

**PRELIMINARY SITE PLAN**  
 SCALE: 1" = 20'-0"

**LEGEND**

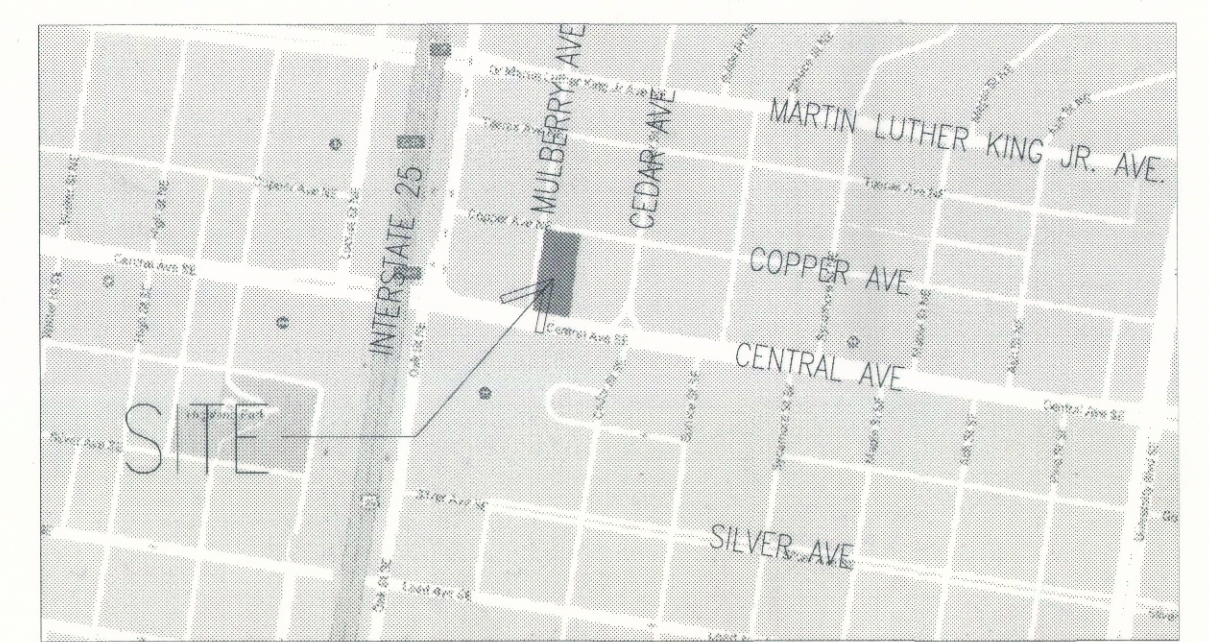
- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- Ⓜ DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- Ⓧ DENOTES TRANSFORMER LOCATION
- Ⓜ DENOTES WATER METER LOCATION
- Ⓜ FIRE HYDRANT

**LIGHTING LEGEND**

- Ⓜ LED POLE LIGHT. +15' T.O.F. TYPE AS SHOWN ON PLAN.
- Ⓜ LED POST TOP LIGHT. +15' T.O.F. OR UNLESS NOTED OTHERWISE ON PLAN. TYPE AS SHOWN ON PLAN.
- LED CARPORT LIGHT. TYPE 'CP'.
- Ⓜ LED WALL MINI WALL PACK. +10' B.O.F. TYPE 'WP'.
- Ⓜ LED WALL SCONCE. DECORATIVE. +6' B.O.F. TYPE 'WS'.

- GENERAL NOTES**
- THE PROPOSED BUILDING TYPE IS A FLEX BUILDING. PER THE FLEX BUILDING REQUIREMENTS, THE MARRIOTT SPRINGHILL SUITES WILL BE A STANDARD RECTANGULAR URBAN BUILDING FORM, AND ACCESS TO THE LEVELS ABOVE THE STRUCTURED PARKING WILL BE PROVIDED VIA A GROUND FLOOR LOBBY WITH DIRECT ACCESS TO THE STREET. PARKING WILL BE LOCATED UNDER THE PRINCIPAL BUILDING AND IN A COMMON ON-STREET PARKING AREA. THE GROUND LEVEL FRONTAGE OF THE BUILDING'S GROUND FLOOR LOBBY WILL BE GLASS STOREFRONT.
  - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER WITH DRC APPROVED PLANS.
  - PREVIOUS BUILDINGS WILL BE DEMOLISHED, ALL EXISTING DOORS, STRUCTURES, SIDEWALKS, CURBS, DRIVE PADS, WALL AND ANYTHING THAT INFLUENCES THE PARKING AND CIRCULATION ARE IDENTIFIED ON THE SITE PLAN.
  - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
  - PROVIDE NEW CURB AND GUTTER WITH ON STREET PARKING ON ALL 4 SIDE PER STD DWG 2415A, 2418, 2406 AND ANY OTHER THAT MAY APPLY. ALL UNUSED CURB CUTS SHALL BE REPLACED WITH NEW CURB & GUTTER AND SIDEWALKS.
  - THE PROPOSED DEVELOPMENT WILL FEATURE AN APPROXIMATELY 15-FOOT-WIDE URBAN PEDESTRIAN REALM ALONG CENTRAL AVENUE AND MULBERRY STREET THAT WILL INTERACT WITH THE BUILDING FRONTAGE AND ADJACENT RIGHT-OF-WAY. THE PEDESTRIAN AREA WILL BE AN INVITING AND PLEASANT ENVIRONMENT FOR WALKERS, GUESTS, AND OTHER VISITORS. THIS AREA WILL FEATURE STREET TREES, PLANTERS, SPECIALTY PAVING, GLAZING, AND OTHER AMENITIES. THIS AREA IS CONSISTENT WITH THE FORM-BASED CODE, WHICH SPECIFIES A "USABLE PEDESTRIAN REALM" THAT ACCOMMODATES STREET DESIGN AND APPROPRIATE BUILDING PLACEMENT.
  - ACCESSIBLE PARKING SPACES MUST HAVE A SIGN THAT INCLUDES THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE "RESERVED PARKING." ACCESSIBLE VAN PARKING SPACES WILL STATE "VAN ACCESSIBLE". ACCESSIBLE SIGN WILL BE 12"WX18"H AND VAN ACCESSIBLE SIGN WILL BE 12"WX6"H. SYMBOL OF ACCESSIBILITY SHOULD BE 4"H. SIGNS WILL HAVE GREEN LETTERING AND BORDER ON A WHITE BACKGROUND. SIGNS SHOULD BE MOUNTED AT LEAST 60 INCHES ABOVE PARKING SURFACE.
  - THE ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-4.1.B NMSA 1978)
  - PER ZONING CODE, A 6 FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY WILL BE PROVIDED FROM THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES.
  - WHEELCHAIR RAMPS REQUIRED BY ADA, WILL BE PROVIDED. WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE DETECTABLE WARNING SURFACES, "CAST-IN-PLACE" TRUNCATED DOMES. ALL CURB RAMPS WILL MEET THE 2010 ADA STANDARD REQUIREMENTS FOR NEWLY CONSTRUCTED OR ALTERED STREETS AND STREET-LEVEL PEDESTRIAN WALKWAYS.
  - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
  - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. REFER TO SHEET 7 OF 8 FOR PEDESTRIAN REALM DIAGRAMS.
  - 6 FT SIDEWALKS SURROUNDING BUILDING MUST BE KEPT FREE AND CLEAR WITHIN THE WALKING ZONE.
  - FUTURE CHANGES TO PROPOSED SIGNAGE CAN BE AMENDED ADMINISTRATIVELY. SIGNAGE WILL COMPLY WITH 14-16-3-22(8)(3)(N) AND 14-16-3-22(C)(7) AND WILL REMAIN WITHIN THE PROPERTY LINE.
  - BUILDING MOUNTED LIGHTS SHALL BE BETWEEN 6' AND 14' ABOVE ADJACENT GRADE. SEE 14-16-3-22(C)(6) FOR DETAILS AND OTHER REFERENCES.
  - EQUIPMENT SCREENING WILL COMPLY WITH SCREENING REQUIREMENTS IN SECTION 14-16-3-18(C)(6)(A) OF THE CITY OF ALBUQUERQUE ZONING CODE.
  - THE 20 PERCENT BUILDING HEIGHT MODIFICATION WILL COMPLY WITH SECTION 14-16-3-22(A)(6)(B)(1)(C) OF THE CITY OF ALBUQUERQUE ZONING CODE.
  - MULBERRY STREET AND COPPER AVENUE RIGHTS-OF-WAY HAVE BEEN VACATED. AN OFFICIAL NOTICE OF DECISION WAS ISSUED BY THE CITY PLANNING DEPARTMENT ON JANUARY 23, 2017 FOR PROJECT #1010879, 16DRB-70447. THE PLAT ASSOCIATED WITH THIS ACTION WAS RECORDED ON JUNE 13, 2017 FOR PROJECT #1010879, 17DRB-70119.
  - DETAIL TO BE PROVIDED IN BUILDING PERMIT SET FOR FIRE AND SOLID WASTE.

- KEYNOTES**
- 9'x18' PARKING SPACE, TYPICAL.
  - 4'x8' MOTORCYCLE PARKING SPACE.
  - 8'x18' ACCESSIBLE PARKING SPACE. ACCESSIBLE GARAGE SPACE.
  - BICYCLE PARKING. 5 SPACES PROVIDED.
  - ACCESSIBLE DRIVEWAY CROSSING PAINTED MARKING.
  - TRASH ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL WITH 6" FINISH TO MATCH THE BUILDING. SEE SHEET 8 OF 8 FOR TRASH ENCLOSURE PLANS AND ELEVATIONS.
  - ENCLOSED STRUCTURED PARKING GARAGE.
  - 6' SIDEWALK, GRAY CONCRETE COLOR.
  - 25'x25' SIGHT VISIBILITY TRIANGLE AT STREET CORNER.
  - ENHANCED PAVING AT MAIN ENTRY AUTO COURT.
  - AREA EAST OF SIDEWALK FOR RETAIL DEVELOPMENT BY OTHERS.



**VICINITY MAP**  
 NOT TO SCALE

**DEVELOPMENT DATA**

**NET SITE AREA:**  
 1.23 ACRES (53,549 S.F.)

**ZONING AND LAND USE:**  
 CURRENT: SU-2 FOR CMU (C-2)  
 PROPOSED: SU-2/SU-1 FOR MIXED USE (FORM BASED CODE)  
 LAND USE: COMMERCIAL

**BUILDING HEIGHT:**

	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
ALLOWED:	72 FEET*	72'	72'	72'
PROPOSED:	72'	72'	67'	67'

\*60 FEET, PLUS AN ADDITIONAL 20% DUE TO LOCATION ALONG TRANSIT CORRIDOR. REFER TO GENERAL NOTE #19.

**BUILDING GSF:**  
 90,450 SF

**SETBACKS REQUIRED:**

	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
BUILDINGS	0	10'-0"	0	0

**SETBACKS PROVIDED:**

	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
BUILDINGS	71'-1"	30'-1"	19'-1"	2'-8"

**MINIMUM USABLE OPEN SPACE REQUIRED AND PROVIDED**

REQUIRED (10% OF SITE AREA)	5,355 SQ FT
PROVIDED (INCLUDING LANDSCAPING AND PEDESTRIAN-ORIENTED HARDSCAPE)	11,784 SQ FT

**PARKING SPACE REQUIREMENTS**

PARKING RATIO REQUIRED = 1 SPACE PER 1,000 SF REDUCE BY 15% PER TRANSIT REDUCTION	PARKING SPACES
<b>Total Parking Spaces Required</b>	<b>73</b>
ON-STREET PARKING PROVIDED	39
OFF-STREET PARKING PROVIDED	51
<b>Total Parking Provided</b>	<b>90</b>
<b>Accessible Parking Required</b>	<b>5</b>
ON-STREET PARKING PROVIDED	3
OFF-STREET PARKING PROVIDED	2
<b>Total Accessible Parking Provided</b>	<b>5</b>
<b>Total Motorcycle Parking Required</b>	<b>3</b>
<b>Total Motorcycle Parking Provided</b>	<b>3</b>
<b>Total Bicycle Parking Provided</b>	<b>5</b>

**GLAZING CALCULATIONS FOR STREET FACING FACADES (NORTH, WEST, AND SOUTH FACADES)**

	403 SF
TOTAL GLAZING AREA AT GROUND FLOOR	403 SF
TOTAL AVAILABLE STREET-FACING GROUND FLOOR FACADE AREA (EXCLUDES WALL ASSEMBLIES)	1,518 SF
PERCENTAGE OF GROUND FLOOR STREET FRONTAGE GLAZING	26.55%
TOTAL GLAZING AREA AT UPPER FLOORS	5,358 SF
TOTAL AVAILABLE STREET-FACING FACADE AREA AT UPPER FLOORS (EXCLUDES FLOOR, WALL, AND ROOF ASSEMBLIES)	18,574 SF
PERCENTAGE OF STREET FRONTAGE GLAZING AT UPPER FLOORS	28.85%

PROJECT NUMBER: 1010879  
 Application Number: 19 DRB-70011

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (✓) No  
 If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Rogers M. ...</i>	Date	2/14/18
Traffic Engineering, Transportation Division		
<i>Rishy ...</i>	Date	08-22-18
ABCWUA		
<i>...</i>	Date	2/14/18
Parks and Recreation Department		
<i>James D. ...</i>	Date	2/14/2018
City Engineer		
N/A	Date	
Solid Waste Management		
<i>...</i>	Date	9-24-18
DRB Chairperson, Planning Department		

**ARCHITECT**  
**5G**  
 5G STUDIO COLLABORATIVE  
 800 JACKSON STREET | SUITE 500  
 DALLAS, TEXAS 75202  
 214.670.0050  
 CONTACT: CHRISTINE ROBBINS-ELROD

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

**SEAL**

**PRELIMINARY DOCUMENT**  
 NOT FOR CONSTRUCTION

**OWNER / DEVELOPER**  
 TITAN DEVELOPMENT  
 6300 RIVERSIDE PLAZA LANE NW, STE 200  
 ALBUQUERQUE, NEW MEXICO 87120  
 505.998.0163  
 CONTACT: JOSH ROGERS

**OWNER'S CONSULTANT / OPERATOR**  
 INTERMOUNTAIN MANAGEMENT, LLC  
 2390 TOWER DRIVE  
 MONROE, LOUISIANA 71201  
 318.812.7126  
 CONTACT: DAVE RAYMOND

**CIVIL ENGINEER**  
 BOHANNAN HUSTON  
 7500 JEFFERSON STREET NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 505.823.1000  
 CONTACT: MIKE BALASKOVITS

**PLANNER**  
 CONSENSUS PLANNING, INC.  
 302 EIGHTH STREET NW  
 ALBUQUERQUE, NEW MEXICO 87102  
 505.764.9801  
 CONTACT: MALIK HAKIM

**PROJECT**  
**SPRINGHILL SUITES®**  
**MARRIOTT**  
**ALBUQUERQUE**

**PROJECT ADDRESS**  
**CENTRAL AVE. & MULBERRY ST.**  
**ALBUQUERQUE, NM 87106**

REV.	DATE	ISSUE
-	2.14.18	DRB SUBMITTAL

IMM012  
 PROJECT NUMBER

**SITE PLAN FOR BUILDING PERMIT**

SHEET 1 OF 9  
 SHEET NUMBER



5G STUDIO COLLABORATIVE  
800 JACKSON STREET | SUITE 500  
DALLAS, TEXAS 75202  
214.670.0050  
CONTACT: CHRISTINE ROBBINS-ELROD

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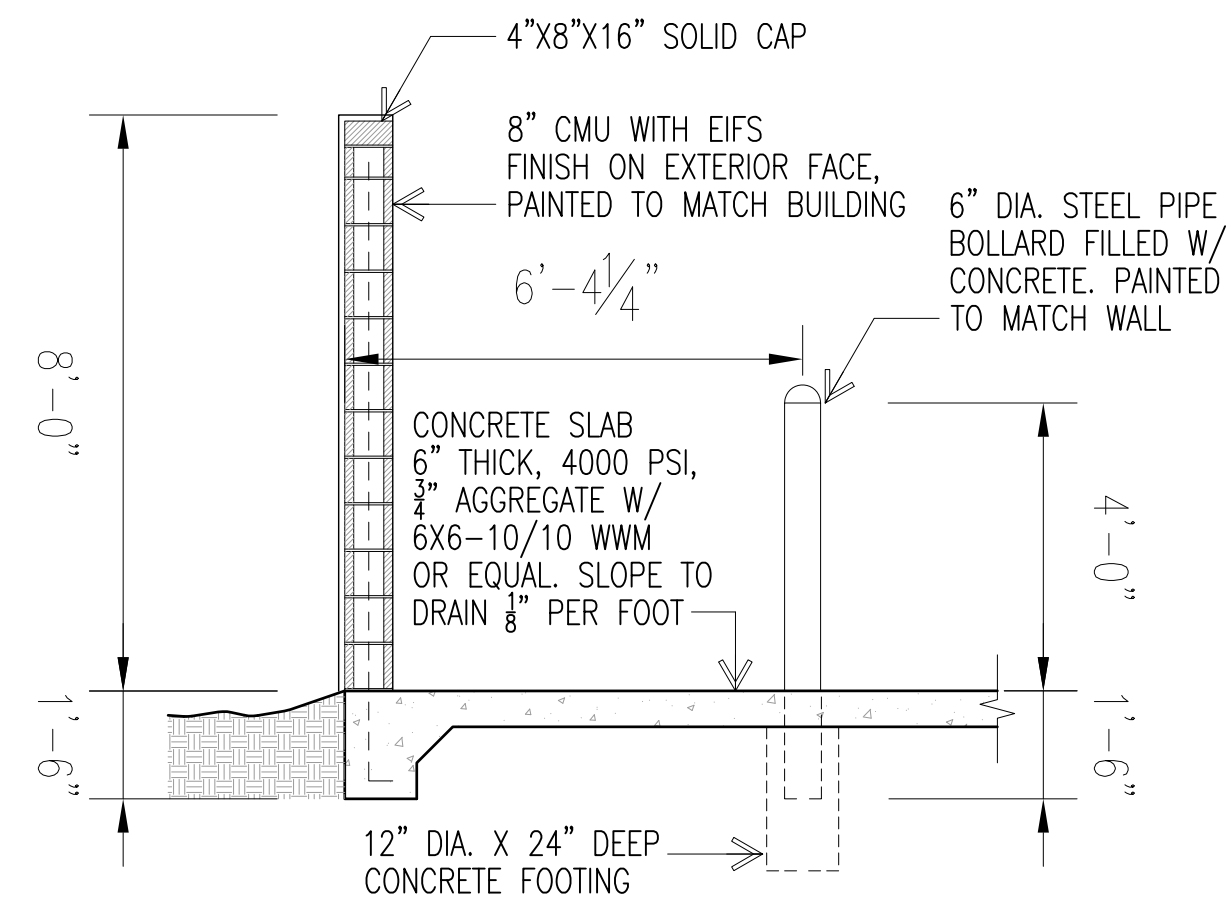
REV.	DATE	ISSUE
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SITE DETAILS

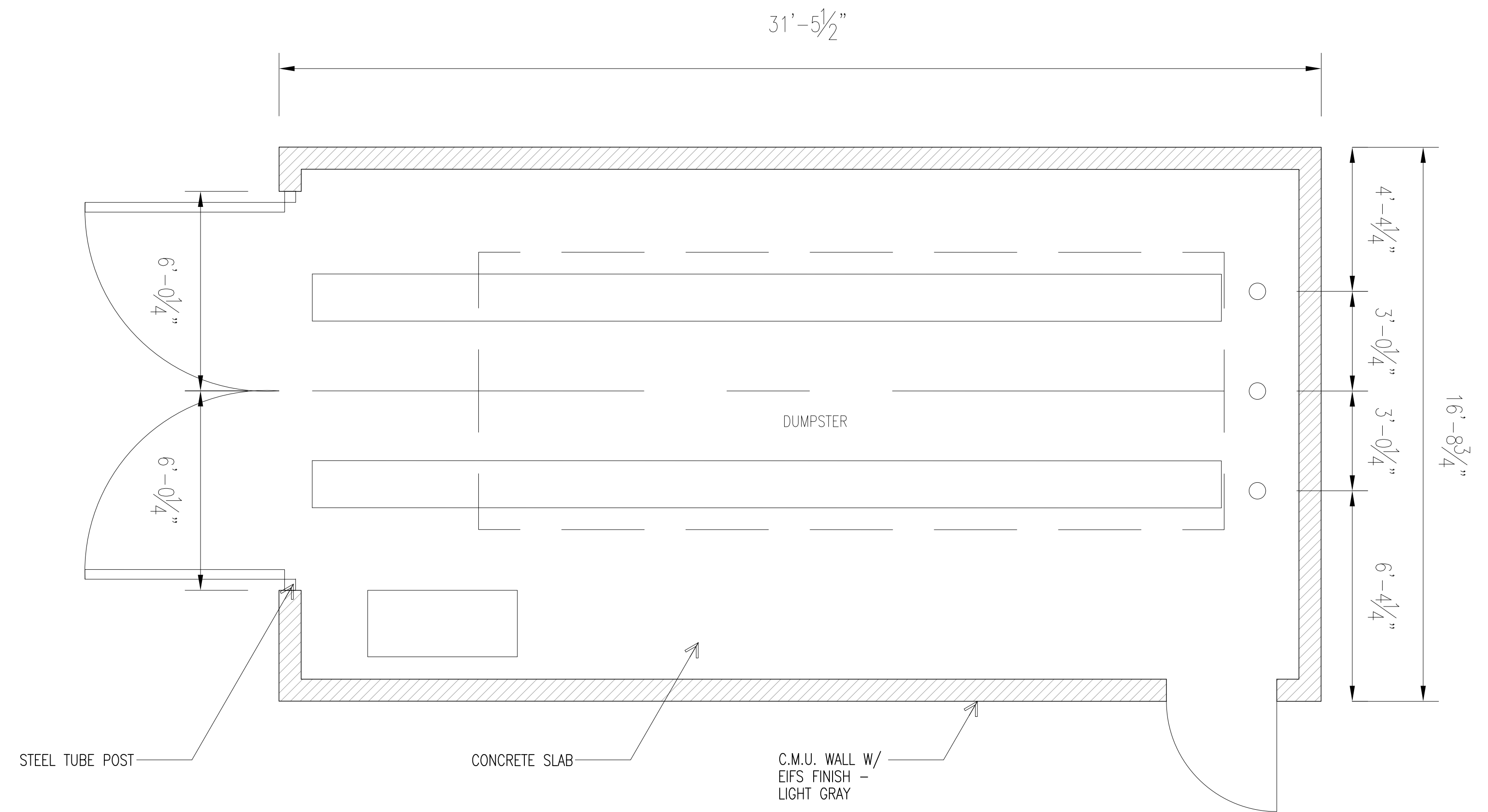
SHEET 8 OF 9

SHEET NUMBER



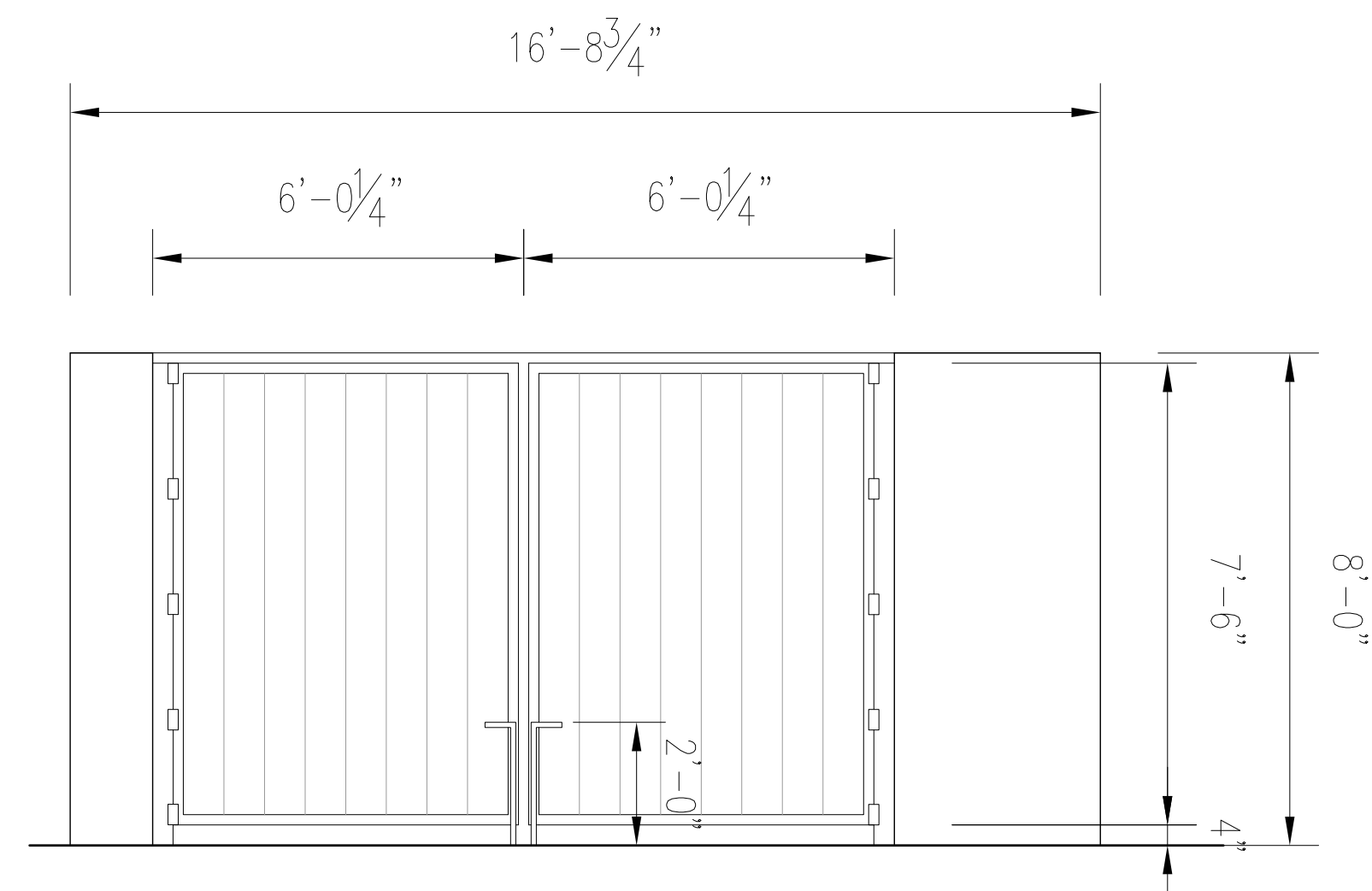
TRASH ENCLOSURE - WALL SECTION

SCALE: 3/8" = 1'-0"



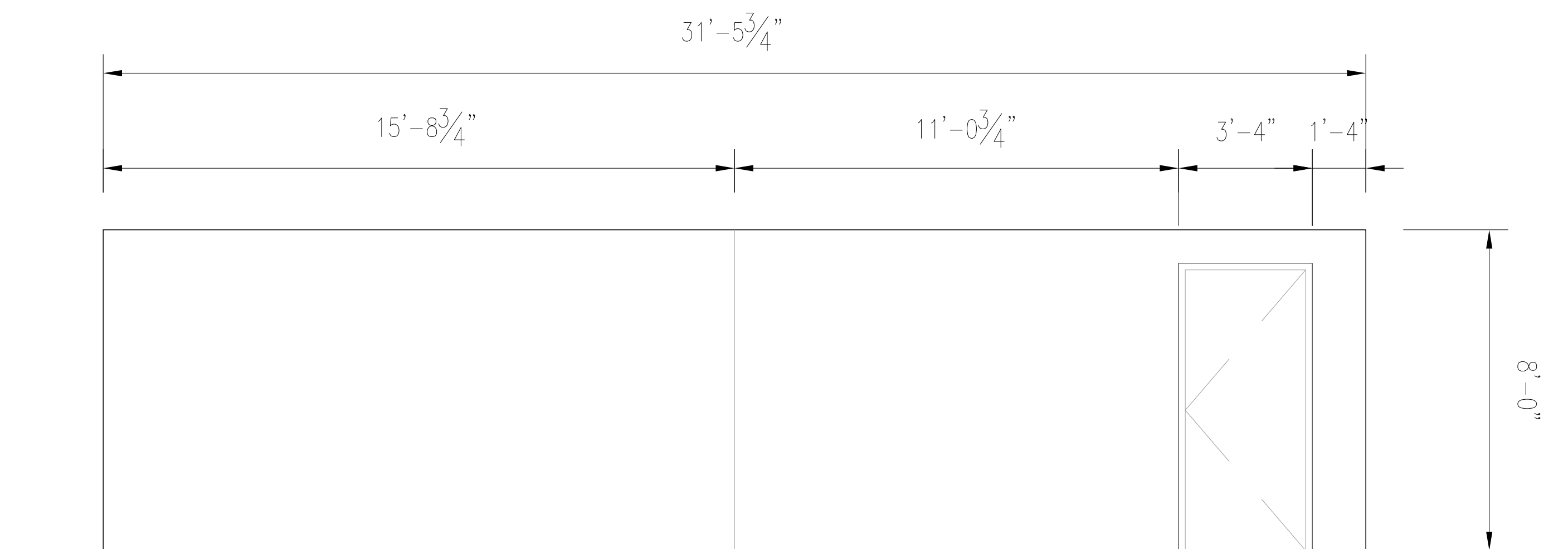
TRASH ENCLOSURE - PLAN

SCALE: 3/8" = 1'-0"



TRASH ENCLOSURE - WEST ELEVATION

SCALE: 3/8" = 1'-0"



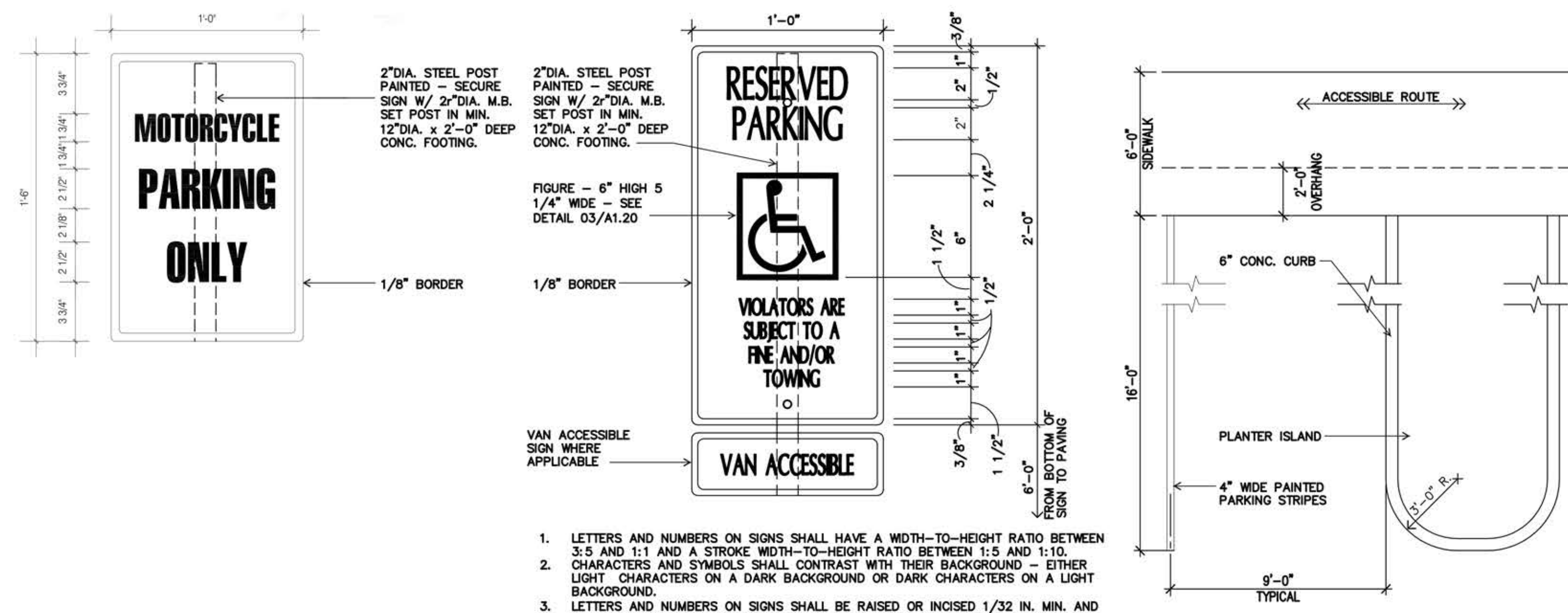
TRASH ENCLOSURE - NORTH ELEVATION

SCALE: 3/8" = 1'-0"

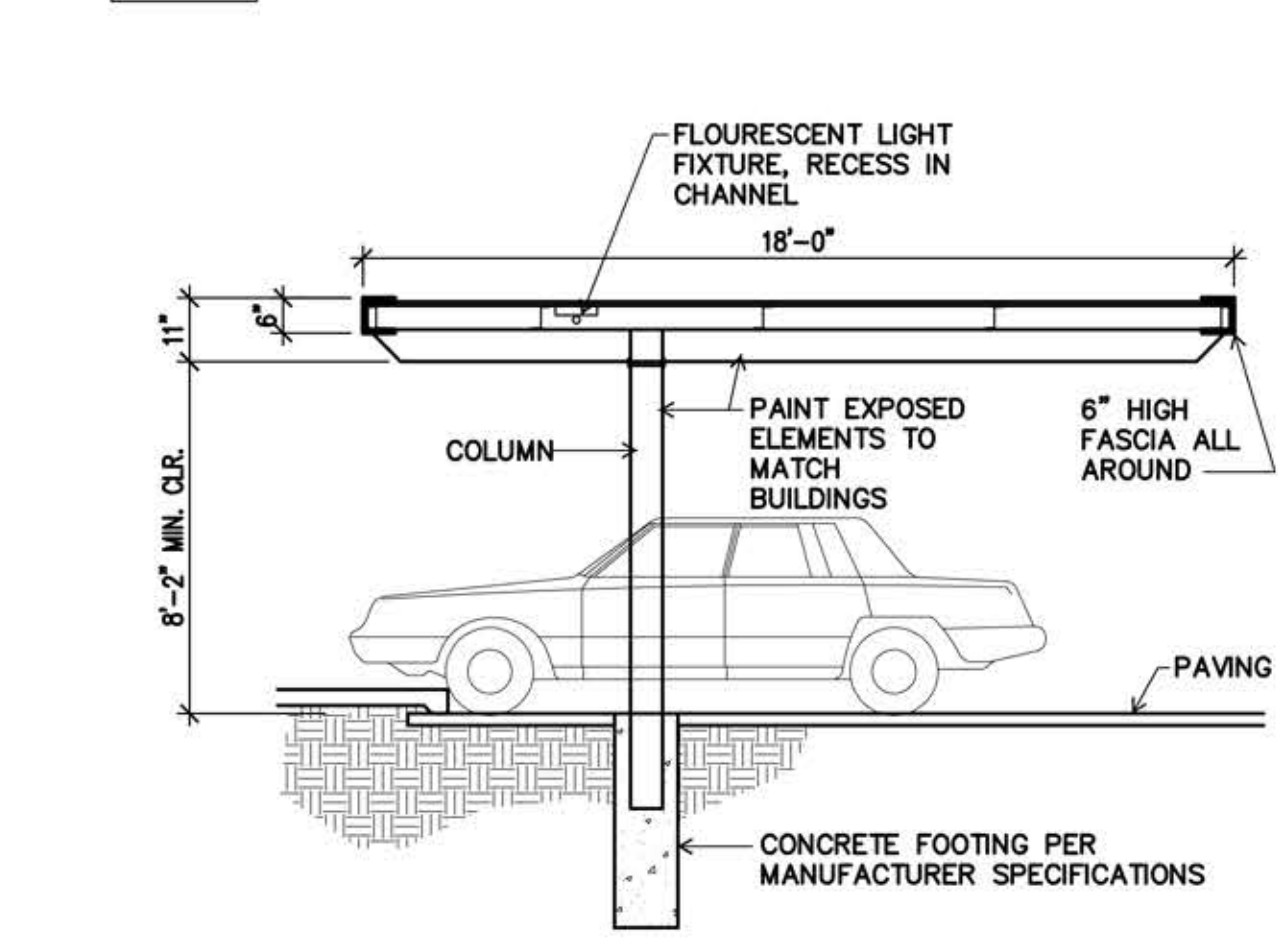
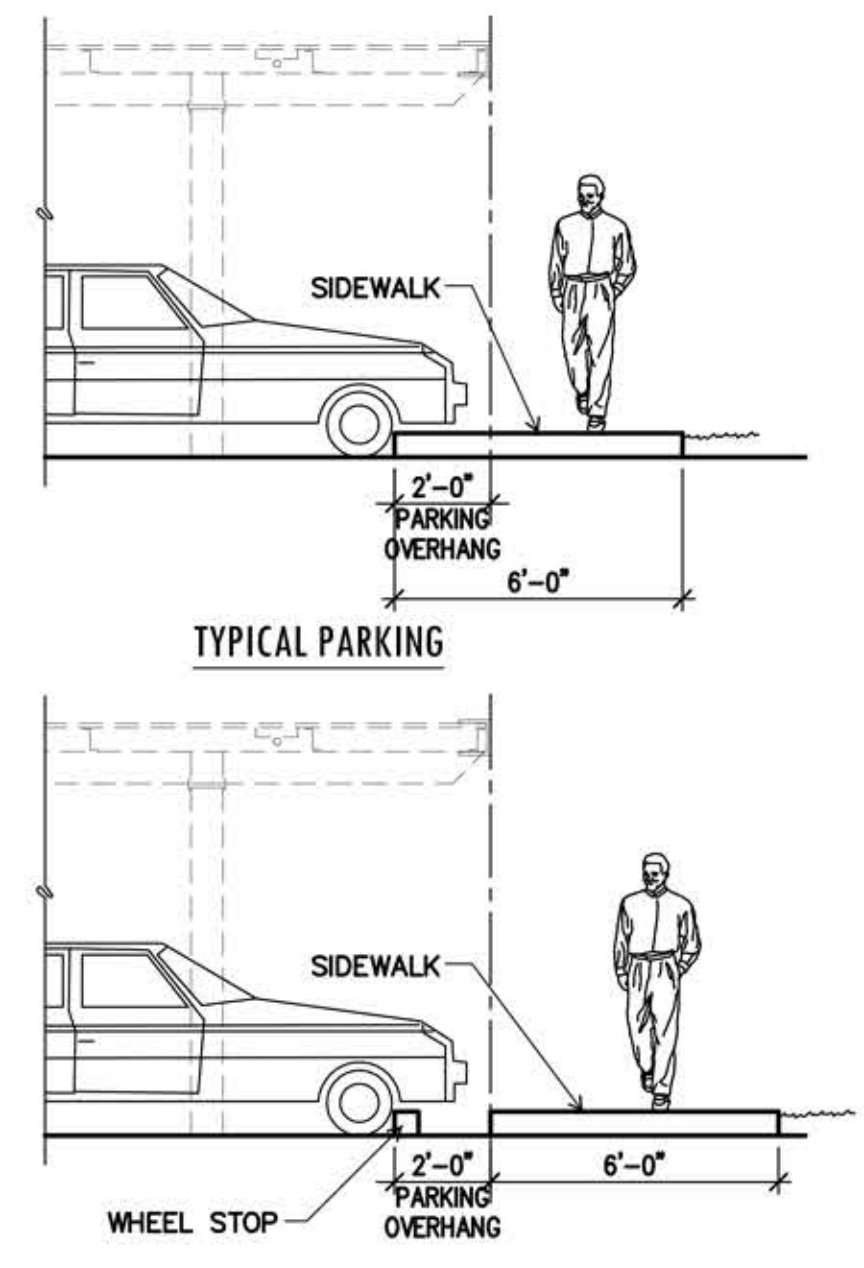
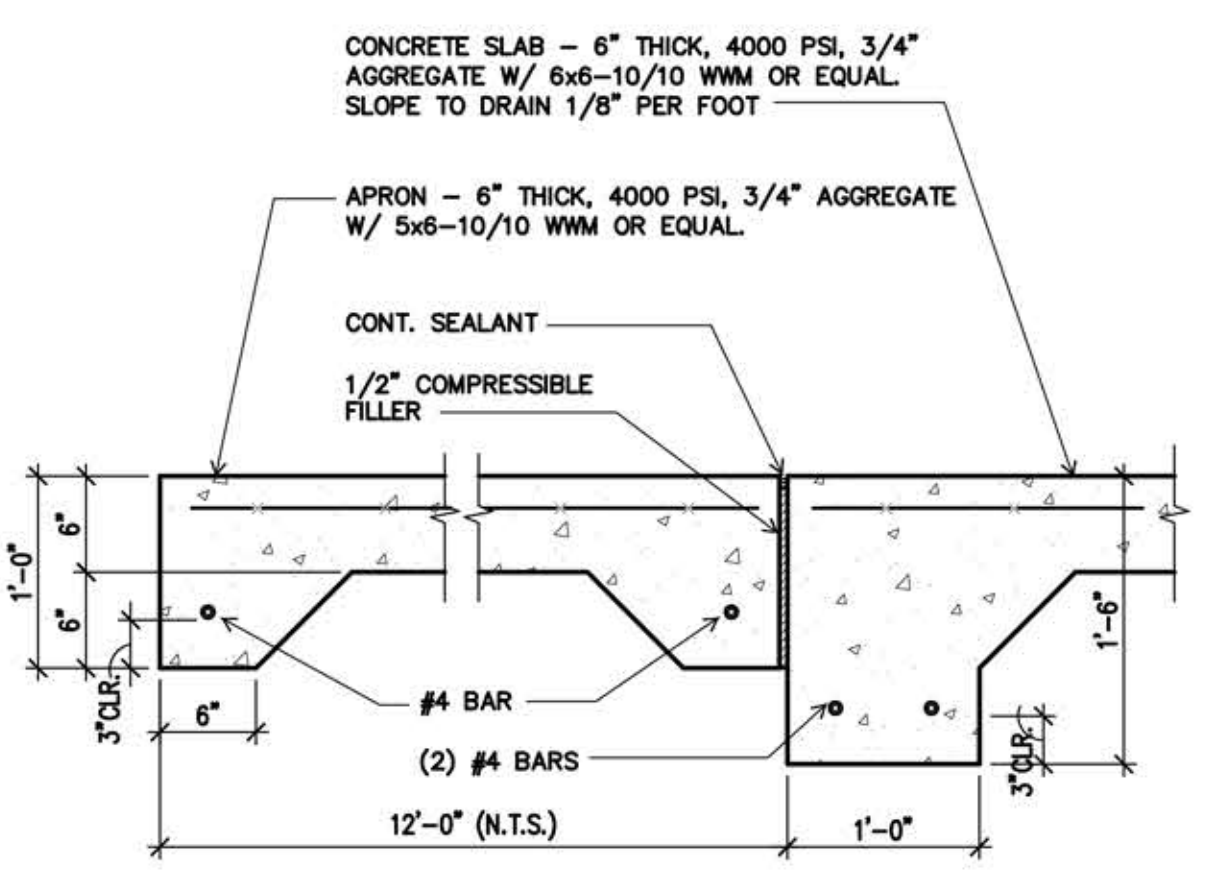
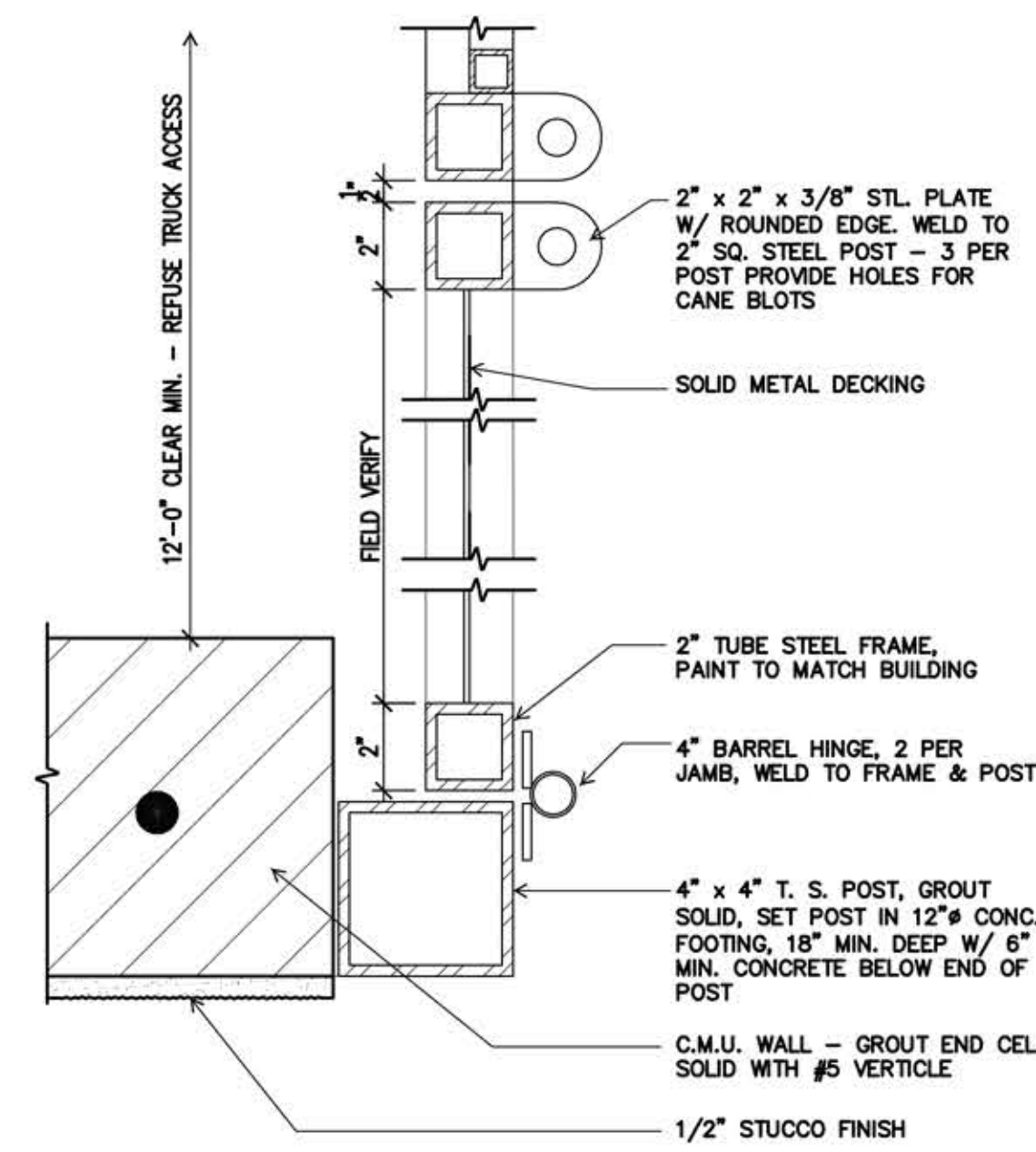
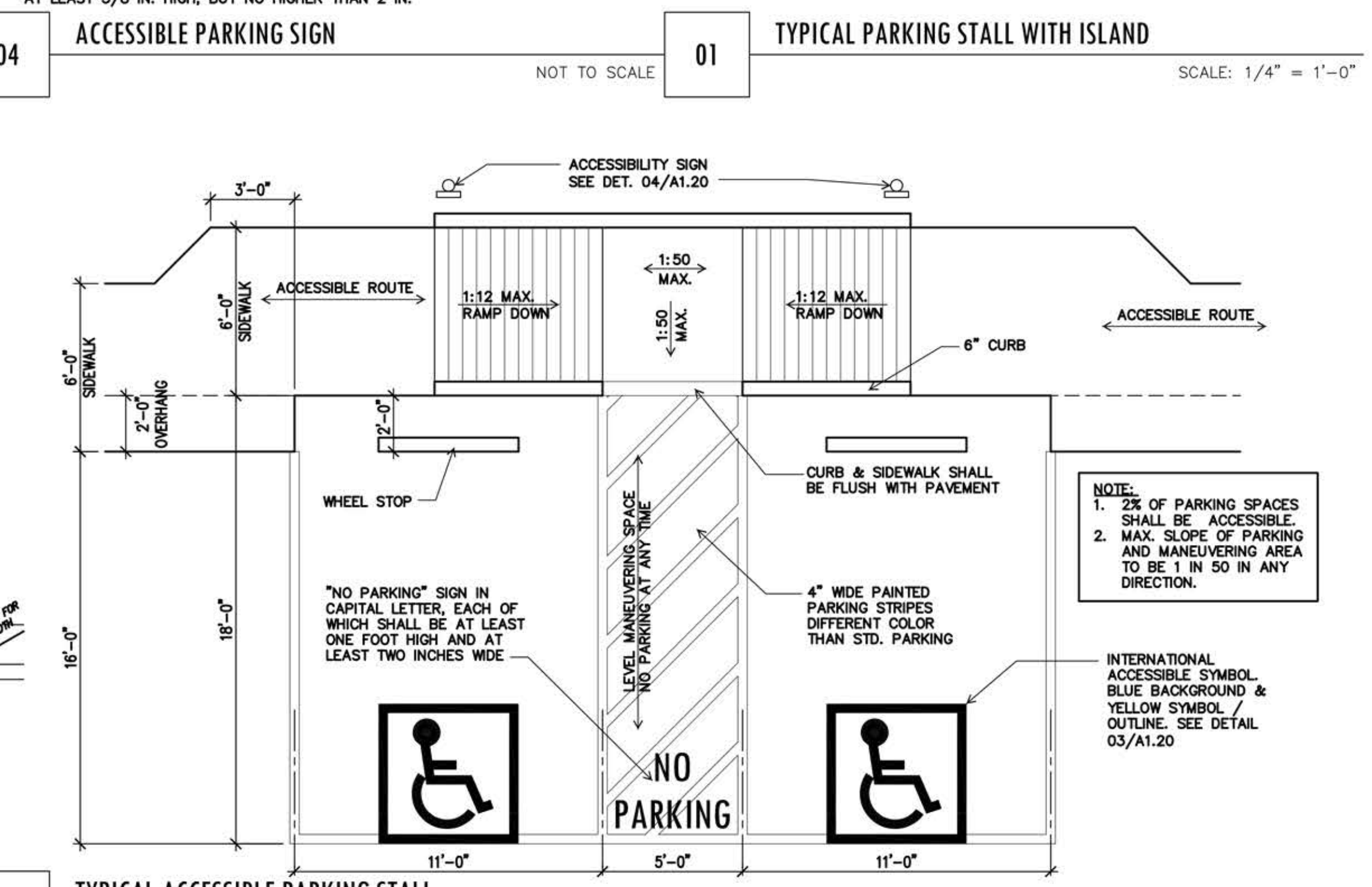
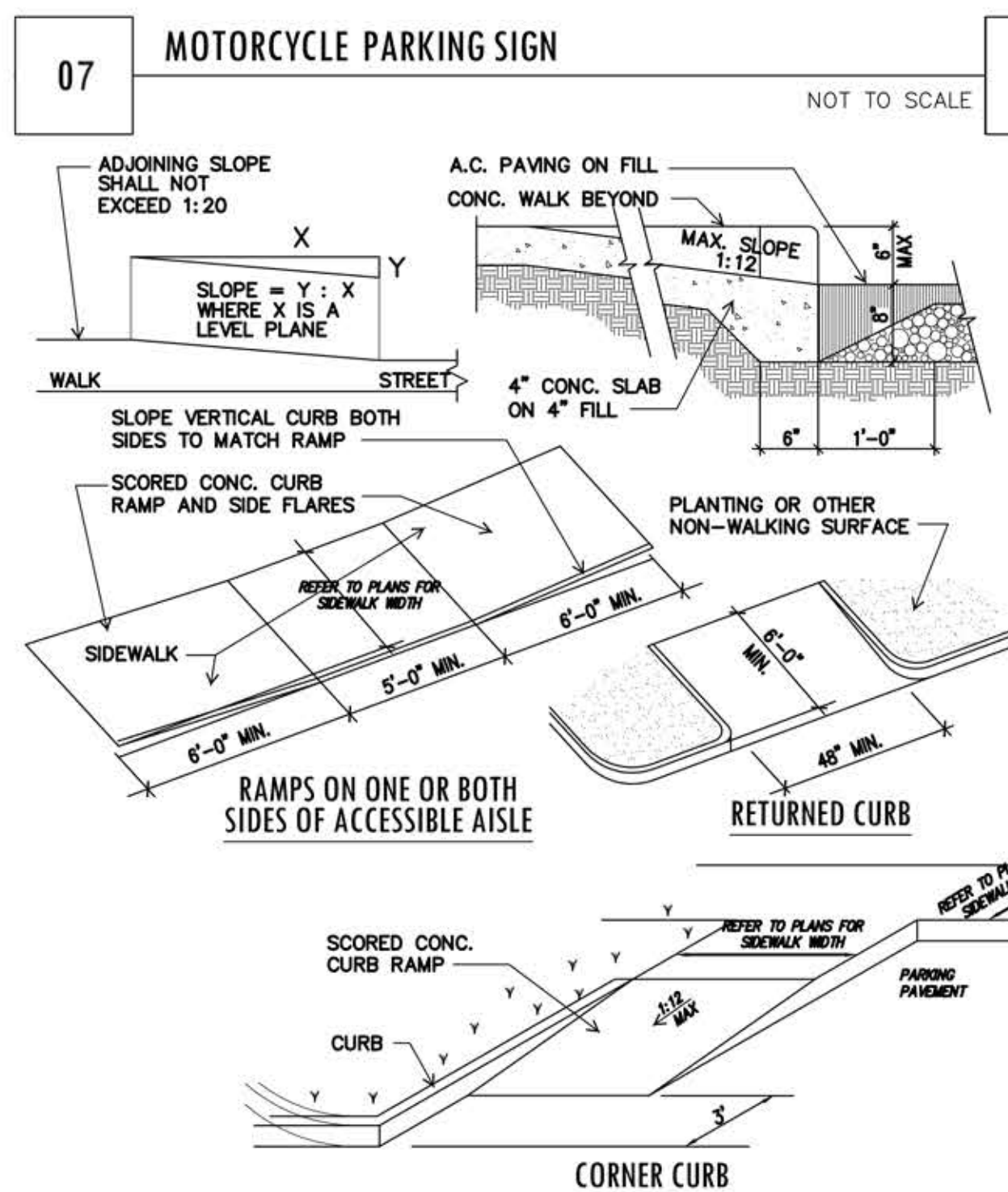


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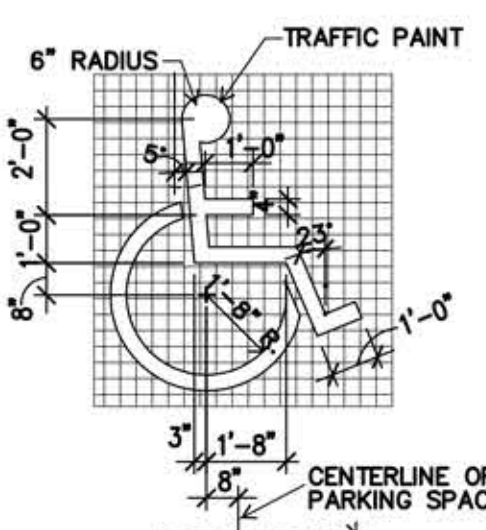
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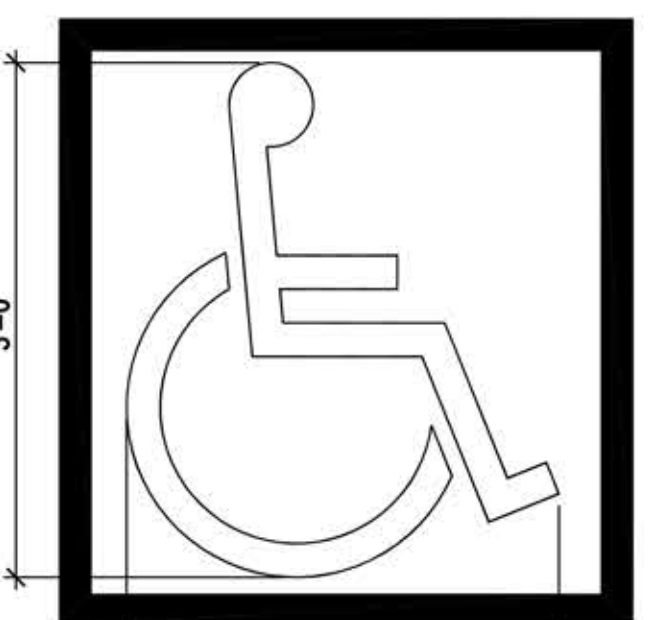
- 1. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.
2. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
3. LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED OR INCISED 1/32 IN. MIN. AND SHALL BE SANS SERIF CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8 IN. HIGH, BUT NO HIGHER THAN 2 IN.



DISPLAY CONDITIONS

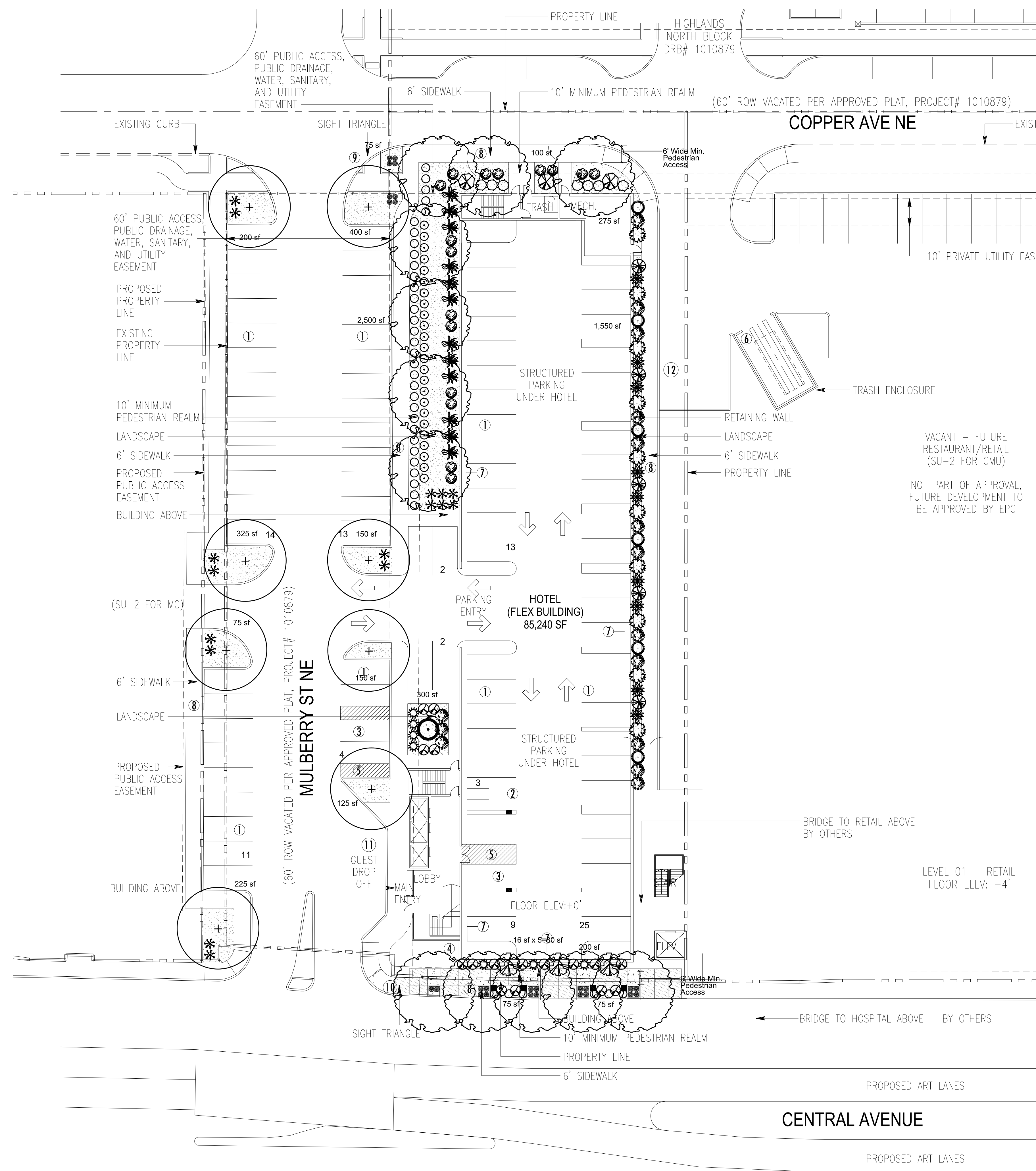


PROPORTIONS



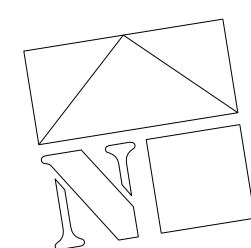
SYMBOL AT PARKING SPACE

- NOTES:
1. DESIGN TO BE COMPATIBLE WITH BUILDING IN COLOR AND DETAILING. SHOP DRAWINGS AND CALCULATIONS REQUIRED TO BE DRAWN AND SEALED BY A REGISTERED STRUCTURAL ENGINEER.
2. CARPORT UNDER SEPARATE PERMIT AND REVIEW. - DETAIL FOR REFERENCE ONLY.



PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-0"



**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
12		Fraxinus Raywood Ash	2" B&B	50/30'	50 sf=600 sf	Medium	6-2 gph
8		Platanus Sycamore	2" B&B	50/40'	50 sf=400 sf	Medium	6-2 gph
10		Juniperus Skyrocket Juniper	15-Gal	20/5'	50 sf=500 sf	Medium	6-2 gph
1		Pinus Bosnian Pine	6' HT.	15/8'	50 sf=50 sf	Medium	6-2 gph
<b>Shrubs/Groundcovers</b>							
15		Caryopteris clandonensis Blue Mist	1-Gal	3/3'	25 sf=375 sf	Medium	2-2 gph
5		Cytisus Lena Broom	5-Gal	3/4'	25 sf=125 sf	Low	2-1 gph
7		Ilex Dwarf Burford Holly	5-Gal	4/4'	16 sf=112 sf	Medium+	2-1 gph
24		Salvia greggii Cherry Sage	1-Gal	3/3'	15 sf=360 sf	Medium	2-1 gph
38		Lavandula Lavender	1-Gal	3/3'	12 sf=456 sf	Medium	2-2 gph
16		Potentilla fruticosa Strubby Cinquefoil	5-Gal	3/3'	10 sf=160 sf	Medium+	2-2 gph
12		Rosmarinus officinalis Rosemary	5-Gal	6/6'	36 sf=432 sf	Low +	2-2 gph
7		Rosa Knockout Rose	5-Gal	3/3'	15 sf=105 sf	Medium+	2-2 gph
3		Lagerstroemia Crapsa Murrille	5-Gal	15/10'	100 sf=300 sf	Medium+	2-2 gph
16		Rhaphidolepis India Hawthorn	5-Gal	3/3'	15 sf=240 sf	Medium	2-2 gph
3		Viburnum Burkwood Viburnum	5-Gal	6/6'	36 sf=108 sf	Medium+	2-2 gph
6		Pinus mugo Mugho Pine	5-Gal	4/4'	30 sf=180 sf	Medium	2-2 gph
9		Nandina Heavenly Bamboo	5-Gal	3/3'	20 sf=180 sf	Medium+	2-2 gph
<b>Grasses</b>							
16		Muhlenbergia Deer Grass	1-Gal	4/4'	20 sf=320 sf	Low+	2-2 gph
26		Pennisetum Hamlin Fountain Grass	1-Gal	3/3'	9 sf=234 sf	Medium	2-2 gph
Total Landscape Coverage=5,237 SF							

**MATERIALS LEGEND**

	BROWN CRUSHER FINES		CONCRETE COLOR 1
	PAVERS		CONCRETE COLOR 2

**SITE DATA**

GROSS/SITE LOT AREA	51,564 SF
LESS BUILDING(S)	18,727 SF
NET LOT AREA	32,767 SF
REQUIRED LANDSCAPE	
10% OF NET LOT AREA	3,276 SF
PROPOSED STREET LEVEL LANDSCAPE	6,880 SF
PERCENT OF NET LOT AREA	21%
REQUIRED USABLE OPEN SPACE LANDSCAPE AREA	
PROPOSED USABLE OPEN SPACE	11,784 SF
REQUIRED USABLE OPEN SPACE LANDSCAPE	
15% OF USABLE OPEN SPACE	1,784 SF
PROPOSED USABLE OPEN SPACE LAND	6,880 SF
PERCENT OF NET LOT AREA	21%
HIGH WATER USE TURF	
MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0%
REQUIRED STREET TREES	
1 PER 25' L.F. OF STREET FRONTAGE	14
PROVIDED STREET TREES	14
REQUIRED PARKING LOT TREES	
1 PER 8 SPACES	6
PROVIDED PARKING LOT TREES	6
REQUIRED LANDSCAPE COVERAGE	
75% LIVE VEGETATIVE MATERIAL	5,160 SF MIN.
(6,880 SF PROPOSED LANDSCAPE X 75%)	
PROVIDED GROUND COVER COVERAGE	5,237 SF
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	76%

**NOTE**

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

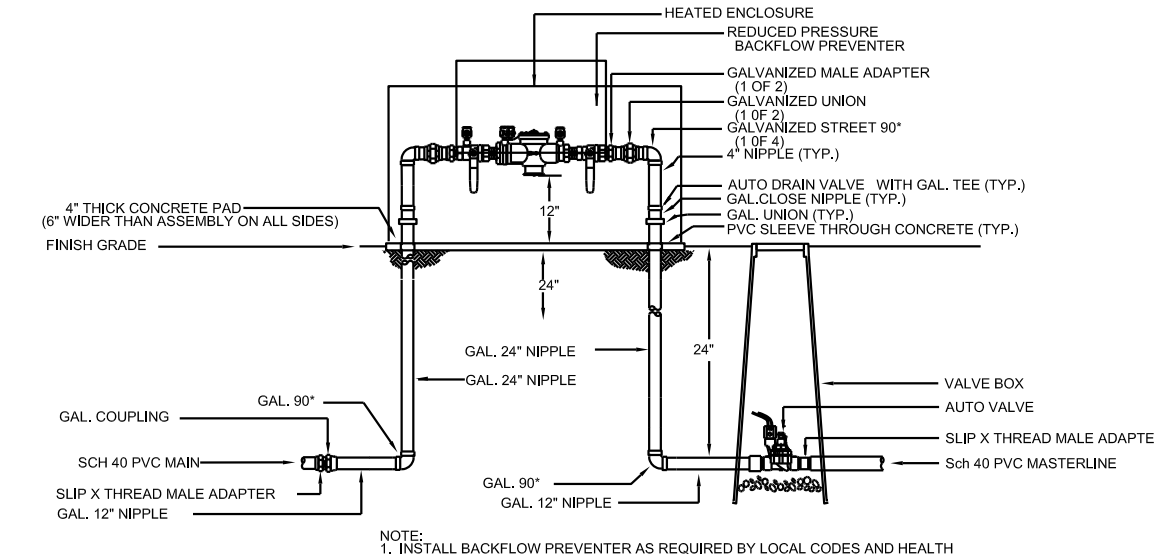
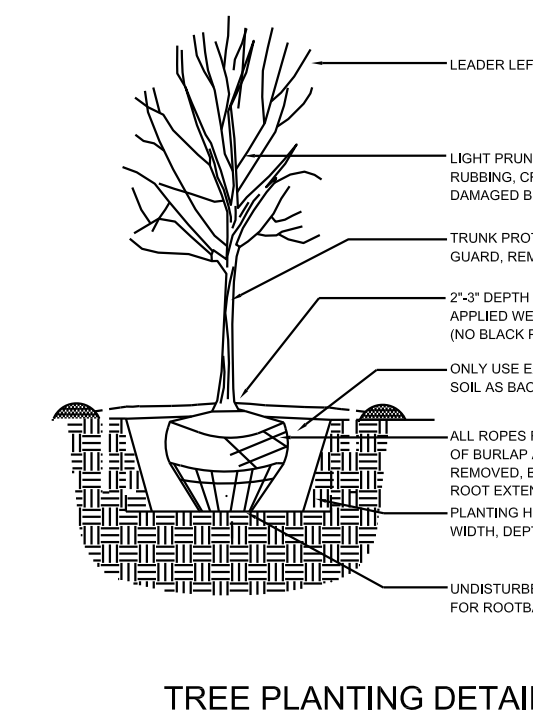
THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THAN 50' FROM A TREE.



**IRRIGATION NOTE**

DRIP SYSTEM RUN CYCLES: ESTABLISHMENT AND SUMMER: 1 HOUR/4 DAYS A WEEK  
SPRING: 1 HOUR/2-3 DAYS A WEEK  
FALL: 1 HOUR/2-3 DAYS A WEEK  
WINTER: 1 HOUR/2 DAYS PER MONTH

LANDSCAPE IN C.O.A. R.O.W. TO BE IRRIGATED WITH A BUBBLER SYSTEM PER C.O.A. STANDARDS AND DETAILS

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

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(505)998-0815 Josh Rogers

**OPERATOR**  
Intermodal Management, LLC  
2300 Tower Drive  
Monroe, Louisiana 71201  
(318)812-7126 Dave Raymond

growing  
better  
**Up**  
Heads  
LANDSCAPE CONTRACTORS  
P.O. BOX 10597  
Albuquerque, NM 87184  
505.898.9615  
505.898.2105 (fax)  
design@hulc.com  
www.headsuplandscape.com

DATE	ISSUE TITLE
01/12/18	100% DESIGN DEVELOPMENT

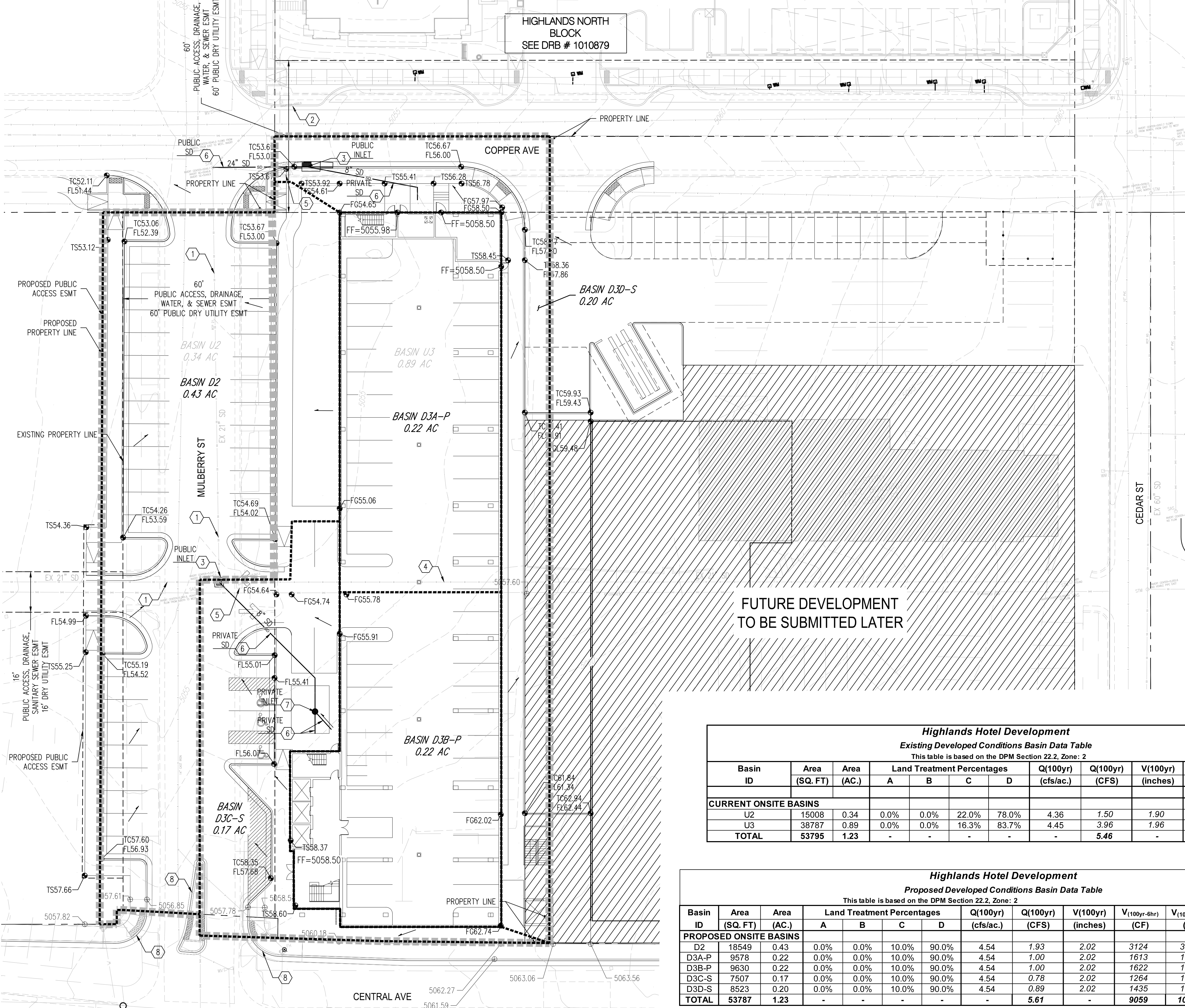
REV.	DATE	ISSUE TITLE
	1.30.18	

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SPRINGHILL SUITES - ALBUQUERQUE  
CENTRAL AVE. & MULBERRY ST.  
ALBUQUERQUE, NM 87106

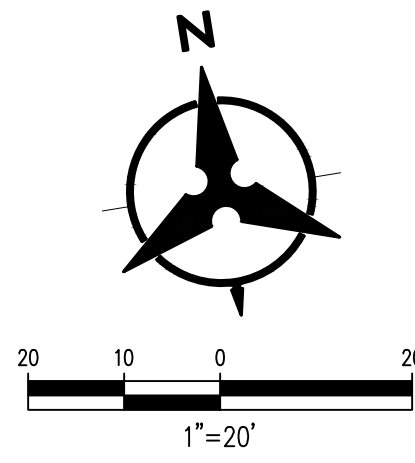
LANDSCAPE PLAN FOR  
BUILDING PERMIT

IMM012  
PROJECT NUMBER SHEET NUMBER



HIGHLANDS NORTH BLOCK  
SEE DRB # 1010879

FUTURE DEVELOPMENT  
TO BE SUBMITTED LATER



**Highlands Hotel Development**  
**Existing Developed Conditions Basin Data Table**  
This table is based on the DPM Section 22.2, Zone: 2

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V(100yr) (inches)	V(100yr-6hr) (CF)	V(100yr-24hr) (CF)
			A	B	C	D					
<b>CURRENT ONSITE BASINS</b>											
U2	15008	0.34	0.0%	0.0%	22.0%	78.0%	4.36	1.50	1.90	2379	2769
U3	38787	0.89	0.0%	0.0%	16.3%	83.7%	4.45	3.96	1.96	6331	7413
<b>TOTAL</b>	<b>53795</b>	<b>1.23</b>	-	-	-	-	-	<b>5.46</b>	-	<b>8710</b>	<b>10182</b>

**Highlands Hotel Development**  
**Proposed Developed Conditions Basin Data Table**  
This table is based on the DPM Section 22.2, Zone: 2

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V(100yr) (inches)	V(100yr-6hr) (CF)	V(100yr-24hr) (CF)	V(100yr-10day) (CF)	FIRST FLUSH (CF)
			A	B	C	D							
<b>PROPOSED ONSITE BASINS</b>													
D2	18549	0.43	0.0%	0.0%	10.0%	90.0%	4.54	1.93	2.02	3124	3680	5350	473
D3A-P	9578	0.22	0.0%	0.0%	10.0%	90.0%	4.54	1.00	2.02	1613	1900	2762	244
D3B-P	9630	0.22	0.0%	0.0%	10.0%	90.0%	4.54	1.00	2.02	1622	1911	2777	246
D3C-S	7507	0.17	0.0%	0.0%	10.0%	90.0%	4.54	0.78	2.02	1264	1490	2165	191
D3D-S	8523	0.20	0.0%	0.0%	10.0%	90.0%	4.54	0.89	2.02	1435	1691	2458	217
<b>TOTAL</b>	<b>53787</b>	<b>1.23</b>	-	-	-	-	-	<b>5.61</b>	-	<b>9059</b>	<b>10672</b>	<b>15513</b>	<b>1372</b>

**DRAINAGE NARRATIVE**

**EXISTING CONDITIONS**  
THIS SITE IS LOCATED AT THE NORTHEAST CORNER OF MULBERRY ST NE AND CENTRAL AVE NE. IT IS CURRENTLY DEVELOPED AND SLOPES FROM SOUTHEAST TO NORTHWEST. THE DRAINAGE ULTIMATELY OUTFALLS TO THE EXISTING PUBLIC STORM DRAIN SYSTEM LOCATED JUST WEST OF THE SITE WITHIN MULBERRY. THIS SITE HAS HISTORICALLY BEEN FULLY DEVELOPED AS COMMERCIAL DEVELOPMENT.

THE SITE LIES WITHIN TWO EXISTING ONSITE BASINS, U2 & U3. BASIN U2 IS A PART OF A LARGER BASIN THAT SURFACE DRAINS TO AN INLET IN OAK ST. AND DRAINS TO A SYSTEM THAT ULTIMATELY HEADS WEST UNDERNEATH I-25. BASIN U3 IS ALSO A PART OF A LARGER BASIN THAT SURFACE DRAINS TO AN INLET IN COPPER AVE NORTH OF THIS SITE AND IS DISCHARGED INTO THE EXISTING 21" SD WITHIN MULBERRY ST.

THE TOTAL ONSITE EXISTING FLOW RATE FROM THE CURRENT DEVELOPMENT IS APPROXIMATELY 5.46 CFS.

**PROPOSED CONDITIONS**  
THE HIGHLANDS HOTEL WILL INCLUDE A NEW HOTEL THAT SITS AT THE NORTHEAST INTERSECTION OF CENTRAL AVE AND MULBERRY ST. ON STREET PARKING WILL BE PROVIDED AS A RESULT OF THIS PROJECT. TWO EXISTING STORM DRAIN INLETS WILL BE REMOVED AND LOCATED AS A RESULT OF NEW CURB AND GUTTER IMPROVEMENTS. THIS IMPROVED AREA OF THE SITE WILL INCREASE TO 90% D AND 10% C FOR DEVELOPED FLOWS. LANDSCAPED AREAS THROUGHOUT THE SITE WILL BE DEPRESSED WHERE APPLICABLE TO CAPTURE DRAINAGE IN AN ATTEMPT TO MEET THE FIRST FLUSH REQUIREMENTS, HOWEVER, ULTIMATELY THE CLIENT HAS DECIDED TO PAY CASH-IN-LIEU FOR THE FIRST FLUSH REQUIREMENTS.

THE DEVELOPED BASINS WILL ADHERE TO THE HISTORIC FLOW WITH FEW EXCEPTIONS. THE FOLLOWING IS A DESCRIPTION OF HOW EACH BASIN WILL DRAIN. PLEASE REFER TO THE "PROPOSED DEVELOPED CONDITIONS BASIN DATA TABLE" FOR THE PROPOSED BASIN FLOWS.

BASIN D2 INCLUDES A PORTIONS OF THE SITE'S PROPOSED PARKING IMPROVEMENTS AS WELL AS EXISTING MULBERRY ST. THIS AREA CONTINUES TO SHEET FLOW TO COPPER AVE AND INTO THE INLETS AT COPPER AVE AND OAK ST.

BASIN D3A-P INCLUDES ROOF DRAINAGE FROM THE HOTEL THAT WILL BE PIPED DIRECTLY INTO THE COPPER AVE PROPOSED RELOCATED INLET WHICH ULTIMATELY TIES TO THE EXISTING 21" RCP LINE THAT RUNS IN MULBERRY ST.

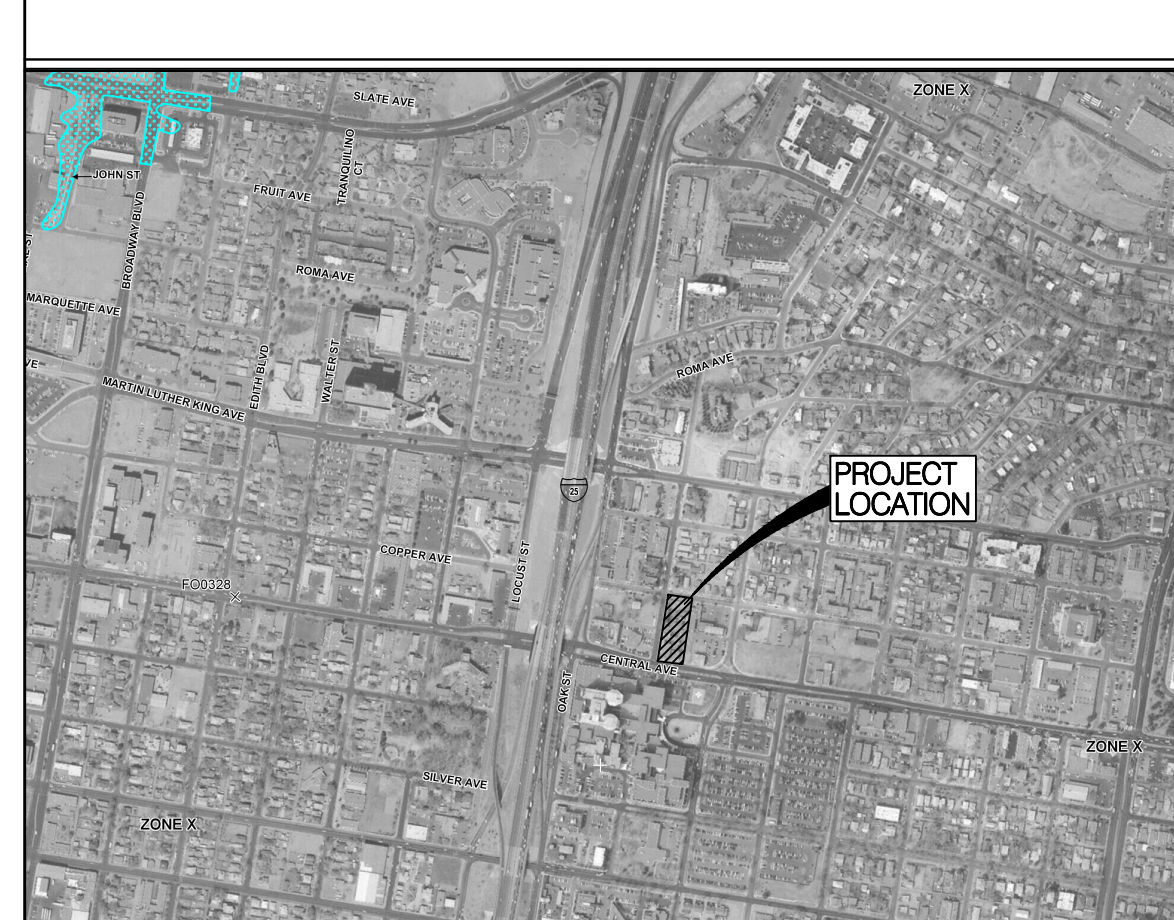
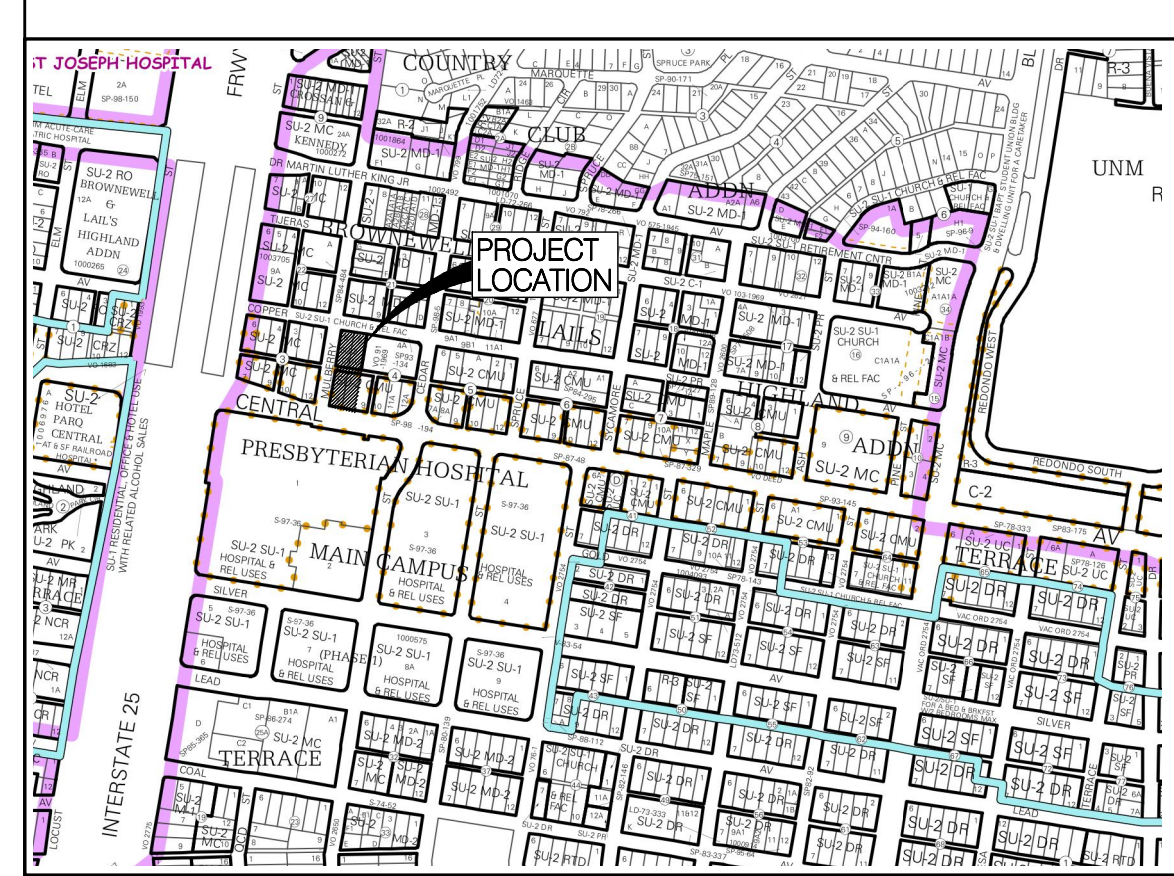
BASIN D3B-P INCLUDES ROOF DRAINAGE FROM THE HOTEL THAT WILL BE PIPED INTO THE PROPOSED RELOCATED INLET WITHIN MULBERRY WHICH ULTIMATELY TIES TO THE EXISTING 21" RCP LINE WHICH RUNS IN MULBERRY ST AND WEST THROUGH THE EXISTING ALLEY.

BASIN D3C-S INCLUDES A PORTION OF THE SITE'S HARDSCAPE, LANDSCAPE, PROPOSED PARKING IMPROVEMENTS, AS WELL AS A PORTION OF MULBERRY ST. THIS AREA CONTINUES TO SHEET FLOW TO THE PROPOSED RELOCATED INLET WITHIN MULBERRY ST.

BASIN D3D-S INCLUDES A PORTION OF THE SITE'S HARDSCAPE AND LANDSCAPING FEATURES WHICH WILL CONTINUE TO SHEET FLOW INTO THE PROPOSED RELOCATED INLET WITHIN COPPER AVE.

THE TOTAL ONSITE PROPOSED FLOW RATE FROM THE PROPOSED DEVELOPMENT IS APPROXIMATELY 5.61 CFS. COMPARISON OF THE FLOW BETWEEN EXISTING AND PROPOSED CONDITIONS WAS FOUND TO HAVE AN OVERALL INCREASE OF 0.2 CFS, OVERALL INDICATING THAT THE HISTORICAL DEVELOPED FLOWS ARE CLOSE TO THE SITE'S PROPOSED DEVELOPED CONDITIONS. THESE MINOR ADJUSTMENTS DEMONSTRATE THAT THE DRAINAGE ELEMENTS PROPOSED WITH THE PROJECT ARE CAPABLE OF SAFELY CONVEYING THE 100 YR, 6 HR STORM EVENT IN ACCORDANCE WITH THE DEVELOPMENT PROCESS MANUAL. WITH THIS SUBMITTAL, WE ARE REQUESTING COA HYDROLOGY APPROVAL IN SUPPORT OF SITE PLAN FOR BUILDING PERMIT APPROVAL.

**VICINITY MAP**  
ZONE MAP K-15-Z

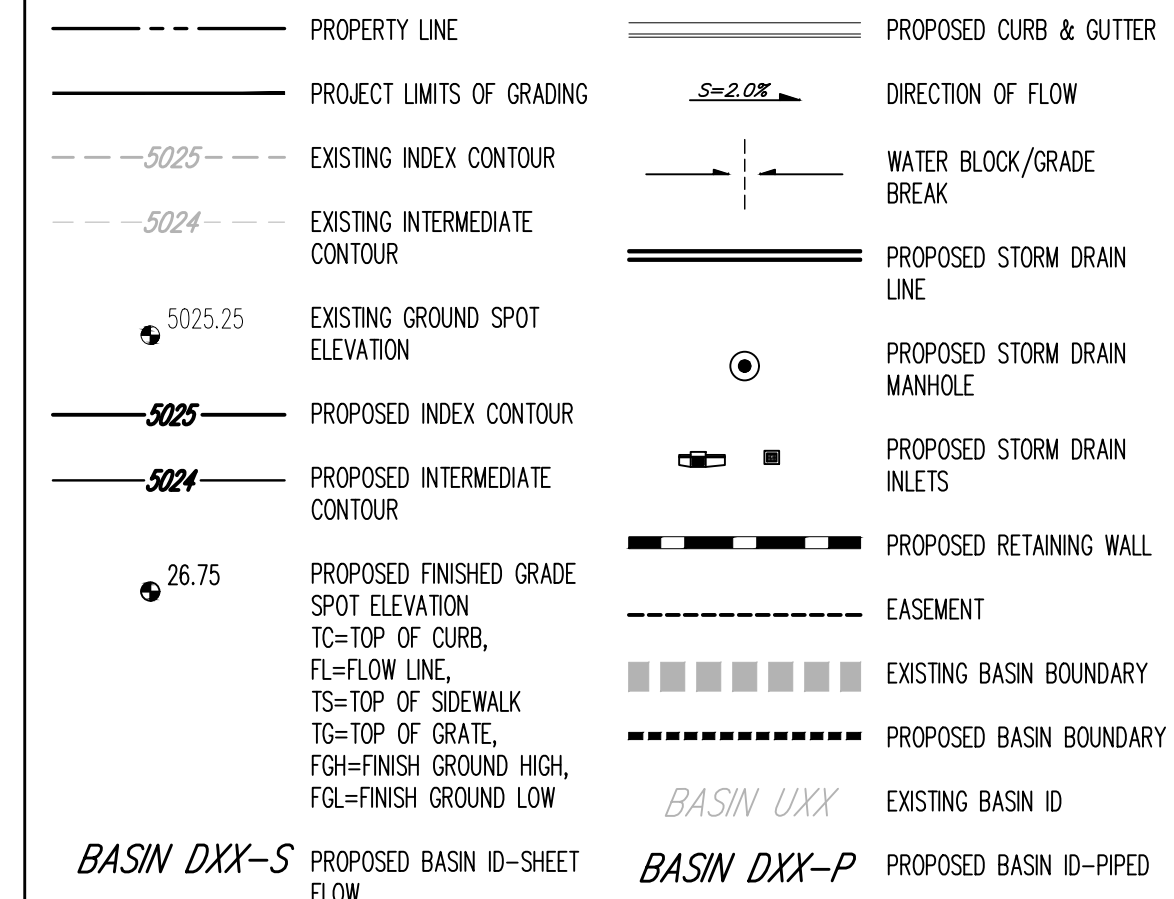


**FEMA FIRM** MAP #: 35001C0334G

**GRADING KEYNOTES**

- EXISTING STORM DRAIN TO REMAIN.
- STORM DRAIN INLET AND IMPROVEMENTS TO BE CONSTRUCTED A PART OF PROJECT DRB #1010879.
- EXISTING INLET TO BE REMOVED AND RELOCATED.
- EXISTING STORM DRAIN TO BE REMOVED.
- EXISTING STORM DRAIN INLET TO BE REMOVED.
- PROPOSED NEW STORM DRAIN.
- PROPOSED NEW STORM DRAIN INLET.
- EXISTING ART CURB & GUTTER CONSTRUCTED WITH ART PROJECT.

**GRADING LEGEND**



ARCHITECT

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214.670.0050  
CONTACT: CHRISTINE ROBBINS-ELROD

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505.764.9801  
CONTACT: SALVATOR PERDOMO

PROJECT

**SPRINGHILL SUITES<sup>SM</sup>**  
**MARRIOTT**  
ALBUQUERQUE

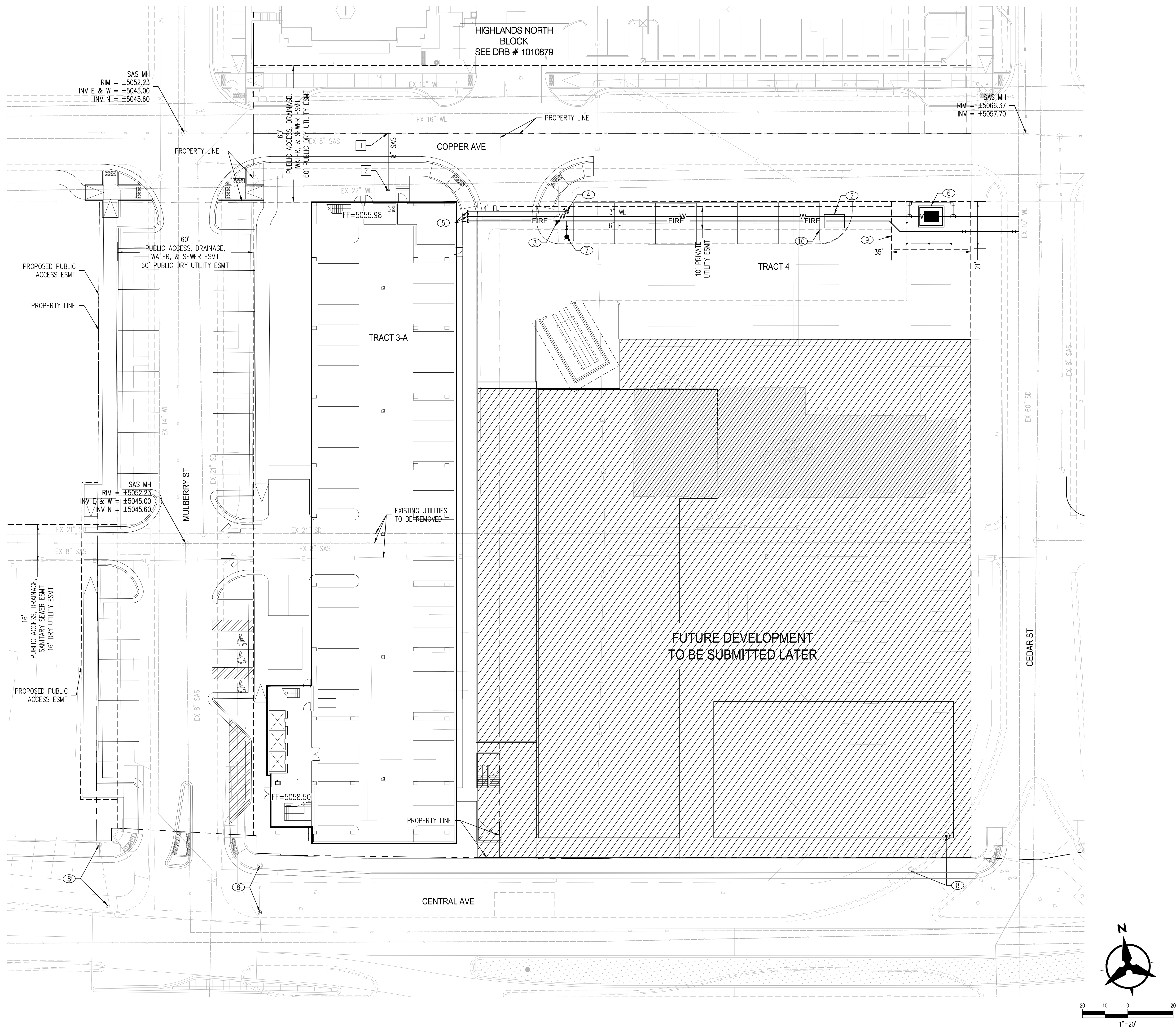
PROJECT ADDRESS  
**CENTRAL AVE. & MULBERRY ST.**  
ALBUQUERQUE, NM 87106

REV.	DATE	ISSUE
-	02.14.18	DRB SUBMITTAL

IMM012  
PROJECT NUMBER

GRADING  
& DRAINAGE PLAN

**C-100**  
SHEET NUMBER



**WATERLINE KEYNOTES**

- CONNECT TO EXISTING WATER LINE. CONTRACTOR SHALL FIELD VERIFY EXISTING SIZE AND LOCATION AND NOTIFY ENGINEER WITH ANY DISCREPANCIES.
- INSTALL DUAL FIRE AND DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTION DEVICES WITHIN A HEATED ENCLOSURE. INSTALL PER MANUFACTURER SPECIFICATIONS. SEE ELECTRICAL PLANS FOR POWER.
- INSTALL POST INDICATOR VALVE.
- INSTALL REMOTE FIRE DEPARTMENT CONNECTION. SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL STUB WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL 3" WATER METER.
- INSTALL PRIVATE FIRE HYDRANT.
- RELOCATED PUBLIC FIRE HYDRANT (BY ART PROJECT).
- NEW 35' X 21' PUBLIC WATER METER EASEMENT TO BE GRANTED TO ABCWUA.
- NEW 10' PRIVATE UTILITY EASEMENT.

**SANITARY SEWER KEYNOTES**

- CONNECT TO EXISTING SANITARY SEWER. CONTRACTOR SHALL FIELD VERIFY EXISTING INVERT ELEVATIONS AND NOTIFY ENGINEER WITH ANY DISCREPANCIES. SEE PUBLIC WORK ORDER (CPN #XXXXXX).
- INSTALL SANITARY SEWER SERVICE TO WITHIN 5' OF BUILDING. SEE PLAN FOR SIZE. SEE PLUMBING PLANS FOR CONTINUATION.

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 CONTACT: MIKE BALASKOVITS

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 505.764.9801  
 CONTACT: SALVATOR PERDOMO

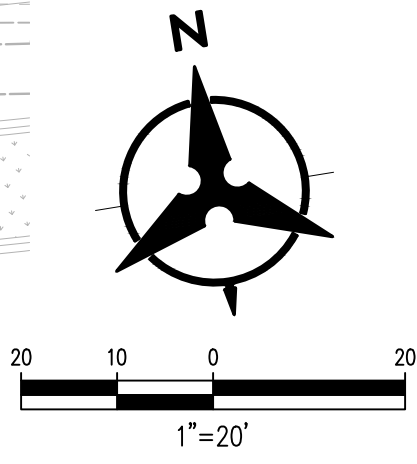
**UTILITY LEGEND**

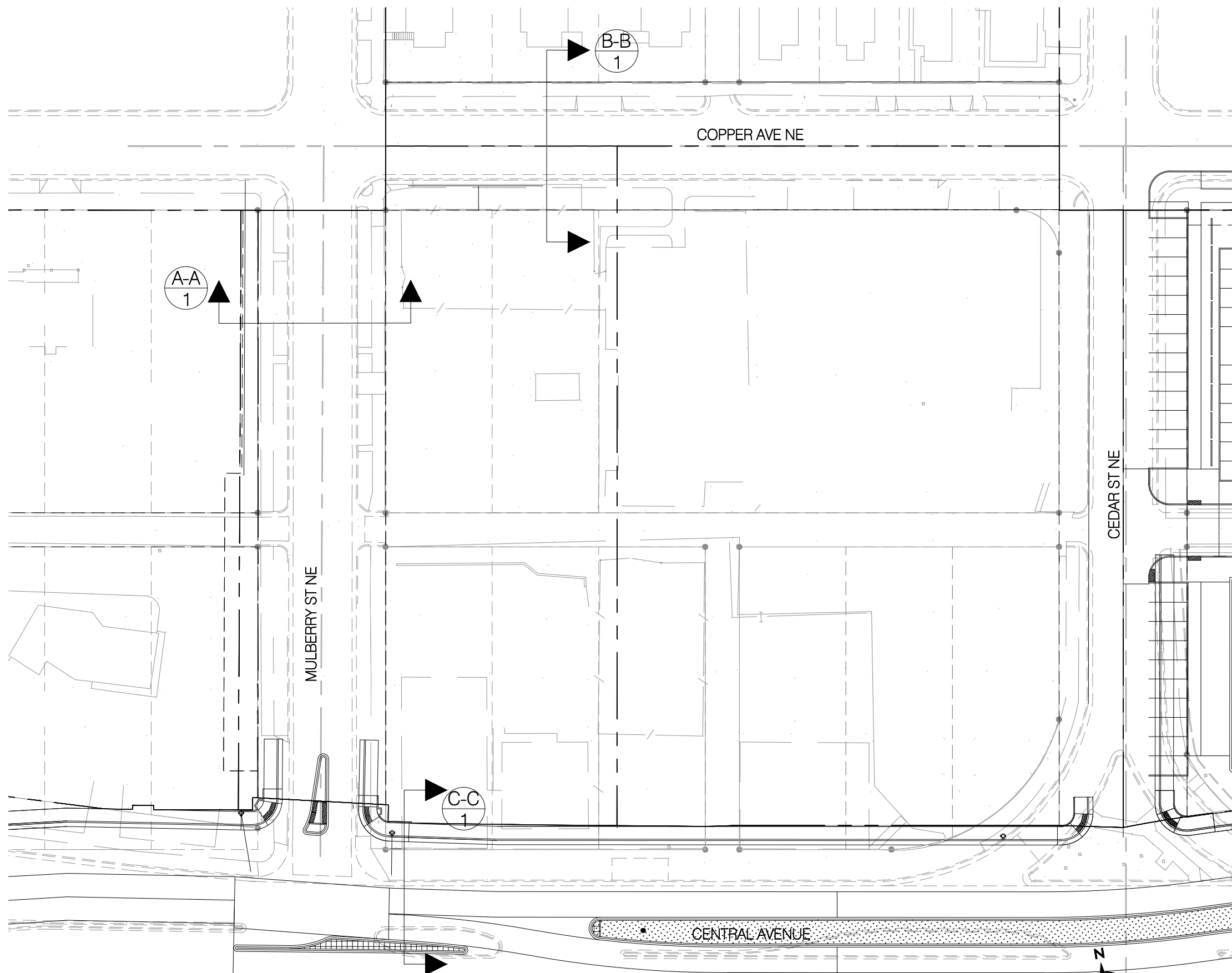
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- - -	EXISTING EASEMENT	SAS	PROPOSED SANITARY SEWER LINE
SAS	EXISTING SANITARY SEWER	●	PROPOSED SANITARY SEWER MANHOLE
WL	EXISTING WATER LINE	●	PROPOSED CLEANOUT
□	EXISTING WATER METER	WL	PROPOSED WATER LINE
-	EXISTING CAP	∩	PROPOSED VALVE
+	EXISTING VALVE	FL	PROPOSED FIRE WATER LINE
⊕	EXISTING FIRE HYDRANT	⊕	PROPOSED HYDRANT
○	EXISTING SANITARY SEWER MANHOLE	-	PROPOSED CAP
⊙	EXISTING STORM DRAIN MANHOLE	■	PROPOSED WATER METER
□	EXISTING INLET	↑	PROPOSED PIV
		↙	REMOTE FIRE DEPARTMENT CONNECTION

**PROJECT**  
**SPRINGHILL SUITES<sup>®</sup> MARRIOTT ALBUQUERQUE**

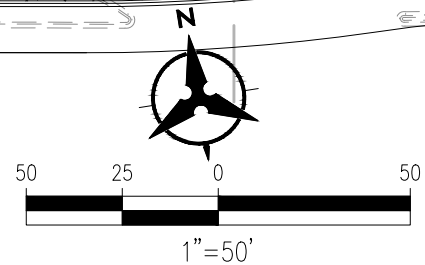
**PROJECT ADDRESS**  
 CENTRAL AVE. & MULBERRY ST.  
 ALBUQUERQUE, NM 87106

REV.	DATE	ISSUE
-	02.14.18	DRB SUBMITTAL

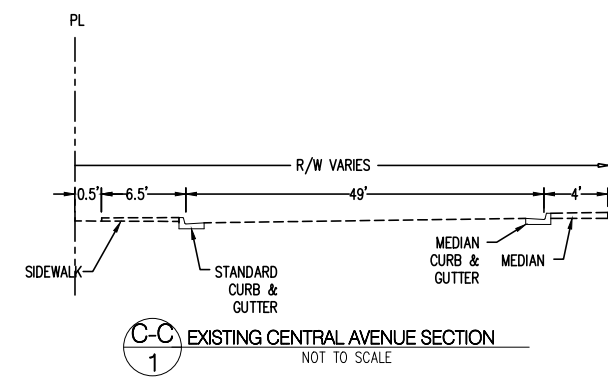
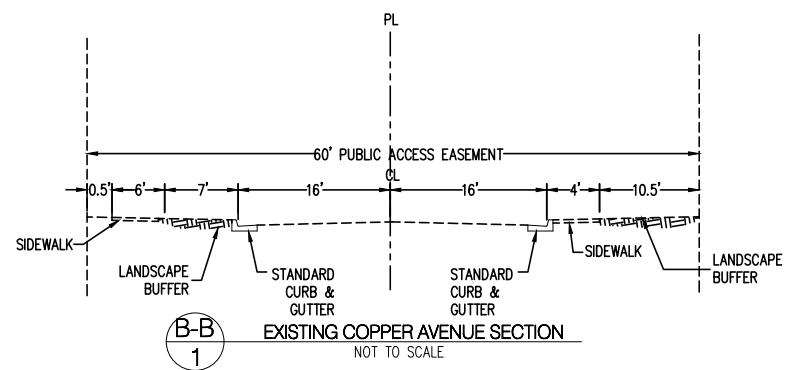
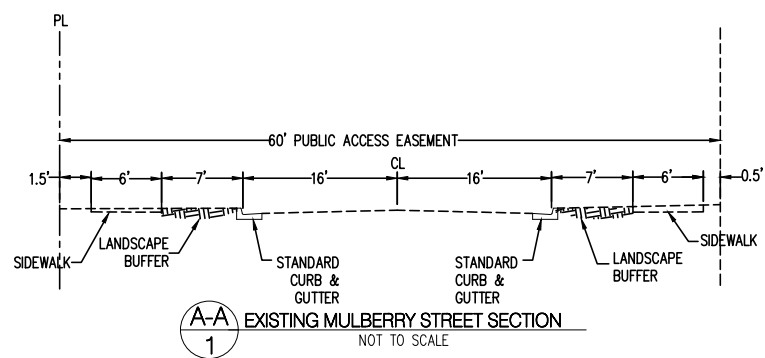




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 Overall



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<b>EXISTING STREET SECTIONS</b>			
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CHECKED BY:	MJB	PROJECT NO.	20160155
		SHEET NO.	1 of 4



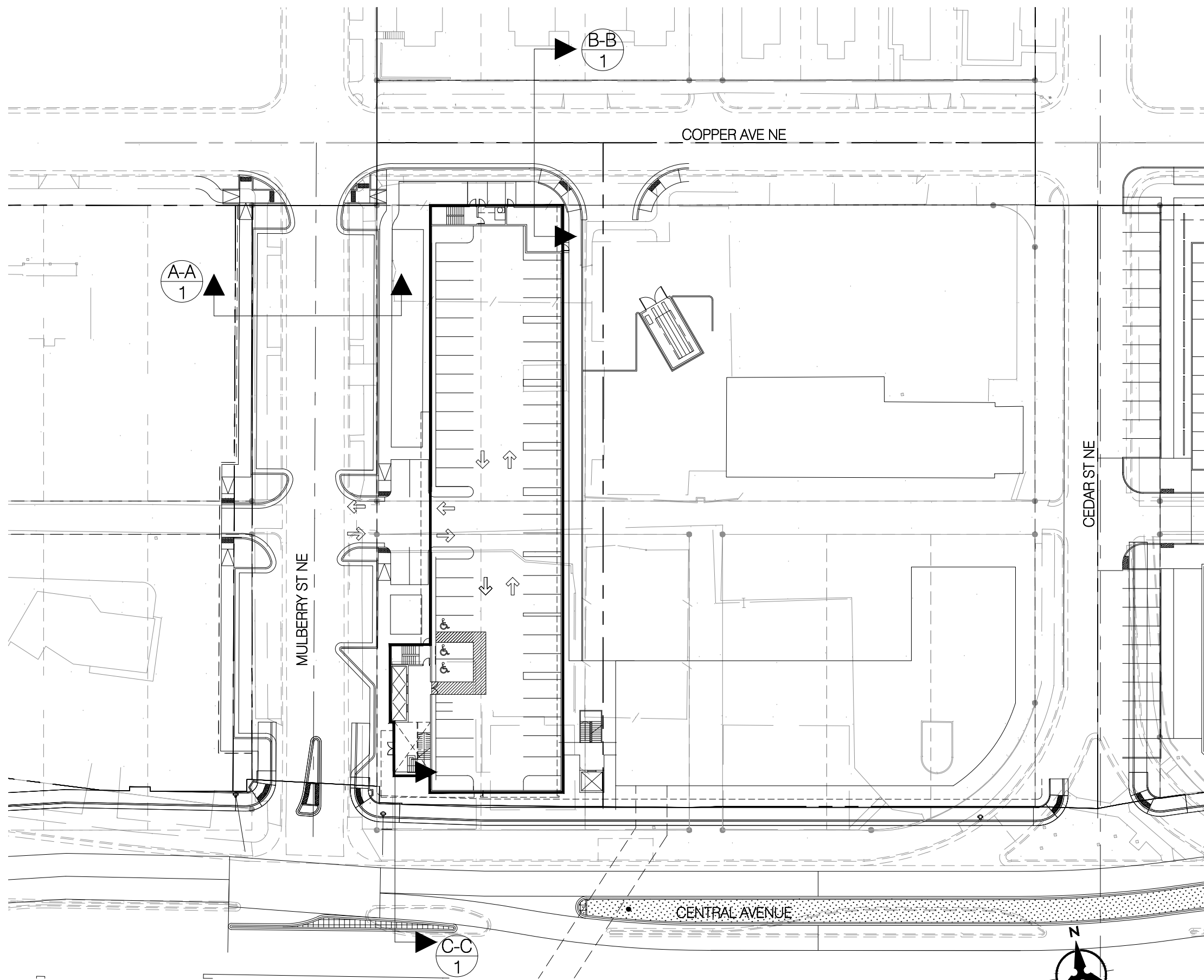
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Cress Sections

**Bohannon**  **Huston**

**THE HIGHLANDS  
HIGHLANDS HOTEL  
EXISTING STREET SECTIONS**

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CHECKED BY:	MJB	PROJECT NO.	20160155
		SHEET NO.	2 of 4

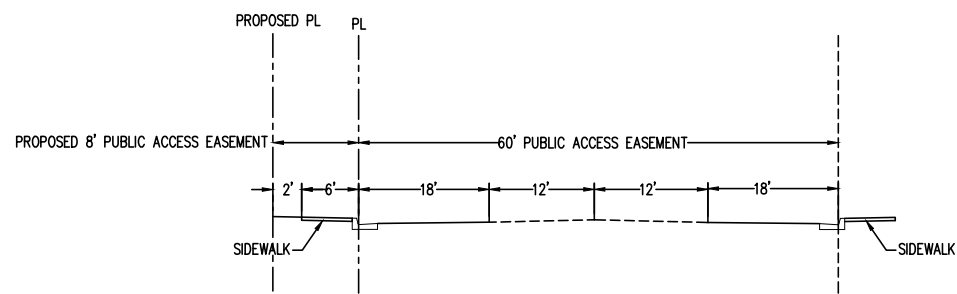




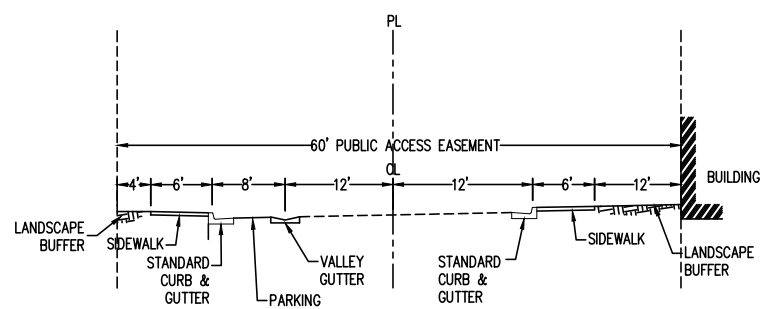
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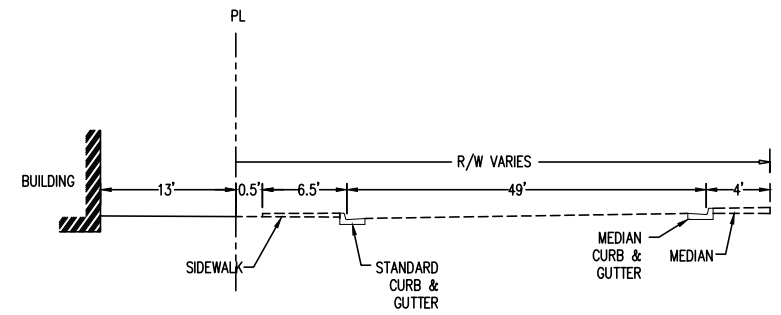
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<small>CHECKED BY:</small>	MJB	<small>PROJECT NO.:</small>	20160155
		<small>SHEET NO.:</small>	3 of 4



**A-A**  
1  
PROPOSED MULBERRY STREET SECTION  
NOT TO SCALE







**B-B**  
1  
PROPOSED COPPER STREET SECTION  
NOT TO SCALE



**C-C**  
1  
PROPOSED CENTRAL AVENUE SECTION  
NOT TO SCALE

**MATERIAL LEGEND**

-  EIFS FINISH WHITE
-  EIFS FINISH LIGHT GRAY
-  EIFS FINISH MEDIUM GRAY
-  ACM PANEL
-  EXPANDED METAL MESH
-  GABION WALL
-  NEON BLADE SIGN

**PROJECT**

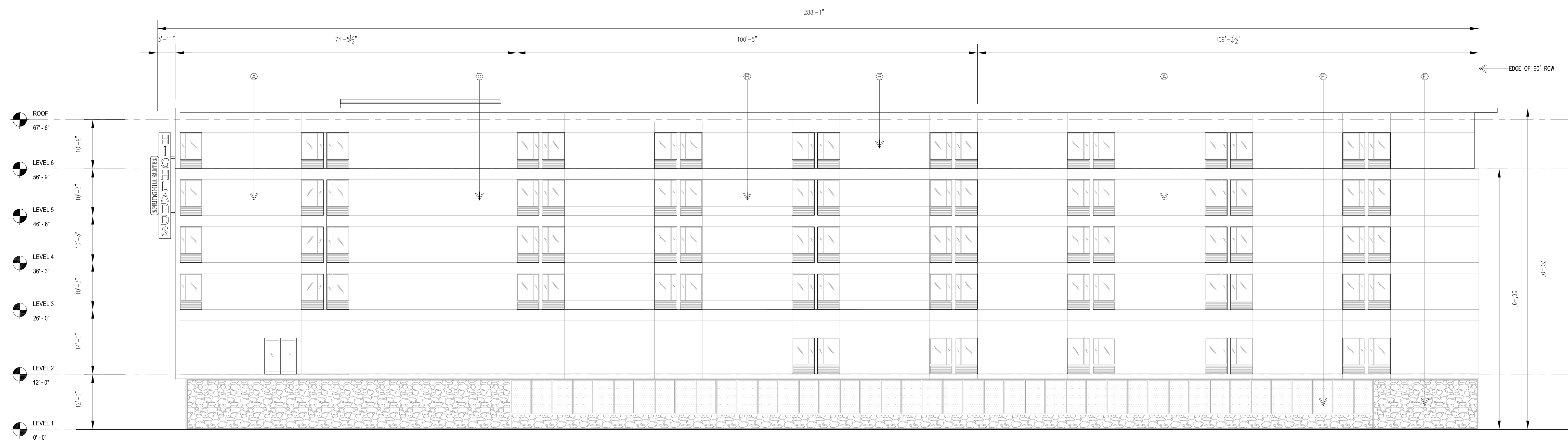
**SPRINGHILL SUITES® MARRIOTT ALBUQUERQUE**

**PROJECT ADDRESS**  
 CENTRAL AVE. & MULBERRY ST.  
 ALBUQUERQUE, NM 87106

REV.	DATE	ISSUE
-	2.14.18	DRB SUBMITTAL

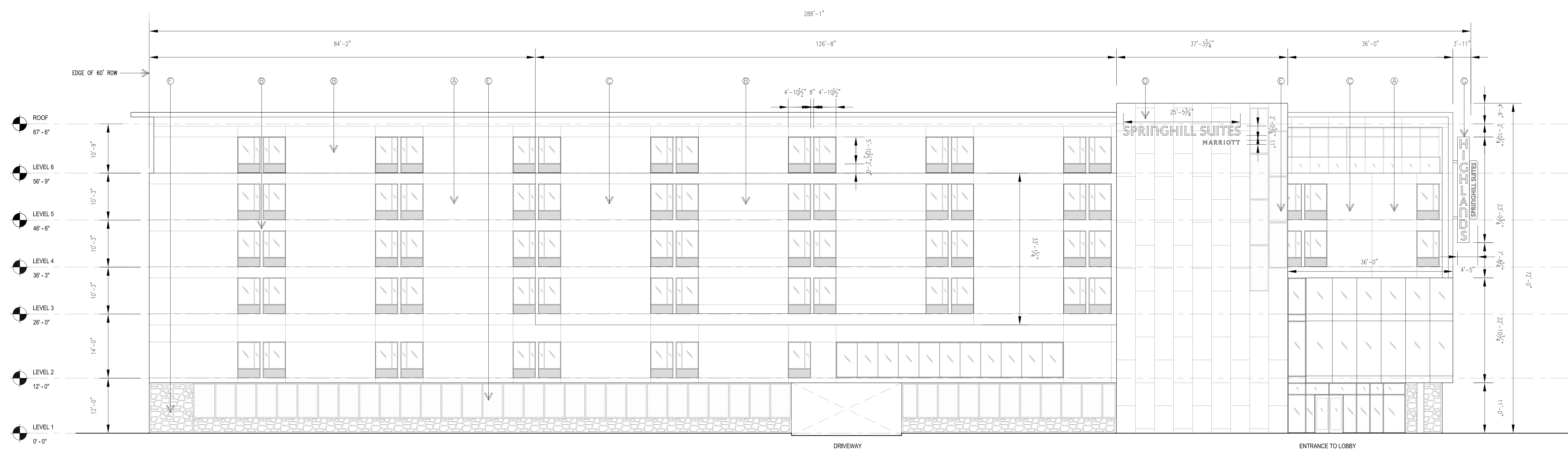
IMM012  
 PROJECT NUMBER

**EXTERIOR ELEVATIONS**



**EAST ELEVATION**

SCALE: 3/32" = 1'-0"



**WEST ELEVATION AT MULBERRY STREET**

SCALE: 3/32" = 1'-0"



5G STUDIO COLLABORATIVE  
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 214.670.0050  
 CONTACT: CHRISTINE ROBBINS-ELROD

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 505.764.9801  
 CONTACT: MALIK HAKIM

**MATERIAL LEGEND**

- Ⓐ EIFS FINISH WHITE
- Ⓑ EIFS FINISH LIGHT GRAY
- Ⓒ EIFS FINISH MEDIUM GRAY
- Ⓓ ACM PANEL
- Ⓔ EXPANDED METAL MESH
- Ⓕ GABION WALL
- Ⓖ NEON BLADE SIGN

**PROJECT**

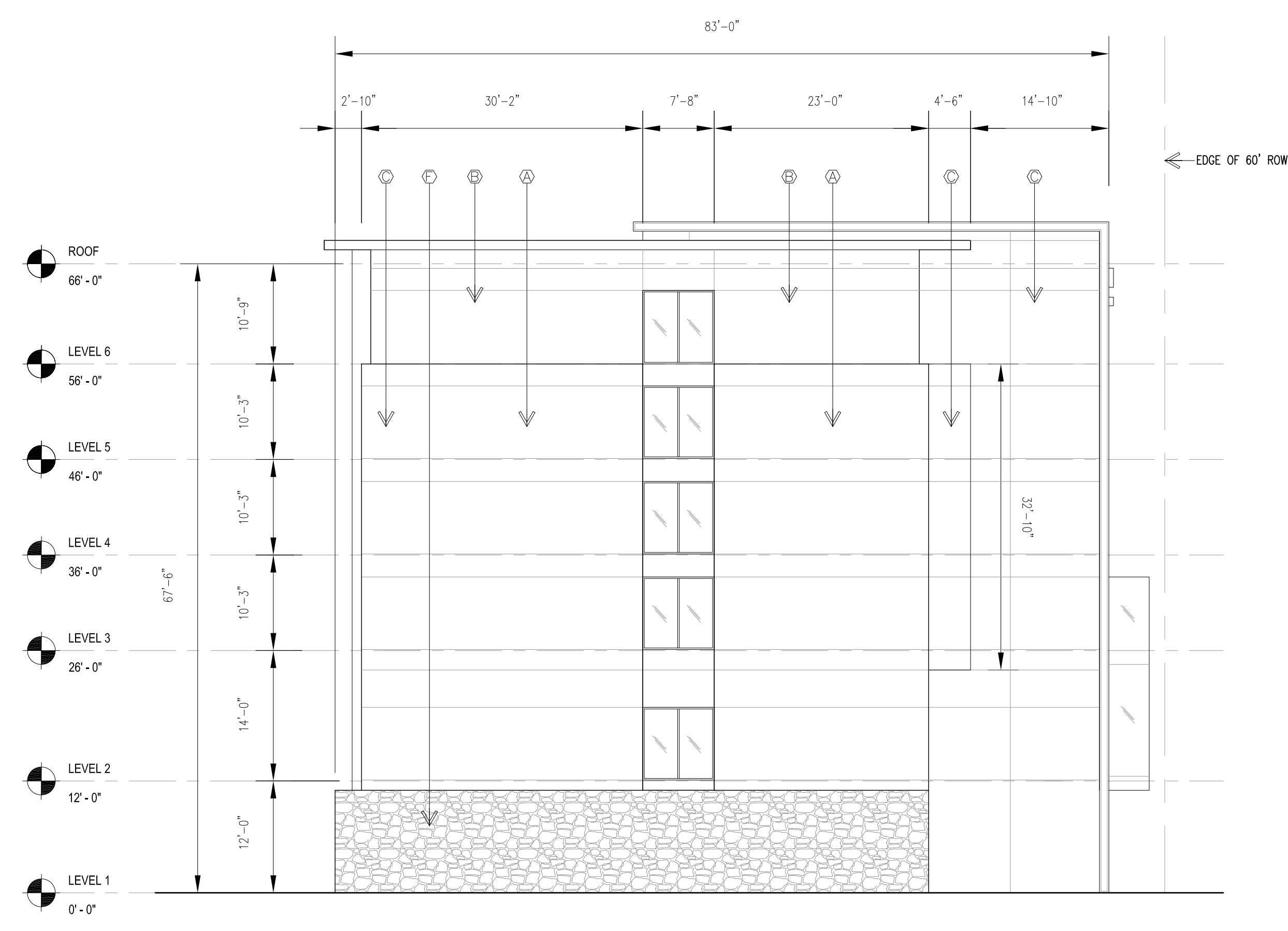
**SPRINGHILL SUITES® MARRIOTT ALBUQUERQUE**

**PROJECT ADDRESS**  
 CENTRAL AVE. & MULBERRY ST.  
 ALBUQUERQUE, NM 87106

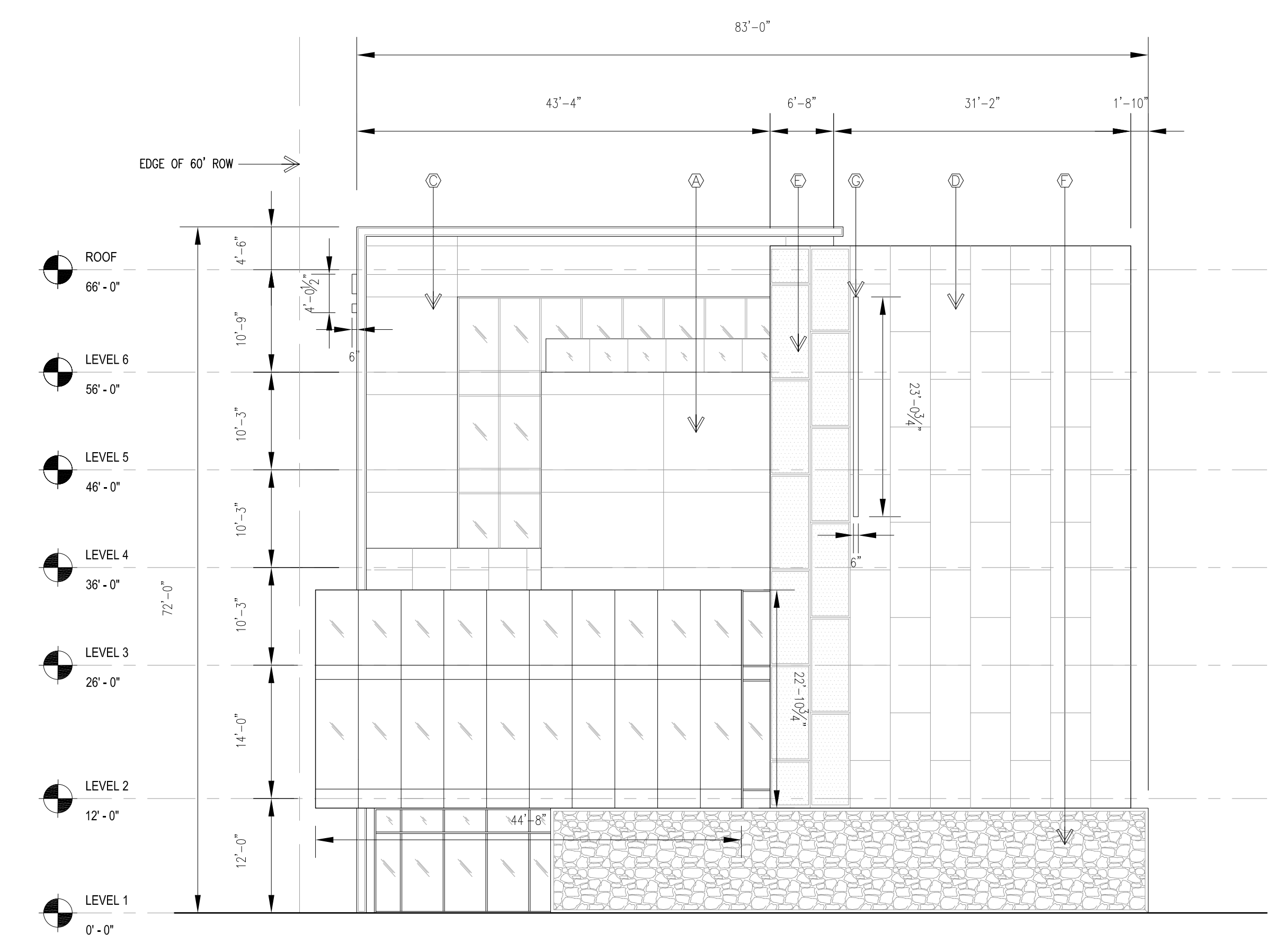
REV.	DATE	ISSUE
-	2.14.18	DRB SUBMITTAL

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**EXTERIOR ELEVATIONS**



**NORTH ELEVATION AT COPPER AVENUE**  
 SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION AT CENTRAL AVENUE**  
 SCALE: 3/32" = 1'-0"

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SEAL

**PRELIMINARY  
DOCUMENT**  
NOT FOR CONSTRUCTION

OWNER / DEVELOPER

TITAN DEVELOPMENT  
6300 RIVERSIDE PLAZA LANE NW, STE 201  
ALBUQUERQUE, NEW MEXICO 87120  
505.998.0163  
CONTACT: JOSH ROGERS

OWNER'S CONSULTANT / OPERATOR

INTERMOUNTAIN MANAGEMENT, LLC  
2390 TOWER DRIVE  
MONROE, LOUISIANA 71201  
318.812.7126  
CONTACT: DAVE RAYMOND

CIVIL ENGINEER

BOHANNAN HUSTON  
7500 JEFFERSON STREET NE  
ALBUQUERQUE, NEW MEXICO 87109  
505.823.1000  
CONTACT: MIKE BALASKOVITS

PLANNER

CONSENSUS PLANNING, INC.  
302 EIGHTH STREET NW  
ALBUQUERQUE, NEW MEXICO 87102  
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CONTACT: MALIK HAKIM

PROJECT

**SPRINGHILL SUITES®  
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**PEDESTRIAN REALM**

SHEET 7 OF 9

SHEET NUMBER

