



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- V**  Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P**  Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- D**  Street Name Change (Local & Collector)
- L A** **APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Wayjohn Surveying Inc. PHONE: (505)-255-2052  
 ADDRESS: 330 Louisiana Blvd NE FAX: (505)-255-2887  
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: info@wayjohn.com

APPLICANT: Jimmy A. Tate, Kathleen Gladden Tate, and Julie Gladden Roskosh PHONE: 505-350-4447  
 ADDRESS: 7416 Brazos Court, NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: cent21tate@aol.com  
 Proprietary interest in site: Owners List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Minor Preliminary/Final plat to create one lot from three lots

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. all but the E. 50' Lot 7, all of 8 and 9 Block: 11 Unit: 2  
 Subdiv/Addn/TBKA: Highlands North  
 Existing Zoning: R-1 Proposed zoning: Same MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): F-19 UPC Code: 1 019 061 127 256 31407, 1 019 061 136 259 31408, 1 019 061 145 260 31409

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 3 No. of proposed lots: 1 Total site area (acres): 0.8021  
 LOCATION OF PROPERTY BY STREETS: On or Near: Osuna Road, NE  
 Between: Pennsylvania Street, NE and Louisiana Boulevard, NE

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE [Signature] DATE 10.24.16  
 (Print Name) Thomas D. Johnston Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

| <input type="checkbox"/> INTERNAL ROUTING                    | Application case numbers  | Action | S.F.  | Fees                  |
|--|---------------------------|--------|-------|-----------------------|
| <input type="checkbox"/> All checklists are complete         | _____                     | _____  | _____ | \$ _____              |
| <input type="checkbox"/> All fees have been collected        | _____                     | _____  | _____ | \$ _____              |
| <input type="checkbox"/> All case #s are assigned            | _____                     | _____  | _____ | \$ _____              |
| <input type="checkbox"/> AGIS copy has been sent             | _____                     | _____  | _____ | \$ _____              |
| <input type="checkbox"/> Case history #s are listed          | _____                     | _____  | _____ | \$ _____              |
| <input type="checkbox"/> Site is within 1000ft of a landfill | _____                     | _____  | _____ | \$ _____              |
| <input type="checkbox"/> F.H.D.P. density bonus              | _____                     | _____  | _____ | \$ _____              |
| <input type="checkbox"/> F.H.D.P. fee rebate                 | _____                     | _____  | _____ | \$ _____              |
|  | <b>Hearing date</b> _____ |        |       | <b>Total</b> \$ _____ |

Revised: 4/2012

Project # \_\_\_\_\_

Staff signature & Date \_\_\_\_\_

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

**Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**

- N/A 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- N/A Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- N/A Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- N/A Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- N/A Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

**Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Thomas D. Johnston, PS, PE

  
Applicant name (print)  
10-24-16  
Applicant signature / date



Form revised **October 2007**

- Checklists complete Application case numbers
- Fees collected \_\_\_\_\_ - \_\_\_\_\_
- Case #s assigned \_\_\_\_\_ - \_\_\_\_\_
- Related #s listed \_\_\_\_\_ - \_\_\_\_\_

\_\_\_\_\_ Planner signature / date

Project # \_\_\_\_\_



330 Louisiana Blvd., N.E. • Albuquerque, NM 87108 • Phone: (505) 255-2052 • Fax: (505) 255-2887

October 24, 2016

Planning Department  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

RE: Minor Preliminary Plat of Lot 9-A, Block 11, Highlands North Unit 2

To Whom It May Concern:

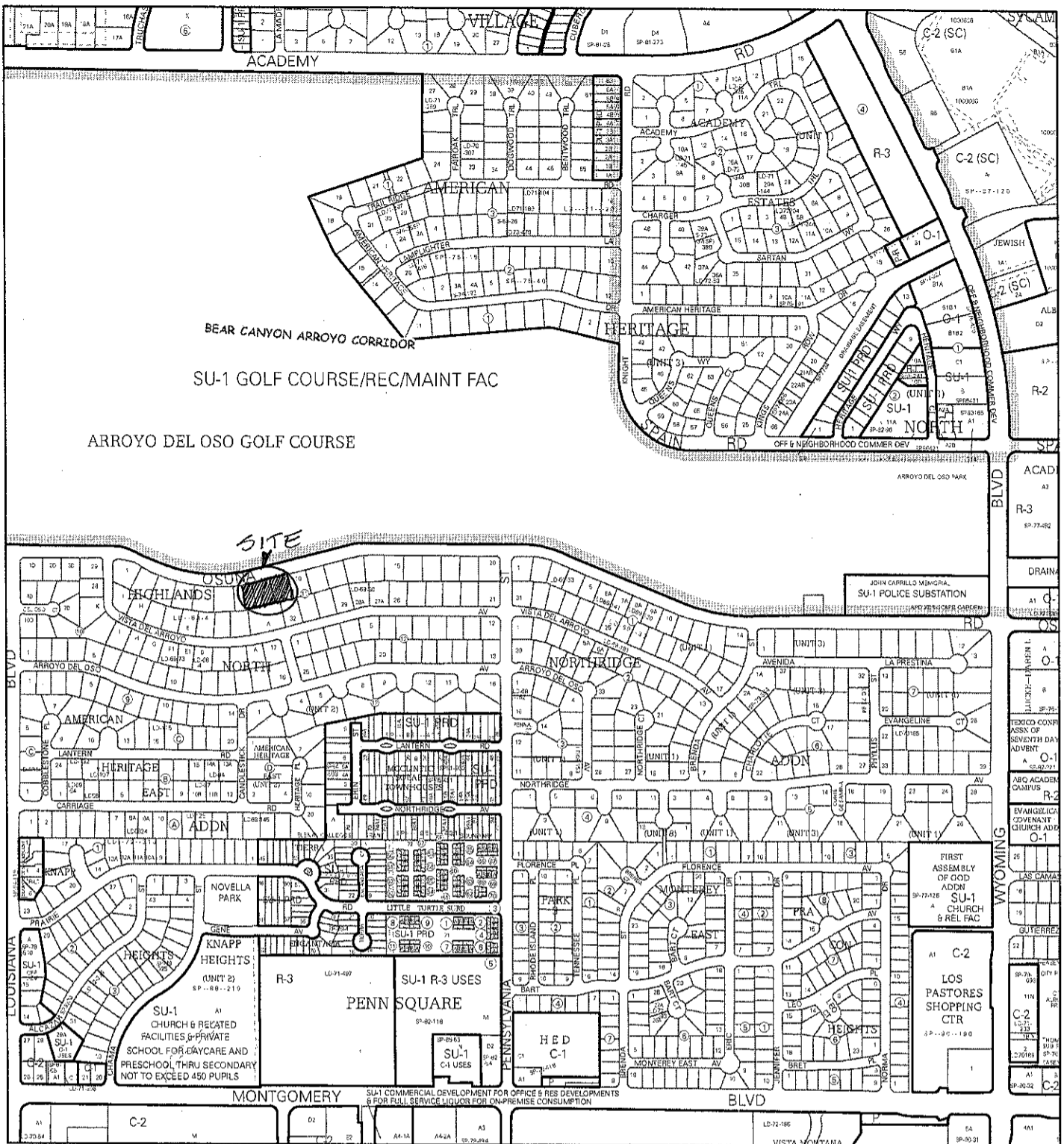
I am submitting a request for preliminary/final plat review. My client would like to create one lot from three existing lots. The property is currently unimproved.

Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

Regards,

A handwritten signature in black ink, appearing to read "Thomas D. Johnston", is written over a light gray, dotted background.

Thomas D. Johnston, PS, PE  
President, Wayjohn Surveying Inc.



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 6/7/2013

Note: Grey Shading Represents Area Outside of the City Limits

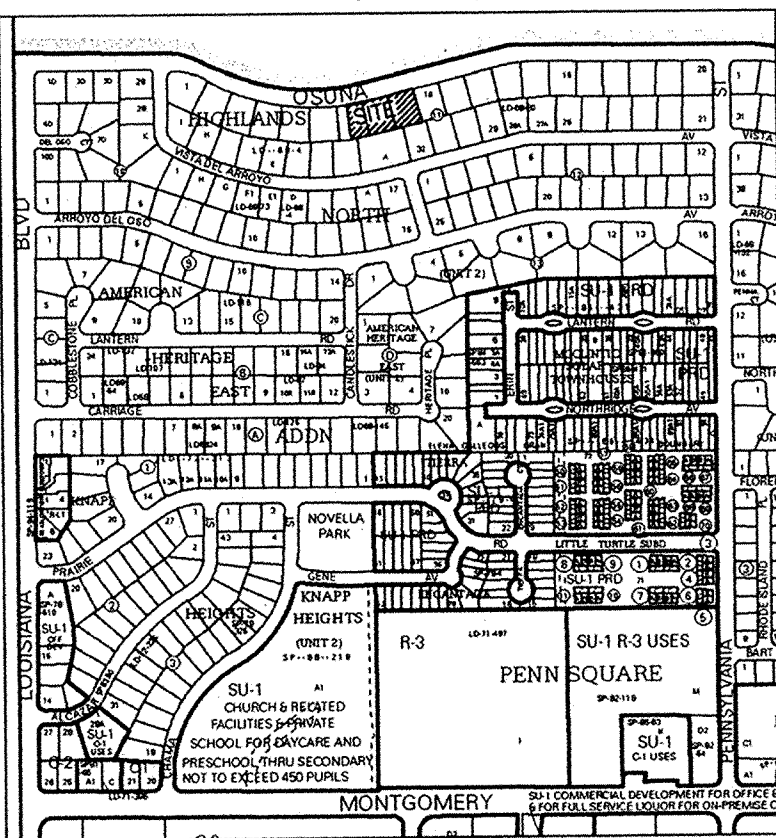
Zone Atlas Page:  
**F-19-Z**

Selected Symbols

|  |                      |  |                        |
|--|----------------------|--|------------------------|
|  | SECTOR PLANS         |  | Escarpment             |
|  | Design Overlay Zones |  | 2 Mile Airport Zone    |
|  | City Historic Zones  |  | Airport Noise Contours |
|  | H-1 Buffer Zone      |  | Wall Overlay Zone      |
|  | Petroglyph Mon.      |  |                        |

0 750 1,500 Feet

VICINITY MAP (F-19) NO SCALE



SUBDIVISION DATA

- 1. DRB Project No.
2. Zone Atlas Index No. F-19
3. Gross acreage 0.8021 Ac.
4. Existing number of lots 3
Replatted number of lots 1

PURPOSE OF PLAT

This plat has been prepared for the purpose of creating one lot from three existing lots.

NOTES

- 1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 83.
2. Perimeter distances are field measurements made on the ground.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. No property within the area of requested plat shall at any time be subject to a deed restriction, covenant, or binding agreement...
5. Existing 5' Public utility easement granted by plat recorded 6/27/1967 in Volume C6, folio 177.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico (PNM)...
B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines...
C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment...
D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment...

Disclaimer
In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation d/b/a CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1 019 061 127 256 31407, 1 019 061 136 259 31408,

1 019 061 145 260 31409

PROPERTY OWNER OF RECORD:
GLADDEN EDWARD D & PHYLLIS L

BERNALILLO COUNTY TREASURER'S OFFICE

COUNTY CLERK RECORDING LABEL HERE

SURVEY LEGAL DESCRIPTION

Lot Eight (8) and Lot Nine (9) and all except the west fifty feet (50') of lot Seven in Block Eleven (11) of Highlands North Unit No. 2, an addition to the city of Albuquerque, New Mexico, as the same is shown and designated on the plat of said addition, filed in the office of the county clerk of Bernalillo county, New Mexico, on June 27, 1967, in plat book C6, folio 177, and being more particularly described as follows: BEGINNING at the Northwest corner, being a point on the Southerly right-of-way line of Osuna Road, NE, from whence the ACS Monument "6-F19A" (x=1,545,882.117, y=1,505,771.187, NMSP Central Zone, NAD 83) bears N 74° 53' 06" W, 505.68 feet distant; THENCE along a curve to the left, having a radius of 882.00 feet, a central angle of 06°38'49", a chord bearing N 78° 30' 04" E, 102.27 feet, along an arc length of 102.32 feet to a point of tangency; THENCE N 75° 10' 39" E, 147.67 feet to the Northeast corner; THENCE leaving said Southerly right-of-way line, S 14° 49' 21" E, 135.00 feet to the Southeast corner; THENCE S 75° 10' 39" W, 100.00 feet; THENCE S 77° 52' 44" W, 173.12 feet to the Southwest corner; THENCE N 04° 55' 33" W, 134.77 feet to the point of beginning and containing 0.8021 acres, more or less.

FREE CONSENT

The platting of the property as described above is with the free consent and in accordance with the desires of the undersigned owner(s). Said owner(s) warrant(s) that they hold complete and indefeasible title in fee simple to the land subdivided.

Signature of Jimmy A. Tate, co-personal representative of the Edward D. Gladden and Phyllis L. Gladden Estate, dated 10/24/16.

ACKNOWLEDGMENT

STATE OF NEW MEXICO )
) ss
COUNTY OF BERNALILLO )

On this 24th day of October, 2016, the foregoing instrument was acknowledged by: Jimmy A. Tate, co-personal representative of the Edward D. Gladden and Phyllis L. Gladden Estate.

Notary Public Sharon B. Akauola, My Commission Expires: 11/8/2018

Signature of Kathleen Gladden Tate, co-personal representative of the Edward D. Gladden and Phyllis L. Gladden Estate, dated 10-24-16.

ACKNOWLEDGMENT

STATE OF NEW MEXICO )
) ss
COUNTY OF BERNALILLO )

On this 24th day of October, 2016, the foregoing instrument was acknowledged by: Kathleen Gladden Tate, co-personal representative of the Edward D. Gladden and Phyllis L. Gladden Estate.

Notary Public Sharon B. Akauola, My Commission Expires: 11/8/2018

Signature of Julie Gladden Roskosh, co-personal representative of the Edward D. Gladden and Phyllis L. Gladden Estate, dated 10/24/16.

ACKNOWLEDGMENT

STATE OF NEW MEXICO )
) ss
COUNTY OF BERNALILLO )

On this 24th day of October, 2016, the foregoing instrument was acknowledged by: Julie Gladden Roskosh, co-personal representative of the Edward D. Gladden and Phyllis L. Gladden Estate.

Notary Public Sharon B. Akauola, My Commission Expires: 11/8/2018

PLAT OF LOT 9-A, BLOCK 11 HIGHLANDS NORTH UNIT 2

A REPLAT OF ALL BUT THE EAST 50' LOT 7, 8, AND 9, BLOCK 11 HIGHLANDS NORTH UNIT 2 WITHIN PROJECTED SECTION 31, T. 11 N., R. 4 E., N.M.P.M. WITHIN THE ELENA GALLEGOS GRANT ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO OCTOBER 2016

PROJECT NUMBER:
Application Number:
City Approvals:

Table with columns for City Surveyor, Traffic Engineering, Transportation Division, ABCWUA, Parks and Recreation Department, AMAFCA, City Engineer, DRB Chairperson, Planning Department, Utility Company Approvals, PNM, CenturyLink, Comcast, and New Mexico Gas Company, each with a signature line and a date column.

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Licensure for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

Signature of Thomas D. Johnston, N.M.P.S. No. 14269, dated 10-24-16.

Wayjohn Surveying Inc logo and contact information: 330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108. PHONE: (505) 255-2052 FAX: (505) 255-2887. Includes a circular seal for Thomas D. Johnston, Registered Land Surveyor, No. 14269.

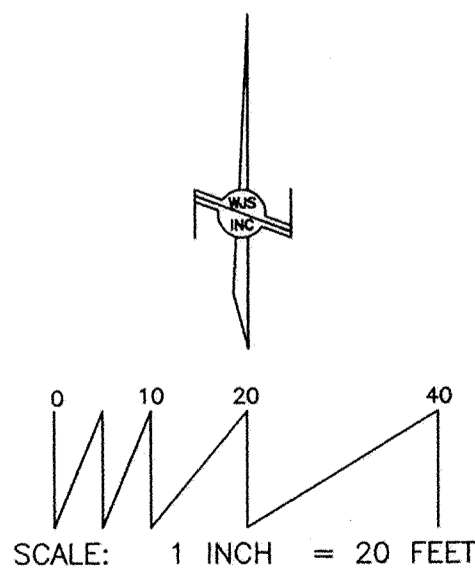
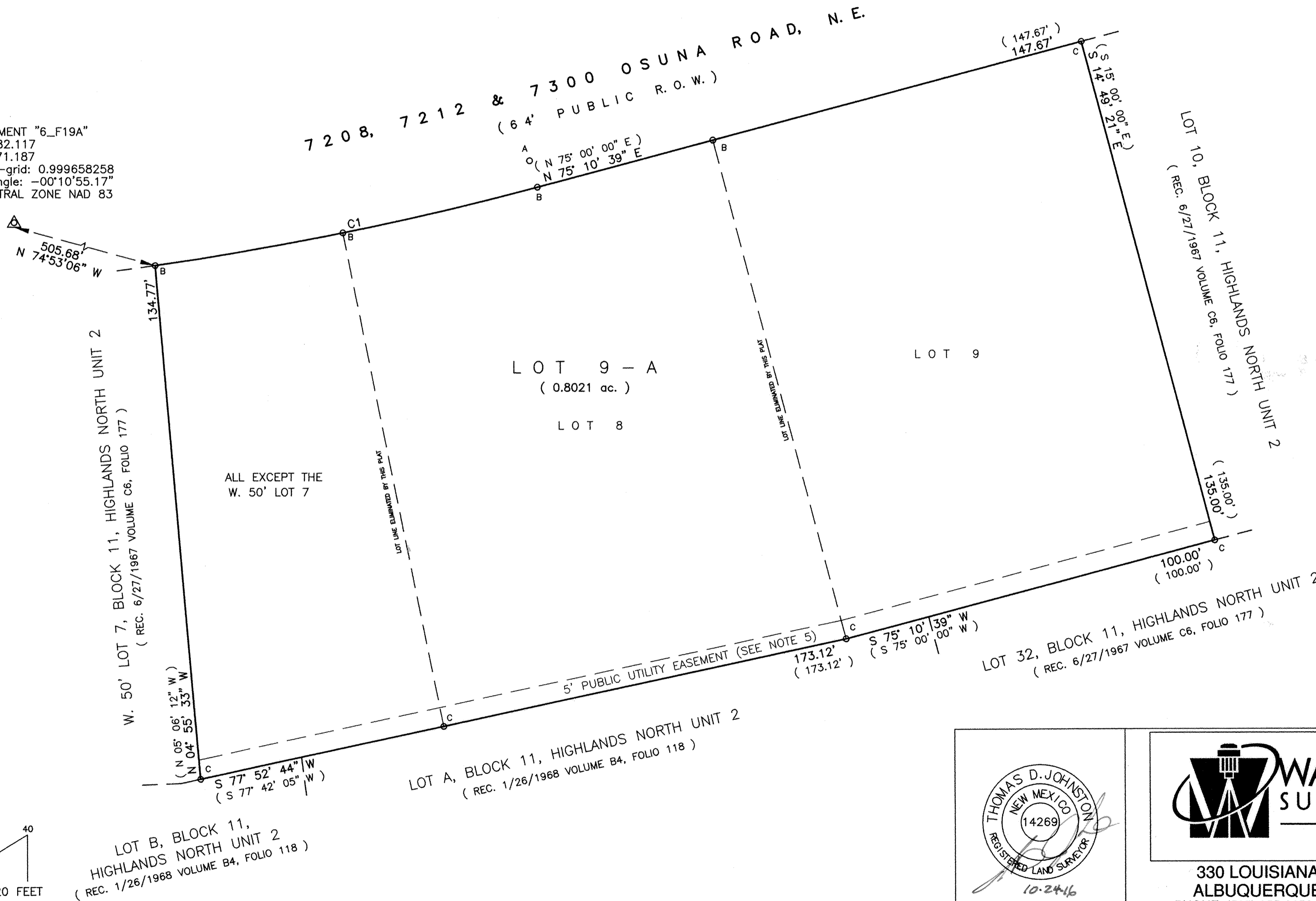
INDEXING INFORMATION FOR COUNTY CLERK: OWNER: GLADDEN EDWARD & PHYLLIS LOCATION: PROJECTED SECTION 31 T. 11 N., R. 4 E. HIGHLANDS NORTH UNIT 2. DRAWN: T R J CHECKED: T D J DRAWING NO. SP100116.DWG SCALE: 1" = 20' FILE NO. SP-10-01-2016 SHEET 1 OF 2

PLAT OF  
**LOT 9-A, BLOCK 11**  
**HIGHLANDS NORTH UNIT 2**

A REPLAT OF ALL BUT THE EAST 50' LOT 7, 8, AND 9, BLOCK 11  
 HIGHLANDS NORTH UNIT 2  
 WITHIN PROJECTED SECTION 31, T. 11 N., R. 4 E., N.M.P.M.  
 WITHIN THE ELENA GALLEGOS GRANT  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER 2016

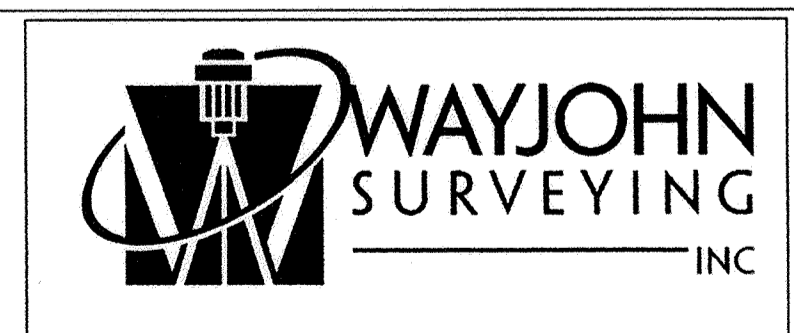
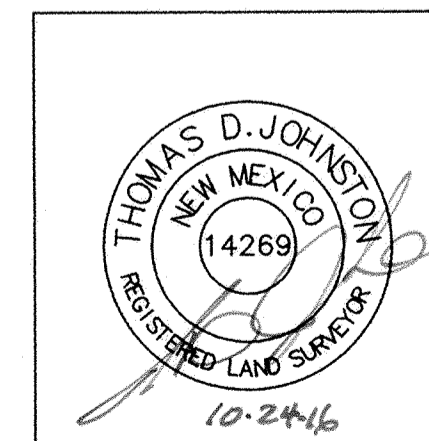
COUNTY CLERK RECORDING LABEL HERE

ACS MONUMENT "6\_F19A"  
 X=1,545,882.117  
 Y=1,505,771.187  
 Ground-to-grid: 0.999658258  
 Mapping Angle: -00°10'55.17"  
 NMSP CENTRAL ZONE NAD 83



○ FOUND/SET MONUMENT LEGEND:  
 A: FOUND REFERENCE MARK IN CURB  
 B: FOUND #4 REBAR AND CAP "WAYJOHN PS 14269"  
 C: FOUND PK NAIL AND DISK "PS 14269"

| CURVE INFORMATION |         |         |               |                        |
|-------------------|---------|---------|---------------|------------------------|
| CURVE NO.         | RADIUS  | LENGTH  | CENTRAL ANGLE | CHORD                  |
| C1                | 882.00' | 102.32' | 06° 38' 49"   | N 78°30'04" E, 102.27' |
| (C1)              | 882.00' | ---     | ---           | ---                    |



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK  
 OWNER: GLADDEN EDWARD & PHYLLIS  
 LOCATION: PROJECTED SECTION 31  
 T. 11 N., R. 4 E.  
 HIGHLANDS NORTH UNIT 2

DRAWN: T R J  
 CHECKED: T D J  
 DRAWING NO.  
 SP100116.DWG

SCALE:  
 1" = 20'  
 20 OCT 2016

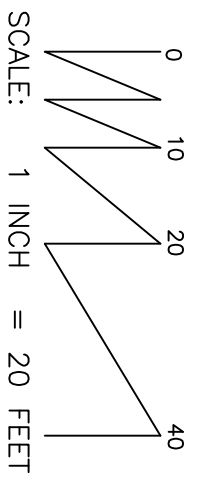
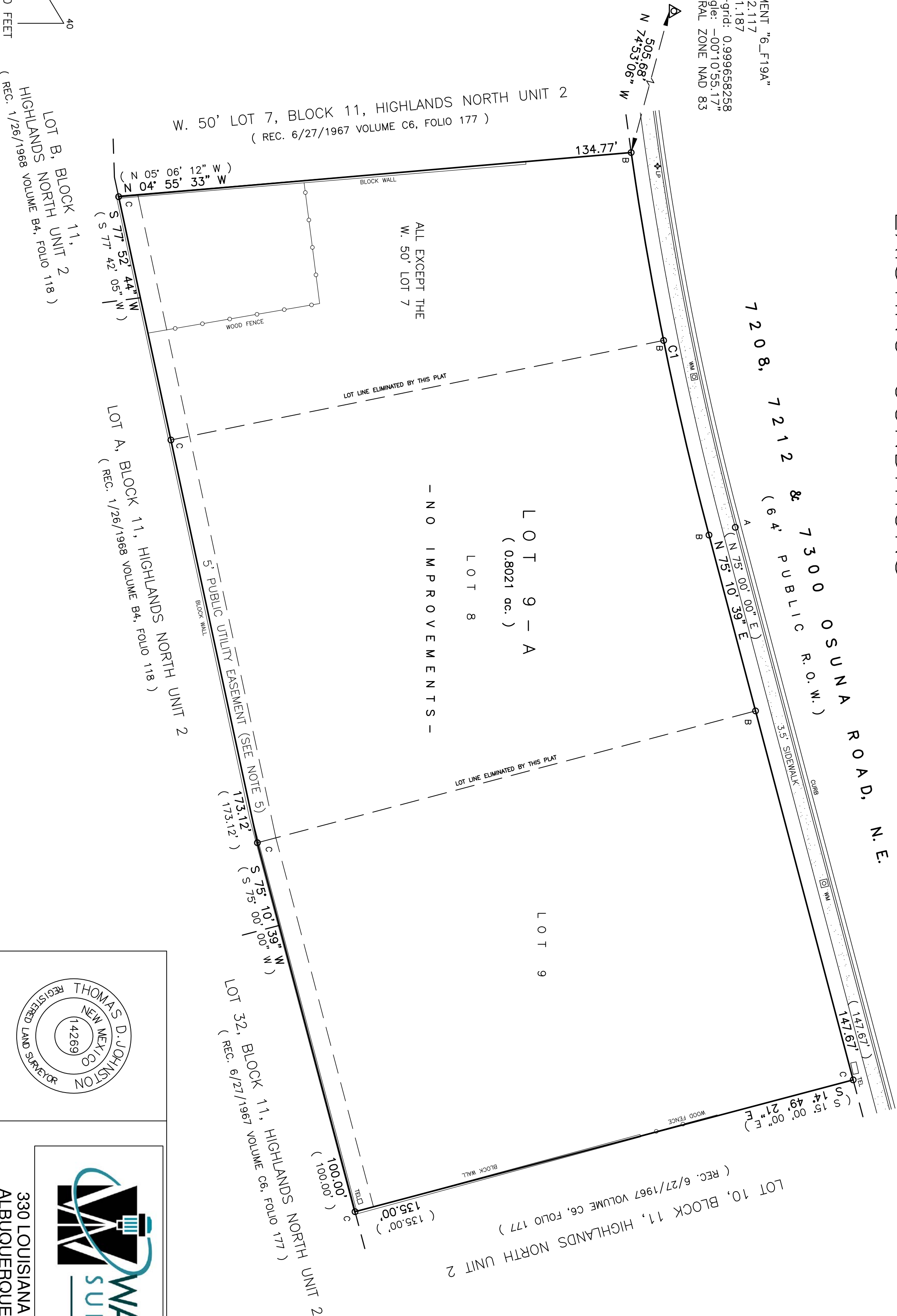
FILE NO.  
 SP-10-01-2016  
 SHEET 2 OF 2

COUNTY CLERK RECORDING LABEL HERE

PLAT OF  
**LOT 9-A, BLOCK 11**  
**HIGHLANDS NORTH UNIT 2**  
 A REPLAT OF ALL BUT THE EAST 50' LOT 7, 8, AND 9, BLOCK 11  
 HIGHLANDS NORTH UNIT 2  
 WITHIN PROJECTED SECTION 31, T. 11 N., R. 4 E., N.M.P.M.  
 WITHIN THE ELENA GALLEGOS GRANT  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 OCTOBER 2016

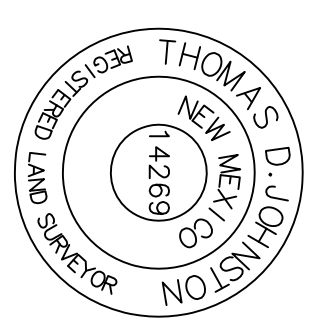
**EXISTING CONDITIONS**

ACS MONUMENT "6\_F19A"  
 X=1,545,882.117  
 Y=1,505,771.187  
 Ground-to-grid: 0.999658258  
 Mapping Angle: 00°10'55.17"  
 NAD83 CENTRAL ZONE NAD 83



o FOUND/SET MONUMENT LEGEND:  
 A: FOUND REFERENCE MARK IN CURB  
 B: FOUND #4 REBAR AND CAP "WAYJOHN PS 14269"  
 C: FOUND PK NAIL AND DISK "PS 14269"

| CURVE INFORMATION |         |         |                        |
|-------------------|---------|---------|------------------------|
| CURVE NO.         | RADIUS  | LENGTH  | CENTRAL ANGLE          |
| C1                | 882.00' | 102.32' | 06° 38' 49"            |
| (C1)              | 882.00' | ---     | N 78°30'04" E, 102.27' |



330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK  
 OWNER: GARDEN EDWARD & PHYLLIS  
 LOCATION: PROJECTED SECTION 31 T. 11 N., R. 4 E.  
 HIGHLANDS NORTH UNIT 2

DRAWN: T R J SCALE: 1" = 20'  
 CHECKED: T D J FILE NO. SP-10-01-2016  
 DRAWING NO. SP100116.DWG SHEET 2 OF 2