

HIGH MESA Consulting Group

Engineers, Surveyors & Subsurface Utility Consultants

2017.014.2
November 17, 2017

Kym Dicome
Manager Current Planning Section, Acting DRB Chair
Planning Department
Development & Building Services Division
City of Albuquerque
600 Second Street, NW
Albuquerque, NM 87103

RE: Letter Explaining How EPC Conditions Have Been Addressed – Project # 1011354
Request for Final Sign-Off for EPC Approved SDP for Subdivision.
Tracts C & D, Mark3S Holly Development-West

Dear Ms. Dicome:

The subject project was approved at EPC with conditions of approval as identified in the attached Notice of Decision. The conditions have been addressed as follows:

- A) 17 EPC-40033, SDP for Subdivision Amendment
 - 1) Letter explaining modifications – *This is the letter. The site plan has been changed as described by the following.*
 - 2) Meet with Staff Planner to ensure conditions are met – *We met with Catalina Lehner 11/16/2017 to confirm that we have addressed the requirements and can submit to DRB.*
 - 3) Definition of Site Development Plan for Subdivision:
 - A. Setbacks shall be pursuant to the LCSDP. *Note 8 added with reference to the LCSDP.*
 - B. Notes regarding FAR shall be clarified. - *Site Development Plan for Subdivision Notes 5-7 have been added for clarification for FAR.*
 - 4) La Cueva Sector Development Plan (LCSDP):
 - A. Add a note stating that development on the lots shall return to the EPC pursuant to the LCSDP. - *Note 10 added under Site Development Plan for Subdivision notes.*
 - B. Clarify Note 7. The LCSDP design standards shall apply to future development. - *Note 7 was revised to provide clarification and changed to Note 9.*
 - 5) Clarification:
 - A. Label and clearly indicate the proposed lot lines. - *Proposed lot line are now clearly labeled on site plan.*
 - B. Use fade-back for “not a part” portion. - *A fade-back shading was used on “not a part” portion of plan.*
 - C. Add a reference to the related project, Project# 1005237/17EPC-40033 and 17EPC-400034. - *Reference was added to Sheet 1 in Site Development Plan for Subdivision Notes.*

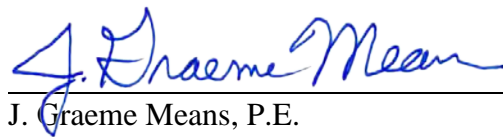
Principals: Charles G. Cala, Jr., P.S. • Juan M. Cala • Joseph M. Solomon, Jr., P.S. • J. Graeme Means, P.E. • Joseph E. Gonzales
In Memoriam: Jeffrey G. Mortensen, P.E.

- 6) The following conditions from Transportation Staff shall be met:
 - A. Infrastructure and/or ROW dedications may be required at DRB. - *Noted and understood.*
 - B. All work within the public ROW must be constructed under a COA Work Order. - *Noted and understood.*
 - C. Curb, gutter, sidewalk and roadway section improvements will be required at DRB. - *Noted and understood.*
- 7) The following conditions from PNM shall be met:
 - A. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements. Existing PNM overhead distribution facilities are located on north side of the property. - *Noted and understood.*
 - B. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project. - *Noted and understood.*
 - C. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair specifications. - *Noted and understood.*

Please let us know if you have any questions or comments. If we can be of further assistance or provide additional information, please do not hesitate to call.

Sincerely,

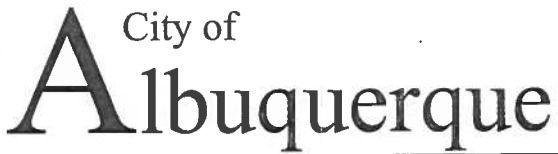
HIGH MESA CONSULTING GROUP



J. Graeme Means, P.E.
Principal

GM:RJC
Enclosures

xc: Mark 3S w/encl



DEVELOPMENT/ PLAN REVIEW APPLICATION

Updated 4/16/15

Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
Minor subdivision action
Vacation
Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
for Building Permit
Administrative Amendment (AA)
Administrative Approval (DRT, URT, etc.)
IP Master Development Plan
Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
Adoption of Rank 2 or 3 Plan or similar
Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): High Mesa Consulting Group PHONE 505-345-4250

ADDRESS: 6010-B Midway Park Blvd NE FAX:

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: gmeans@highmesacg.com

APPLICANT: Mark S; Inc. PHONE:

ADDRESS: 6501 Wyoming Blvd NE, UNIT G FAX:

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: hemalepaarugroup.com

Proprietary interest in site: Owner List all owners:

DESCRIPTION OF REQUEST: DRB Final Signoff of EPC Approved SDP For Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 6, Lot 7, and a portion of Lot 8 Block: 20 Unit: N/A

Subdiv/Addn/TBKA: North Albuquerque Acres, Tract 3, Unit 3

Existing Zoning: SU-2 Proposed zoning: No Change MRGCD Map No N/A

Zone Atlas page(s): C-20 UPC Code: 102006435503740127

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.):

Project # 1011354 17 EPC - 40034

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO

No. of existing lots: 3 No. of proposed lots: 2 Total site area (acres): 1.98

LOCATION OF PROPERTY BY STREETS: On or Near: Holly Ave NE

Between: Ventura Street and Halbrook

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team (PRT) Review Date: 5-16-17

SIGNATURE DATE 11-20-17

(Print Name) J. Graeme Means Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

Table with 4 columns: INTERNAL ROUTING, Application case numbers, Action, S.F., Fees. Includes rows for checklist completion, fee collection, AGIS copy, case history, and F.H.D.P. density bonus.

Hearing date December 6, 2017

Staff signature & Date

Project # 1011354

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

(DRB17)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)

Maximum Size: 24" x 36"

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)

Maximum Size: 24" x 36"

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

J. Graeme Means
 Applicant name (print)
JG Means 11/20/17
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 17DRB - 20323

[Signature] 11-20-17
 Planner signature / date
 Project # 1011354

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

Category Code **910**
2017 070 323

11/20/2017 Issued By: E08375 363093

Application Number: 17DRB-70323, Epc Approved Sdp For Subdivision

Address:

Location Description: HOLLY AVE NE BETWEEN VENTURA ST AND HOLBROOK

Project Number: 1011354

Applicant

MARK 35 INC

6501 WYOMING BLVD NE UNIT G
ALBUQUERQUE NM 87109

Agent / Contact

HIGH MESA CONSULTING GROUP
GRAEME MEANS
6010-B MIDWAY PARK BLVD NE
ALBUQUERQUE NM 87109
505-345-4250
GMEANS@HIGHMESACG.COM

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions

TOTAL: \$20.00

City of Albuquerque Treasury
Date: 11/20/2017 Office: ANNEX
Stat ID: Cashier: E339083
Batch: 8696 Trans #: 29
Permit: 2017070323
Receipt Num 00462686
Payment Total: \$20.00
0901 Conflict Mgmts. Fee
Check Tendered : \$20.00

HIGH MESA Consulting Group

Engineers, Surveyors & Subsurface Utility Consultants

2017.014.2
November 17, 2017

Kym Dicome
Manager Current Planning Section and Acting DRB Chair
Planning Department
Development & Building Services Division
City of Albuquerque
600 Second Street, NW
Albuquerque, NM 87103

RE: Request for Final Sign-Off for EPC Approved SDP for Subdivision.
Tracts C and D, Mark3S Holly Development
Project # 1011354

Dear Ms. Dicome:

Transmitted are the following items associated with the subject request:

- Development/Plan Application and Supplemental Form P(3) along with related fees
- Site Plan for Subdivision
- Conceptual Grading Plan Submittal
- Zone Atlas map C-20 with the site clearly outlined
- Letter Briefly Describing, Explaining and Justifying the Request (Incorporated Within this Letter)
- Copy of EPC Notification of Decision
- Letter Explaining How EPC Comments Have Been Addressed

Upon acceptance of this submittal, please transmit an e-mail link to gmeans@highmesacg.com, so we can upload the information into e-plan. The proposed Site Plan Amendment supports a lot line reconfiguration for undeveloped properties to facilitate new development and marketing.

The site will be served by existing public water, sanitary sewer and storm drain facilities in Holly Ave N.E. constructed by previous projects. The last remaining temporary section of Holly will be paved with permanent pavement and curb and gutter by this project.

Any proposed development on these tracts will be required to come back to EPC with a request for Site Development Plan for Building Permit. This Site Plan is related to another recently approved Site Plan for Subdivision (Project # 1005237, 17EPC-40033 that will share the same platting action.

2017.014.2

Principals: Charles G. Cala, Jr., P.S. • Juan M. Cala • Joseph M. Solomon, Jr., P.S. • J. Graeme Means, P.E. • Joseph E. Gonzales
In Memoriam: Jeffrey G. Mortensen, P.E.

November 17, 2017

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Please schedule this matter for the next Appropriate DRB Hearing. If we can be of further assistance or provide additional information, please do not hesitate to call.

Sincerely,

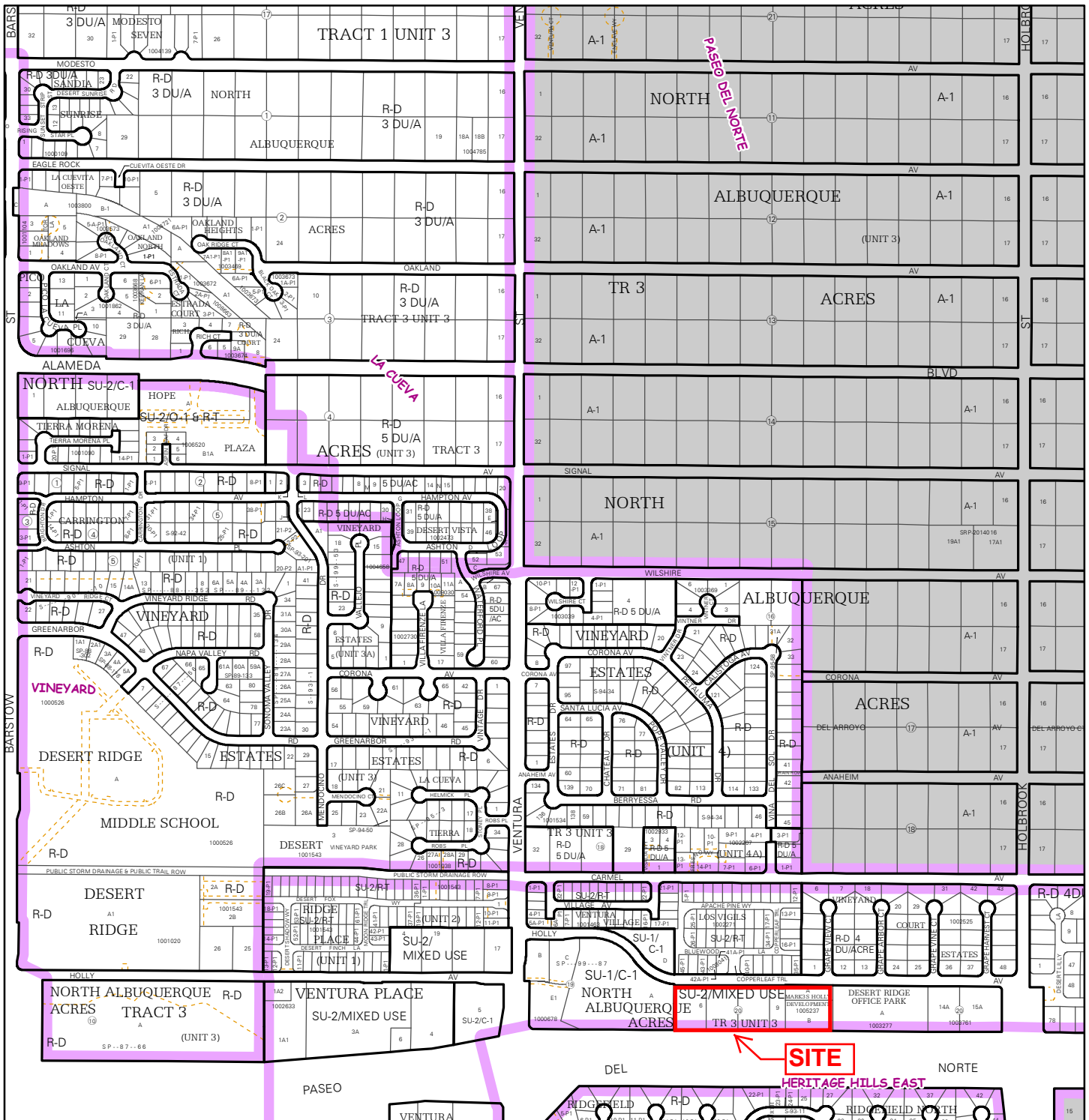
HIGH MESA CONSULTING GROUP



J. Graeme Means, P.E.
Principal

GM:*
Enclosures

xc: Mark 3S w/encl



For more current information and details visit: <http://www.cabq.gov/gis>

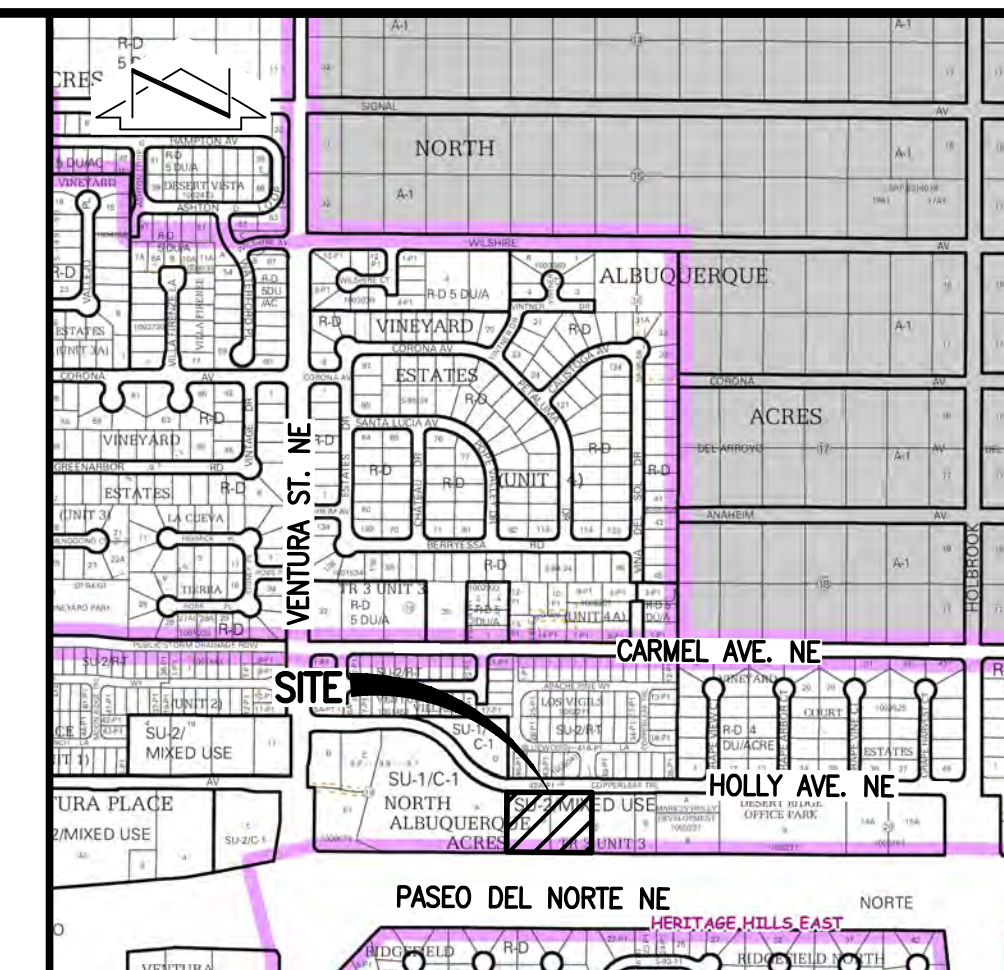
Map amended through: 1/28/2016

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-20-Z

Selected Symbols

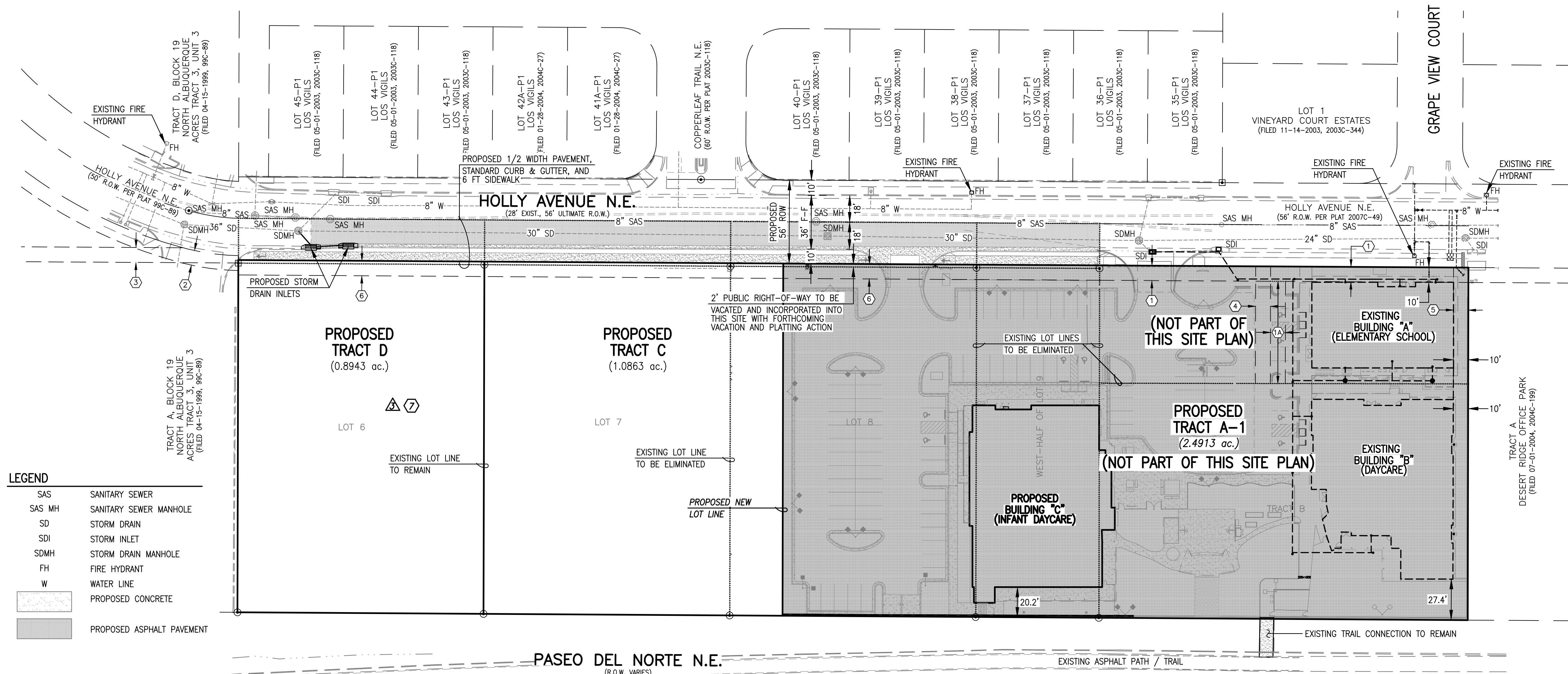
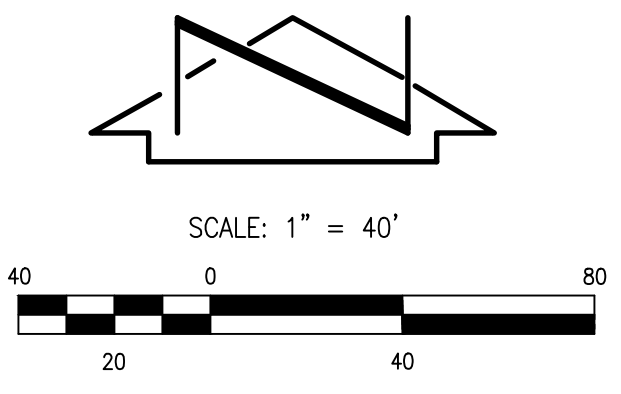
- SECTOR PLANS
- Escarpment
- Design Overlay Zones
- 2 Mile Airport Zone
- City Historic Zones
- Airport Noise Contours
- H-1 Buffer Zone
- Wall Overlay Zone
- Petroglyph Mon.



VICINITY MAP
SCALE: 1" = 750'

ZONING
SU-2 / MIXED USE

LEGAL DESCRIPTION
LOTS 6, 7, AND A PORTION OF LOT 8, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 FILED ON 09-10-1931, PLAT BOOK D, PAGE 121.



LEGEND

SAS	SANITARY SEWER
SAS MH	SANITARY SEWER MANHOLE
SD	STORM DRAIN
SDI	STORM INLET
SDMH	STORM DRAIN MANHOLE
FH	FIRE HYDRANT
W	WATER LINE
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED ASPHALT PAVEMENT

- △ SITE DEVELOPMENT PLAN FOR SUBDIVISION NOTES**
- THE SITE INCLUDES PROPOSED TRACTS C AND D. TRACT A-1 IS NOT PART OF THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION.
 - PROPOSED USES TO BE CONSISTENT WITH LA CUEVA SECTOR DEVELOPMENT PLAN (SU-2/MIXED USE)
 - INTERNAL CIRCULATION WILL BE DEPICTED BY A REQUIRED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 - MAXIMUM HEIGHT REQUIREMENTS OF THE 0-1 ZONE APPLY EXCEPT THAT THE MAXIMUM BUILDING HEIGHT IS 36 FT PURSUANT TO THE LCSDP
 - MINIMUM FAR IS 0.3 FOR RESIDENTIAL TYPE USES SUCH AS NURSING OR REST HOME PURSUANT TO THE C-1 ZONE
 - MINIMUM FAR IS 0.25 FOR RESIDENTIAL DWELLING UNITS PURSUANT TO THE LCSDP
 - COMMERCIAL FAR IS UNREGULATED
 - MINIMUM SETBACK ARE AS DEFINED IN THE C-1 ZONE PURSUANT TO THE LCSDP WITH THE MAXIMUM SETBACK FROM HOLLY AVENUE BEING 30 FT PURSUANT TO THE LCSDP
 - THE LCSDP DESIGN STANDARDS SHALL APPLY TO FUTURE DEVELOPMENT
 - DEVELOPMENT ON THE TRACTS SHALL RETURN TO THE EPC PURSUANT TO THE LCSDP

PROJECT NUMBER: 1011354
APPLICATION NUMBER: 17 EPC-40034

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

- △ KEYED EASEMENT NOTES**
- EASEMENTS - EXISTING
- 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2007C-49
 - 10' PUBLIC ACCESS AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-89
 - 10' PNM OVERHEAD EASEMENT GRANTED BY PLAT 99C-89
 - 10' PRIVATE SANITARY SEWER EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)
 - 10' PRIVATE WATER LINE EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)
- EASEMENT - PROPOSED
- 10' PUBLIC UTILITY EASEMENT GRANTED BY FORTHCOMING PLATTING ACTION
 - 7 A NON-SPECIFIC PRIVATE DRAINAGE EASEMENT ACROSS TRACT 'D' GRANTED FOR THE PURPOSE OF CONVEYING UNDEVELOPED RUNOFF FROM TRACT 'C' TO HOLLY AVE. N.E. THIS EASEMENT SHALL BE MAINTAINED BY THE OWNER OF TRACT 'D'.

△ SITE DEVELOPMENT PLAN FOR SUBDIVISION NOTES

THE PROPOSED SITE DEVELOPMENT PLAN FOR SUBDIVISION IS FOR PROPOSED TRACTS C AND D. THIS IS A STAND-ALONE SITE DEVELOPMENT PLAN FOR SUBDIVISION AND PROPOSED TRACT A-1 IS NOT PART OF THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION. REFER TO SITE DEVELOPMENT PLANS FOR SUBDIVISION AND BUILDING PERMIT FOR MARK 3S HOLLY DEVELOPMENT (2017 AMENDMENTS) FOR TRACT A-1. (PROJECT #1005237/17 EPC-40033 AND 17 EPC-40032)

FUTURE DEVELOPMENT ON TRACTS C AND D WILL BE IN ACCORDANCE WITH THE LA CUEVA SECTOR DEVELOPMENT PLAN AND WILL REQUIRE SITE DEVELOPMENT PLAN(S) FOR BUILDING PERMIT THROUGH THE EPC AND DRB PROCESS UNLESS CURRENT REGULATIONS CHANGE. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED AT THAT TIME DEPENDING ON THE NEEDS AND CHARACTER OF THE FUTURE DEVELOPMENT. UNLESS MODIFIED BY AMENDMENT, PROPOSED TRACTS C AND D WILL EACH HAVE SEPARATE VEHICULAR AND PEDESTRIAN ACCESS CONNECTIONS TO HOLLY AT LOCATIONS TO BE DETERMINED IN ACCORDANCE WITH DPM SPACING AND REQUIREMENTS OF THE SPECIFIC DEVELOPMENTS. ACCESS BETWEEN TRACT C AND TRACT A-1 TO THE EAST WILL NOT BE ALLOWED AS TRACT A-1 IS PART OF A STAND-ALONE EDUCATIONAL AND DAY CARE CAMPUS. SHARED ACCESS AND CROSS-LOT ACCESS BETWEEN TRACTS C AND D MAY BE ALLOWED, ALONG WITH SHARED ACCESS TO HOLLY, IF THE SITES DEVELOP CONCURRENTLY OR AS PART OF A PLAN THAT MAKES PROVISIONS FOR SHARED ACCESS.

THIS IS AN INFILL PROJECT THAT WILL COVER THE LAST REMAINING UNDEVELOPED PROPERTY ON HOLLY AVENUE NE. THE SITE WILL BE SERVED BY EXISTING PUBLIC WATER, SANITARY SEWER AND STORM DRAIN FACILITIES IN HOLLY AVE N.E. CONSTRUCTED BY PREVIOUS PROJECTS. THE LAST REMAINING TEMPORARY SECTION OF HOLLY WILL BE PAVED WITH PERMANENT PAVEMENT AND CURB AND GUTTER BY THIS PROJECT.

NOTE:
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY PREPARED BY THIS FIRM, NMPS 11184, DATED 01/10/2017 (2016.059.1).
UNLESS OTHERWISE NOTED THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1), ALSO A PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 05/16/2017 (2016.059.2), AND ALSO A TOPOGRAPHIC SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 10/24/2006 (2006.070.1), AND ALSO THE RECORD DRAWINGS PREPARED BY THIS FIRM, NMPE 13676, DATED 09/27/2007 (2006.070.9).

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	SITE PLAN FOR SUBDIVISION
△ 2	CONCEPTUAL GRADING PLAN

8/2/2017
V2 8/24/17
V3 11/16/17

DESIGNED BY	R.J.C.	NO.	8/17	DATE	G.M.	BY	G.M.	REVISIONS	STAFF INITIAL REVIEW COMMENTS	JOB NO.	2017.014.1
DRAWN BY	J.Y.R./T.N.T.	NO.	9/17	DATE	G.M.	BY	G.M.	REVISIONS	REVIEW COMMENTS	DATE	08-2017
APPROVED BY	G.M.	NO.	11/17	DATE	G.M.	BY	G.M.	REVISIONS	ADDRESS EPC COMMENTS	SHEET	1 OF 2

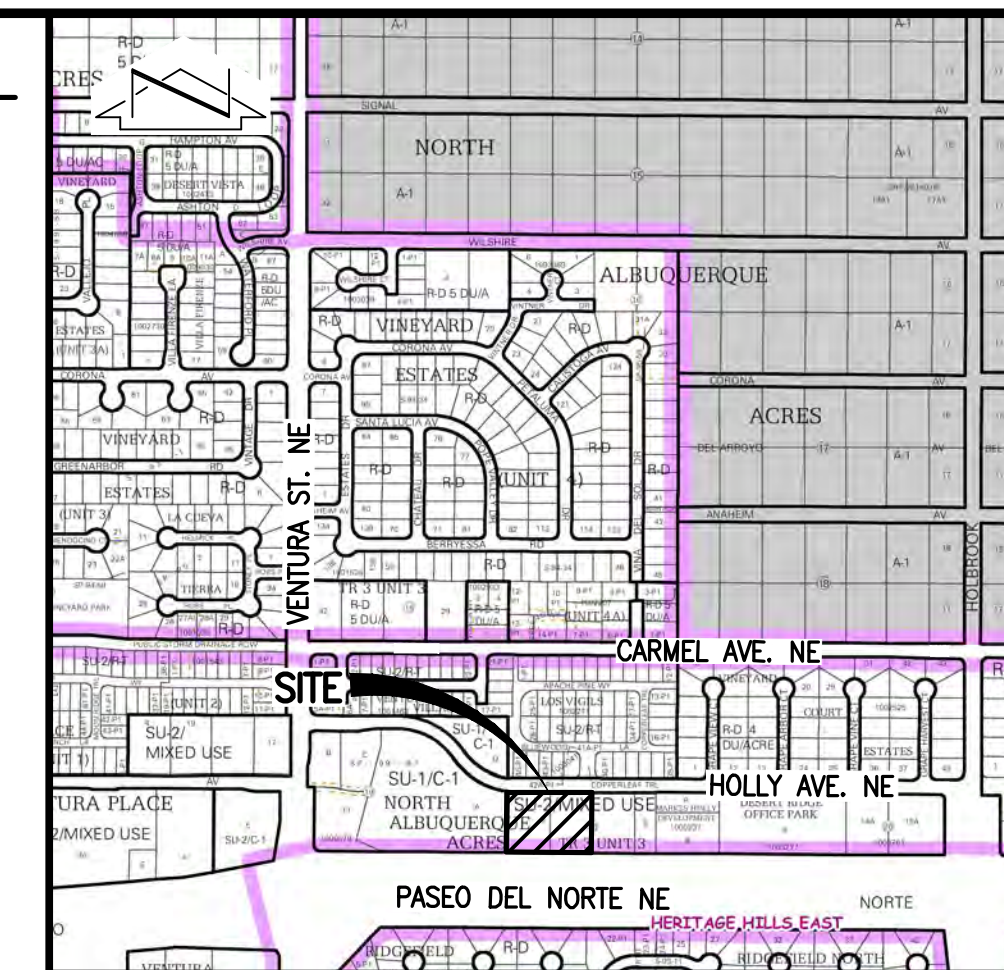
File Path: P:\WORK\2017\2017.014.1\1011354.dwg | Plot Date: 11-16-2017 10:48 am
File Name: 170141_SHT-WEST-R3.DWG | Plot Time: 10:48 am

HIGH MESA Consulting Group
Engineers, Surveyors & Subcontractors Utility Consultants
8010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesag.com

**SITE DEVELOPMENT PLAN FOR SUBDIVISION
MARK 3S HOLLY DEVELOPMENT - WEST**

LEGEND

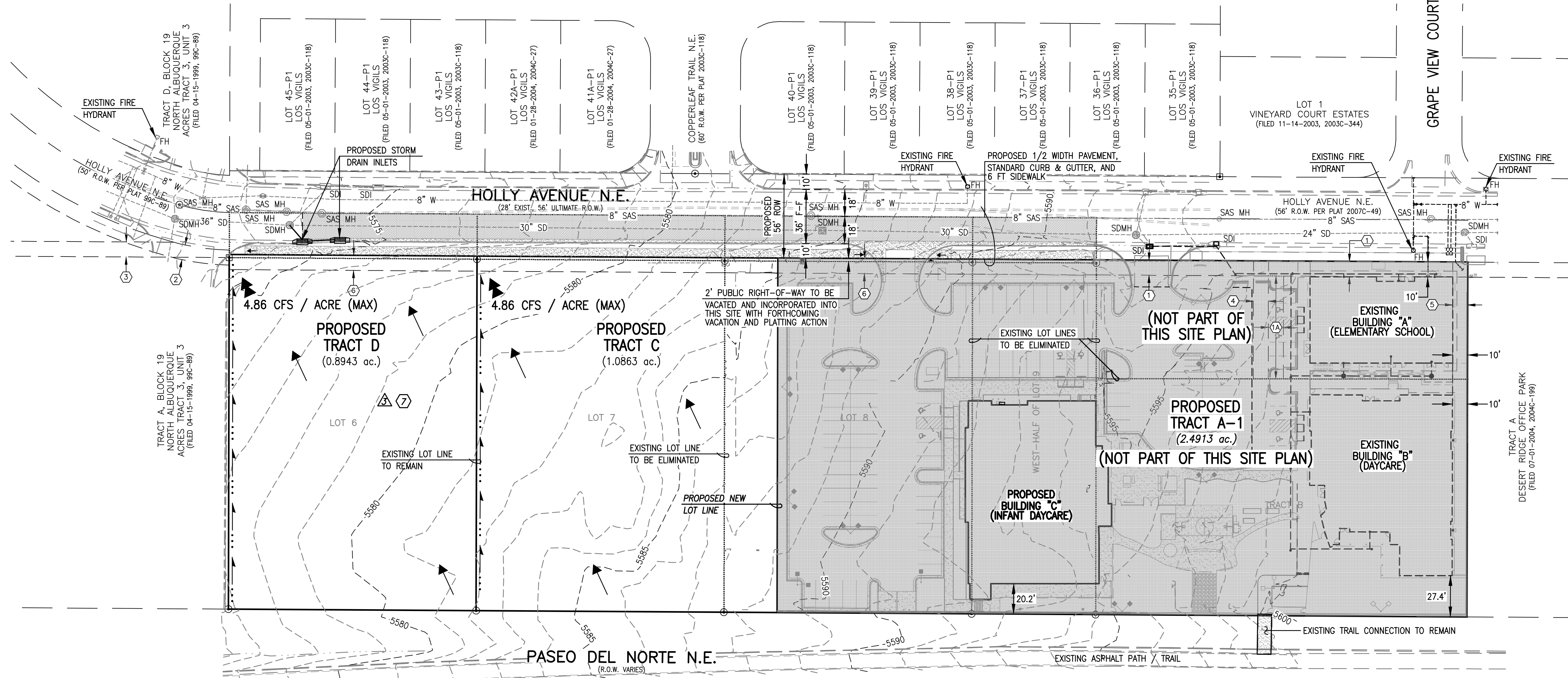
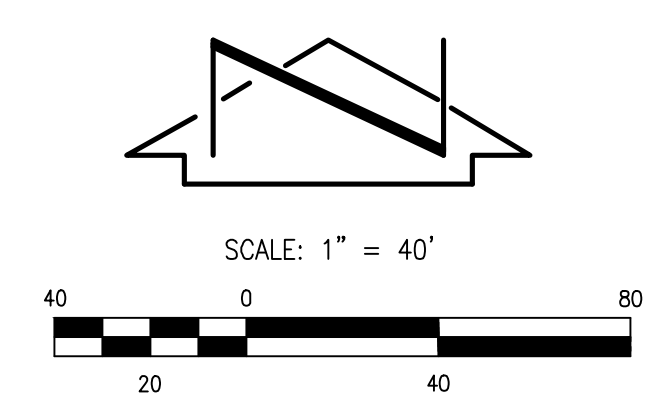
SAS	SANITARY SEWER
SAS MH	SANITARY SEWER MANHOLE
SD	STORM DRAIN
SDI	STORM INLET
SDMH	STORM DRAIN MANHOLE
FH	FIRE HYDRANT
W	WATER LINE
←	DIRECTION OF FLOW
→	FLOWLINE
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED ASPHALT PAVEMENT



VICINITY MAP
SCALE: 1" = 750'
C-20

ZONING
SU-2 / MIXED USE

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LOTS 6, 7, AND A PORTION OF LOT 8, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 FILED ON 09-10-1931, PLAT BOOK D, PAGE 121.



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- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2007C-49
 - ①A PORTION OF ① TO BE VACATED BY FORTHCOMING ACTION
 - ② 10' PUBLIC ACCESS AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-89
 - ③ 10' PNM OVERHEAD EASEMENT GRANTED BY PLAT 99C-89
 - ④ 10' PRIVATE SANITARY SEWER EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)
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 - ⑦ A NON-SPECIFIC PRIVATE DRAINAGE EASEMENT ACROSS TRACT 'D' GRANTED FOR THE PURPOSE OF CONVEYING UNDEVELOPED RUNOFF FROM TRACT 'C' TO HOLLY AVE. N.E. THIS EASEMENT SHALL BE MAINTAINED BY THE OWNER OF TRACT 'D'.

CONCEPTUAL DRAINAGE NARRATIVE

TRACTS C AND D AS SHOWN HEREON ARE BEING REPLACED AS SHOWN. THERE IS NO DEVELOPMENT OR GRADING PLANNED AT THIS TIME. THE SITE DRAINS FROM SOUTHEAST TO NORTHWEST TO HOLLY AVE. N.E. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE WILL BE FREE DISCHARGE TO EXISTING PUBLIC STORM DRAINAGE FACILITIES IN HOLLY THAT WERE DESIGNED, SIZED AND CONSTRUCTED TO ACCEPT 4.68 CFS PER ACRE FROM THIS SITE BASED ON THE FOLLOWING PLANS PREPARED BY THIS OFFICE FOR THIS SITE AND SURROUNDING AREAS:

LOMR FOR NORTH DOMINGO BACA ARROYO CARMEL AVENUE STORM DRAIN EXTENSION (HMG 12/08/2003) APPROVED BY FEMA 03/23/2004.

DRAINAGE REPORT FOR LOS VIGILS SUBDIVISION (HMG 12/31/2002, C20/D41).

GRADING AND DRAINAGE PLAN FOR DESERT RIDGE OFFICE PARK (HMG C20/D51).

DRAINAGE REPORT FOR VINEYARD COURT ESTATES (HMG 08/21/2003)

GRADING AND DRAINAGE PLANS FOR HOLLY MARK 3S DEVELOPMENT (HMG 02/05/2007 AND 05/11/2015).

THE HOLLY STREET FRONTAGE, INCLUDING TWO PLANNED STORM INLETS, WILL BE CONSTRUCTED AT THIS TIME BASED UPON THE PROFILE AND DESIGN CALCULATIONS FOR THE OPPOSITE SIDE OF THE STREET.

WHEN THE SITE DEVELOPS, WATER QUALITY FIRST FLUSH REQUIREMENTS SHALL BE ADDRESSED. NO RETENTION PONDING FOR DISCHARGE CONTROL IS REQUIRED OR PROPOSED BEYOND FIRST FLUSH PROVISIONS.

NOT FOR CONSTRUCTION

NOTE:
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY PREPARED BY THIS FIRM, NMPS 11184, DATED 01/10/2017 (2016.059.1).

UNLESS OTHERWISE NOTED THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1), ALSO A PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 05/16/2017 (2016.059.2), AND ALSO A TOPOGRAPHIC SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 10/24/2006 (2006.070.1), AND ALSO THE RECORD DRAWINGS PREPARED BY THIS FIRM, NMPE 13676, DATED 09/27/2007 (2006.070.9).

J. GRAEME MEANS
NEW MEXICO
13676
REGISTERED PROFESSIONAL ENGINEER
8/2/2017
V2 8/24/17
V3 11/16/17

File Path: P:\MVA\2017\201704\106\MS3\ Plot Date: 11-16-2017
File Name: 170141_S2-WEST-R3.DWG Plot Time: 10:25:00 am

HIGH MESA Consulting Group
Engineers, Surveyors & State Utility Consultants

8010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

CONCEPTUAL GRADING PLAN
MARK 3S HOLLY DEVELOPMENT - WEST

DESIGNED BY: R.J.C.	DRAWN BY: J.Y.R./T.N.T.	APPROVED BY: G.M.	REVISIONS		JOB NO. 2017.014.1		
			NO.	DATE		BY	REVISIONS
			8/17	9/17		11/17	G.M. STAFF INITIAL REVIEW COMMENTS G.M. REVIEW COMMENTS G.M. ADDRESS EPC COMMENTS
					DATE 08-2017		
					SHEET 2 OF 2		



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09 2015)

Project Title: Mark 3S Holly Development - West Building Permit #: _____ City Drainage #: C20/D062
 DRB#: 1011354 EPC#: 17 EPC-40034 Work Order#: _____
 Legal Description: Lots 6,7,Part of 8, Block 20, North Albuquerque Acres
 City Address: 9300 Holly Ave NE Albuquerque, NM 87122

Engineering Firm: High Mesa Consulting Group Contact: J. Graeme Means #13676
 Address: 6010 - B Midway Park Blvd. NE, Albuquerque NM 87109
 Phone#: (505) 345-4250 Fax#: (505) 345-4254 E-mail: gmeans@highmesacg.com

Owner: Mark 3S Inc. Contact: Hemal Patel
 Address: 6501 Wyoming Blvd NE, Unit G, Albuquerque, NM 87119
 Phone#: (505) 220-7587 Fax#: _____ E-mail: hemal@paarugroup.com

Architect: Benjamin Gardner Contact: Benjamin Gardner
 Address: PO Box 40071 Albuquerque NM 87196
 Phone#: (505) 720-6817 Fax#: _____ E-mail: benjaming@dpsdesign.org

Other Contact: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS-NIA)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: 11/20/2017 By: Graeme Means

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

October 13, 2017

Mark 3S, Inc.
6501 Wyoming Blvd NE, #G
Albuquerque, NM 87109

Project# 1011354
17EPC-40034 Site Development Plan for Subdivision

LEGAL DESCRIPTION:

The above action for Lot 6 and Lot 7, and a portion of Lot 8, Block 20, Unit 3, Tract 3, North Albuquerque Acres, zoned SU-2/Mixed Use, located on Holly Ave. NE, between Ventura St. NE, and Holbrook St. NE, containing approximately 2 acres. (C-20)
Staff Planner: Catalina Lehner

On October 12, 2017 the Environmental Planning Commission (EPC) voted to APPROVE Project PO Box 1011354/17EPC-40034, a Site Development Plan for Subdivision, based on the following Findings and subject to the following Conditions of Approval:

FINDINGS:

Albuquerque

1. This is a request for a Site Development Plan for Subdivision for Lot 6 and Lot 7, and a portion of Lot 8, Block 20, Unit 3, Tract 3, North Albuquerque Acres; and Tracts A and B, Mark 3S Holly Development, located on Holly Ave. NE, between Ventura St. and Holbrook St. NE, containing approximately 2 acres.
NM 87103
2. The applicant intends to subdivide the subject site into two lots and provide infrastructure, so that the lots can be sold and developed in the future.
www.cabq.gov
3. At the September 2017 hearing, the EPC approved a related project (Project #1005237/17EPC-400332 and 40033), an amendment to the existing site development plan for subdivision and a site development plan for building permit for Tracts A and B, Mark 3S Holly Development, which are east of the subject site. The proposal will allow for expansion of the existing school campus via creation of a new Tract C on most of Lot 8 and a new building for a daycare facility. The current request is related to Project #1005237 because it contains the remainder of Lot 8.
4. The subject site is zoned SU-2/Mixed Use pursuant to the La Cueva Sector Development Plan (LCSDP). The SU-2/Mixed Use zone references the C-1 zone, with certain exceptions.
5. The design requirements of the LCSDP, the Common Design Regulations for All SU-2 Zoned Properties and RT Development in the RD Zone, will apply to future development on the subject site(s).

OFFICIAL NOTICE OF DECISION

Project #1011354

October 12, 2017

Page 3 of 5

10. The applicant The Vineyard Estates NA, Heritage East Association of Residents, and District 4 Coalition of NAs were notified as required, as were property owners within 100 feet of the subject site. A facilitated meeting was not held. As of this writing, Staff has received three phone calls and one walk-in customer. All inquired about the project but were not opposed. There is no known opposition.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the Staff planner to ensure that all conditions of approval are met.
3. Definition of Site Development Plan for Subdivision:
 - A. Setbacks shall be pursuant to the LCSDP. ✓
 - B. Notes regarding FAR shall be clarified. ✓
4. La Cueva Sector Development Plan (LCSDP):
 - A. Add a note stating that development on the lots shall return to the EPC pursuant to the LCSDP. ✓
 - B. Clarify Note 7. The LCSDP design standards shall apply to future development. ✓
5. Clarification:
 - A. Label and clearly indicate the proposed lot lines. ✓
 - B. Use fade-back for the "not a part" portion. ✓
 - C. Add a reference to the related project, Project #1005237/17EPC-40033 and 17EPC-40034. ✓
6. The following conditions from Transportation Staff shall be met: ✓
 - A. Infrastructure and/or ROW dedications may be required at DRB.
 - B. All work within the public ROW must be constructed under a COA Work Order.
 - C. Curb, gutter, sidewalk and roadway section improvements will be required at DRB.
7. The following conditions from PNM shall be met: ✓
 - A. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those

OFFICIAL NOTICE OF DECISION

Project #1011354

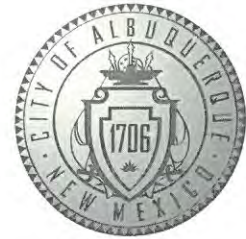
October 12, 2017

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SL/CL

cc: Mark 3S Inc., 6501 Wyoming Blvd NE #G, ABQ, NM 87109
High Mesa Consulting Group, 6010-B Midway Park Blvd NE, ABQ, NM 87109
Heritage East Assoc. of Residents, Karl Benedict, 9415 DeVargas Loop NE, ABQ, NM 87109
Heritage East Assoc. of Residents, Paul Jessen, 9304 San Rafael Ave. NE, ABQ, NM 87109
Vineyard Estates NA, Elizabeth Meek, 8302 Mendocino Dr. NE, ABQ, NM 87122
Vineyard Estates NA, Tony Huffman, 9712 Sand Verbena Trl. NE, ABQ, NM 87122
Dist. 4 Coalition of NAs, Michael Pridham, 6413 Northland Ave NE, ABQ, NM 87109
Dist. 4 Coalition of NAs, Tony Huffman, 9712 Sand Verbena Trl. NE, ABQ, NM 87122

CITY OF ALBUQUERQUE



November 21, 2017

J. Graeme Means, P.E.
High Mesa Consulting Group
6010 B Midway Park Blvd NE
Albuquerque, NM 87109

RE: **Mark 3S Holly Development**
9300 Holly NE
Conceptual Grading and Drainage Plan
Engineer's Stamp Date 11/16/2017 (File: C20D062)

Dear Mr. Means:

Based on the information provided in your submittal received on 11/20/17, this plan is approved for Site Plan for Subdivision.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services