

**LEGAL DESCRIPTION**

A certain tract of land situated within the Town of Albuquerque Grant, in Projected Section 21, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being an comprising a portion of Lot 1 and Lot 12, Block 5, Spruce Street NE, and Block 6, as shown on the plats entitled BROWNEWELL & LAIL'S HIGHLAND ADDITION, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 3, 1886; and plat entitled PLAT OF LOTS A-1 AND LOT A-2, BROWNEWELL & LAIL'S HIGHLAND ADDITION, filed in the office of the County Clerk of Bernalillo County, New Mexico on November 23, 1962, Book C20, Page 97, and being more particularly described as follows: BEGINNING at the northwesterly corner of the tract herein described, also being a point on the northerly right-of-way line of Lot 1, Block 5 and the southerly right-of-way line of Copper Avenue NE, WHENCE a found City of Albuquerque Central Monument stamped, "4\_K15", bears S81°50'30"W a distance of 1108.07 feet;

THENCE along the northerly boundary of the tract herein described, S80°52'45"E a distance of 422.35 feet to the northeasterly corner of the tract herein described, also being the northeasterly corner of said Block 6;

THENCE along the easterly boundary of the tract herein described, also being the westerly right-of-way line of Sycamore Street NE, S09°09'00"W a distance of 142.00 feet;

THENCE S09°28'34"W a distance of 16.00 feet; THENCE S09°09'00"W a distance of 142.00 feet to the southeasterly corner of the tract herein described, also being the southeasterly corner of said Block 6;

THENCE along the southerly boundary of the tract herein described, also being the northerly right-of-way line of East Central Avenue SE, N80°52'45"W a distance of 149.96 feet; THENCE leaving said East Central Avenue SE, N78°40'30"W a distance of 15.96 feet; THENCE N80°50'46"W a distance of 39.37 feet;

THENCE N76°06'08"W a distance of 69.76 feet; THENCE N80°50'46"W a distance of 41.18 feet; THENCE N80°22'08"W a distance of 60.05 feet; THENCE N80°50'46"W a distance of 10.02 feet; THENCE N09°08'42"E a distance of 5.88 feet; THENCE N80°51'18"W a distance of 5.87 feet; THENCE N09°09'09"E a distance of 25.83 feet; THENCE N80°50'51"W a distance of 0.50 feet; THENCE N09°05'07"E a distance of 4.29 feet; THENCE N80°52'45"W a distance of 29.85 feet to the southwesterly corner of the tract herein described; THENCE N09°07'15"E a distance of 256.99 feet to the POINT OF BEGINNING.

This tract contains 2.8535 acres, more or less.

**LEGEND**

- DENOTES PROPERTY LINE
- ◊ NO. OF PARKING SPACES
- ◊ NO. OF COMPACT PARKING SPACES
- ◊ DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT

**DEVELOPMENT DATA**

**NET SITE AREA:**  
2.8549 ACRES (124,359 S.F.)

**ZONING AND LAND USE:**  
CURRENT: SU-2 FOR CMU (C-2)  
PROPOSED: SU-2/SU-1 FOR MIXED USE (MX) (FORM BASED CODE)  
LAND USE: MIXED USE DEVELOPMENT (RETAIL AND MULTI-FAMILY RESIDENTIAL)

**BUILDING HEIGHT:**  
ALLOWED: 78 FEET (PER EPC APPROVAL OF MODIFICATION TO ALLOW HEIGHT PER 14-16-3-22(A)(b)(1)(c))  
PROPOSED: 78 FEET

**DENSITY:**  
ALLOWED: NO LIMIT IN FORM BASED CODE 14-16-3-22(A)(b)(3)  
PROPOSED: 228 DWELLING UNITS

**SETBACKS PROVIDED:**

BUILDINGS	SIDE (W)	REAR (N)	SIDE (E)	FRONT (S)
	6'3"-2"	7'-8"	8'	6'-4"
PARKING	11'-6"	NA	NA	6'3"-9"

**FLOOR AREA RATIO:**  
BUILDING NET AREA: 269,071 S.F.  
F.A.R. PROVIDED: 269,071 / 124,359 = 2.16

**BUILDING AREAS:**

LEVEL	S-2 GARAGE	R-2 RES.	A-3 REC FITNESS	ASSEMBLY TOTAL	B LEASING	M RETAIL	TOTAL
P1	71,610	-	4,000	3,714	7,714	1,334	84,688
L1	70,105	10,305	-	-	-	-	80,410
L2	-	61,192	920	-	920	-	62,112
L3	-	61,192	-	-	-	-	61,192
L4	-	61,192	-	-	-	-	61,192
TOTAL	141,715	255,073	4,920	3,714	8,634	1,334	410,788

**UNIT MIX:**

LEVEL	STUDIO	1-BED	2-BED	3-BED	TOTAL
P2	1	7	1	-	6
L1	17	19	21	-	57
L2	17	19	21	-	57
L3	17	19	21	-	57
L4	3	19	22	4	48
TOTAL	55	83	86	4	228

**MINIMUM USABLE OPEN SPACE REQUIRED AND PROVIDED**

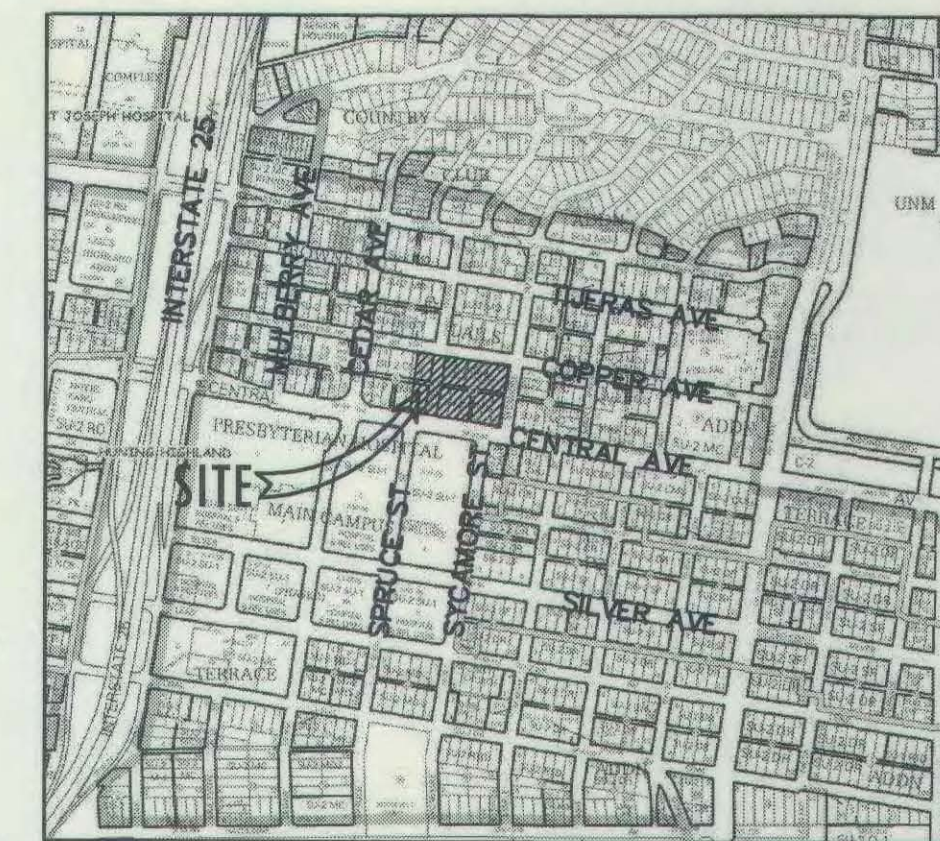
REQUIRED: 10% OF SITE AREA  
124,359 X 10% = 12,436

PROVIDED:  
PRIVATE BALCONIES: 16,135 SF  
LEVEL L1 COURTYARDS: 33,070 SF  
TOTAL PROVIDED: 49,205 SF

**PARKING CALCULATIONS**

PARKING TYPE REQUIRED	REQUIREMENT CALCULATIONS	TOTAL REQUIRED	PROVIDED
OFF-STREET	PER 14-16-3-22(3)(D), ALL FORM BASED MX USES REQUIRE 1/1,000 NET SQUARE FEET RESIDENTIAL: 255,073 / 1,000 = 256 RETAIL: 4,030 / 1,000 = 5 TOTAL: 256 + 5 = 261 TRANSIT REDUCTION OF 15% 261 x 0.15 = 39 261 - 39 = 222	222	360
ACCESSIBLE	8 PER 101-300 OFF-STREET SPACES	8	8
BICYCLE	RESIDENTIAL USES REQUIRE 1 SPACE PER 2 DWELLING UNITS. 228 / 2 = 114 RETAIL USES REQUIRE 1 SPACE PER 20 PARKING SPACES. 5 / 20 = 1	115	116
MOTORCYCLE	1 PER 1-25 OFF-STREET PARKING SPACES FOR NON-RESIDENTIAL USES.	1	2

**TYPE OF BUILDING AND FRONTAGE:**  
BUILDING TYPE: FLEX BUILDING  
FRONTAGE TYPE: CAFE AND STOREFRONT (SOUTH)  
STOOPS (EAST AND NORTH)



**VICINITY MAP**  
NOT TO SCALE

- KEYNOTES**
- 8'-6"x16" PARKING SPACE, TYPICAL, SEE DETAIL 01/A1.20
  - 11'x18" ACCESSIBLE PARKING SPACE, SEE DETAIL 05/A1.20
  - 8.5'x20' PARALLEL STREET PARKING.
  - 9'x18" ANGLE STREET PARKING.
  - ACCESSIBLE DRIVEWAY CROSSING MARKING TO COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
  - TRASH YARD ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 14/A1.20. TRASH YARD TO BE SHARED WITH PROPERTY TO THE WEST AND EASEMENT WILL BE CREATED AS NEEDED.
  - ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A1.21.
  - PEDESTRIAN ENTRY GATE, SEE DETAIL 23/A1.21.
  - WROUGHT IRON FENCE, SEE DETAIL 19/A1.21.
  - 6' SIDEWALK CONNECTING TO PUBLIC WAYS.
  - 6' MINIMUM CLEAR WALKWAY AROUND SITE.
  - BUILDING DIRECT ACCESS TO STREET.
  - REVISED CURB RETURNS FROM HIB'S ART DESIGN TO ACCOMMODATE NEW SITE. FURTHER COORDINATION WITH THE CITY AND HDR WILL BE REQUIRED.
  - 35'x35' VISIBILITY TRIANGLE AT STREET CORNER.
  - 12' ABCWUA WATER LINE EASEMENT.
  - 20' ABCWUA WATER LINE EASEMENT.
  - 3" WATER METER EASEMENT.
  - 5' GAS LINE EASEMENT.
  - 17' x 21' PNM SWITCH GEAR EASEMENT.
  - 3' x 10' COMCAST EASEMENT.
  - 7' PUE EASEMENT.
  - BICYCLE PARKING LOCATION.
  - SITE DIRECTORY AND CALL BOX LOCATION, SEE DETAIL 17/A1.21.

**PEDESTRIAN REALM**

THE PROPOSED DEVELOPMENT WILL FEATURE AN APPROXIMATELY 25-FOOT-WIDE URBAN PEDESTRIAN REALM ALONG CENTRAL AVENUE THAT WILL INTERACT WITH THE BUILDING FRONTAGE AND ADJACENT RIGHT-OF-WAY. THE PEDESTRIAN REALM WILL BE AN INVITING AND PLEASANT ENVIRONMENT FOR WALKERS, SHOPPERS, AND RESIDENTS. THIS AREA WILL FEATURE STREET TREES, PLANTERS, SPECIALTY PAVING, GLAZING AND STOREFRONTS ALONG THE BUILDING, SITTING AREAS IN FRONT OF THE RETAIL SPACE, AND OTHER AMENITIES. THIS AREA IS CONSISTENT WITH THE FORM BASED CODE, WHICH SPECIFIES A "USABLE PEDESTRIAN REALM" THAT ACCOMMODATES STREET DESIGN AND APPROPRIATE BUILDING PLACEMENT.

**GENERAL NOTES**

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- THE MATERIALS USED FOR CROSSWALKS WILL COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE FORM BASED CODE AND CITY'S ZONING CODE. 14-16-3-22(C)(6).

**PROJECT NUMBER:**  
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 2/9/17 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Raquel Mendez Traffic Engineering, Transportation Division 2/14/18 Date

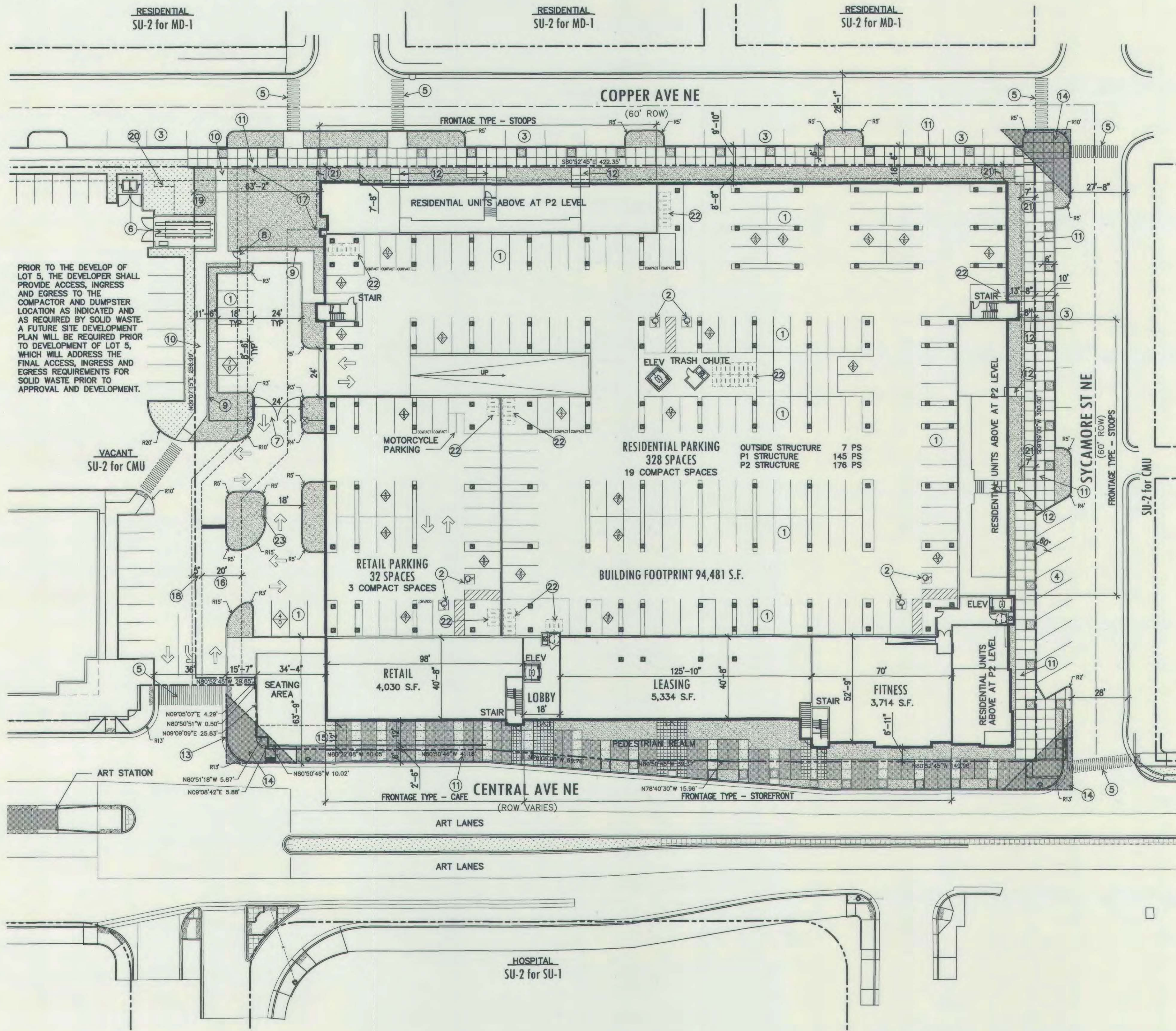
Van Estegand ABCWUA 2/14/18 Date

Ernest Armijo Parks and Recreation Department 2/14/18 Date

City Engineer Jun 2, 2022 Date

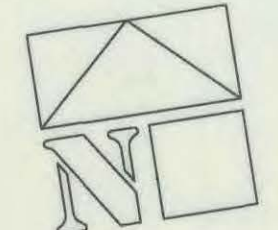
Solid Waste Management Jun 14, 2022 Date

DRB Chairperson, Planning Department Date



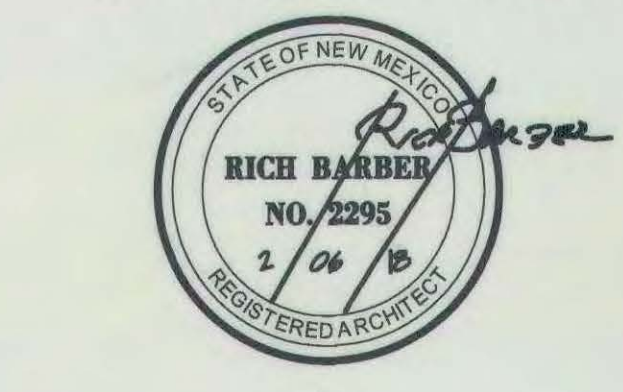
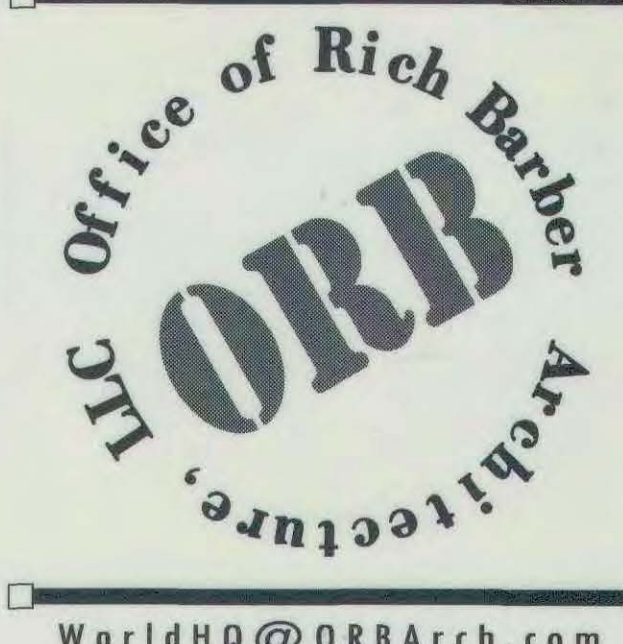
**PRELIMINARY SITE PLAN**

SCALE: 1" = 30'-0"



FILE: T:\06\ORB Job Files\16-713\_Titan\_Eastblock\CAD Files\Preliminary\16213 A110 Site Plan.dwg USER: jao DATE: Feb, 06 2018 TIME: 10:59 am

**BROADSTONE EAST-BLOCK**  
NEC EAST CENTRAL AVE AND SPRUCE ST NE ALBUQUERQUE, NEW MEXICO



DATE: FEBRUARY 6, 2018 ORB # 16-213

**A1.10**  
SITE PLAN FOR BUILDING PERMIT



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**UNIT MIX:**

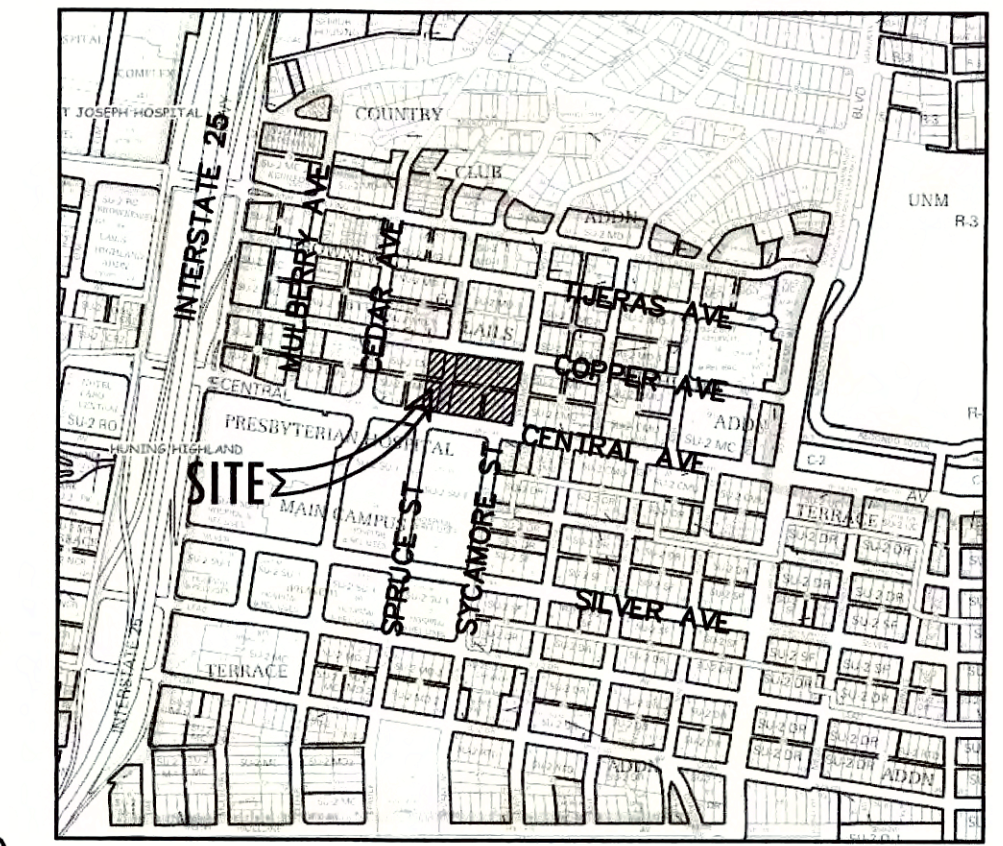
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PROVIDED:

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LEVEL L1 COURTYARDS	33,070 SF
TOTAL PROVIDED	49,205 SF



**VICINITY MAP**  
NOT TO SCALE

**KEYNOTES**

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- 11'x18' ACCESSIBLE PARKING SPACE, SEE DETAIL 05/A1.20
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- PEDESTRIAN ENTRY GATE, SEE DETAIL 23/A1.21.
- BROUGHT FROM FENCE, SEE DETAIL 10/A1.21.
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- 6' MINIMUM CLEAR WALKWAY AROUND SITE.
- BUILDING DIRECT ACCESS TO STREET.
- REVISED CURB RETURNS FROM HDR'S ART DESIGN TO ACCOMMODATE NEW SITE. FURTHER COORDINATION WITH THE CITY AND HDR WILL BE REQUIRED.
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- 5' GAS LINE EASEMENT.
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- SITE DIRECTORY AND CALL BOX LOCATION, SEE DETAIL 17/A1.21.

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- PROPOSED ART STATION WILL BE LOCATED IMMEDIATELY WEST OF ENTRANCE TO PROPOSED DEVELOPMENT. BUS LANE STATION IS PROPOSED TO RELOCATE TO THE WEST OF THE SUBJECT DEVELOPMENT ALONG CENTRAL AVENUE.
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- SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE FORM BASED CODE AND CITY'S ZONING CODE. 14-16-3-22(c)(6).

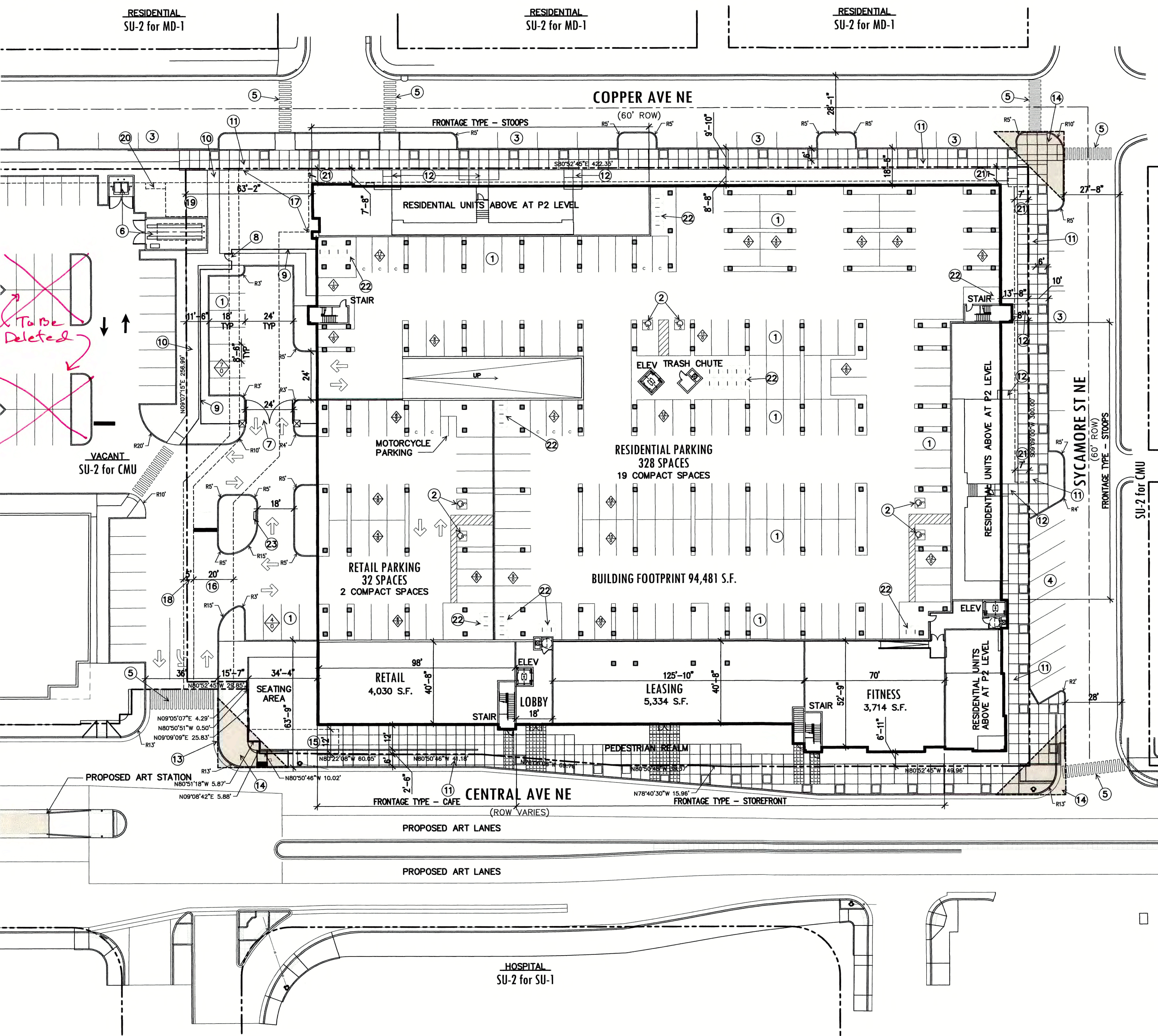
PROJECT NUMBER:  
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

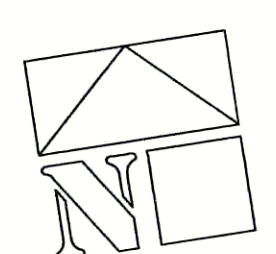
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



**PRELIMINARY SITE PLAN**

SCALE: 1" = 30'-0"



**BROADSTONE EAST-BLOCK**  
NEC EAST CENTRAL AVE AND SPRUCE ST NE  
ALBUQUERQUE, NEW MEXICO

Office of Rich Barber  
**ORB**  
Architecture, LLC  
WorldHQ@ORBArch.com

STATE OF NEW MEXICO  
RICH BARBER  
NO. 2295  
REGISTERED ARCHITECT  
PRELIMINARY NOT FOR CONSTRUCTION

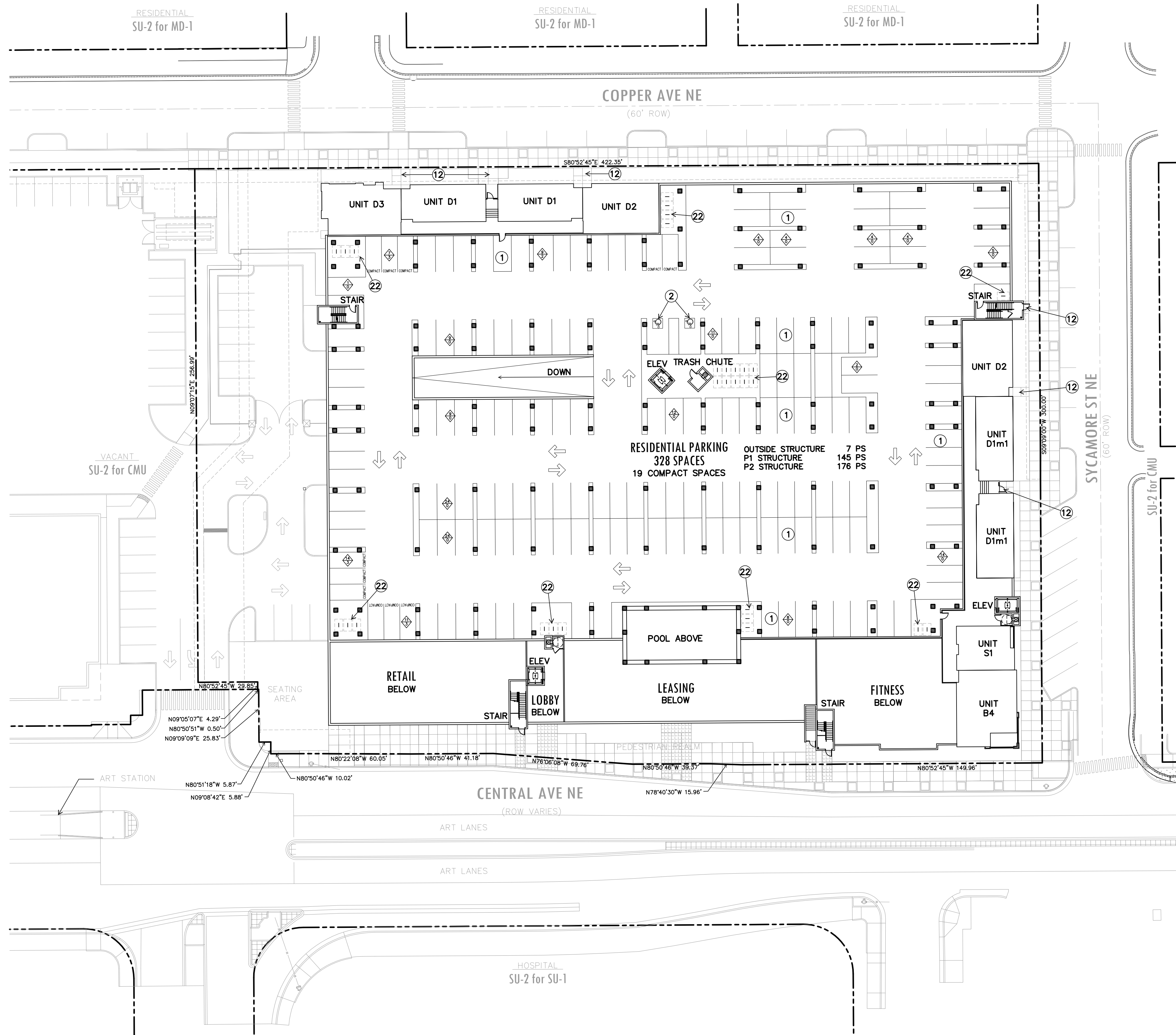
TITAN DEVELOPMENT  
ALLIANCE RESIDENTIAL COMPANY

DATE: NOVEMBER 15, 2017 ORB# 16-213

**A1.10**  
SITE PLAN FOR BUILDING PERMIT

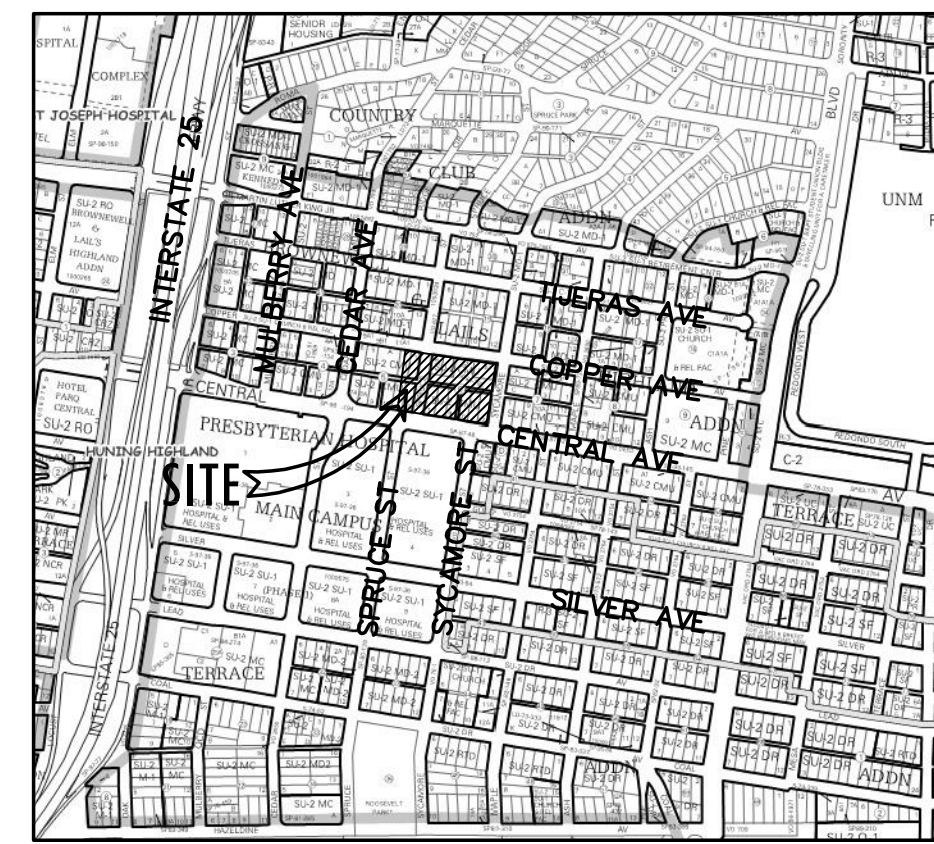
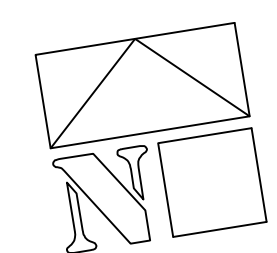


FILE: F:\04\ORB Job Files\16-213\_Titan\_Eastblock\CAD Files\Preliminary\16213 A111 Site Plan - P2.dwg USER: Ego DATE: Feb. 06 2018 TIME: 11:01 am



**P2 LEVEL GARAGE PLAN**

0' 15' 30' 60'  
SCALE: 1" = 30'-0"



**VICINITY MAP**  
NOT TO SCALE

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**BROADSTONE EAST-BLOCK**  
NEC EAST CENTRAL AVE AND SPRUCE ST NE  
ALBUQUERQUE, NEW MEXICO



WorldHQ@ORBArch.com



DATE: FEBRUARY 6, 2018 ORB # 16-213

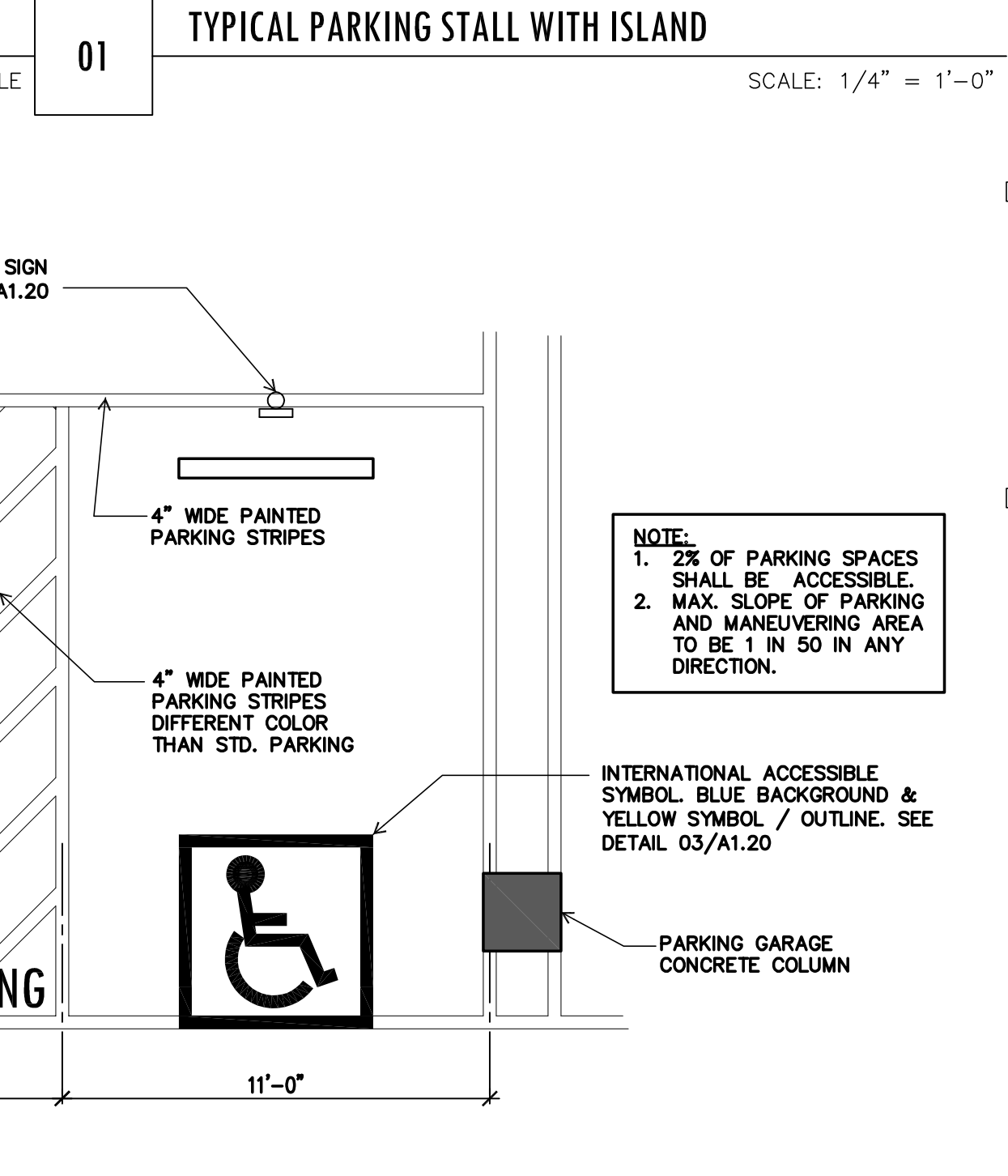
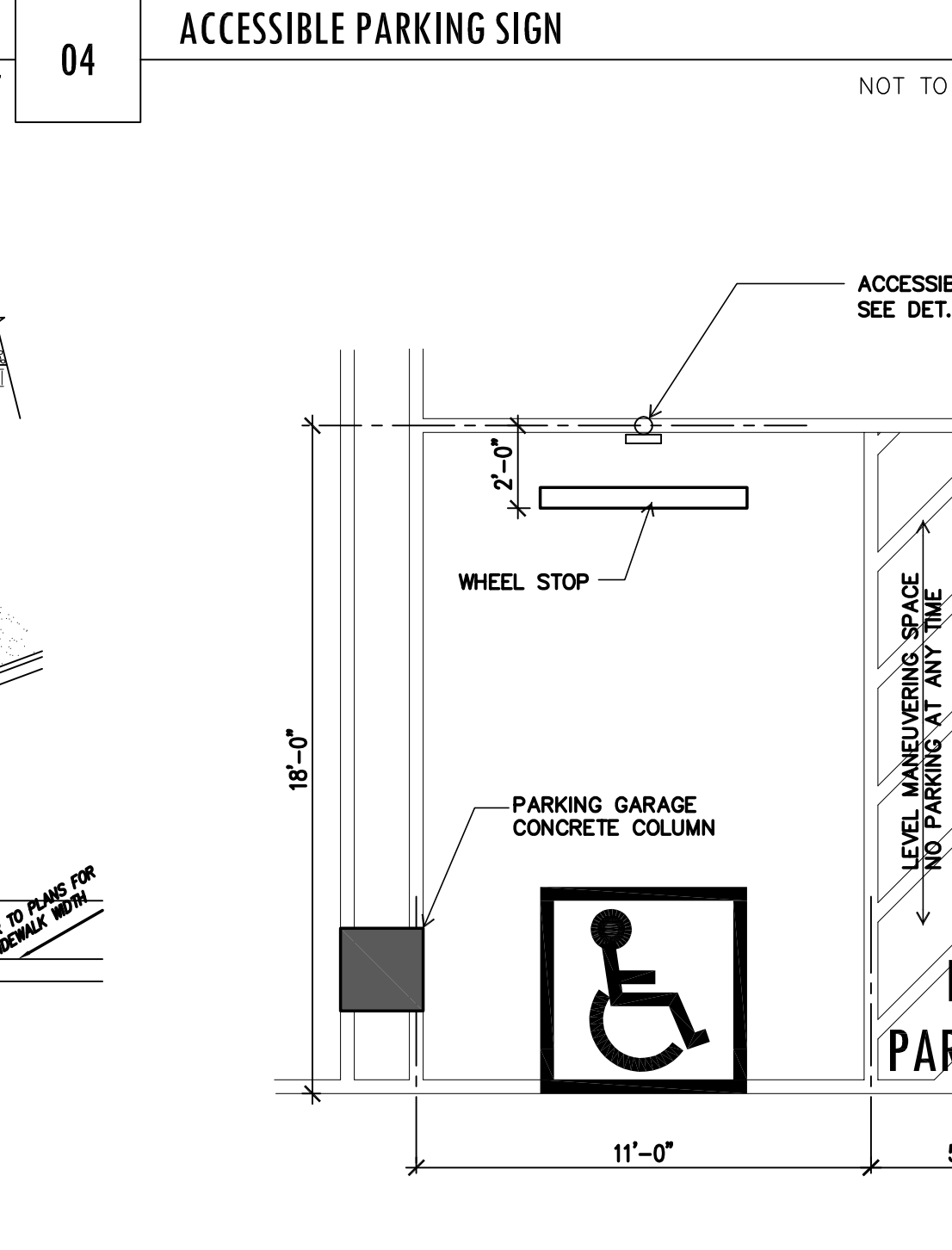
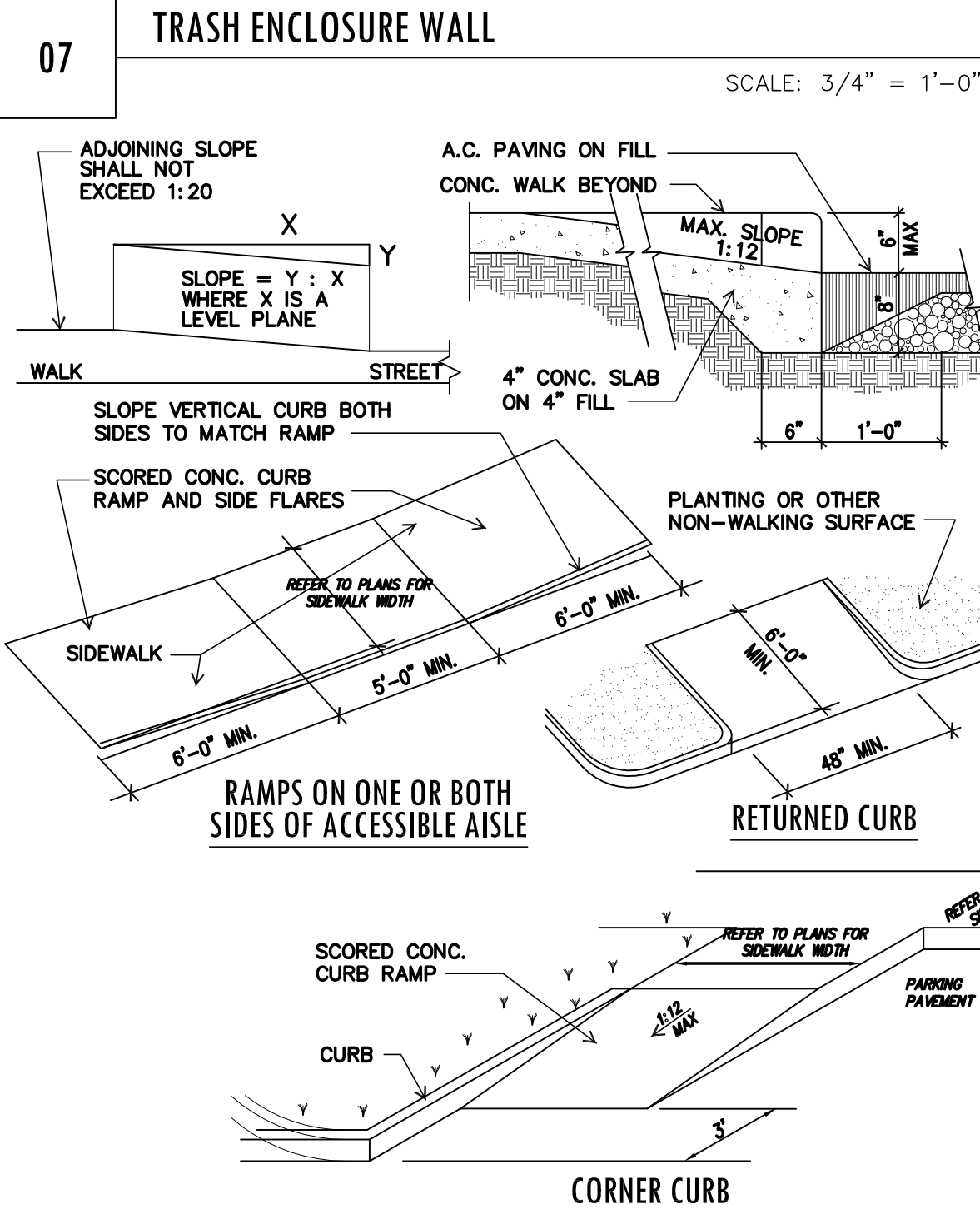
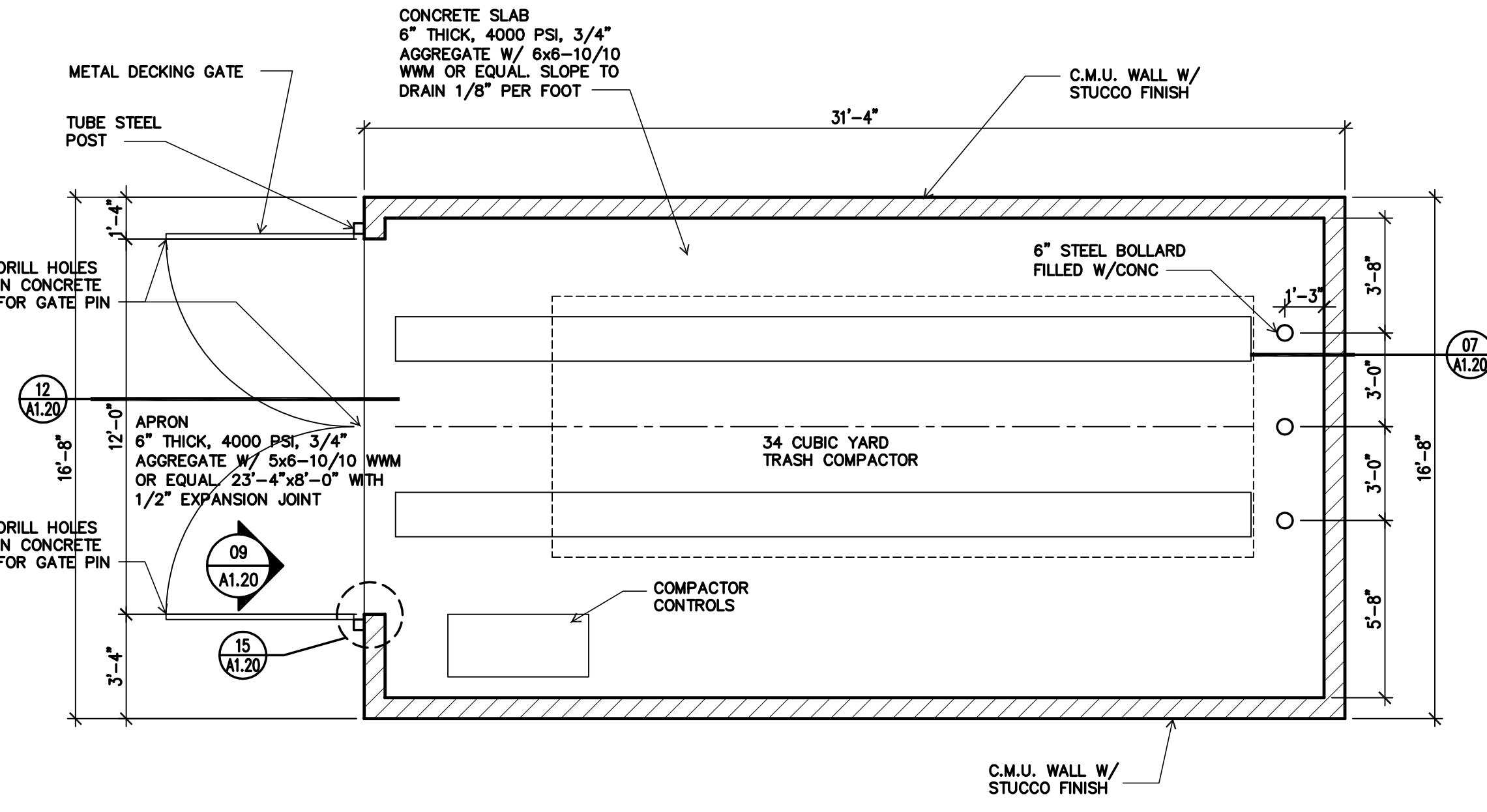
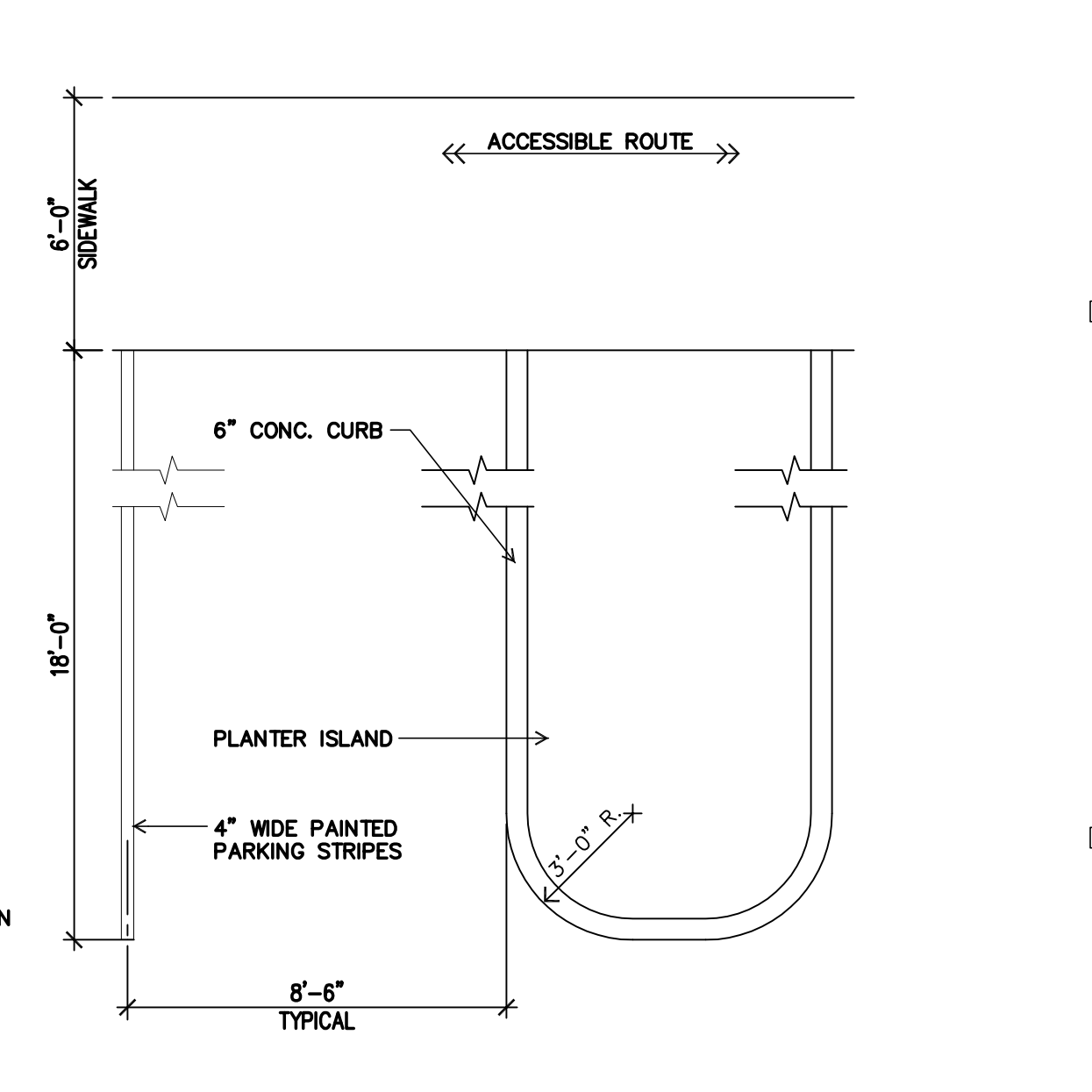
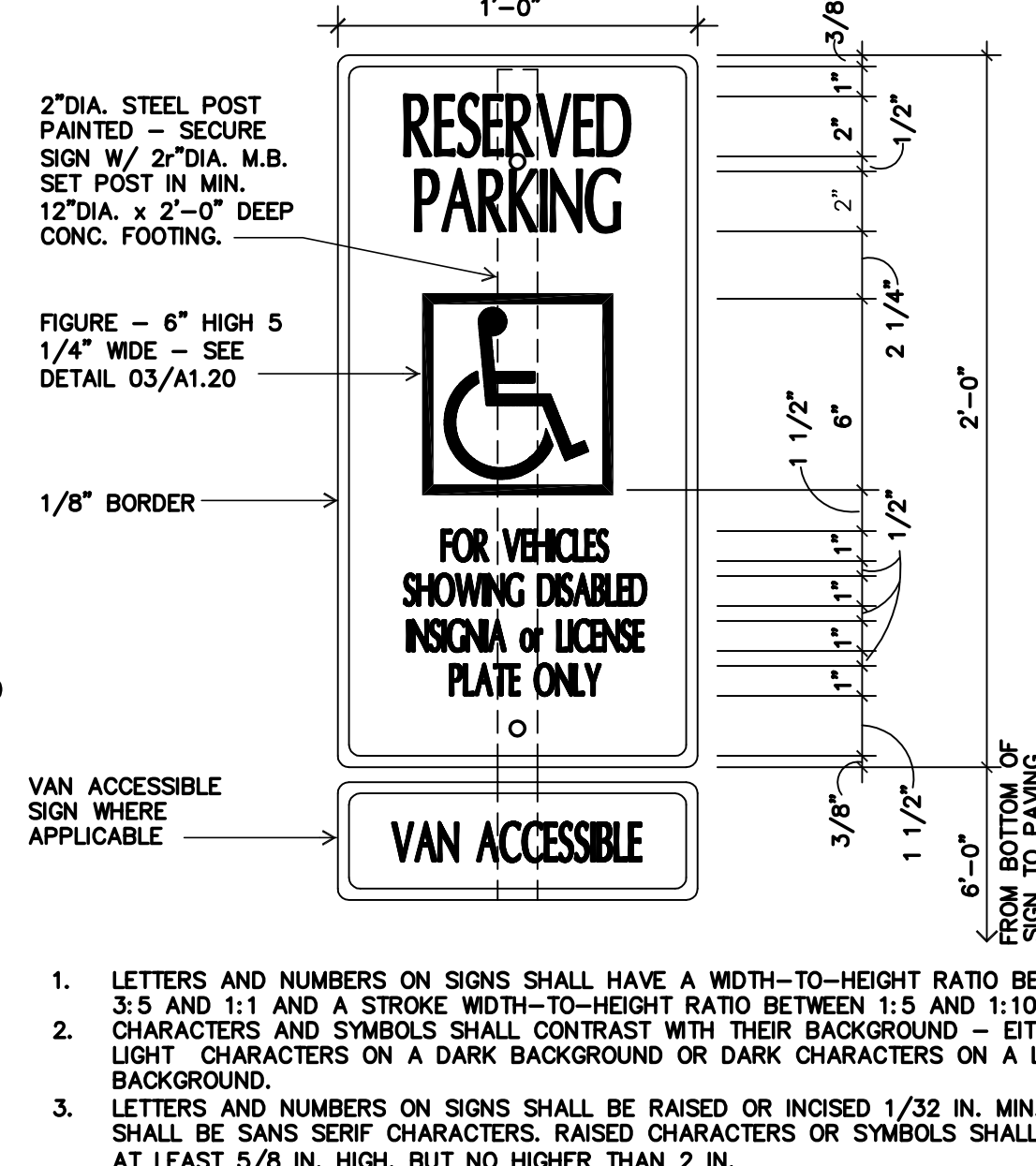
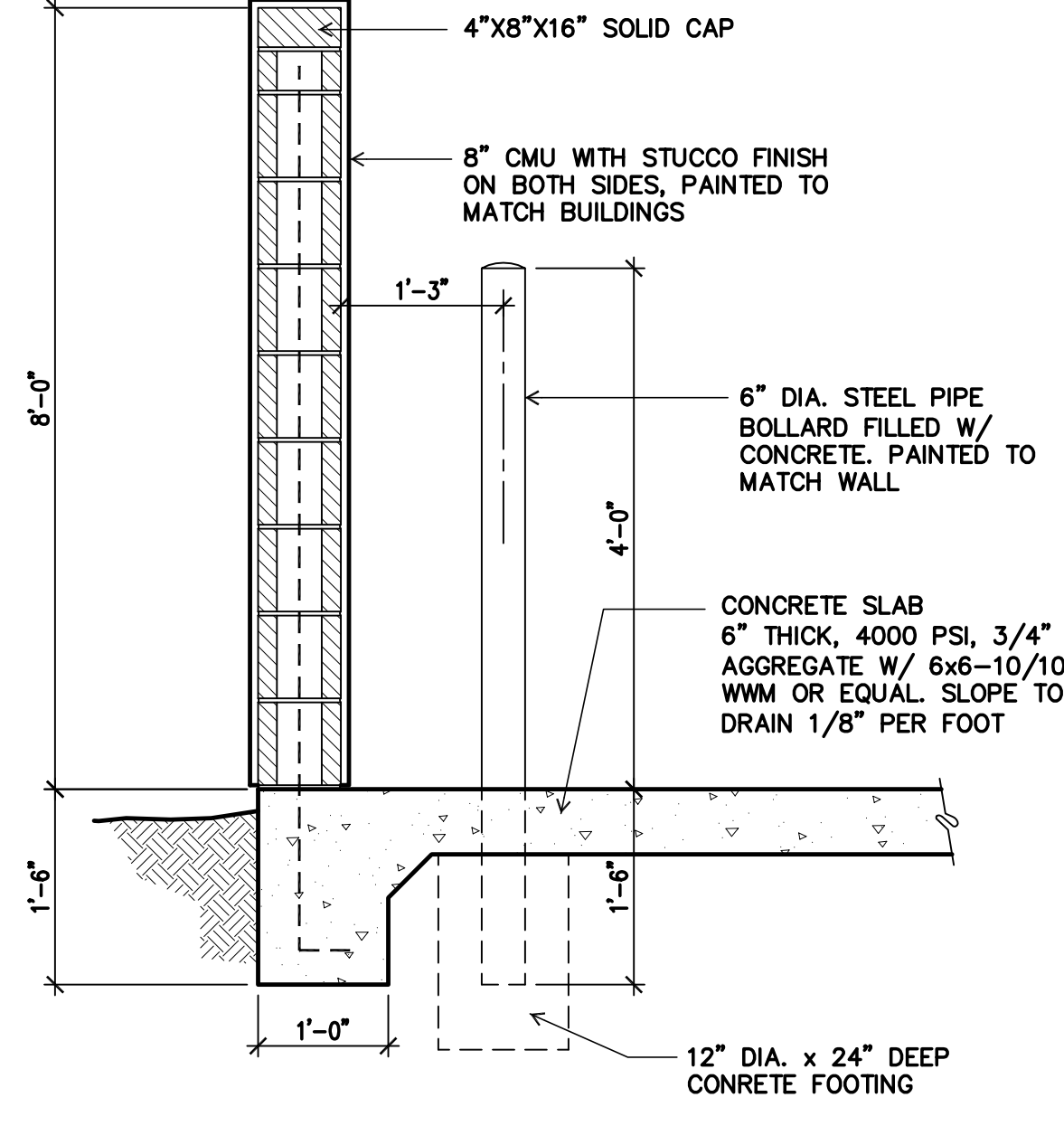
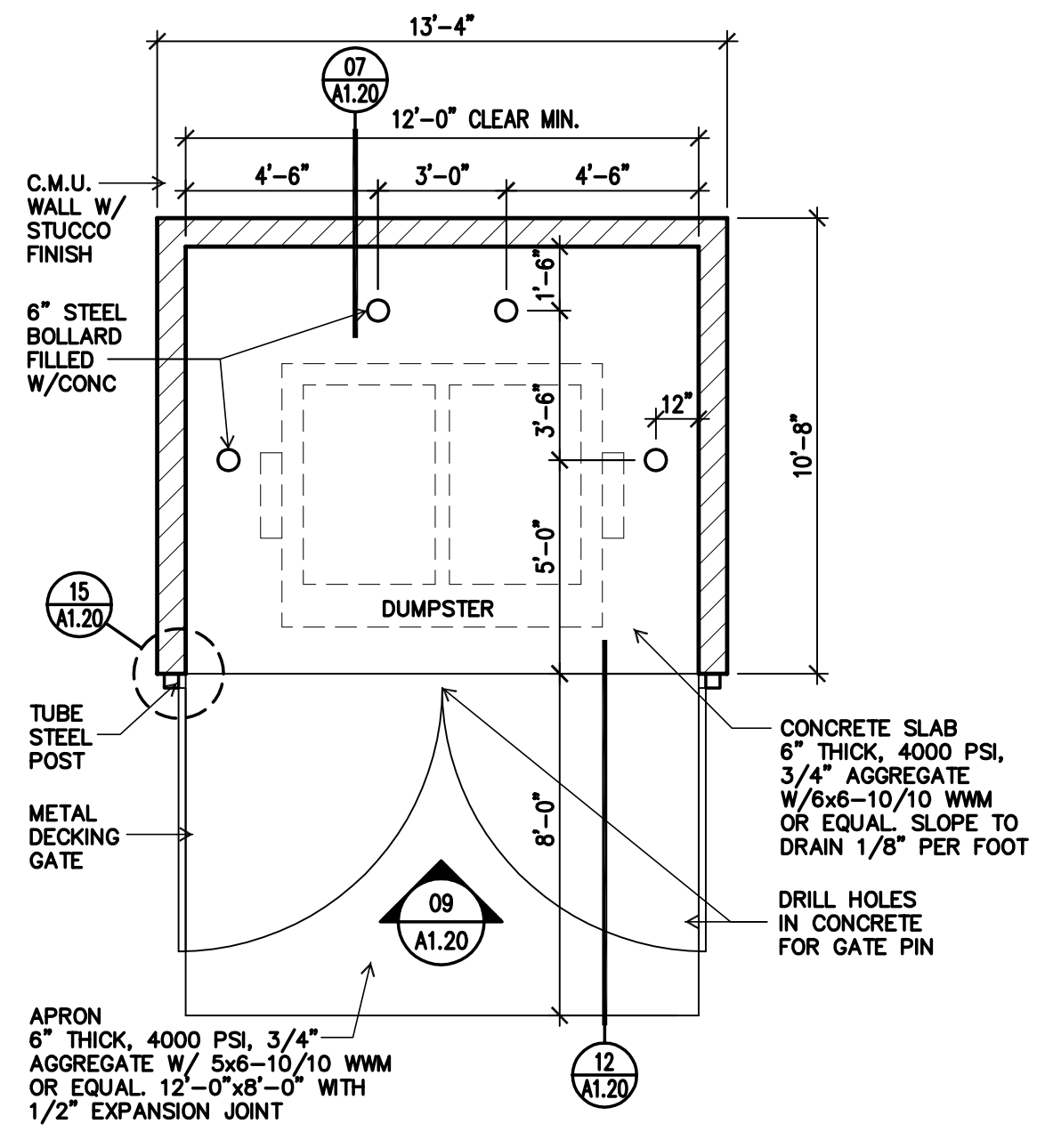
**A1.11**

P2 LEVEL GARAGE PLAN  
FOR BUILDING PERMIT





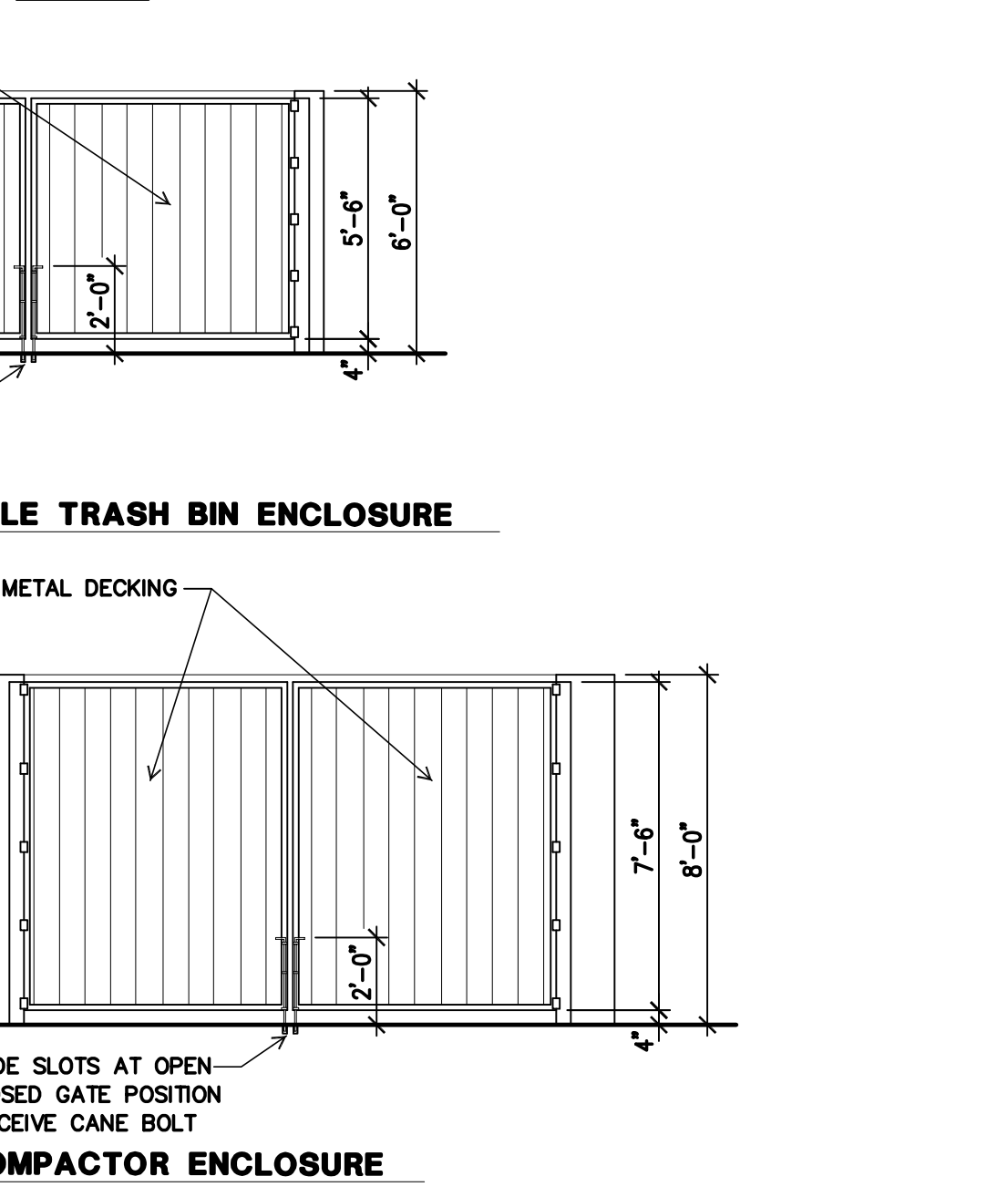
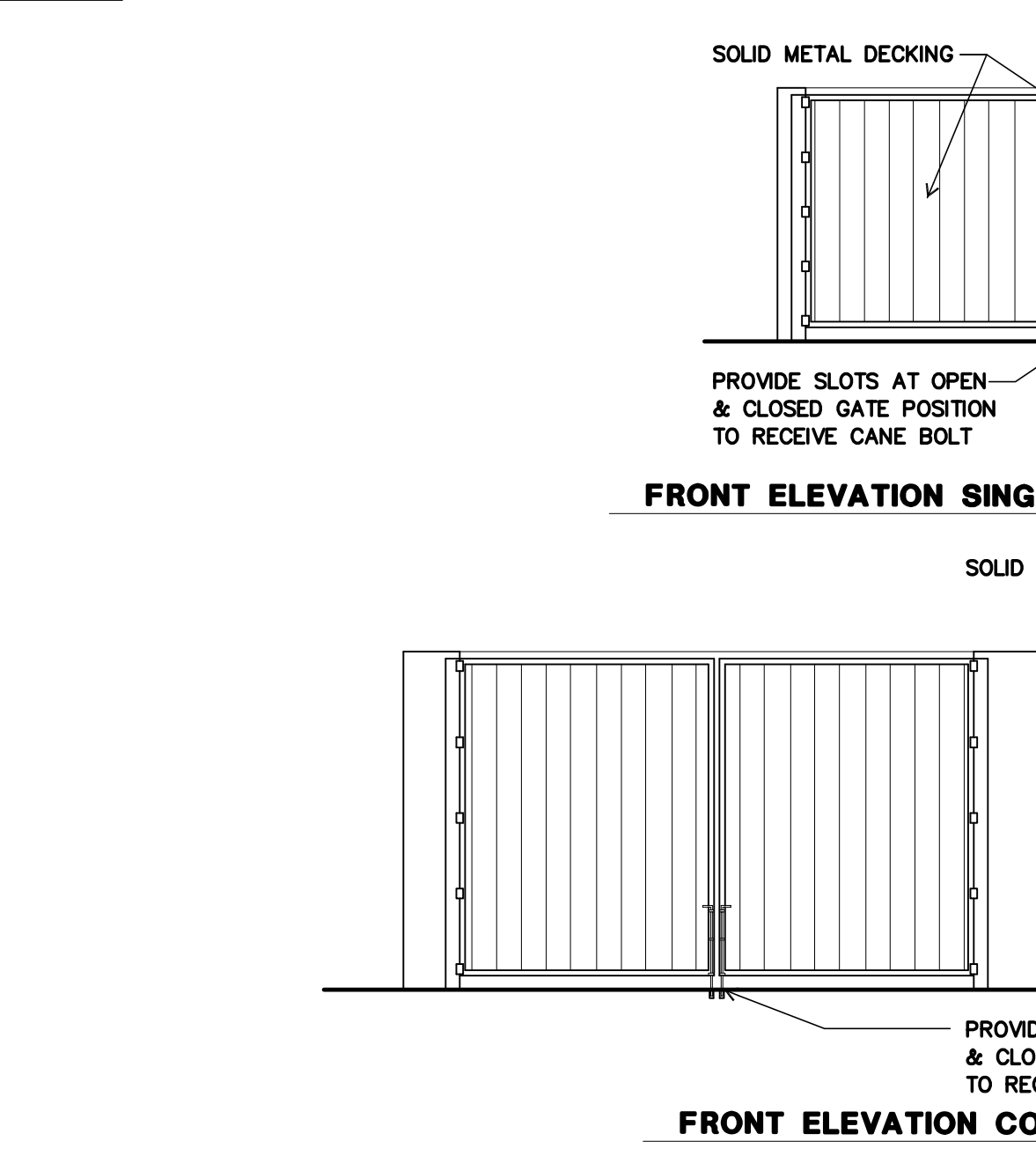
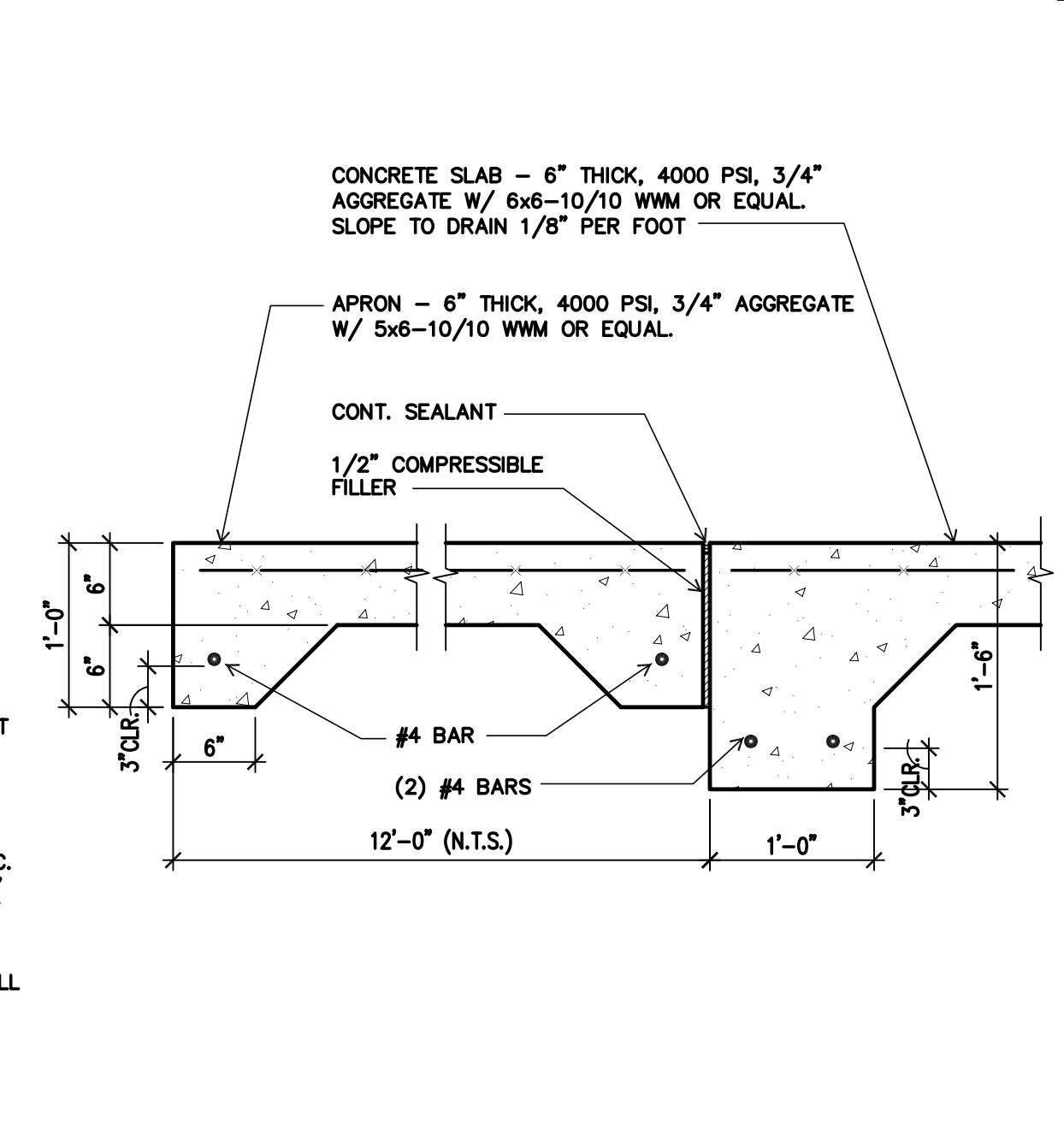
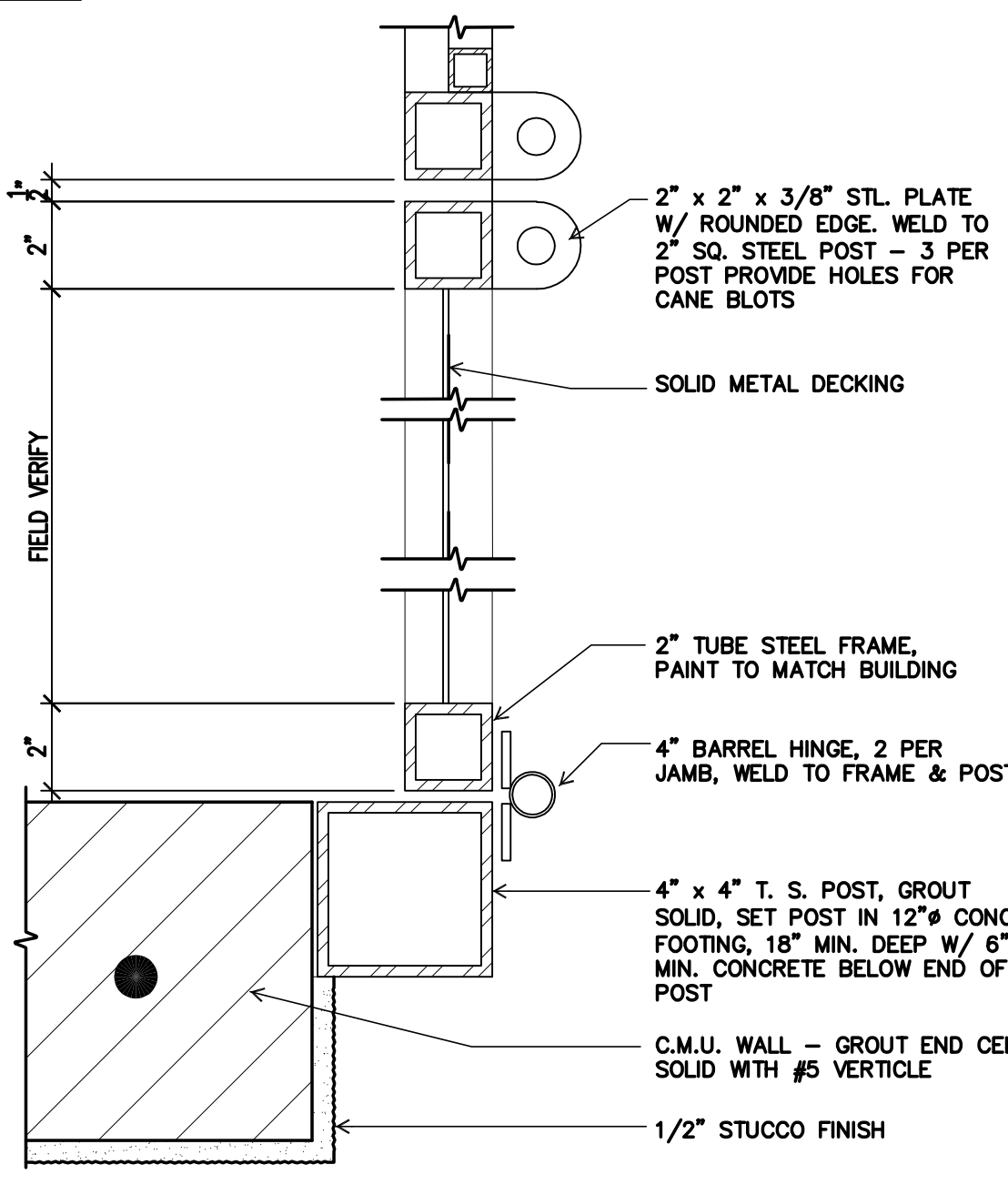
NOTES:  
 1. REFER TO STRUCTURAL DETAILS AND PLANS FOR STRUCTURAL RELATED INFORMATION, TYPICAL. THESE DRAWINGS ARE ARCHITECTURAL ONLY.  
 2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.



**14** DOUBLE TRASH ENCLOSURE PLAN  
 SCALE: 1/4" = 1'-0"

**08** TYPICAL ACCESSIBLE RAMP  
 SCALE: 1/4" = 1'-0"

**05** TYPICAL ACCESSIBLE PARKING STALL  
 SCALE: 1/4" = 1'-0"



**15** TRASH ENCLOSURE GATE  
 SCALE: 3" = 1'-0"

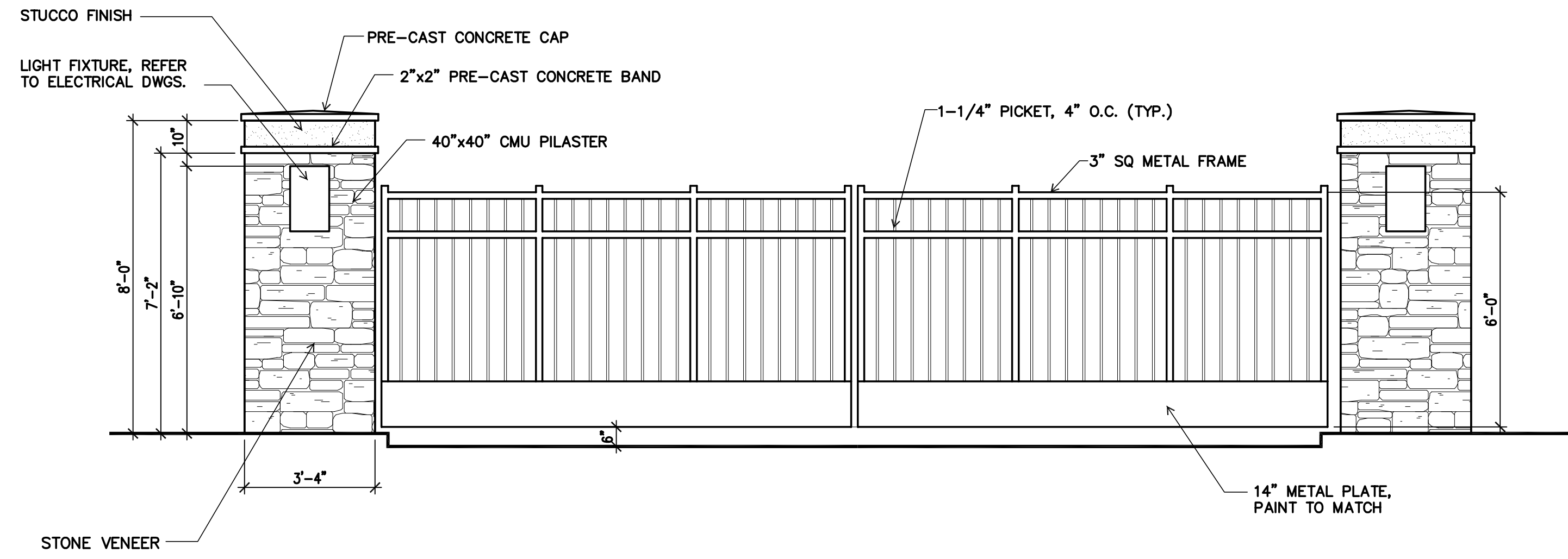
**12** REFUSE ENCLOSURE SLAB JOINT  
 SCALE: 1" = 1'-0"

**09** REFUSE ENCLOSURE ELEVATION  
 SCALE: 1" = 1'-0"

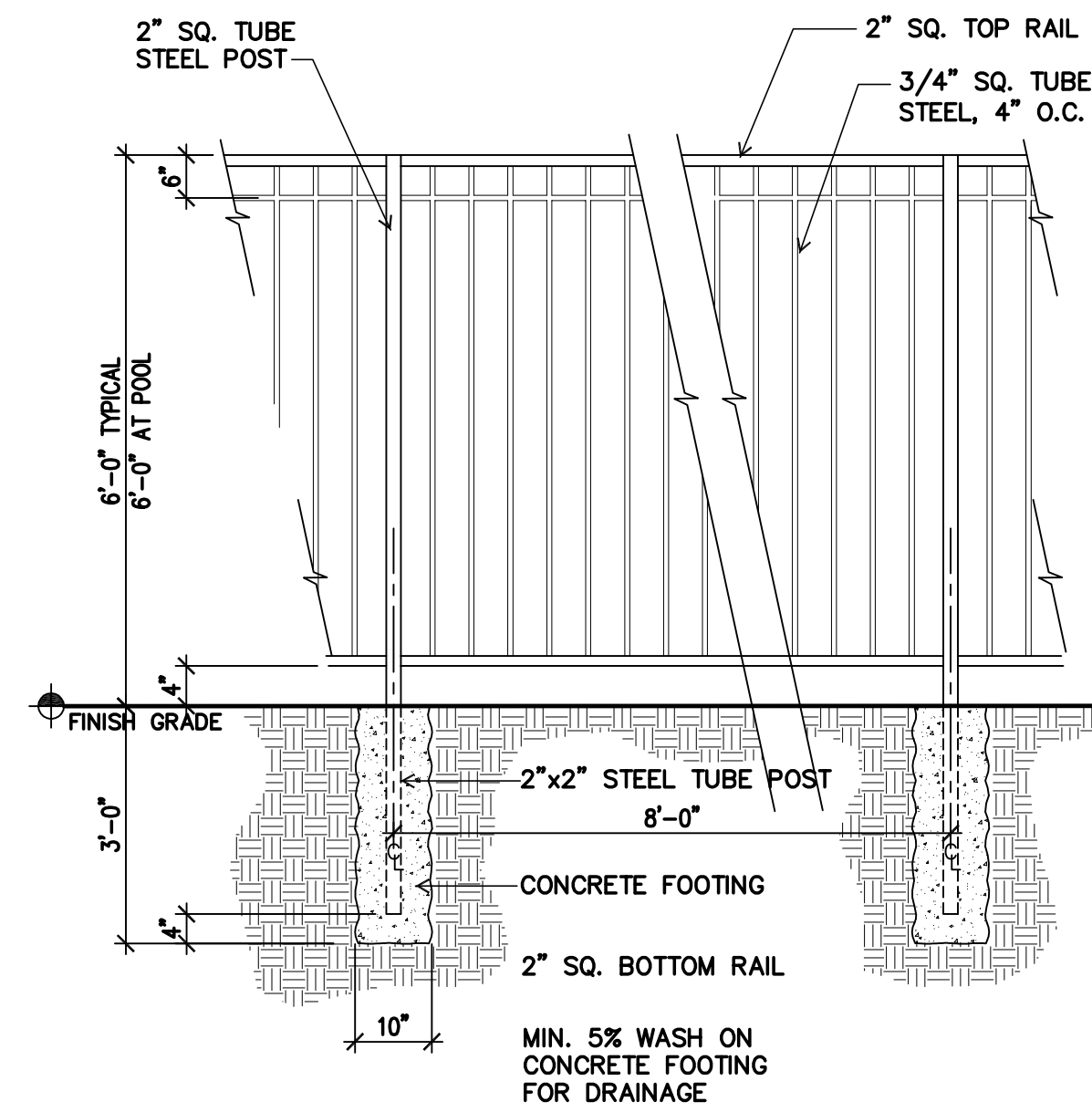
**03** INTERNATIONAL SYMBOL OF ACCESSIBILITY  
 SCALE: 1/4" = 1'-0"

FILE: I:\04\ORB Job Files\16-213\_Titan\_Eastblock\CAD Files\Preliminary\16213\_A120\_Site\_Details.dwg USER: jca DATE: Jan, 25 2017 TIME: 01:35 pm

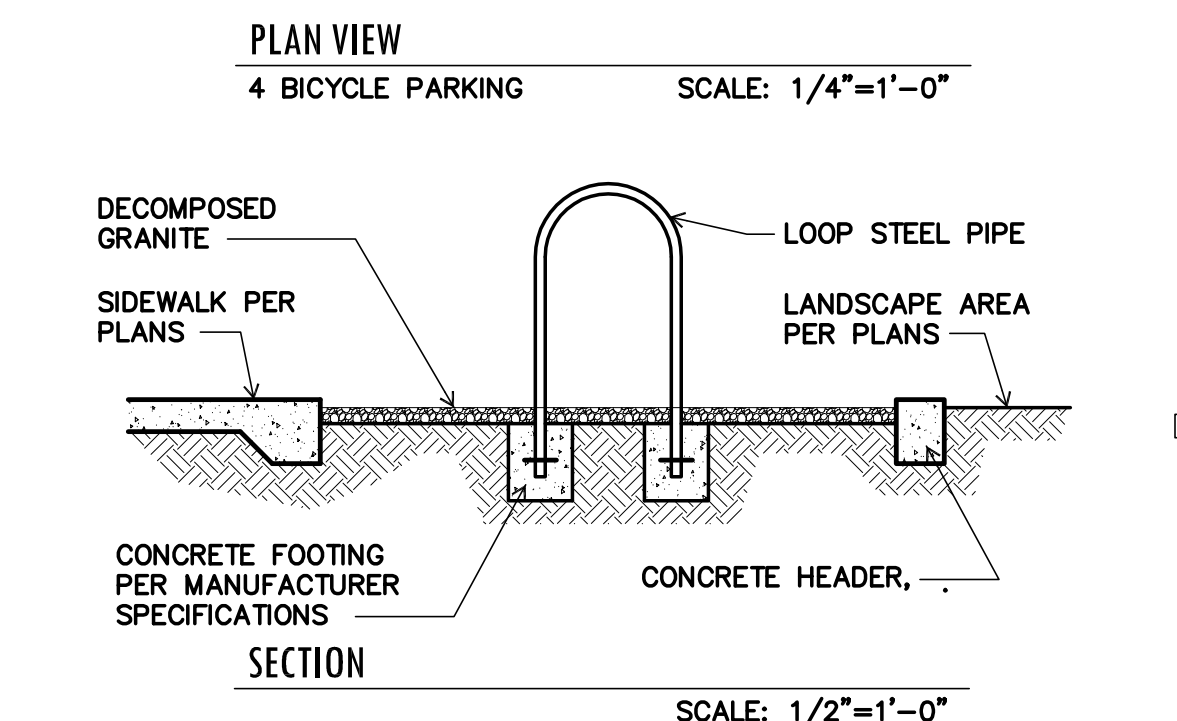
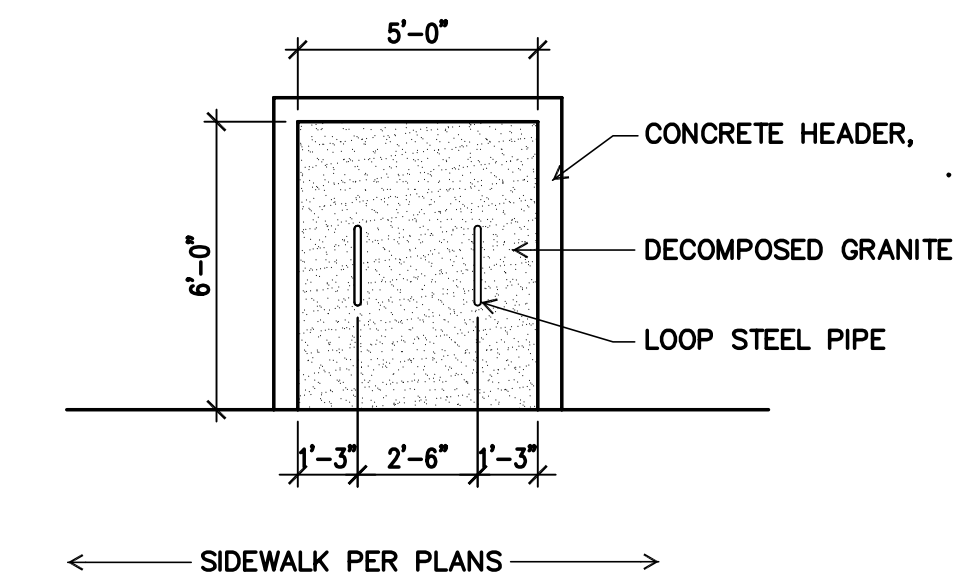




28 VEHICULAR ENTRY GATE



19 TUBULAR STEEL FENCE

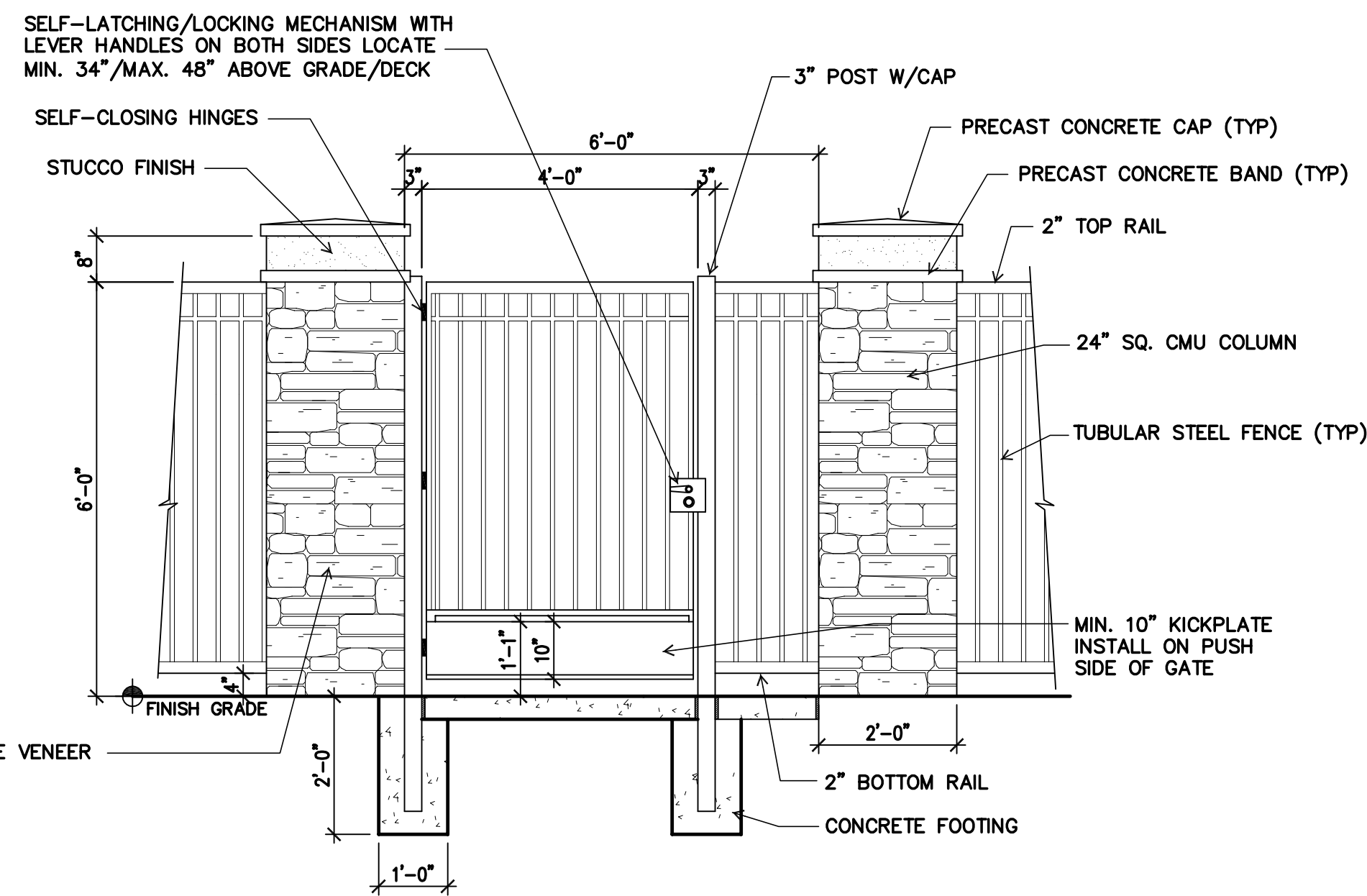


16 BICYCLE PARKING

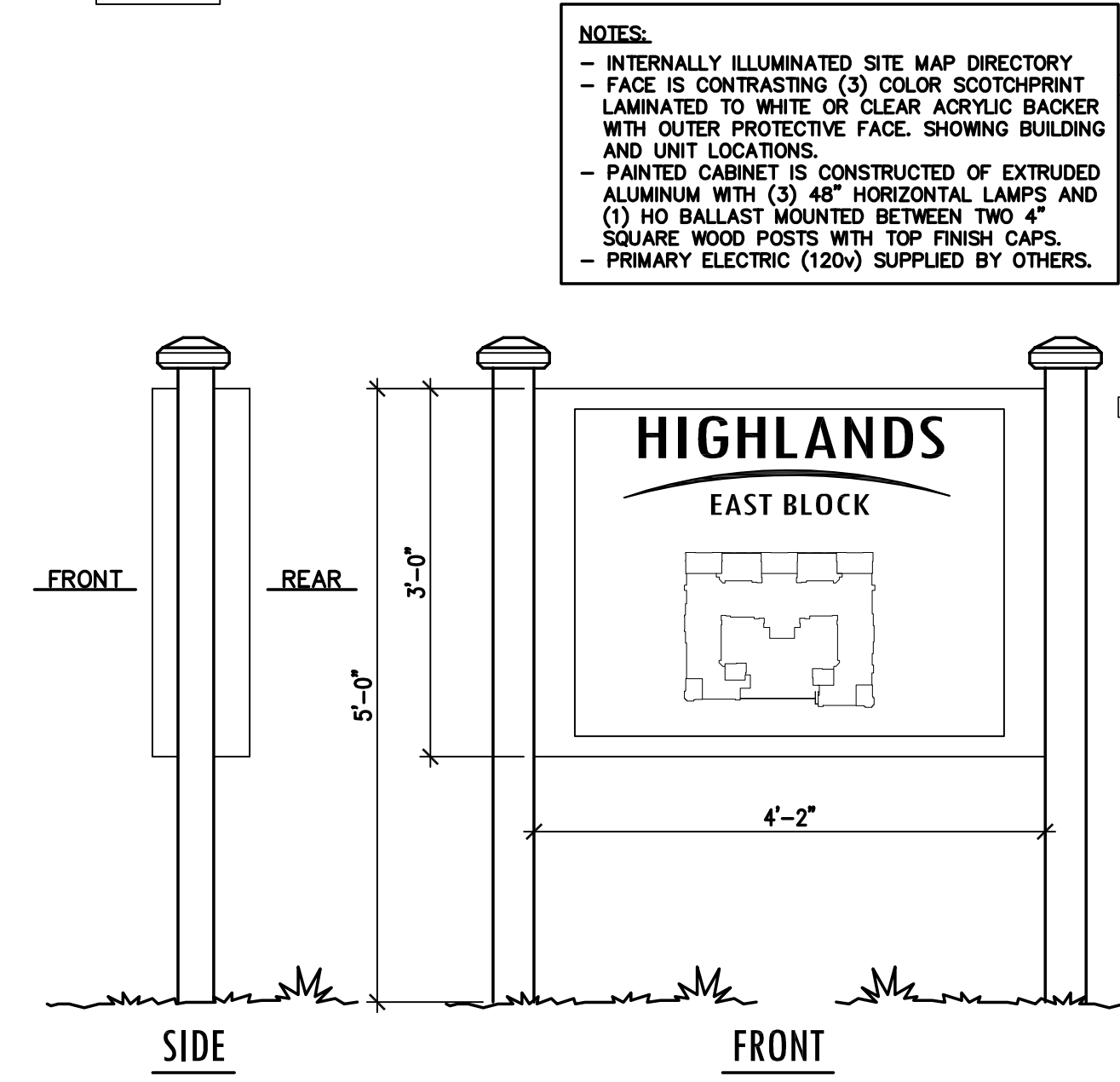
SCALE: 3/8" = 1'-0"

SCALE: 1/2" = 1'-0"

SCALE AS NOTED



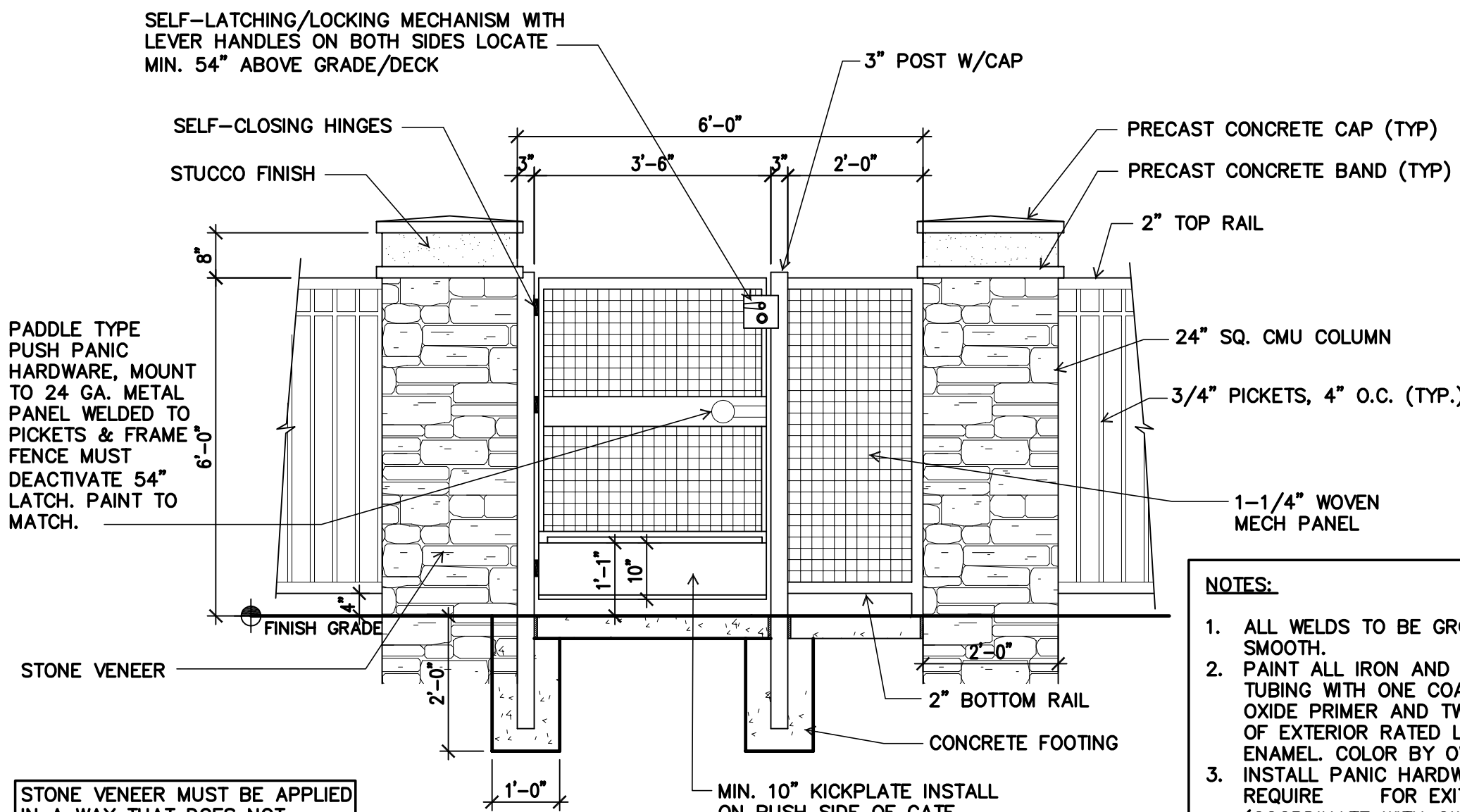
23 PEDESTRIAN ENTRY GATE



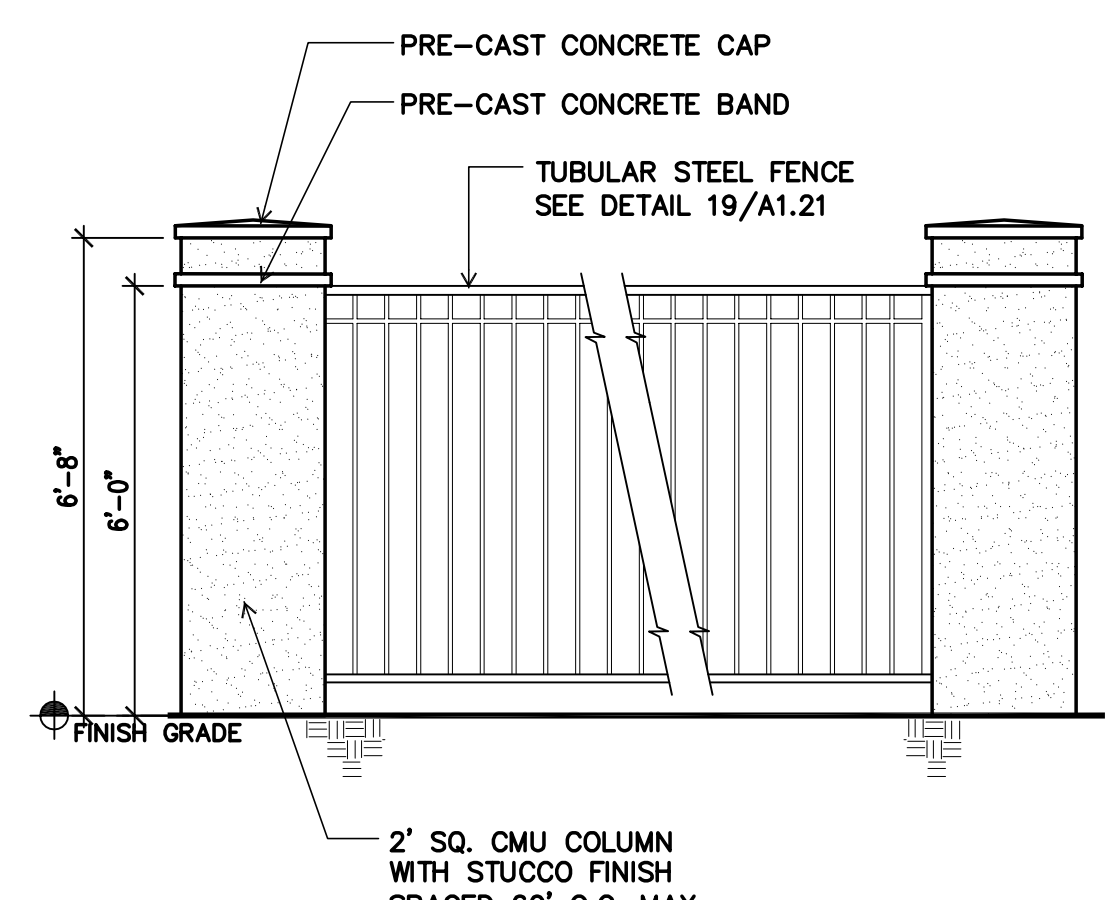
17 SITE DIRECTORY MAP

SCALE: 1/2" = 1'-0"

NOT TO SCALE



24 PEDESTRIAN ENTRY GATE AT POOL FENCE



18 PILASTER AT PERIMETER TUBULAR STEEL FENCE

SCALE: 1/2" = 1'-0"

SCALE: 3/8" = 1'-0"

**BROADSTONE EAST-BLOCK**  
NEC EAST CENTRAL AVE AND SPRUCE ST NE  
ALBUQUERQUE, NEW MEXICO

Office of Rich Barber  
**ORB** Architecture, LLC

WorldHQ@ORBArch.com



**TITAN** DEVELOPMENT

**ALLIANCE** RESIDENTIAL COMPANY

NOTES:  
1. REFER TO STRUCTURAL DETAILS AND PLANS FOR STRUCTURAL RELATED INFORMATION, TYPICAL. THESE DRAWINGS ARE ARCHITECTURAL ONLY.  
2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.

NOTES:  
1. ALL WELDS TO BE GROUND SMOOTH.  
2. PAINT ALL IRON AND STEEL TUBING WITH ONE COAT RED OXIDE PRIMER AND TWO COATS OF EXTERIOR RATED LATEX ENAMEL. COLOR BY OWNER.  
3. INSTALL PANIC HARDWARE AS REQUIRE FOR EXITING. (COORDINATE WITH OWNER PRIOR TO CONSTRUCTION).  
4. POOL FENCING AND GATES SHALL MEET ALL LOCAL JURISDICTIONAL REQUIREMENTS.

STONE VENEER MUST BE APPLIED IN A WAY THAT DOES NOT PROVIDE A TOE HOLD TO AID CLIMBING THE POOL BARRIER.

DATE: JANUARY 25, 2017 ORB # 16-213

**A1.21**

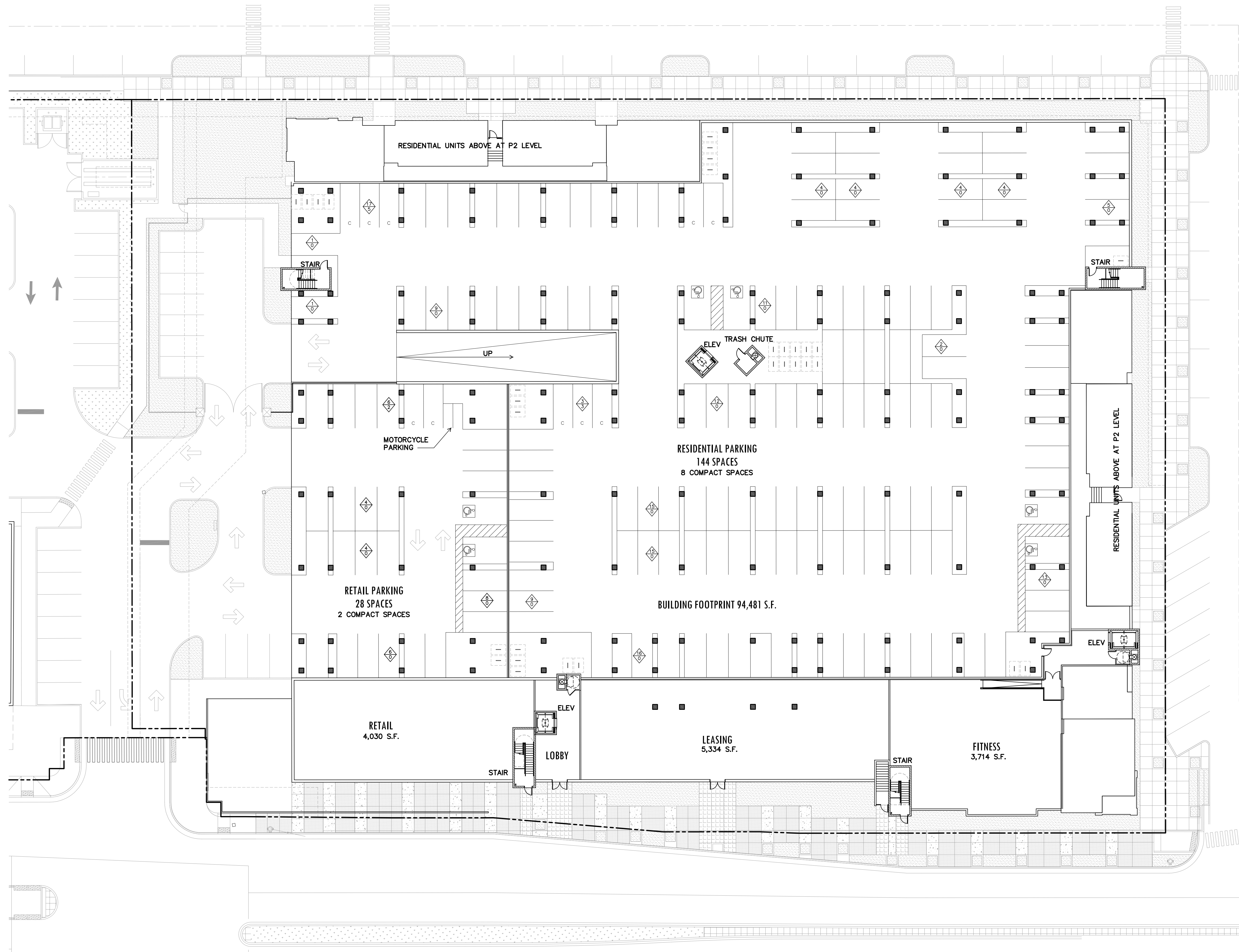
SITE DETAILS  
16 - 30

SHEET 3 OF 13

FILE: F:\06\ORB Job Files\16-213\_Titan\_Eastblock\CAD Files\Preliminary\A1.21\_Site\_Details.dwg USER: jao DATE: Jan\_25\_2017 TIME: 10:58 am

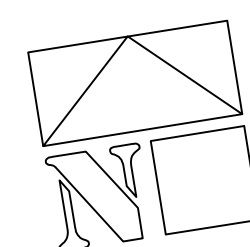


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**BUILDING FLOOR PLAN - LEVEL P1**

0' 10' 20' 40'  
SCALE: 1" = 20'-0"



**BROADSTONE  
EAST-BLOCK**

NEC EAST CENTRAL AVE AND SPRUCE ST NE  
ALBUQUERQUE, NEW MEXICO



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DATE: JANUARY 25, 2017 ORB # 16-213

**A3.10**

BUILDING FLOOR PLAN  
LEVEL P1

SHEET 4 OF 13



# BROADSTONE EAST-BLOCK

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ALBUQUERQUE, NEW MEXICO



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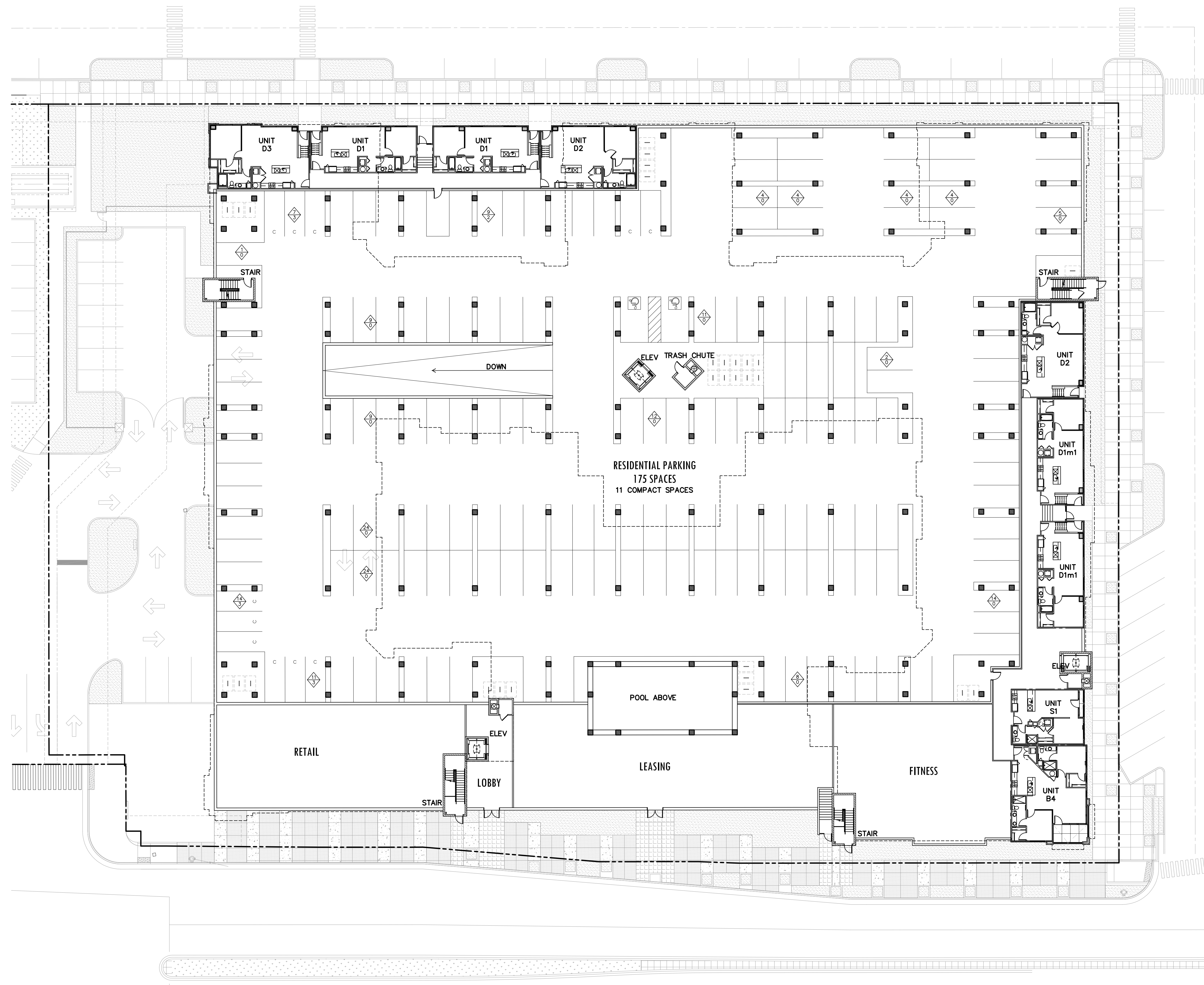


DATE: JANUARY 25, 2017 ORB # 16-213

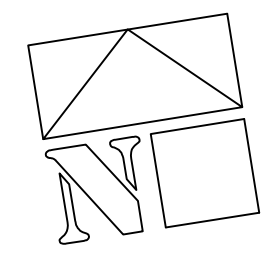
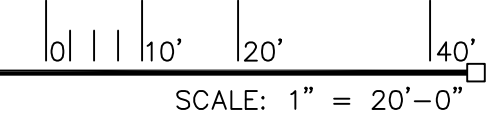
# A3.11

BUILDING FLOOR PLAN  
LEVEL P2

SHEET 5 OF 13



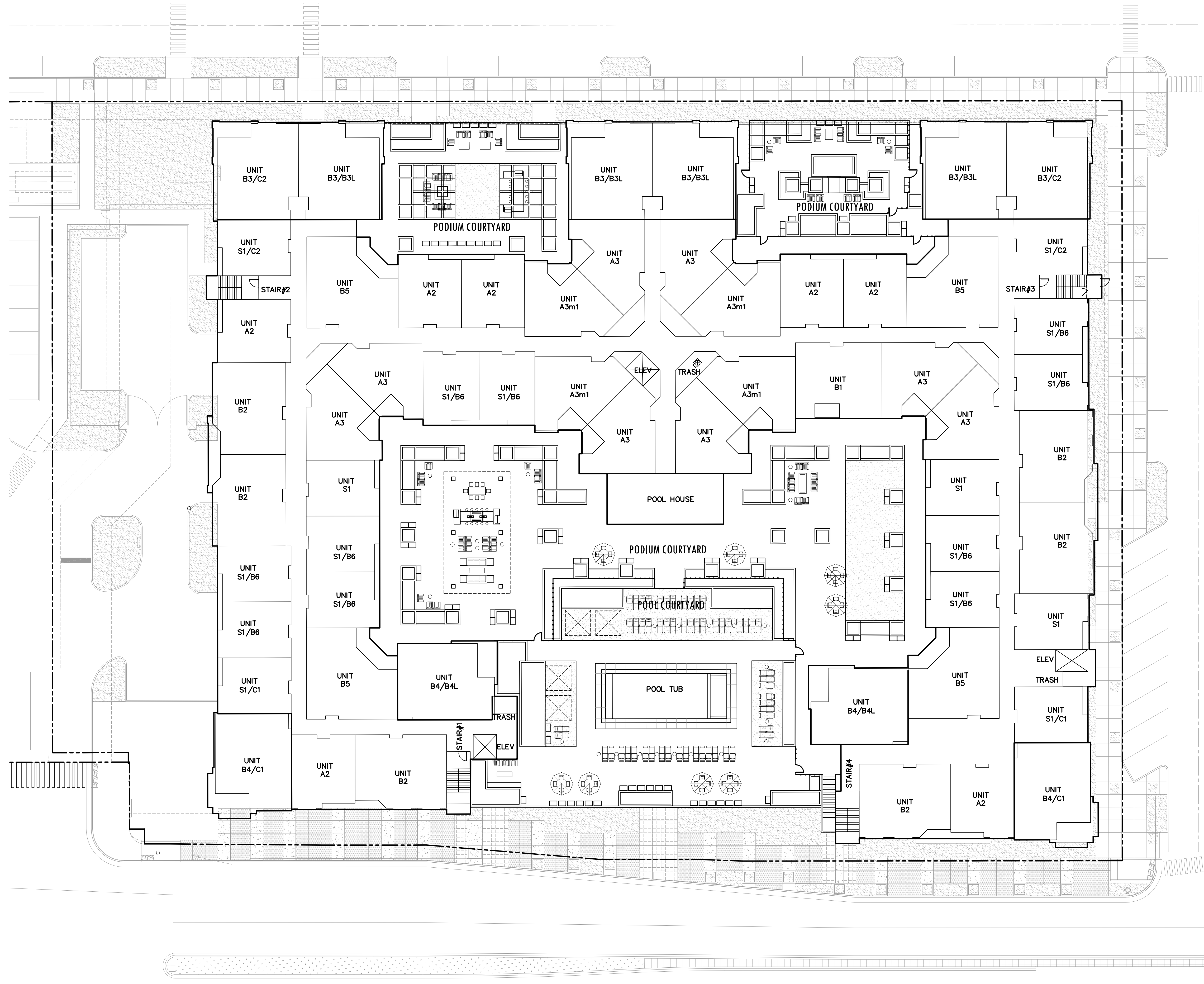
**BUILDING FLOOR PLAN - LEVEL P2**



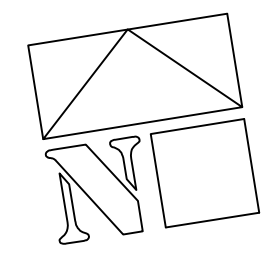
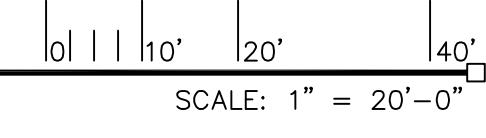
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**BUILDING FLOOR PLAN - LEVEL L1**

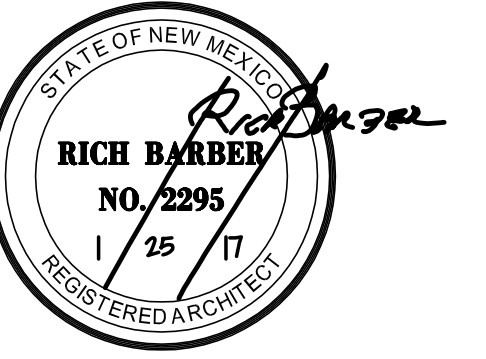


# BROADSTONE EAST-BLOCK

NEC EAST CENTRAL AVE AND SPRUCE ST NE  
ALBUQUERQUE, NEW MEXICO



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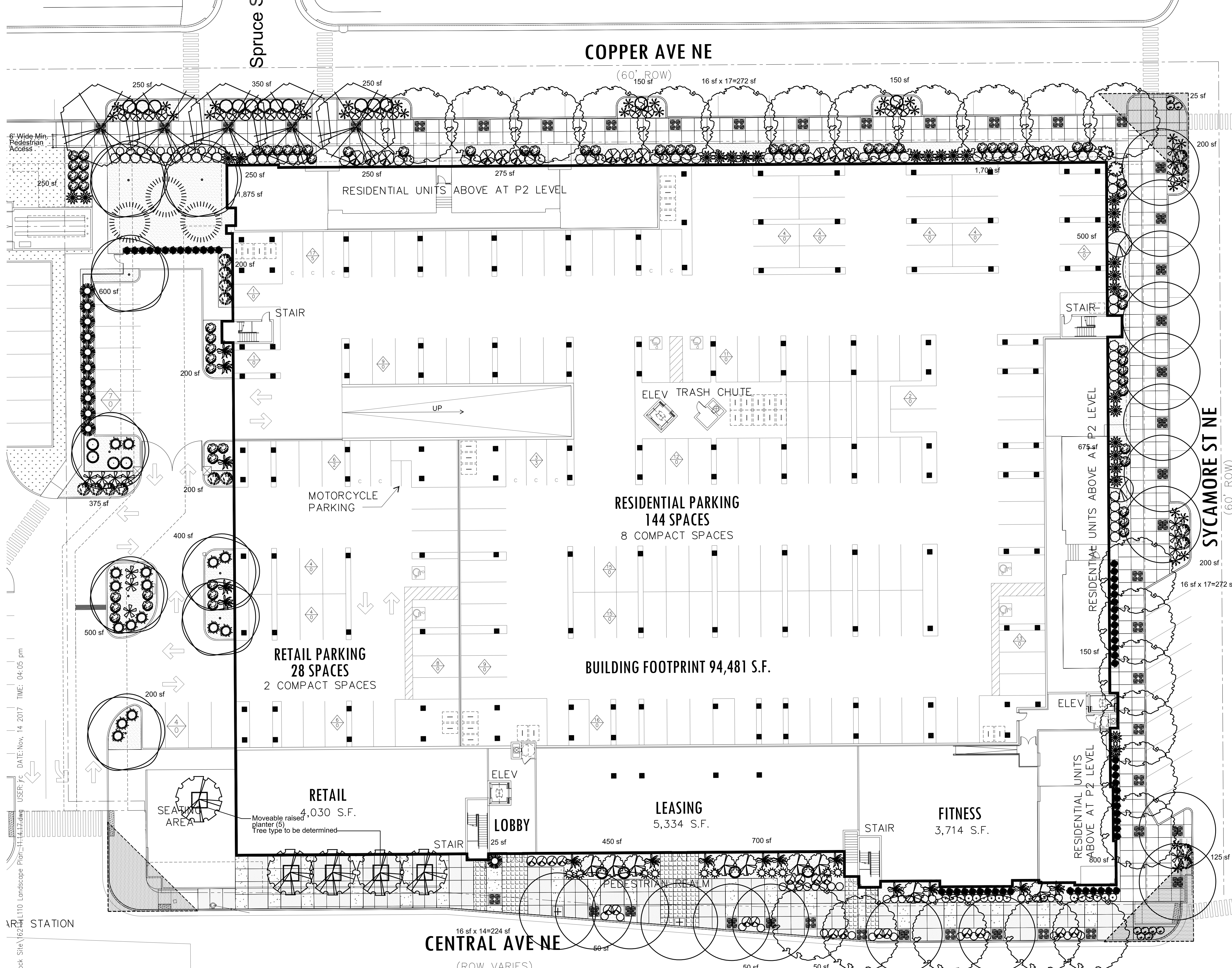


DATE: JANUARY 25, 2017 ORB # 16-213

## A3.21

BUILDING FLOOR PLAN  
LEVEL L1





**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
8	○	Gleditsia triacanthos inermis Honeylocust	2" B&B	80'/80'	50 sf=400 sf	Medium	6-2 gph
23	○	Fraxinus Raywood Ash	2" B&B	50'/30'	50 sf=1150 sf	Medium	+6-2 gph
18	○	Platanus Sycamore	2" B&B	50'/40'	50 sf=900 sf	Medium	6-2 gph
5	○	Quercus buckleyi Texas Red Oak	2" B&B	40'/35'	50 sf=250 sf	Medium	6-2 gph
2	○	Juniperus Skyrocket Juniper	15-Gal	20'/5'	50 sf=100 sf	Medium	6-2 gph
2	○	Acer Japanese Maple	15-Gal	10'/5'	50 sf=100 sf	Medium+	6-2 gph
3	○	Pinus nigra Austrian Pine	6' HT.	30'/20'	50 sf=150 sf	Medium	6-2 gph
<b>Shrubs/Groundcovers</b>							
16	○	Caryopteris clandonensis Blue Mist	1-Gal	3'/4'	25 sf=400 sf	Medium	2-2 gph
14	○	Rhus aromatica Gro Low Sumac	5-Gal	2'/6'	36 sf=504 sf	Low +	2-2 gph
19	○	Ericameria lanicifolia 'Aguirre' Turpentine Bush	5-Gal	3'/4'	25 sf=475 sf	Low	2-1 gph
64	○	Ilex Dwarf Burford Holly	5-Gal	4'/4'	16 sf=1024 sf	Medium+	2-1 gph
15	○	Salvia greggii Cherry Sage	1-Gal	3'/3'	15 sf=225 sf	Medium	2-1 gph
14	○	Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	30 sf=420 sf	Low	2-2 gph
16	○	Juniperus sabina 'Buffalo' Buffalo Juniper (female)	5-Gal	2'/6'	36 sf=576 sf	Low +	2-2 gph
33	○	Lavandula Lavender	1-Gal	3'/3'	12 sf=396 sf	Medium	2-2 gph
70	○	Potentilla fruticosa Shrubby Cinquefoil	5-Gal	3'/3'	10 sf=700 sf	Medium+	2-2 gph
15	○	Rosmarinus officinalis Rosemary	5-Gal	6'/6'	36 sf=540 sf	Low +	2-2 gph
11	○	Rosa Knockout Rose	5-Gal	3'/3'	15 sf=165 sf	Medium+	2-2 gph
9	○	Lagerstroemia Crape Myrtle	5-Gal	15'/10'	100 sf=900 sf	Medium+	2-2 gph
9	○	Nepeta Catmint	1-Gal	1'/3'	9 sf=81 sf	Medium	2-2 gph
13	○	Spirea Dwarf Red Spirea	5-Gal	3'/3'	20 sf=260 sf	Medium+	2-2 gph
20	○	Rhaphiolepis India Hawthorn	5-Gal	3'/3'	15 sf=300 sf	Medium	2-2 gph
15	○	Viburnum Burkwood Viburnum	5-Gal	6'/6'	36 sf=540 sf	Medium+	2-2 gph
8	○	Pinus mugo Mugho Pine	5-Gal	4'/4'	30 sf=240 sf	Medium	2-2 gph
28	○	Nandina Heavenly Bamboo	5-Gal	3'/3'	20 sf=560 sf	Medium+	2-2 gph
<b>Grasses</b>							
30	○	Muhlenbergia Deer Grass	1-Gal	4'/4'	20 sf=600 sf	Low+	2-2 gph
180	○	Pennisetum Hamlin Fountain Grass	1-Gal	3'/3'	9 sf=1620 sf	Medium	2-2 gph
11	○	Panicum Switch Grass	1-Gal	8'/6'	36 sf=396 sf	Medium	2-2 gph
55	○	Calamagrostis Karl Foerster Grass	5-Gal	3'/2'	10 sf=550 sf	Medium	2-2 gph
							Total Landscape Coverage=14,522 SF

**MATERIALS LEGEND**

	BROWN CRUSHER FINES		SMOOTH GRAY CONCRETE
	PAVERS		CONCRETE COLOR 1
			CONCRETE COLOR 2

**SITE DATA**

GROSS LOT AREA	124,178 SF
LESS BUILDING(S)	94,240 SF
NET LOT AREA	29,938 SF
REQUIRED LANDSCAPE	2,994 SF
10% OF NET LOT AREA	2,994 SF
PROPOSED STREET LEVEL LANDSCAPE	10,575 SF
PROPOSED STREET R.O.W. LANDSCAPE	2,548 SF
PROPOSED PODIUM LEVEL LANDSCAPE	4,565 SF
TOTAL PROPOSED LANDSCAPE	17,688 SF
PERCENT OF NET LOT AREA	59 %
REQUIRED USABLE OPEN SPACE	49,205 SF
PROPOSED USABLE OPEN SPACE	49,205 SF
REQUIRED USABLE OPEN SPACE LANDSCAPE	7,381 SF
15% OF USABLE OPEN SPACE	7,381 SF
PROPOSED USABLE OPEN SPACE LAND	16,833 SF
PERCENT OF NET LOT AREA	34.2 %
HIGH WATER USE TURF	0 SF
MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %

**IRRIGATION NOTE**

DRIP SYSTEM RUN CYCLES:  
 ESTABLISHMENT AND SUMMER:  
 1 HOUR/4 DAYS A WEEK  
 SPRING:  
 1 HOUR/2-3 DAYS A WEEK  
 FALL:  
 1 HOUR/2-3 DAYS A WEEK  
 WINTER:  
 1 HOUR/2 DAYS PER MONTH

REQUIRED STREET TREES	1 PER 25 L.F. OF STREET FRONTAGE	41
PROVIDED STREET TREES		41
REQUIRED PARKING LOT TREES	1 PER 8 SPACES	2
PROVIDED PARKING LOT TREES	11 SPACES/8	2
REQUIRED DWELLING UNIT TREES	ONE PER FIRST FLOOR UNITS	9
PROVIDED DWELLING UNIT TREES	ONE PER SECOND FLOOR UNITS	57
REQUIRED LANDSCAPE COVERAGE	75% LIVE VEGETATIVE MATERIAL	13,265 SF MIN.
PROVIDED GROUND COVER COVERAGE (street)	(17,688 SF PROPOSED LANDSCAPE X 75%)	14,522 SF
PROVIDED GROUND COVER COVERAGE (podium)		10,896 SF
PROVIDED GROUND COVER COVERAGE		25,418 SF
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS		143%

**NOTE**

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THAN 50' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10 AND 14-16-3-22(C)(10).

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH

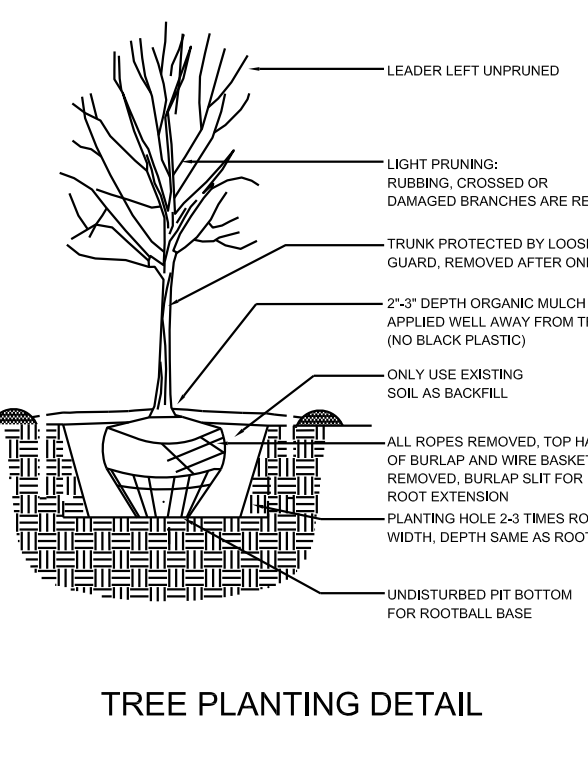
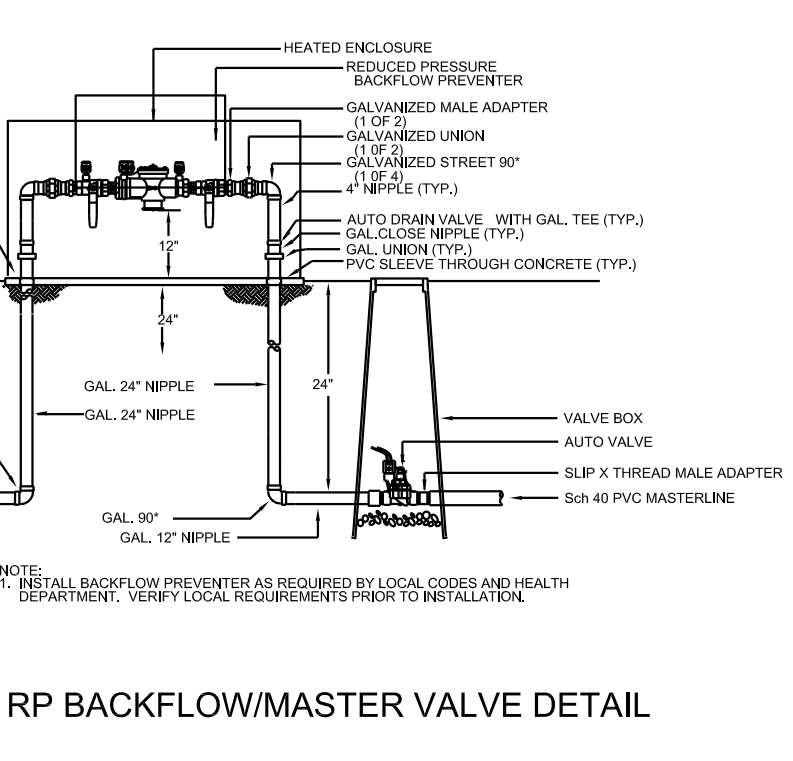
**PROPOSED ART LANES**

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

LANDSCAPE IN C.O.A. R.O.W. TO BE IRRIGATED WITH A BUBBLER SYSTEM PER C.O.A. STANDARDS AND DETAILS

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES



**PRELIMINARY LANDSCAPE PLAN**

SCALE: 1" = 30'-0"

**BROADSTONE EAST-BLOCK**  
 NEC EAST CENTRAL AVE AND SPRUCE ST NE  
 ALBUQUERQUE, NEW MEXICO

Office of Rich Barber  
**ORB**  
 Architecture, LLC  
 WorldHQ@ORBArch.com



**TITAN**  
 DEVELOPMENT

**ALLIANCE**  
 RESIDENTIAL COMPANY

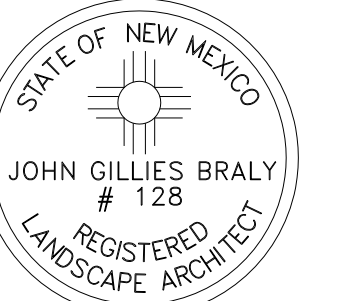
growing better  
**Up Heads**  
 LANDSCAPE CONTRACTORS  
 P.O. BOX 10597  
 Albuquerque, NM 87184  
 505.898.9615  
 505.898.2105 (fax)  
 design@hulc.com  
 www.headsuplandscape.com

DATE: NOVEMBER 14, 2017 ORB # 16-213

**L1.10**

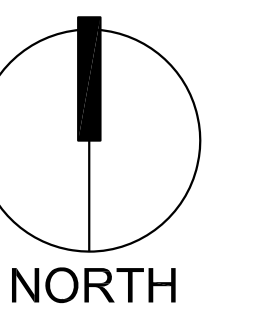
LANDSCAPE PLAN  
 FOR BUILDING PERMIT





Date: 12/22/16  
 Revisions:  
 ▲ \_\_\_\_\_  
 ▲ \_\_\_\_\_  
 ▲ \_\_\_\_\_  
 ▲ \_\_\_\_\_  
 Drawn by: jc  
 Reviewed by: jb

**Broadstone**  
 East Block  
 Albuquerque, New Mexico



Scale: 1" = 20'  
 10' 0 20' 40'

Sheet Title:  
**Landscape Plan**

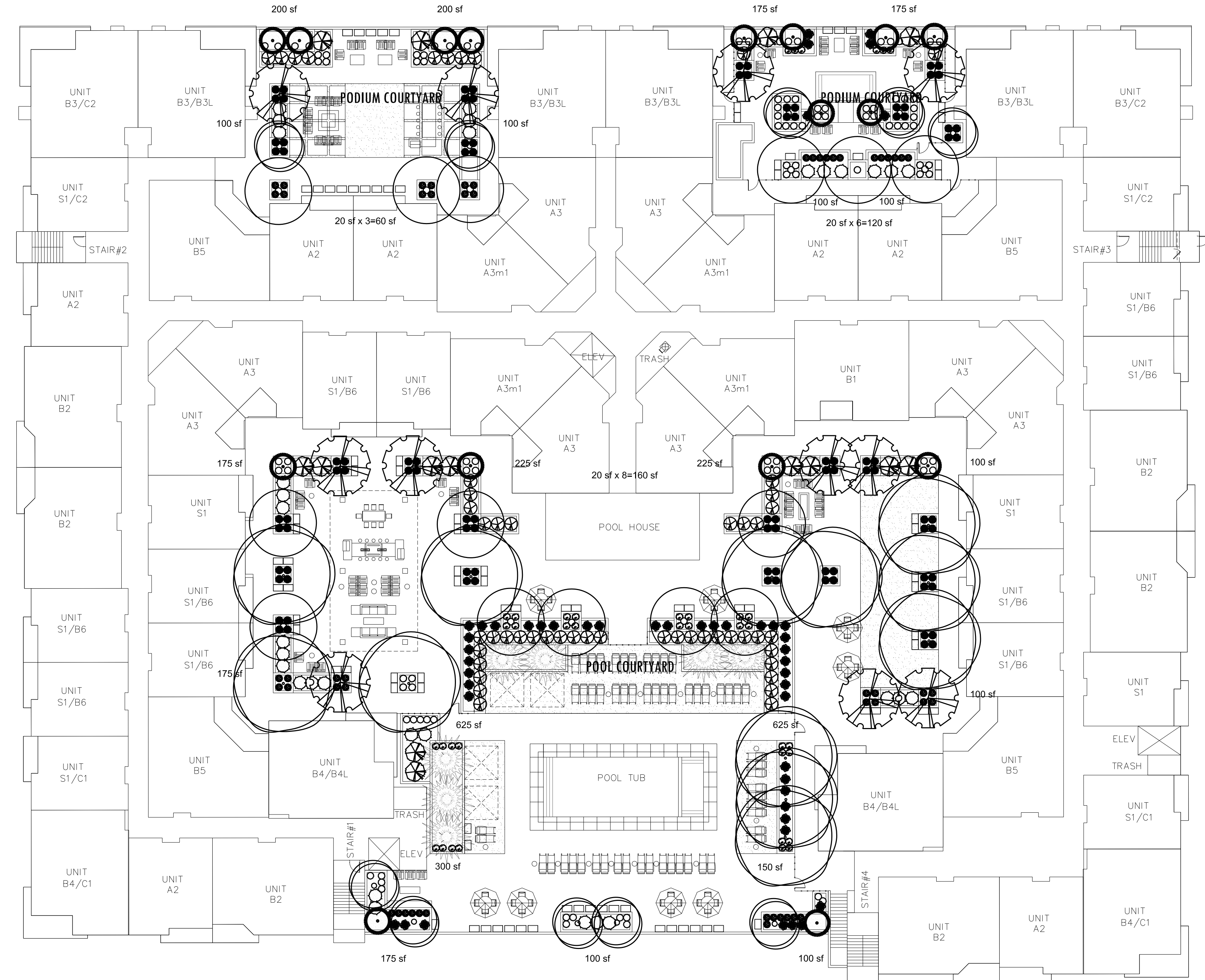
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**LS-02**

**PLANT LEGEND/Podium Level**

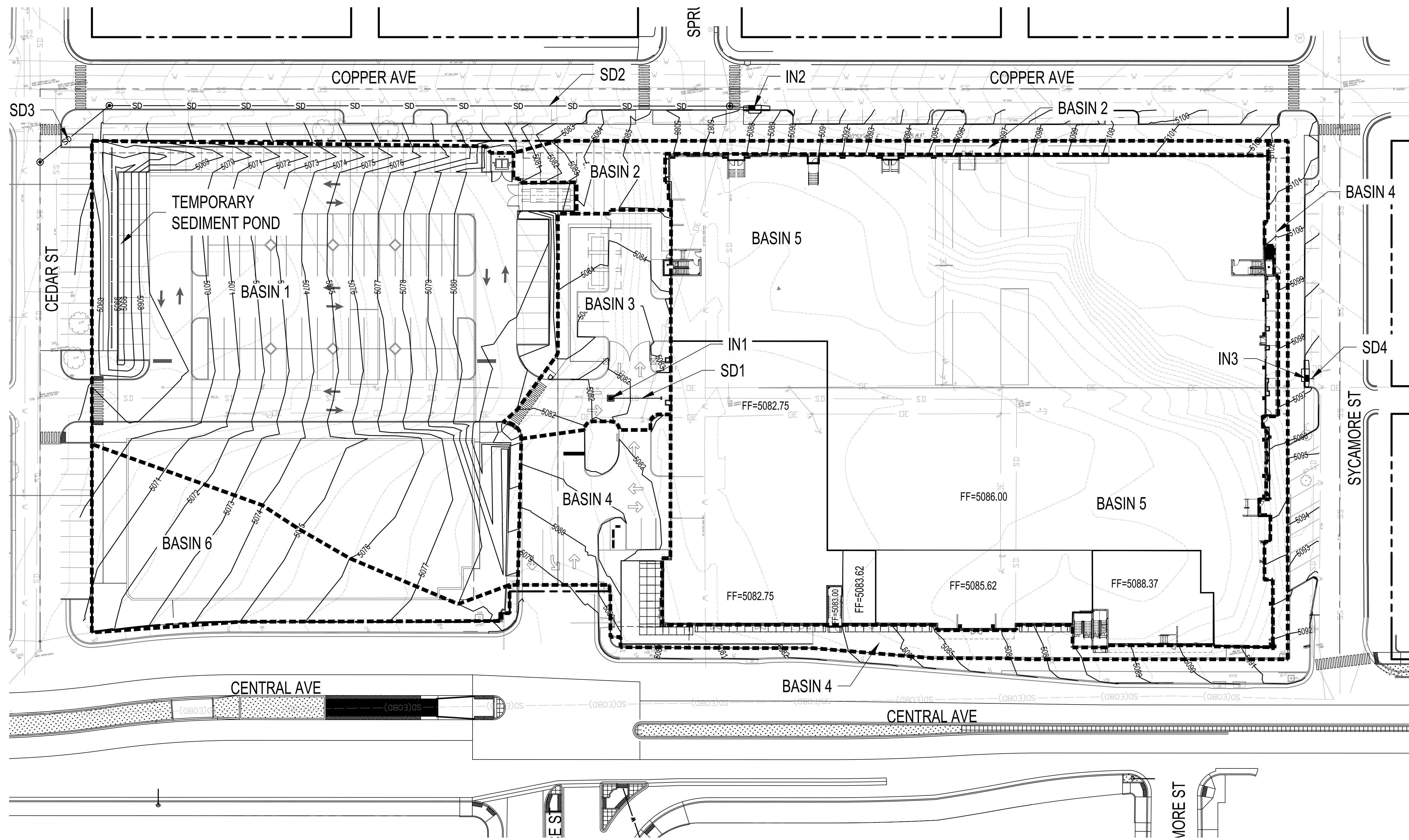
Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
14		Pyrus Flowering Pear	2" B&B	25/15'	50 sf=700 sf	Medium	6-2 gph
11		Prunus Purple Leaf Plum	2" B&B	30/30'	50 sf=550 sf	Medium	6-2 gph
12		Gleditsia triacanthos inermis Honeylocust	2" B&B	80/80'	50 sf=600 sf	Medium	6-2 gph
10		Vitex Chaste Tree	15-Gal	20/20'	50 sf=500 sf	Medium	6-2 gph
7		Cedrus Blue Atlas Cedar	6' HT.	40/20'	50 sf=350 sf	Medium	6-2 gph
16		Pinus Bosnian Pine	6' HT.	15/8'	50 sf=800 sf	Medium	6-2 gph
<b>Shrubs/Groundcovers</b>							
31		Ilex Burford Holly	5-Gal	5/5'	25 sf=775 sf	Medium	2-2 gph
51		Euonymus Japanese Euonymus	5-Gal	5/5'	25 sf=1275 sf	Medium	2-2 gph
14		Photinia Red Tip Photinia	5-Gal	10/10'100	sf=1400 sf	Medium	2-2 gph
38		Teucrium Germander	1-Gal	1/4'	16 sf=608 sf	Medium	2-2 gph
63		Cerastigma Dwarf Plumbago	1-Gal	6/4'	16 sf=1008 sf	Medium	2-2 gph
53		Vinca minor Periwinkle	1-Gal	6/4'	16 sf=848 sf	Medium	2-2 gph
38		Nepeta Catmint	1-Gal	1/3'	9 sf=342 sf	Medium	2-2 gph
<b>Grasses</b>							
96		Pennisetum Little Bunny Fountain Grass	1-Gal	2/2'	10 sf=400 sf	Low+	2-2 gph
47		Calamagrostis Karl Foerster Grass	5-Gal	3/2'	10 sf=740 sf	Medium	2-2 gph
Total Landscape Coverage=10,896 SF							

**MATERIALS LEGEND**

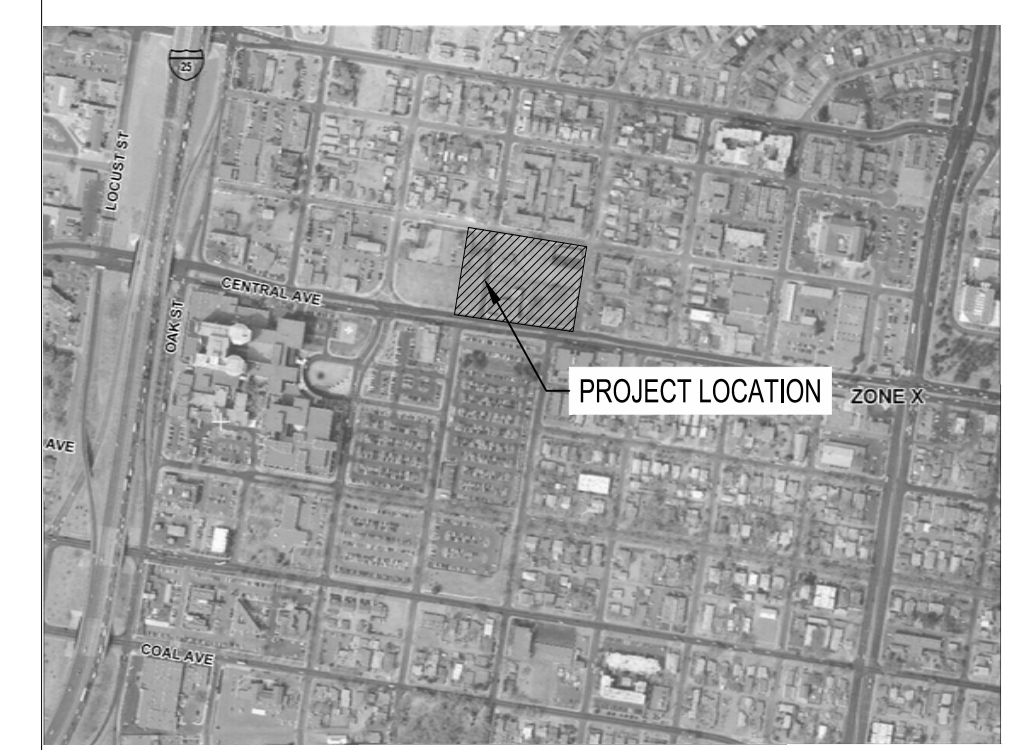
BROWN CRUSHER FINES







VICINITY MAP  
ZONE MAP K-15-Z



FEMA FIRM  
MAP #: 35001C0334G

DRAINAGE NARRATIVE

**INTRODUCTION:**  
THIS PROJECT IS LOCATED AT THE NORTHWEST INTERSECTION CORNER OF SYCAMORE ST NE AND CENTRAL AVE NE. THE PROJECT AREA IS BOUND BY SYCAMORE ST, CENTRAL AVE, CEDAR ST, AND COPPER AVE. THE PROJECT PROPOSES TO CONSTRUCT A NEW MULTI USE BUILDING. THE SITE IS NOT LOCATED IN A DESIGNATED FEMA FLOOD ZONE (FEMA FIRM #35001C0334G); THE SITE IS IN REINFLOOD ZONE 2. THE PROJECT AREA IS 3.21 ACRES.

**METHODOLOGY:**  
THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE SUBMITTAL HAS BEEN PREPARED IN ACCORDANCE WITH THE RECENT ADOPTION OF THE NEW DEVELOPMENT PROCESS MANUAL, SPECIFICALLY CHAPTER 6 (DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL), LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE ACTUAL CONDITIONS IN EACH ONSITE BASIN AND ARE SUMMARIZED IN THE "BASIN DATA TABLE" (THIS SHEET). THIS SITE WAS ANALYZED FOR THE 100-YEAR, 24 HOUR STORM EVENT.

**EXISTING CONDITIONS:**  
THE PROJECT AREA HAS PREVIOUSLY BEEN DEVELOPED AND SLOPES FROM NORTHEAST TO SOUTHWEST. AN EXISTING 21" SD PIPE WHICH RUNS NORTH-SOUTH FROM COPPER ALONG THE OLD SPRUCE ST ALIGNMENT ACCEPTS FLOW FROM 3 EXISTING INLETS LOCATED AT THE INTERSECTION OF COPPER AVE & SPRUCE ST. ALSO THERE IS AN EXISTING 21" SD PIPE ALONG THE EXISTING ALLEYS OF THE PROJECT AREA, THAT FLOWS WEST TO CEDAR. THESE EXISTING STORM DRAINS WILL BE IN CONFLICT WITH THE NEW BUILDING AND WILL HAVE TO BE REMOVED AND RELOCATED. THE ULTIMATE OUTFALL OF THE 21" SD PIPES IS THE EXISTING 60" SD IN CEDAR.

**PROPOSED CONDITIONS:**  
THE PROPOSED PROJECT WILL FOLLOW THE EXISTING DRAINAGE SCHEME AND OUTFALL LOCATIONS. THE FINISHED FLOOR ELEVATIONS HAVE BEEN SET TO GENERALLY ADHERE TO EXISTING ELEVATIONS AND PROMOTE POSITIVE DRAINAGE AWAY FROM BUILDINGS. A NEW 21" SD WILL BE CONSTRUCTED ALONG THE COPPER RW. THIS IMPROVEMENT WILL BE DONE AS A PART OF A PUBLIC WORK ORDER. IN ADDITION TO THE SD REALIGNMENT ALONG COPPER TWO NEW INLETS WILL BE ADDED TO COPPER AND SYCAMORE TO REPLACE THE EXISTING INLETS TO BE REMOVED. THE REPLACED INLETS WILL CONVEY THEIR RESPECTIVE BYPASS FLOWS.

THE SITE HAS BEEN DIVIDED INTO SIX ONSITE BASINS. BASIN 1 SURFACE DRAINS WEST AND NORTH TO A STORM WATER CONTROL BASIN THAT OUTLETS THE PUBLIC STORM DRAIN SYSTEM OF CEDAR. BASIN 1 INCLUDES LANDSCAPED AREAS, PAVED AREAS (PARKING, DRIVE AISLES, AND TRASH BIN), AND SIDEWALKS. BASIN 1 WAS ANALYZED USING LAND TREATMENTS "C" AND "D". BASIN 2 DRAINS TO THE TEMPORARY SEDIMENT BASIN AND THEN OVERFLOWS TO CEDAR TO MATCH EXISTING CONDITIONS. BASIN 2 IS SURFACE DRAINS NORTH TO THE PUBLIC STORM DRAIN SYSTEM OF COPPER. BASIN 2 INCLUDES LANDSCAPED AREAS AND SIDEWALKS AND WAS ANALYZED USING LAND TREATMENTS "C" AND "D". BASIN 3 SURFACE DRAINS TO AN INLET THAT CONNECTS TO THE EXISTING 21" SD THAT CONVEYS ONSITE FLOWS WEST TO THE STORM DRAIN SYSTEM OF CEDAR. BASIN 3 INCLUDES LANDSCAPED AREAS, PAVED PARKING DRIVE LANES, AND SIDEWALKS. BASIN 3 WAS ANALYZED USING LAND TREATMENTS "C" AND "D". BASIN 4 SURFACE DRAINS TO THE PUBLIC STORM DRAIN SYSTEM OF CENTRAL. BASIN 4 INCLUDES LANDSCAPED AREAS, PAVED PARKING DRIVE LANES, AND SIDEWALKS. BASIN 4 WAS ANALYZED USING LAND TREATMENTS "C" AND "D". BASIN 5 ENCOMPASSES THE FOOT PRINT OF THE BUILDING AND ROOF AREA. THE DRAINAGE FROM THE BUILDING WILL BE HARD PIPED INTO A PROPOSED STORM DRAIN WHICH ULTIMATELY CONNECTS TO AN EXISTING 21" SD WEST OF THE BUILDING AND DISCHARGES INTO THE 60" SD IN CEDAR ST. BASIN 5 WAS ANALYZED USING LAND TREATMENT "D". BASIN 6 SURFACE DRAINS WEST AND NORTH TO THE PUBLIC STORM DRAIN SYSTEM OF CEDAR AS IT DOES IN CURRENT CONDITIONS. BASIN 6 INCLUDES LANDSCAPED AREAS AND WAS ANALYZED USING LAND TREATMENTS "C".

**CONCLUSION:**  
THE SITE WILL REMAIN DEVELOPED, ALLOWING 100% OF THE PROPOSED FLOW TO REMAIN GENERALLY UNCHANGED FROM THE HISTORICALLY DEVELOPED FLOW. THE SURFACE DRAINAGE FROM THE PARKING WILL ENTER AN INLET WHICH ALSO CONNECTS TO THE EXISTING 21" SD WEST OF THE SITE. THE SOUTHERN ENTRANCE WILL CONTINUE TO SURFACE DRAIN HISTORICALLY INTO CENTRAL AVE. LANDSCAPED AREAS THROUGHOUT THE SITE WILL BE DEPRESSED WHERE APPLICABLE TO CAPTURE DRAINAGE IN AN ATTEMPT TO MEET THE FIRST FLUSH REQUIREMENTS. HOWEVER, ULTIMATELY THE CLIENT HAS DECIDED TO PAY CASH-IN-LIEU FOR THE FIRST FLUSH REQUIREMENTS. THE TOTAL AMOUNT OF FIRST FLUSH VOLUME REQUIRED IS 2769 CF.

HIGHLANDS EAST  
NEC EAST CENTRAL AVE. AND SPRUCE ST. N.E.  
ALBUQUERQUE, NEW MEXICO



**20220186 Highlands East Block**

**Basin Data Table**  
This table is based on page 6-10 of the DPM, Zone: 2

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V <sub>i</sub> (100yr-24hr) (CF)	V <sub>i</sub> (100yr-10d) (CF)	SW Quality (CF)	
			A	B	C	D						
<b>EXISTING BASINS</b>												
BASIN 1	58206	1.34	0.0%	0.0%	95.0%	5.0%	3.11	4.16	5384	5634		
BASIN 2	5709	0.13	0.0%	0.0%	95.0%	5.0%	3.11	0.41	528	553		
BASIN 3	8851	0.20	0.0%	0.0%	90.0%	10.0%	3.18	0.65	878	954		
BASIN 4	16373	0.38	0.0%	0.0%	95.0%	5.0%	3.11	1.17	1515	1585		
BASIN 5	96345	2.21	0.0%	0.0%	70.0%	30.0%	3.44	7.60	12123	14604		
BASIN 6	12844	0.29	0.0%	0.0%	90.0%	10.0%	3.18	0.94	1274	1384		
<b>TOTAL</b>	<b>198328</b>	<b>4.55</b>	-	-	-	-	-	<b>14.93</b>	<b>8304</b>	<b>25237</b>		
<b>PROPOSED BASINS</b>												
BASIN 1	58206	1.34	0.0%	0.0%	90.0%	10.0%	3.18	4.25	5772	6272	126	
BASIN 2	5709	0.13	0.0%	0.0%	40.0%	60.0%	3.82	0.50	947	1241	74	
BASIN 3	8851	0.20	0.0%	0.0%	25.0%	75.0%	4.02	0.82	1645	2215	144	
BASIN 4	16373	0.38	0.0%	0.0%	5.0%	95.0%	4.28	1.61	3479	4814	337	
BASIN 5	96345	2.21	0.0%	0.0%	0.0%	100.0%	4.34	9.60	21116	29385	2087	
BASIN 6	12844	0.29	0.0%	0.0%	100.0%	0.0%	3.05	0.90	1102	1102	0	
<b>TOTAL</b>	<b>198328</b>	<b>4.55</b>	-	-	-	-	-	<b>17.67</b>	<b>34061</b>	<b>45029</b>	<b>2769</b>	
<b>DIFFERENCE PROP - EXG</b>										<b>25757</b>	<b>19792</b>	
<b>EXISTING OFFSITE BASINS</b>												
OS1 - COPPER	7451	0.17	0.0%	0.0%	0.0%	100.0%	4.34	0.74	1635	2276	162	
OS2 - SYCAMORE	5424	0.12	0.0%	0.0%	0.0%	100.0%	4.34	0.54	1189	1654	118	
<b>TOTAL</b>	<b>12885</b>	<b>0.30</b>	-	-	-	-	-	<b>1.28</b>	<b>2824</b>	<b>3930</b>	<b>162</b>	

**TEMPORARY SEDIMENT POND**

Elev (FT)	Storage Required (CF)	Storage Required (AC-FT)	Storage Provided (AC-FT)
65.6	0	0	0.00
68.60	5772	0.13	0.15

**INLET TABLE**

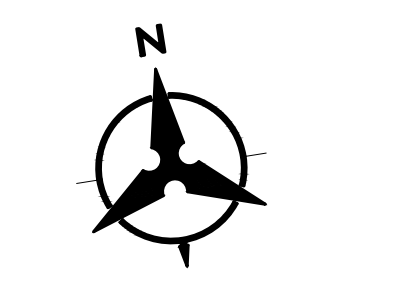
Inlet #	Inlet Type	Basin	Actual Flow (cfs)	Capacity <sup>1</sup> (cfs)
IN1	COA SINGLE D	BASIN 3	0.82	3.98
IN-2	COA SINGLE A	OS1 - COPPER	0.74	On grade inlet <sup>2</sup>
IN-3	COA SINGLE A	OS2 - SYCAMORE	0.54	On grade inlet <sup>2</sup>

NOTE: The inlet calculations were based on the DPM PLATE 22.3 D-5 GRATING CAPACITIES FOR TYPE "A", "C" and "D"  
<sup>1</sup>The capacity is calculated based on the depth for the Q<sub>100</sub> based on the assumed contributing basin area.  
<sup>2</sup>On grade inlet capacity is dependent upon upstream flow and corresponding depth in street. Assuming full curb height, the capacity would be approximately 9 cfs with bypass flows.

**STORM DRAIN PIPE TABLE**

PIPE #	BASIN	Size in.	Slope	Capacity* cfs	ACTUAL FLOW cfs
SD1	BASIN 5	18	5.58%	24.81	9.60
SD2	OS1 - COPPER	24	6.51%	57.72	0.74
SD3	OS1 - COPPER	24	6.55%	57.90	0.74
SD4	OS2 - SYCAMORE	18	6.60%	26.99	0.54

\*Capacity Based on Manning's Eq w/ N=0.013  
 \*\*Refer to grading plan for connection of SD3 to existing 60" SD in Cedar  
 \*\*\*Refer to inlet table note 2.



LEGEND

- PROPERTY LINE
- 5025 --- EXISTING INTERMEDIATE CONTOUR
- 5025 --- EXISTING INDEX CONTOUR
- 5024 --- PROPOSED INDEX CONTOUR
- 5024 --- PROPOSED INTERMEDIATE CONTOUR
- EXISTING BASIN BOUNDARY
- PROPOSED BASIN BOUNDARY

Contractor must verify all dimensions at project before proceeding with this work.

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REVISIONS/SUBMITTALS

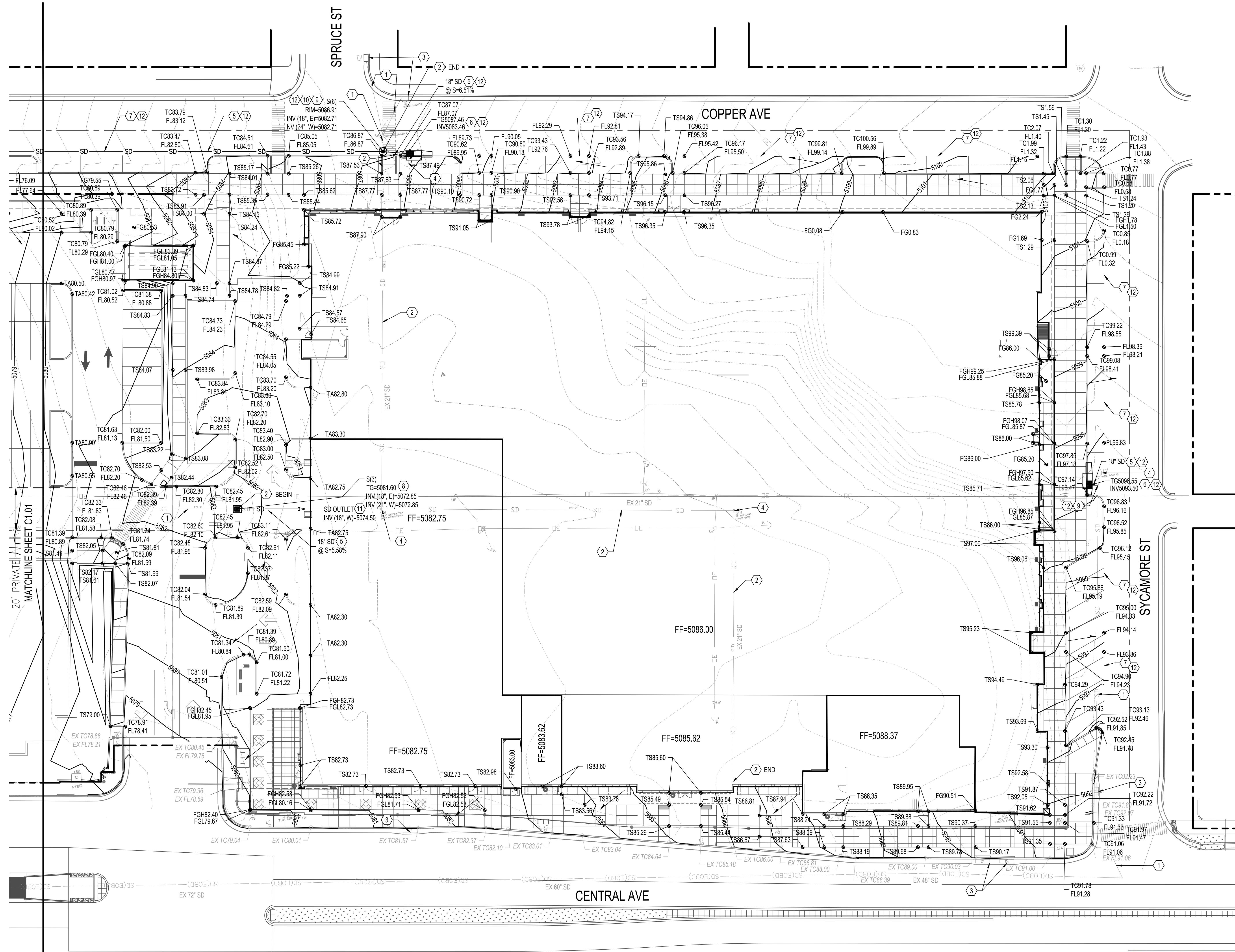
DATE	DESCRIPTION

CONSTRUCTION DOCUMENTS

DATE: NOVEMBER 4TH, 2021 ORB #: 16-213

DMP





**GENERAL SHEET NOTES**

- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. COA PUBLIC WORKS STANDARDS SHALL APPLY.
- B. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- C. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- D. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- I. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADES, TOWPIL DISTURBANCE, EXCAVATION PERMITS, DRIVEWAY PERMITS, ETC.).
- J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- K. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- L. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- M. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- N. THE PROJECT MUST CONFORM WITH THE EROSION AND SEDIMENT REQUIREMENTS OF THE 2003 EPA CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS & CODES WHICHEVER IS MORE STRINGENT.

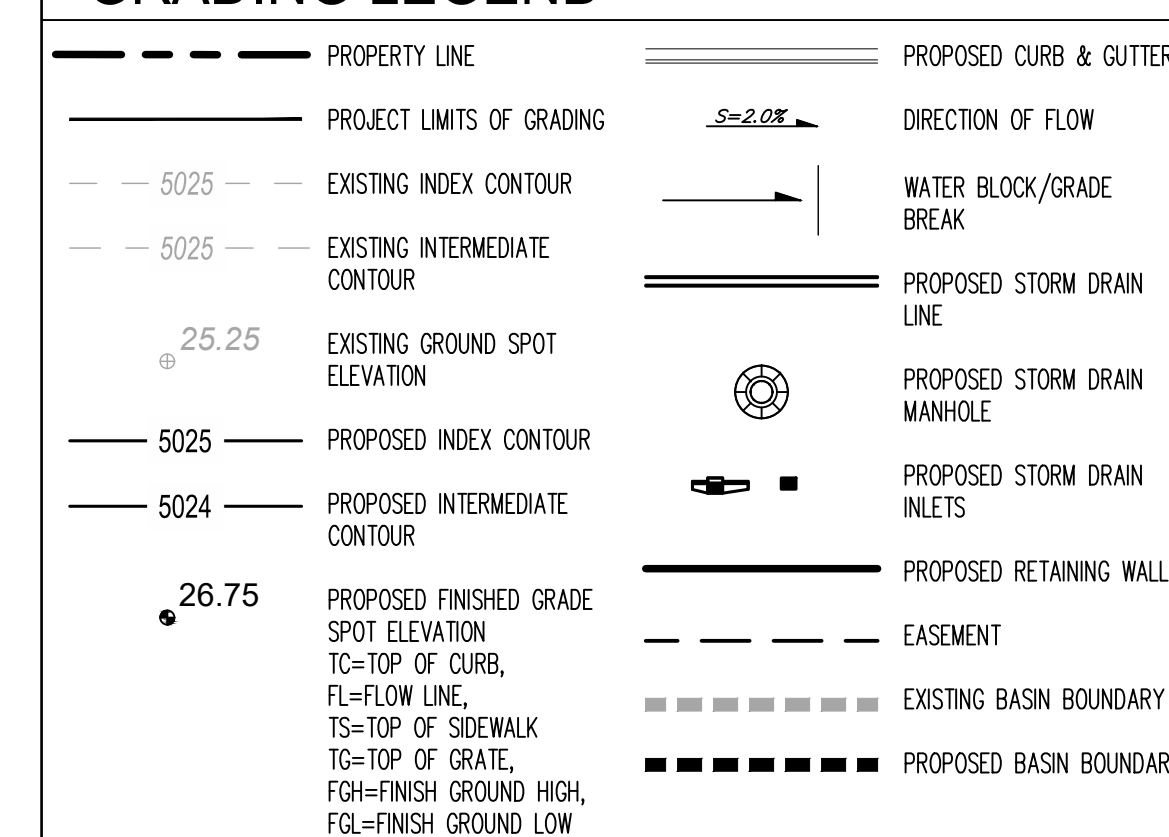
**GRADING SHEET NOTES**

- a. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- b. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- c. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT FIRST PRIORITY SPECIFICATIONS, AND/OR THE COA STANDARDS SPECIFICATIONS FOR PUBLIC WORKS.
- d. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- e. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK DISTURBANCE OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- f. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- g. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- h. PAVING AND ROADWAY GRADES SHALL BE +0.01' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +0.05' FROM BUILDING PLAN ELEVATION.
- i. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIAN AND ISLANDS.
- j. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- k. SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%.
- l. HOPE PIPES AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER'S SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

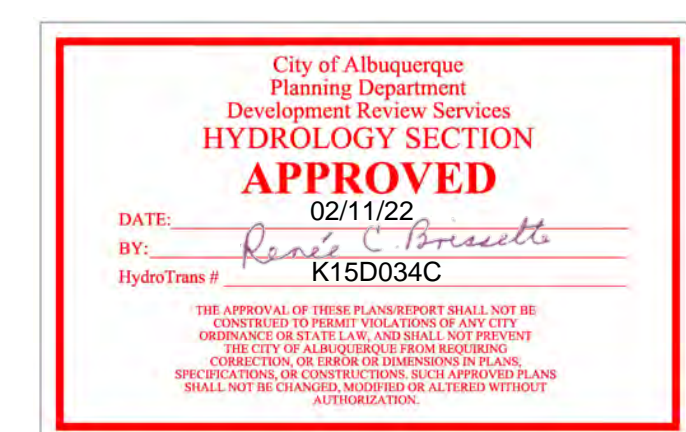
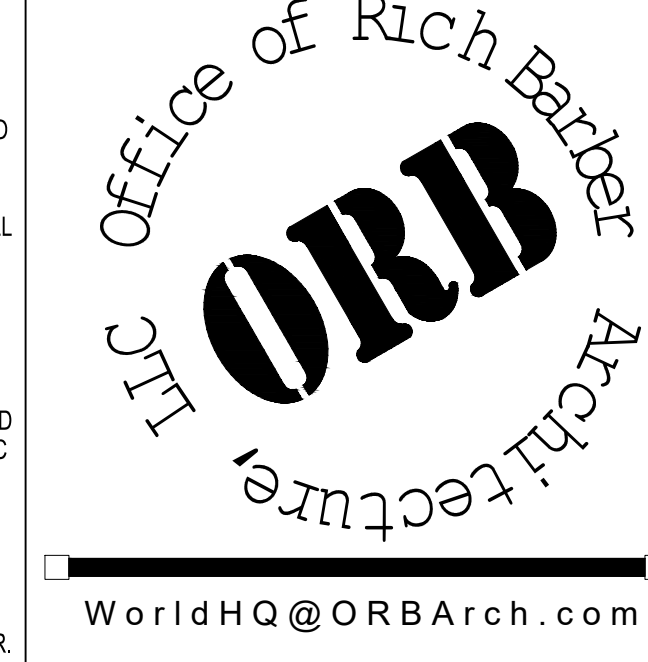
**GRADING KEYNOTES**

1. EXISTING STORM DRAIN TO REMAIN.
2. EXISTING STORM DRAIN TO BE REMOVED.
3. EXISTING STORM DRAIN INLET TO REMAIN.
4. EXISTING PUBLIC STORM DRAIN INLET TO BE REMOVED.
5. PROPOSED PUBLIC STORM DRAIN (SIZE PER PLAN).
6. PROPOSED PUBLIC TYPE "A" STORM DRAIN INLET (SIZE PER PLAN).
7. INSTALL VALLEY GUTTER.
8. PROPOSED TYPE "D" STORM DRAIN INLET (SIZE PER PLAN).
9. CONNECT TO EXISTING STORM DRAIN (SIZE PER PLAN).
10. PROPOSED PUBLIC STORM DRAIN MANHOLE PER COA STD 2102.
11. CONNECT TO BUILDING STORM DRAIN SYSTEM. CONTRACTOR TO INSTALL PRE-FABRICATED FITTING FOR DISSIMILAR MATERIALS AT CONNECTION. SEE MEP PLANS FOR CONTINUATION.
12. TO BE CONSTRUCTED AS PART OF PUBLIC WORK ORDER NUMBER 764784.
13. INSTALL ASPHALT PAVEMENT PER DETAIL B, SHEET C3.01.
14. EDGE OF ASPHALT PAVEMENT.

**GRADING LEGEND**



**HIGHLANDS EAST**  
NEC EAST CENTRAL AVE. AND SPRUCE ST. N.E.  
ALBUQUERQUE, NEW MEXICO



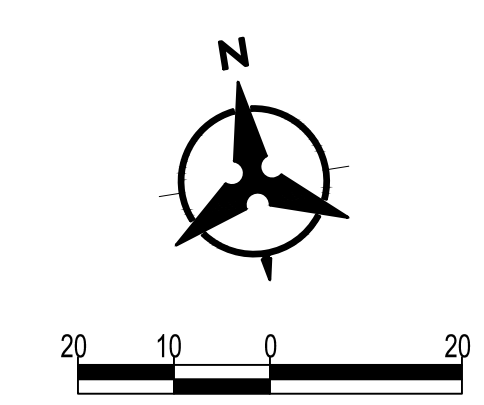
**NOTE:**  
HDPE PIPE AND FITTINGS SHALL BE INSTALLED AN DBACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

**NOTE:**  
NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW AND PUBLIC EASEMENTS WITHOUT AN APPROVED PUBLIC WORK ORDER.

**NOTE:**  
SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%.

**NOTE:**  
ALL WORK SHOWN IN THE R/W AND PUBLIC EASEMENTS SHALL BE CONSTRUCTED PER COA PUBLIC WORK ORDER CPN #764784. GRADES SHOWN WITHIN THE R/W AND PUBLIC EASEMENTS ARE FOR REFERENCE ONLY. IF PROPOSED GRADES IN R/W DIFFER FROM ON-SITE GRADES SHOWN, CONTACT ENGINEER IMMEDIATELY.

**NOTE:**  
CONTRACTOR SHALL PROVIDE AS-BUILT GRADING INFORMATION STAMPED BY A PROFESSIONAL SURVEYOR. AS-BUILT INFORMATION REQUIRED SHALL BE COORDINATED WITH THE ENGINEER AND SHALL BE SUFFICIENTLY DETAILED TO VERIFY THAT THE DRAINAGE WILL FUNCTION IN ACCORDANCE WITH THE DESIGN. AS-BUILT DATA SHALL BE PROVIDED AT LEAST 5 WORKING DAYS PRIOR TO CONTRACTOR'S REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. AT A MINIMUM, AS-BUILTS DATA SHALL INCLUDE:  
- ALL GRATES AND INVERTS OF CATCH BASINS  
- APPROXIMATELY 75% OF ALL DESIGN SPOT ELEVATIONS & FINISHED FLOOR ELEVATIONS.



**REVISIONS/ SUBMITTALS**

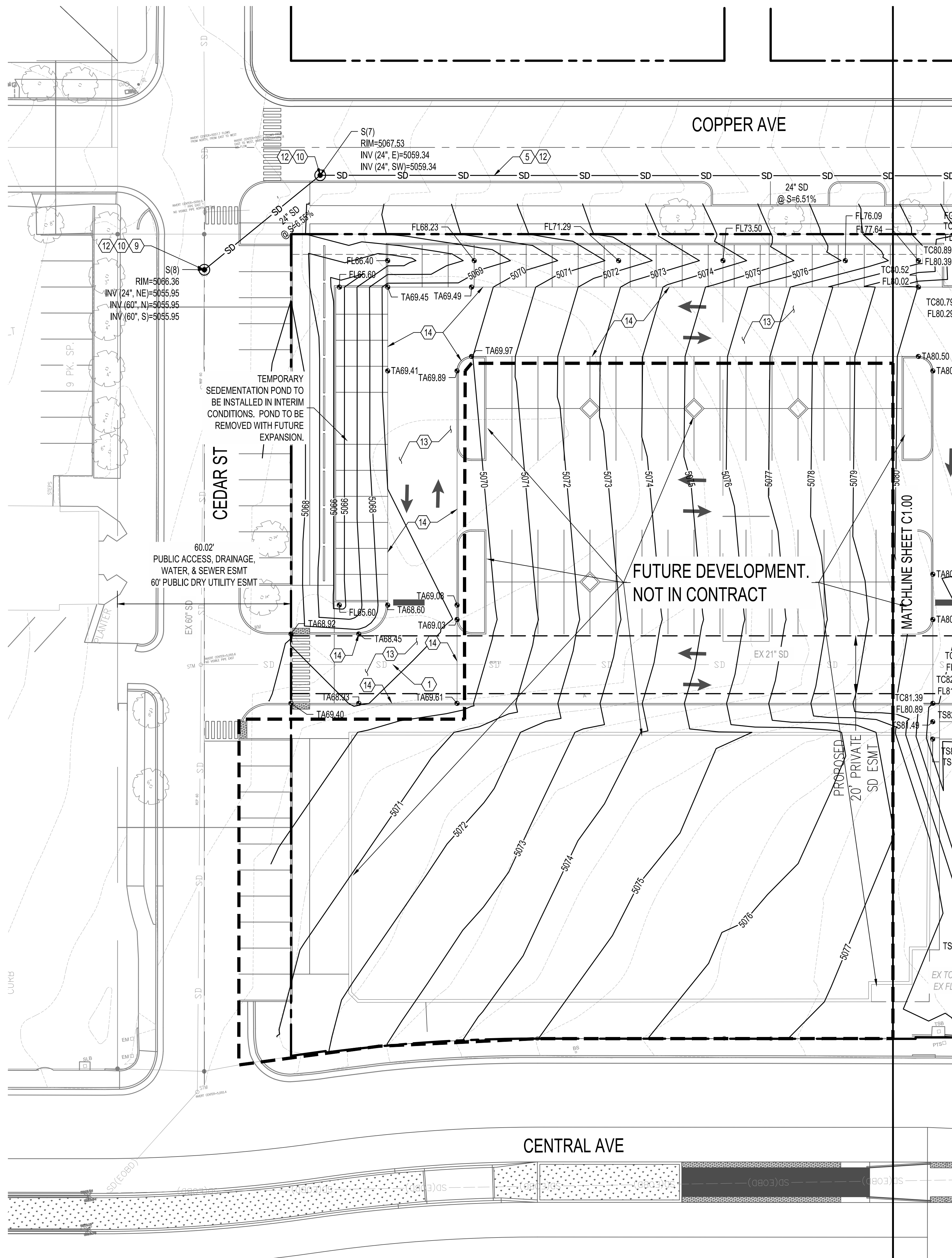
DATE	DESCRIPTION
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**CONSTRUCTION DOCUMENTS**

DATE: NOVEMBER 4TH, 2021 ORB #: 16-213

**C1.00**  
GRADING PLAN  
EAST





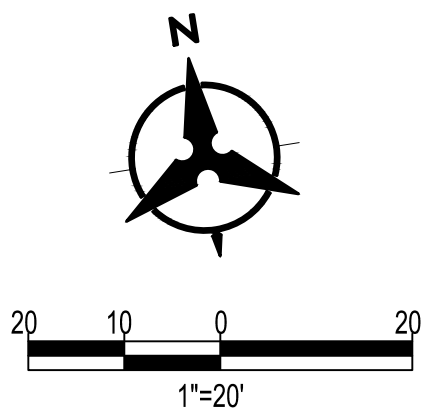
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- E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- I. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL, DISTURBANCE, EXCAVATION PERMITS, DRIVEWAY PERMITS, ETC.).
- J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. THE PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- K. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- L. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- M. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- N. THE PROJECT MUST CONFORM WITH THE EROSION AND SEDIMENT REQUIREMENTS OF THE 2003 EPA CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS & CODES WHICHEVER IS MORE STRINGENT.

**GRADING SHEET NOTES**

- a. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- b. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- c. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT FIRST PRIORITY SPECIFICATIONS AND/OR THE COA STANDARDS SPECIFICATIONS FOR PUBLIC WORKS.
- d. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- e. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK/DISTURBANCE OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- f. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- g. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- h. PAVING AND ROADWAY GRADES SHALL BE +0.0' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +0.05' FROM BUILDING PLAN ELEVATION.
- i. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- j. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- k. SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%.
- l. HDPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

**GRADING KEYNOTES**

1. EXISTING STORM DRAIN TO REMAIN.
2. EXISTING STORM DRAIN TO BE REMOVED.
3. EXISTING STORM DRAIN INLET TO REMAIN.
4. EXISTING PUBLIC STORM DRAIN INLET TO BE REMOVED.
5. PROPOSED PUBLIC STORM DRAIN (SIZE PER PLAN).
6. PROPOSED PUBLIC TYPE 'A' STORM DRAIN INLET (SIZE PER PLAN).
7. INSTALL VALLEY GUTTER.
8. PROPOSED TYPE 'D' STORM DRAIN INLET (SIZE PER PLAN).
9. CONNECT TO EXISTING STORM DRAIN (SIZE PER PLAN).
10. PROPOSED PUBLIC STORM DRAIN MANHOLE PER COA STD 2102.
11. CONNECT TO BUILDING STORM DRAIN SYSTEM. CONTRACTOR TO INSTALL PRE-FABRICATED FITTING FOR DISSIMILAR MATERIALS AT CONNECTION. SEE MEP PLANS FOR CONTINUATION.
12. TO BE CONSTRUCTED AS PART OF PUBLIC WORK ORDER NUMBER 764784.
13. INSTALL ASPHALT PAVEMENT PER DETAIL B, SHEET C3.01.
14. EDGE OF ASPHALT PAVEMENT.

**GRADING LEGEND**

--- PROPERTY LINE	--- PROPOSED CURB & GUTTER
--- PROJECT LIMITS OF GRADING	--- DIRECTION OF FLOW
--- 5025 --- EXISTING INDEX CONTOUR	--- WATER BLOCK/GRADE BREAK
--- 5025 --- EXISTING INTERMEDIATE CONTOUR	--- PROPOSED STORM DRAIN LINE
25.25 EXISTING GROUND SPOT ELEVATION	--- PROPOSED STORM DRAIN MANHOLE
--- 5025 --- PROPOSED INDEX CONTOUR	--- PROPOSED STORM DRAIN INLETS
--- 5024 --- PROPOSED INTERMEDIATE CONTOUR	--- PROPOSED RETAINING WALL
26.75 PROPOSED FINISHED GRADE SPOT ELEVATION	--- EASEMENT
TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW	--- EXISTING BASIN BOUNDARY
	--- PROPOSED BASIN BOUNDARY

**HIGHLANDS EAST**  
 NEC EAST CENTRAL AVE. AND SPRUCE ST. N.E.  
 ALBUQUERQUE, NEW MEXICO



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**REVISIONS/SUBMITTALS**

DATE	DESCRIPTION
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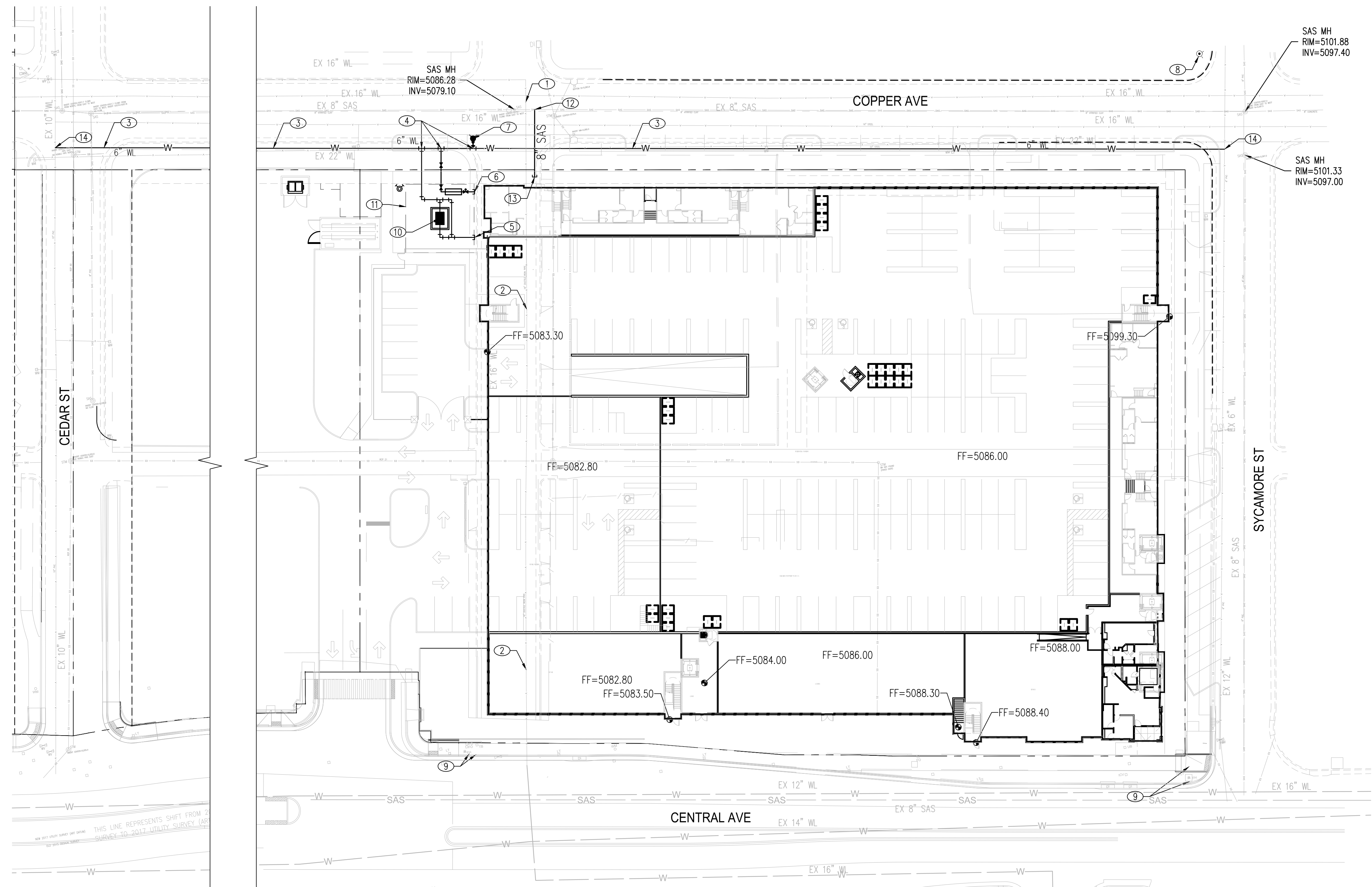
**CONSTRUCTION DOCUMENTS**

DATE: NOVEMBER 4TH, 2021 ORB #: 16-213

**C1.01**  
 GRADING PLAN  
 WEST



FILE: P:\20160155\CP\Plans\General\20160155\_IP01\_EB\_SBPB.dwg USER: enman DATE: Feb, 14, 2018 TIME: 08:37 am

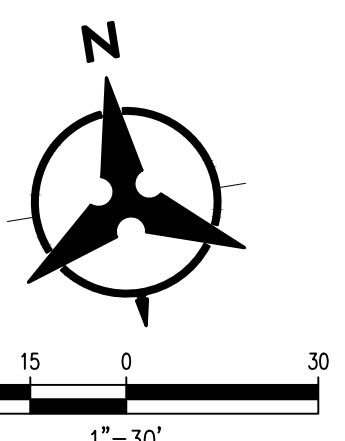


**UTILITY KEYNOTES**

1. INSTALL LINE STOP ON EXISTING 16" WL.
2. EXISTING 16" WL TO BE REMOVED.
3. INSTALL NEW 6" WL. ALIGNMENT OF NEW WATERLINE MIGHT FOLLOW EXISTING TRANSMISSION LINE ALIGNMENT. (POTENTIAL REMOVAL OF EXISTING TRANSMISSION LINE THAT HAS BEEN IDENTIFIED FOR ABANDONMENT BY ABCWUA, MAY BE REQUIRED AND A LINE STOP MAY BE NECESSARY). ULTIMATE ALIGNMENT OF WATERLINE TO BE FINALIZED AND APPROVED AT THE DESIGN REVIEW COMMITTEE (DRC).
4. TIE TO NEW 6" WL.
5. INSTALL DOMESTIC WATER SERVICE TO WITHIN 5' OF BUILDING.
6. INSTALL FIRE PROTECTION LINE TO WITHIN 5' OF BUILDING.
7. INSTALL FIRE HYDRANT.
8. EXISTING FIRE HYDRANT.
9. RELOCATED FIRE HYDRANT (BY ART PROJECT).
10. INSTALL NEW 3" WATER METER.
11. NEW 35'X35' WATER METER EASEMENT TO BE GRANTED TO ABCWUA.
12. CONNECT TO EXISTING SANITARY SEWER LINE.
13. INSTALL SANITARY SEWER SERVICE TO WITHIN 5' OF BUILDING.
14. CONNECT TO EXISTING WATER LINE.

SAS MH  
RIM=5101.88  
INV=5097.40

SAS MH  
RIM=5101.33  
INV=5097.00



**UTILITY LEGEND**

---	PROPERTY LINE	---	PROPOSED EASEMENT
---	EXISTING EASEMENT	SAS	PROPOSED SANITARY SEWER LINE
SAS	EXISTING SANITARY SEWER	●	PROPOSED SANITARY SEWER MANHOLE
WL	EXISTING WATER LINE	●	PROPOSED CLEANOUT
□	EXISTING WATER METER	WL	PROPOSED WATER LINE
+	EXISTING CAP	HV	PROPOSED VALVE
+	EXISTING VALVE	FL	PROPOSED FIRE WATER LINE
⊕	EXISTING FIRE HYDRANT	■	PROPOSED HYDRANT
○	EXISTING SANITARY SEWER MANHOLE	~	PROPOSED CAP
⊙	EXISTING STORM DRAIN MANHOLE	■	PROPOSED WATER METER
□	EXISTING INLET	⊕	PROPOSED PIV
		⊕	REMOTE FIRE DEPARTMENT CONNECTION

**BROADSTONE EAST-BLOCK**

NEC EAST CENTRAL AVE AND SPRUCE ST NE ALBUQUERQUE, NEW MEXICO



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**REVISIONS**

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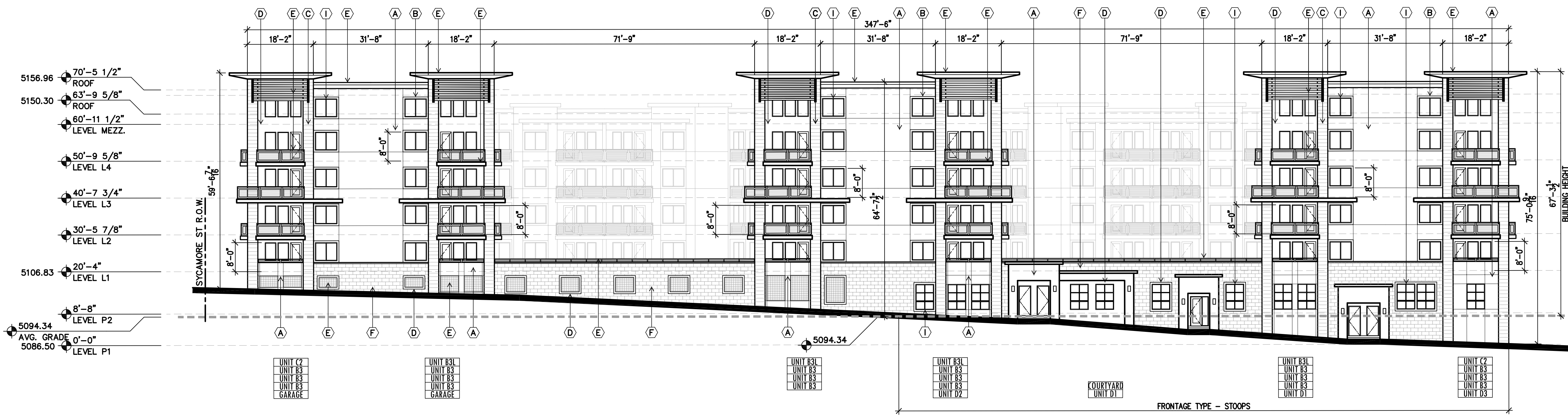
DATE: FEBRUARY 13, 2018 ORB # 16-213

**C2.00**

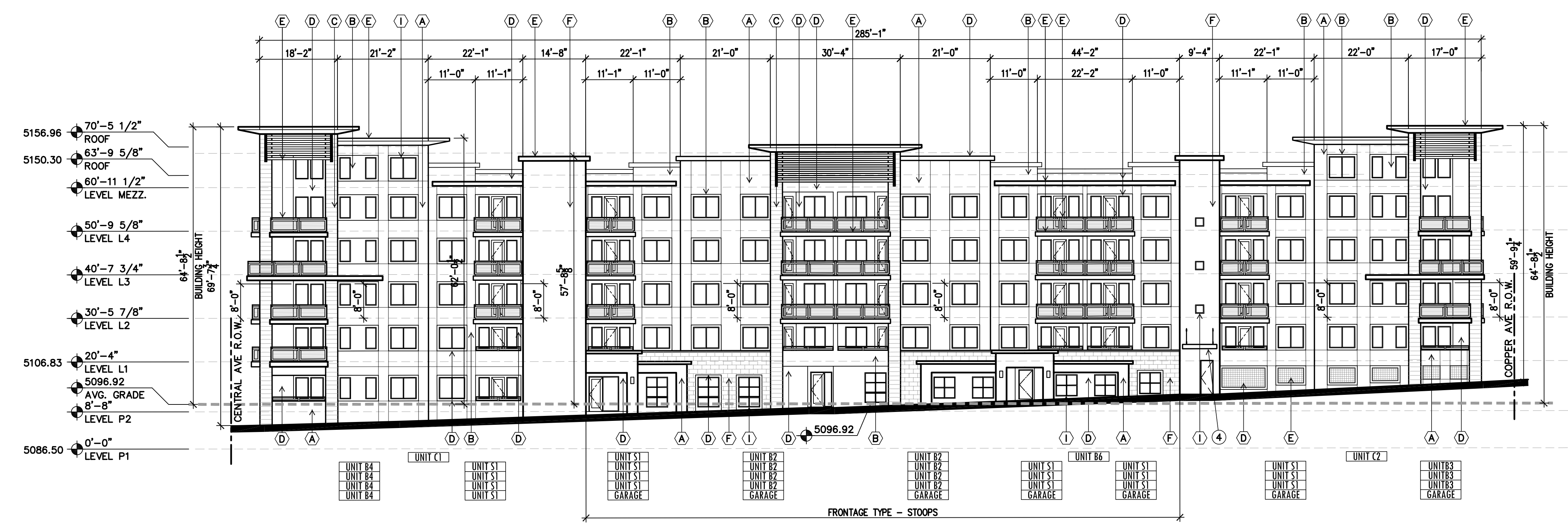
CONCEPTUAL  
UTILITY PLAN



FILE: F:\04\ORB Job Files\16-213\_Thor\_Eastblock\CAD Files\Preliminary\16213\_A340\_Bldg Elevations.dwg USER: jca DATE: Nov, 15, 2017 TIME: 11:47 am



**1 NORTH ELEVATION**  
COPPER AVENUE  
SCALE: 1/16" = 1'-0"



**2 EAST ELEVATION**  
SYCAMORE STREET  
SCALE: 1/16" = 1'-0"

**MATERIAL/COLOR KEY NOTES:**

- (A) STUCCO FINISH: LIGHT BEIGE
- (B) STUCCO FINISH: DARK BEIGE
- (C) STUCCO FINISH: LIGHT GRAY
- (D) STUCCO FINISH: DARK GRAY
- (E) FASCIA, RAILINGS, METAL DARK BRONZE
- (F) STONE VENEER
- (G) CAST IN PLACE CONCRETE
- (H) SANDSTONE
- (I) ANODIZED ALUMINUM FRAME WINDOWS & STOREFRONT SYSTEM

**KEYNOTES ①**

1. PROJECT BLADE SIGN, 2' X 11'
2. APARTMENTS NEON SIGN.
3. RETAIL NEON SIGN.
4. METAL SHADE CANOPY.

**NOTES:**

1. SIGNAGE PER MX-CODE. FUTURE CHANGES TO PROPOSED SIGNAGE CAN BE AMENDED ADMINISTRATIVELY. ALL SIGNAGE TO COMPLY WITH CODE SECTIONS 14-16-3-22(B)(3)(n) AND 14-16-3-22(C)(7).

**SHADING CANOPY CALCULATIONS**

REQUIRED:	(PER EPC APPROVAL OF MODIFICATIONS TO SHADING REQUIREMENTS, PER 14-163-22(A)(6)(b)(1))	
	SOUTH (CENTRAL AVE)	88%
	EAST (SYCAMORE ST)	3%
	NORTH (COPPER AVE)	0%
PROVIDED:	SOUTH (CENTRAL AVE)	88%
	EAST (SYCAMORE ST)	3%
	NORTH (COPPER AVE)	0%

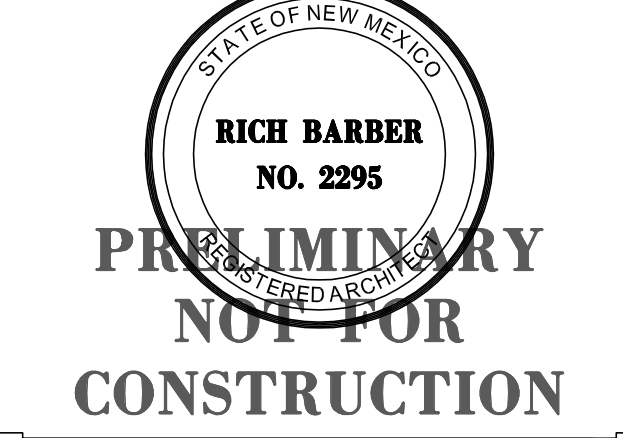
**GLAZING CALCULATIONS**

REQUIRED:	STOREFRONT FRONTAGE UPPER FLOORS	50%
PROVIDED:	SOUTH (CENTRAL AVE) STOREFRONT UPPER FLOOR	68%
	EAST (SYCAMORE ST) UPPER FLOOR	22%
	NORTH (COPPER AVE) UPPER FLOOR	23%
	NORTH (COPPER AVE) UPPER FLOOR	22%

**BROADSTONE EAST-BLOCK**  
NEC EAST CENTRAL AVE AND SPRUCE ST NE ALBUQUERQUE, NEW MEXICO



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DATE: NOVEMBER 15, 2017 ORB # 16-213

**A3.40**  
EXTERIOR ELEVATIONS

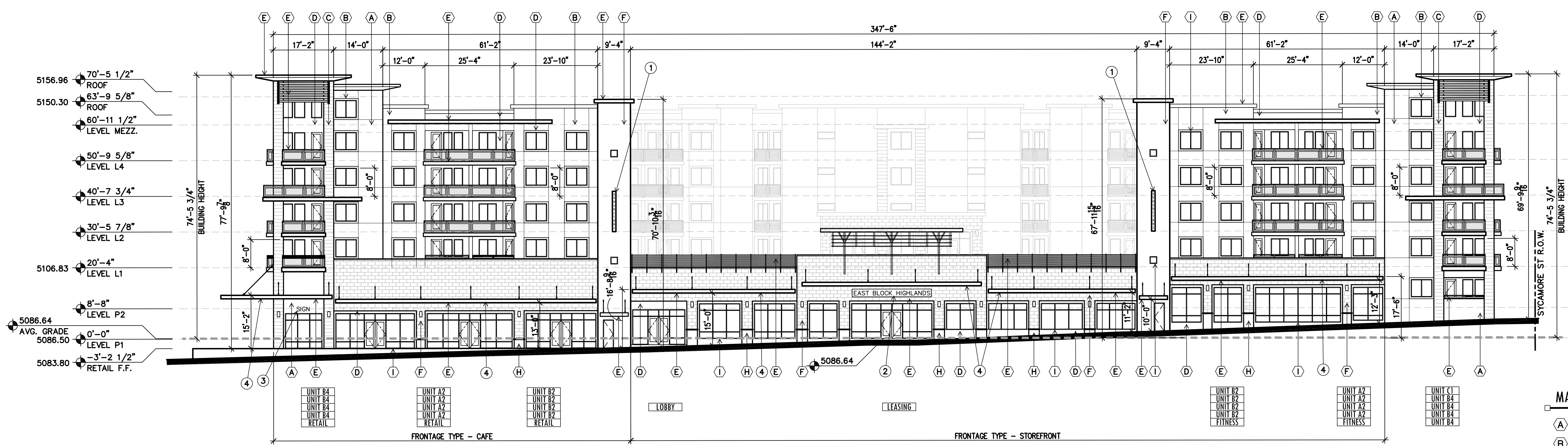




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**3 SOUTH ELEVATION**  
CENTRAL AVENUE  
SCALE: 1/16" = 1'-0"

**MATERIAL/COLOR KEY NOTES:**

- (A) STUCCO FINISH: LIGHT BEIGE
- (B) STUCCO FINISH: DARK BEIGE
- (C) STUCCO FINISH: LIGHT GRAY
- (D) STUCCO FINISH: DARK GRAY
- (E) FASCIA, RAILINGS, METAL DARK BRONZE
- (F) STONE VENEER
- (G) CAST IN PLACE CONCRETE
- (H) SANDSTONE
- (I) ANODIZED ALUMINUM FRAME WINDOWS & STOREFRONT SYSTEM

**KEYNOTES ①**

1. PROJECT BLADE SIGN, 2' X 11'
2. APARTMENTS NEON SIGN
3. RETAIL NEON SIGN
4. METAL SHADE CANOPY

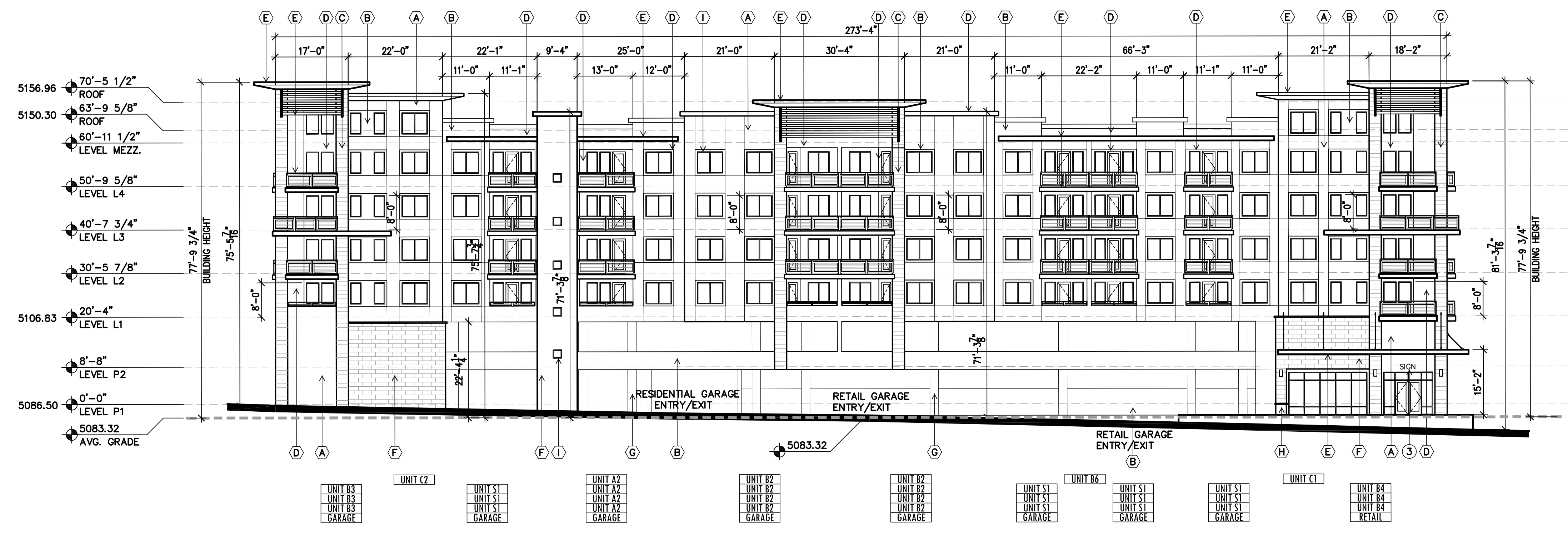
**NOTES:**  
1. SIGNAGE PER MX-CODE. FUTURE CHANGES TO PROPOSED SIGNAGE CAN BE AMENDED ADMINISTRATIVELY. ALL SIGNAGE TO COMPLY WITH CODE SECTIONS 14-16-3-22(B)(3)(n) AND 14-16-3-22(C)(7).

**SHADING CANOPY CALCULATIONS**

REQUIRED:	(PER EPC APPROVAL OF MODIFICATIONS TO SHADING REQUIREMENTS, PER 14-16-3-22(A)(6)(b)(1))	
	SOUTH (CENTRAL AVE)	88%
	EAST (SYCAMORE ST)	3%
	NORTH (COPPER AVE)	0%
PROVIDED:	SOUTH (CENTRAL AVE)	88%
	EAST (SYCAMORE ST)	3%
	NORTH (COPPER AVE)	0%

**GLAZING CALCULATIONS**

REQUIRED:	STOREFRONT FRONTAGE	50%
	UPPER FLOORS	20%
PROVIDED:	SOUTH (CENTRAL AVE) STOREFRONT	68%
	UPPER FLOOR	22%
	EAST (SYCAMORE ST) UPPER FLOOR	23%
	NORTH (COPPER AVE) UPPER FLOOR	22%



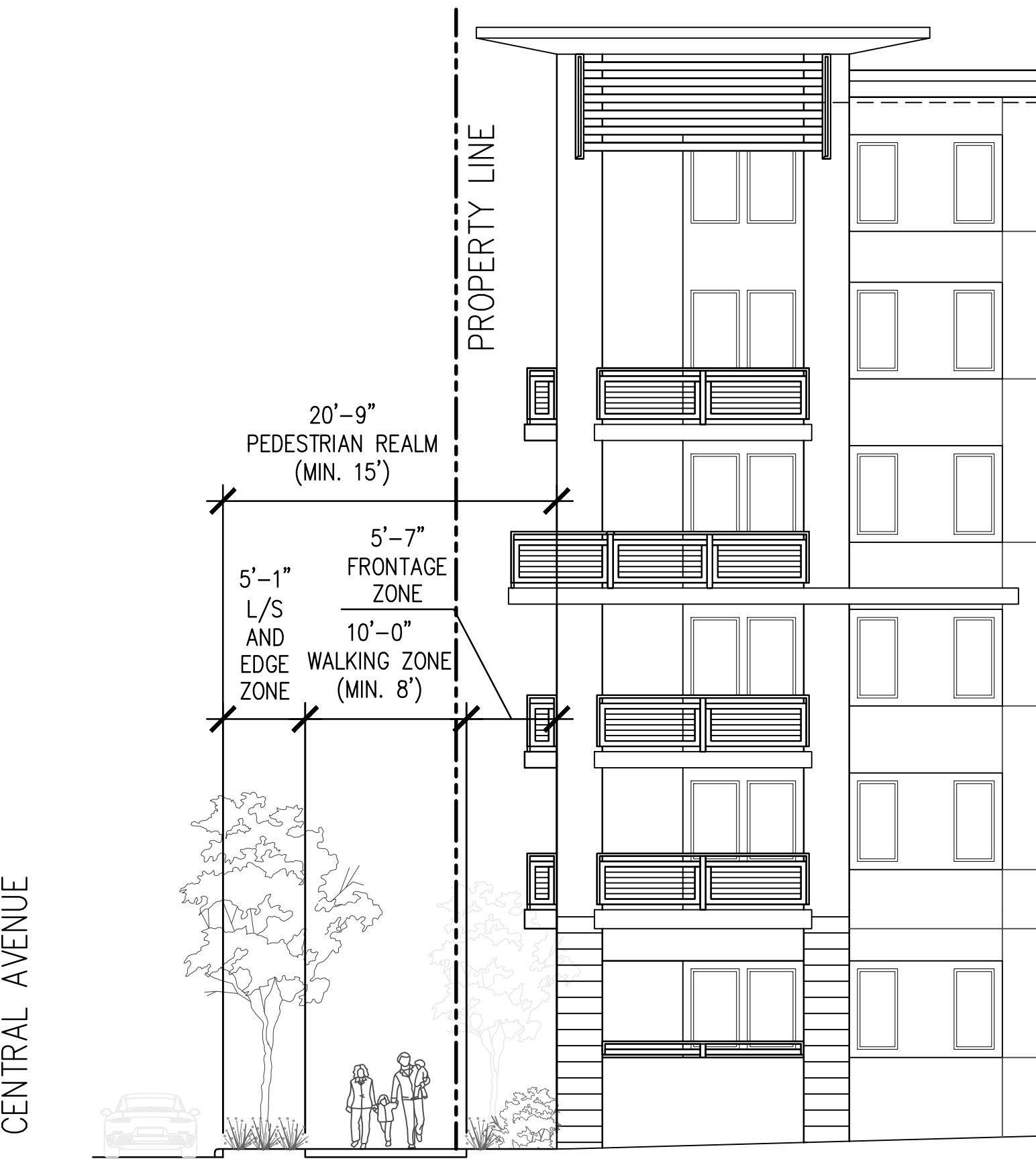
**4 WEST ELEVATION**  
SCALE: 1/16" = 1'-0"

DATE: NOVEMBER 15, 2017 ORB # 16-213

# A3.41

EXTERIOR ELEVATIONS

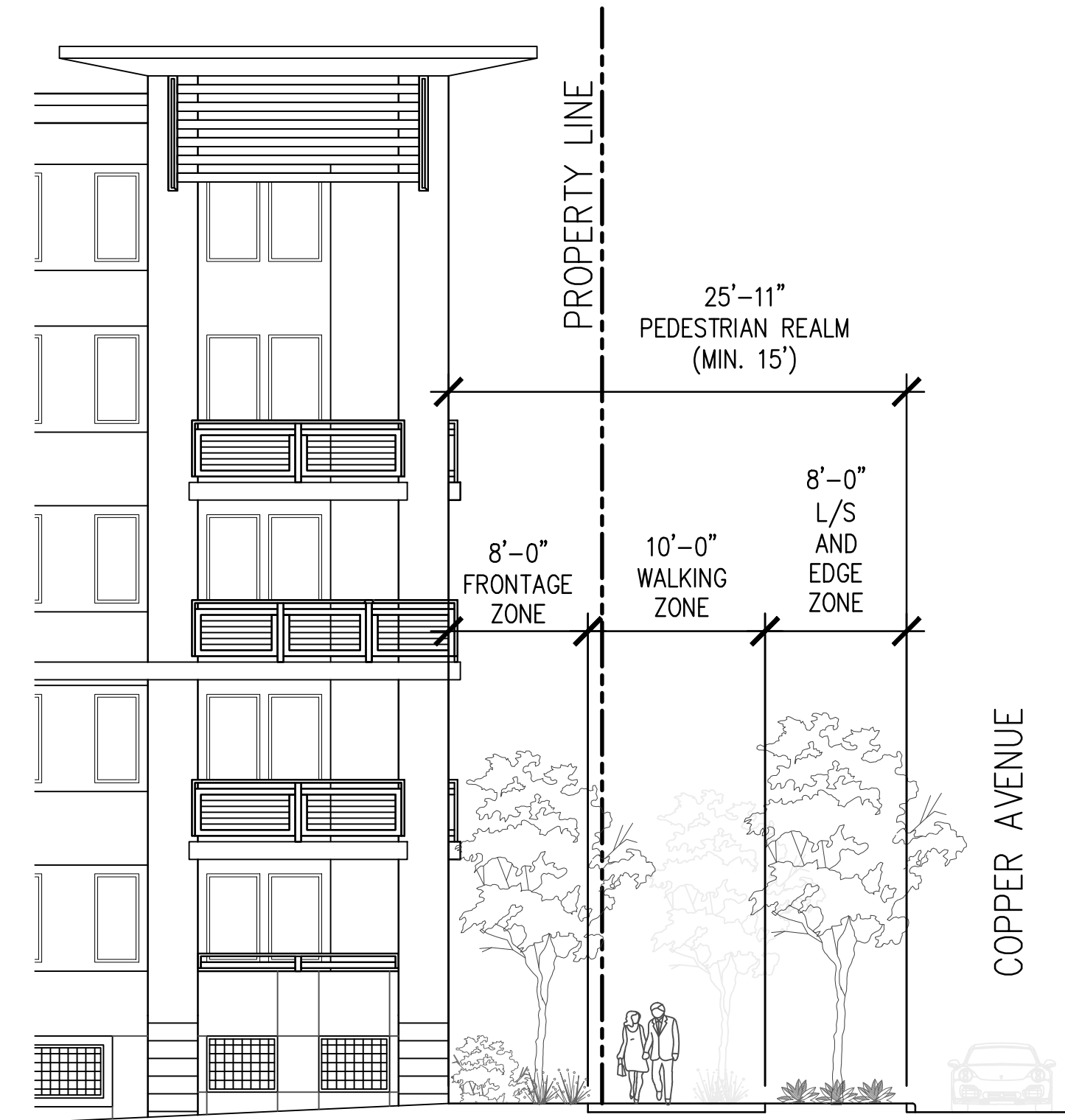




1 **CENTRAL AVENUE SECTION**  
 SCALE: 1/8" = 1'-0"



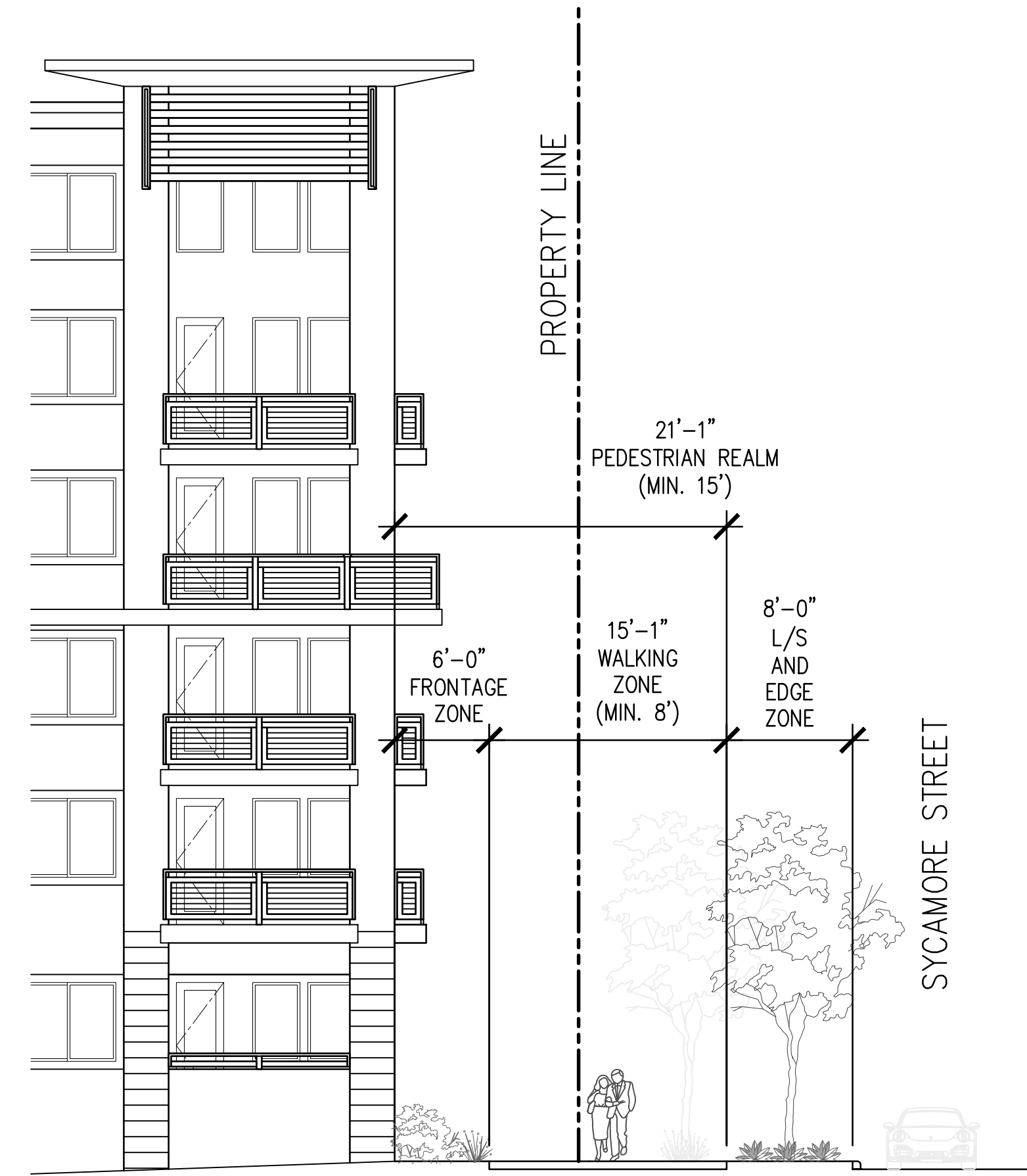
**CENTRAL AVENUE - CONCEPTUAL SKETCH**  
 NOT TO SCALE



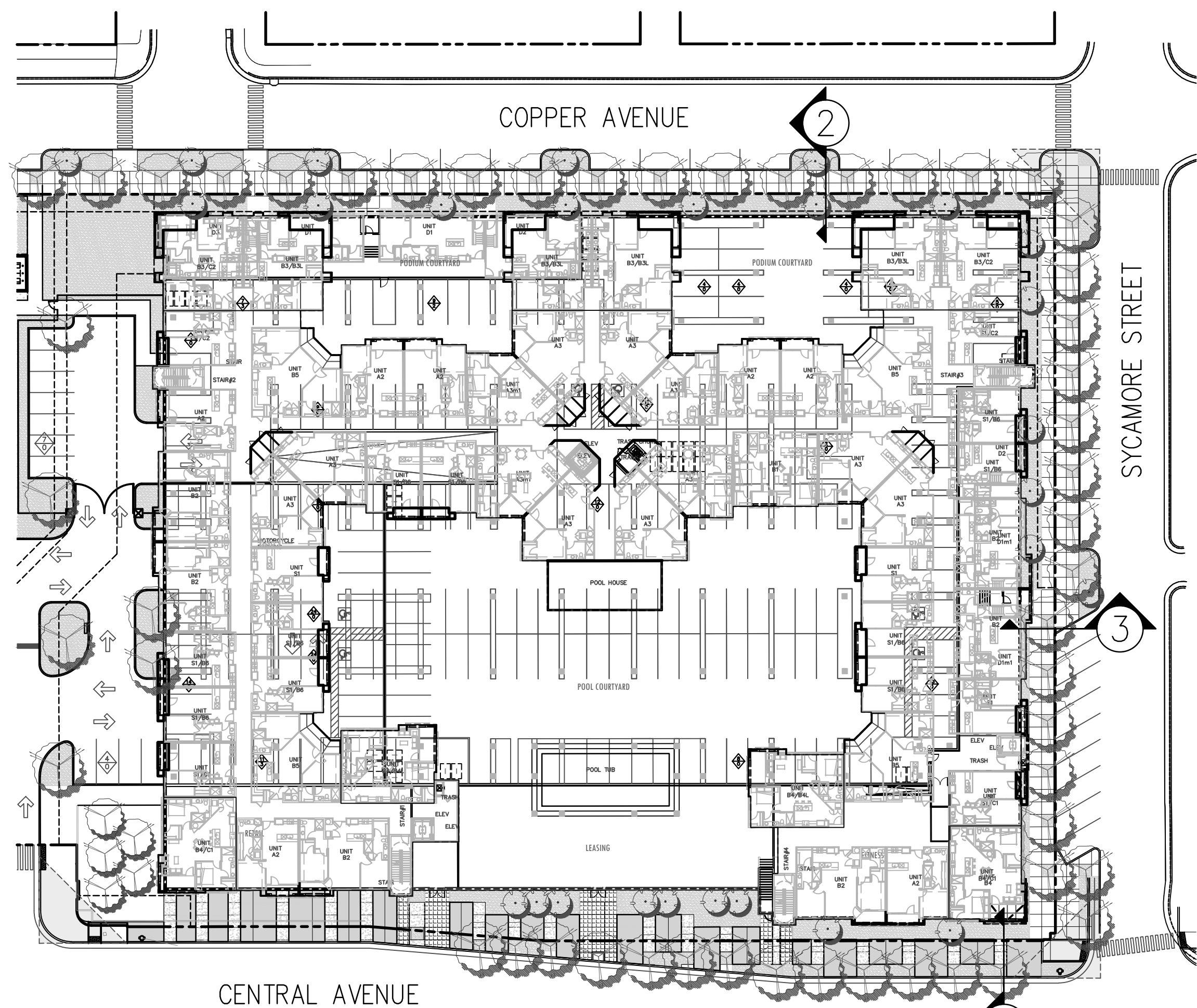
2 **COPPER AVENUE SECTION**  
 SCALE: 1/8" = 1'-0"



**COPPER AVENUE - CONCEPTUAL SKETCH**  
 NOT TO SCALE



3 **SYCAMORE STREET SECTION**  
 SCALE: 1/8" = 1'-0"



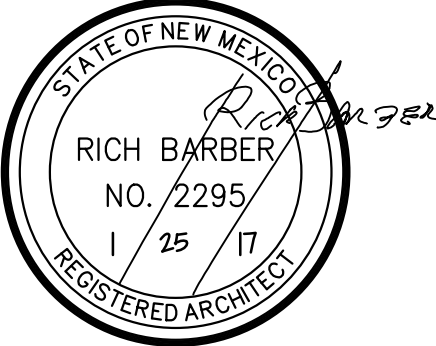
**KEY MAP**  
 SCALE: 1" = 40'-0"

# BROADSTONE EAST-BLOCK

NEC EAST CENTRAL AVE AND SPRUCE ST NE ALBUQUERQUE, NEW MEXICO



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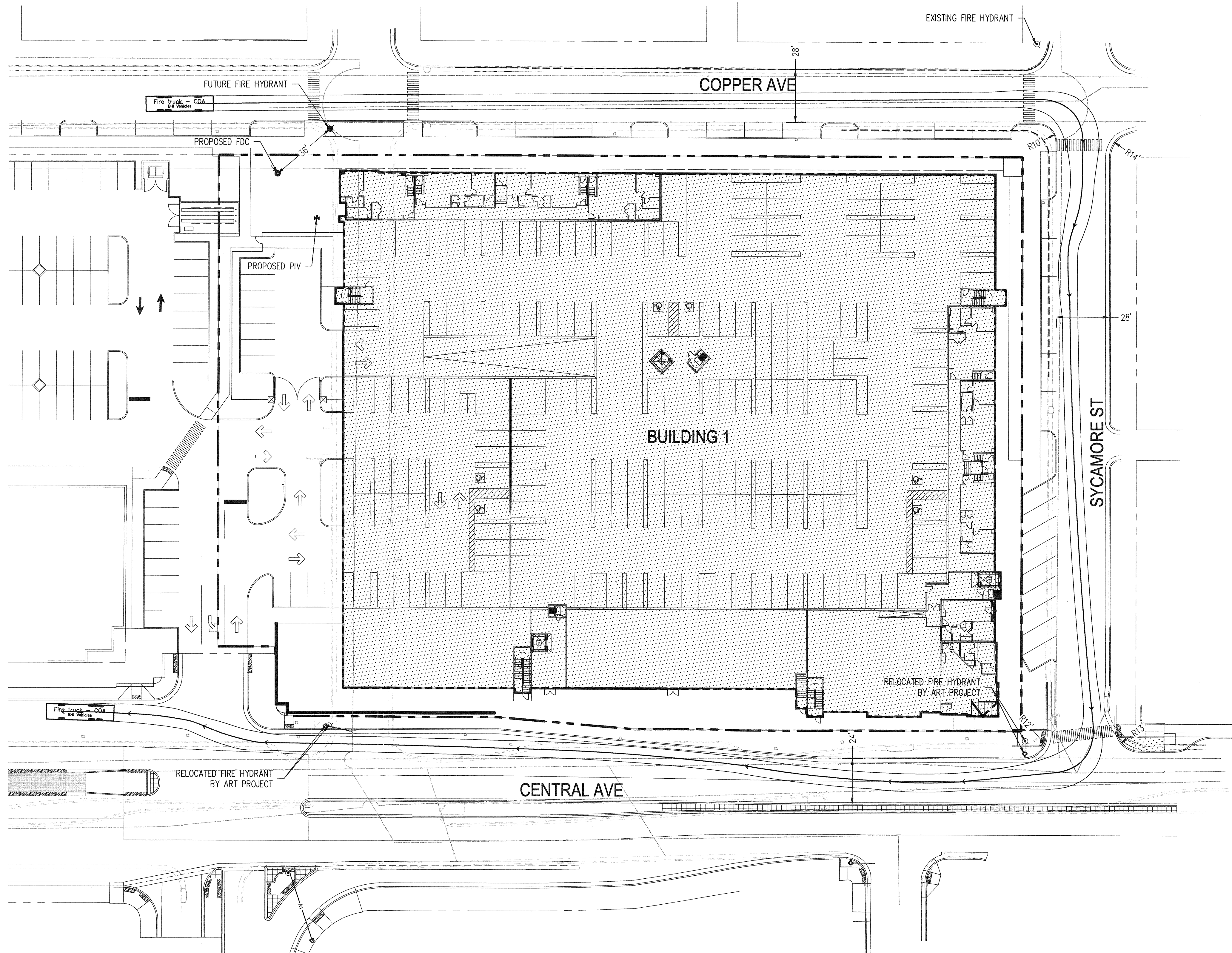
DATE: NOVEMBER 7, 2017 ORB # 16-213

# PED-1

PEDESTRIAN REALM EXHIBIT



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**BUILDING INFORMATION**

LEGAL DESCRIPTION : LOTS A1, A2, 4-12, AND VACATED PORTIONS OF SPRUCE STREET AND ALLEYS OF BLOCK 5 OF THE BROWNELL AND LAIS HIGHLAND ADDITION CONTAINING APPROXIMATELY 2.85 ACRES.

ZONE ATLAS : K-15

\*BUILDING 1 PODIUM PARKING: 165,100 SF  
 LEVEL P1 - 84,688 SF  
 LEVEL P2 - 80,411 SF  
 • CONSTRUCTION TYPE: IA  
 • SPRINKLERED: YES  
 • FIRE FLOW: 2,250 GPM

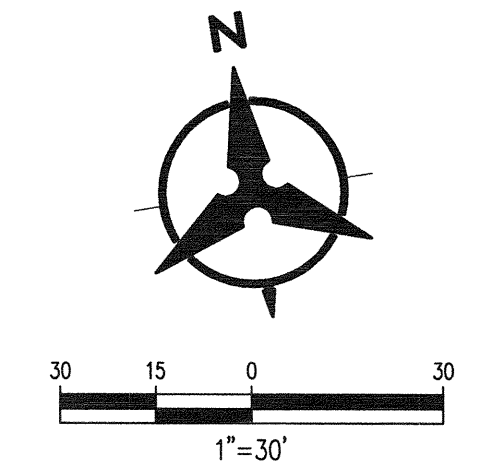
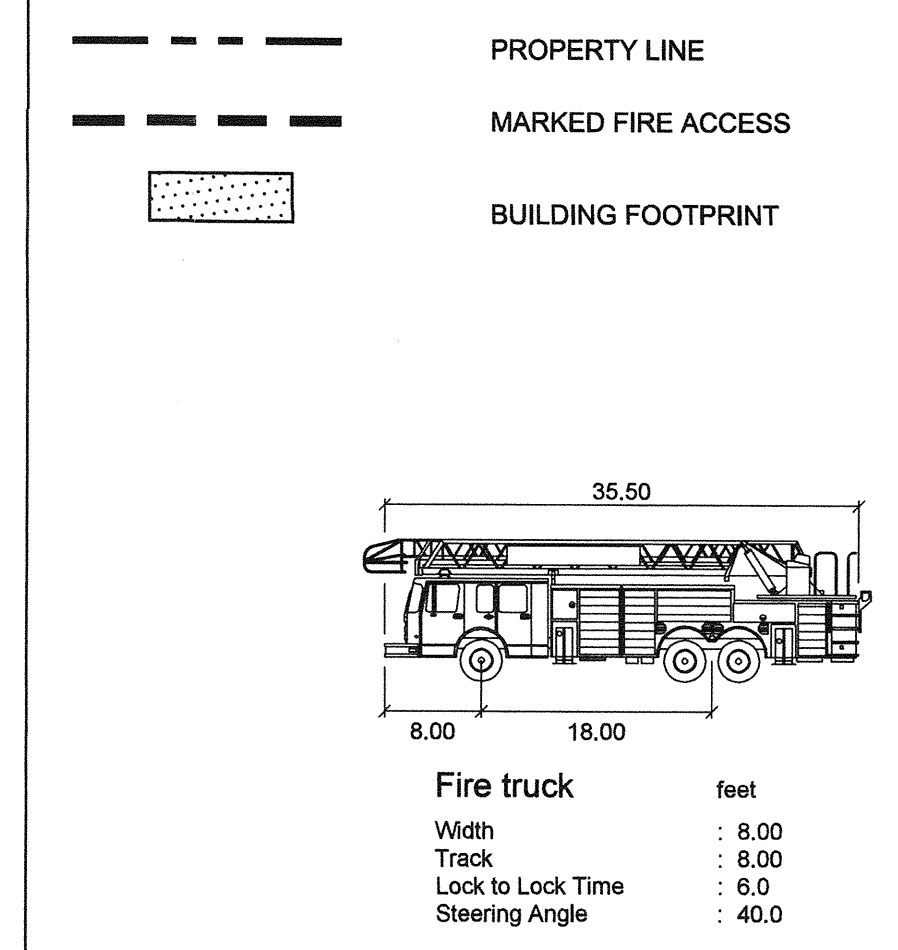
\*BUILDING 1: 245,688 SF  
 LEVEL 1 - 62,112 SF  
 LEVEL 2 - 61,192 SF  
 LEVEL 3 - 61,192 SF  
 LEVEL 4 - 61,192 SF  
 • CONSTRUCTION TYPE: VA  
 • SPRINKLERED: YES  
 • FIRE FLOW: 4,000 GPM

BUILDING HEIGHT: 68'  
 LARGEST FIRE FLOW: 4,000 GPM  
 HYDRANTS REQUIRED: 4

**NOTES**

1. ALL RADII ALONG FIRE LANE SHALL BE 28'.
2. MONUMENT SIGN IDENTIFY BUILDINGS WILL BE PROVIDED AT ADJACENT ROADWAYS.
3. ALL BUILDINGS SHALL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
4. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
5. FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100 FT OF A FIRE HYDRANT.
6. ALL AREAS PAVED INCLUDING FIRE ACCESS.
7. SLOPES WILL NOT EXCEED 10% IN GRADE FOR THE FIRE ACCESS ROAD.
8. ALL BUILDINGS WILL BE SPRINKLERED.
9. MARKED FIRE ACCESS NOT REQUIRED DUE TO LOCATION OF SITE AND ADJACENT STREETS NOT PROVIDING ON-STREET PARKING.
10. STANDPIPE LOCATION TO BE A PART OF DEFERRED SUBMITTAL BY OTHERS.
11. AREA/OCCUPANCY SEPARATION AS REQUIRED BY THE CURRENTLY ENFORCED IBC SHALL BE PROVIDED AS NECESSARY.

**LEGEND**



1368-17  
 HYDRANT AND FIRE ACCESS  
 ALBUQUERQUE FIRE MARSHAL'S OFFICE  
 PLANS CHECKING DIVISION  
 SOF: 245,688 CONSTRUCTION TYPE: VA  
 GPM: 4000 NUMBER OF HYDRANTS: 4  
 APPROVED / DISAPPROVED  
 Zamatawati 3-29-17

**BROADSTONE EAST-BLOCK**  
 NEC EAST CENTRAL AVE AND SPRUCE ST  
 ALBUQUERQUE, NEW MEXICO



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**REVISIONS**

- ① \_\_\_\_\_
- ② \_\_\_\_\_
- ③ \_\_\_\_\_
- ④ \_\_\_\_\_
- ⑤ \_\_\_\_\_
- ⑥ \_\_\_\_\_

DATE: NOVEMBER 09, 2016 ORB # 16-213

**F1.00**

**FIRE ONE PLAN**



# 1011115\_18DRB-70006\_Site\_Plan\_Approved\_2-14-18\_Sheet\_1

Final Audit Report

2022-06-14

Created:	2022-06-02
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAsyhlaVHffZIUzTwwN_v55IAbnGnF3pTY

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-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
2022-06-02 - 10:17:57 PM GMT
-  Document emailed to Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov) for signature  
2022-06-02 - 10:19:44 PM GMT
-  Document emailed to Ernest Armijo (eamijo@cabq.gov) for signature  
2022-06-02 - 10:19:44 PM GMT
-  Email viewed by Ernest Armijo (eamijo@cabq.gov)  
2022-06-02 - 10:20:46 PM GMT
-  Document e-signed by Ernest Armijo (eamijo@cabq.gov)  
Signature Date: 2022-06-02 - 10:20:58 PM GMT - Time Source: server
-  Email viewed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)  
2022-06-14 - 7:24:51 PM GMT
-  Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)  
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