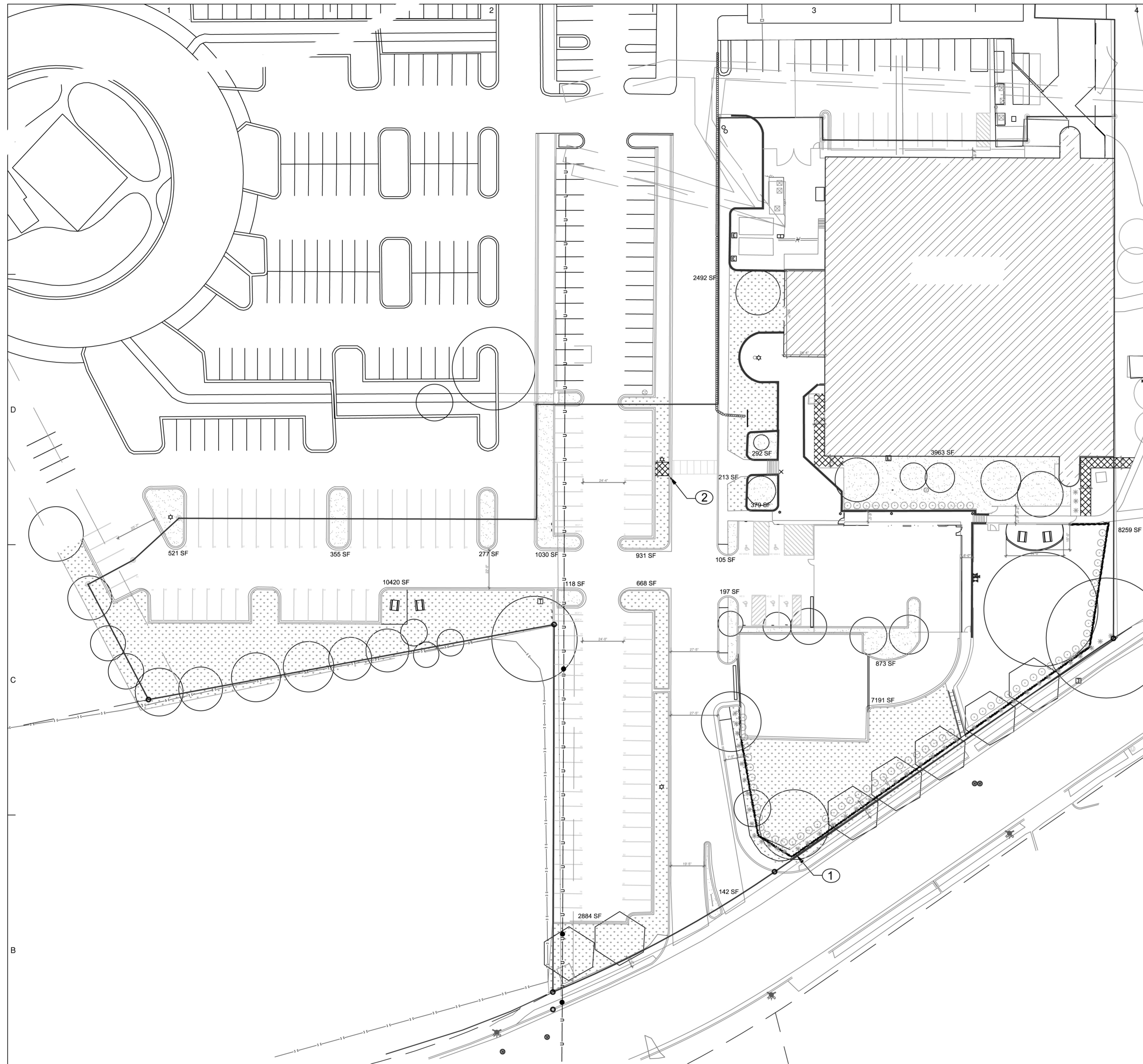

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SHEET TITLE  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

V.3  
 SDP 1.0  
 SHEET \_\_\_ OF \_\_\_





**LANDSCAPE CALCULATIONS**

SITE AREA: 142,158SF  
 BUILDING FOOTPRINT AREA: 30,320SF  
 BUILDING TOTAL AREA: 83,323SF  
 NET SITE AREA: 111,838SF

REQUIRED LANDSCAPE AREA: 16,775SF(15% OF NET LOT AREA)  
 PROVIDED LANDSCAPE AREA: 42,018SF  
 PROVIDED HIGH WATER USE TURF AREA: 33,058SF(81%)

TREES PER PARKING SPACES REQUIRED: 1 TREE/10 PARKING SPACES  
 TOTAL NUMBER OF PARKING SPACES: 99 SPACES  
 REQUIRED NUMBER OF PARKING LOT TREES: 10  
 PROVIDED NUMBER OF PARKING LOT TREES: 21

**LEGEND**

SYMBOL	AREA	DESCRIPTION
○	n/a	Existing trees to remain.
▨	33058 SF	Existing turf to remain.
▩	7960 SF	Existing planting beds to remain.

**KEYED NOTES**

- ① Fencing with vine planting. See Fencing Planting Enlargement.
- ② New 8' wide concrete sidewalk.

**GENERAL NOTES**

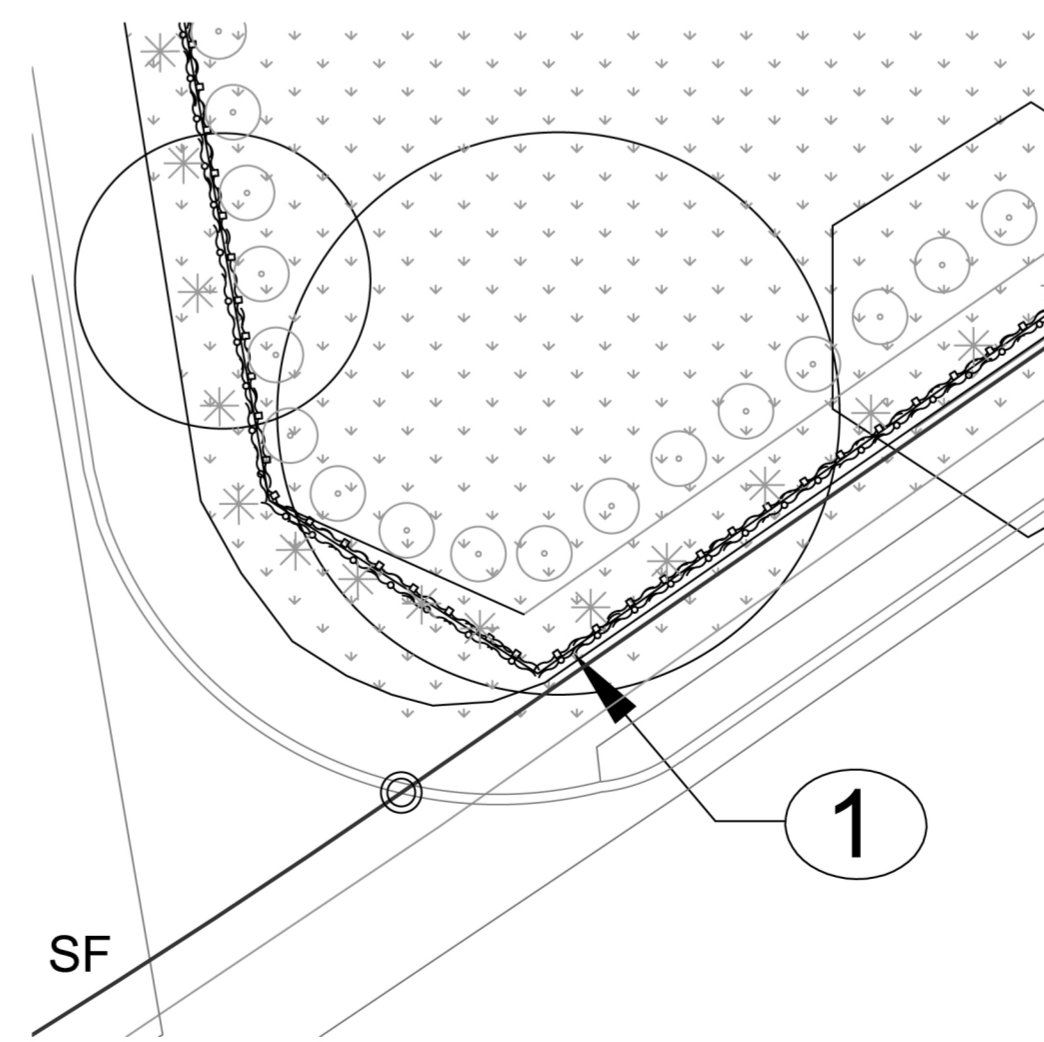
- A. Contact the local underground utility services for utility location and identification.
- B. Refer to civil engineer's utility, easement and grading plans for utility location, existing and proposed easements and grading.
- C. See site plan for descriptions of elements such as site furnishings, paving materials and other site elements.

**IRRIGATION NOTES**

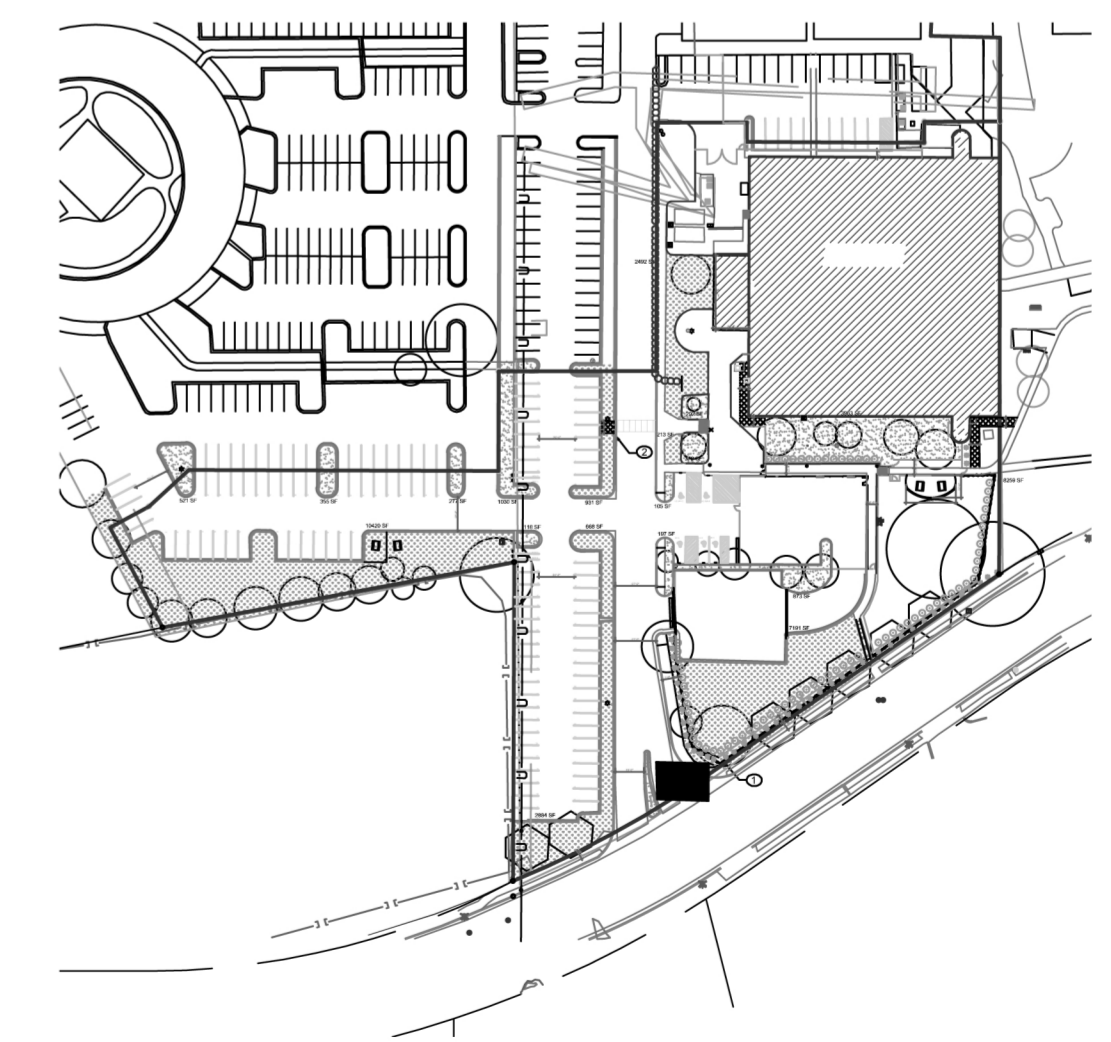
- 1. Irrigation design shall comply with the intent of the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance.
- 2. Installation and maintenance of irrigation shall be the responsibility of the property owner.
- 3. The irrigation system shall be operated with a fully automated smart controller. Run times shall be adjusted according to season, location, and plant performance. Drip emitters shall be used for all plant material.
- 4. The contractor shall design an irrigation system to permanently irrigate the planting plan as noted. The plan shall include a piping and emitter layout, pipe sizing, valve locations, valve schedule and construction details. The contractor shall submit the irrigation system design to the architect for approval prior to installation.
- 5. Emitters to be placed uphill from plant center.
- 6. Piping: Minimum allowable PVC size is 3/4". All lateral piping to be schedule 40 class pipe.
- 7. Emitters to be placed uphill from plant center.
- 8. Emitters quantities and flow rates as follows:  
 Trees-quantity 5 emitters @ 2gph each  
 Shrubs-quantity 2 emitters @ 2gph each  
 Ornamental Grasses, Perennials, Accents-quantity 1 emitter @ 2gph each

**PLANTING NOTES**

- 1. The design intent of the site is to occupy the site as is with a planting plan that maximizes the existing turf grass and established trees. It takes into account the sensory acuteness of the children attending the facility while providing privacy screening and landscape buffer of the outdoor activity areas from the public's view.
- 2. Planting plan complies with the City of Albuquerque's Water Conservation, Landscaping and Water Waste Ordinance, and section 14-16-3-10 of the City of Albuquerque's General Regulations for proposed planting as shown in Plant Legend.
- 3. Planting plan complies with the City of Albuquerque's clear sight triangle at exits and street corners as per section 8-2-2-15 of the Traffic Code, and section 14-16-1-5 of the Zoning Code.
- 4. Street Trees meet the requirements of the City of Albuquerque's Zoning Code section 14-16-3-10 Street Trees.
- 5. Contractor shall verify plant counts and square footages. This information is provided as information only. If quantities on plant list differ from plan indications, plan quantities shall prevail.
- 6. Exact location of plant materials shall be approved by architect in the field prior to installation. The architect reserves the right to adjust plant placement in the field.
- 7. Biological soil amendment such as Soil Secrets or approved equal shall be applied over planting pits during installation and again after the warranty period. Amendment quantities based on two applications shall be determined as follows:  
 Each Tree: 78.5SF  
 Each 5 Gallon Plant: 28SF  
 Each 1 Gallon Plant: 12SF
- 8. Plants shall bear the same relation to finished grade as in original nursery condition.
- 9. All landscaped areas shall be covered with rock mulch and filter fabric in order to minimize weed growth, add visual interest and protect soil moisture. See Legend.
- 10. Planting beds shall achieve a minimum 75% live vegetative coverage upon plant maturity as per City of Albuquerque requirements.



**Fencing Planting Enlargement**  
 Bernalillo Academy NTS



**Landscape Plan Enlargement**  
 Key Map NTS

**Landscape Plan**  
 Bernalillo Academy 1:30

**PLANT LEGEND**

Trees							
SYMBOL	QTY	INSTALLED SIZE	COMMON NAME	BOTANNICAL NAME	HEIGHT	WIDTH	WATER USE
○	7	2"-Cal Single Trunk	CHINESE PISTACHE	<i>Pistacia chinensis</i>	30.00	30.00	Medium Water Use
Vines							
SYMBOL	QTY	INSTALLED SIZE	COMMON NAME	BOTANNICAL NAME	HEIGHT	WIDTH	WATER USE
—○—	119	1-Gal	MAJOR WHEELER	<i>Lonicera sempervirens</i>	10.00	4.00	Low Water Use
—○—	125	1-Gal	HONEYSUCKLE VINE	<i>Gelsemium sempervirens</i>	10.00	4.00	Low Water Use

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 The New Mexico Water Collaborative  
 1751 Bellamah NW, #1101  
 Albuquerque, NM 87104  
 BERNALILLO ACADEMY  
 1801 RANDOLPH RD SE  
 ALBUQUERQUE, NEW MEXICO

DATE: 10/12/2016

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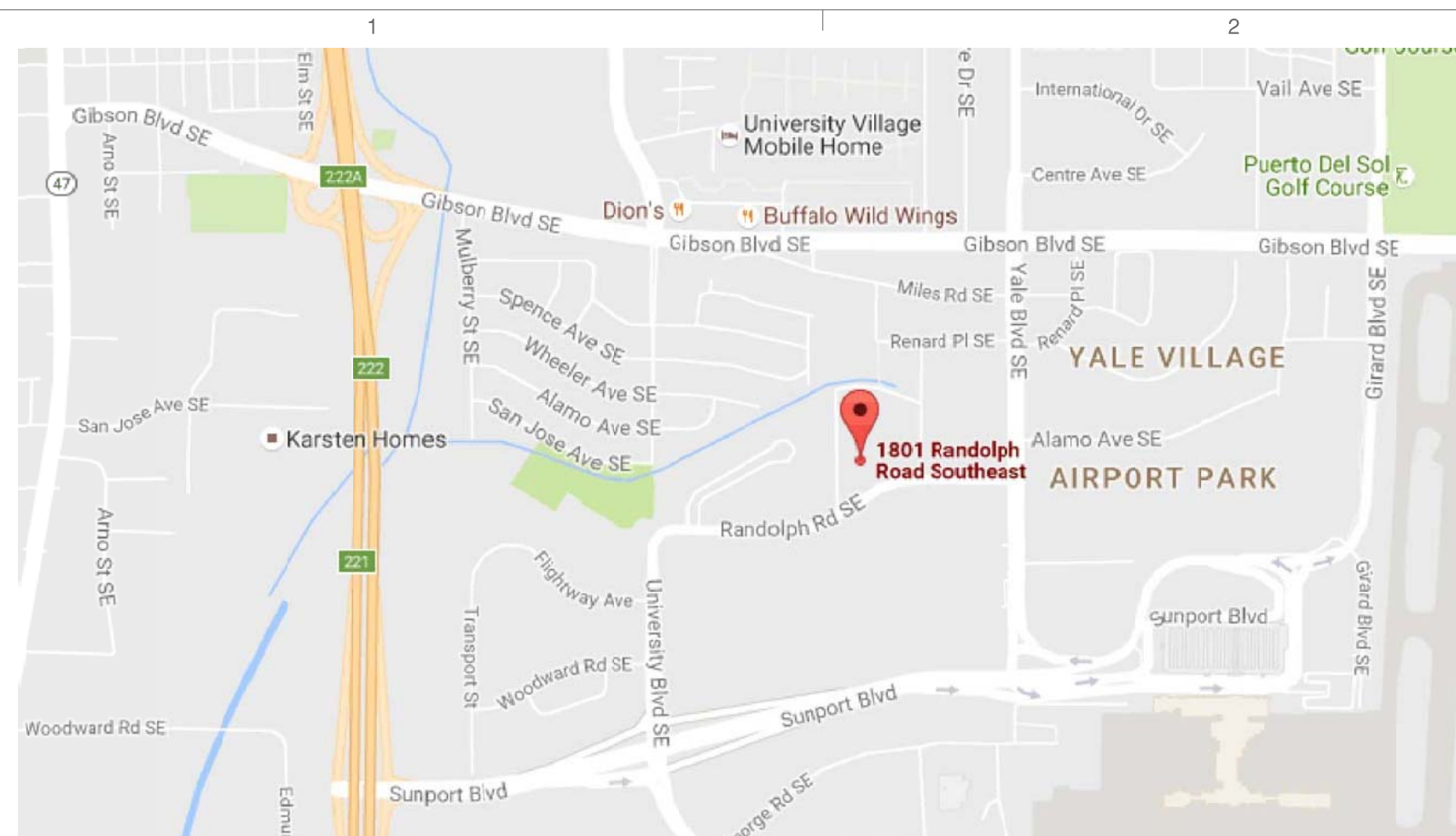
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LANDSCAPE PLAN

SDP 2.0 V3

SHEET 1 OF 1

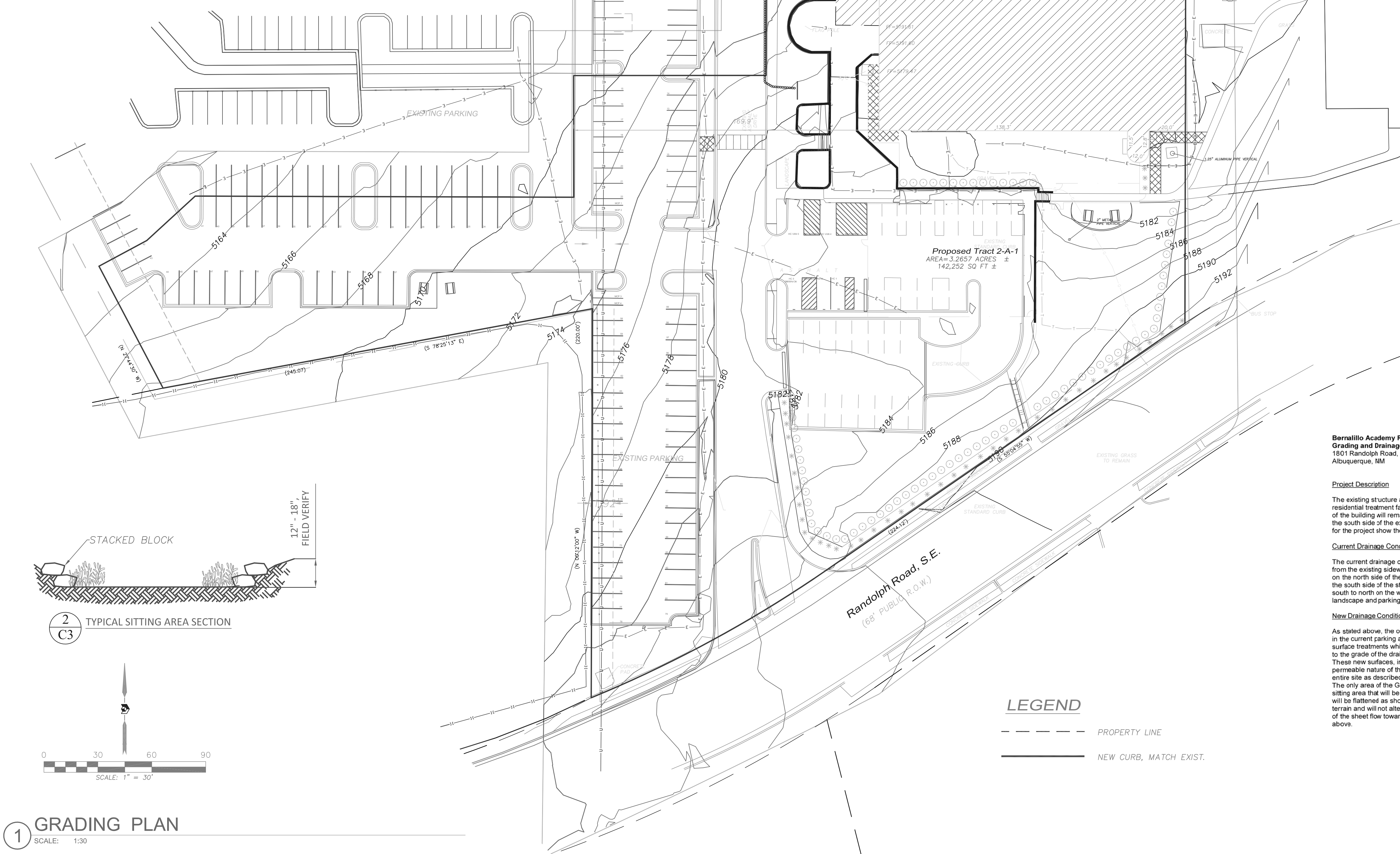




Vicinity Map

**GRADING NOTES**

1. THE SITE IS TO REMAIN PREDOMINATELY UNCHANGED WITH THE EXCEPTION OF THE ADDITION OF ALTERNATIVE GROUND COVER METHODS AS DESCRIBED IN THE LANDSCAPE PLAN AND A SMALL SITTING AREA AS SHOWN ON THE PLAN. IN ADDITION, AN ACCESS ROAD NEAR THE NORTH WEST CORNER OF THE BUILDING WILL BE ADDED CONSISTING OF THE REMOVAL OF AN EXIST. WALL SECTION AND THE CONSTRUCTION OF NEW CURB AND GUTTER DRIVEWAY EDGE AND THE PAVING OF THIS AREA WITH ASPHALT TO MATCH EXIST..
2. THE RE-GRADING OCCURS AT THE SOUTH EDGE OF THE CONCRETE SIDEWALK TO THE SOUTH OF THE EXISTING BUILDING. THIS RE-GRADING IS A SMALL SITTING AREA WHICH WILL BE DEMARCATED WITH STACKED STONE AROUND THE PERIMTER OF THE SITTING AREA.
3. NO ADDITIONAL DRAINAGE RUNOFF WILL BE CREATED BY THE PROPOSED LANDSCAPING CHANGES. ALL EXISTING RUNOFF WILL FOLLOW EXSTING CONTOURS TO EXISTING RETENTION AREAS.
4. NEW CURB CONSTRUCTION SHALL BE 8" STANDARD CURB & GUTTER PER COA STANDARD DETAILS.

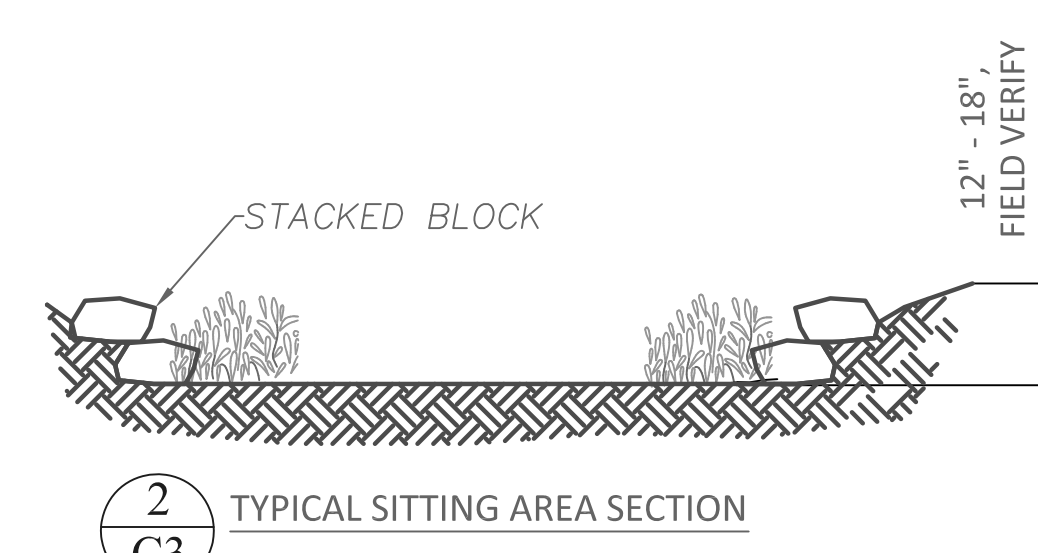


EXISTING BUILDING  
 1801 RANDOLPH ROAD, S.E.  
 AREA OF EXTERIOR FOOT PRINT AT GROUND LEVEL = 30,392 SQ FT ±  
 TOTAL BUILDING = 83,323 SQ FT ±

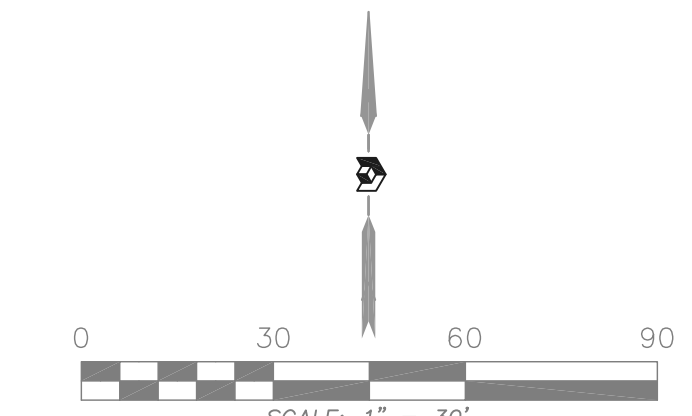
Proposed Tract 2-A-1  
 AREA = 3.2657 ACRES ±  
 142,252 SQ FT ±

**LEGEND**

- - - - - PROPERTY LINE
- NEW CURB, MATCH EXIST.



2  
C3 TYPICAL SITTING AREA SECTION



**1 GRADING PLAN**  
 SCALE: 1:30

**Bernalillo Academy Re-location**  
 Grading and Drainage Description  
 1801 Randolph Road, SE  
 Albuquerque, NM

October 18, 2016

**Project Description**

The existing structure at 1801 Randolph Road, SE in Albuquerque, NM is being renovated for a new residential treatment facility which will entail modifications to the interior of the structure. The outside of the building will remain in its current configuration with the exception of a new outdoor play area on the south side of the existing structure. The current grading and drainage plan and landscape designs for the project show these modifications for the playground area.

**Current Drainage Conditions**

The current drainage configuration for the site consists of sheet flow drainage in a northwest direction from the existing sidewalk edge along Randolph Road. This drainage flows across a landscaped area on the north side of the sidewalk along Randolph Road to the existing parking lot areas adjacent to the south side of the structure. Sheet flow is across the parking areas to the access road running south to north on the west side of the building and continues to the northwest across existing landscape and parking areas.

**New Drainage Conditions**

As stated above, the only modifications to the outside of the building will be the addition of a play area in the current parking areas on the south side of the building. These areas are to receive various surface treatments which will provide an acceptable playing surface for the children. No modifications to the grade of the drainage surfaces will be made other than the application of the play surfaces. These new surfaces, in effect, will slow the transportation of sheet drainage flows because of the permeable nature of the new surfaces. The end effect will still be sheet flow to the northwest for the entire site as described above.  
 The only area of the Grading and Drainage Plan that effects a new surface configuration is the small sitting area that will be built along the south edge of the building near the southeast corner. This area will be flattened as shown and defined by a small rock wall. This area is in an existing landscaped terrain and will not alter the direction of sheet flow away from the building nor the existing destination of the sheet flow towards the existing parking areas and ultimately to the northwest as described above.

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 www.designplusllc.com

**DESIGN PLUS LLC**

1801 RANDOLPH ROAD, SE  
 RENOVATION

DATE: 9/27/2016

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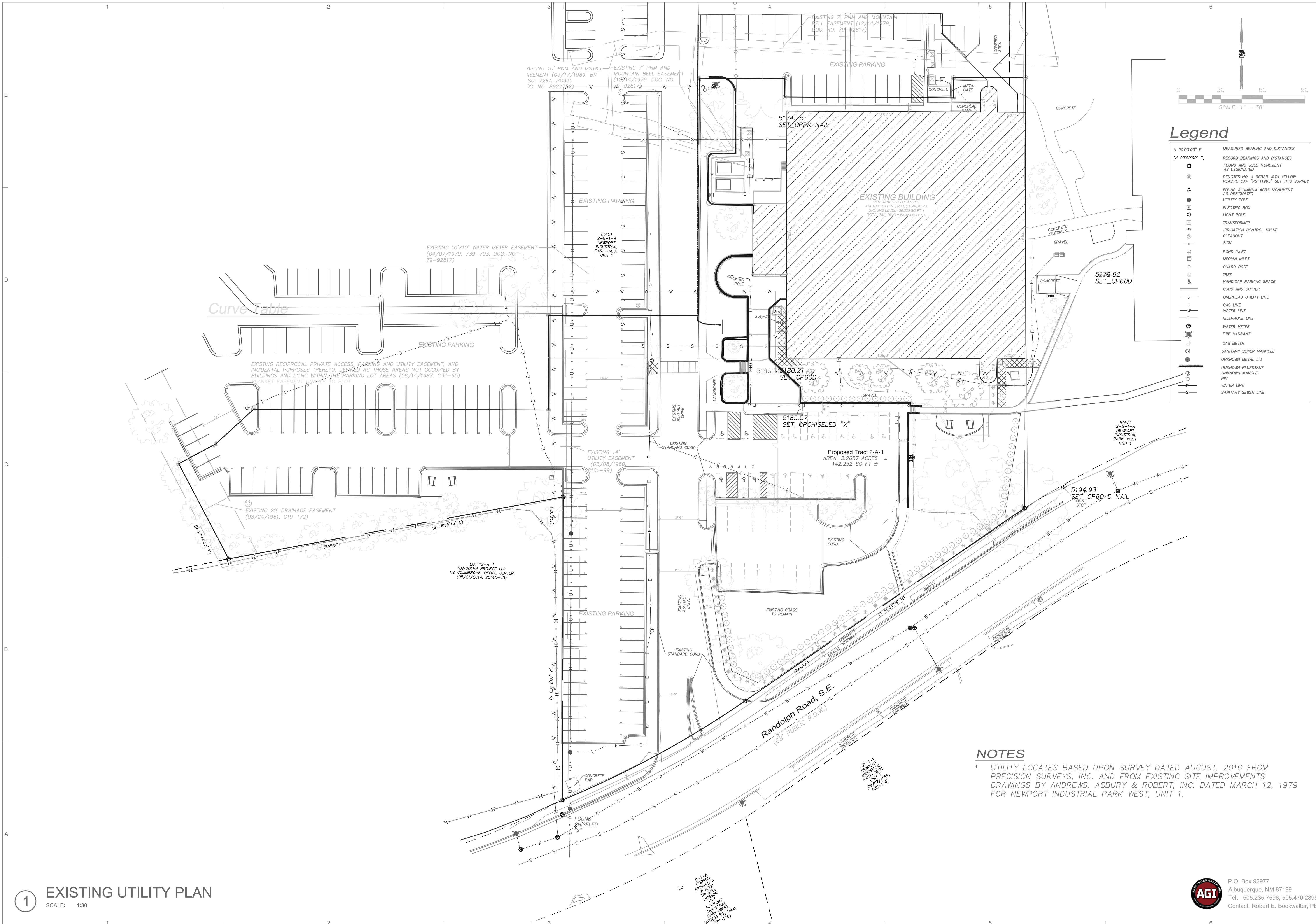
**GRADING PLAN**

V.3  
**SDP 3.0**

SHEET \_\_\_ OF \_\_\_

AGI  
 P.O. Box 92977  
 Albuquerque, NM 87199  
 Tel. 505.235.7596, 505.470.2895  
 Contact: Robert E. Bookwalter, PE





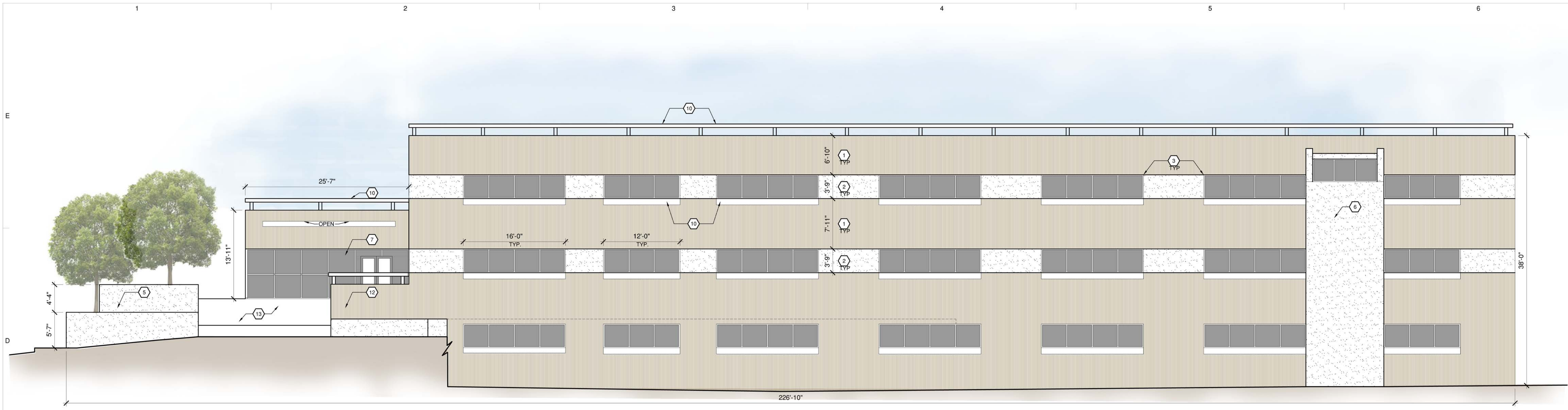
1 EXISTING UTILITY PLAN

SCALE: 1:30

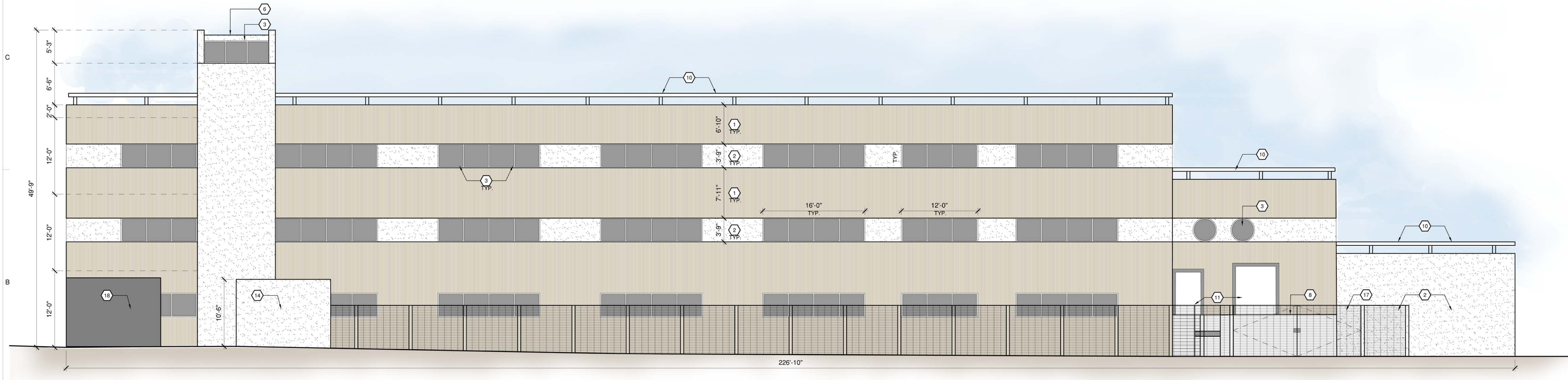
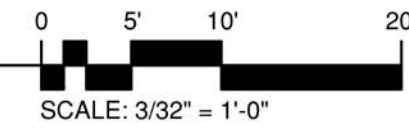
NOTES

- UTILITY LOCATES BASED UPON SURVEY DATED AUGUST, 2016 FROM PRECISION SURVEYS, INC. AND FROM EXISTING SITE IMPROVEMENTS DRAWINGS BY ANDREWS, ASBURY & ROBERT, INC. DATED MARCH 12, 1979 FOR NEWPORT INDUSTRIAL PARK WEST, UNIT 1.

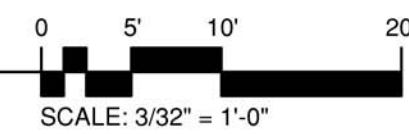




**D1 SOUTH ELEVATION**  
1/8"=1'-0"



**A1 NORTH ELEVATION**  
1/8"=1'-0"



**SHEET KEYED NOTES**

- |  |  |
|--|--|
| 1. EXISTING INSULATED CONCRETE SPANDREL PANELS.  | 11. EXISTING OVERHEAD COILING DOOR TO REMAIN.  |
| 2. EXISTING STUCCO FINISH.   | 12. EXISTING CONCRETE RETAINING WALL WITH PAINTED FINISH & METAL GUARDRAIL TO REMAIN.  |
| 3. EXISTING ALUMINUM WINDOWS TO REMAIN.  | 13. EXISTING RAMP TO 2ND LEVEL ENTRANCE TO REMAIN.   |
| 4. NEW OPENING IN WALL (NEW ACCESS GATE TO EXISTING LOADING DOCK). REFER TO SHEET SDP- 1.0 | 14. EXISTING REFUSE ENCLOSURE WITH STUCCO FINISH & METAL GATES TO REMAIN.  |
| 5. EXISTING RAISED PLANTER WITH STUCCO FINISH TO REMAIN.                                   | 15. EXISTING CONCRETE STAIRS TO REMAIN.  |
| 6. EXISTING STUCCO FINISH STAIR ENCLOSURE TO REMAIN.                                       | 16. EXISTING BIKE RACK TO REMAIN   |
| 7. EXISTING MAIN ENTRANCE WITH ALUMINUM STOREFRONT & DOORS TO REMAIN.                      | 17. NEW 8' H CHAINLINK FENCE & 20' W PAIR GATES FOR NEW DRIVEWAY ACCESS TO EXISTING LOADING AREA. REFER TO SDP-5.3 FOR TYPICAL FENCE ELEVATION |
| 8. EXISTING LOADING DOCK TO REMAIN.  | 18. EXISTING ENCLOSED WALKWAY CONNECTION BETWEEN BLDGS, SHOWN IN SECTION.  |
| 9. EXISTING PAINTED METAL GUARDRAIL TO REMAIN.   |  |
| 10. PRECAST CONCRETE SILL-TYPICAL.   |  |

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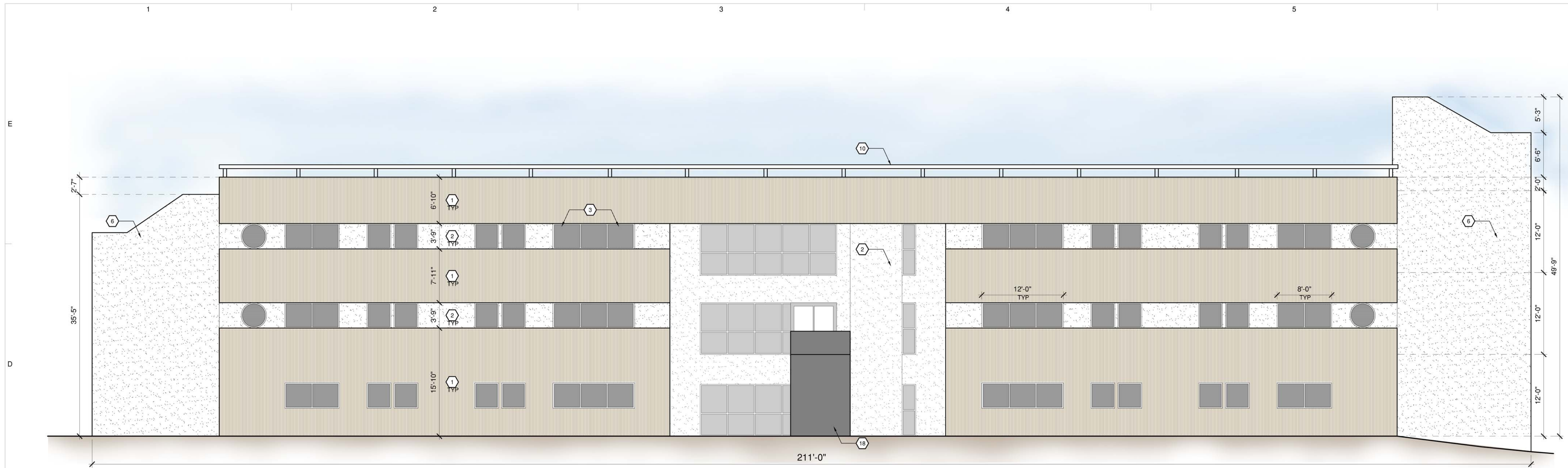
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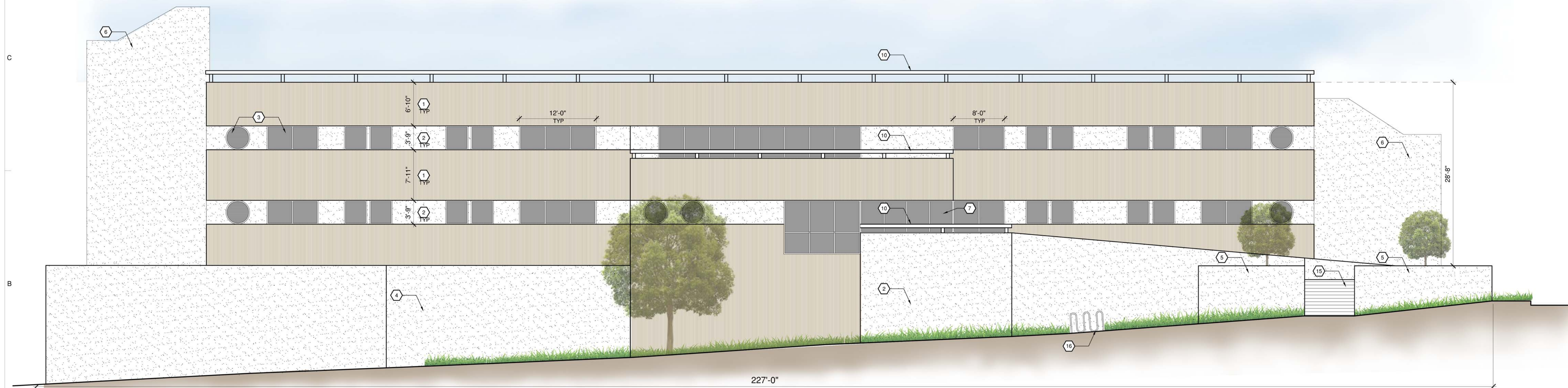
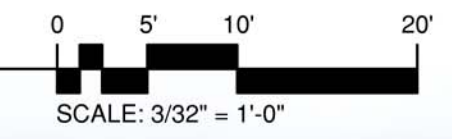
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ELEVATIONS  
**V.3**  
**SDP 5.0**  
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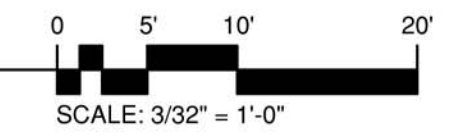




**D1 EAST ELEVATION**  
1/8"=1'-0"



**A1 WEST ELEVATION**  
1/8"=1'-0"



**SHEET KEYED NOTES**

- |   |  |
|---|--|
| 1. EXISTING INSULATED CONCRETE SPANDREL PANELS.   | 11. EXISTING OVERHEAD COILING DOOR TO REMAIN.  |
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| 10. PRECAST CONCRETE SILL-TYPICAL.  |  |

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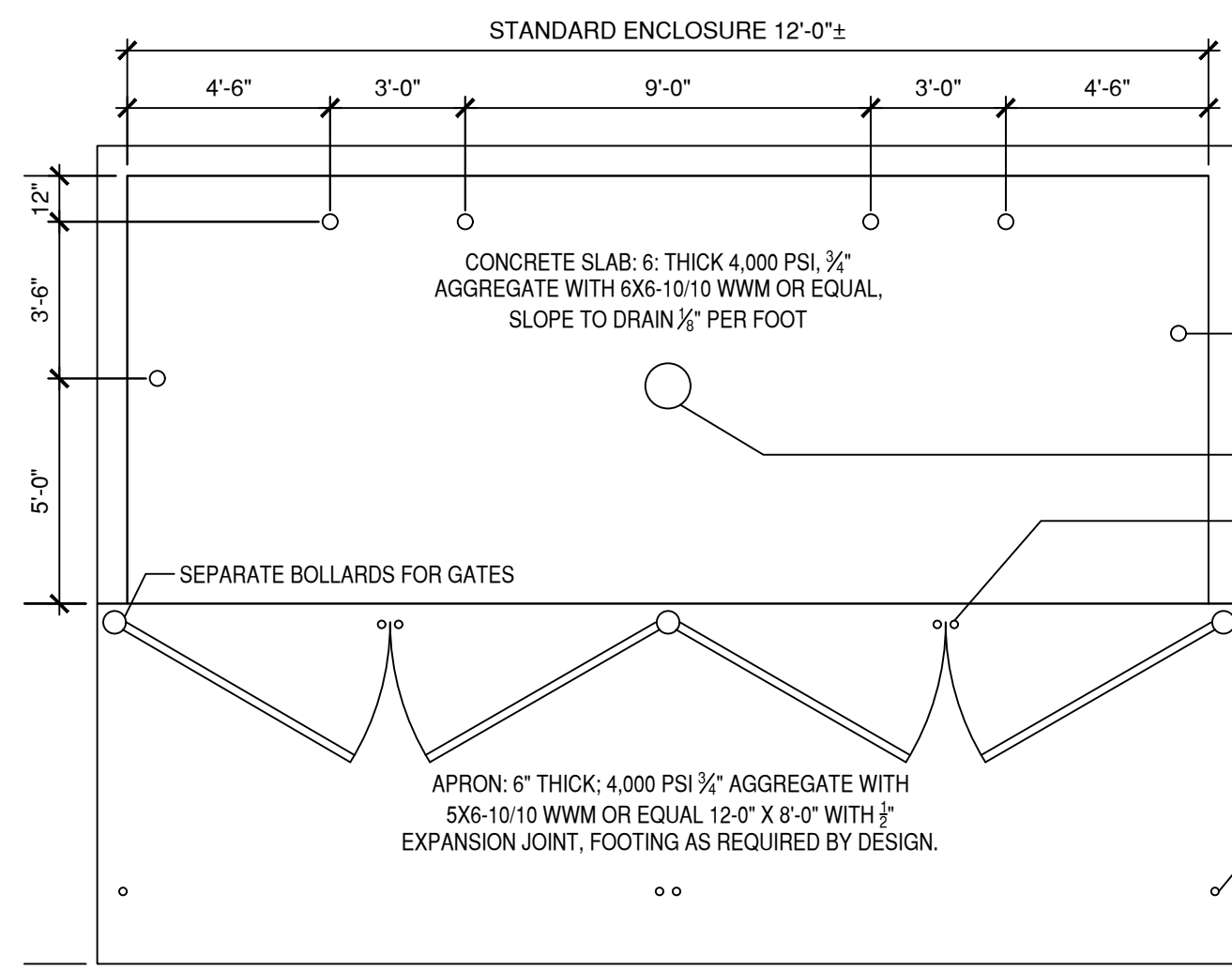
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ELEVATIONS

V.3  
SDP 5.1  
SHEET \_\_\_ OF \_\_\_





DIMENSIONS GIVEN ARE TO THE INSIDE OF ENCLOSURE WALLS AND THE MINIMUM SIZES REQUIRED FOR THE SLAB ITSELF. FOOTING WILL VARY WITH THE DESIGN OF THE ENCLOSURE.

SIDE BOLLARDS MAY BE REQUIRED. BOLLARDS ARE TO BE 6" FROM WALL

SANITARY DRAIN

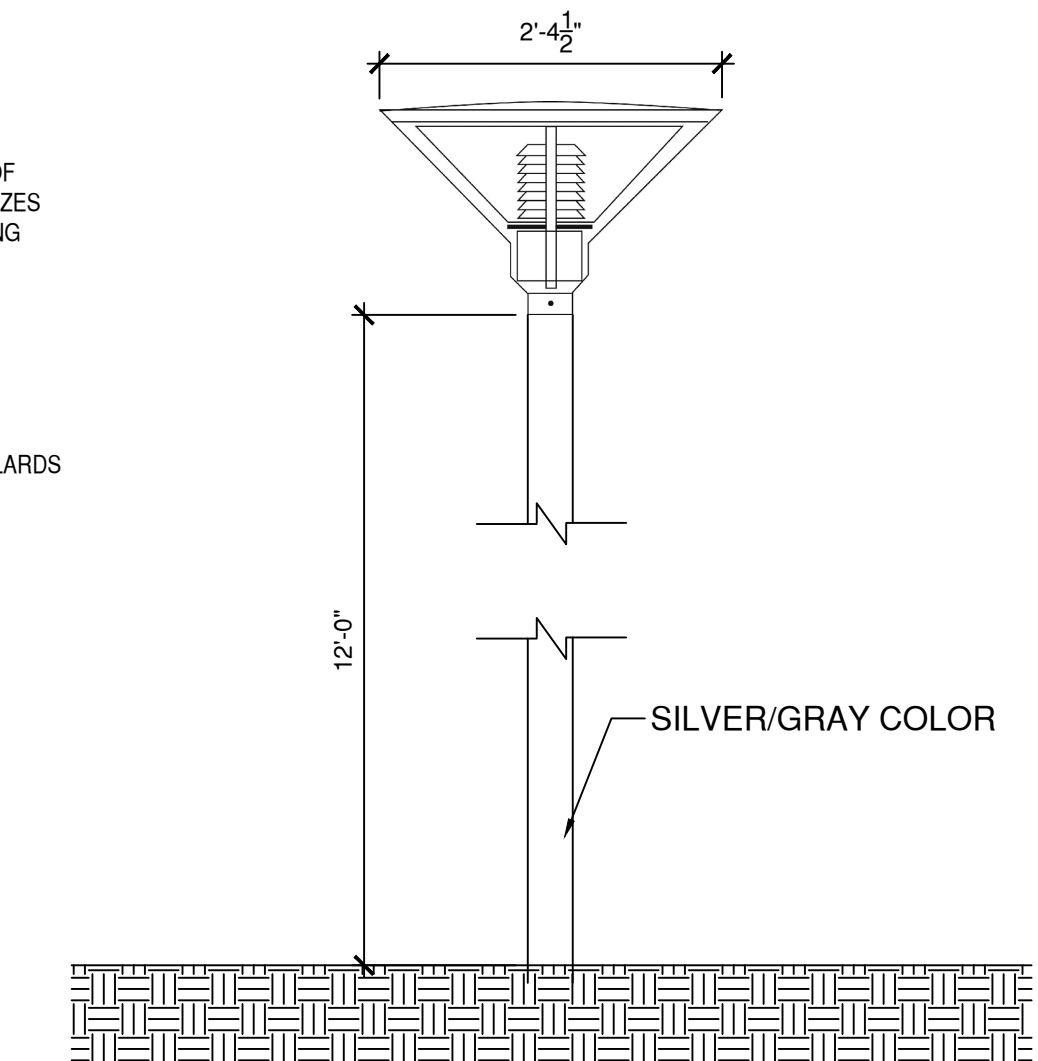
HOLES IN APRON FOR GATE PIN

SEPARATE BOLLARDS FOR GATES

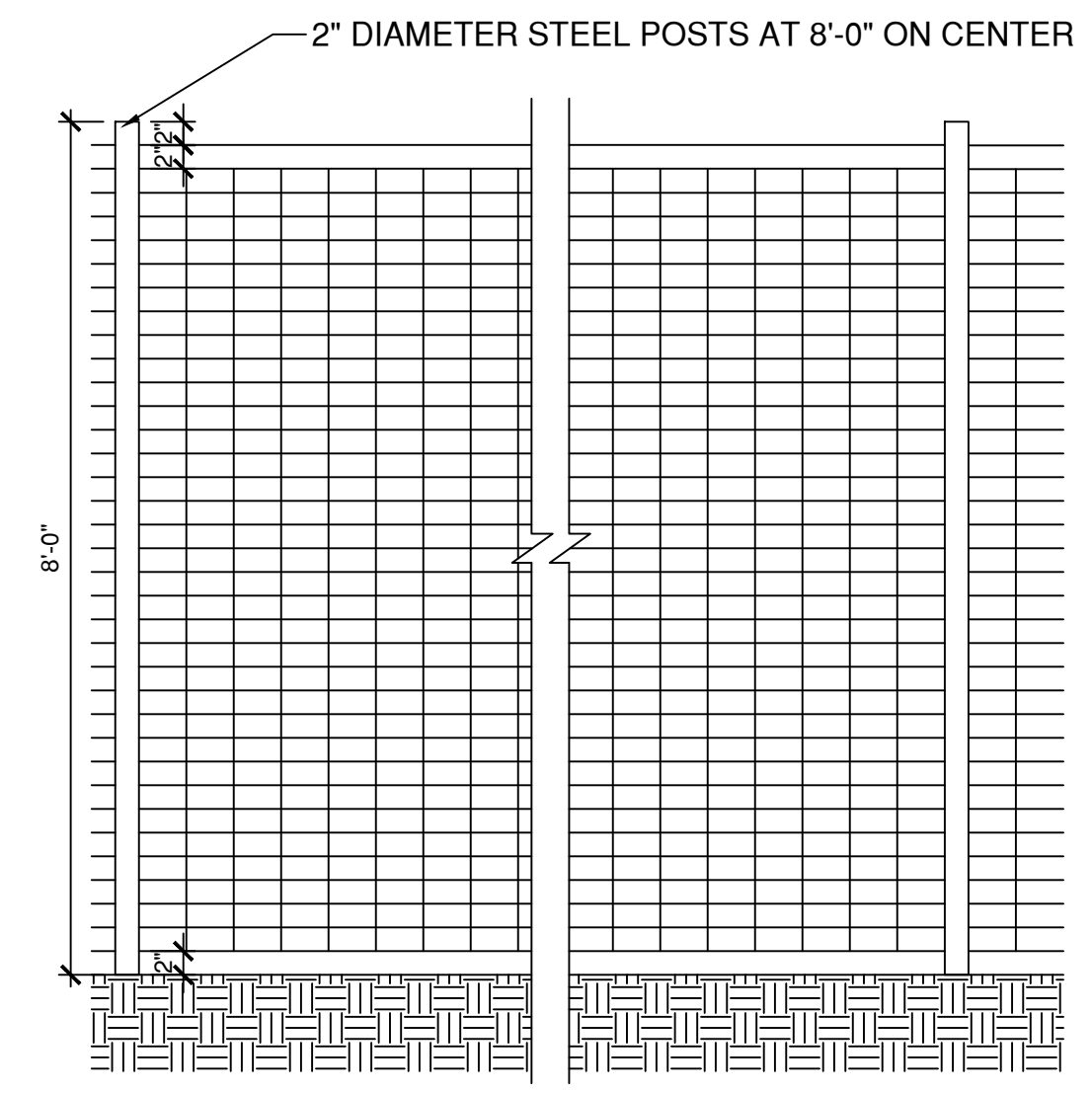
CONCRETE SLAB: 6" THICK 4,000 PSI 3/4" AGGREGATE WITH 6X6-10/10 WWM OR EQUAL, SLOPE TO DRAIN 1/4" PER FOOT

APRON: 6" THICK 4,000 PSI 3/4" AGGREGATE WITH 5X6-10/10 WWM OR EQUAL 12'-0" X 8'-0" WITH 1" EXPANSION JOINT. FOOTING AS REQUIRED BY DESIGN.

APRON REQUIRED IN FRONT OF EACH ENCLOSURE (6" WITH REINFORCING TO WITHSTAND 57,000 LBS)



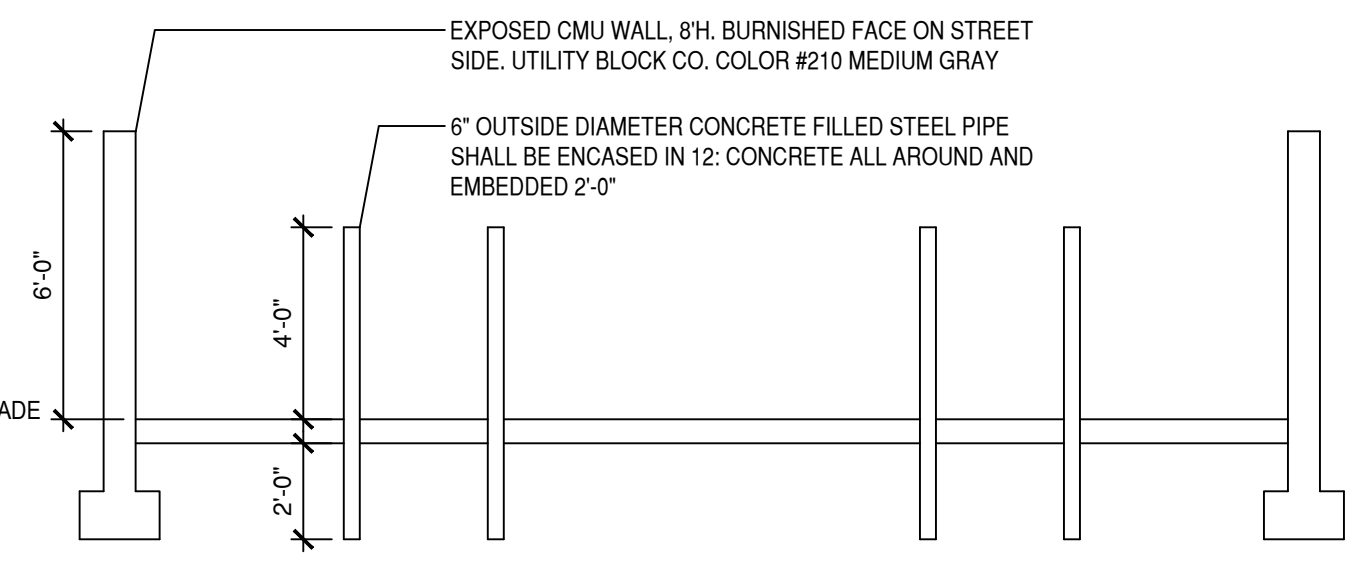
**D2 EXTERIOR POLE MOUNTED LED LIGHT**  
SCALE 3/4" = 1'-0"



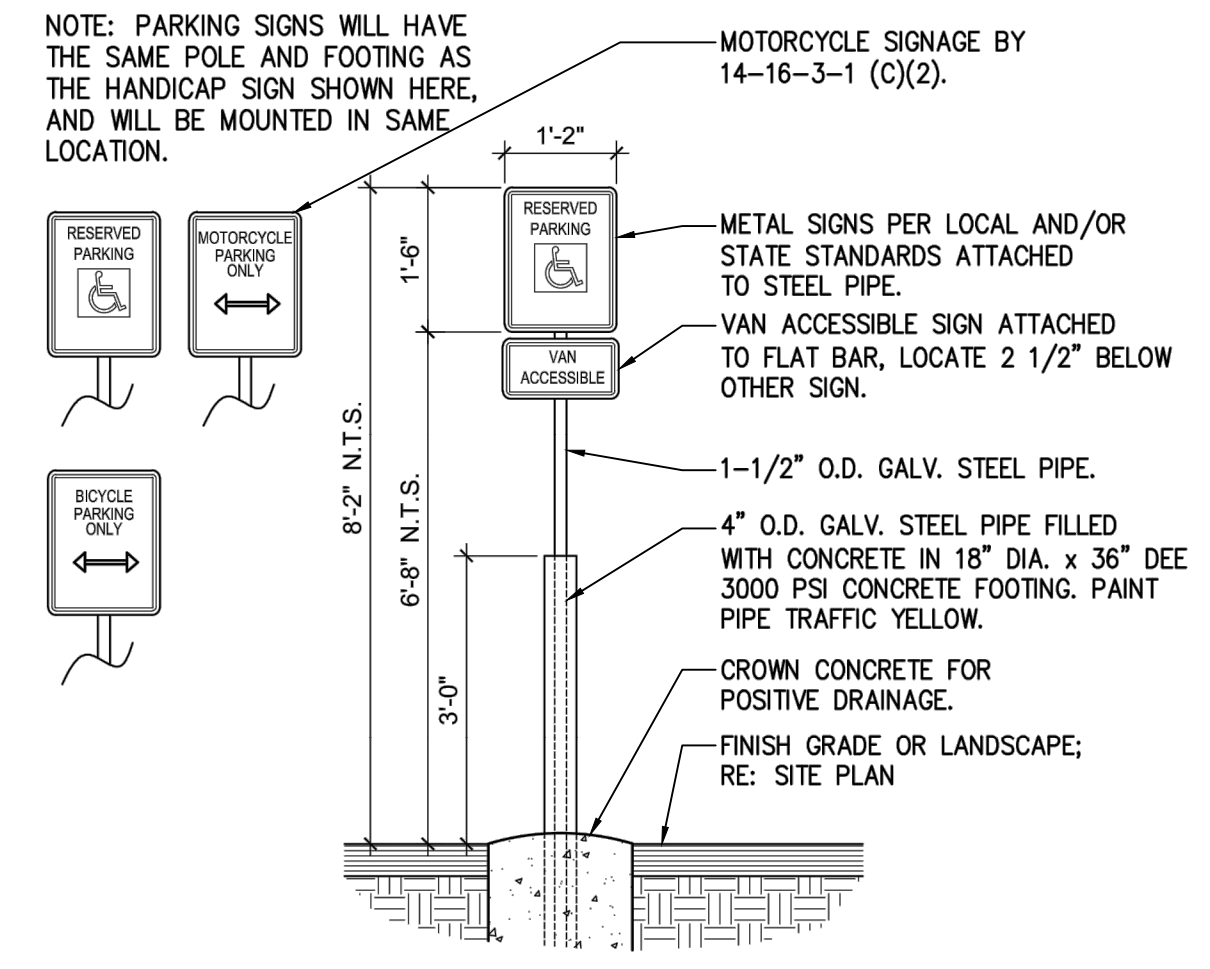
**D4 TYPE A CHAINLINK FENCING**  
SCALE 3/4" = 1'-0" GREEN COATED FINISH



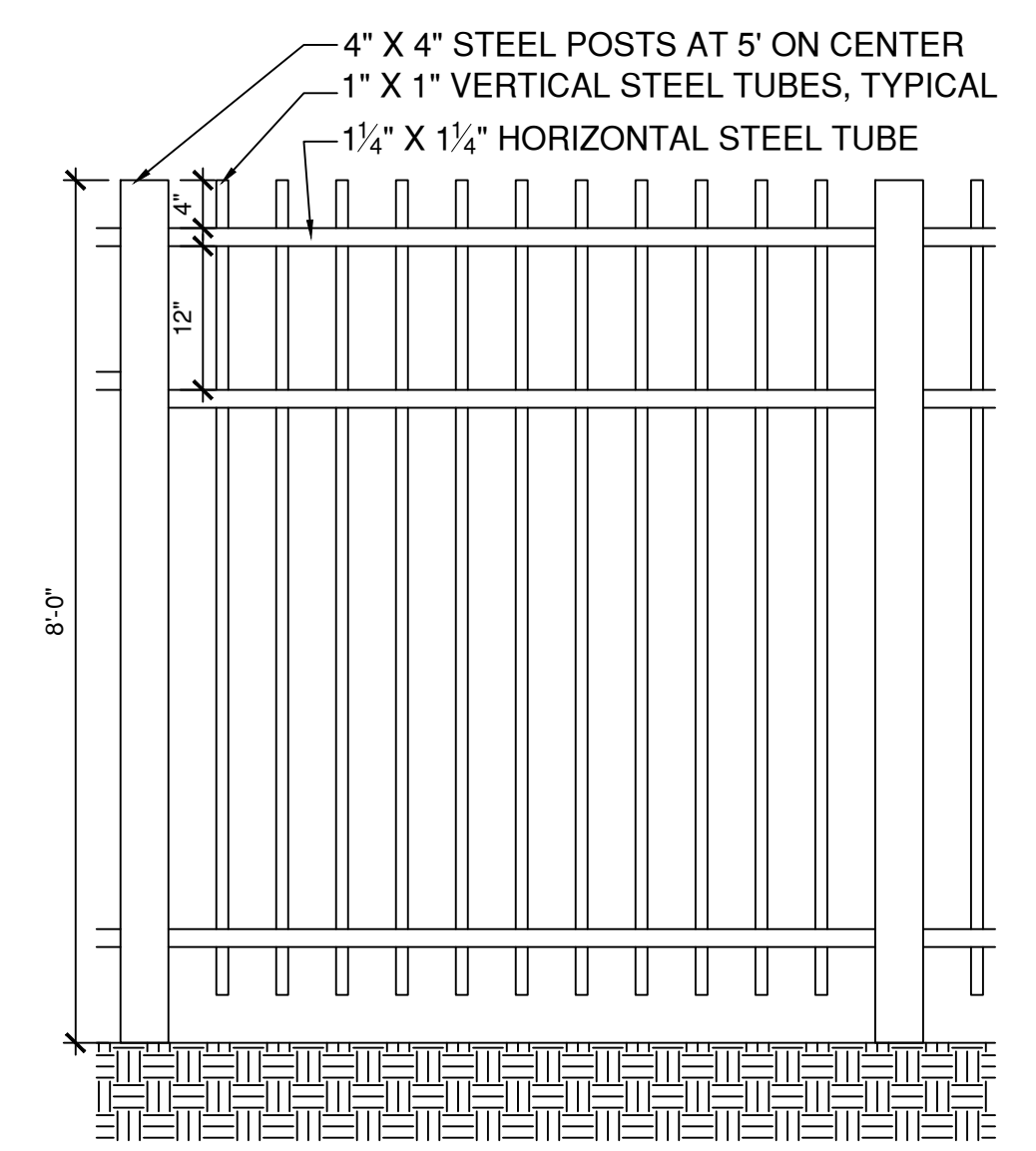
FENCING TYPE A EXAMPLE:



**C1 REFUSE ENCLOSURE DETAILS**  
SCALE 1/4" = 1'-0"



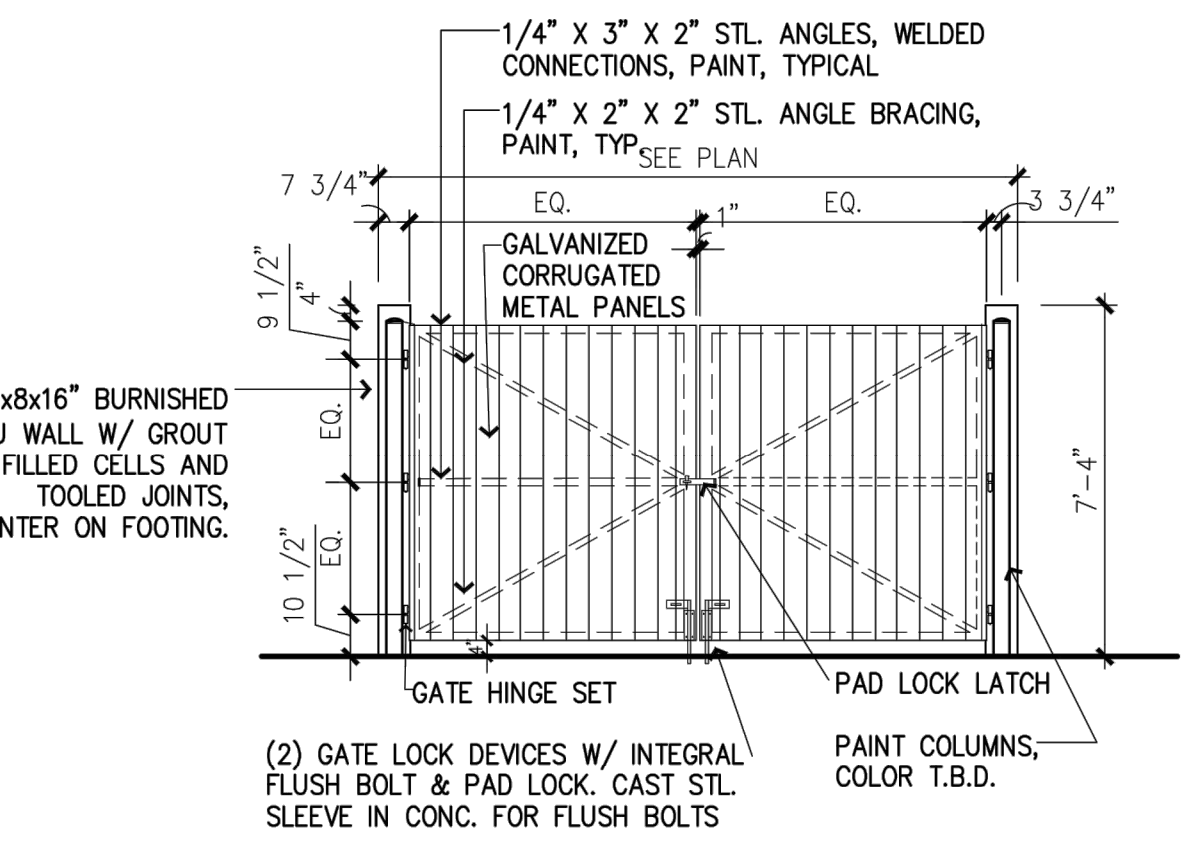
**B2 PARKING SIGNS**  
SCALE 1/2" = 1'-0"



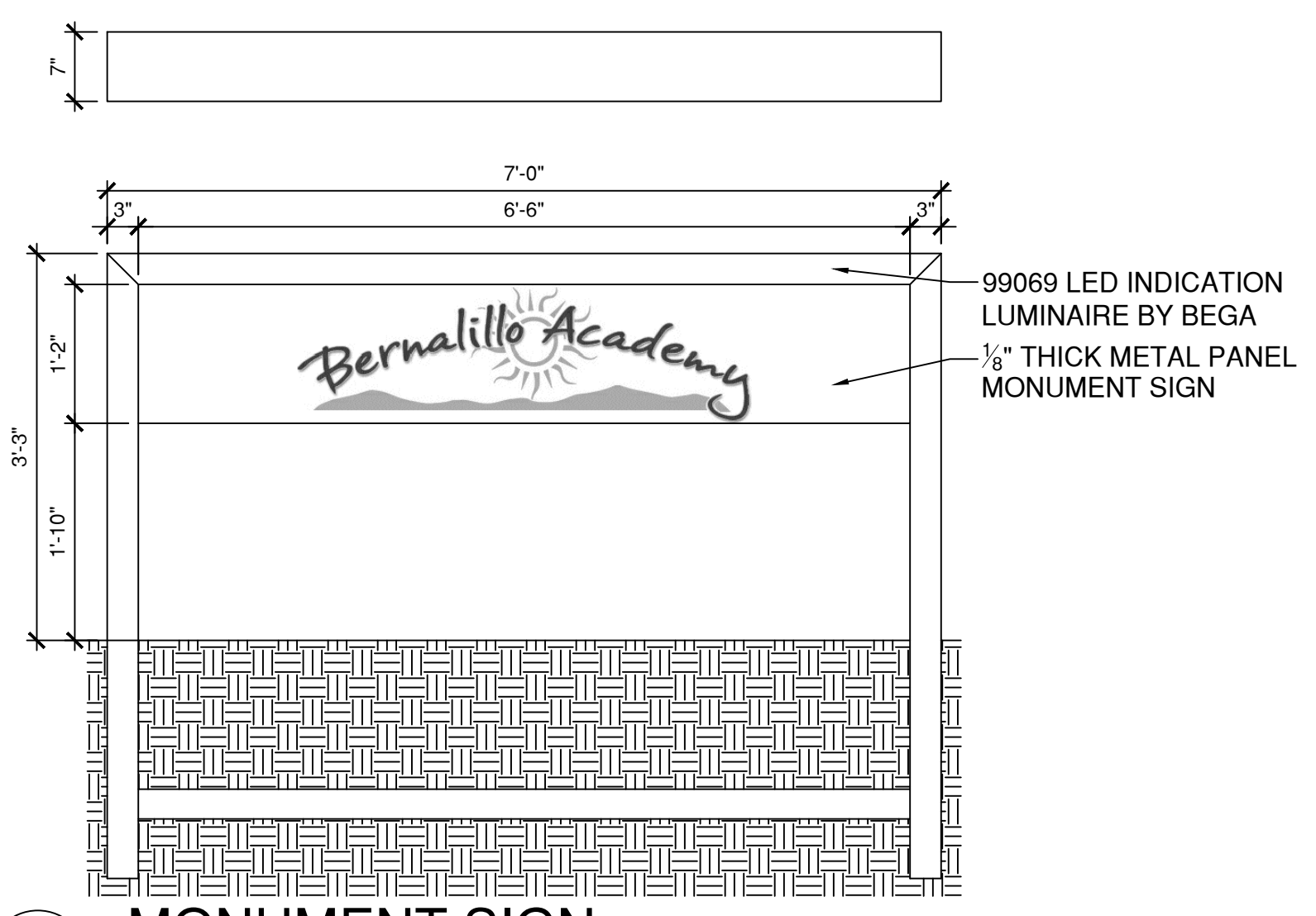
**B4 TYPE B DECORATIVE METAL FENCING**  
SCALE 3/4" = 1'-0" BLACK PAINTED FINISH



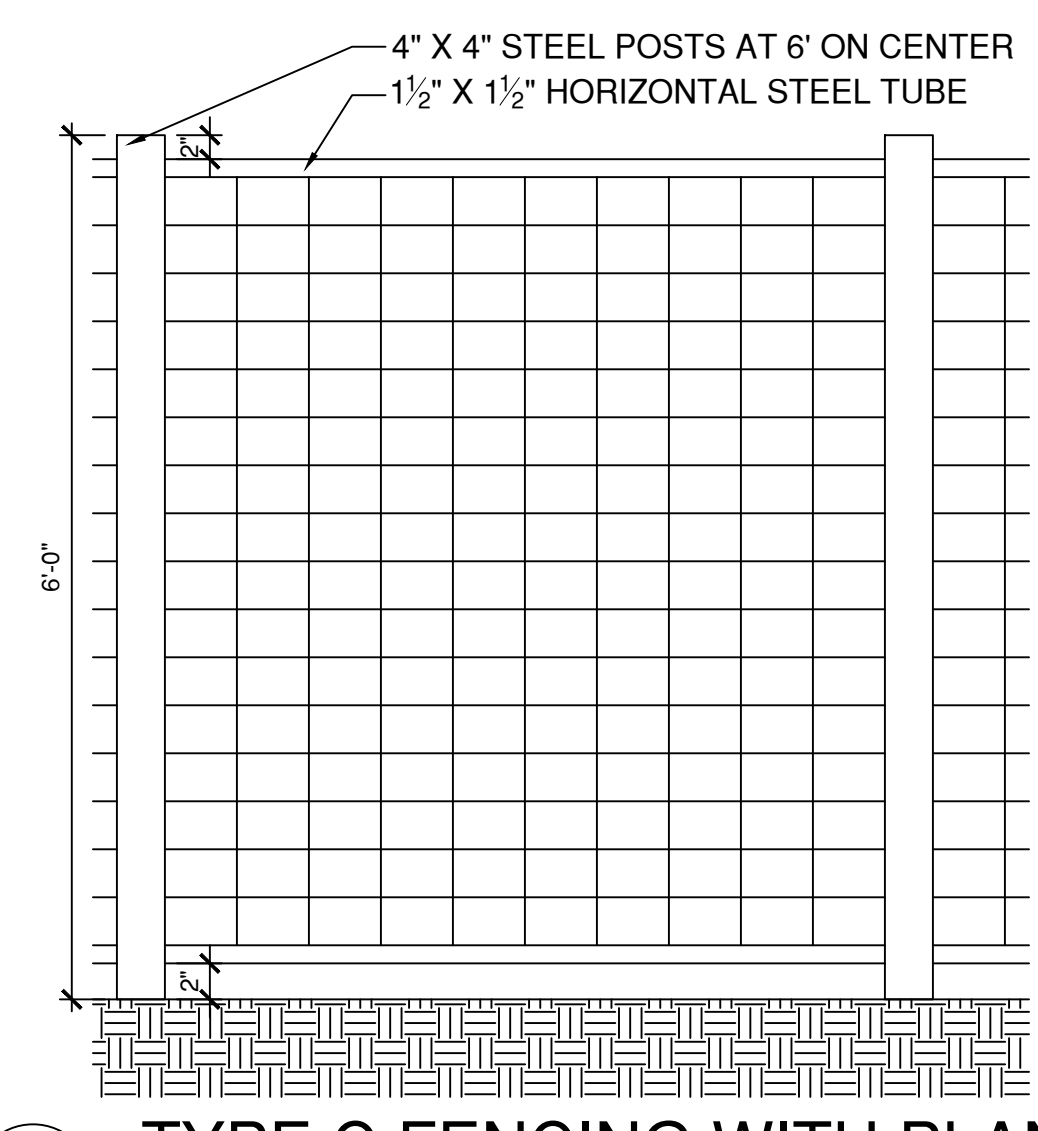
FENCING TYPE B EXAMPLE:



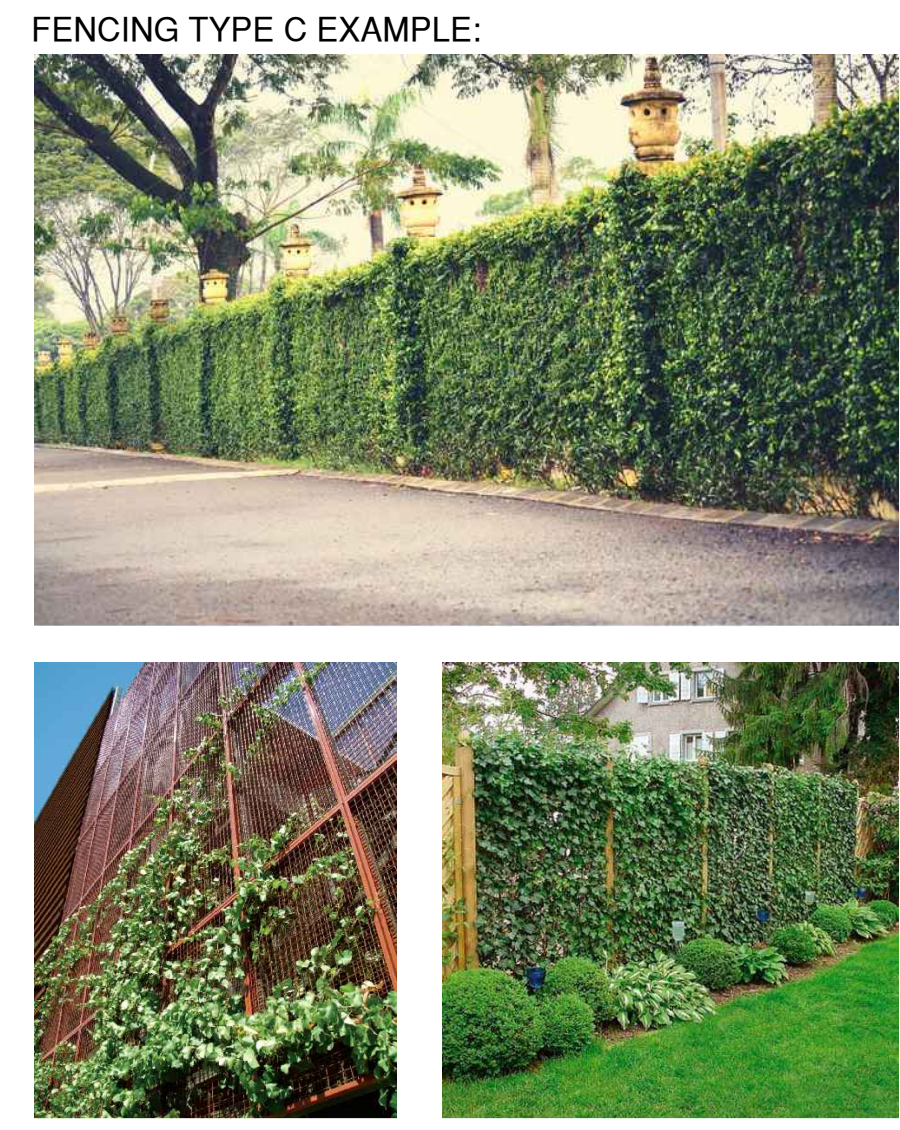
**A1 REFUSE ENCLOSURE GATE**  
SCALE 1/4" = 1'-0"



**A2 MONUMENT SIGN**  
SCALE 3/4" = 1'-0"



**A4 TYPE C FENCING WITH PLANTING**  
SCALE 3/4" = 1'-0" GREEN COATED FINISH

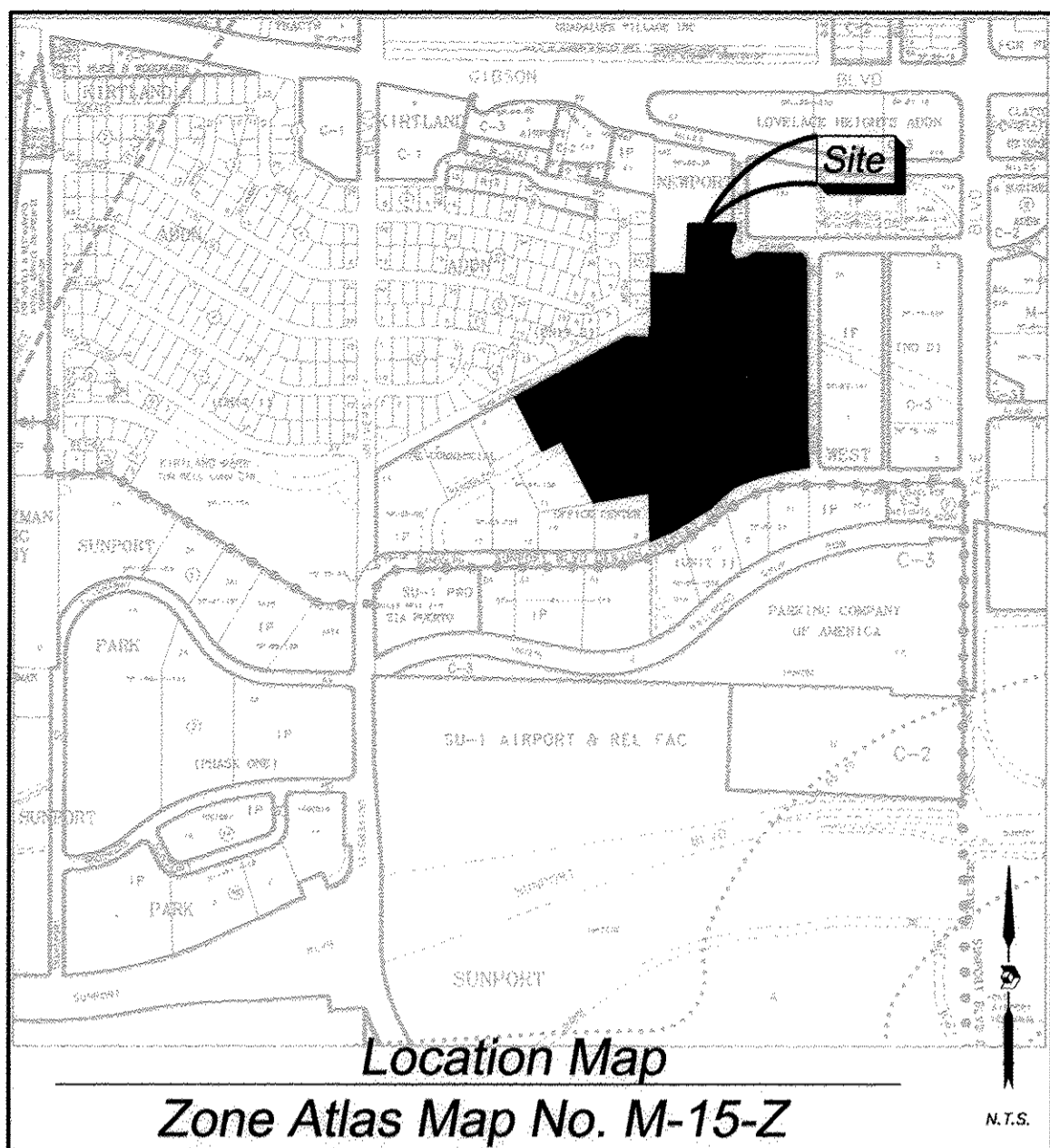


FENCING TYPE C EXAMPLE:

**GENERAL NOTES**

- A. ALL WALLS AND FENCES SHALL CONFORM TO THE REQUIREMENTS OF THE GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS OF THE ZONING CODE
- B. ALL ON-SITE LIGHTING SHALL CONFORM TO THE REQUIREMENTS OF THE AREA LIGHT REGULATIONS OF THE ZONING CODE AS WELL AS THE NEW MEXICO NIGHT SKY PROTECTION ACT
- C. ALL PROPOSED SIGNAGE WILL MEET THE REQUIREMENTS OF THE IP ZONE AND GENERAL SIGN REGULATIONS OF THE ZONING CODE.





### Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 03 EAST, N.M.P.M. COMPRISING OF TRACTS 2-A AND 2-B-1 AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLATS THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 1, 1986 IN BOOK C32, PAGE 74 AND ON AUGUST 14, 1987 IN BOOK C34, PAGE 95, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE NAD-1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHERN MOST POINT OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF BUENA VISTA DRIVE, S.E., MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "7\_L15" BEARS N 16°47'38" E, A DISTANCE OF 3545.44 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID WEST RIGHT OF WAY LINE, S 00°11'40" W, A DISTANCE OF 38.83 FEET TO A POINT OF CURVATURE;

THENCE CONTINUING ALONG SAID WEST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 24.21 FEET, AN ARC LENGTH OF 21.50 FEET, A DELTA ANGLE OF 50°53'10", A CHORD BEARING OF S 24°37'40" W, AND A CHORD LENGTH OF 20.80 FEET, TO A POINT OF NON-TANGENT CURVATURE, MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "LS 6401";

THENCE CONTINUING ALONG SAID WEST RIGHT OF WAY LINE, ALONG A NON-TANGENT REVERSE CURVE TO THE LEFT, HAVING A RADIUS OF 60.02 FEET, AN ARC LENGTH OF 198.32 FEET, A DELTA ANGLE OF 189°19'33", A CHORD BEARING OF S 45°00'51" E, AND A CHORD LENGTH OF 119.64 FEET, TO A POINT OF REVERSE CURVATURE, MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP "3243";

THENCE ALONG THE SOUTH RIGHT OF WAY LINE OF RERNARD PLACE S.E., ALONG A REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 25.15 FEET, AN ARC LENGTH OF 21.60 FEET, A DELTA ANGLE OF 49°13'15", A CHORD BEARING OF N 64°54'27" E, AND A CHORD LENGTH OF 20.94 FEET, TO AN ANGLE POINT, MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP "4078";

THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE, S 89°59'39" E, A DISTANCE OF 215.50 FEET, TO A POINT OF CURVATURE MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP "10464";

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.18 FEET, AN ARC LENGTH OF 39.38 FEET, A DELTA ANGLE OF 89°36'05", A CHORD BEARING OF S 44°50'49" E, AND A CHORD LENGTH OF 35.49 FEET, TO A POINT LYING ON THE WEST RIGHT OF WAY LINE OF BUENA VISTA DRIVE S.E., MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP "LS 6401";

THENCE ALONG SAID WEST RIGHT OF WAY LINE, S 00°28'17" W, A DISTANCE OF 891.72 FEET TO A POINT OF CURVATURE, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 38.72 FEET A DELTA ANGLE OF 88°43'58", A CHORD BEARING OF S 45°16'07" W, AND A CHORD LENGTH OF 34.96 FEET, TO A POINT LYING ON THE NORTH RIGHT OF WAY LINE OF RANDOLPH ROAD, S.E., MARKED BY A FOUND NO. 5 REBAR WITH PLASTIC CAP (ILLEGIBLE);

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°52'55" W, A DISTANCE OF 8.25 FEET TO A POINT OF CURVATURE MARKED BY A FOUND NO 5 REBAR WITH PLASTIC CAP "LS 6401";

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 582.39 FEET, AN ARC LENGTH OF 351.32 FEET, A DELTA ANGLE OF 34°33'49", A CHORD BEARING OF S 72°41'37" W, AND A CHORD LENGTH OF 346.02 FEET, TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 55°21'57" W, A DISTANCE OF 224.12 FEET, TO A POINT OF CURVATURE, MARKED BY A FOUND CHISELED "X" ON FACE OF CURB;

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 698.76 FEET, AN ARC LENGTH OF 148.96 FEET, A DELTA ANGLE OF 12°12'50", A CHORD BEARING OF S 61°31'02" W, AND A CHORD LENGTH OF 148.68 FEET, TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "5110";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°12'00" E, A DISTANCE OF 216.61 FEET TO AN ANGLE POINT, MARKED BY A FOUND CHISELED "X";

THENCE S 79°30'43" W, A DISTANCE OF 243.07 FEET, TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND 60 D NAIL SET IN A RAILROAD TIE;

THENCE N 27°42'36" W, A DISTANCE OF 304.51 FEET TO AN ANGLE POINT, MARKED BY A FOUND NO 5 REBAR WITH YELLOW PLASTIC CAP "LS 6401";

THENCE S 62°36'05" W, A DISTANCE OF 93.75 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR (BENT);

THENCE N 27°22'32" W, A DISTANCE OF 250.28 FEET TO THE WESTERMOST CORNER OF DESCRIBED TRACT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "LS 6401";

THENCE N 62°36'08" E, A DISTANCE OF 576.82 FEET, TO A POINT OF CURVATURE MARKED BY SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 707.93 FEET, AN ARC LENGTH OF 14.49 FEET, A DELTA ANGLE OF 01°10'22", A CHORD BEARING OF N 63°17'38" E, AND A CHORD LENGTH OF 14.49 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "LS 6401";

THENCE S 86°26'38" E, A DISTANCE OF 62.30 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR;

THENCE N 00°21'10" W, A DISTANCE OF 263.16 FEET TO AN ANGLE POINT, MARKED BY SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 88°30'16" E, A DISTANCE OF 146.13 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP "LS 6401";

THENCE N 00°00'17" E, A DISTANCE OF 220.00 FEET TO AN ANGLE POINT MARKED BY SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°59'25" E, A DISTANCE OF 197.00 FEET TO THE POINT OF BEGINNING, CONTAINING 22.6409 ACRES (986,217 SQUARE FEET) MORE OR LESS, NOW COMPRISING OF TRACT 2-A-1 AND 2-B-1-A, NEWPORT INDUSTRIAL PARK WEST UNIT 1.

Plat of

Tracts 2-A-1 and 2-B-1-A

# Newport Industrial Park West, Unit 1

Section 33, Township 10 North, Range 3 East

New Mexico Principal Meridian

City of Albuquerque, Bernalillo County, New Mexico

September 2016

Project No. **1011013**

Application No. **16DRB-70346**

### Utility Approvals

<i>Fernando Vigil</i>	10-19-16
PNM	DATE
<i>Ralph Ballya</i>	10-13-16
NEW MEXICO GAS COMPANY	DATE
<i>[Signature]</i>	10/11/2016
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
<i>[Signature]</i>	10/13/16
COMCAST	DATE

### City Approvals

<i>Soen N. Riechman</i>	P.S.	9/12/16
CITY SURVEYOR		DATE
<i>[Signature]</i>		9/28/16
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT		DATE
<i>[Signature]</i>		09/28/16
A.B.C.W.U.A.		DATE
<i>Carl S. Dumont</i>		9-28-16
PARKS AND RECREATION DEPARTMENT		DATE
<i>[Signature]</i>		9-28-16
AMAFCA		DATE
<i>[Signature]</i>		9-28-16
CITY ENGINEER		DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER CERTIFICATE

### Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*[Signature]* 9/8/16  
LARRY W. MEDRANO  
N.M.P.S. No. 11993  
DATE



**PRECISION SURVEYS, INC.**

OFFICE LOCATION:  
9200 San Mateo Boulevard, NE  
Albuquerque, NM 87113  
MAILING ADDRESS:  
PO Box 90636  
Albuquerque, NM 87199  
505.856.5700 PHONE  
505.856.7900 FAX

### Subdivision Data:

GROSS SUBDIVISION ACREAGE: 22.6446 ACRES±  
ZONE ATLAS INDEX NO: M-15-Z  
NO. OF TRACTS CREATED: 2  
NO. OF LOTS CREATED: 0  
MILES OF FULL-WIDTH STREETS CREATED: 0  
DATE OF SURVEY: JUNE 28, 2016

### Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO TWO NEW TRACTS

### Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 03 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

RECORDING STAMP

### Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

### Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

J.R. ORTON III,  
MANAGER,  
AOC NEW MEXICO, LLC

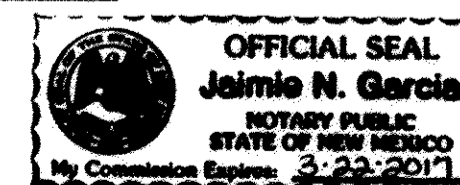
9/15/16  
DATE

### Acknowledgment

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15<sup>th</sup> DAY OF September, 2016 BY  
J.R. ORTON III, MANAGER, AOC NEW MEXICO, LLC

*[Signature]* MY COMMISSION EXPIRES: 3-22-2017  
NOTARY PUBLIC



INDEXING INFORMATION FOR COUNTY CLERK  
OWNER AOC NEW MEXICO LLC  
SECTION 33, TOWNSHIP 10 N, RANGE 03 E  
UPC NO. 101-505-539-140-410-408 (TR. 2-B-1)  
UPC NO. 101-505-539-140-410-407 (TR. 2-A)  
SUBDIVISION NEWPORT INDUSTRIAL PARK-WEST UNIT 1

### Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

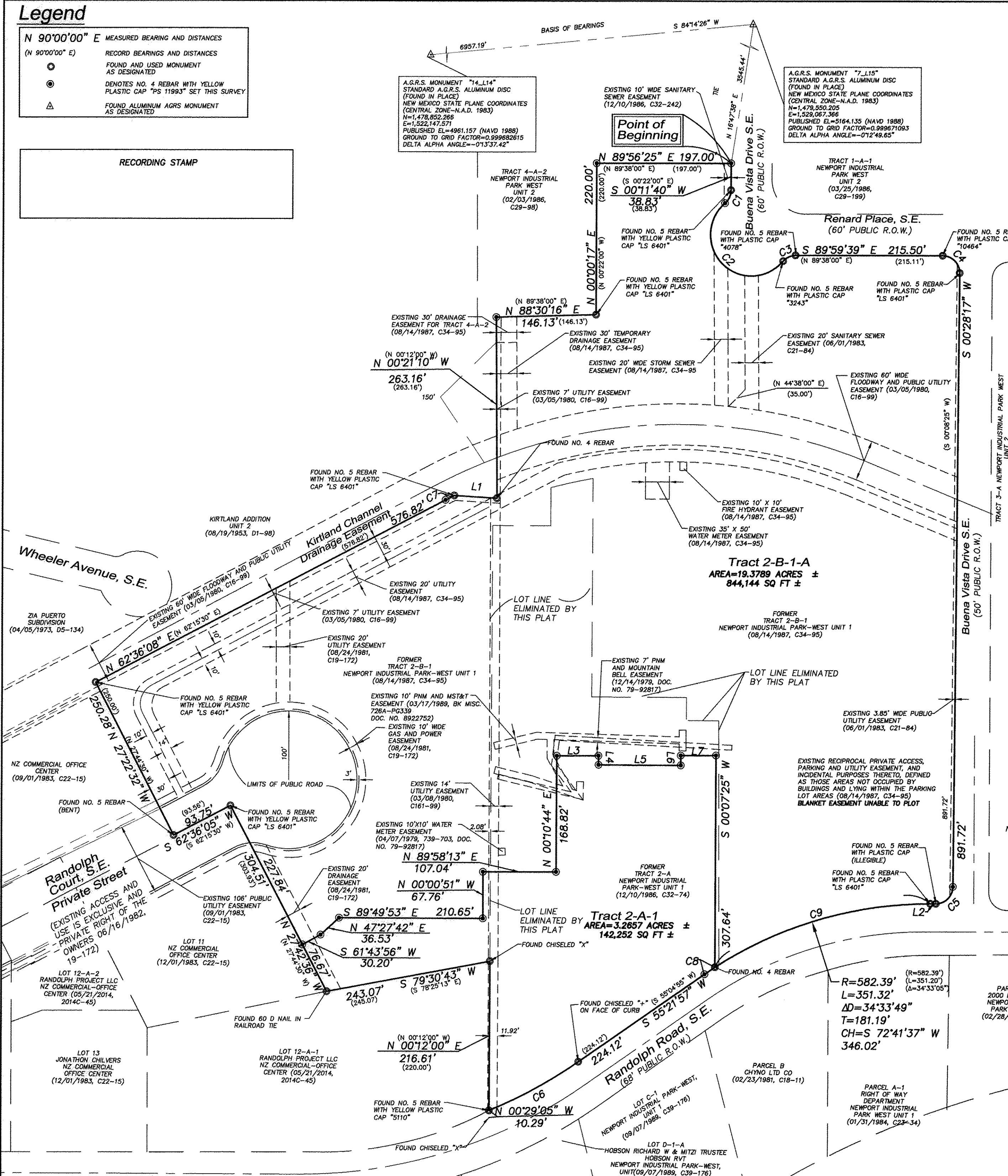
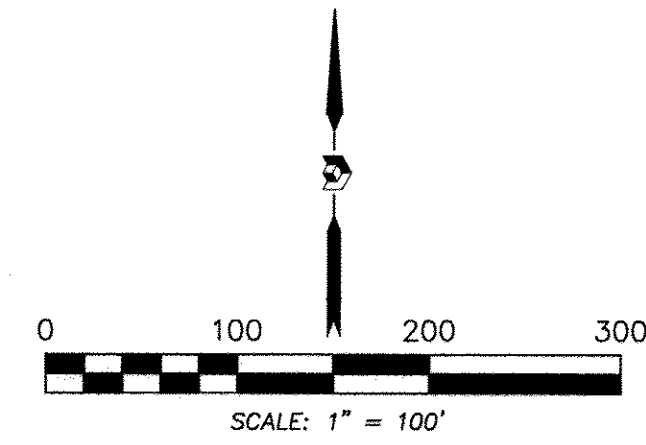


**Legend**

- N 90°00'00" E MEASURED BEARING AND DISTANCES  
(N 90°00'00" E)
- RECORD BEARINGS AND DISTANCES  
FOUND AND USED MONUMENT  
AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR WITH YELLOW  
PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT  
AS DESIGNATED

RECORDING STAMP

Plat of  
**Tracts 2-A-1 and 2-B-1-A**  
**Newport Industrial Park West, Unit 1**  
Section 33, Township 10 North, Range 3 East  
New Mexico Principal Meridian  
City of Albuquerque, Bernalillo County, New Mexico  
September 2016



**Line Table**

LINE	BEARING	DISTANCE
L1	S 86°26'38" E	62.30'
	(S 89°48'00" W)	(59.93')
L2	S 89°52'55" W	8.25'
	(S 89°38'00" W)	(8.22')
L3	S 89°48'08" W	61.13'
	(49°40'47")	(11.57')
L4	N 00°12'19" W	13.25'
L5	N 89°42'12" W	120.47'
L6	S 00°12'19" E	14.31'
L7	N 89°47'41" E	51.59'

**Curve Table**

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	24.21'	21.50'	50°53'10"	11.52'	20.80'	S 24°37'40" W
	(25.00')	(21.68')	(49°40'47")	(11.57')	(21.00')	(S 24°28'24" W)
C2	60.02'	198.32'	189°19'33"	735.82'	119.64'	S 45°00'51" E
	(60.00')	(198.30')	(189°21'33")	(735.82')	(119.60')	(S 45°22'00" E)
C3	25.15'	21.60'	49°13'15"	11.52'	20.94'	N 64°54'27" E
	(25.00')	(21.68')	(49°40'47")	(11.57')	(21.00')	(N 64°47'36" E)
C4	25.18'	39.38'	89°36'05"	25.01'	35.49'	S 44°50'49" E
	(25.00')	(39.49')	(90°30'25")	(25.22')	(35.51')	(S 45°06'47" E)
C5	25.00'	38.72'	88°43'58"	24.45'	34.96'	S 45°16'07" W
	(25.00')	(39.05')	(89°28'35")	(24.78')	(35.20')	(S 44°53'12" W)
C6	698.76'	148.96'	127°2'50"	74.76'	148.68'	S 61°31'02" W
	(897.35')	(149.02')	(121°43'39")	(74.80')	(148.74')	(S 61°12'08" W)
C7	707.93'	14.49'	110°22'	7.25'	14.49'	N 63°17'38" E
	(707.93')	(14.48')	(11°10'13")	(7.23')	(14.48')	(N 62°50'36" E)
C8	582.39'	18.33'	1°48'13"	9.17'	18.33'	S 56°18'49" W
	(582.39')	(18.33')	(1°48'13")	(9.17')	(18.33')	(S 56°18'49" W)
C9	582.39'	332.99'	32°45'36"	171.19'	328.47'	S 73°35'44" W

**Notes**

- TRACTS 2-A AND 2-B SHARE AN EXISTING RECIPROCAL PRIVATE ACCESS, PARKING AND UTILITY EASEMENT. THIS EASEMENT SHALL BE DEFINED AS THOSE AREAS NOT OCCUPIED BY BUILDINGS AND SHALL LIE WITHIN THE PARKING LOT AREAS. EASEMENT SHALL BE MAINTAINED EQUALLY BY THE OWNERS OF EACH TRACT.
- TRACTS 2-A AND 2-B SHARE EXISTING RECIPROCAL DRAINAGE EASEMENTS FOR THE PURPOSE OF CONVEYING THAT DRAINAGE TO THE EXISTING CONCRETE DRAINAGE CHANNEL. CONVEYANCE WILL TAKE PLACE VIA PAVE SURFACES AND DRAINAGE SWALES AND CHANNELS, AND WILL CONSTITUTE PRIVATE DRAINAGE EASEMENTS. MAINTENANCE OF SAID EASEMENTS SHALL BE MAINTAINED BY THE OWNERS OF EACH TRACT.
- ACCESS FROM TRACT 2B TO LOTS 5, 6, AND 7 AND SPENCE AVENUE/MESA DRIVE OF THE KIRTLAND ADDITION IS PROHIBITED.
- TRACT 2-B SHALL ACCEPT DRAINAGE FROM TRACT 4-A-2 AS NOTED ON PLAT FIELD FEBRUARY 3, 1986, BOOK C-29, PAGE 96.



**OFFICE LOCATION:**  
9200 San Mateo Boulevard, NE  
Albuquerque, NM 87113  
**MAILING ADDRESS:**  
PO Box 90636  
Albuquerque, NM 87199

505.856.5700 PHONE  
505.856.7900 FAX

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