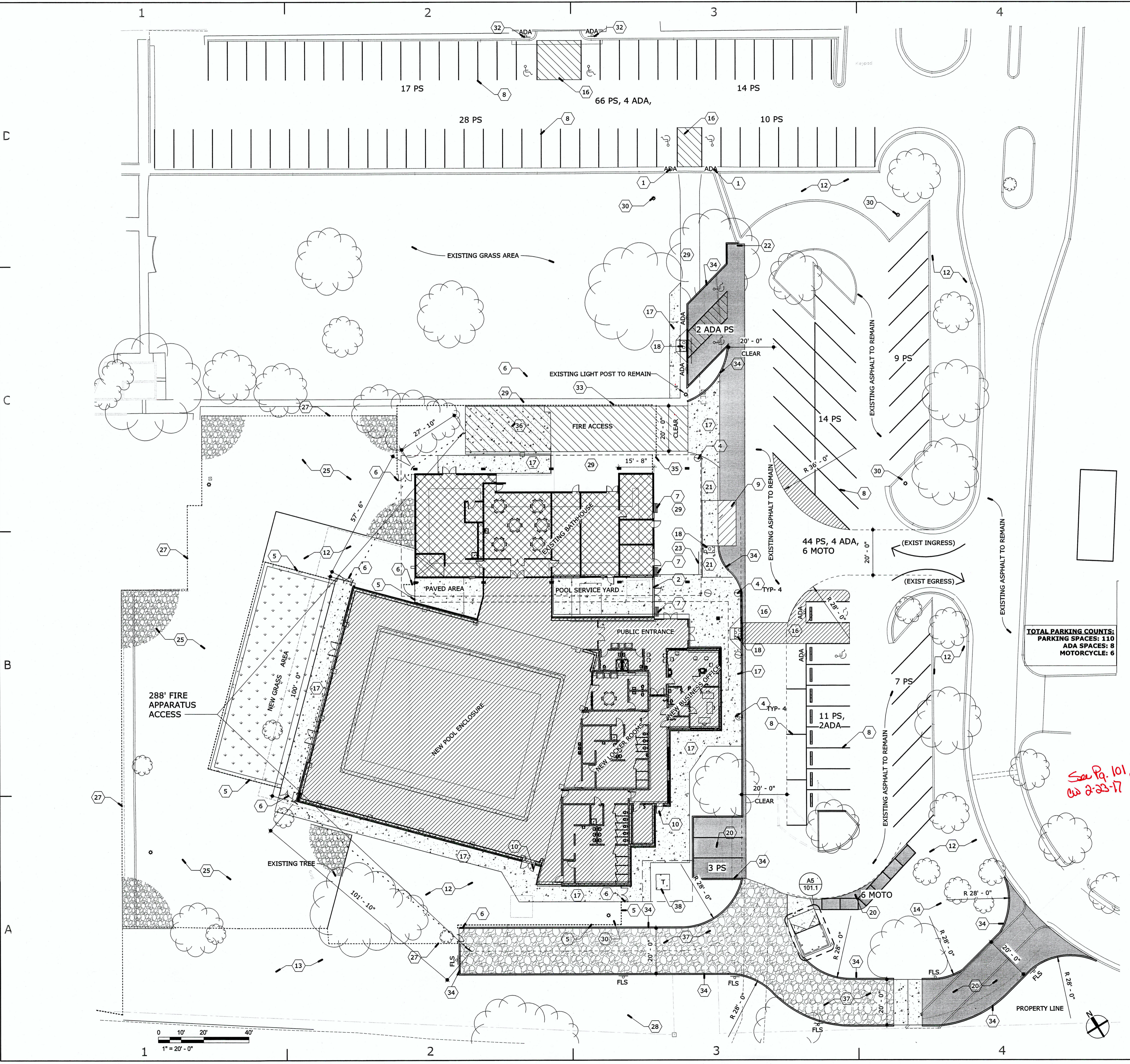




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A:\S2017\20 COA for Albu Pool\DWG\2017\Site\General Model\101.1\101.1.dwg author: COA, LAR, BTP, JAC



### GENERAL NOTES<sup>5</sup>

1. THIS PROJECT WILL DECREASE THE EXISTING BATHER LOAD COUNT BY APPROXIMATELY 30 PATRONS, BY VIRTUE OF DEMOLISHING THE EXISTING WADING POOL.
2. THIS PROJECT RE-UTILIZES THE EXISTING PARKING LOTS EAST AND NORTH INTACT, INCLUDING EXISTING INGRESS/EGRESS DRIVES.
3. THIS PROJECT BRINGS THE PARKING STALL COUNTS INTO COMPLIANCE BY RE-STRIPING AND ADDING NEW PARKING- REFERENCE PARKING CALCULATIONS THIS SHEET
4. THIS PROJECT RE-UTILIZES THE EXISTING SITE LIGHTING, DOES NOT MODIFY THE LIGHTING QUANTITY OR FIXTURE TYPE.
5. ANY FUTURE SIGNAGE OF CHANGES TO SIGNAGE MUST BE IN COMPLIANCE WITH THE SIGN REGULATIONS OF THE C-2 ZONE

### PARKING CALCULATIONS: LOS ALTOS POOL

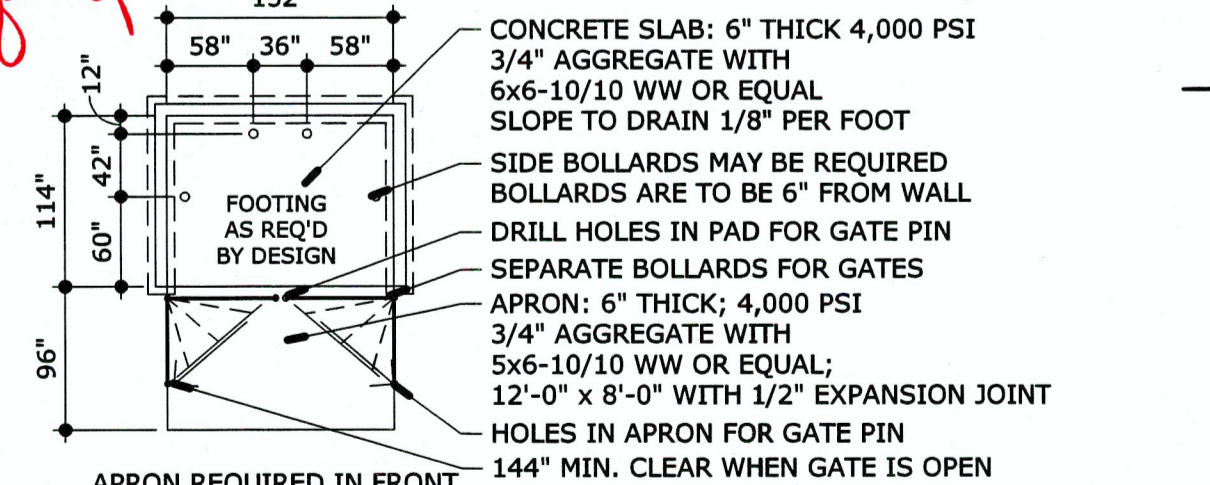
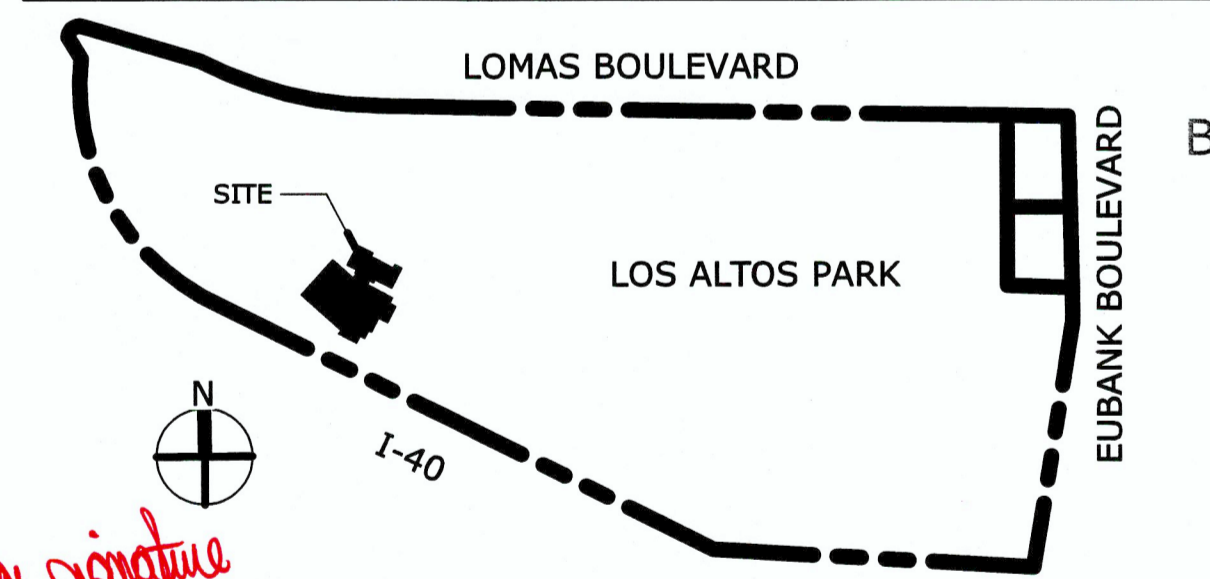
STANDARD PARKING STALLS: PURSUANT TO 14.16.2.22 SU-1 ZONE REQUIREMENTS, OFF-STREET PARKING SHALL BE PROVIDED AS REQUIRED BY THE PLANNING COMMISSION. NO OTHER SPECIFIC OFF-STREET PARKING REGULATIONS FOR SWIMMING POOL FACILITIES ARE INCLUDED IN THE ZONING CODE.

- STANDARD PARKING SPACES: CURRENT PROVIDED: 110; REQUIRED: 22,000/200 = 110
- CURRENT ACCESSIBLE PARKING SPACES: 8; REQUIRED: 8 (PER 14.16.3.1.F.9.A)
- CURRENT MOTORCYCLE PARKING: CURRENT PROVIDED 6; REQUIRED 4
- CURRENT BICYCLE PARKING: CURRENT PROVIDED 6; REQUIRED 6

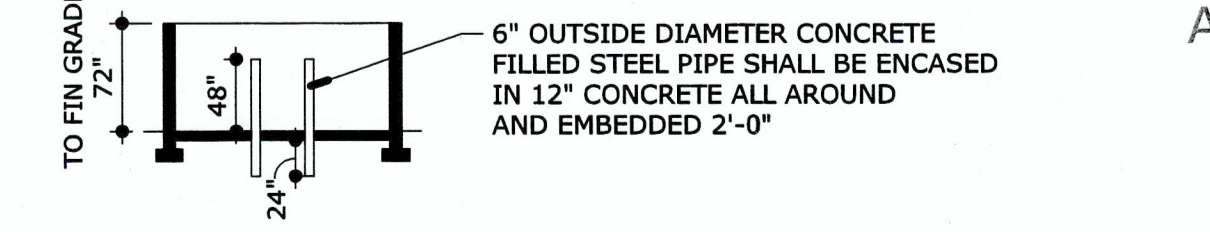
### EPC SITE KEYNOTE LEGEND

|    |  |
|----|--|
| 1  | EXISTING ADA PARKING - UPDATE SIGNAGE TO ADA COMPLIANT, INCLUDING VAN ACCESSIBLE WITH REQUIRED LANGUAGE "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING." RE-STRIPED ACCESSIBLE ROUTE AISLES. |
| 2  | CMU SCREENING WALL, 7'-4" HI, BURNISHED SEASHORE SAND COLORED, WITH PAINTED HM STEEL GATES.  |
| 4  | 18" SPHERICAL BOLLARD, PRE-CAST CONCRETE, NATURAL COLORED.   |
| 5  | ORNAMENTAL STEEL PICKET FENCE TO MATCH EXISTING, 6" HI, BLACK  |
| 6  | ORNAMENTAL STEEL PICKET GATE TO MATCH FENCE, 6" HI, BLACK  |
| 7  | NEW BENCH- 3 SEAT CAPACITY   |
| 8  | RE-STRIPED EXISTING PARKING STALLS IN PLACE  |
| 9  | ADA PASSENGER DROP-OFF ZONE 8' X 20'   |
| 10 | PANIC DOOR- EMERGENCY EGRESS ONLY  |
| 12 | NEW XERISCAPE LANDSCAPING  |
| 13 | EXISTING NATIVE VEGETATION   |
| 14 | EXISTING RETENTION POND- REF CIVIL   |
| 16 | ADA ROUTE STRIPING 4" WIDE @ 18" OC  |
| 17 | NEW CONCRETE WALK PER COA STD DWG 2720   |
| 18 | NEW ADA RAMP WITH DETECTIBLE SURFACE PER COA STD DWG 2418  |
| 20 | ASPHALT PATCH PER COA STD DWG 2405A  |
| 21 | NEW ADA RAMP WITH HEADER CURB, DETECTIBLE SURFACE PER COA STD DWG 2441   |
| 22 | TIE INTO EXISTING CURB AND GUTTER  |
| 23 | NEW POWDER COATED STEEL BIKE RACK- 6 BIKE CAPACITY   |
| 25 | EXISTING GRAVEL  |
| 27 | Existing chain link fence  |
| 28 | EXISTING GRAVEL MAINTENANCE ROAD   |
| 29 | EXISTING CONCRETE WALK PATH TO REMAIN  |
| 30 | EXISTING LIGHT POLE  |
| 32 | RELOCATE EXISTING ADA PARKING SIGNS TO CENTER OF PARKING STALL   |
| 33 | RELOCATE EXISTING ORNAMENTAL FENCE   |
| 34 | NEW CONCRETE CURB  |
| 35 | ROLLING GATE   |
| 36 | NEW CIP CONCRETE PAVING PER COA STD  |
| 37 | NEW 6" COMPACTED BASE COURSE   |
| 38 | PROPOSED TRANSFORMER LOCATION SHOWING CLEARANCES REQUIRED BY PNM   |

### KEY PLAN



APRON REQUIRED IN FRONT OF EACH ENCLOSURE (6" WITH REINFORCING TO WITHSTAND 57,000 LBS)



ADDITIONAL INFORMATION CONCERNING THESE SPECIFICATIONS MAY BE OBTAINED BY CALLING THE SOLID WASTE MANAGEMENT DEPARTMENT AT 761-8100

### A5 REFUSE ENCLOSURE

3/32" = 1'-0"

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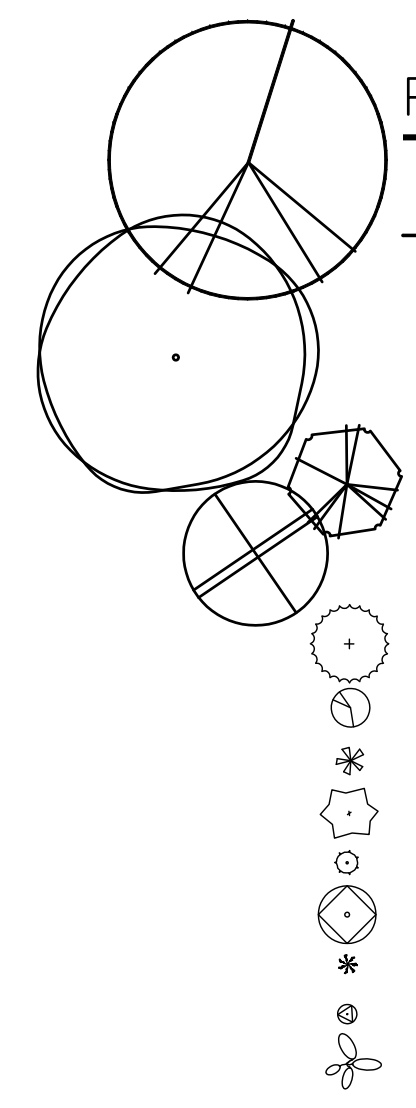
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PROJECT: 5280.00  
NO. DRAWN BY: Author  
CHECKED BY: Checker  
GREER STAFFORD/SICF ARCHITECTURE  
SHEET TITLE: SITE PLAN  
ISSUE: FEBRUARY 21, 2017

DRAWING SHEET

# 101.1

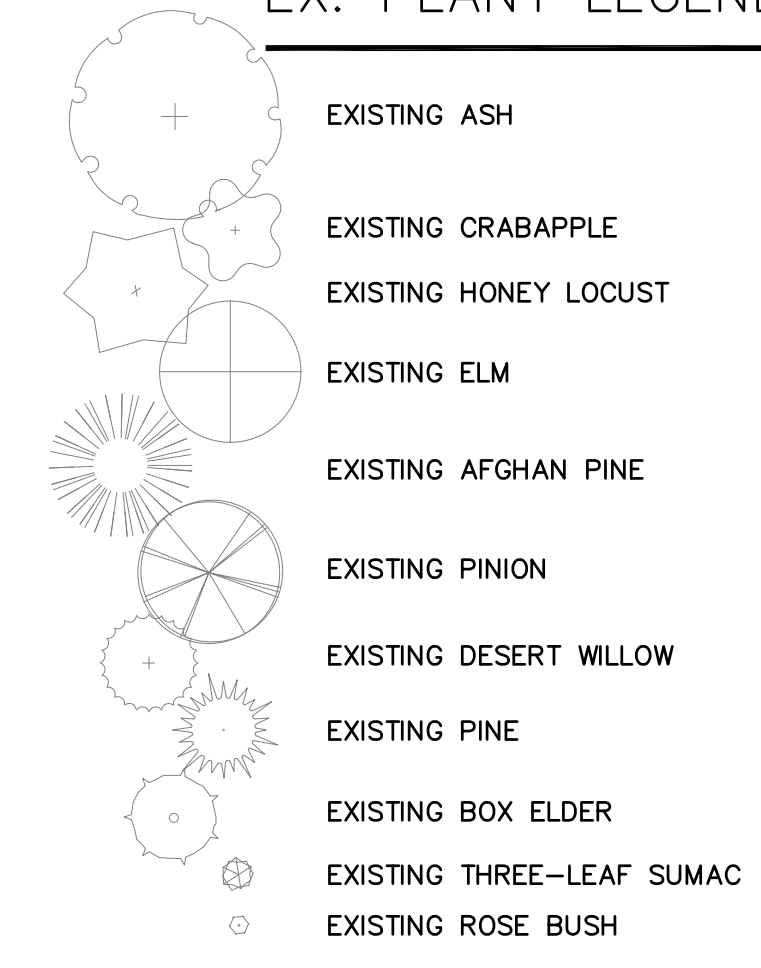
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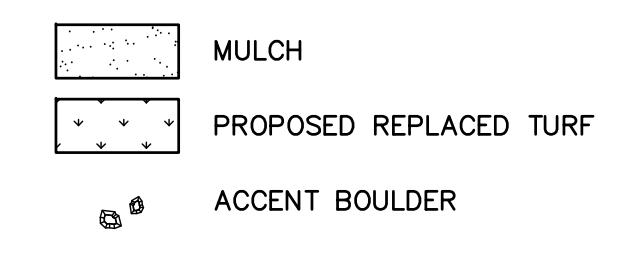
**PLANT LEGEND**

| KEY   | COMMON NAME           | BOTANICAL NAME                | QTY | INSTALLED SIZE       | REMARKS  | MATURE SIZE        | WATER USE | COVER | COVER  |
|---|-----------------------|-------------------------------|-----|----------------------|----------|--------------------|-----------|-------|--------|
| <b>SHADE TREES</b>                            |                       |                               |     |                      |          |                    |           |       |        |
| SB  | SENSATION BOXELDER    | ACER NEGUNDO 'SENSATION'      | 8   | 2" CAL., 10'-12" HT. | 24" BOX  | 40' HT. X 30' SPD. | M         | 706   | 5,648  |
| CP  | CHINESE PISTACHE      | PISTACHIA CHINENSIS           | 8   | 2" CAL., 10'-12" HT. | 24" BOX  | 60' HT. X 60' SPD. | M         | 2826  | 22,608 |
| <b>ACCENT TREES</b>                           |                       |                               |     |                      |          |                    |           |       |        |
| OR  | OKLAHOMA REDBUD       | CERCIS RENIFORMIS 'OKLAHOMA'  | 1   | 2" CAL., 10'-12" HT. | 24" BOX  | 15' HT. X 12' SPD. | M         | 113   | 113    |
| DW  | DESERT WILLOW         | CHILOPSIS LINEARIS            | 1   | 8'-10" HT.           | 24" BOX  | 20' HT. X 15' SPD. | M         | 314   | 314    |
| <b>SHRUBS/GROUNDCOVERS/GRASSES/PERENNIALS</b> |                       |                               |     |                      |          |                    |           |       |        |
| CLM   | CURL LEAF MAHOGANY    | CERCOCARPUS LEDIFOLIUS        | 3   | MIN. 12" HT.         | 5 GALLON | 15' HT. X 15' SPD. | L+        | 176   | 528    |
| BS  | BIG SAGE              | ARTEMESIA TRIDENTATA          | 9   | MIN. 18" HT.         | 5 GALLON | 5' HT. X 5' SPD.   | RW        | 20    | 180    |
| RY  | RED YUCCA             | HESPERALOE PARVIFOLIA         | 15  | MIN. 12" HT.         | 5 GALLON | 3' HT. X 4' SPD.   | L+        | 12    | 180    |
| FB  | FERNBUSH              | CHAMAEBATIARIA MILLEFOLIUM    | 3   | MIN. 12" HT.         | 5 GALLON | 5' HT. X 6' SPD.   | L+        | 28    | 84     |
| COG   | CREEPING OREGON GRAPE | MAHONIA REPENS                | 11  | MIN. 18" SPD.        | 5 GALLON | 1' HT. X 2' SPD.   | M         | 3     | 33     |
| AAS   | AUTUMN AMBER SUMAC    | RHUS TRILOBATA 'AUTUMN AMBER' | 28  | MIN. 18" SPD.        | 5 GALLON | 2' HT. X 6' SPD.   | L+        | 28    | 784    |
| LB  | LITTLE BLUESTEM       | SCHIZACHYRIUM SCOPARIUM       | 9   | MIN. 12" HT.         | 3 GALLON | 2' HT. X 2' SPD.   | L+        | 3     | 27     |
| AS  | AUTUMN SAGE           | SALVIA GREGGII                | 28  | MIN. 12" HT.         | 1 GALLON | 2' HT. X 3' SPD.   | L+        | 7     | 196    |
| PP  | PRICKLY PEAR          | OPUNTIA ENGELMANNII           | 12  | MIN. 12" HT.         | 5 GALLON | 5' HT. X 8' SPD.   | L+        | 50    | 600    |

**EX. PLANT LEGEND**



**HATCH LEGEND**



**GENERAL LANDSCAPE NOTES**

**IRRIGATION:** PLANTINGS TO BE WATERED BY AUTOMATIC, BUBBLER IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE.

**RESPONSIBILITY OF MAINTENANCE:**  
IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING.

**WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE OWNER. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND PRINCIPLES SHALL BE FOLLOWED IN DESIGN AND INSTALLATION.**

**THE OWNER SHALL ASSUME RESPONSIBILITY FOR MAINTENANCE OF THE LANDSCAPE. THE OWNER SHALL MAINTAIN LANDSCAPE PLANTS IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.**

**CLEAR SIGHT DISTANCE:**  
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

**LANDSCAPE AREA COVERAGE:**  
 TOTAL SITE AREA: 159,978 SF (3.67 ACRES)  
 BUILDING AREA: - 22,000 SF  
 PARKING AREA NOT REQUIRED: - 0 SF  
 LANDSCAPE IN ROW: - 0 SF  
 NET LOT AREA: 137,978 SF (3.17 ACRES)

**REQUIRED LANDSCAPE AREA (15% OF NET): 20,697 SF  
 PROVIDED LANDSCAPE AREA: 45,431 SF (33% OF NET)**

**TURF:**  
 EXISTING TURF TO REMAIN: 22,845 SF  
 EXISTING TURF TO BE RENOVATED: 2,815 SF  
 A FLOW METER WILL BE INSTALLED DOWNSTREAM OF THE WATER METER. NO MORE THAN 35 INCHES OF WATER PER YEAR WILL BE APPLIED TO THE TURF AREA.

**PARKING LOT TREES:**  
 THE PROJECT IS PROVIDING 110 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

**PARKING LOT TREES REQUIRED: 11  
 PARKING LOT TREES PROVIDED (NEW AND EXISTING): 19**

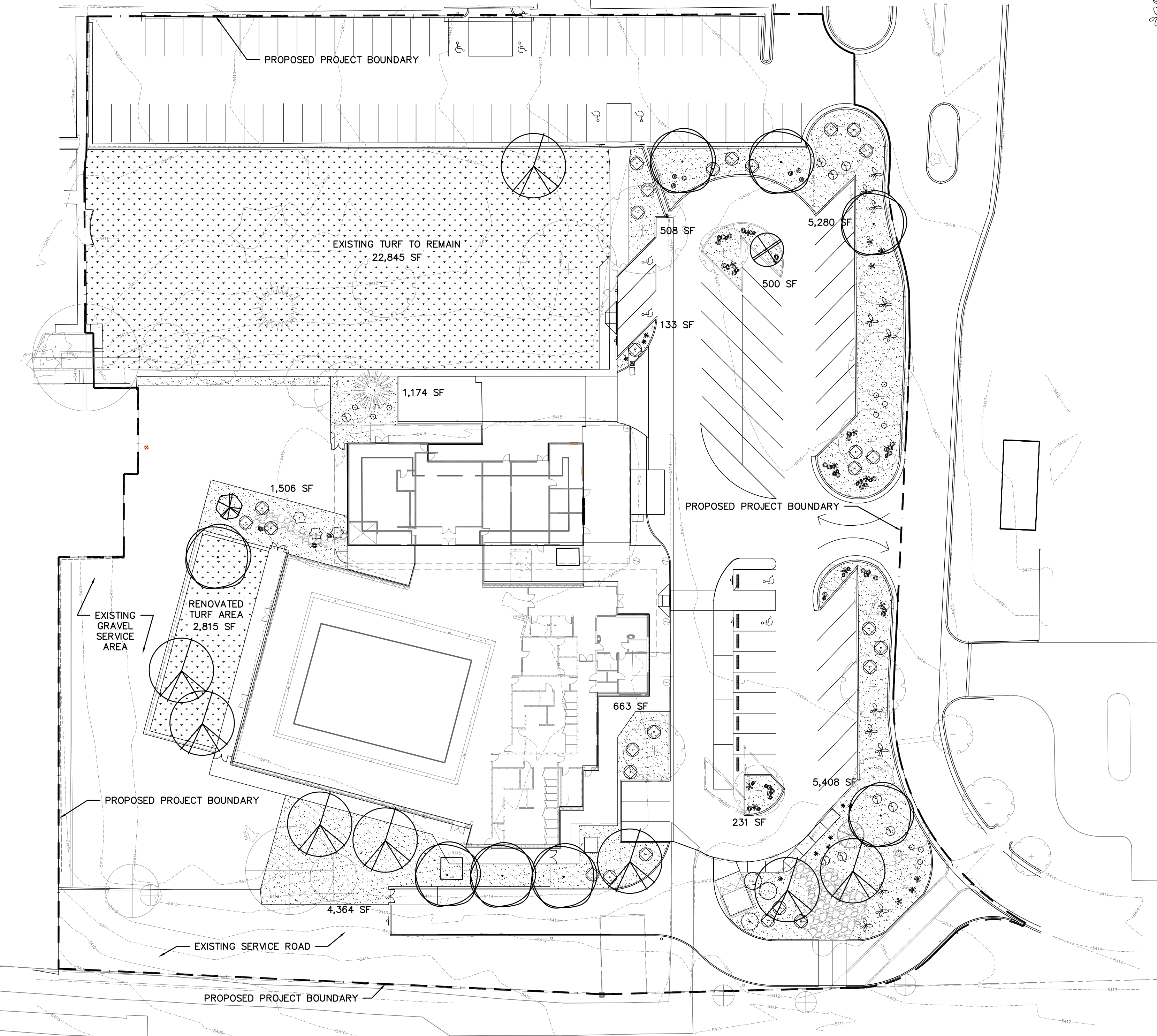
**STREET TREES:**  
 THIS SITE RESIDES ENTIRELY WITHIN THE ONE LOT. THERE ARE NO STREETS ON THE SITE.

**TREE AND SHRUB PLANTING:**  
 TREE PLANTING - SEE DETAIL 13/102.01.  
 SHRUB PLANTING - SEE DETAIL 44/102.01.

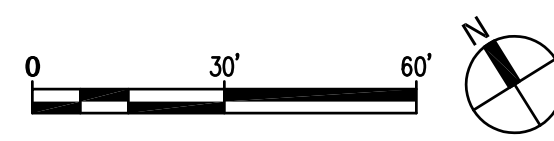
**ORDINANCE COMPLIANCE:**  
 THIS PLAN IS TO COMPLY WITH CITY OF ALBUQUERQUE LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1 PLANTING RESTRICTIONS APPROACH.

**MULCH:**  
 LANDSCAPE AREAS TO BE MULCHED TO A 3" DEPTH MINIMUM WITH FILTER FABRIC UNDER AND SHALL BE INSTALLED THROUGHOUT PLANTING BEDS.

**UTILITIES:**  
 SEE THE SITE PLAN FOR LOCATIONS OF ALL EXISTING UTILITIES. TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN THREE FEET FROM EXISTING GAS MAINS OR GAS SERVICE LINES AND/OR UNDERGROUND ELECTRIC UTILITY LINES.



**A1 LANDSCAPE PLAN**  
1" = 30'-0"



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**THE NEW LOS ALTOS POOL**  
**CITY OF ALBUQUERQUE**  
 10100 LOMAS BOULEVARD NE  
 ALBUQUERQUE, NM 87123

|                                  |
|----------------------------------|
| PROJECT NO: 5280.00              |
| DRAWN BY: RMC/AZ                 |
| CHECKED BY: AZ/BV                |
| GREER STAFFORD/SJCF ARCHITECTURE |
| LANDSCAPE PLAN                   |
| DRAWING SHEET                    |

ISSUE: February 21, 2017

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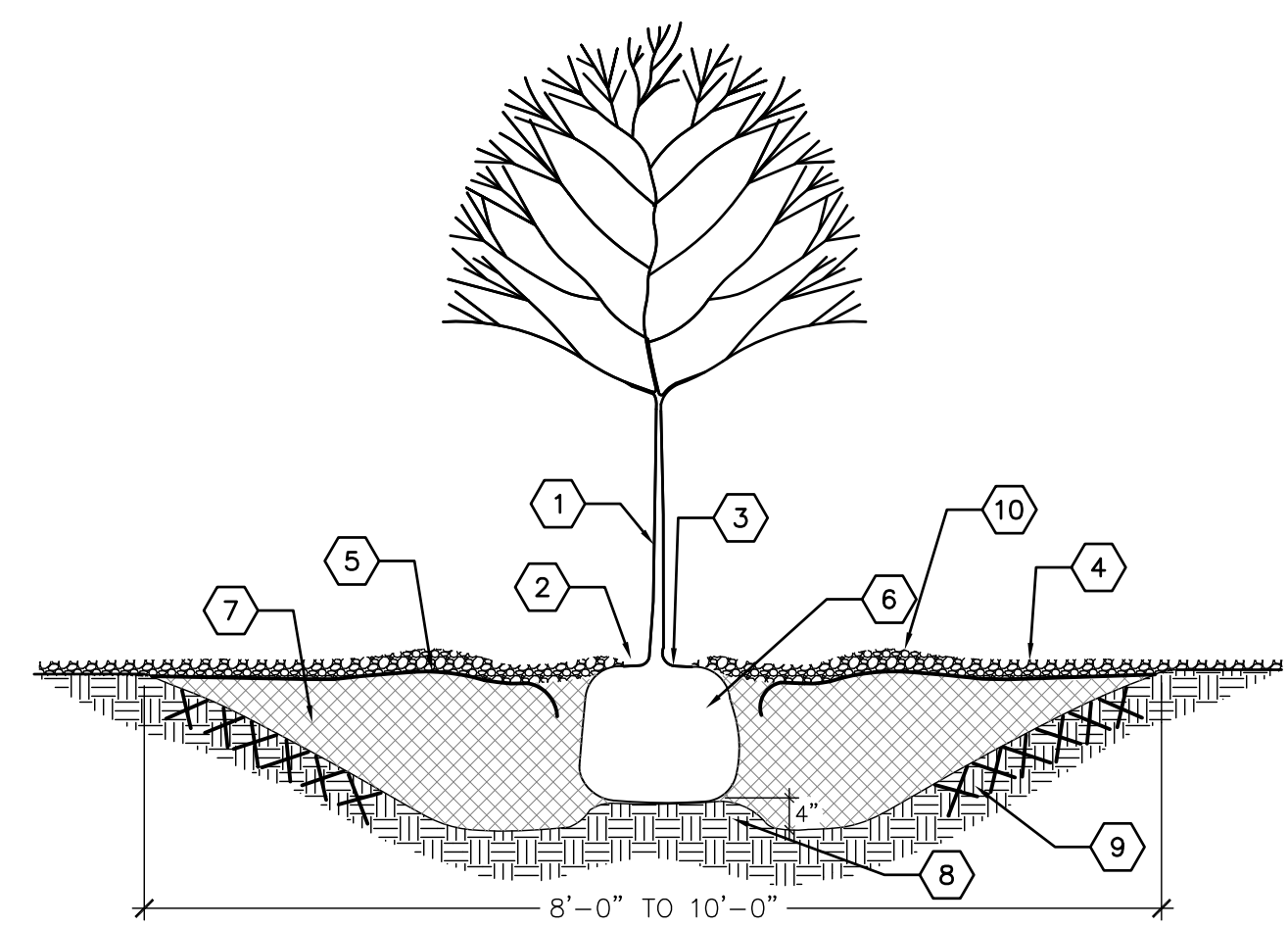
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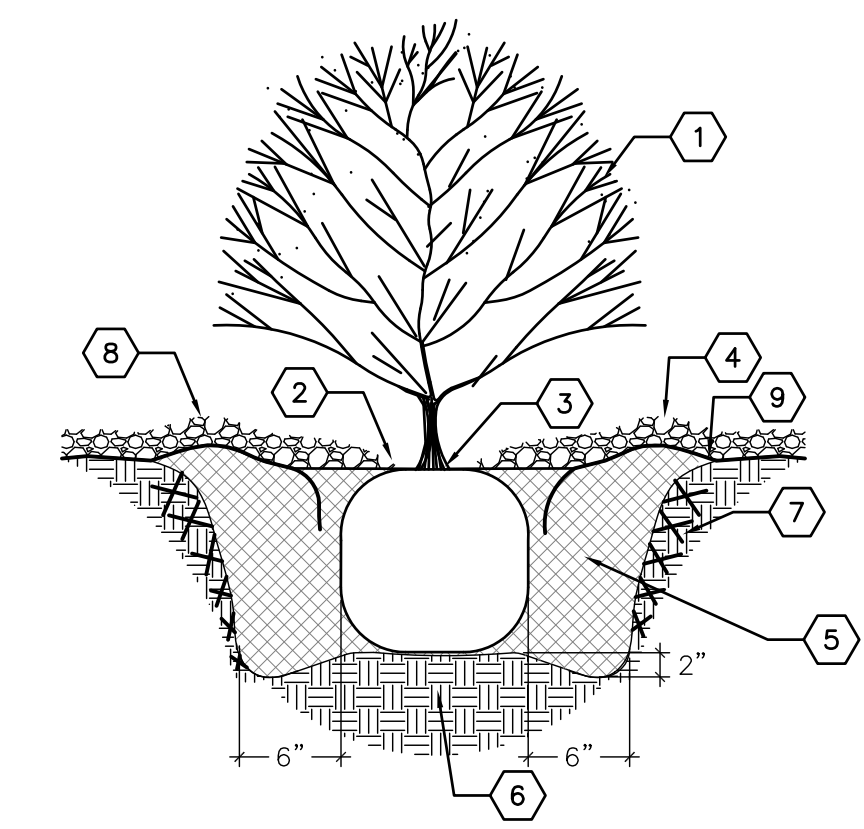
**KEYED NOTES**

1. TREE LOCATION AND SPECIES AS PER PLAN
2. MULCH SHALL BE HELD BACK 4" FROM TREE TRUNK
3. REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH)
4. MULCH - SEE PLANTING PLAN
5. WEED BARRIER FABRIC - SEE PLANTING PLAN - TURN DOWN 6" AT EDGES
6. INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL
7. BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS
8. UNDISTURBED NATIVE SOIL
9. SCARIFY AND LOOSEN EDGES OF PLANTING PIT
10. 2" HIGH X 16" WIDE BERM, 4' MINIMUM DIAMETER OR AS SHOWN ON THE PLANS

**GENERAL NOTES**

A. THE WIDTH OF THE TREE WELL MAY BE REDUCED AS NOTED ON THE PLANS OR ADJUSTED BY THE LANDSCAPE ARCHITECT TO MEET FIELD CONDITIONS

**A3 TREE PLANTING**  
SCALE: N.T.S.



**KEYED NOTES**

1. SHRUB LOCATION AND SPECIES AS PER PLAN
2. MULCH SHALL BE FEATHERED TO A 2" DEPTH ON TOP OF ROOT BALL AND SHALL BE HELD BACK 2" FROM SHRUB STEM(S)
3. PLANT WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH)
4. 4" DEPTH MULCH THROUGHOUT SHRUB BED UNLESS OTHERWISE NOTED
5. BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS
6. UNDISTURBED NATIVE SOIL
7. SCARIFY AND LOOSEN EDGES OF PLANTING PIT
8. 2" HIGH X 6" WIDE BERM
9. WEED BARRIER FABRIC - SEE IRRIGATION PLANTING PLAN - TURN DOWN 6" AT EDGES

**A4 SHRUB PLANTING**  
SCALE: N.T.S.

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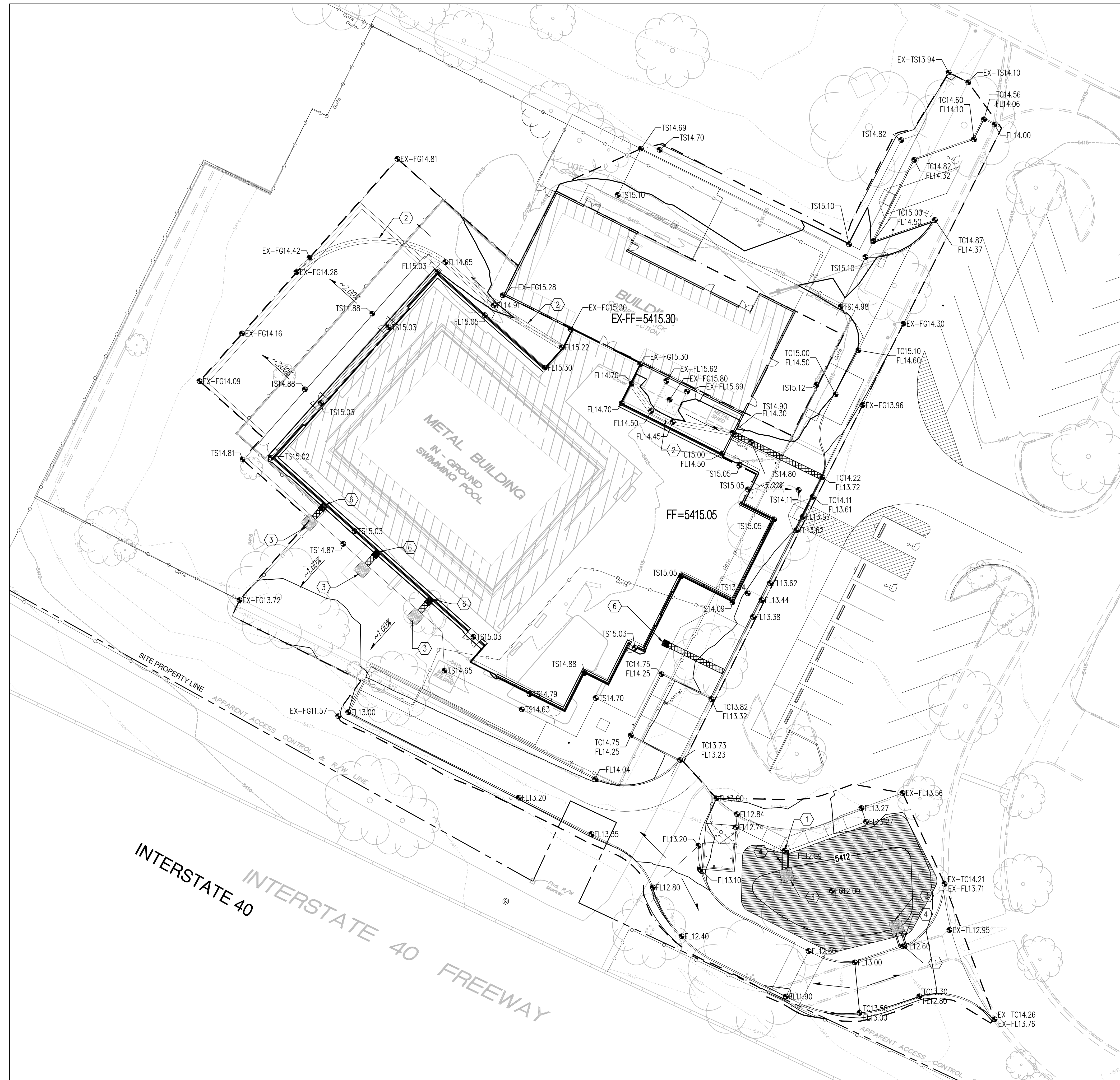


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**THE NEW LOS ALTOS POOL  
CITY OF ALBUQUERQUE**  
10100 LOMAS BOULEVARD NE  
ALBUQUERQUE, NM 87123

|                                  |
|----------------------------------|
| PROJECT NO: 5280.00              |
| DRAWN BY: RMC/AZ                 |
| CHECKED BY: AZ/BV                |
| GREER STAFFORD/SJCF ARCHITECTURE |
| LANDSCAPE DETAILS                |
| DRAWING SHEET                    |
| ISSUE:<br>February 21, 2017      |

**102.01**



### GRADING KEYNOTES

1. INSTALL CURB OPENING.
2. INSTALL 2' VALLEY GUTTER.
3. INSTALL RIP RAP BLANKET.
4. INSTALL CONCRETE RUNDOWN.
5. MATCH EXISTING ELEVATION.
6. INSTALL PEDESTRIAN RATED GRATE AND 2' SIDEWALK CULVERT. DAYLIGHT ROOF DRAIN INTO SIDEWALK CULVERT.

### DRAINAGE NARRATIVE

**EXISTING CONDITIONS:**

THE NEW LOS ALTOS POOL IS LOCATED WITHIN THE EXISTING LOS ALTOS PARK ALONG LOMAS BOULEVARD. THE AREA THAT THE SITE CURRENTLY SITS ON IS APPROXIMATELY 1.50 ACRES. IT IS CURRENTLY FULLY DEVELOPED AND GENERALLY SLOPES FROM NORTH TO SOUTH. THE EXISTING POOL BUILDING AND PARKING LOT COVERS A MAJORITY OF THE SITE. A PORTION OF THE EXISTING SITE FLOWS TO THE WEST BEFORE CONTINUING SOUTH ON ITS HISTORIC PATH. THE OTHER PORTION OF THE SITE FLOWS TO THE EAST INTO THE PARKING LOT BEFORE CONTINUING SOUTH WHERE IT PROCEEDS TO A CONCRETE RUNDOWN WHERE IT IS THEN CAPTURED BY OFFSITE INFRASTRUCTURE THAT CONNECTS TO THE ADJACENT 1-40 DRAINAGE CHANNEL.

THE SITE IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOOD ZONE (FEMA FIRM # 35001C0358H).

**PROPOSED CONDITIONS:**

THE NEW CONSTRUCTION OF THIS PROJECT WILL CONSIST OF A NEW SINGLE STORY ADDITION ALONG THE EAST PORTION OF THE EXISTING BUILDING. THE NORTHERN WING AND EXISTING POOL HOUSE WILL BE REMODELED. THE EXISTING PARKING LOT ADJACENT TO THE SITE WILL BE SLIGHTLY AFFECTED BY THE CONSTRUCTION. IN THE AREAS WHERE THE EXISTING PARKING LOT IS TOUCHED, THE GRADING WILL BE ENHANCED IN AN EFFORT TO PROMOTE POSITIVE DRAINAGE ALONG ITS HISTORIC PATH. THE NEW FIRE ACCESS PATH WILL ALSO BE BUILT TO ENCOURAGE POSITIVE DRAINAGE AND WILL BE USED TO HELP INCORPORATE A NEW WATER HARVESTING POND. THE FINISHED FLOOR ELEVATION FOR THE ADDITION WILL BE SET TO GENERALLY ADHERE TO THE EXISTING FINISHED FLOOR AND EXISTING POOL-DECK (TO REMAIN) IN AN EFFORT TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING.

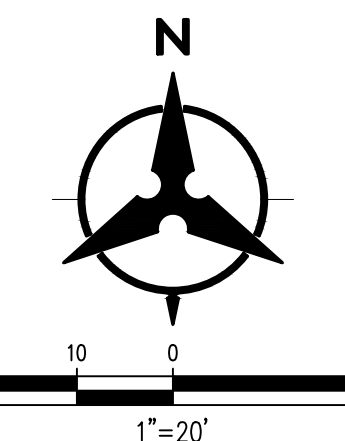
OUR SITE WILL REMAIN DEVELOPED, ALLOWING 100% OF THE PROPOSED FLOW TO REMAIN GENERALLY UNCHANGED FROM THE CURRENT DEVELOPED FLOWS. A PORTION OF THE PROPOSED RUNOFF WILL FLOW TO THE WEST BEFORE CONTINUING ON ITS HISTORIC PATH. SAME AS EXISTING CONDITIONS. THE OTHER PORTION OF THE PROPOSED RUNOFF FLOW TO THE EAST INTO THE PARKING LOT BEFORE CONTINUING ON ITS HISTORIC PATH. THE RUNOFF WILL THEN BE CAPTURED BY ONSITE WATER HARVESTING PONDING (DISCUSSED BELOW) AND OFFSITE INFRASTRUCTURE BEFORE CONTINUING INTO THE ADJACENT 1-40 DRAINAGE CHANNEL.

THERE WILL BE NO ONSITE STORM DRAIN SYSTEM. THE ROOF WILL BE PIPED BEFORE DAYLIGHTING INTO SIDEWALK CULVERTS WHERE IT WILL SURFACE FLOW INTO LANDSCAPING OR PARKING AREAS.

THE LANDSCAPED AREAS THROUGHOUT THE SITE WILL BE DEPRESSED WHERE APPLICABLE TO CAPTURE DRAINAGE IN AN ATTEMPT TO MEET THE FIRST FLUSH PONDING REQUIREMENTS. THE EXISTING SOUTHEAST LANDSCAPED AREA WILL BE RE-GRADED AS A FIRST FLUSH PONDING AREA. THE DISTURBED AREA OF THE SITE PRODUCES APPROXIMATELY 1,250 CF OF FIRST FLUSH VOLUME. THESE NEW PONDING AREAS ADD APPROXIMATELY 1,500 CF OF VOLUME. THIS AMOUNT IS MORE THAN THE REQUIRED VOLUME. THE SITE WILL ALMOST ENTIRELY DRAIN TO THE SOUTH, WHERE IT WILL ENTER THIS PONDING AREA BEFORE ULTIMATELY OUTFALLING TO THE 1-40 DRAINAGE CHANNEL. THE POND OUTFALL GRADE WAS SET LOW ENOUGH TO ENSURE THE POND DOES NOT BACK UP INTO THE PARKING LOT, AND INSTEAD WILL OVERFLOW TO THE SOUTH.

DUE TO NO DRASTIC ELEVATION DIFFERENCES BETWEEN EXISTING AND PROPOSED, NO RETAINING WALLS WILL BE REQUIRED.

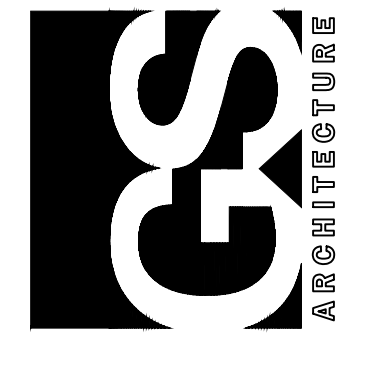
GIVEN THE ABOVE INFORMATION, WE ARE IN CONFORMANCE WITH THE CITY HYDROLOGY REQUIREMENTS AND REQUEST SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL.



### GRADING LEGEND

|           |  |     |   |
|-----------|--|-----|---|
| ---       | PROPERTY LINE  | --- | PROPOSED CURB & GUTTER                                    |
| ---       | PROJECT LIMITS OF GRADING  | --- | DIRECTION OF FLOW   |
| ---       | EXISTING INDEX CONTOUR   | --- | WATER BLOCK/GRADE BREAK                                   |
| ---       | EXISTING INTERMEDIATE CONTOUR  | --- | PROPOSED STORM DRAIN LINE                                 |
| ⊕ 5025.25 | EXISTING GROUND SPOT ELEVATION   | ⊙   | PROPOSED STORM DRAIN MANHOLE                              |
| ---       | PROPOSED INDEX CONTOUR   | ■   | PROPOSED STORM DRAIN INLETS                               |
| ---       | PROPOSED INTERMEDIATE CONTOUR  | --- | PROPOSED RETAINING WALL                                   |
| ---       | PROPOSED FLOW LINE   | --- | EASEMENT  |
| ⊕ 26.75   | PROPOSED FINISHED GRADE SPOT ELEVATION   | --- | PROPOSED WATER HARVESTING AREAS (FIRST FLUSH REQUIREMENT) |
| ---       | TO=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW |     |   |

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 10100 LOMAS BOULEVARD NE  
 ALBUQUERQUE, NM 87123

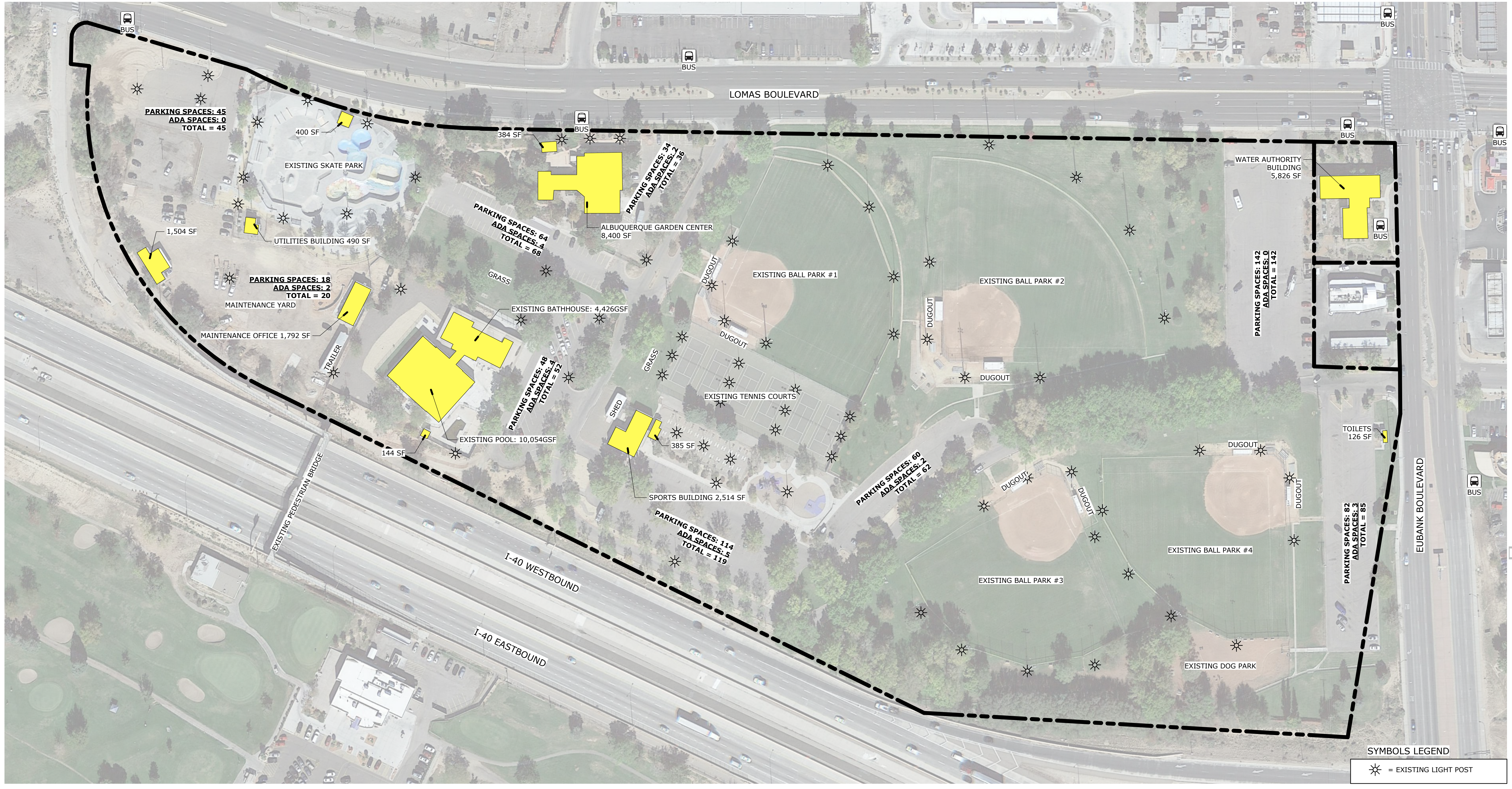
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| DRAWN BY: MHS               |
| CHECKED BY: JLM             |
| GREER STAFFORD ARCHITECTURE |
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| GRADING PLAN                |

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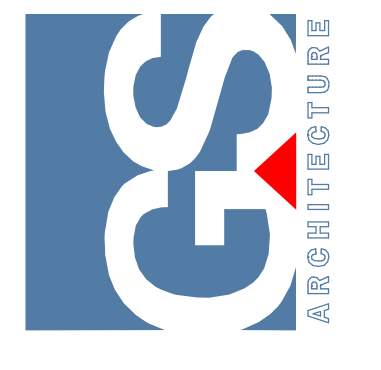


**B1** EXISTING CONDITIONS SITE PLAN- LOS ALTOS PARK OVERALL  
 1" = 80'-0"



**A1** VICINITY MAP  
 NTS

**GREER STAFFORD/S/JCF ARCHITECTURE, INC.**  
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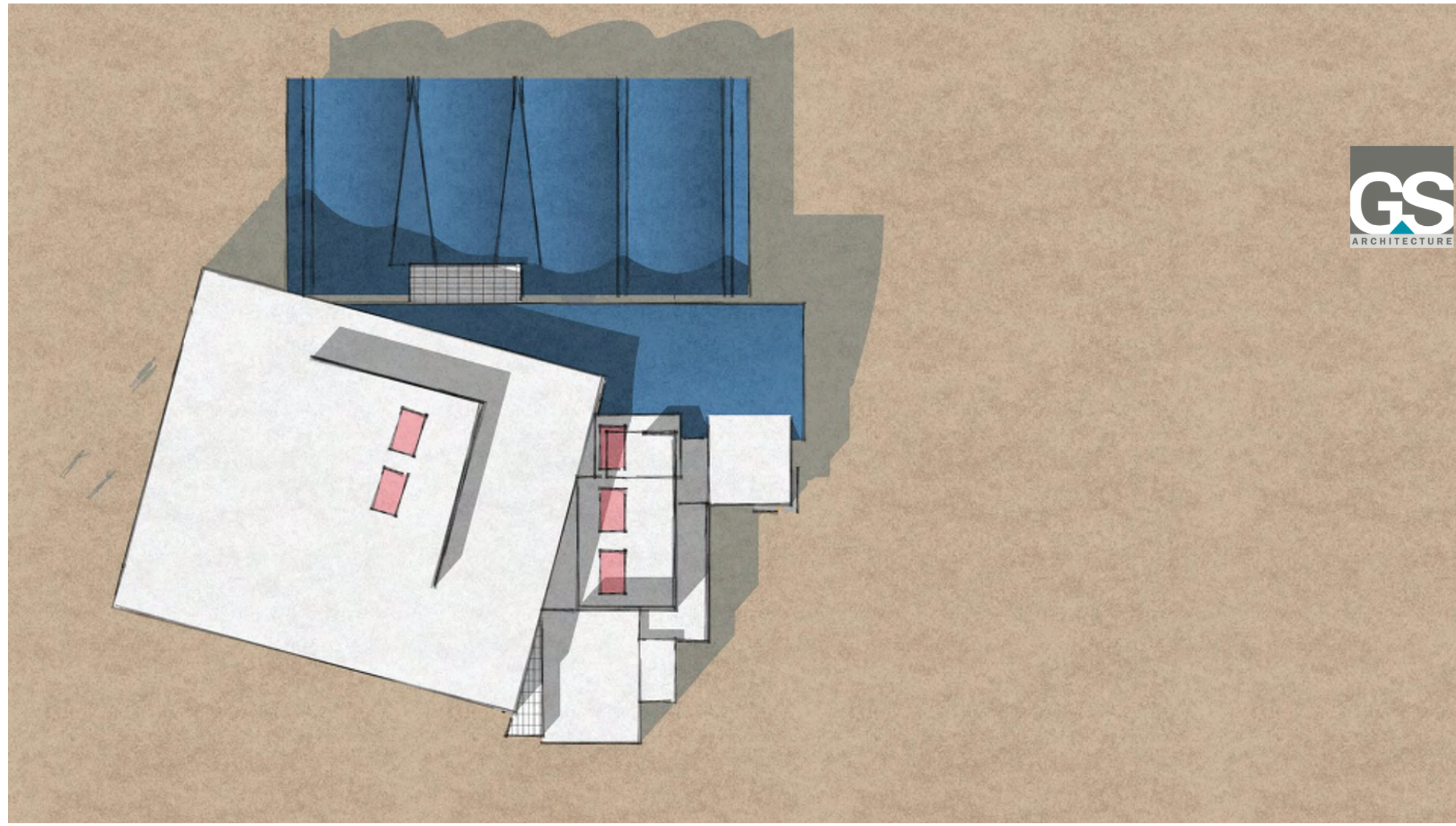
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**CITY OF ALBUQUERQUE**  
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| Mark | Date              | Description |
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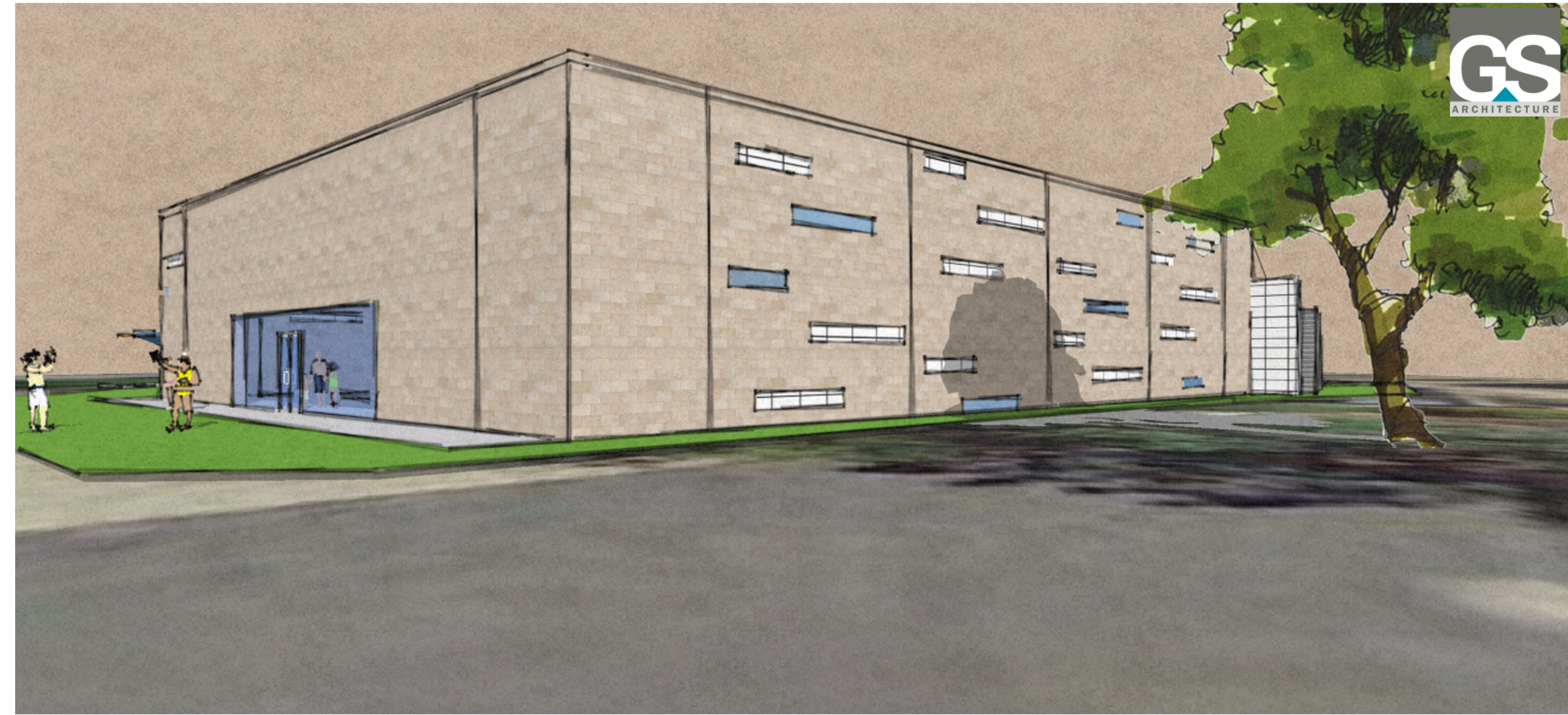
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 SHEET TITLE  
 OVERALL SITE - EXISTING



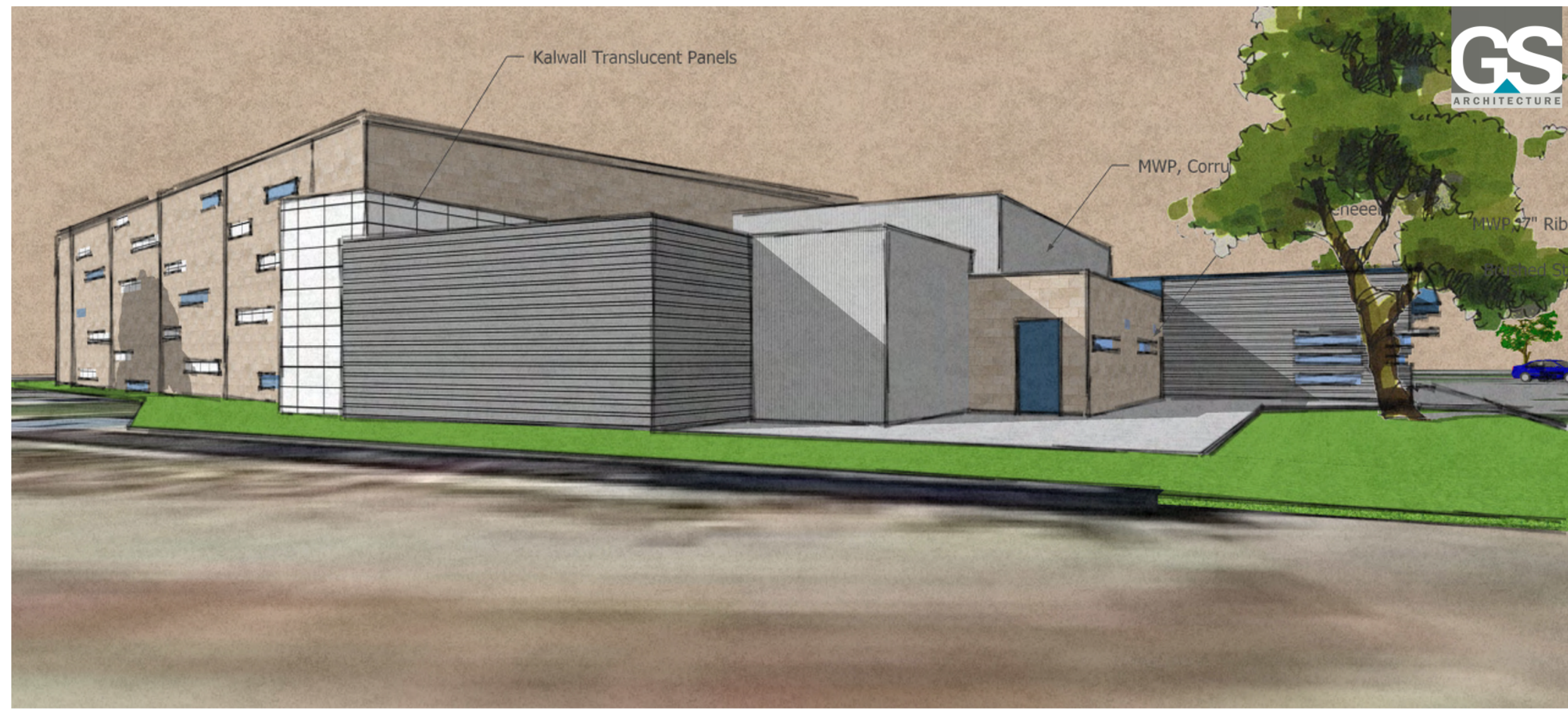
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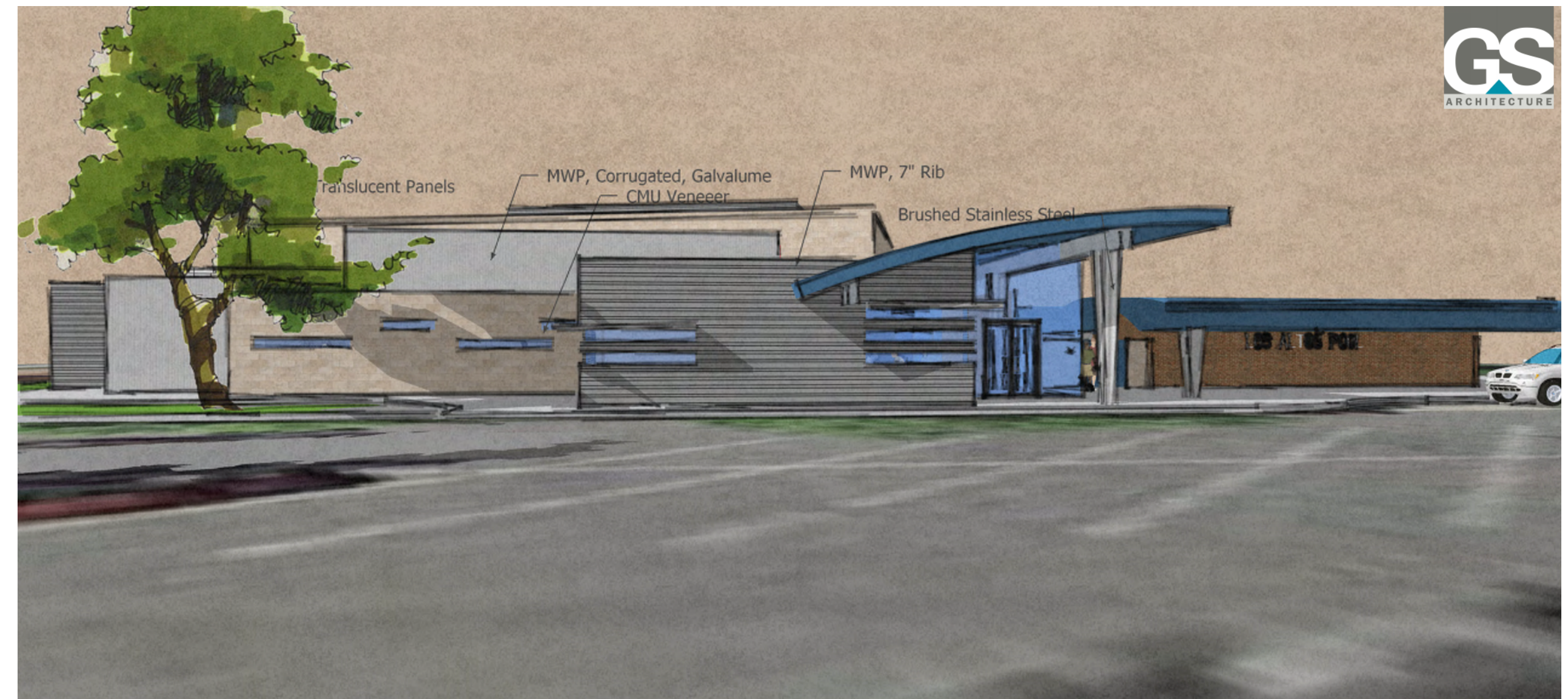
The New Los Altos Pool Aerial View



The New Los Altos Pool Southwest View



The New Los Altos Pool Southeast View



The New Los Altos Pool East View

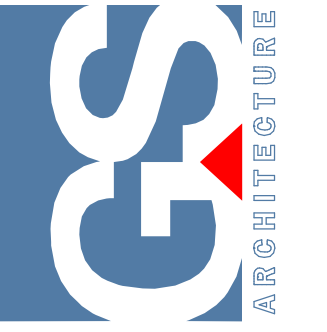


The New Los Altos Pool Northwest View



The New Los Altos Pool North View

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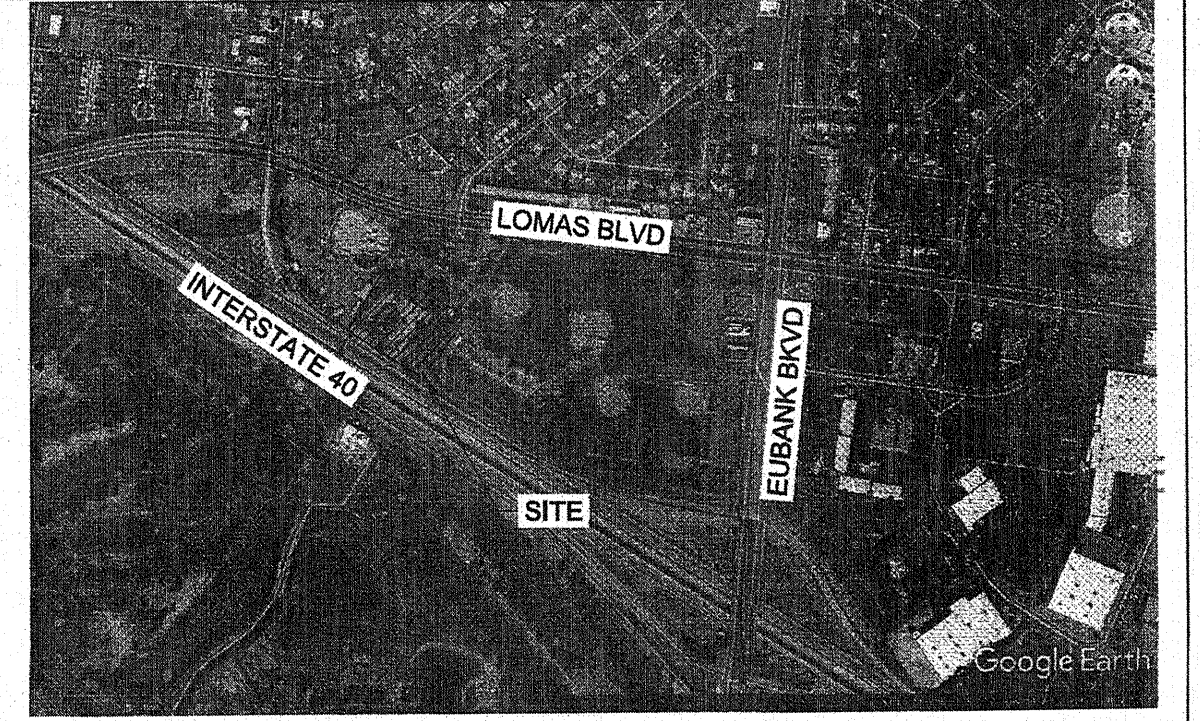
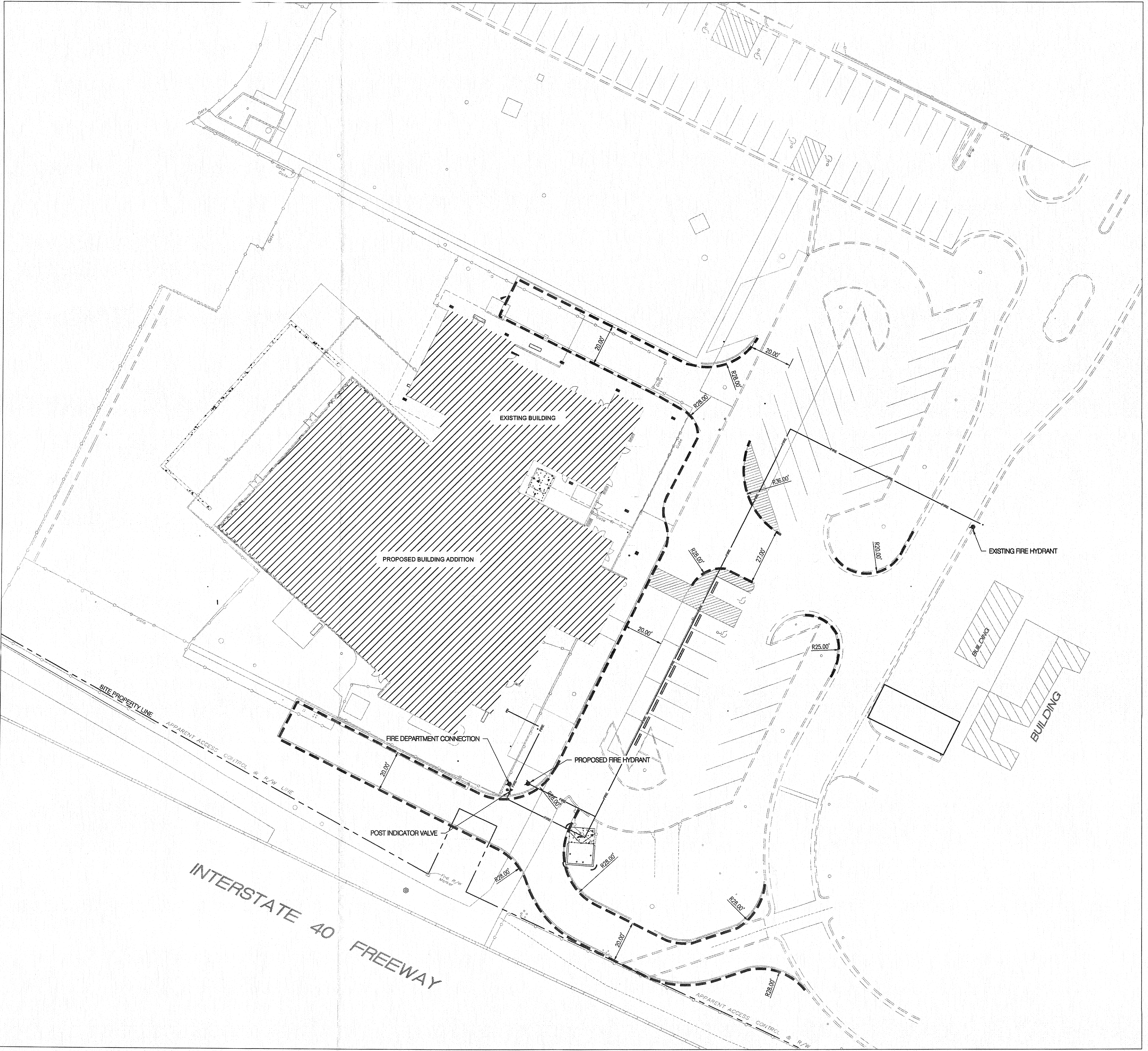
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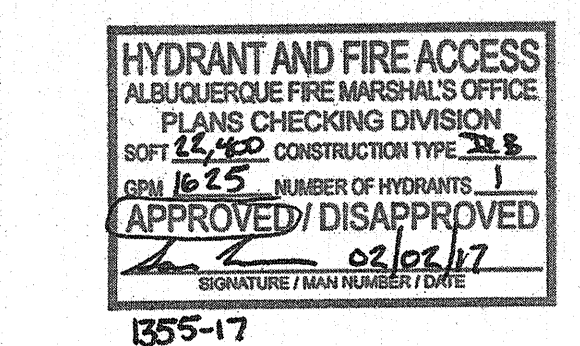
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**VICINITY MAP**  
 NTS

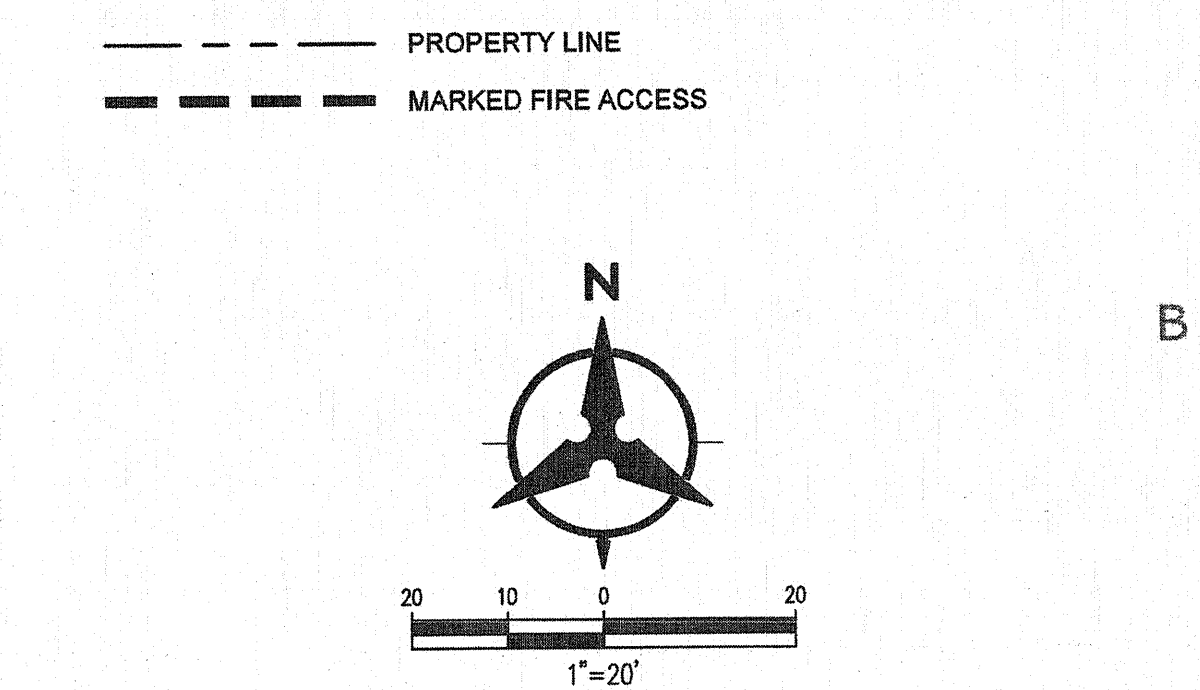
**BUILDING INFORMATION**

ADDRESS: 10100 LOMAS BOULEVARD NE  
 LEGAL DESCRIPTION: TRACT 4 MUNICIPAL ADDN NO 2  
 ZONE ATLAS: K-20  
 LARGEST ONSITE BUILDING (INCLUDES NEW AND EXISTING): 22,400 SF  
 CONSTRUCTION TYPE: II-B  
 SPRINKLERED: YES  
 FIRE FLOW: 1,625 GPM  
 BUILDING HEIGHT: 25'  
 HYDRANTS REQUIRED: 1



**NOTES**

1. ALL RADII ALONG FIRE LANE SHALL BE 25'.
2. MONUMENT SIGN IDENTIFY BUILDINGS WILL BE PROVIDED AT ADJACENT ROADWAYS.
3. ALL BUILDINGS SHALL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
4. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
5. FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100 FT OF A FIRE HYDRANT.
6. ALL AREAS PAVED INCLUDING FIRE ACCESS.
7. SLOPES WILL NOT EXCEED 10% IN GRADE FOR THE FIRE ACCESS ROAD.
8. ALL BUILDINGS WILL BE SPRINKLERED.



**LEGEND**

|     |                                 |     |                                   |
|-----|---------------------------------|-----|-----------------------------------|
| --- | EXISTING EASEMENT               | --- | PROPOSED EASEMENT                 |
| --- | EXISTING SANITARY SEWER         | --- | PROPOSED SANITARY SEWER LINE      |
| --- | EXISTING WATER LINE             | --- | PROPOSED SANITARY SEWER MANHOLE   |
| □   | EXISTING WATER METER            | ●   | PROPOSED CLEANOUT                 |
| +   | EXISTING CAP                    | --- | PROPOSED WATER LINE               |
| +   | EXISTING VALVE                  | +   | PROPOSED VALVE                    |
| +   | EXISTING FIRE HYDRANT           | +   | PROPOSED FIRE WATER LINE          |
| ○   | EXISTING SANITARY SEWER MANHOLE | +   | PROPOSED HYDRANT                  |
| ⊙   | EXISTING STORM DRAIN MANHOLE    | +   | PROPOSED CAP                      |
| □   | EXISTING INLET                  | +   | PROPOSED WATER METER              |
|     |                                 | +   | PROPOSED PIV                      |
|     |                                 | +   | REMOTE FIRE DEPARTMENT CONNECTION |

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