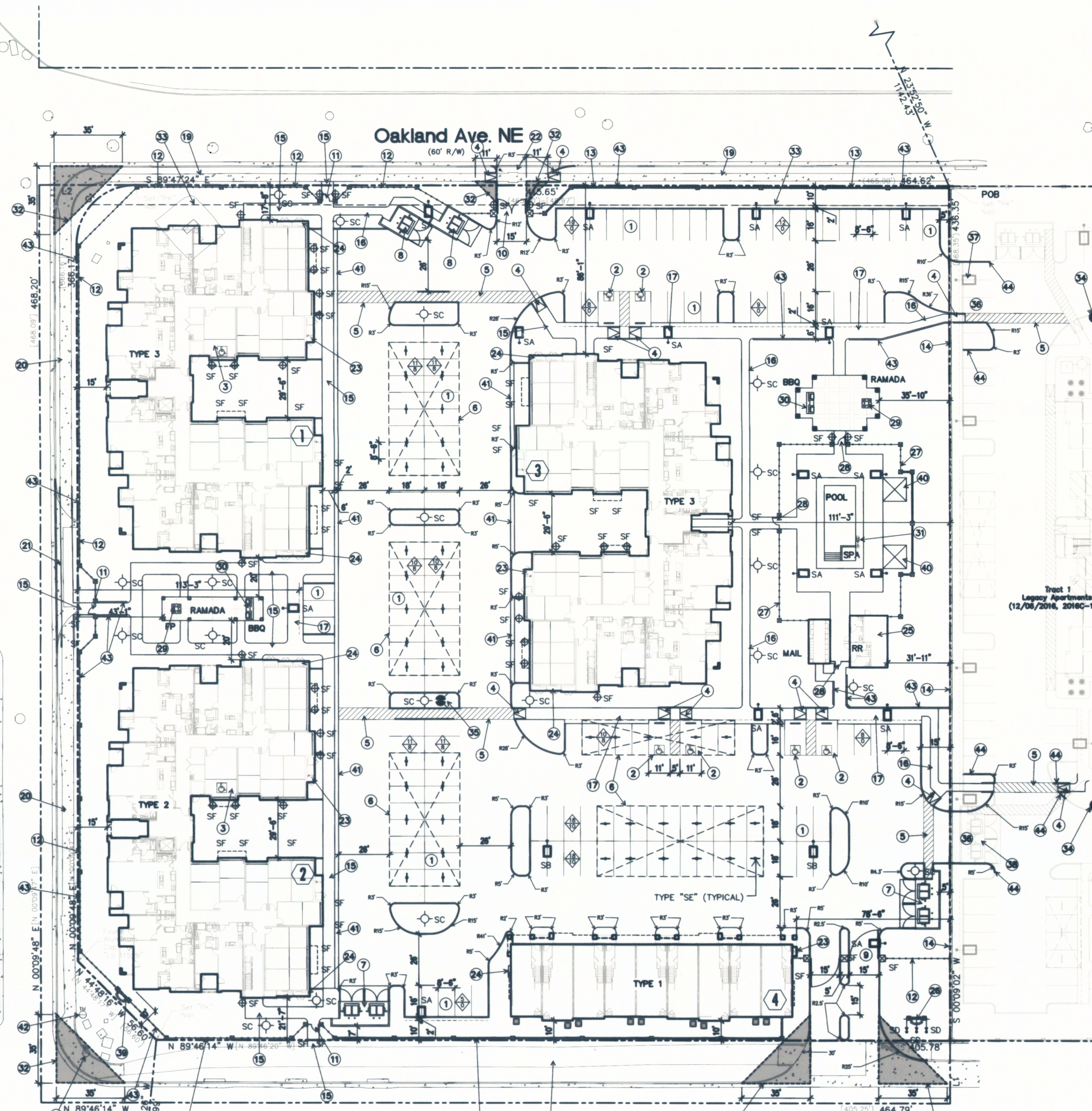
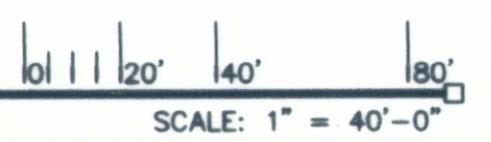


San Pedro Dr. NE (98' R/W)



SITE PLAN FOR BUILDING PERMIT



KEYNOTES

- 8.5'x11' PARKING SPACE WITH 2' OVERHANG, TYPICAL. SEE DETAIL 01/A1.20.
- 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG. SEE DETAIL 05/A1.20.
- ACCESSIBLE GARAGE SPACE.
- ACCESSIBLE CURB RAMP. SEE DETAIL 08/A1.20.
- ACCESSIBLE DRIVEWAY CROSSING WITH SCORED CONCRETE.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE. SEE DETAIL 08/A1.20.
- DOUBLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS. SEE DETAIL 13/A1.20.
- SINGLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS. SEE DETAIL 07/A1.20.
- RESIDENT ONLY REMOTE CONTROL ENTRY VEHICULAR GATE. SEE DETAIL 26/A1.21.
- EXIT ONLY VEHICULAR GATE. SEE DETAIL 44/A1.22.
- PEDESTRIAN ENTRY GATE. SEE DETAIL 23/A1.21.
- WROUGHT IRON PERIMETER NEW FENCE. SEE DETAIL 18 & 19/A1.21.
- CMU/WROUGHT IRON COMBO PERIMETER FENCE. SEE DETAIL 17/A1.21.
- EXISTING CMU RETAINING WALL WITH WROUGHT IRON FENCE ON TOP. REMOVE AT NEW DRIVEWAYS AND SIDEWALK CONNECTIONS TO PHASE 1.
- 4' SIDEWALK CONNECTING TO PUBLIC WAYS AND 6' SIDEWALK, TYPICAL ON SITE.
- 8' SIDEWALK, TYPICAL AT PARKING. SEE DETAIL 09/A1.20.
- EXISTING 10' MULTI-USE ASPHALT TRAIL, 4' FROM STREET. REMOVE AND SIDEWALK TO MATCH EXISTING.
- EXISTING 6' SIDEWALK DETACH 3' FROM STREET CURB AT OAKLAND AVE.
- EXISTING 6' SIDEWALK DETACH 3' FROM STREET CURB AT SAN PEDRO DR.
- REMOVE EXISTING DRIVEWAY AND REPLACE WITH NEW CURB AND SIDEWALK TO MATCH EXISTING.
- NEW CURB CUT DRIVEWAY.
- FIRE RISER LOCATION. SEE BUILDING PLANS, ALL BUILDINGS SHALL HAVE PIV.
- ELECTRIC SERVICE LOCATION.
- POOL EQUIPMENT ROOM.
- MONUMENT SIGN NEXT TO ALAMEDA ENTRY DRIVE. SEE DETAIL 29/A1.21.
- WROUGHT IRON POOL FENCE. SEE DETAIL 18 & 19/A1.21.
- POOL ENTRY GATE. SEE DETAIL 24/A1.21.
- FIRE PIT. SEE DETAIL 32/A1.22.
- 6x6 CHAIRS. SEE DETAIL 38/A1.22.
- POOL LIFT. SEE DETAIL 43/A1.22.
- SIGHT VISIBILITY, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 9 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING 10' PNM EASEMENT (1/13/2017, DOC. NO. 2017003527).
- EXISTING FIRE HYDRANT.
- DRIVEWAY CONNECTION TO EXISTING PHASE 1 PROJECT. REMOVE EXISTING CMU WALL AS NEEDED.
- RELOCATE EXISTING LIGHT POLE.
- REMOVE EXISTING TRASH ENCLOSURE.
- MONUMENT SIGN AT SMC, SEE DETAIL 29/A1.21.
- POOL CABINETS. SEE DETAIL 38/A1.22.
- MOUNTABLE CURB "ESTATE TYPE" PER CITY DETAIL 245A. SEE DETAIL 42/A1.22.
- EXISTING TRAFFIC WALL.
- NEW RETAINING WALL PER GRADING PLANS.
- CONNECT TO EXISTING CURB ON PHASE 1.

PROJECT NUMBER: 1011396
Application Number: 18DRB-70046

Is an Infrastructure List required? (X) Yes () No If yes, then a set of updated DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Roguel M. ...	3/14/18	Date
Traffic Engineering, Transportation Division		
Don Entzgaard	3/14/18	Date
ABCWUA		
Sa ...	3/14/18	Date
Parks and Recreation Department		
...	3/14/18	Date
City Engineer/Hydrology		
...	3/14/18	Date
Code Enforcement		
...	3-16-18	Date
Solid Waste Management		
...	3-19-2018	Date
DRB Chairperson, Planning Department		

DEVELOPMENT DATA

SITE AREA: 4.4876 ACRES (195,479 S.F.)

ZONING: SU-2 FOR HDR

CURRENT: SU-2 FOR HDR

BUILDING HEIGHT: ALLOWED: 39 FEET, PROVIDED: 39 FEET

DENSITY: PROPOSED: 22.06 DU/ACRE

SETBACKS PROVIDED:

GENERAL NOTES:

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
- GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.

SIDE (N)	FRONT (W)	SIDE (S)	REAR (E)
BUILDINGS	17'-8"	15'-0"	10'-0" 31'-11"
PARKING	10'-0"	113'-3"	10'-0" 5'-0"

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED	SF REQ. PER DU	% OF TOTAL SF PROVIDED	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	400	42	16,800	
2 BEDROOM	500	57	20,500	
PROVIDED SITE OPEN SPACE				67,433
PROVIDED BALCONY PRIVATE OPEN SPACE				6,918
TOTAL (excess of 28,791 SF)	99	45,300	74,051	

UNIT MIX	UNIT TYPE													UNITS/BLDG	NO. BLDGS	TOTAL UNITS			
	S1	A1	A2	A2H	A3	B2	B2m	B2H	B4	B5	TB1	TB1m	TB1m2						
LIVABLE STA/GAR	287	728	708	708	708	1,104	1,216	1,108	1,128	1,242	1,288	1,336							
PAT/BAL	60	58	67	67	67	67	67	67	67	67	66	66							
BLDG TYPE 1										5	2	2	8	1	8				
BLDG TYPE 2	4	4	3		3	2	3	1	6	4					30	1	30		
BLDG TYPE 3	4	4	2	1	3	3	3		6	4					30	2	60		
TOTAL	12	12	7	2	9	8	9	1	18	12	5	2	2		4	99			

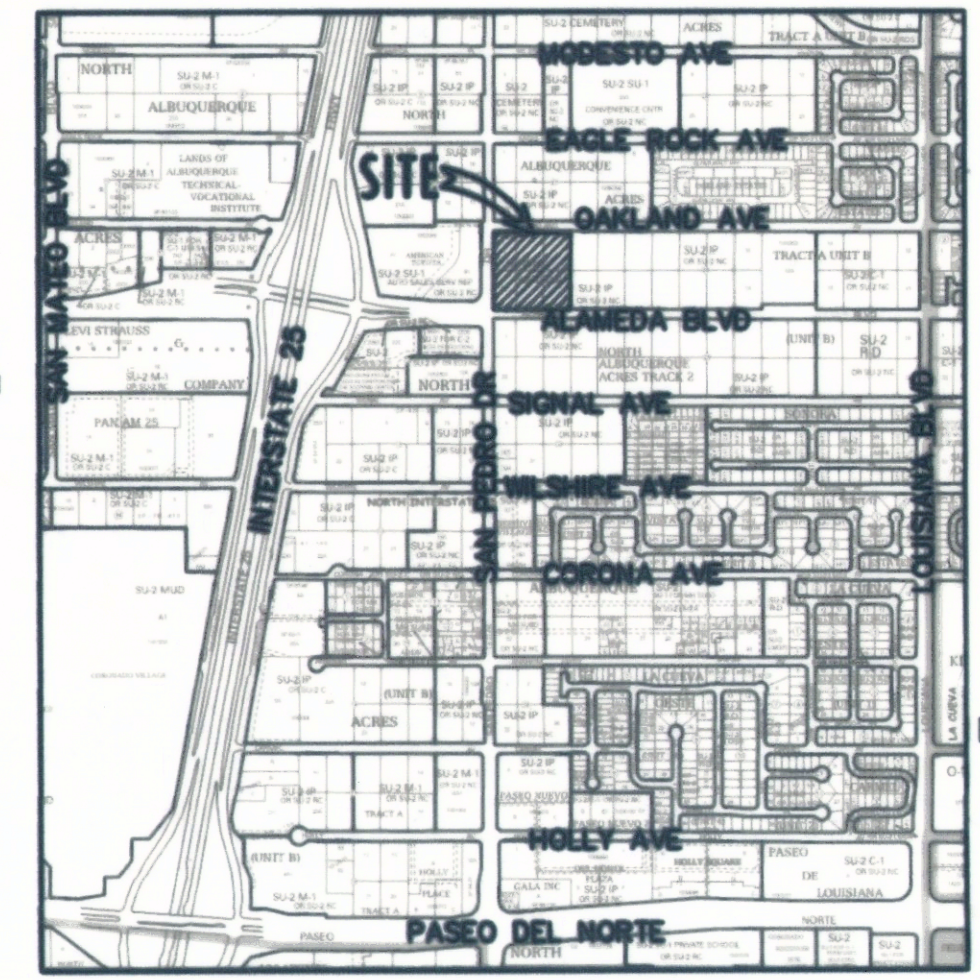
- NOTES:
- ALL UNITS IN BLDGS TYPE 2 & 3 ARE TO MEET ANSII TYPE 'B' UNIT REQUIREMENTS.
 - 2% OF TOTAL UNITS ARE REQUIRED TO MEET ANSII TYPE 'A' (99%:02=1:99 PROVIDED: 3)
 - UNIT IN BLDG TYPE 1 ARE MULTISTORY UNITS AND ARE EXEMPT FROM ANSII REQUIREMENTS.

LEGEND

- PROPERTY LINE
- BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- No. OF PARKING SPACES
- No. OF COVERED SPACES
- ACCESSIBLE PARKING AND ANSII TYPE 'A' DWELLING UNIT
- FIRE HYDRANT

LIGHTING LEGEND

- TYPE 'SA'. 18' TALL POLE LIGHT. TYPE III DISTRIBUTION. FULLY CUT-OFF.
 - TYPE 'SB'. 18' TALL POLE LIGHT. TYPE V DISTRIBUTION. FULLY CUT-OFF.
 - TYPE 'SC'. 7' TALL POLE LIGHT.
 - TYPE 'SD'. WALL MOUNTED SIGN LED LIGHT WITH GLARE SHIELD AND 36" LONG STEM.
 - TYPE 'SE'. CARPORT LIGHT. 4 FT. FLUORESCENT STRIP.
 - TYPE 'SF'. WALL SCONCE AT 6'-6" B.O.F. ADA COMPLIANT.
 - TYPE 'SG'. 18' TALL POLE LIGHT. TYPE III DISTRIBUTION. FULLY CUT-OFF.
- B.O.F. - HEIGHT IS MEASURED FROM BOTTOM OF FIXTURE OR FIXTURE LENS TO ABOVE FINISHED FLOOR.
T.O.F. - HEIGHT MEASURED FROM TOP OF FIXTURE TO ABOVE FINISHED FLOOR.



VICINITY MAP

NOT TO SCALE

PARKING SPACE REQUIREMENTS			
UNIT TYPE	PARKING RATIO REQUIRED	PARKING SPACES	PROVIDED
UNIT S1,A1,A2,A3,A4 < 1,000 SF	42 - 1 BR / 1 BATH	1.5 / 1	63
UNIT B2,B3m,B4,B5,TB1 > 1,000 SF	57 - 2 BR / 2 BATH	2 / 2	114
PHASE 1 PARKING LOST			6
Total Parking Spaces Required			183
OPEN PARKING PROVIDED			86
CARPORT PARKING PROVIDED			76
GARAGE PARKING PROVIDED			69
Total Parking Provided			231
Accessible Parking Required			8
OPEN ACCESSIBLE PARKING PROVIDED			4
CARPORT ACCESSIBLE PARKING PROVIDED			2
GARAGE ACCESSIBLE PARKING PROVIDED			2
Total Accessible Parking Provided			8
Bicycle Parking Required (1 SPACE FOR EVERY 2 DWELLING UNITS)			50
GARAGE			60
Total Bicycle Parking Provided			60

DATE: MARCH 7, 2018 DRB # 17-219

A1.10

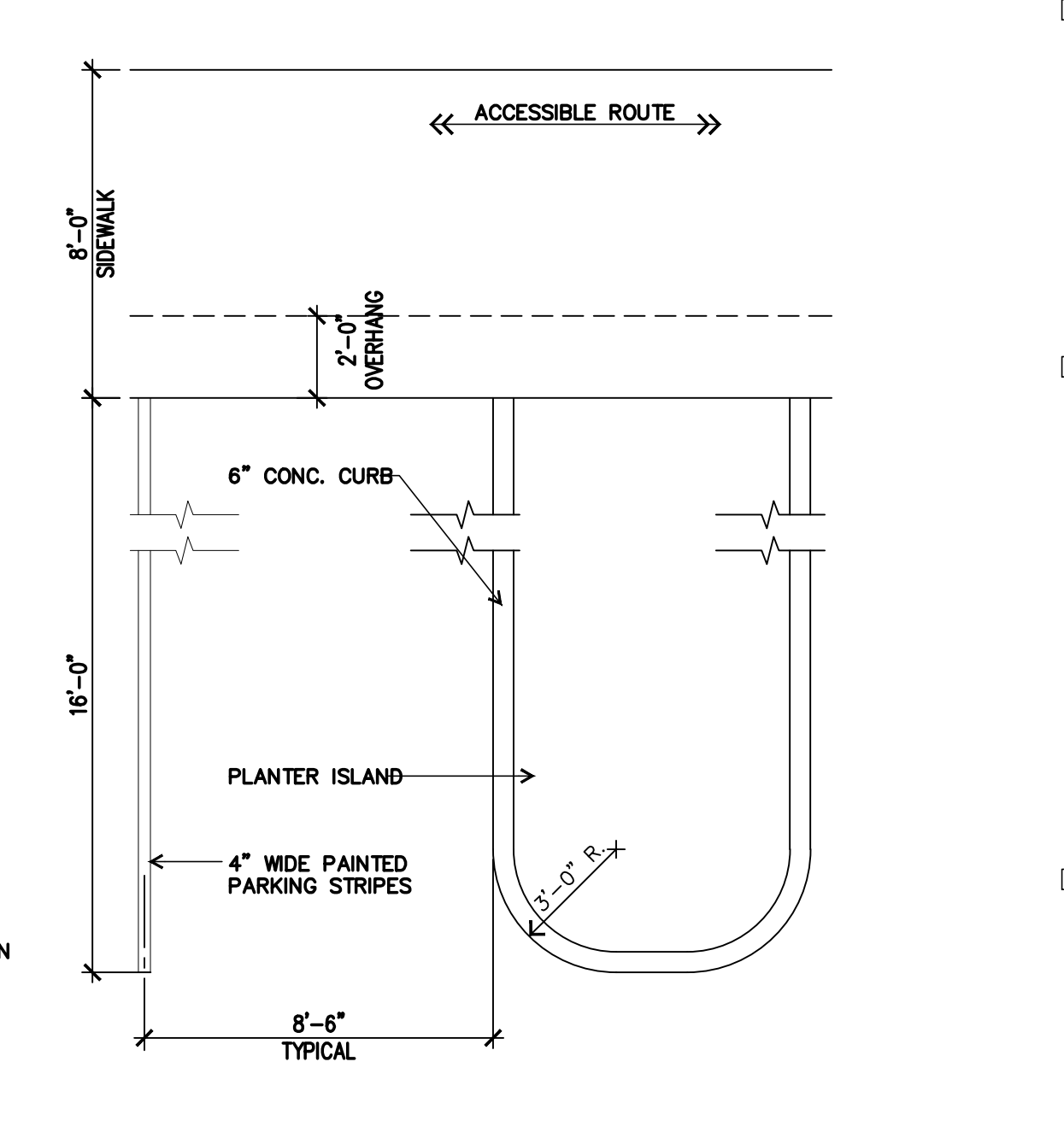
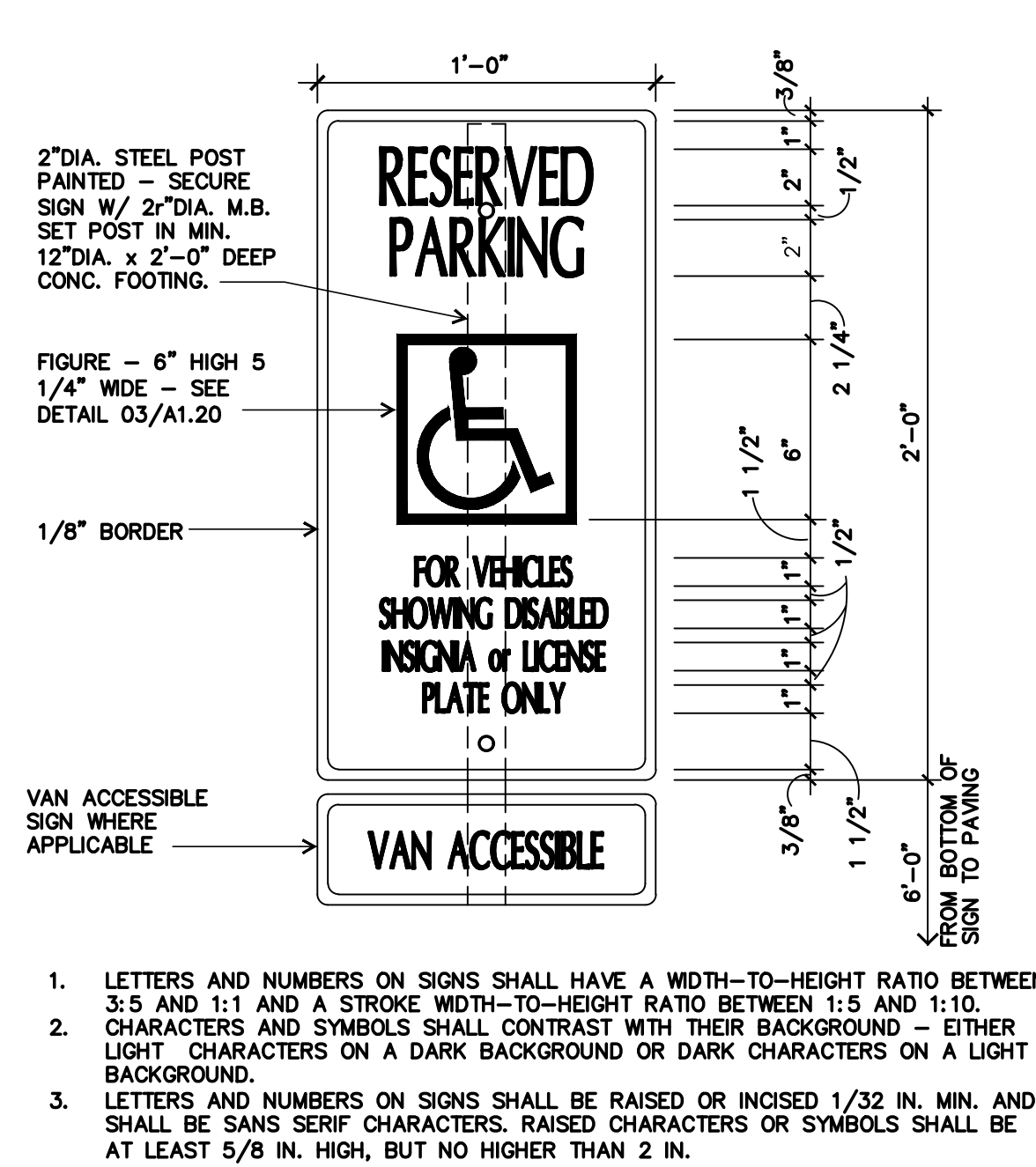
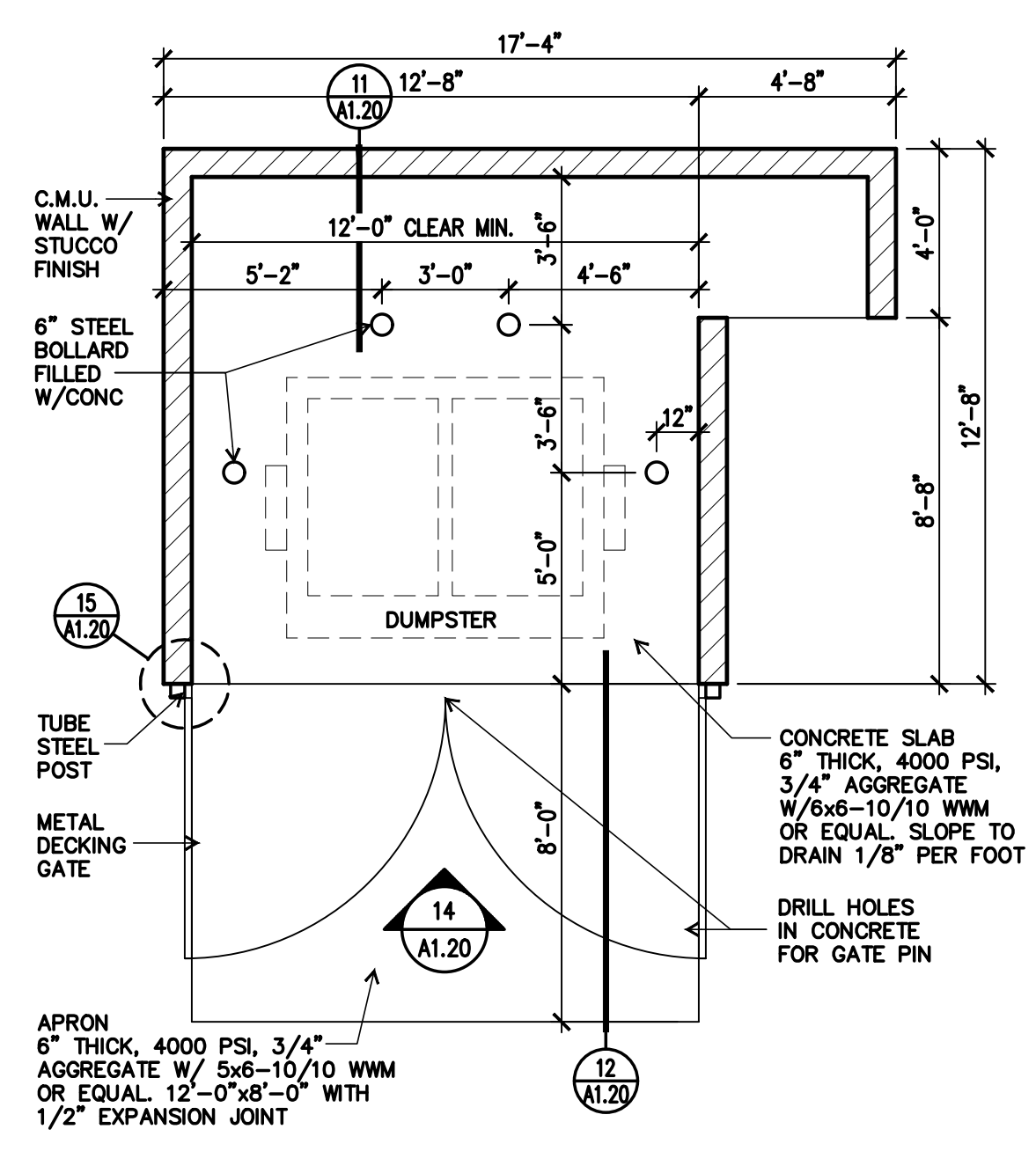
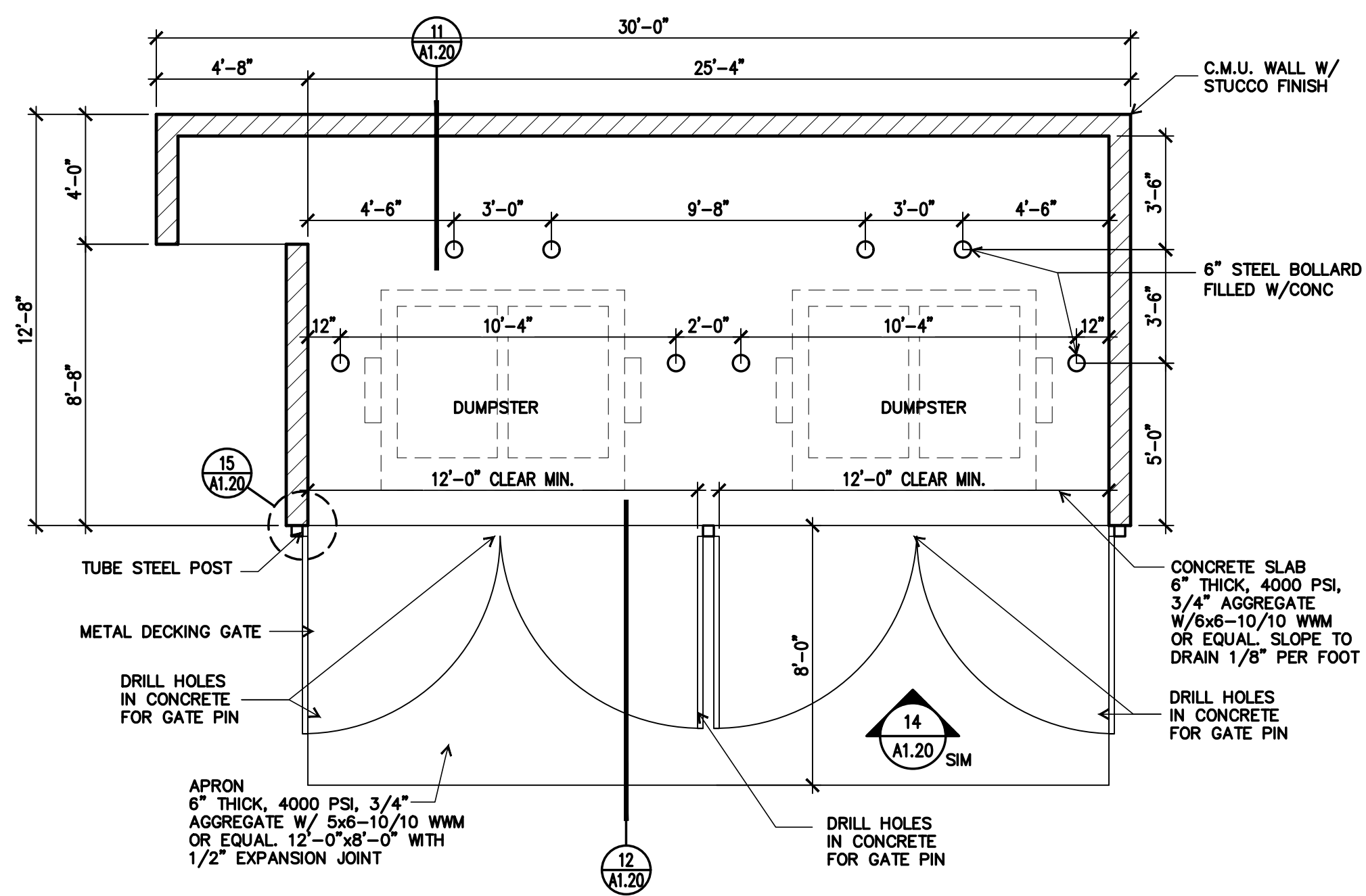
SITE PLAN FOR BUILDING PERMIT



LEGACY HOSPITALITY

LEGACY NAA APARTMENTS - II
SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico

Office of Rich Barber Architecture, LLC
ORB
WorldHQ@ORBArch.com

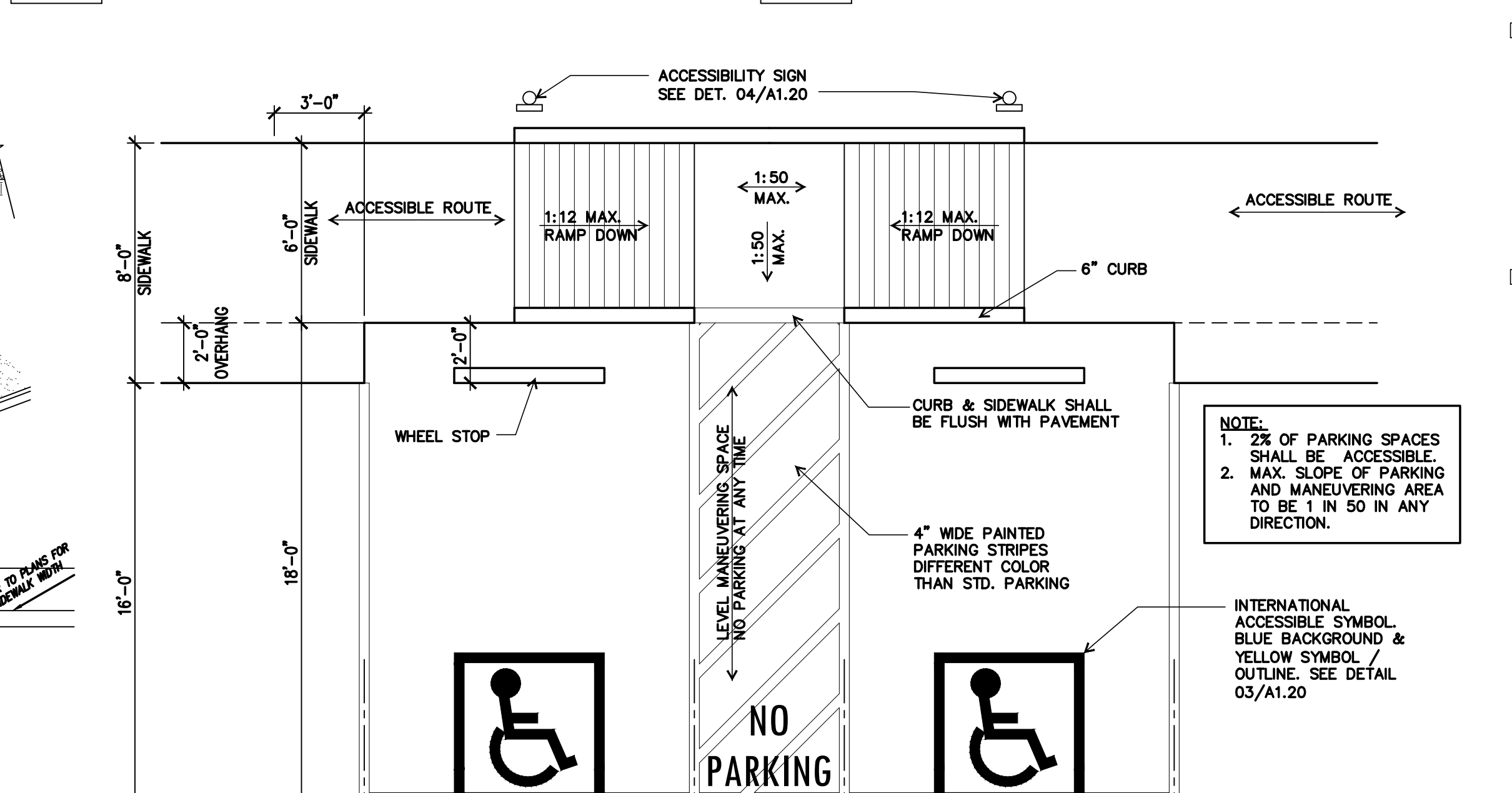
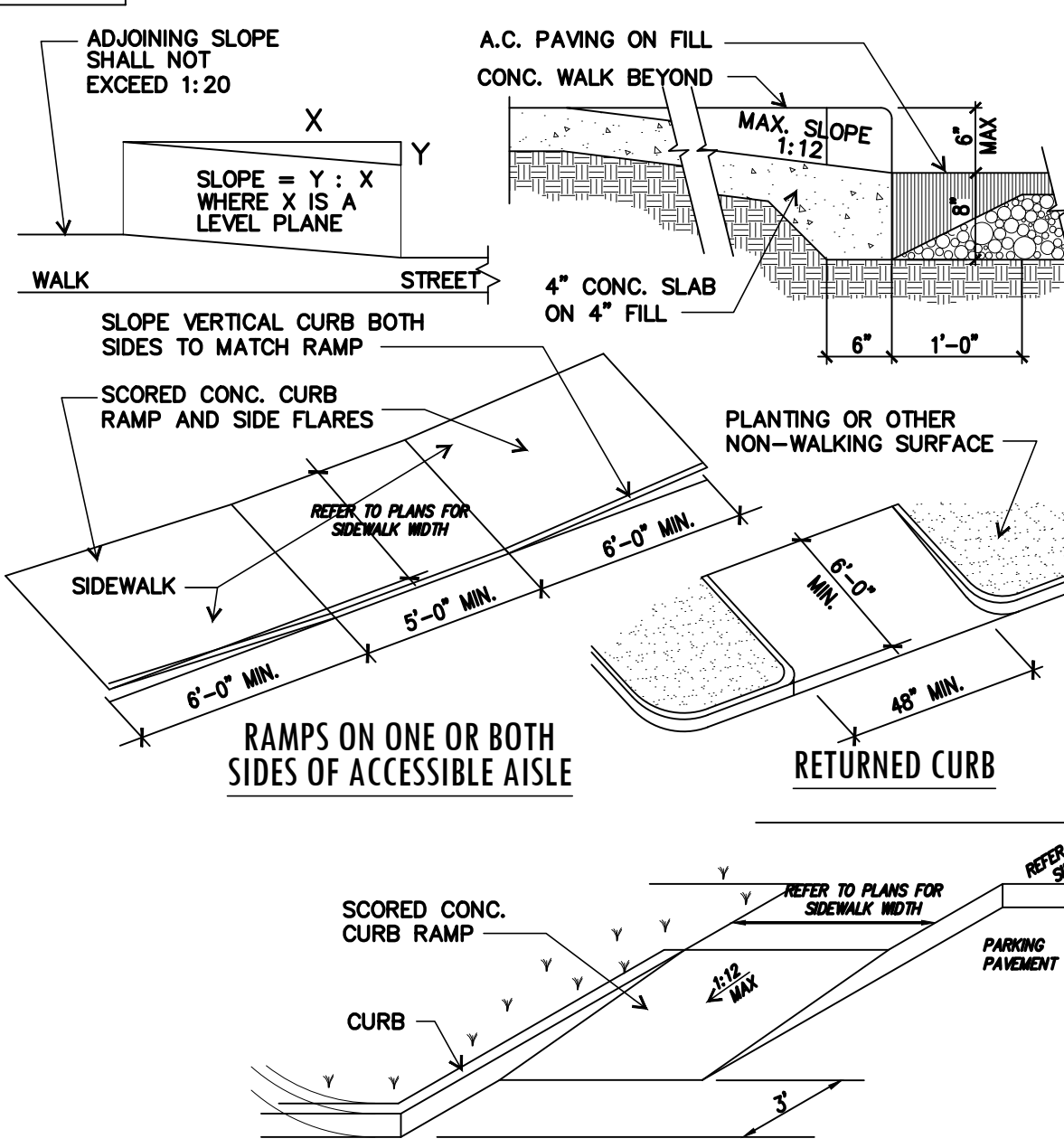
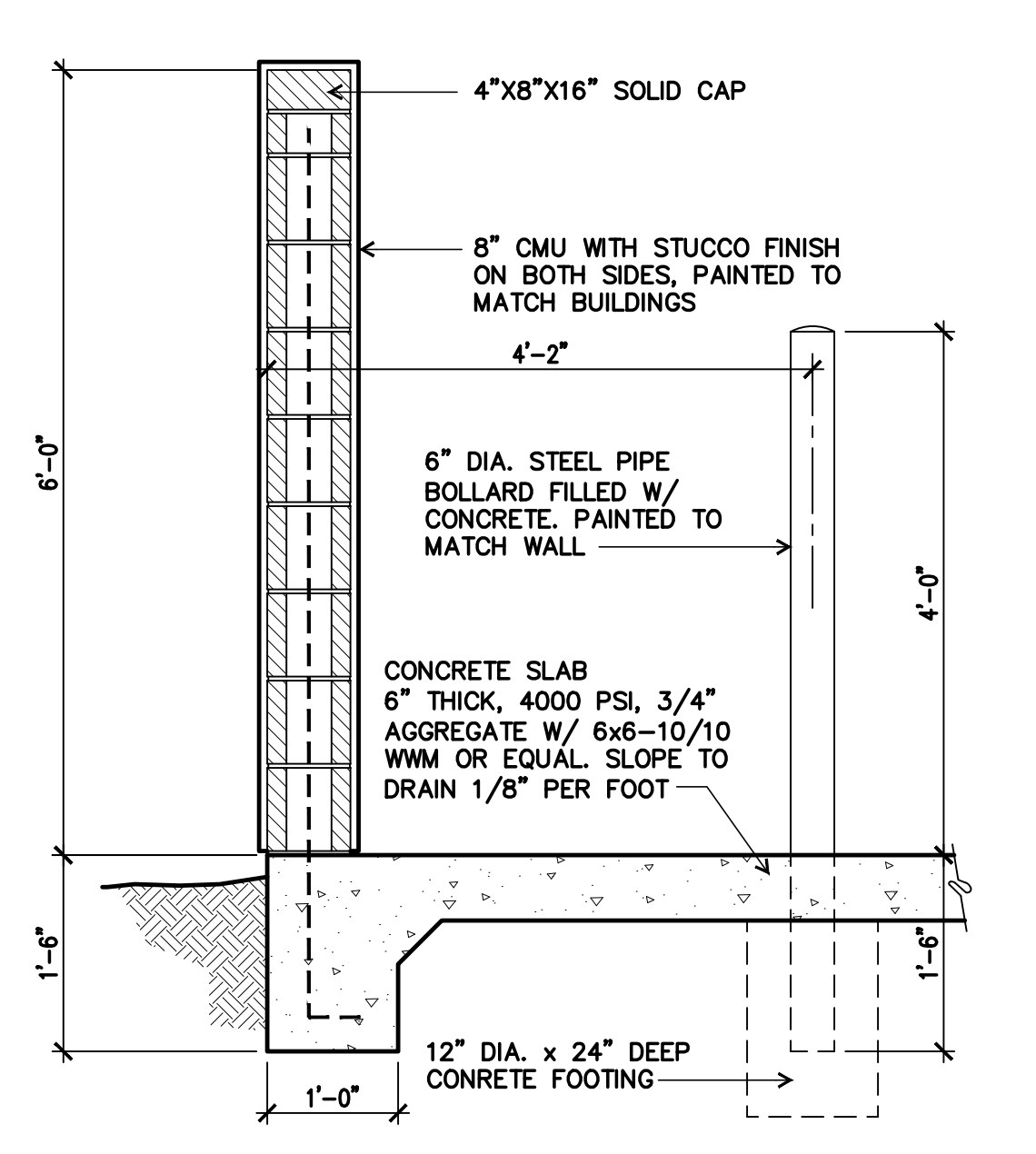
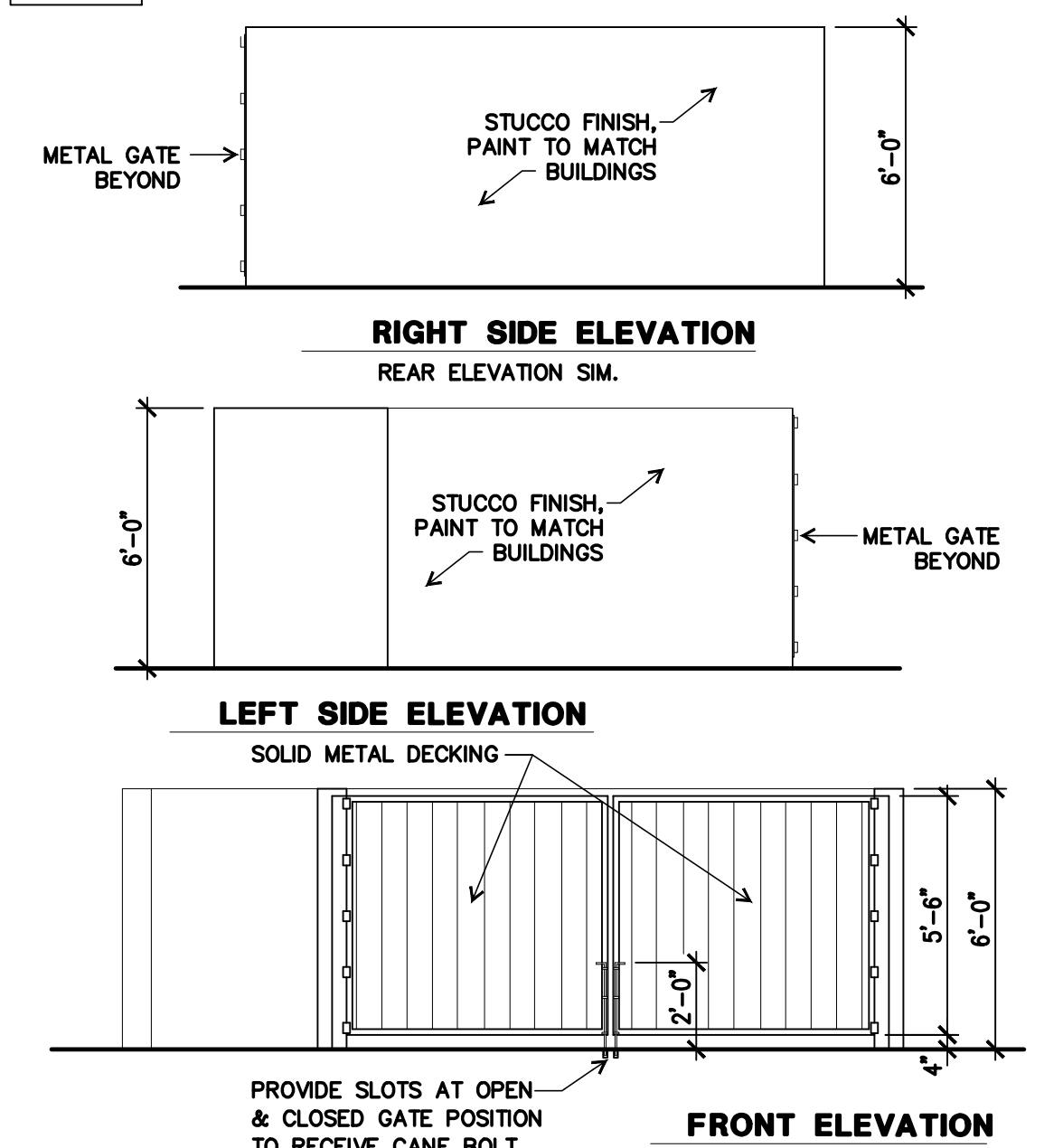


13 DOUBLE TRASH ENCLOSURE PLAN

07 SINGLE TRASH ENCLOSURE PLAN

04 ACCESSIBLE PARKING SIGN

01 TYPICAL PARKING STALL WITH ISLAND

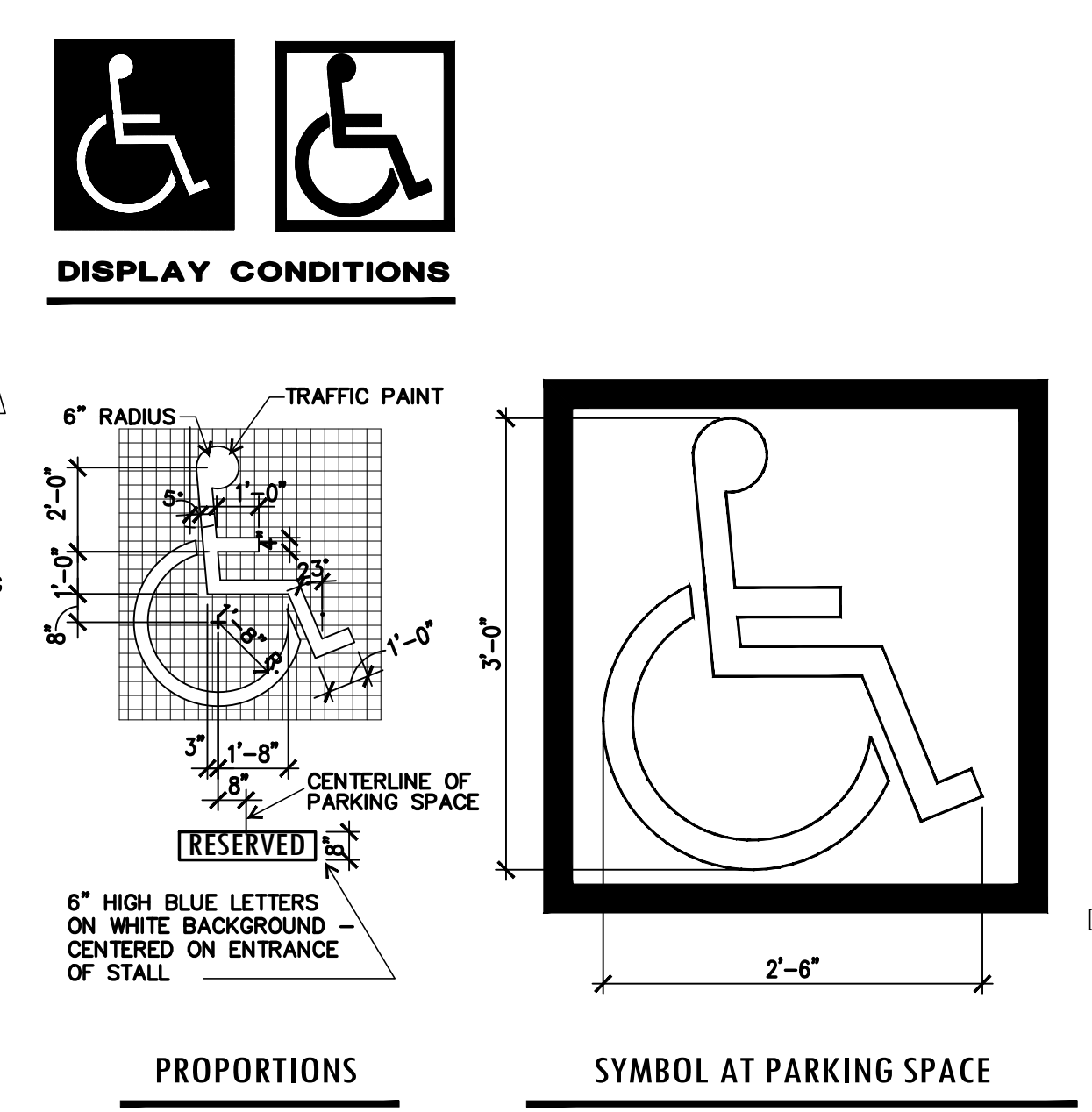
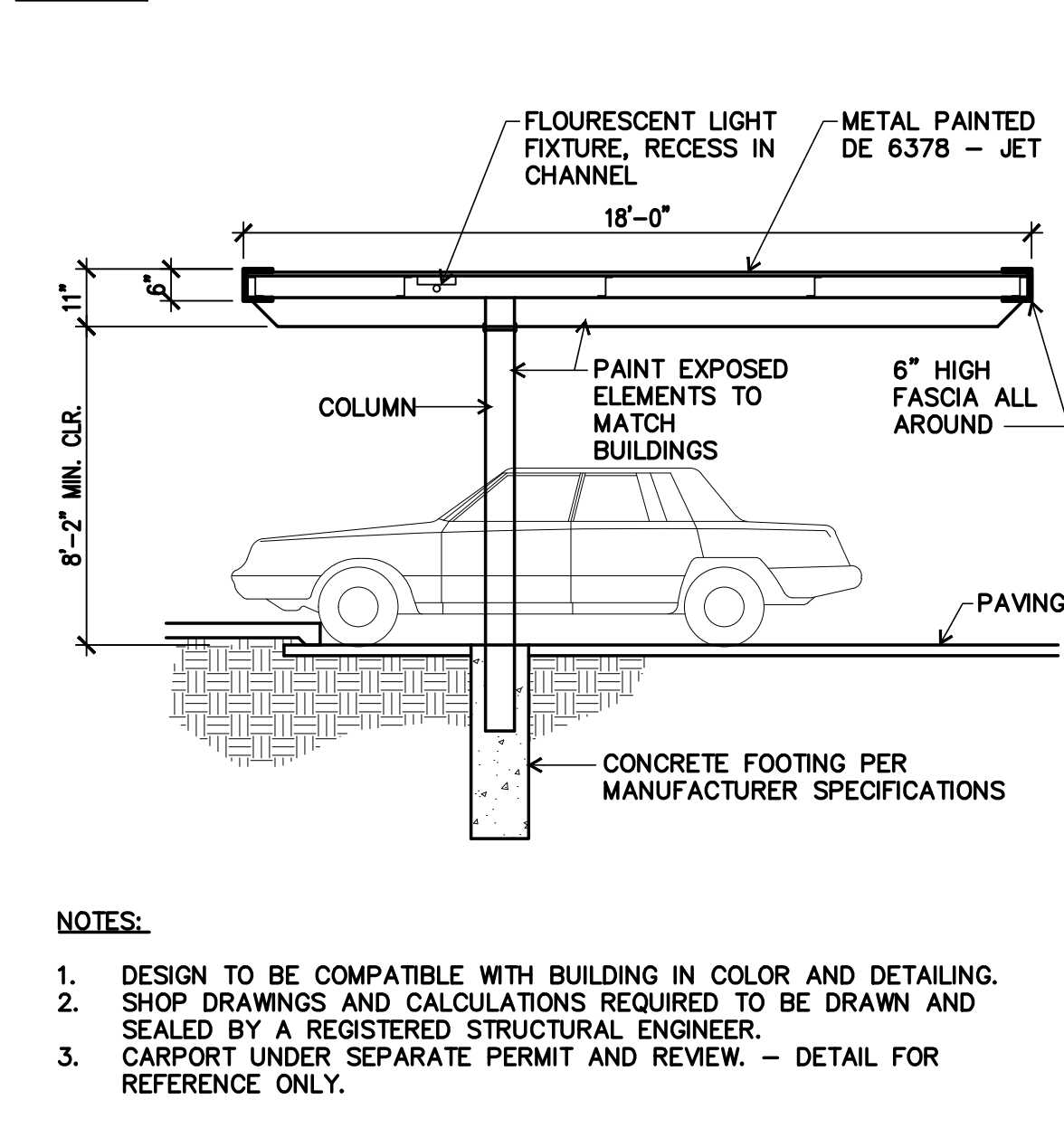
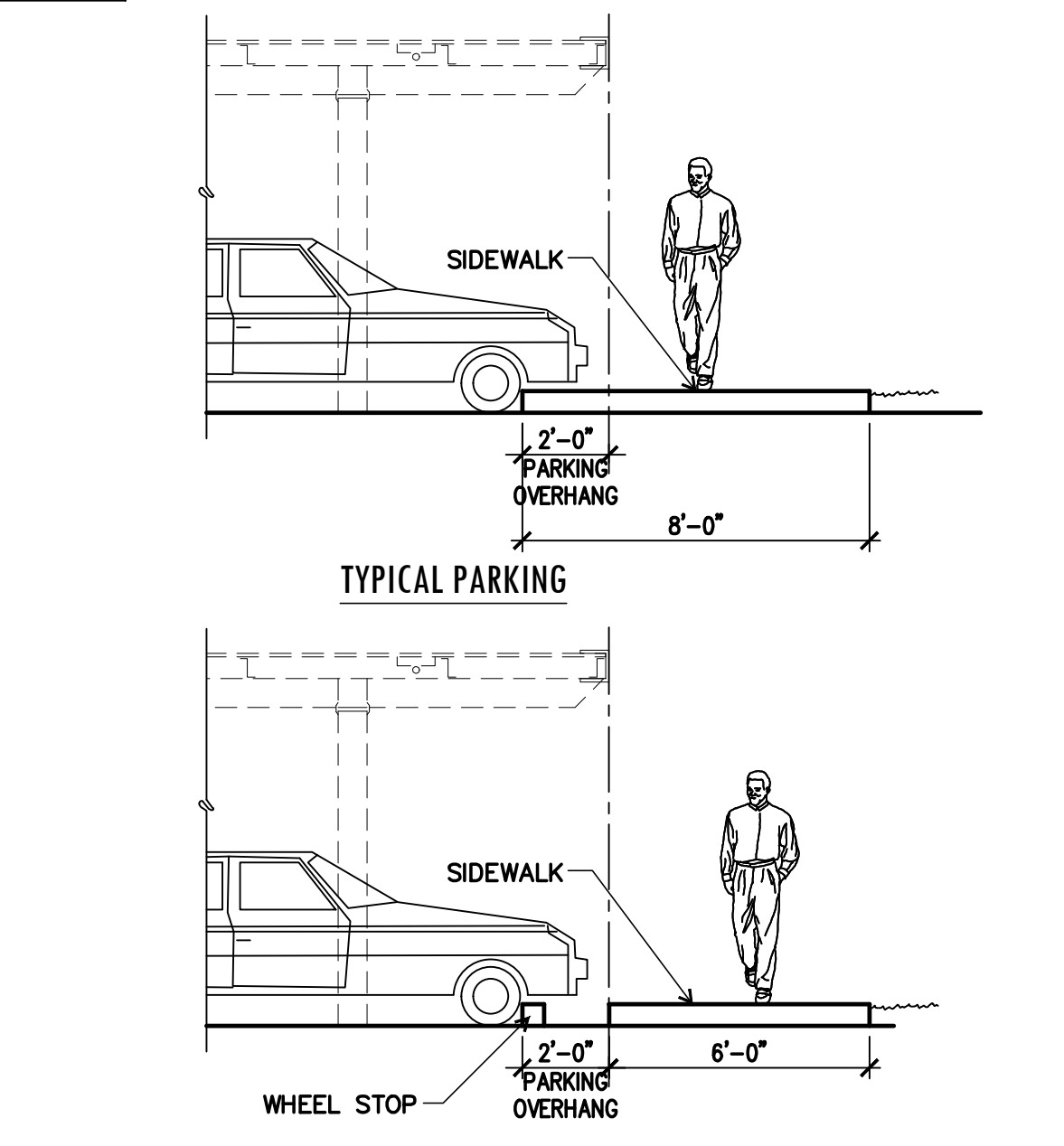
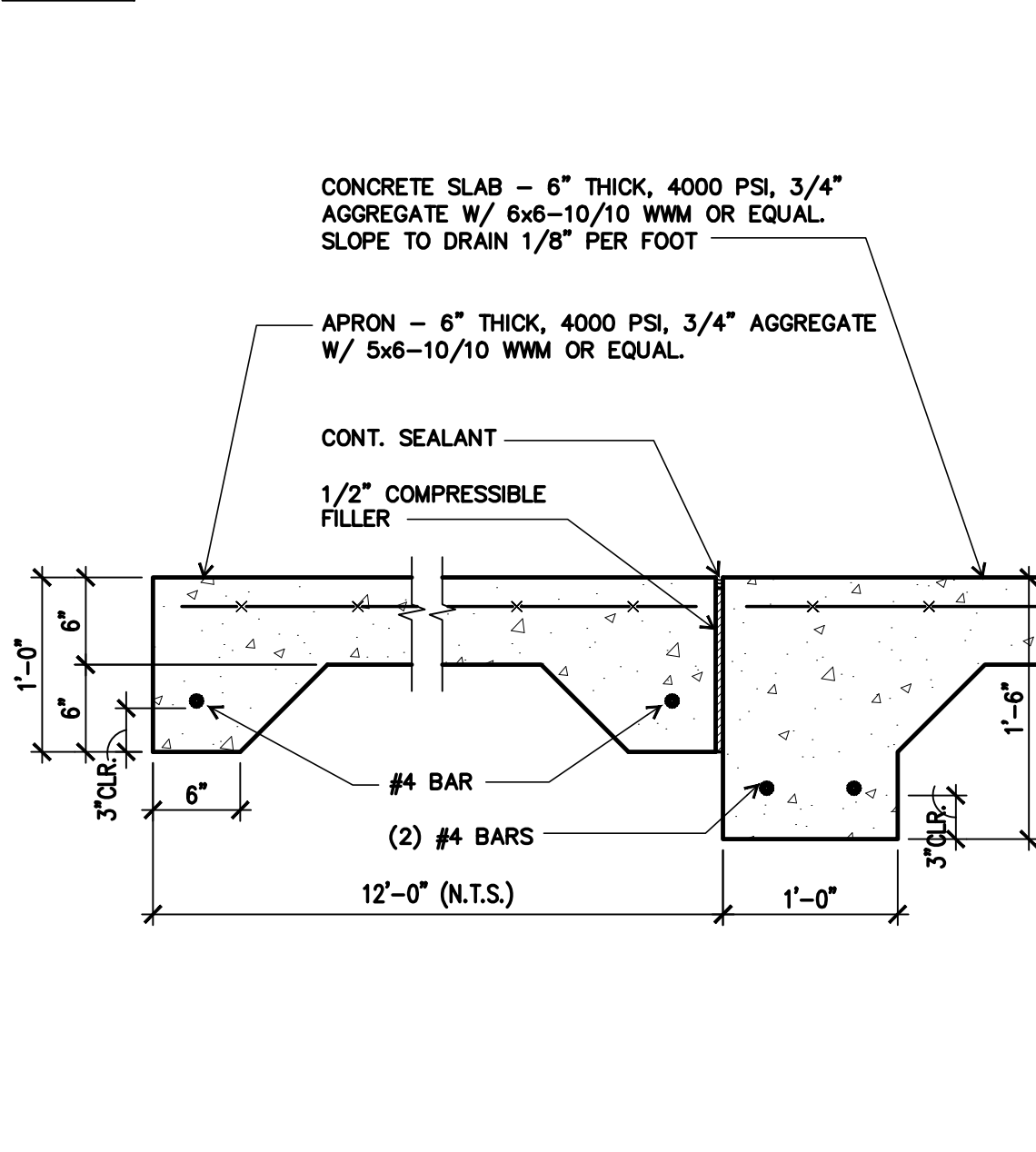
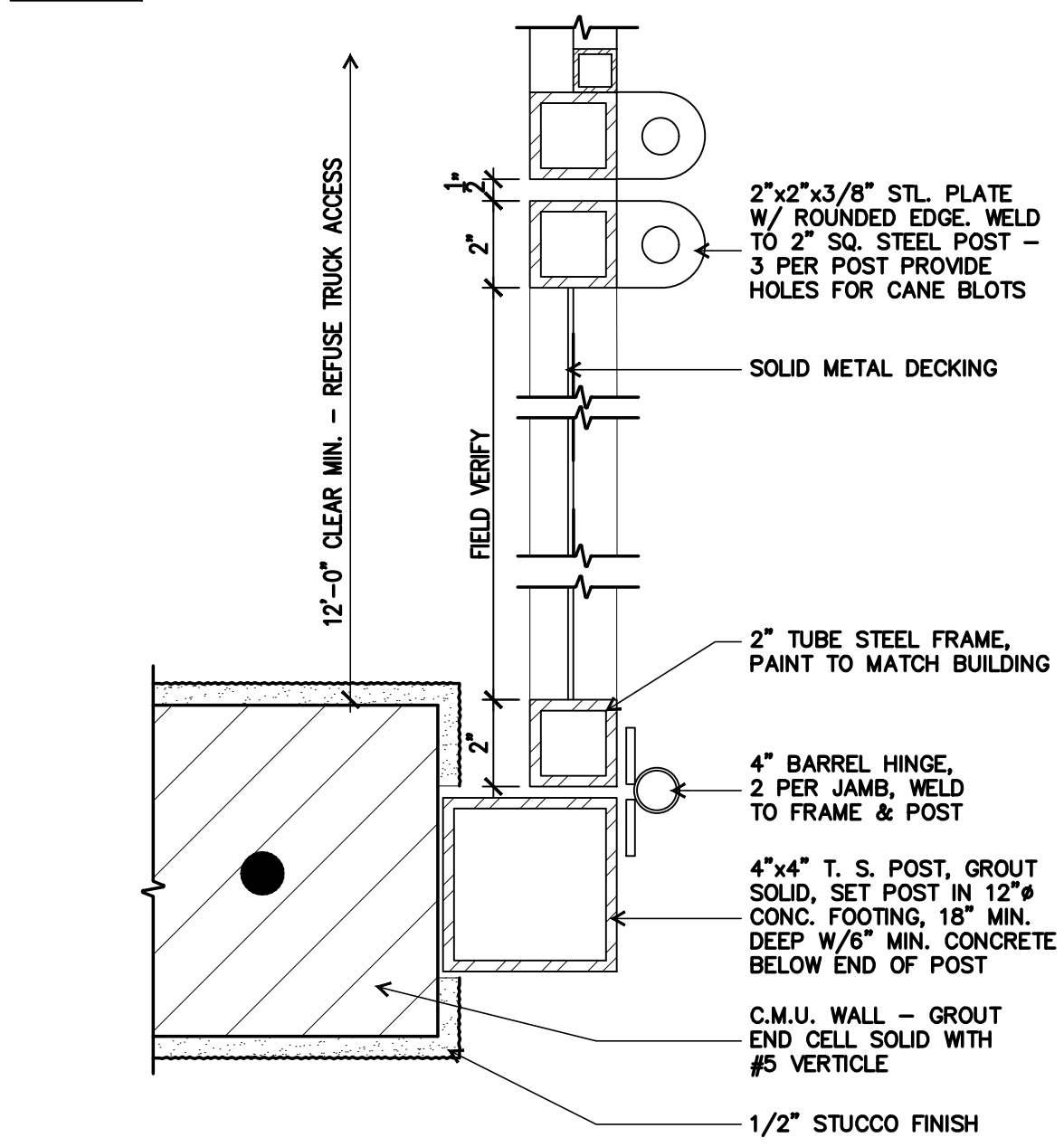


14 REFUSE ENCLOSURE ELEVATIONS

11 TRASH ENCLOSURE WALL

08 TYPICAL ACCESSIBLE RAMP

05 TYPICAL ACCESSIBLE PARKING STALL



15 TRASH ENCLOSURE GATE

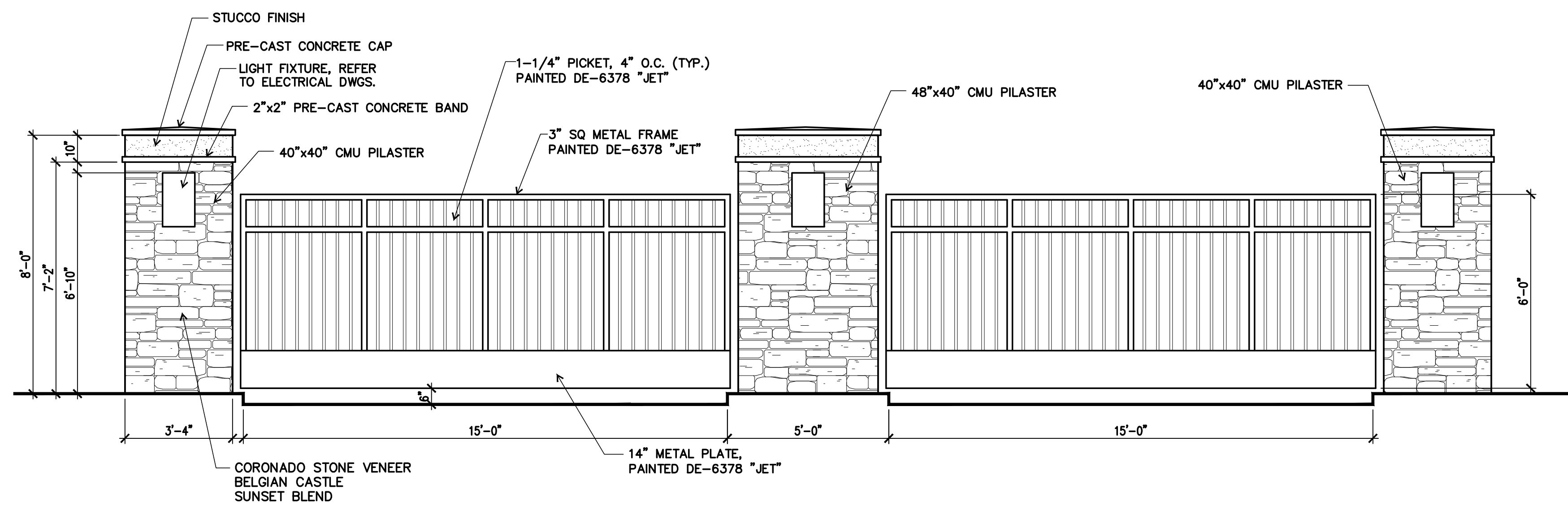
12 REFUSE ENCLOSURE SLAB JOINT

09 SIDEWALK AT PARKING

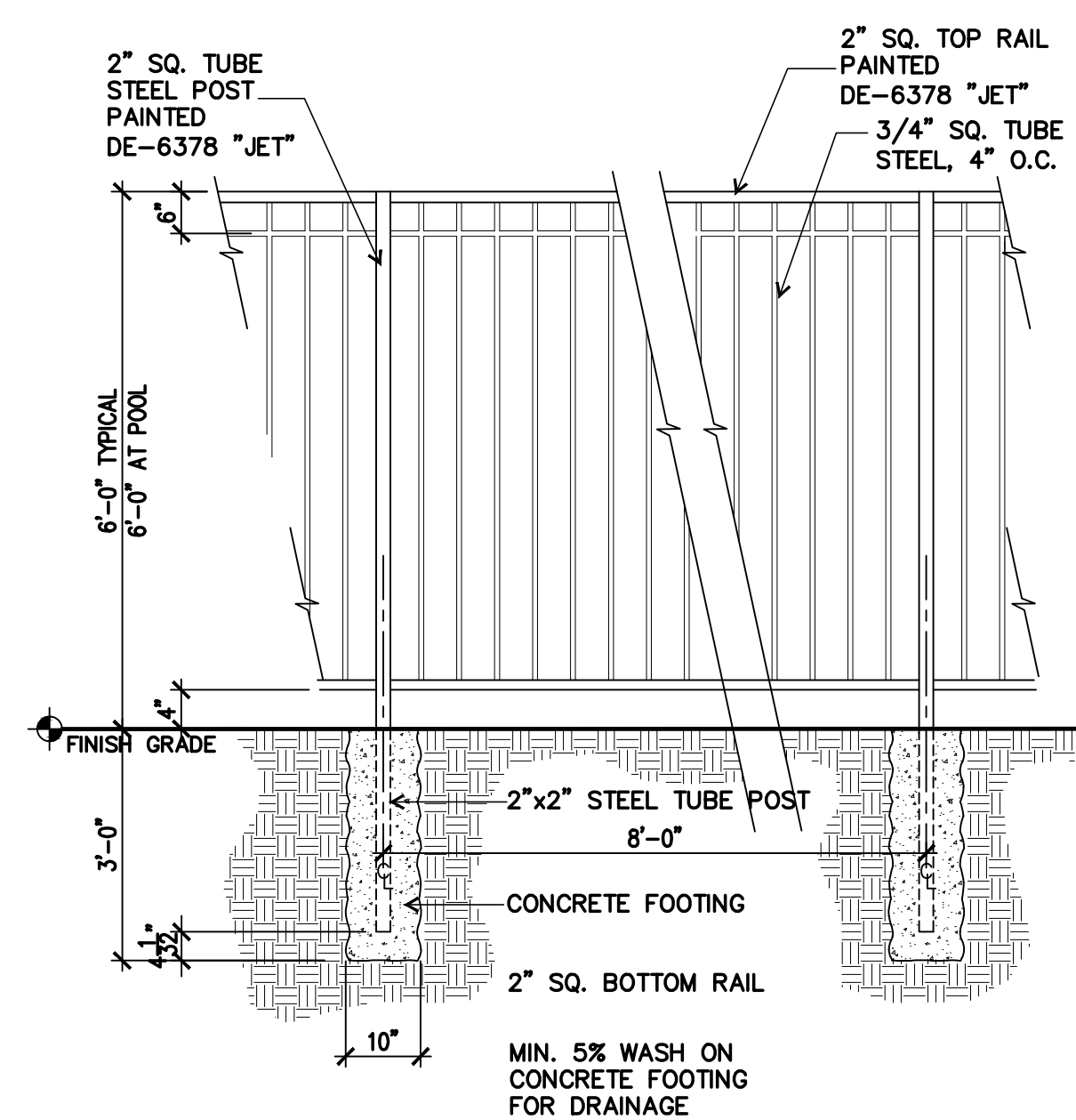
06 CARPORT DETAIL

03 INTERNATIONAL SYMBOL OF ACCESSIBILITY

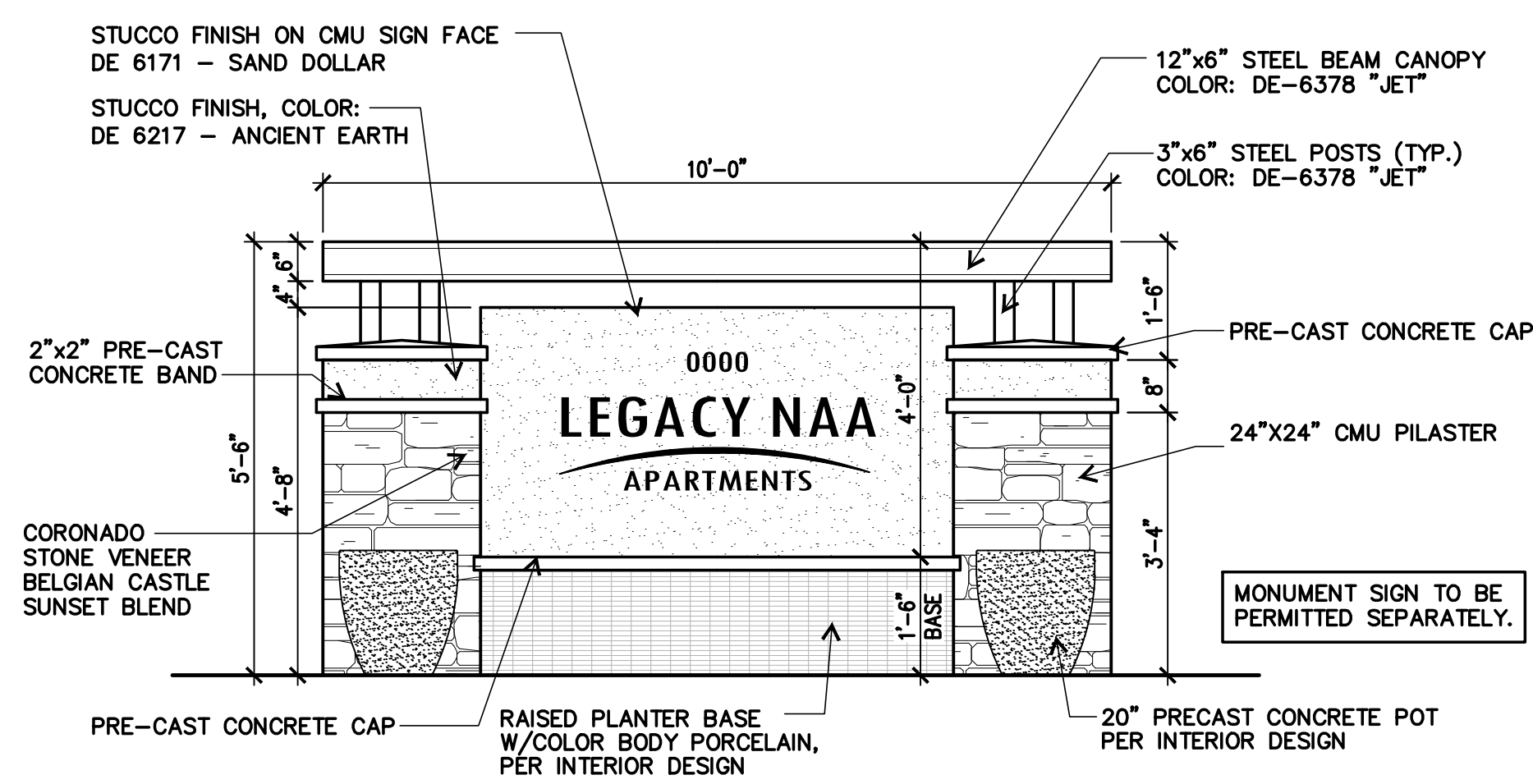
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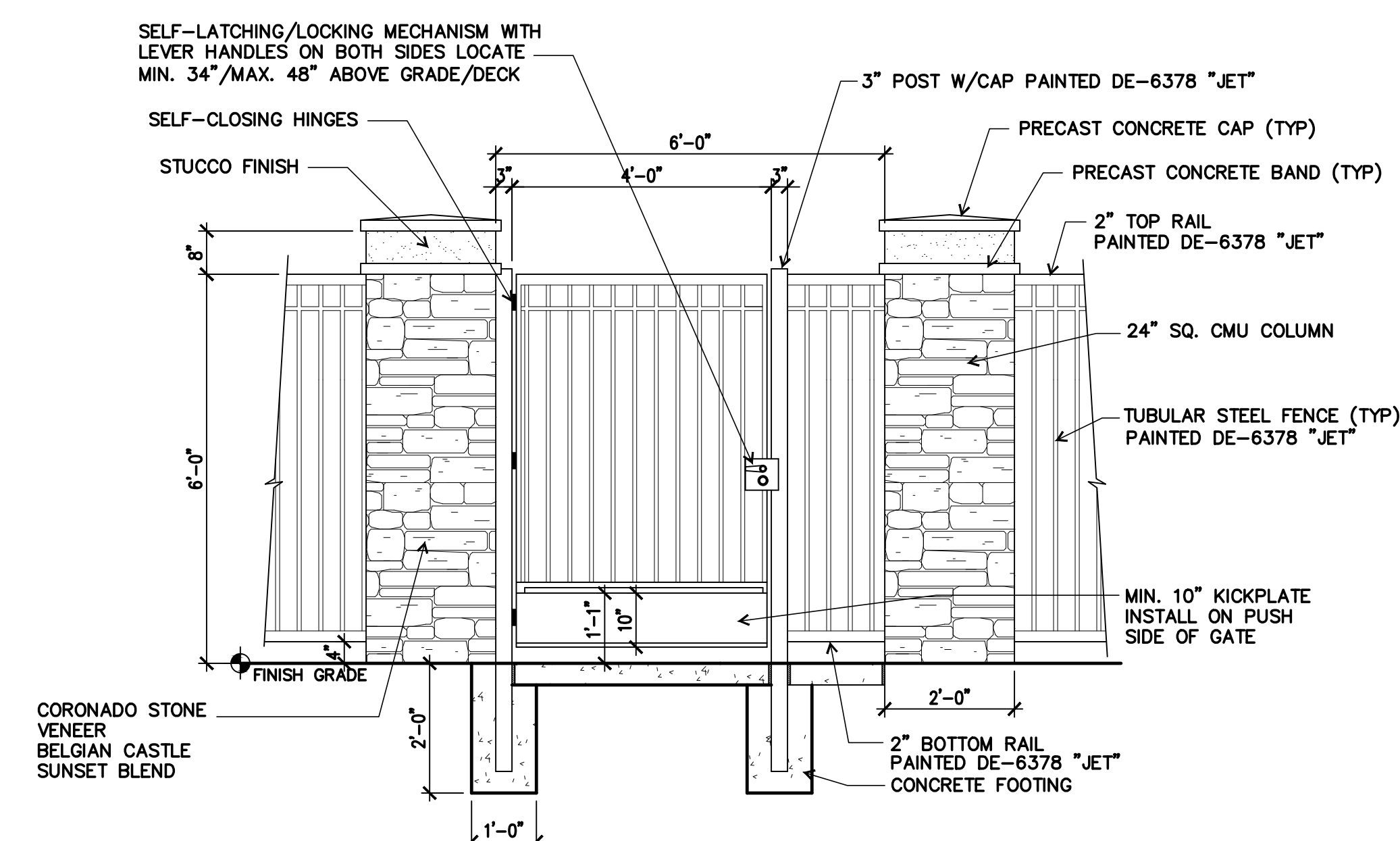
28 ALAMEDA BLVD. VEHICULAR ENTRY GATE



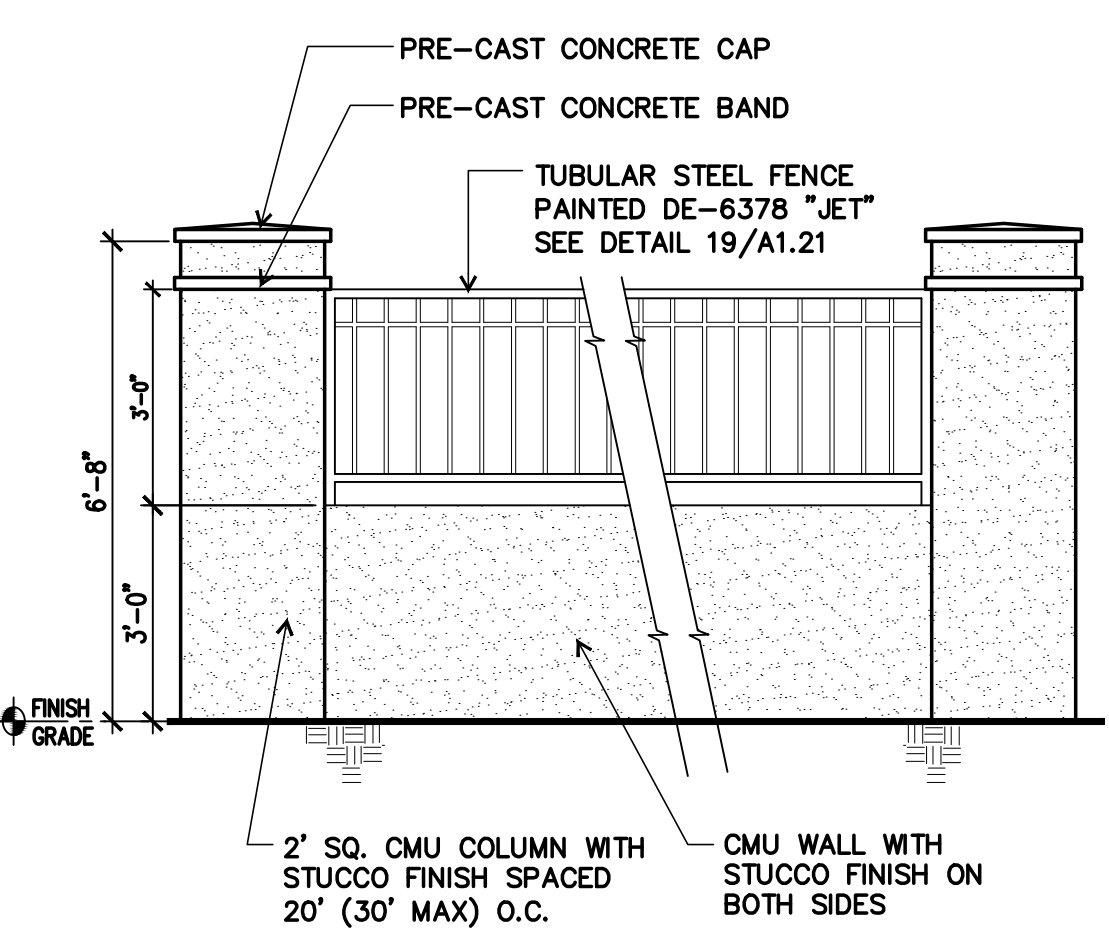
19 TUBULAR STEEL FENCE



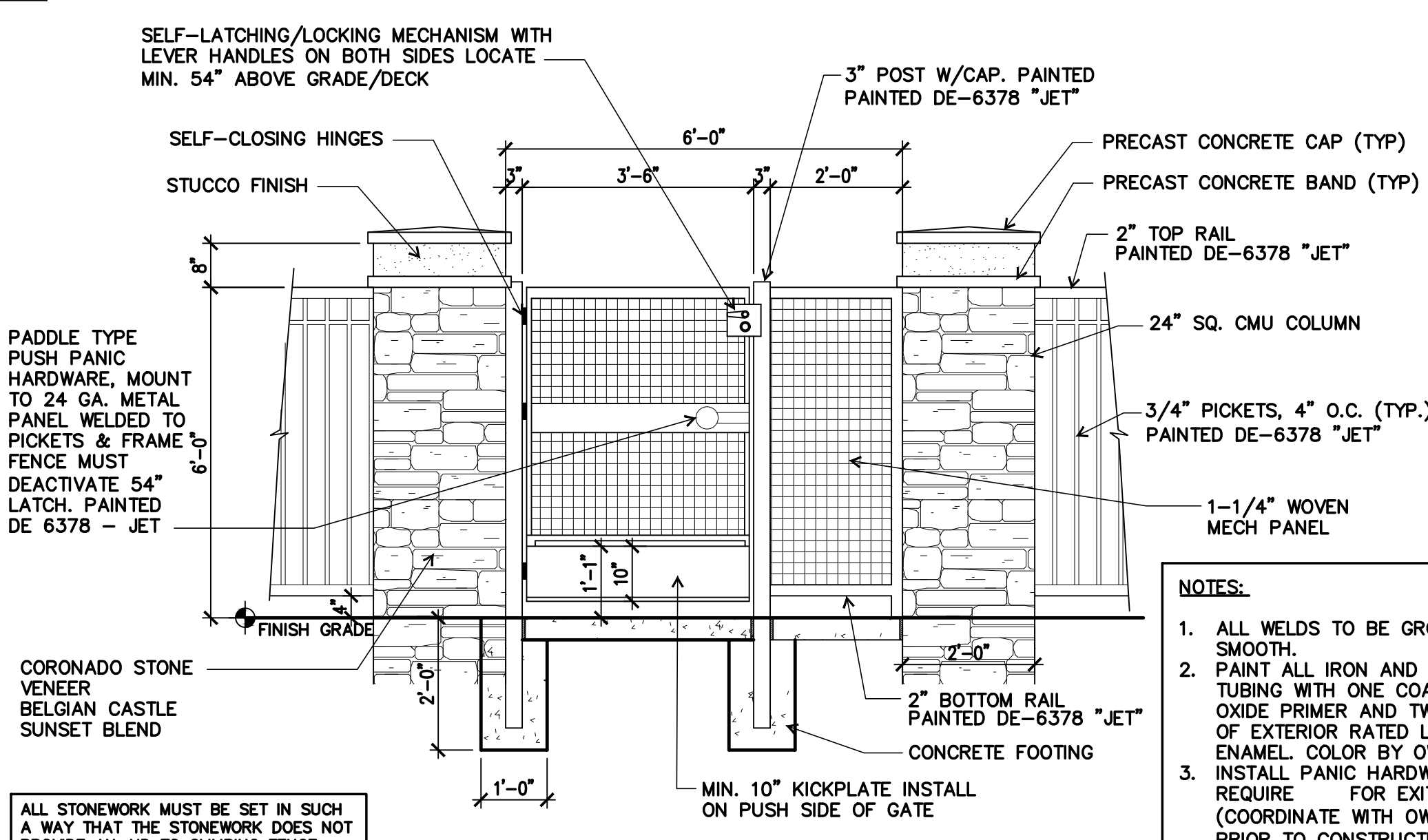
29 MONUMENT SIGN ELEVATION



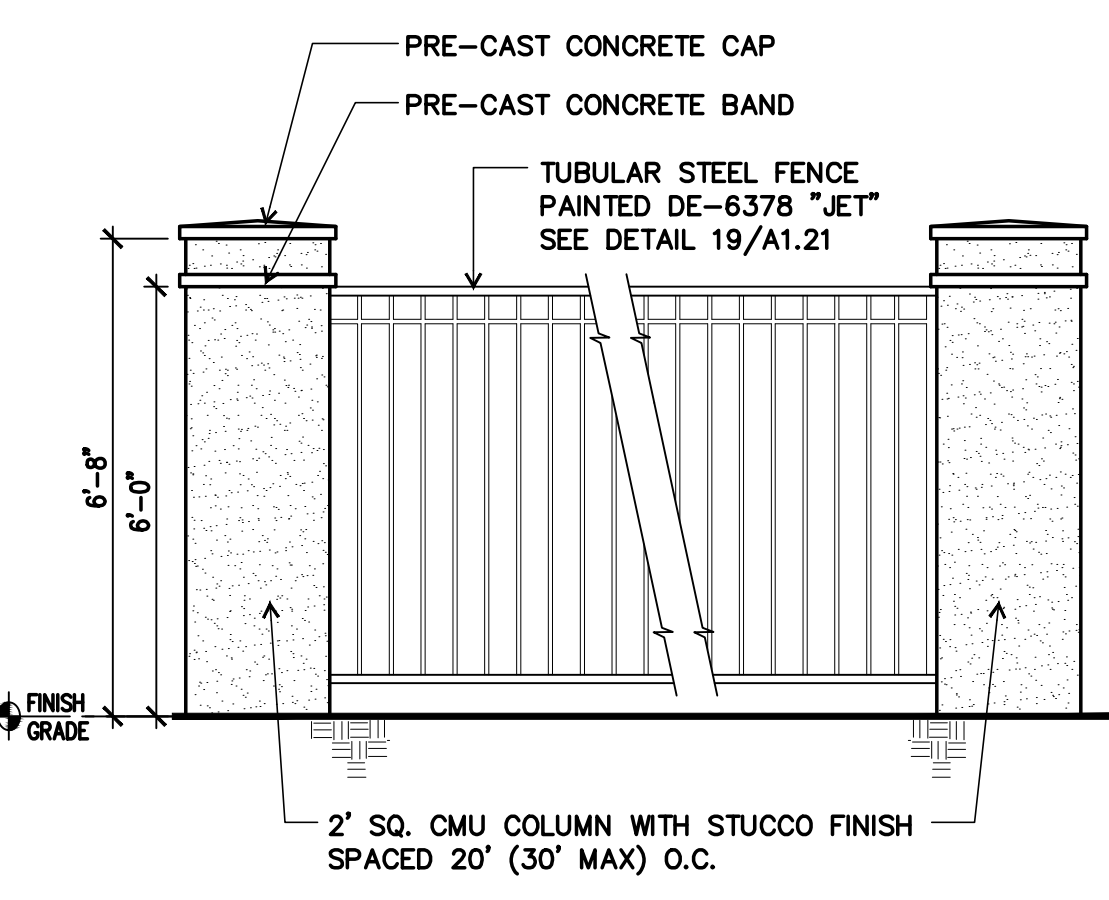
23 PEDESTRIAN ENTRY GATE



17 PILASTER AT CMU/TUBULAR COMBO FENCE



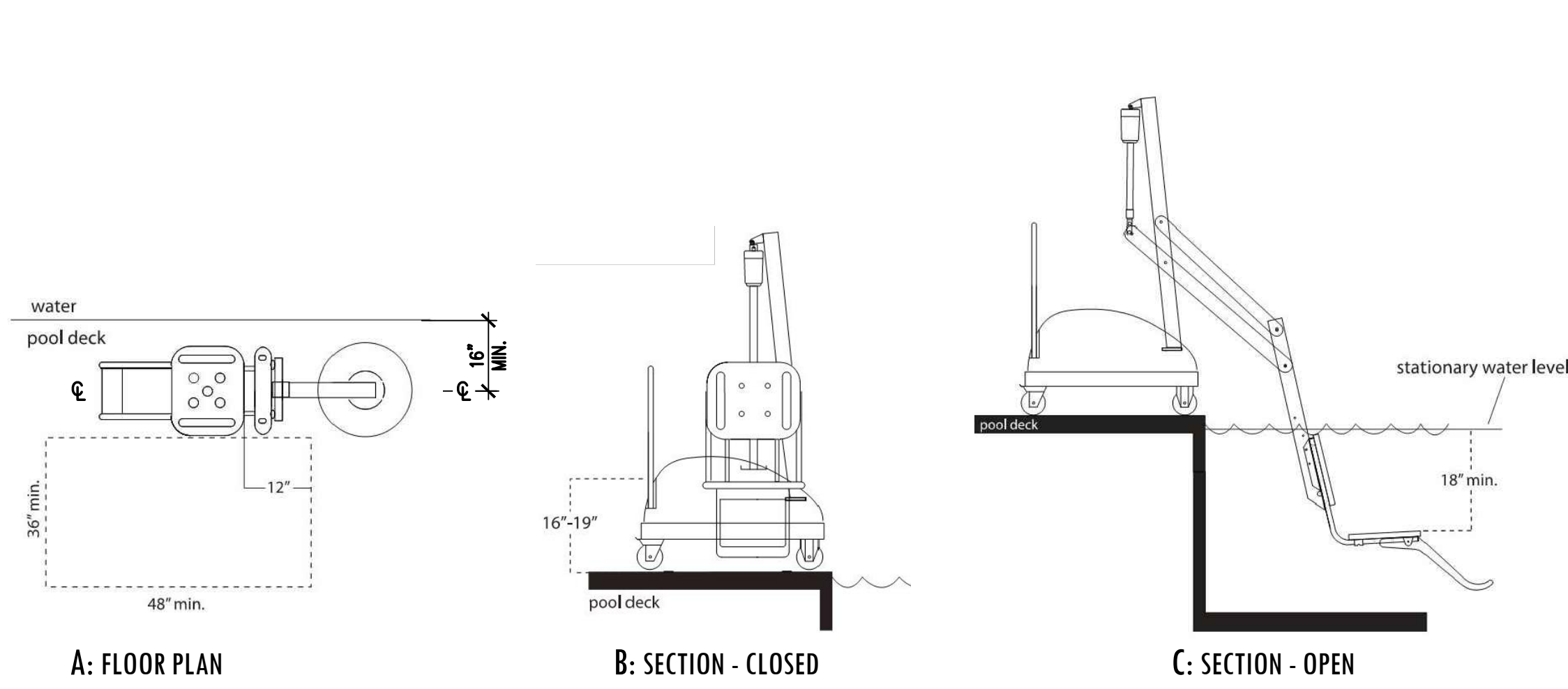
24 PEDESTRIAN ENTRY GATE AT POOL FENCE



18 PILASTER AT PERIMETER TUBULAR STEEL FENCE

- NOTES:**
1. ALL WELDS TO BE GROUND SMOOTH.
 2. PAINT ALL IRON AND STEEL TUBING WITH ONE COAT RED OXIDE PRIMER AND TWO COATS OF EXTERIOR RATED LATEX ENAMEL. COLOR BY OWNER.
 3. INSTALL PANIC HARDWARE AS REQUIRE FOR EXITING. (COORDINATE WITH OWNER PRIOR TO CONSTRUCTION).
 4. POOL FENCING AND GATES SHALL MEET ALL LOCAL JURISDICTIONAL REQUIREMENTS.

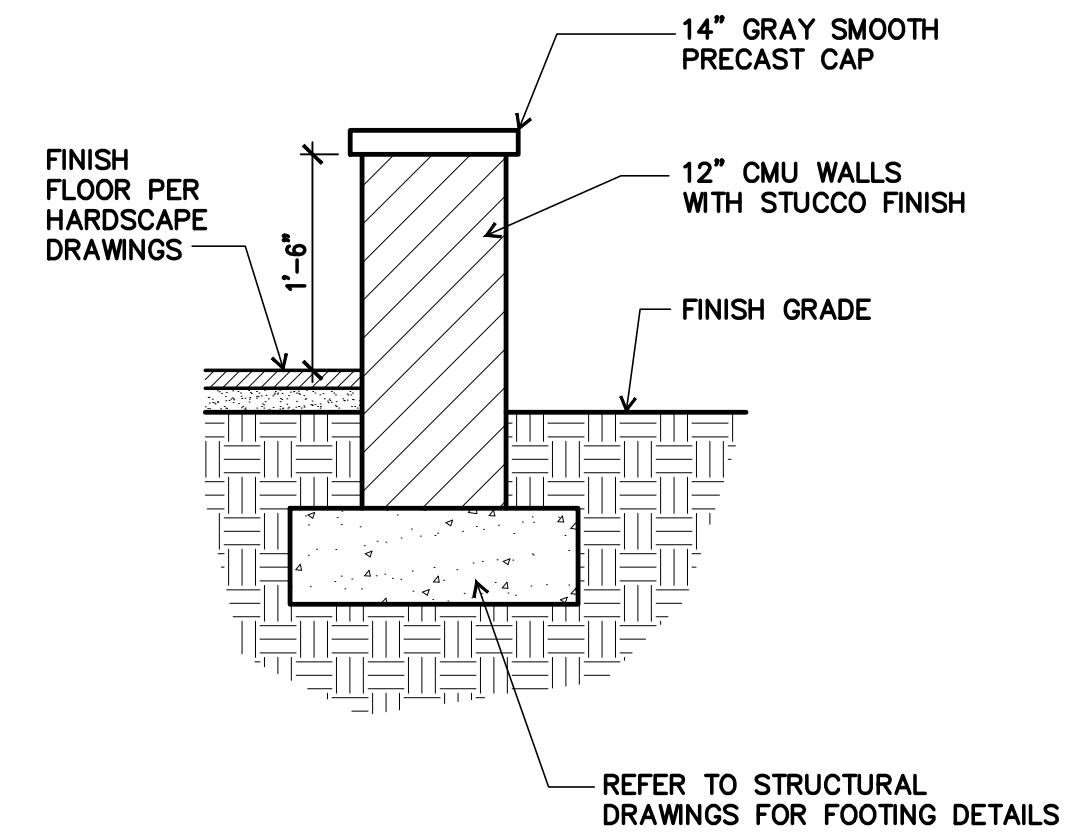
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A: FLOOR PLAN

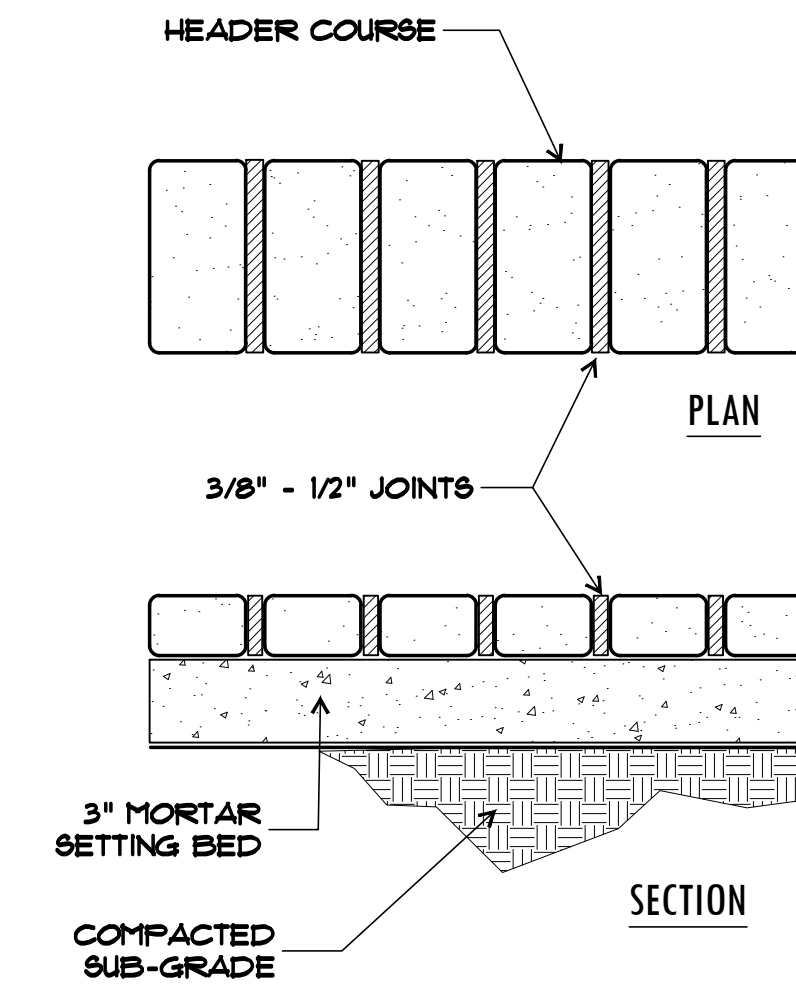
B: SECTION - CLOSED

C: SECTION - OPEN



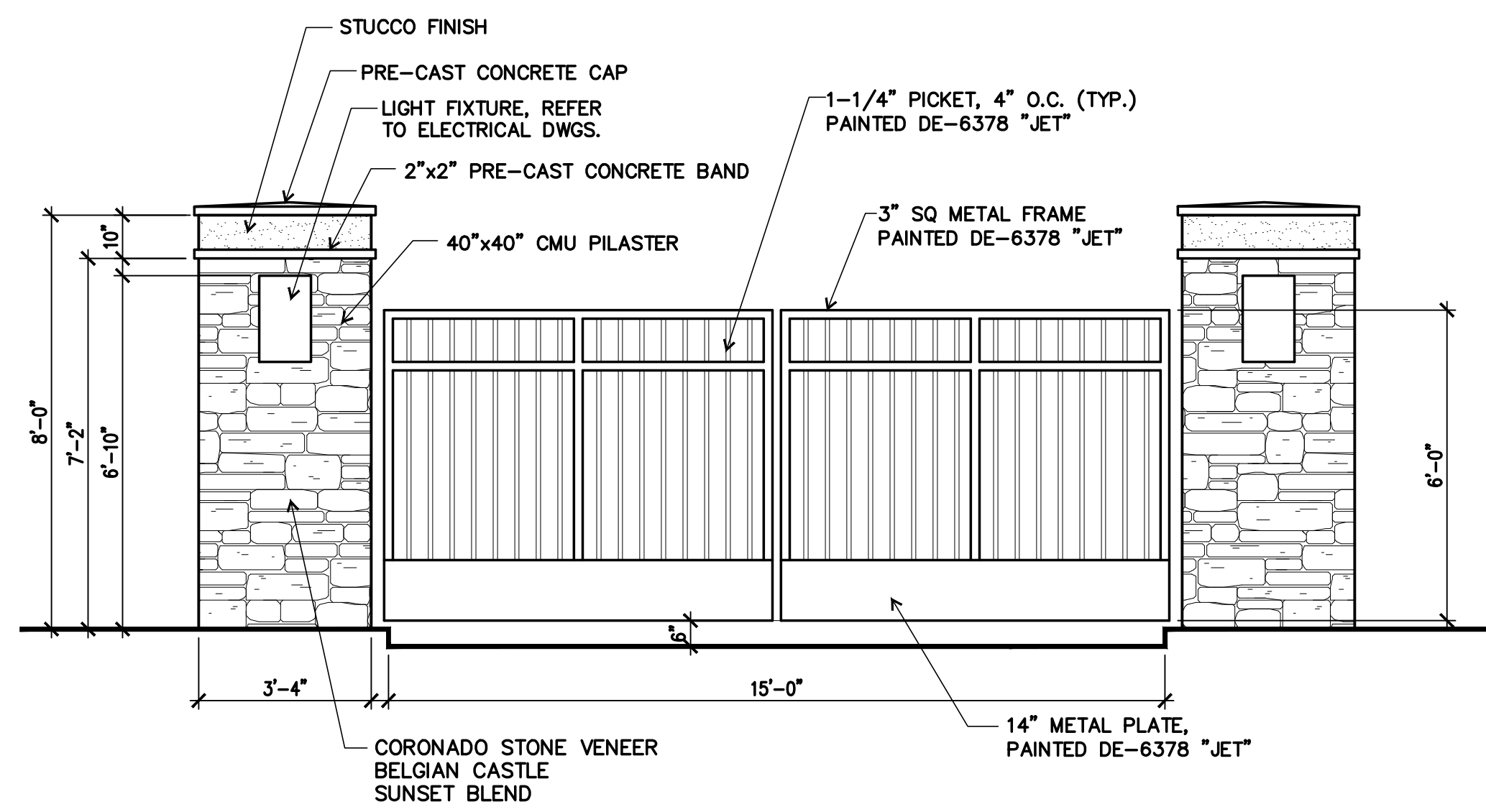
37 SEAT WALL

SCALE: 3/4" = 1'-0"

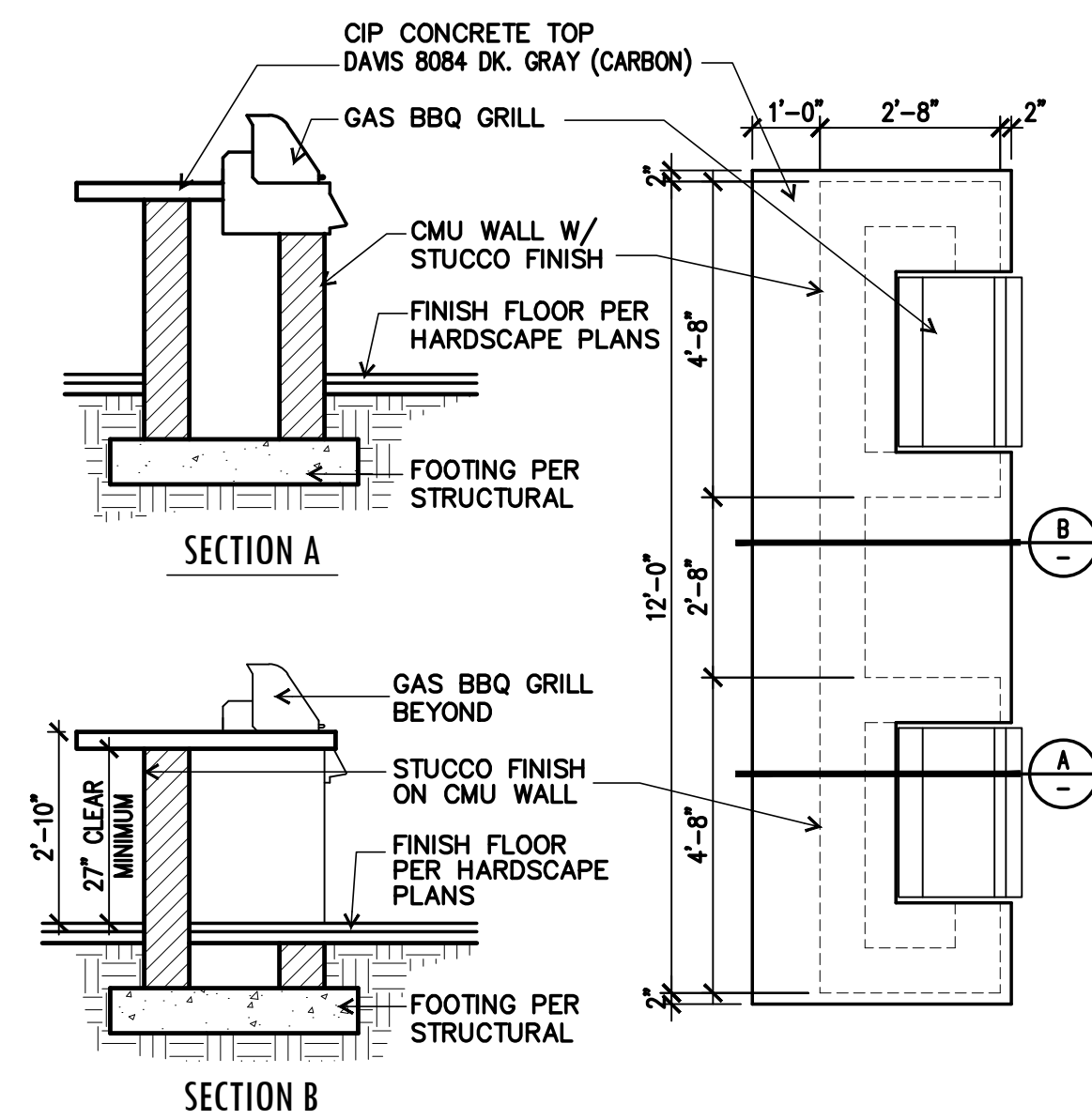


31 PAVER HEADER

NOT TO SCALE

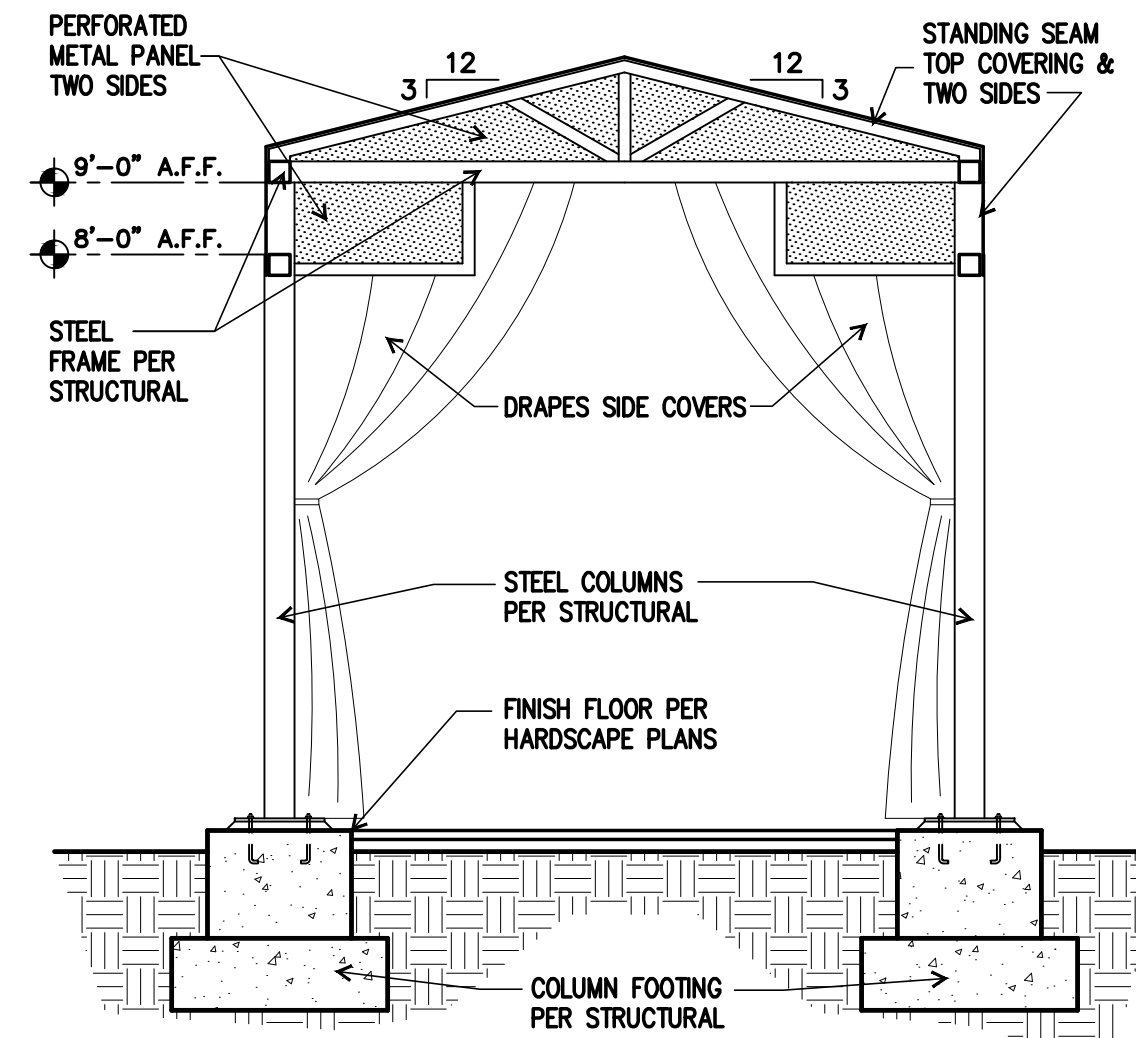


44 OAKLAND AVENUE VEHICULAR ENTRY GATE



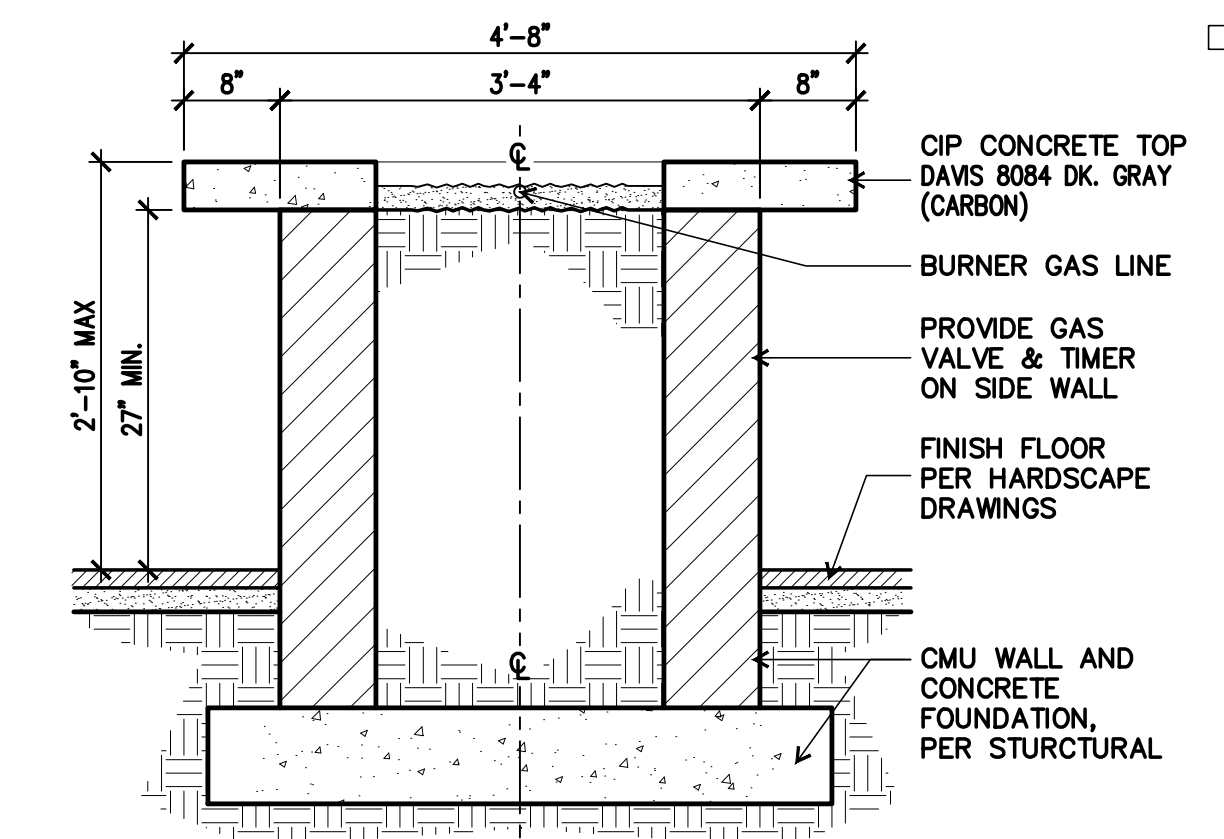
38 GAS GRILLS AT RAMADAS

SCALE: 3/8" = 1'-0"



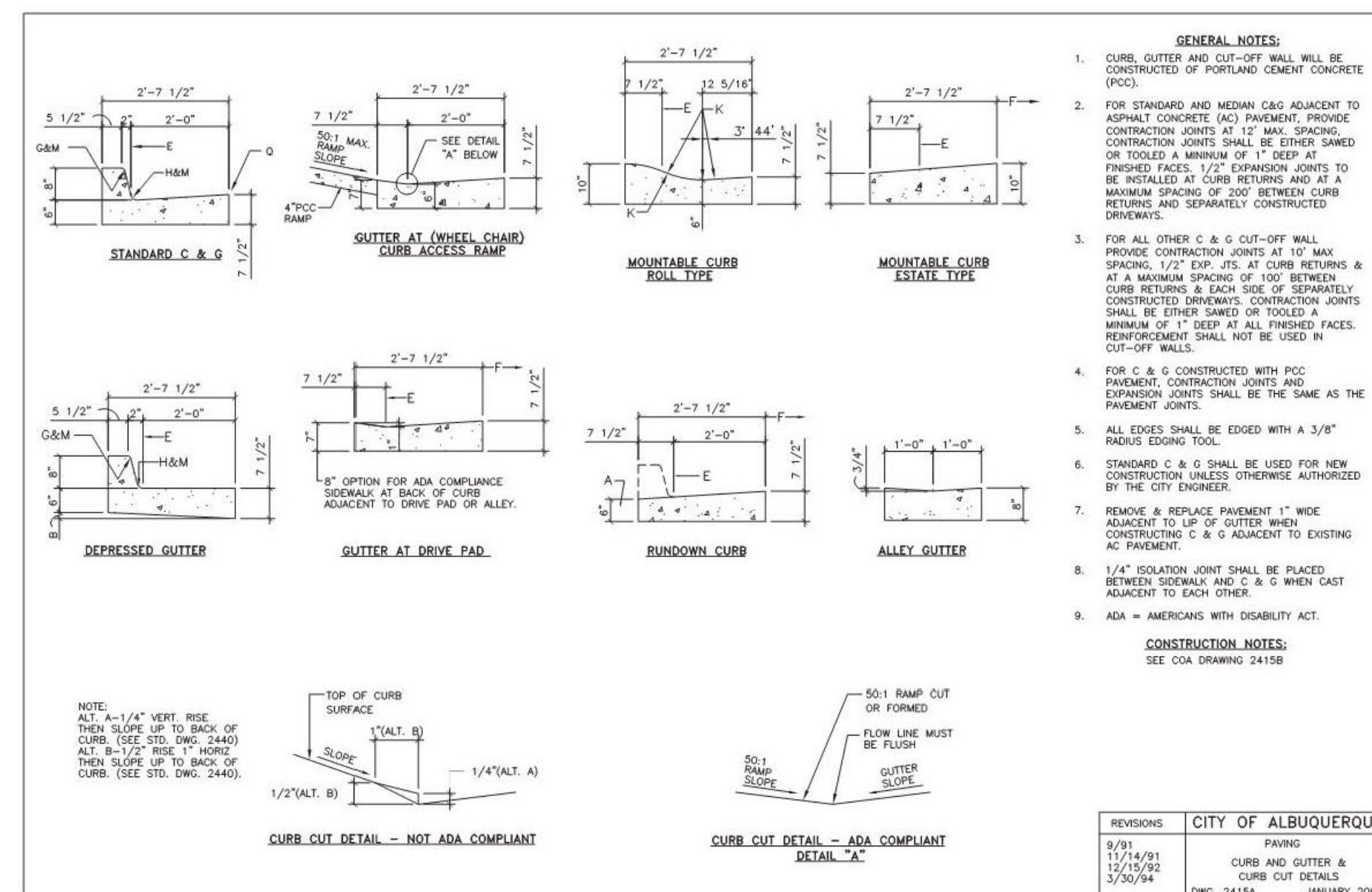
35 POOL CABANA

SCALE: 3/8" = 1'-0"



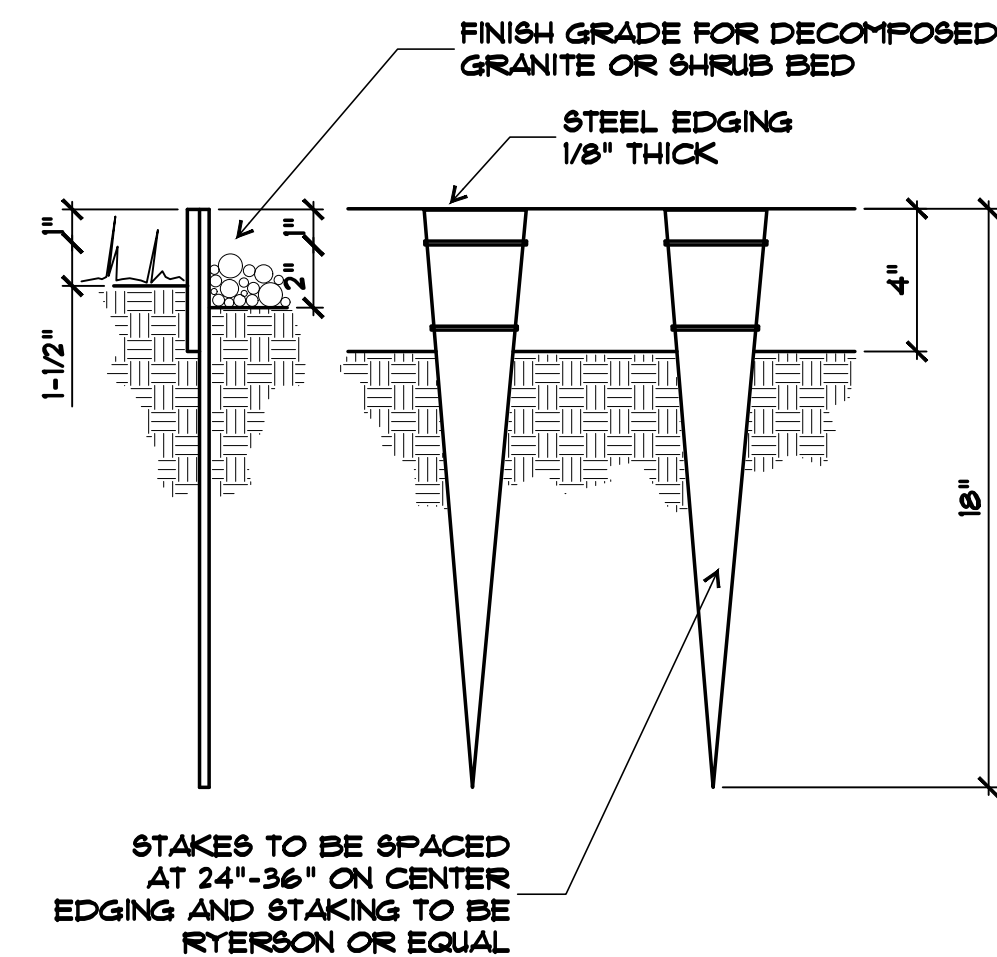
32 FIRE PIT NEXT TO RAMADA

SCALE: 3/4" = 1'-0"



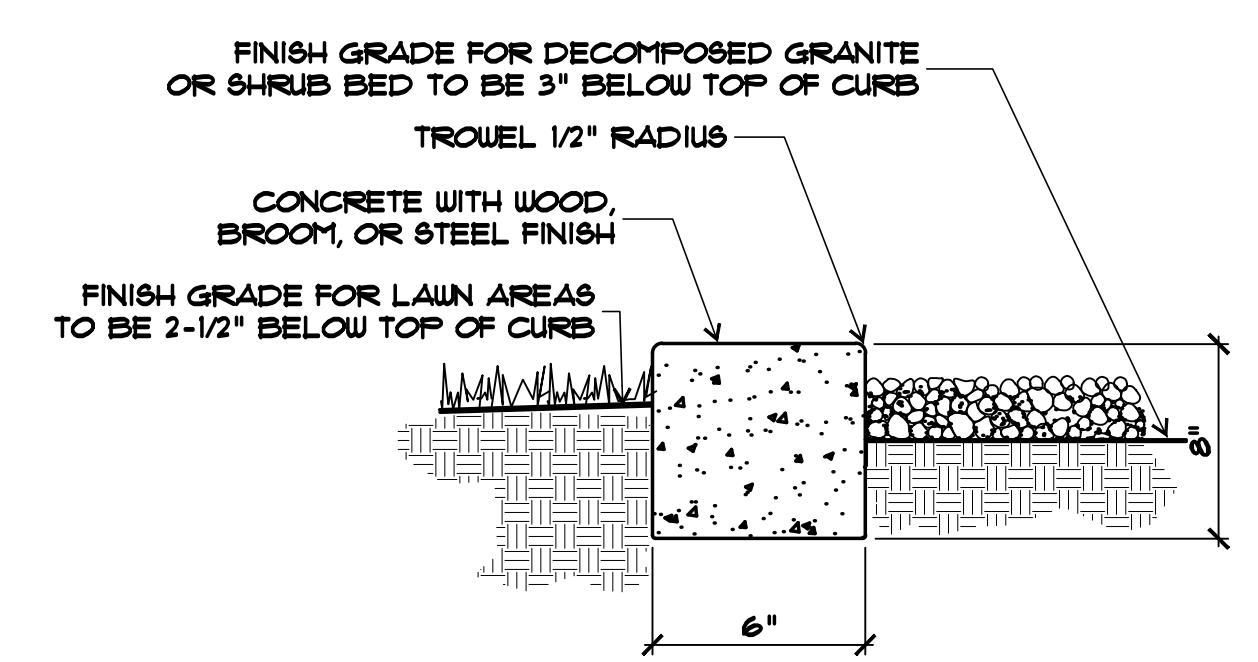
42 CURB AND GUTTER & CURB CUT DETAILS

NOT TO SCALE



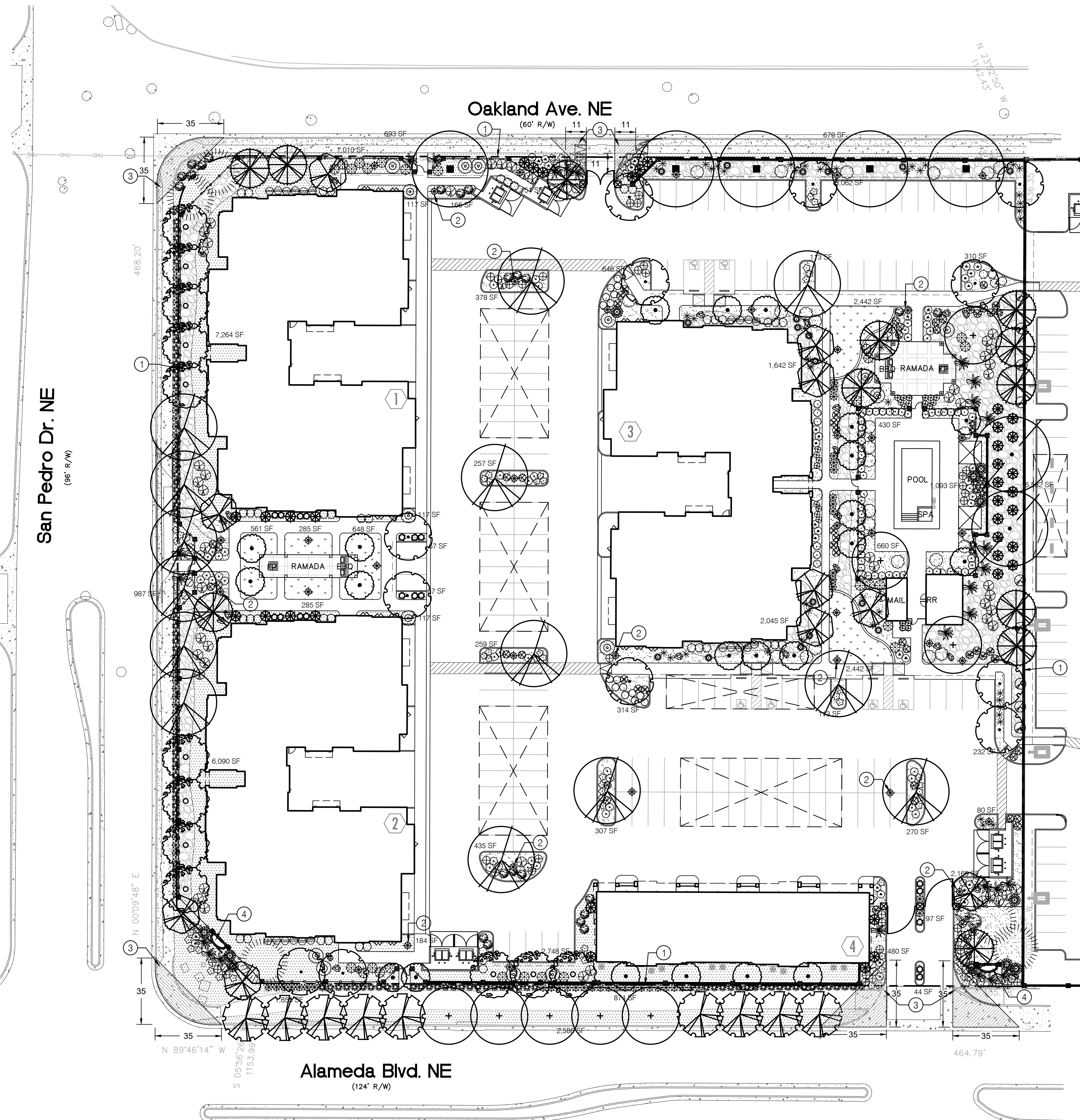
36 STEEL HEADER

NOT TO SCALE



33 CONCRETE HEADER

NOT TO SCALE



GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH CRUSHER FINES, 3/4" GRAY ROCK MULCH, 1"-3" ROCK MULCH, OR SIMILAR MATERIAL. CONCRETE HEADERS SHALL BE PROVIDED TO SEPARATE TURF AREAS FROM PLANTING AREAS.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. TURF VALVES WILL BE OPERATED TO PROVIDE 1/2" OF WATER PER CYCLE (PEAK SEASON).

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA:	195,479 SF (4.48 AC)
BUILDING AREA (BUILDING ENVELOPE):	-48,923 SF
NET AREA:	146,556 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 21,983 SF
PROVIDED LANDSCAPE AREA: 54,386 SF (37%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPING COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE OF THE REQUIRED LANDSCAPE AREA. A MINIMUM OF 30% COVERAGE OF THE TOTAL LANDSCAPE AREA SHALL BE ACHIEVED BY GROUND-LEVEL PLANTS.
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE: 73,155 SF (134% OF LANDSCAPE AREA)

LANDSCAPE TURF
ONLY 20% OF LANDSCAPED AREAS MAY BE HIGH WATER USE TURF.
PROVIDED HIGH WATER TURF AREA 3,350 SF (6% OF LANDSCAPE AREA)

PARKING LOT TREES
THE PROJECT IS PROVIDING 162 PARKING SPACES, EXCLUDING GARAGE PARKING. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.
PARKING LOT TREES REQUIRED: 16
PARKING LOT TREES PROVIDED: 24

STREET TREES
ALAMEDA BOULEVARD IS A REGIONAL PRINCIPAL ARTERIAL AND SAN PEDRO DRIVE IS A MAJOR COLLECTOR AND THEREFORE REQUIRE STREET TREES. OAKLAND AVENUE IS A LOCAL STREET AND DOES NOT REQUIRE STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

ALAMEDA BOULEVARD FRONTAGE IS 405'.
STREET TREES REQUIRED: 14
STREET TREES PROVIDED: 14

SAN PEDRO DRIVE FRONTAGE IS 418'.
STREET TREES REQUIRED: 14
STREET TREES PROVIDED: 17

SITE TREES
TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY TWO SECOND FLOOR UNITS. NO ADDITIONAL TREES ARE REQUIRED FOR UNITS ABOVE SECOND STORY. 27 FIRST FLOOR UNITS AND 36 SECOND STORY UNITS ARE PROVIDED.
SITE TREES REQUIRED: 45
SITE TREES PROVIDED: 146

- KEY NOTES**
- PROPERTY LINE, TYP.
 - SITE LIGHTING, TYP.
 - CLEAR SIGHT TRIANGLE
 - RAISED ANNUAL BEDS

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
9	(Symbol)	ACER TATARICUM 'GAR ANN' HOT WINGS MAPLE	2" B&B	10 HT. X 5" SPR. 20HT. X 24" SPR.	MED+
12	(Symbol)	CERCIS RENIFORMIS 'OKLAHOMA OKLAHOMA REDBUD	2" B&B	8 HT. X 4" SPR. 20 HT. X 25" SPR.	MED
10	(Symbol)	CHILOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW	8 MS	8 HT. X 4" SPR. 20 HT. X 20" SPR.	LOW+
8	(Symbol)	FRAXINUS PENNSYLVANICA 'URBANITE' URBANITE ASH	2.5" B&B	12 HT. X 6" SPR. 40 HT. X 30" SPR.	MED+
14	(Symbol)	GLEDTISIA TRIACANTHUS 'SKYCOLE' SKYLINE HONEYLOCUST	2.5" B&B	12 HT. X 6" SPR. 45 HT. X 35" SPR.	MED+
36	(Symbol)	JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER	15 GAL	12 HT. X 5" SPR.	LOW+
5	(Symbol)	PINUS NIGRA AUSTRIAN PINE	B&B	8 MIN. HT. 35 HT. X 25" SPR.	MED
5	(Symbol)	PISTACHE X RED PUSH' RED PUSH PISTACHE	2.5" B&B	12 HT. X 6" SPR. 40 HT. X 40" SPR.	MED
12	(Symbol)	ULMUS PROPINQUA 'JFS-BIEBERICH' EMERALD SUNSHINE ELM	2.5" B&B	12 HT. X 6" SPR. 35 HT. X 25" SPR.	MED+
22	(Symbol)	PYRUS CALLERYANA 'GLENS FORM' CHANTICLEER PEAR	2.5" B&B	12 HT. X 4" SPR. 40 HT. X 15" SPR.	MED+
2	(Symbol)	QUERCUS BICOLOR SWAMP WHITE OAK	2.5" B&B	12 HT. X 6" SPR. 45 HT. X 45" SPR.	MED
12	(Symbol)	VITEX AGNIUS-CASTUS CHASTETREE (MULTI STEM)	15-GAL	8 HT. X 4" SPR. 20 HT. X 20" SPR.	MED
SHRUBS AND GROUNDCOVERS					
77	(Symbol)	ACHILLEA MOONSHINE' MOONSHINE YARROW	1-GAL	2 HT. X 2" SPR.	MED
23	(Symbol)	BERBERIS T. 'CRIMSON PYGMY' CRIMSON PYGMY BARBERY	5-GAL	2 HT. X 2" SPR.	LOW
10	(Symbol)	BUDDLEIA DAVIDII 'NANHOENSIS' DWARF BLUE BUTTERFLY BUSH	5-GAL	4 HT. X 4" SPR.	MED
30	(Symbol)	BUXUS JAPONICA 'WINTER GEM' WINTER GEM BOXWOOD	5-GAL	4 HT. X 4" SPR.	MED
26	(Symbol)	CARYOPTERIS CLAN. 'DARK KNIGHT' DARK KNIGHT SPIREA	5-GAL	4 HT. X 4" SPR.	LOW
25	(Symbol)	COTONEASTER APICULATUS CRANBERRY COTONEASTER	5-GAL	2 HT. X 5" SPR.	MED
14	(Symbol)	CYTISUS SCOPARIUS 'ALL GOLD' ALL GOLD SCOTCH BROOM	5GAL	4 HT. X 4" SPR.	LOW
53	(Symbol)	FALLUGIA PARADOXA APACHE PLUME	5-GAL	5 HT. X 5" SPR.	LOW
24	(Symbol)	HEMEROCALLIS HYBRID 'STELLA D'ORO' STELLA D'ORO DAY LILY	1-GAL	1 HT. X 18" SPR.	LOW
27	(Symbol)	JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER	5-GAL	1 HT. X 7" SPR.	MED
26	(Symbol)	JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER	5-GAL	1 HT. X 8" SPR.	MED
11	(Symbol)	LAGERSTROEMIA INDICA 'DYNAMITE' DYNAMITE CRAPE MYRTLE	15-GAL	12 HT. X 6" SPR.	MED
49	(Symbol)	NANDINA DOMESTICA 'GULFSTREAM' HEAVENLY BAMBOO	5-GAL	4 HT. X 4" SPR.	MED+
15	(Symbol)	PINUS MUGO 'PUMILIO' DWARF MUGO PINE	5-GAL	4 HT. X 6" SPR.	MED
16	(Symbol)	POTENTILLA FRUTICOSA 'JACKMANII' JACKMAN'S SHRUBBY CINQUEFOIL	5-GAL	3 HT. X 3" SPR.	MED
27	(Symbol)	PRUNUS CISTENA PURPLELEAF SAND CHERRY	5-GAL	6 HT. X 5" SPR.	MED
21	(Symbol)	RHAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL	4 HT. X 4" SPR.	LOW
48	(Symbol)	RHUS AROMATICA 'GRO-LOW' PROSTRATE SUMAC	5-GAL	2 HT. X 4" SPR.	LOW+
13	(Symbol)	ROSA 'KNOCK OUT' KNOCK OUT ROSE	5-GAL	3 HT. X 3" SPR.	MED
34	(Symbol)	SALVIA DORRII PURPLE SAGE	5-GAL	3 HT. X 3" SPR.	MED
37	(Symbol)	SALVIA GREGGII 'FURMAN'S RED' FURMAN'S RED CHERRY SAGE	3-GAL	30" HT. X 3" SPR.	MED
VINES					
11	(Symbol)	LONICERA JAPONICA 'HALLIANA' HALL'S HONEYSUCKLE	5-GAL	6 SPR.	MED+
DESERT ACCENTS					
18	(Symbol)	DASYLIRION WHEELERI DESERT SPOON	5-GAL	4 HT. X 4" SPR.	LOW
47	(Symbol)	HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA	3-GAL	3 HT. X 3" SPR.	LOW
ORNAMENTAL GRASSES					
19	(Symbol)	CALAMOGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	5-GAL	30" HT. X 3" SPR.	MED
95	(Symbol)	MUHLENBERGIA C. 'REGAL MIST' MUHLY GRASS	5-GAL	3 HT. X 4" SPR.	MED
77	(Symbol)	PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS	1-GAL	4 HT. X 4" SPR.	LOW
TURF GRASS					
3,350 SF	(Symbol)	REVIELLE BLUEGRASS SOD			
MULCHES AND BOULDERS					
23	(Symbol)	MOSS ROCK BOULDERS (3x3" MIN)			
16,200 SF	(Symbol)	AMARETTO BROWN CRUSHER FINES (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
21,460 SF	(Symbol)	3/4" GRAY CRUSHED GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
13,510 SF	(Symbol)	2"-4" SAN LAZARUS GOLD COBBLE (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
HARDSCAPE					
	(Symbol)	6" CONCRETE EDGER AT TURF			

LEGACY NAA APARTMENTS - II

SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico

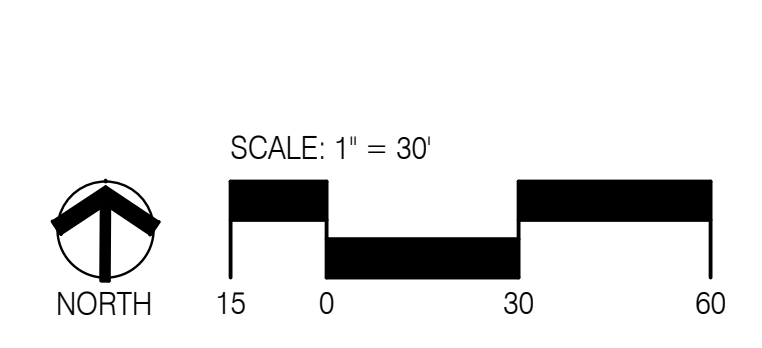
Office of Rich Barber
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Architecture, LLC
WorldHQ@ORBArch.com

LEGACY HOSPITALITY

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
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(505) 764-9801 Fax 842-5495
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REVISIONS

DATE: MARCH 7, 2018 ORB # 17-219



L1

LANDSCAPE PLAN

Hydrology

Hydrology Calculations

The following calculations are based on Albuquerque's Development Process Manual, Section 22.2

Runoff Rate:

Table with columns: Subbasin, Area (ac), Area (ac), Area (ac), Area (ac), Total (ac). Rows for Subbasin North, South, West, East, and North East.

Water Quality

Table with columns: Subbasin, Required Volume (Cu. Ft.), Drains to, Volume Provided (Cu. Ft.). Rows for Subbasin North, South, West, East, and North East.

Volume

Calculations for 100yr-10day Volume for subbasins East and Northeast

From table A-8 in the COA DPM, the values of excess precipitations for each treatment type in zone 3 are:

Small table with columns: Treatment Type, Excess Precipitation (in). Rows for 0.66, 0.92, 1.29, 2.36.

The weighted excess precipitation for each treatment type is calculated as following:

Weighted E = (E_A * A_A + E_B * A_B + E_C * A_C + E_D * A_D) / (A_A + A_B + A_C + A_D)

The weighted E was multiplied by each subbasin area to get 360 min (6 hr) volume. Then, the following equation (a-9) was used to get the 10-day volume:

V_10days = V_6hr + A_s * (P_10days - P_6hr) / 12 in/ft

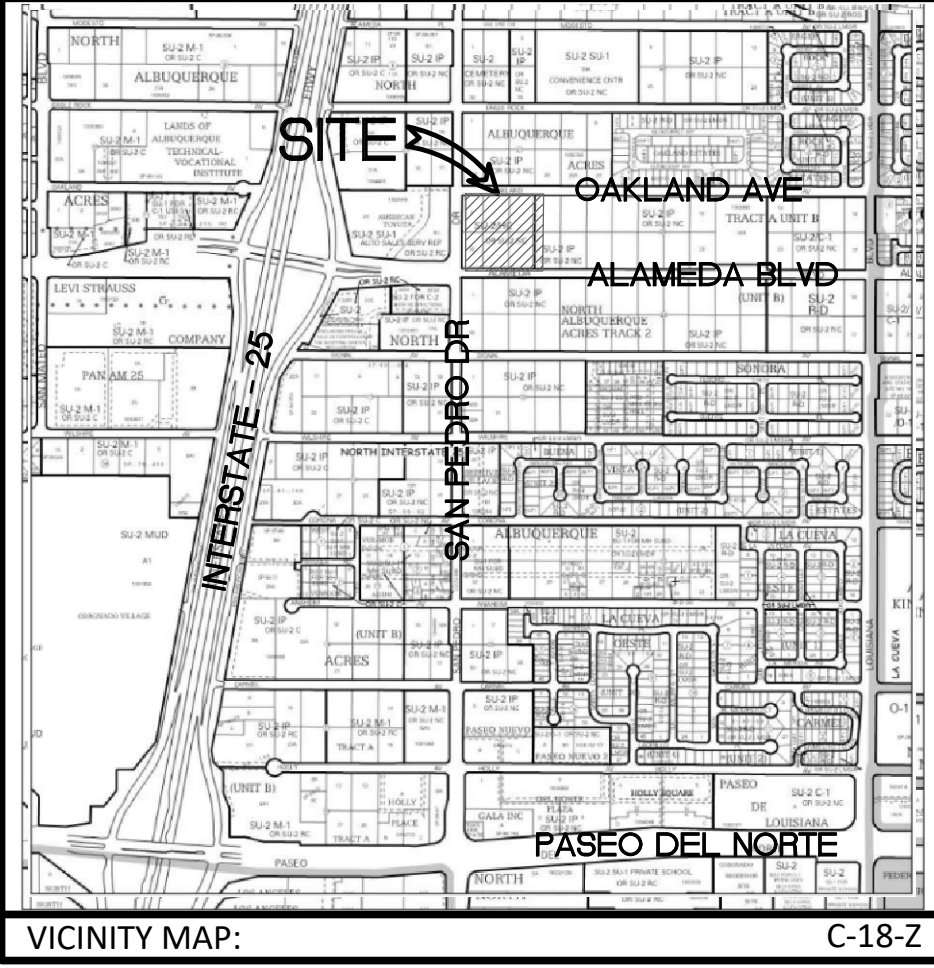
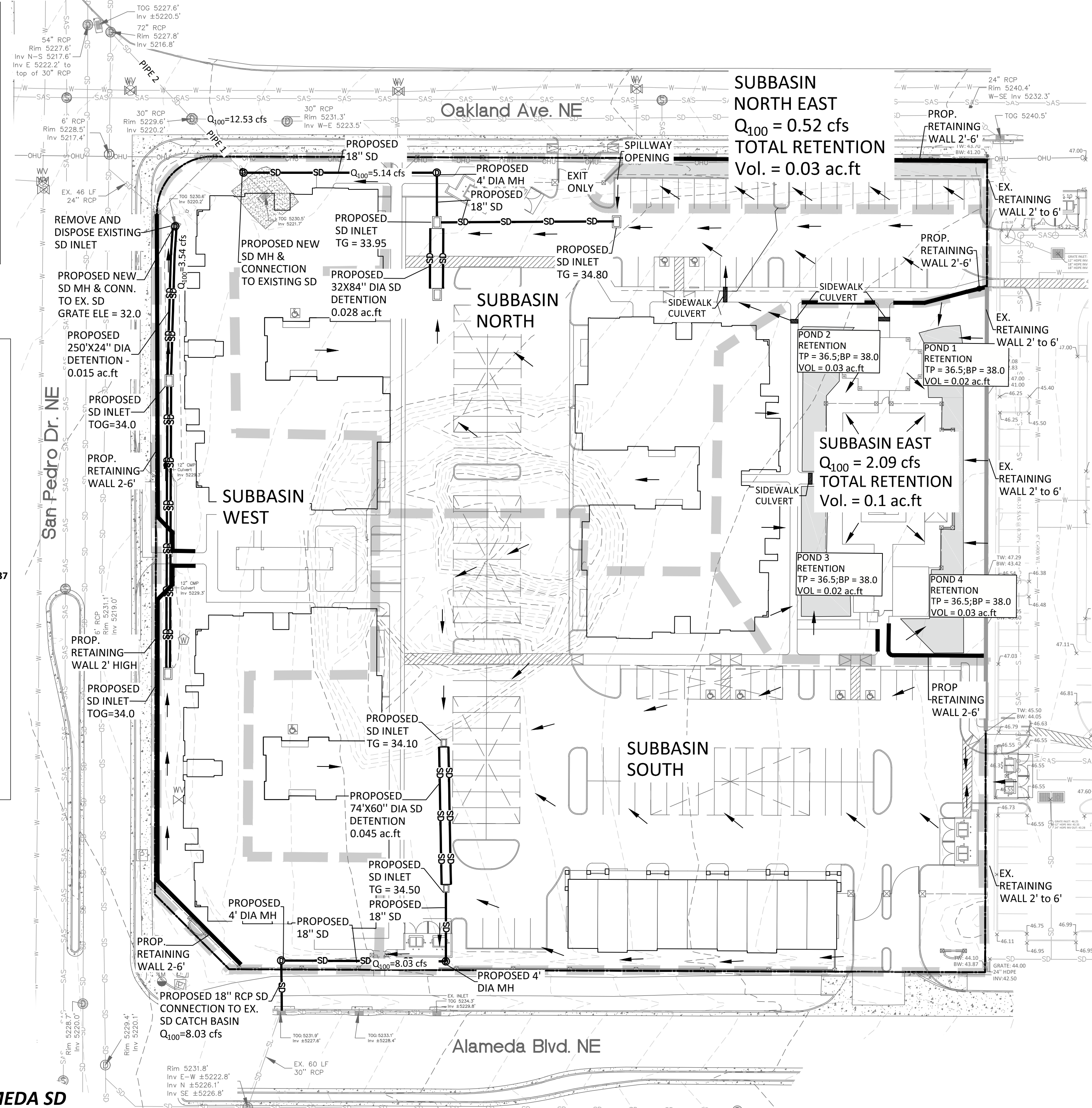
P values were taken from table A-2, for zone 3:

Small table with columns: P_6hr, P_10days. Rows for 4.90, 2.60.

The calculated V10-day for subbasins North East and East:

Table with columns: Subbasin, V360 (Cu. Ft.), V10days (Cu. Ft.). Rows for Subbasin East, Subbasin North East.

LEGEND: PROPERTY LINE, EXISTING RETAINING WALL, EXIST SD, EXIST SD MANHOLE, EXIST SD INLET, PROPOSED RETAINING WALL, PROPOSED SUBBASIN BOUNDARY, PROPOSED SD, PROPOSED SD INLET, PROPOSED SD MANHOLE, PROPOSED RETENTION POND.



RESPEC WATER & NATURAL RESOURCES. 5971 JEFFERSON ST NE ALBUQUERQUE, NM 87109 PHONE: 505.566.4187. DESIGNED: NF 2/14/18. DRAWN: NF. CHECKED: RB. DATE: 3/7/18.

Ponding

Subbasin East Pond

Table with columns: Elev., Area (Sq. Ft.), Vol (Cu. Ft.), Cum. (Cu. Ft.). Rows for Subbasin East Pond at various elevations.

Subbasin West Pond

Table with columns: Elev., Area (Sq. Ft.), Vol (Cu. Ft.), Cum. (Cu. Ft.). Rows for Subbasin West Pond at various elevations.

Subbasin North Pond

Table with columns: Elev., Area (Sq. Ft.), Vol (Cu. Ft.), Cum. (Cu. Ft.). Rows for Subbasin North Pond at various elevations.

Subbasin South Pond

Table with columns: Elev., Area (Sq. Ft.), Vol (Cu. Ft.), Cum. (Cu. Ft.). Rows for Subbasin South Pond at various elevations.

Subbasin Northeast Pond

Table with columns: Area (Sq. Ft.), Depth (ft), Vol (Cu. Ft.). Row for Subbasin Northeast Pond.

Background

Phase 2 of the Legacy NAA Apartments account for 4.44 acres within the City of Albuquerque, Bernalillo County, New Mexico. This property is located east of San Pedro Drive between Alameda Boulevard and Oakland Avenue.

The site does not currently receive any offsite flows but has previously received flows from the adjacent properties to the east. The adjacent site is currently under construction and no longer discharges onto the project area (C18D064B). This area is included in the North Albuquerque Acres Master Drainage Plan (NAAMPD).

Methodology

Hydrology Calculations for the site are performed in accordance with the Albuquerque Development Process Manual (DPM) Section 22 using AHYMO to calculate peak flow rates in order to ensure all flow paths are sufficient to carry flows effectively throughout the site.

Existing Conditions

The existing property slopes from east to west at approximately 3%. The site is currently developed and was previously used as a parking space for the Toyota dealership across San Pedro Drive (C18D083). The site runoff is currently free discharging to the northwest into an existing storm drain in San Pedro.

Proposed Conditions

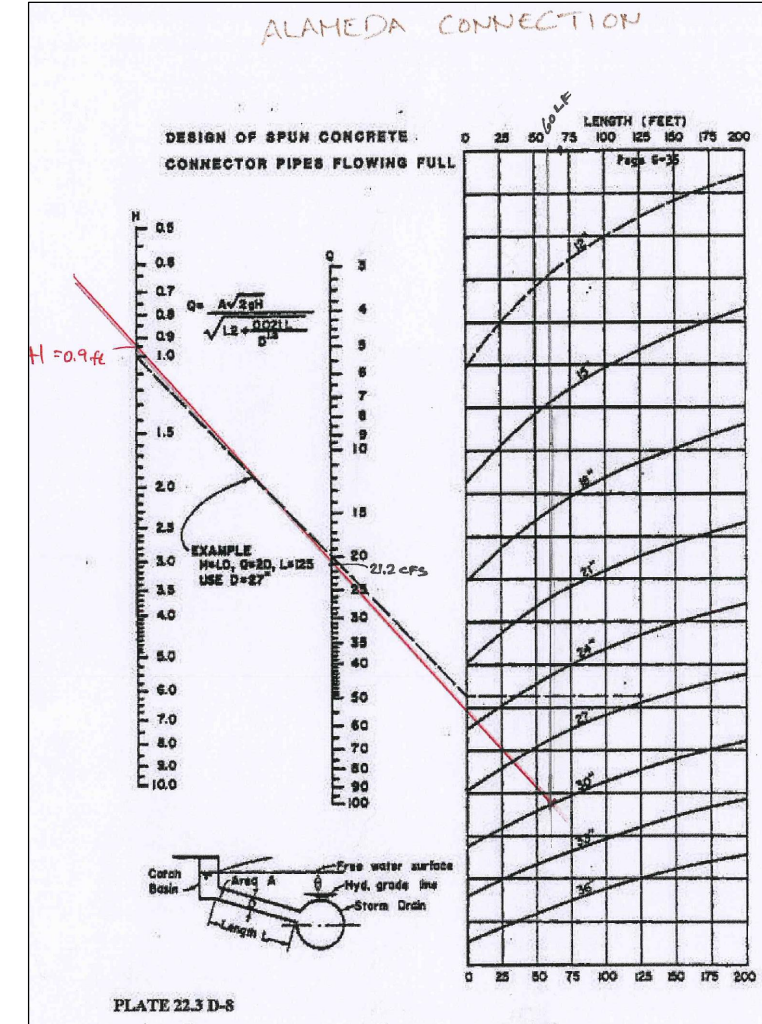
The DARSPD uses a developed impervious area of 50%, which is consistent with the assumption in the NAAMPD. One subbasin was created to model the allowable flow rate for the northern half of the property.

Five proposed subbasins were created to model the developed flow rate for the proposed site. Subbasin North is 1.13 acres and generates 5.13 cfs. Subbasin North discharges to the San Pedro storm drain.

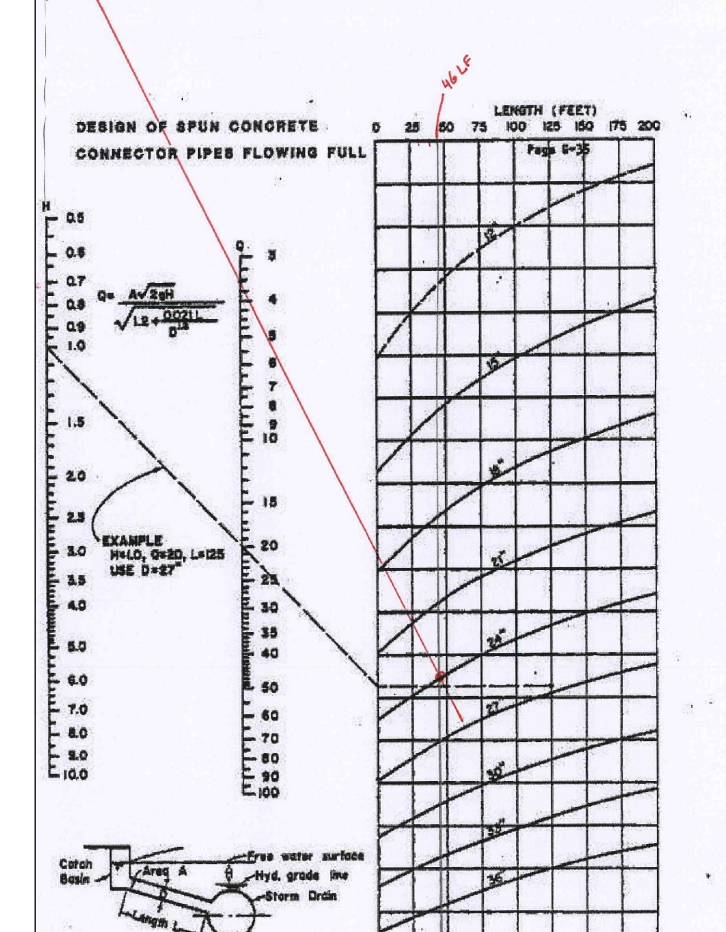
Subbasin East generates 2.09 cfs. The total 100-yr 10-day volume is 0.1 acre feet (4,729 cubic feet) and will be retained at ponds 1-4 with total capacity of 0.1 acre feet (9,945 cubic feet), the ponds will be connected by sidewalk culverts to allow interaction. An emergency spillway is proposed on the north west side of the basin to allow discharge to the parking lot storm drain.

Alameda SD HGL shows elevation of 5230 ft (COA 7663.91). According to outlet control analysis, the developed site addition will be 0.9 ft to HGL (See graph). Total HGL=5230.95, lower than grate elevation, 5231.90. San Pedro SD HGL shows elevation of 5230 ft (COA 5304.91), the developed site has no effect on the HGL. (See graph).

ALAMEDA SD OUTLET CONTROL



SAN PEDRO SD OUTLET CONTROL



OAKLAND PIPE'S CAPACITY - PIPE 1

Manning Formula table for Oakland Pipe Capacity - Pipe 1. Includes input values like Flow (15.14 cfs) and output values like Depth (0.742 ft).

OAKLAND PIPE'S CAPACITY - PIPE 2

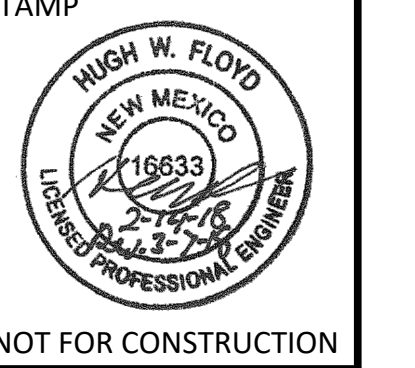
Manning Formula table for Oakland Pipe Capacity - Pipe 2. Includes input values like Flow (17.66 cfs) and output values like Depth (0.729 ft).

A-HYMO - Input

PROJECT NAME: LEGACY NAA APARTMENTS PHASE 2. JOB NO.: 03231. DATE: Jan. 19 2018. INPUT FILE NAME: NAANF.hym. OUTPUT FILE NAME: NAANF.out.

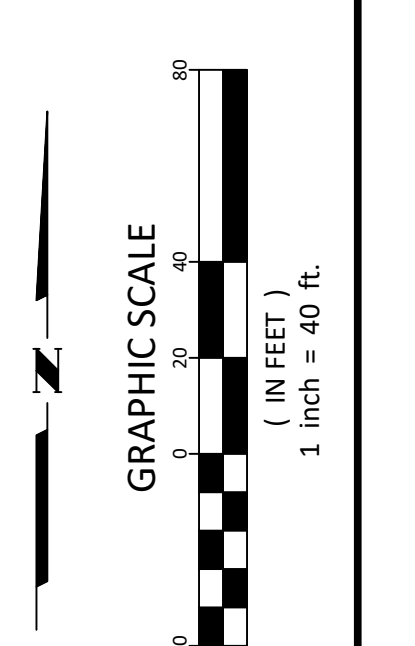
A-HYMO - Output

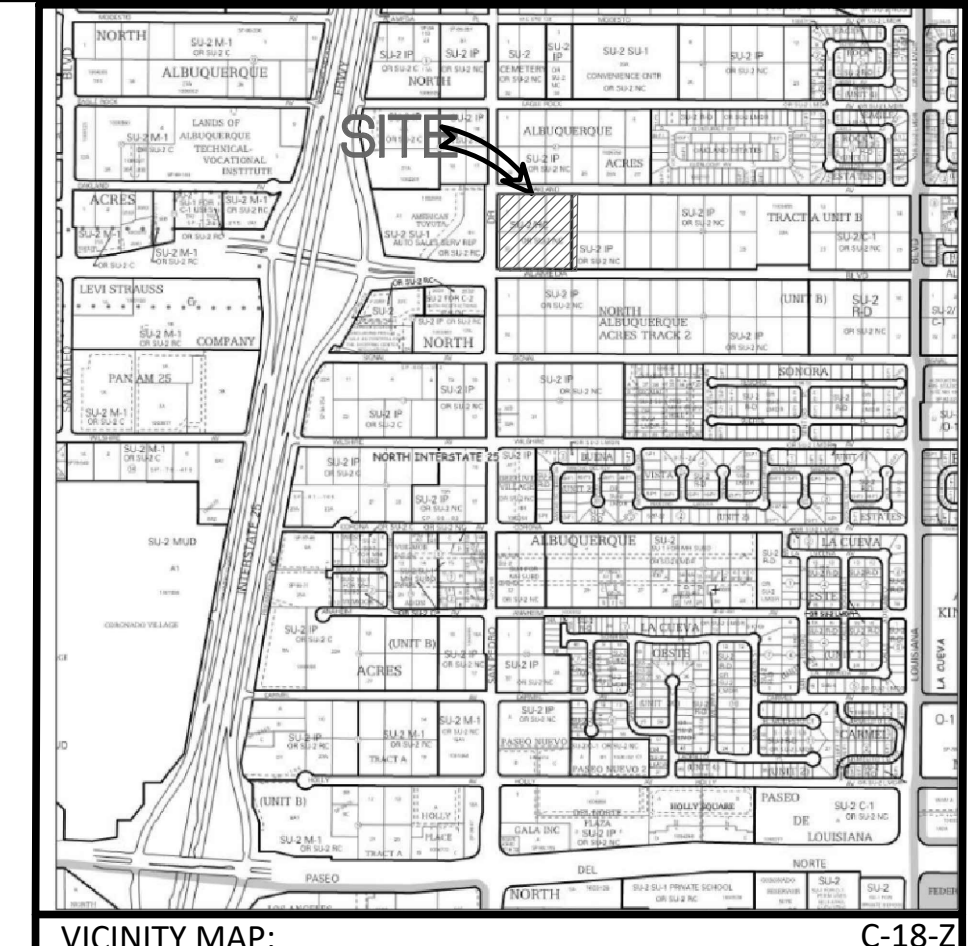
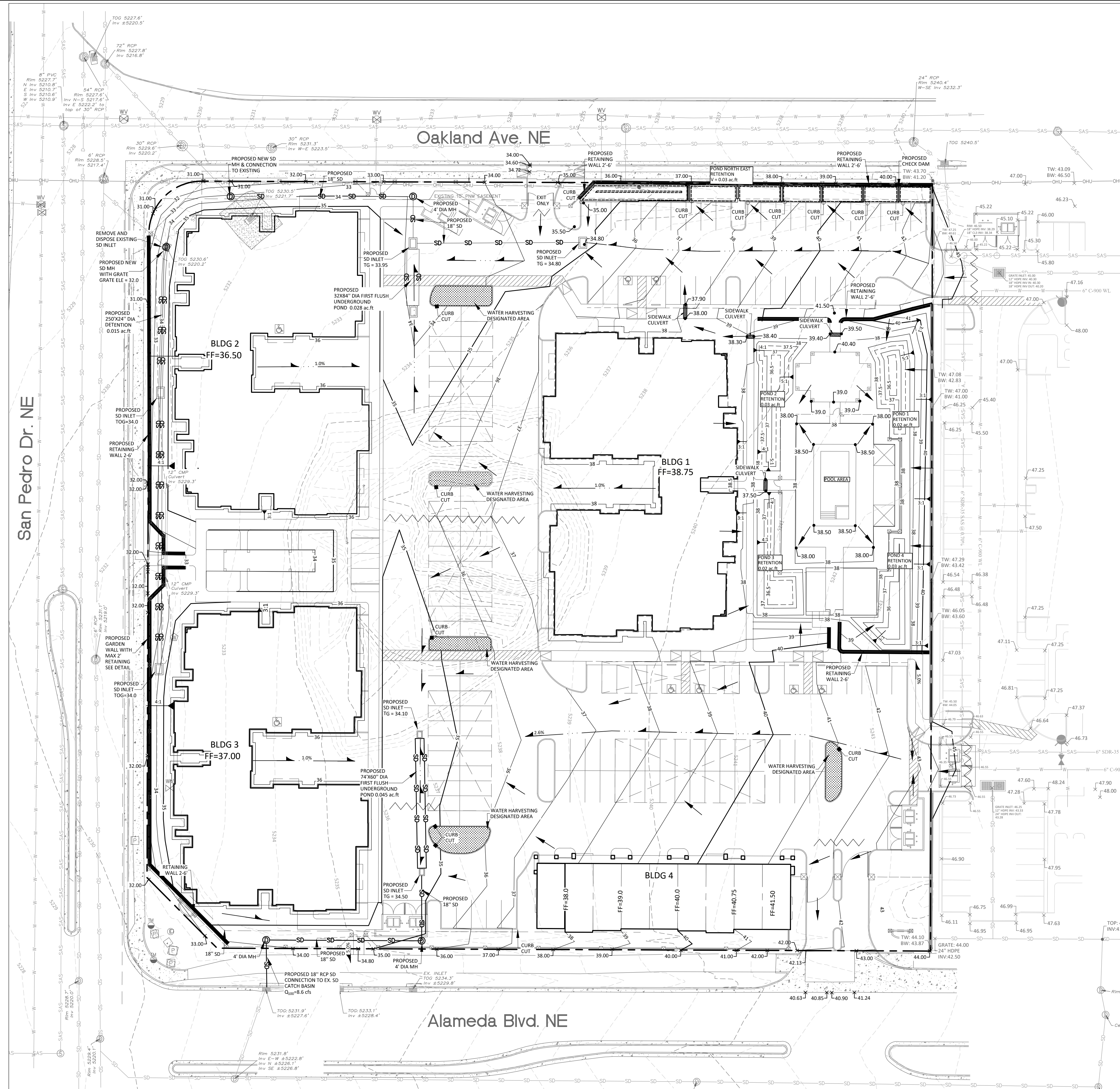
Summary table for A-HYMO output showing subbasin details, runoff volumes, and peak flows for various subbasins.



LEGAL DESCRIPTION: LOTS 1, 2, 3, & 30, 31 & 32, TRACT A UNIT 8 NORTH ALBUQUERQUE ACRES.

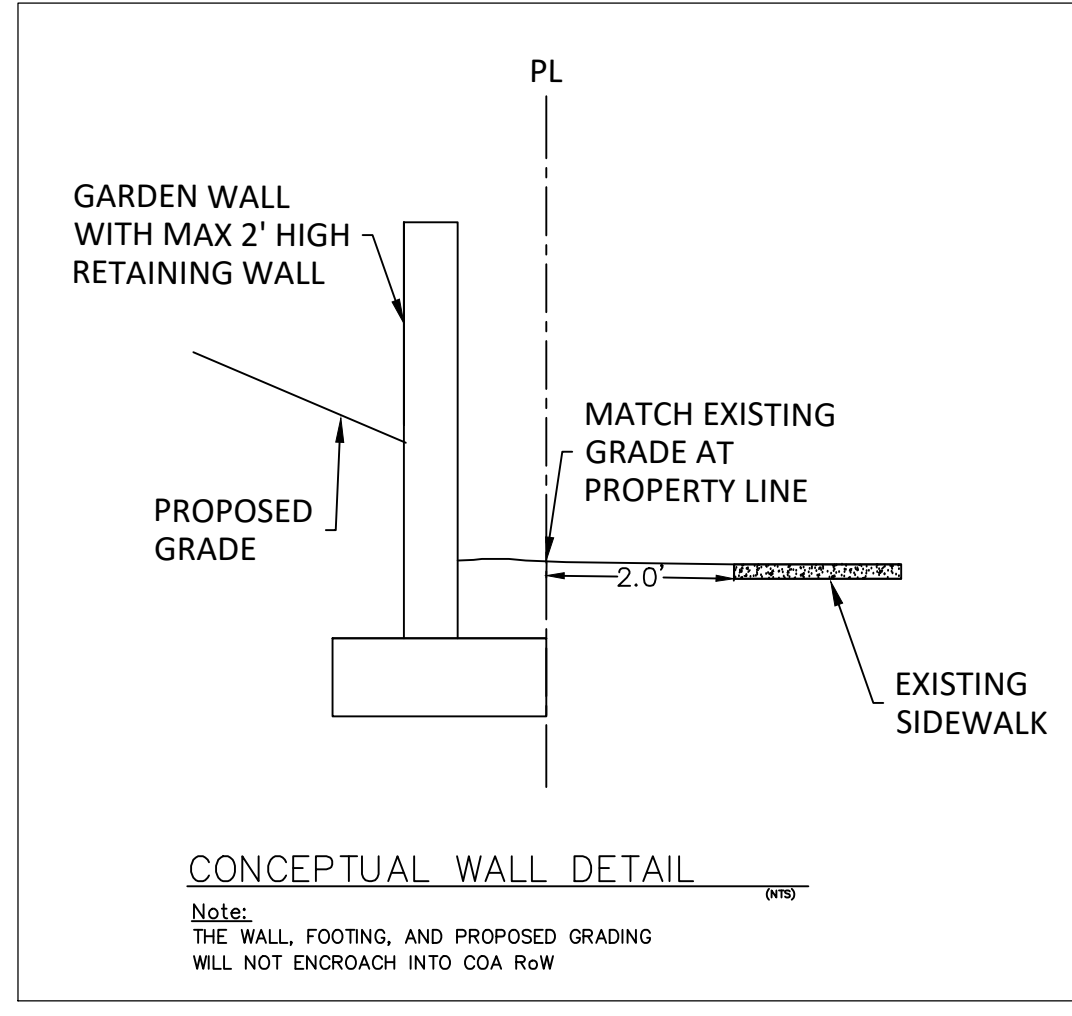
LEGACY NAA APARTMENTS II CONCEPTUAL DRAINAGE PLAN





LEGEND

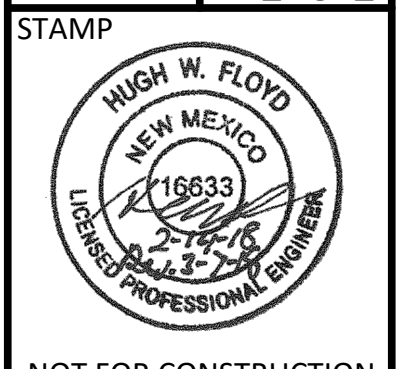
---	PROPERTY LINE
---	EXIST. ELE.
---	EXISTING RETAINING WALL
---	PROPOSED RETAINING WALL
---	PROPOSED HIGH POINT
---	PROPOSED FLOW LINE
SD	PROPOSED SD
⊙	PROPOSED SD INLET
⊙	PROPOSED SD MANHOLE
FF=00.00	PROPOSED FINISHED FLOOR ELE.
---	PROPOSED WATER HARVESTING AREA
⊙	EXIST SD
⊙	EXIST SD MANHOLE
⊙	EXIST SD INLET



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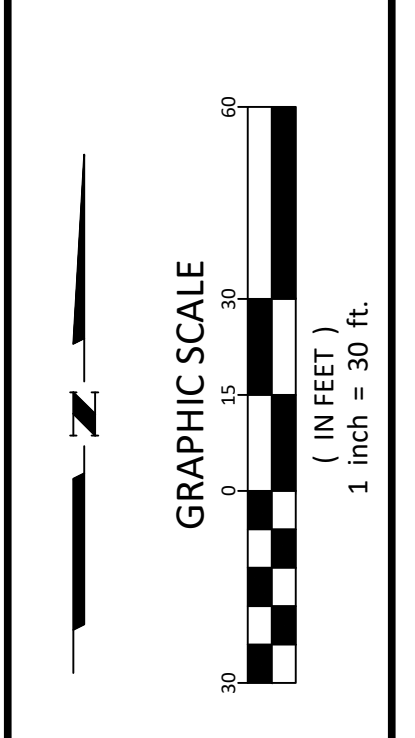
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DRAWN: NF
CHECKED: RB
DATE: 3/7/2018



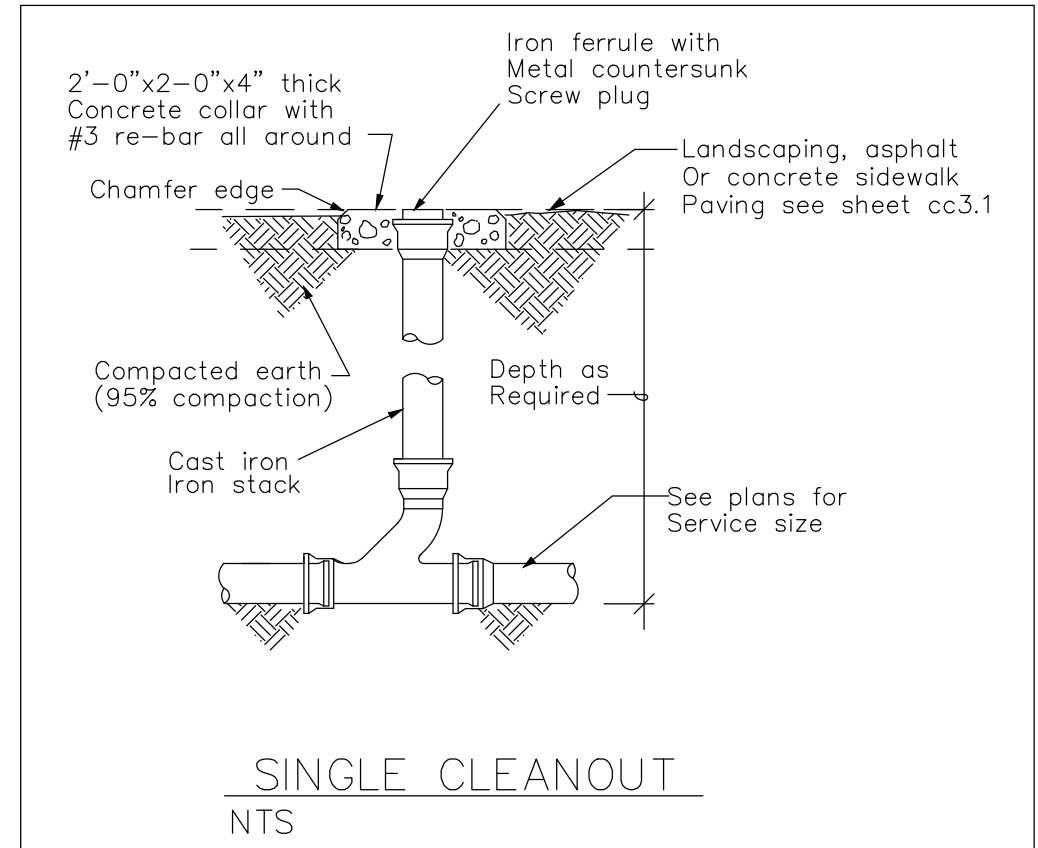
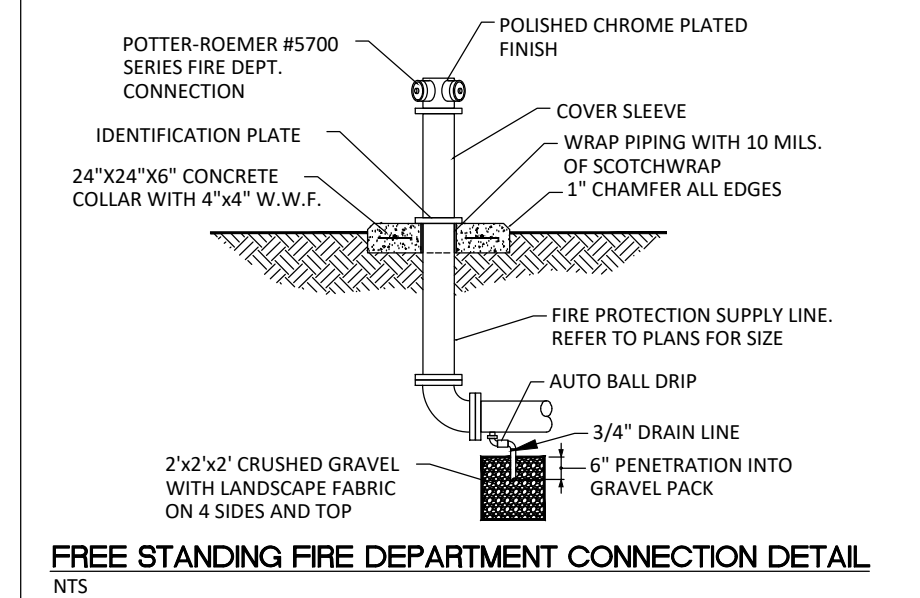
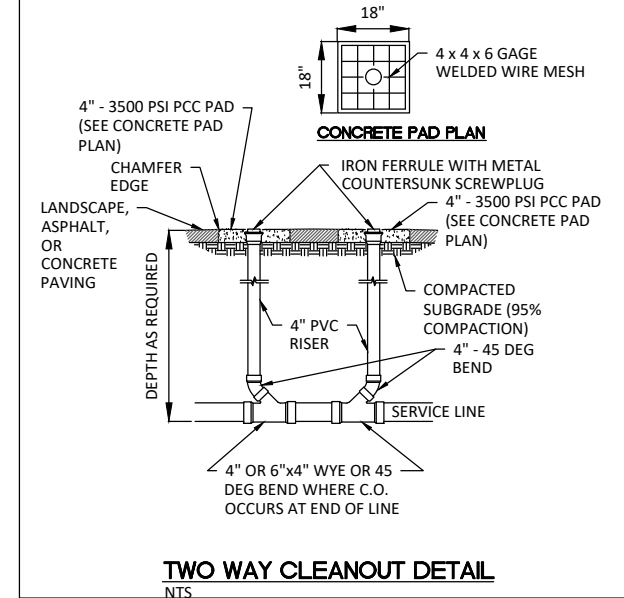
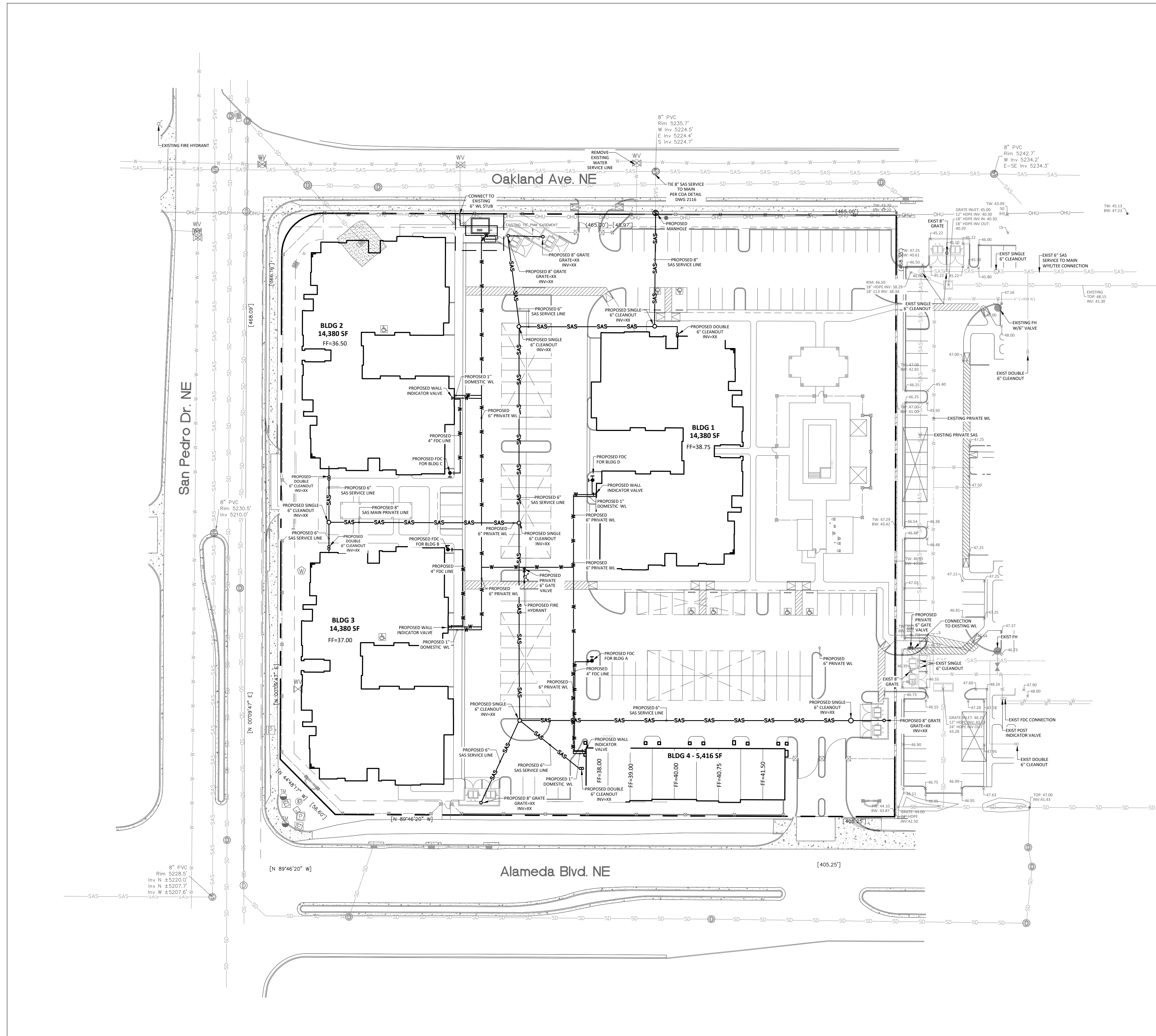
NOT FOR CONSTRUCTION

LEGAL DESCRIPTION:
LOTS 1, 2, 3, & 3031 & 32,
TRACT A UNIT B NORTH
ALBUQUERQUE ACERS

**LEGACY NAA
APARTMENTS II
CONCEPTUAL GRADING PLAN**

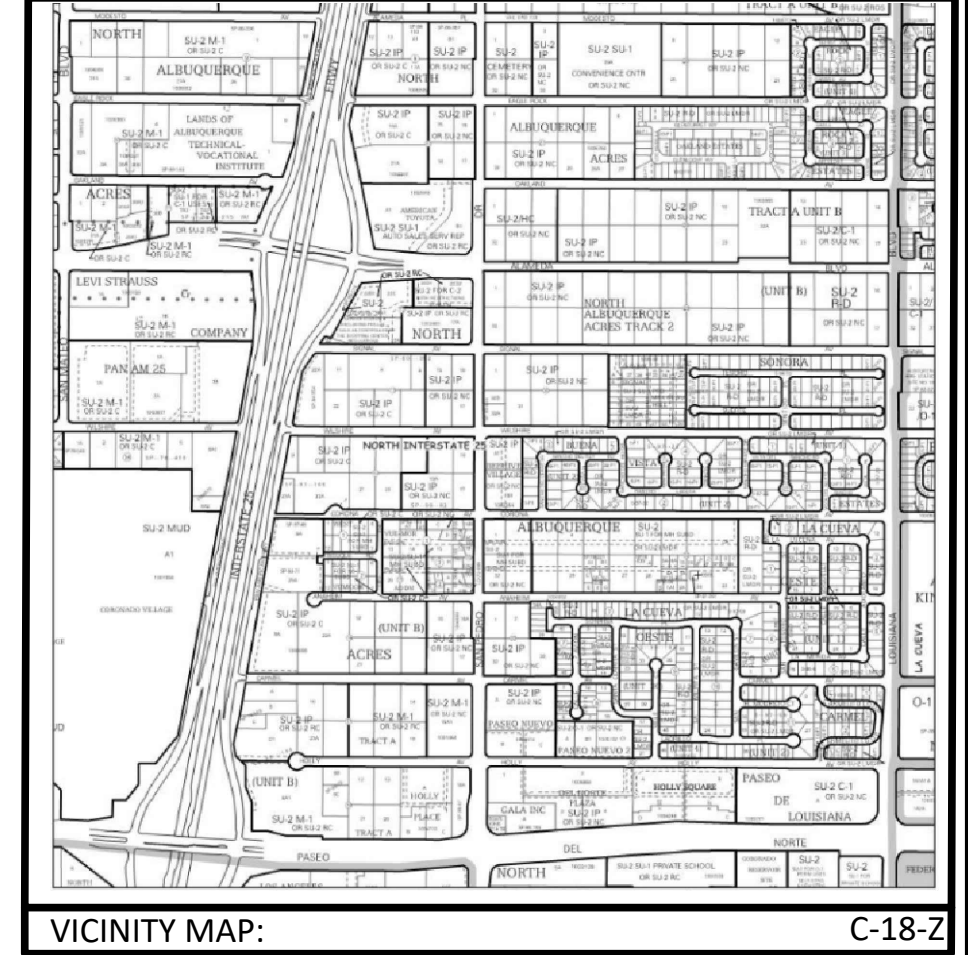


SHEET NUMBER:
C-2



LEGEND

- PROPERTY BOUNDARY
- W --- EXISTING WATER LINE
- W --- PROPOSED WATER LINE
- SAS --- EXISTING SANITARY SEWER LINE
- SAS --- PROPOSED SANITARY SEWER LINE
- ⊙ PROPOSED SEWER MANHOLE
- ⊙ EXISTING SEWER MANHOLE



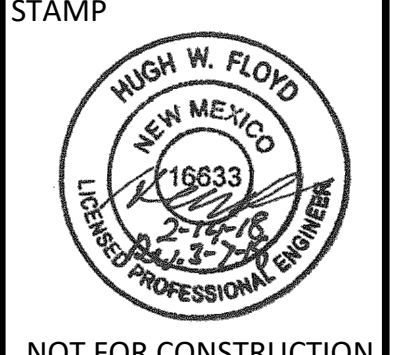
GENERAL NOTES:

1. TYPE RPBA BACKFLOW PREVENTERS FOR THE DOMESTIC WATER AND FIRE LINES SHALL BE PROVIDED INTERNAL TO THE PROPOSED BUILDING PER COA STANDARD DWG 2385. THE BACKFLOW PREVENTERS SHALL BE THE SAME SIZE AS THE TAP/CONNECTION AT THE MAIN LINE.

REVISION

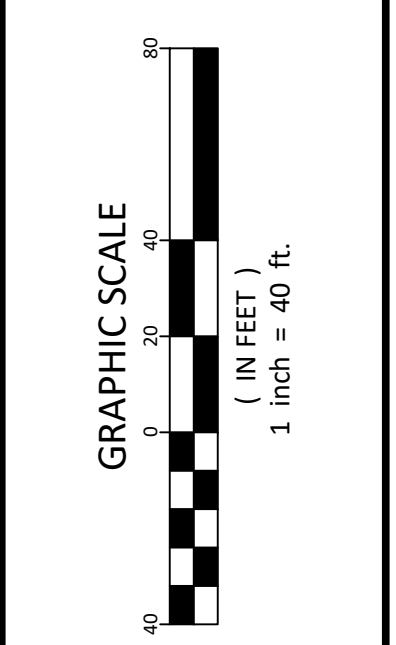
NO.	DATE	BY	CHKD	DATE
1	2/14/2018	RF	RF	
2		RF	RF	
3		RF	RF	
4		RF	RF	

DESIGNED: RF
DRAWN: RF
CHECKED: RF
DATE: 3/7/2018



LEGAL DESCRIPTION:
LOTS 1, 2, 3, & 30, 31 & 32,
TRACT A UNIT B NORTH
ALBUQUERQUE ACERS

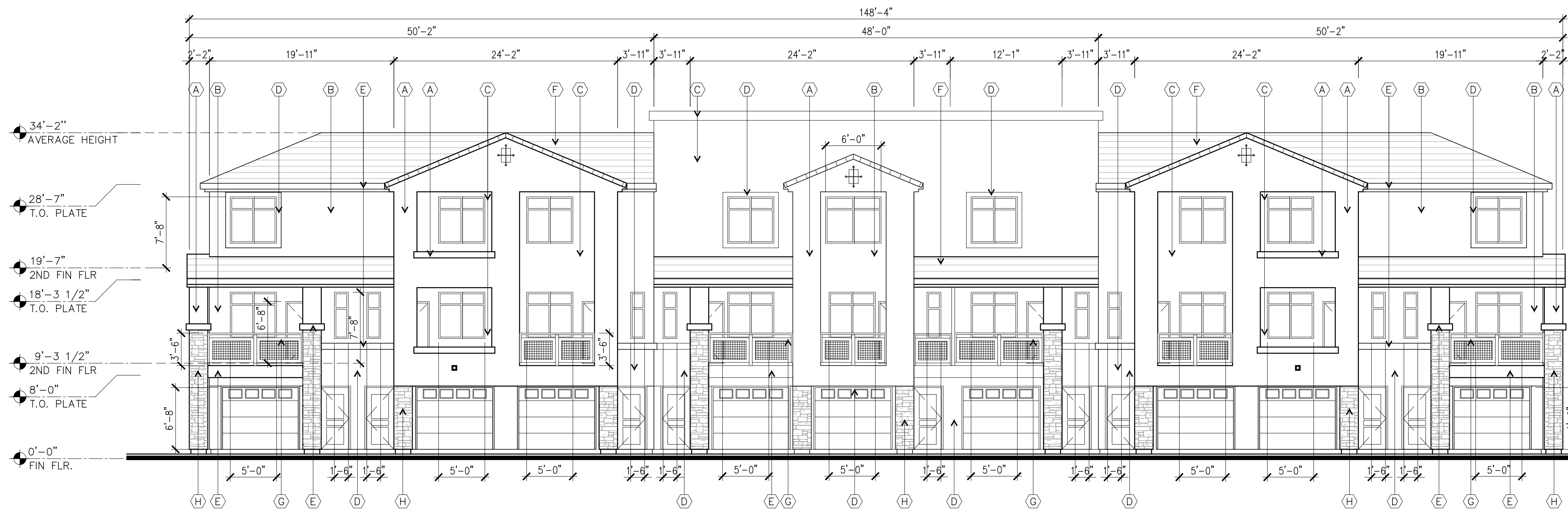
**LEGACY NAA
APARTMENTS II
UTILITY PLAN**



SHEET NUMBER:
C-3

5971 JEFFERSON ST NE
ALBUQUERQUE, NM 87109
PHONE: 505.966.4187





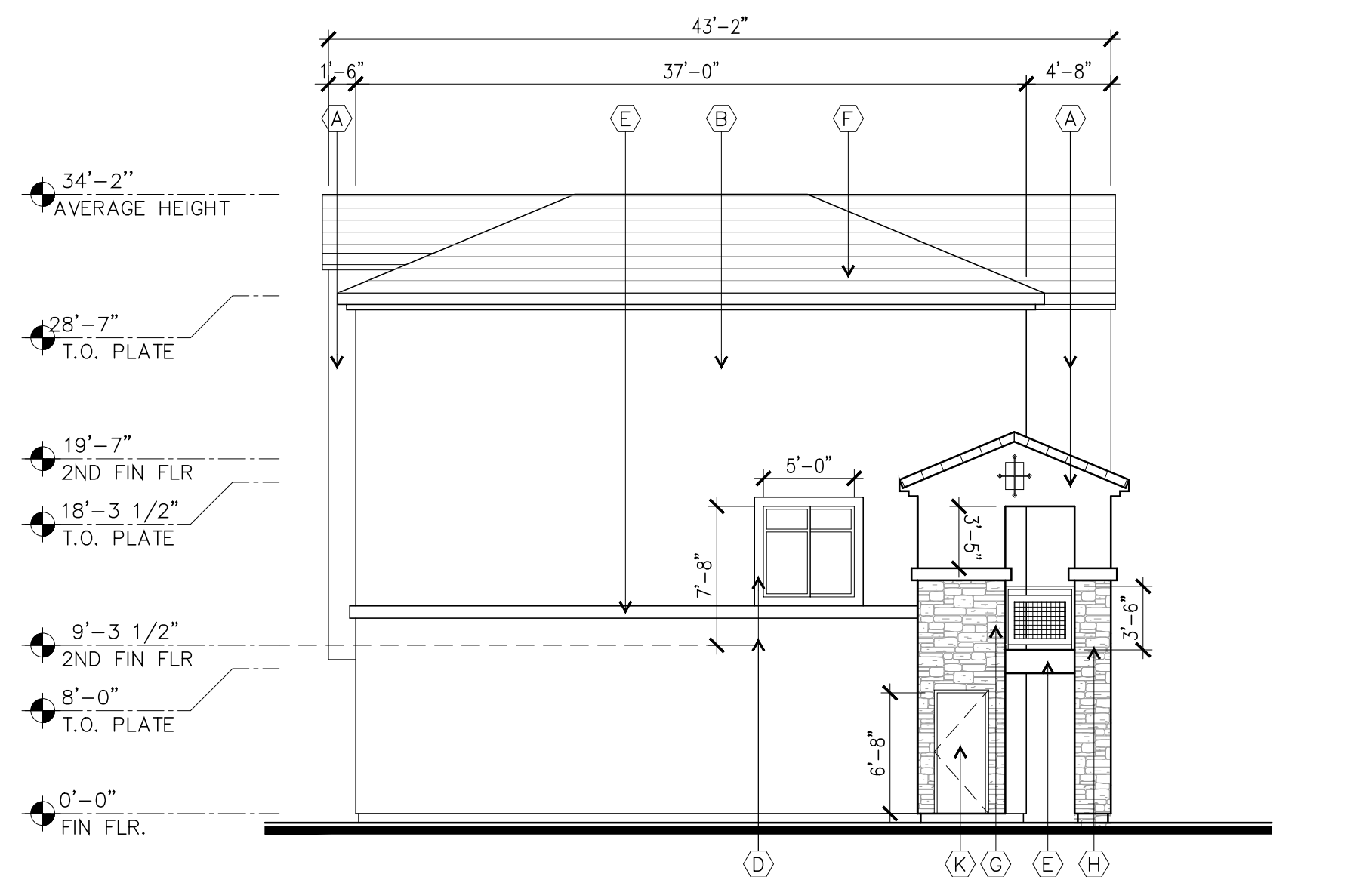
1 - FRONT ELEVATION (NORTH)

SCALE: 1/8" = 1'-0"



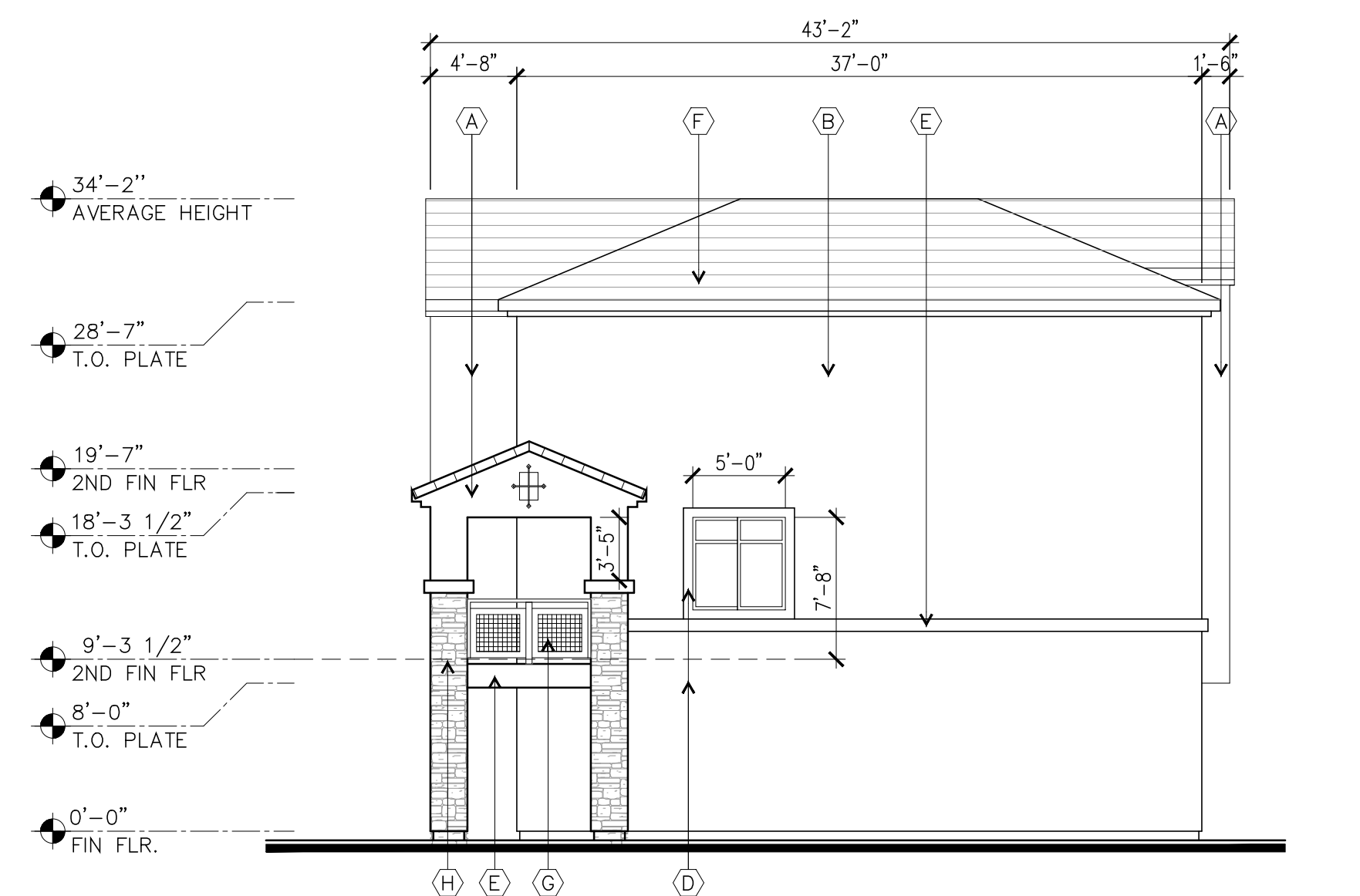
2 - BACK ELEVATION (SOUTH)

SCALE: 1/8" = 1'-0"



4 - LEFT ELEVATION (EAST)

SCALE: 1/8" = 1'-0"



3 - RIGHT ELEVATION (WEST)

SCALE: 1/8" = 1'-0"

MATERIAL KEY NOTES:

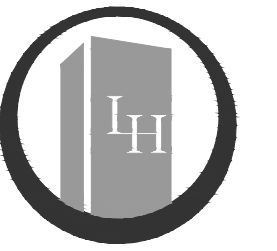
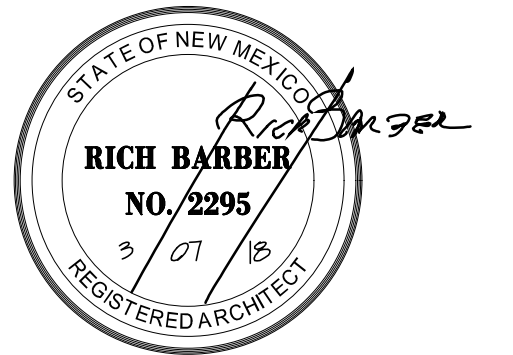
- (A) STUCCO FINISH LIGHT BEIGE
- (B) STUCCO FINISH DARK BEIGE
- (C) STUCCO FINISH LIGHT BROWN
- (D) STUCCO FINISH DARK BROWN
- (E) STUCCO FINISH DARK GRAY
- (F) TILE ROOF
- (G) RAILINGS DARK GRAY
- (H) STONE VENEER
- (I) BRICK VENEER
- (J) WALL OPENING
- (K) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL

GENERAL NOTES:

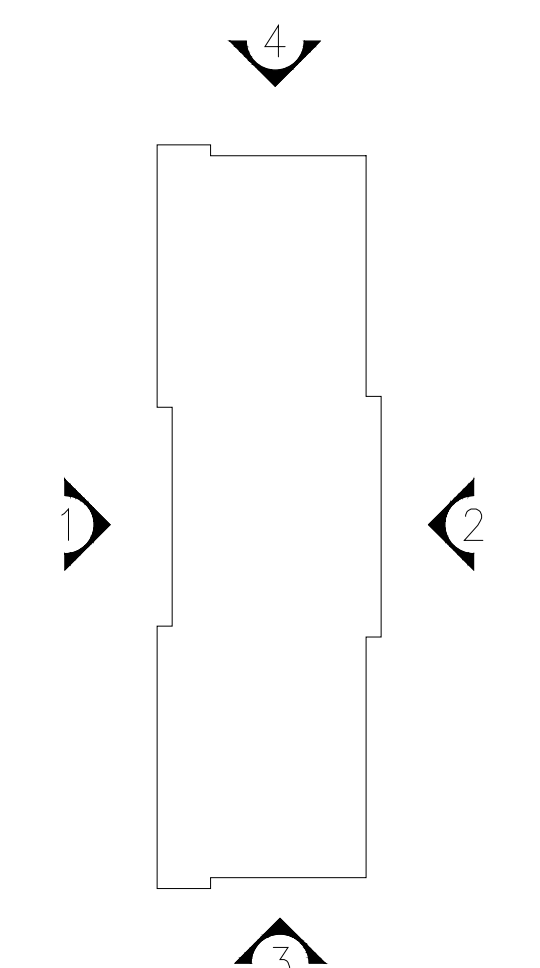
1. ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE ADJACENT PUBLIC RIGHT-OF-WAY BY PARAPET WALLS OR STRUCTURAL FEATURES THAT SHALL NOT EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT. IN ORDER TO ACHIEVE VERTICAL ARTICULATION, ARCHITECTURAL/STRUCTURAL FEATURES MAY EXCEED THE HEIGHT OF THE ROOF MOUNTED EQUIPMENT BUT SHALL NOT, AT ANY POINT, EXCEED ONE-HALF (1/2) OF THE HEIGHT OF THE SUPPORTING WALL.
2. SKYLIGHTS AND ROOF VENTS ARE PERMITTED ONLY ON THE ROOF PLANE OPPOSITE THE PRIMARY STREET OR RIGHT-OF-WAY OR WHEN SHIELDED FROM PUBLIC RIGHT-OF-WAY VIEW BY THE BUILDING'S PARAPET.
3. GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.

LEGACY NAA APARTMENTS - II
SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico

Office of Rich Barber
ORB Architecture, LLC
WorldHQ@ORBArch.com



LEGACY HOSPITALITY



KEYMAP

DATE: MARCH 7, 2018 ORB # 17-219

A3.16

BUILDING TYPE I ELEVATIONS

MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT BEIGE
- (B) STUCCO FINISH DARK BEIGE
- (C) STUCCO FINISH LIGHT BROWN
- (D) STUCCO FINISH DARK BROWN
- (E) STUCCO FINISH DARK GRAY
- (F) TILE ROOF
- (G) RAILINGS DARK GRAY
- (H) STONE VENEER
- (I) BRICK VENEER
- (J) WALL OPENING
- (K) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL

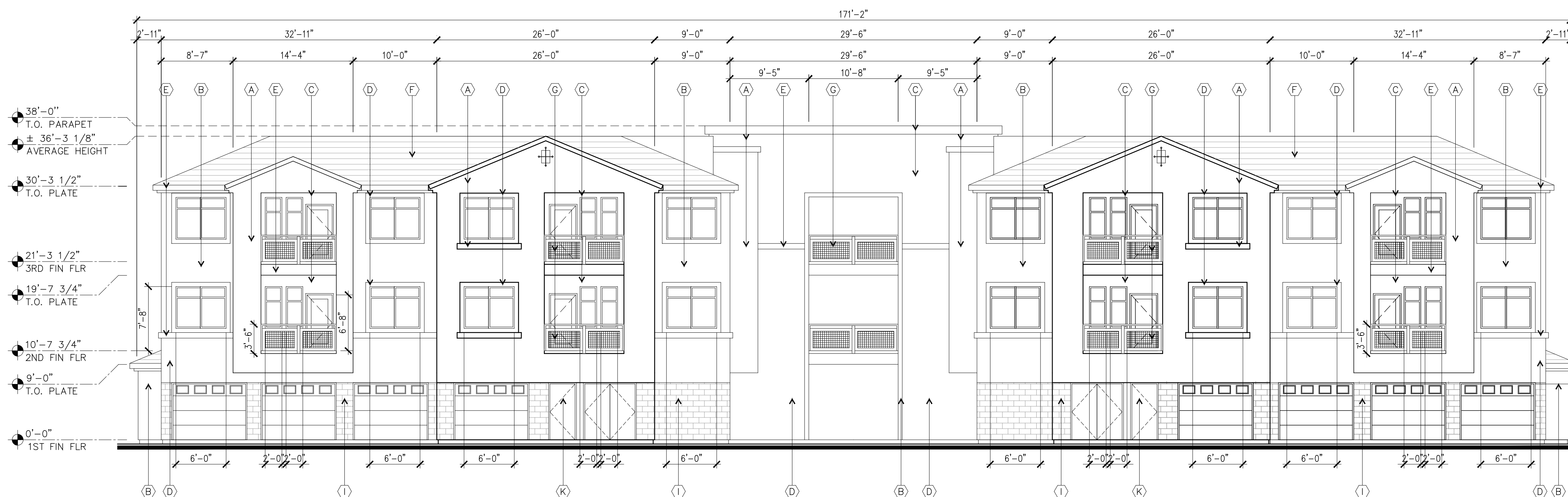
GENERAL NOTES:

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2. GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.



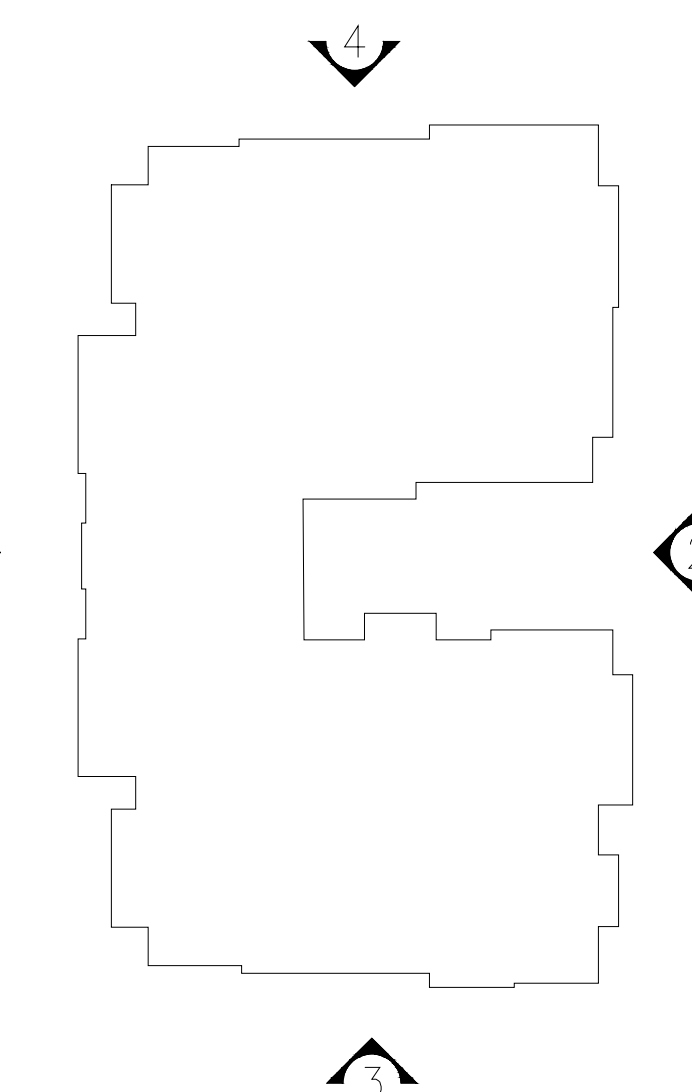
1 - FRONT ELEVATION

16' | 4' | 8' | 16'
SCALE: 1/8" = 1'-0"



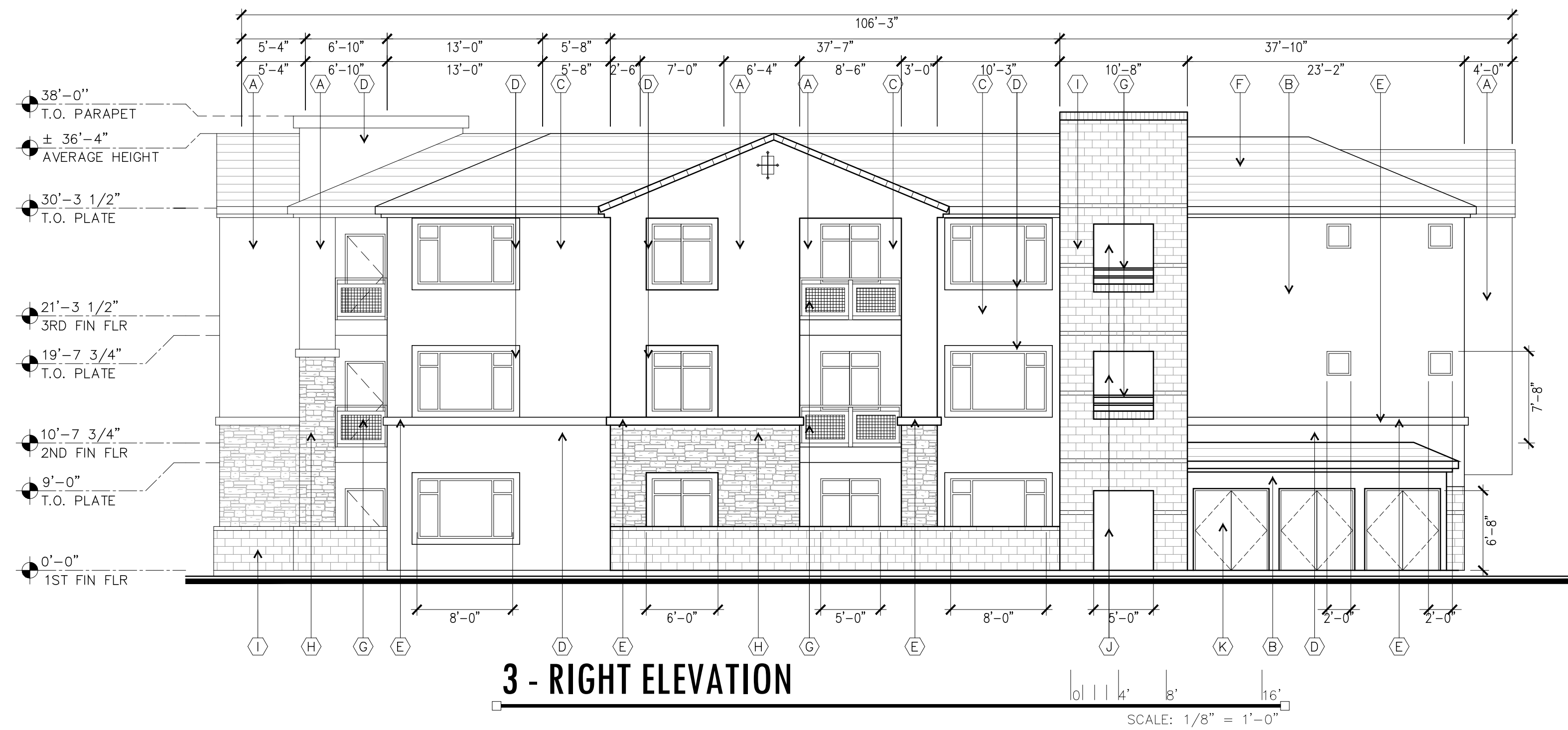
2 - REAR ELEVATION

16' | 4' | 8' | 16'
SCALE: 1/8" = 1'-0"



KEYMAP

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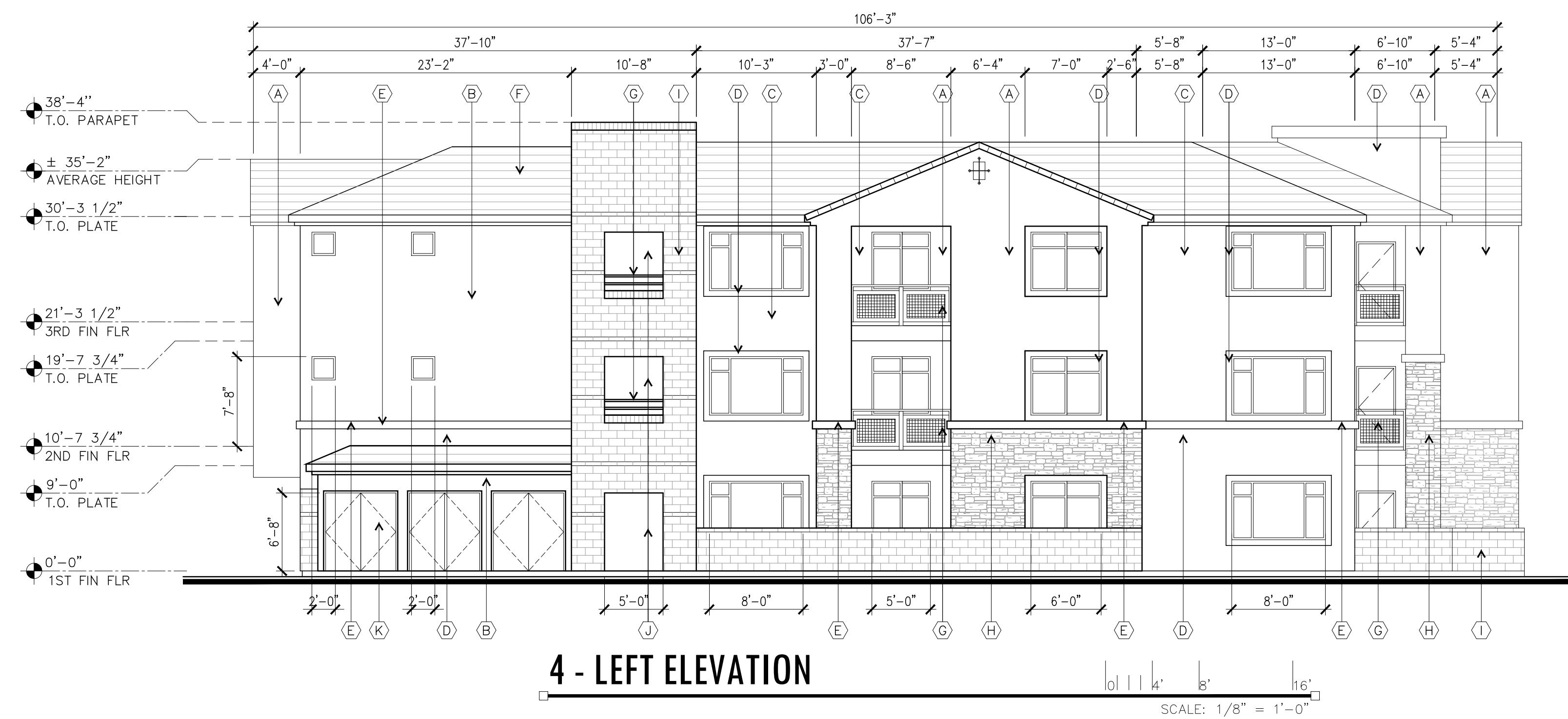
3 - RIGHT ELEVATION

MATERIAL KEY NOTES:

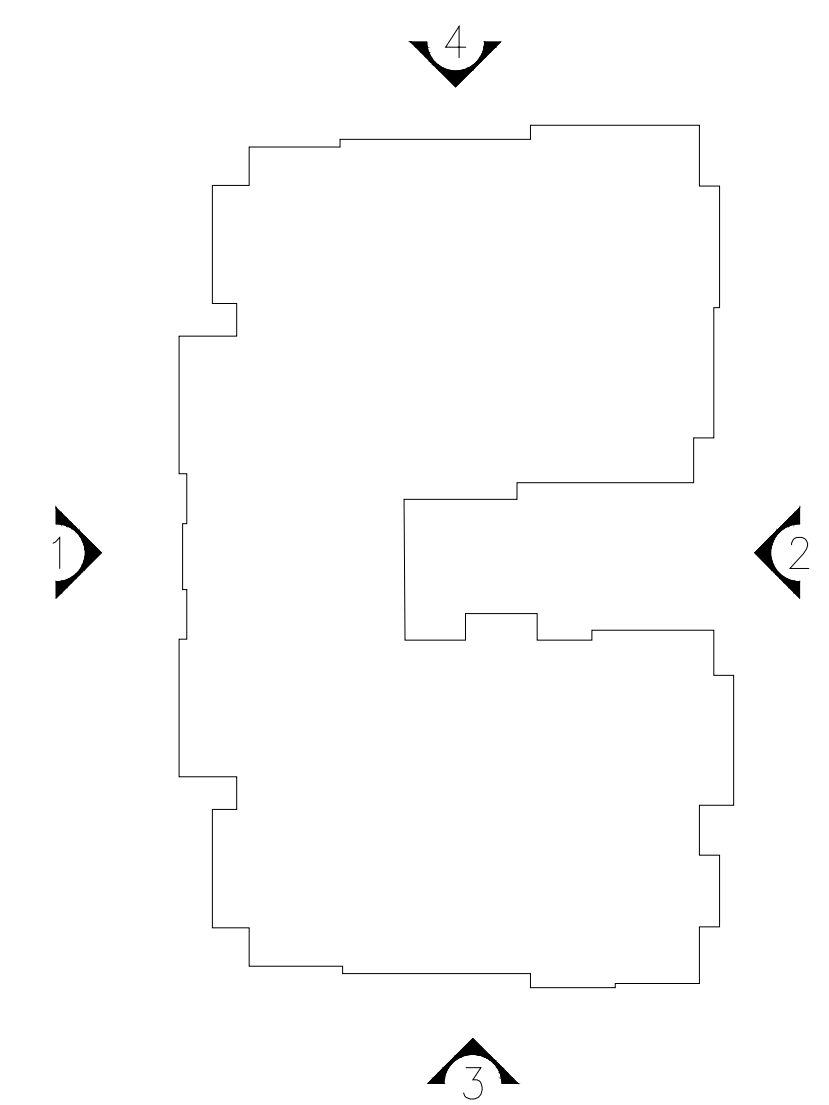
- (A) STUCCO FINISH LIGHT BEIGE
- (B) STUCCO FINISH DARK BEIGE
- (C) STUCCO FINISH LIGHT BROWN
- (D) STUCCO FINISH DARK BROWN
- (E) STUCCO FINISH DARK GRAY
- (F) TILE ROOF
- (G) RAILINGS DARK GRAY
- (H) STONE VENEER
- (I) BRICK VENEER
- (J) WALL OPENING
- (K) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL

GENERAL NOTES:

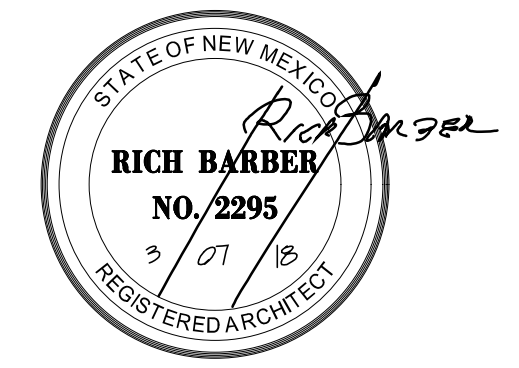
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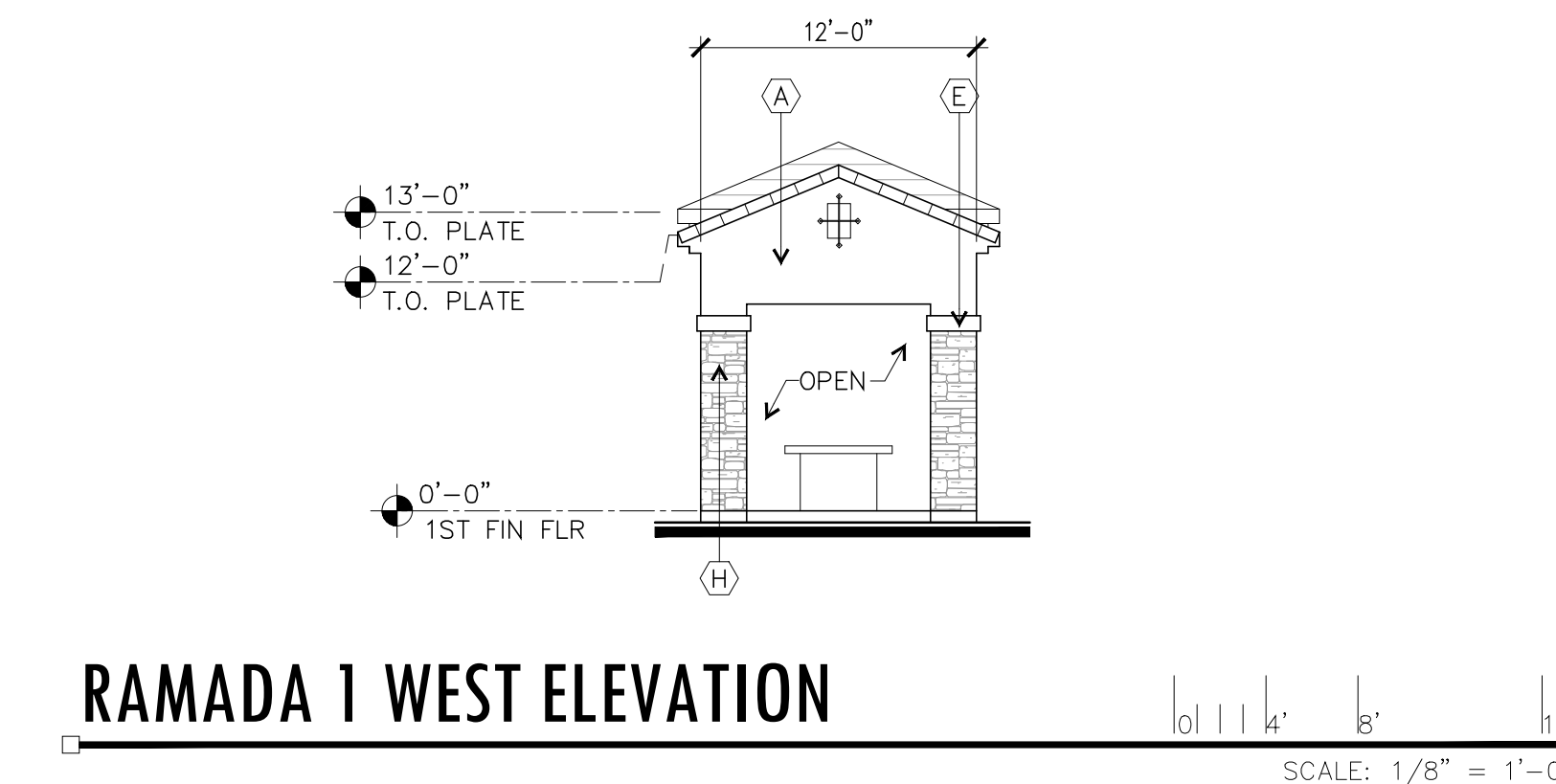
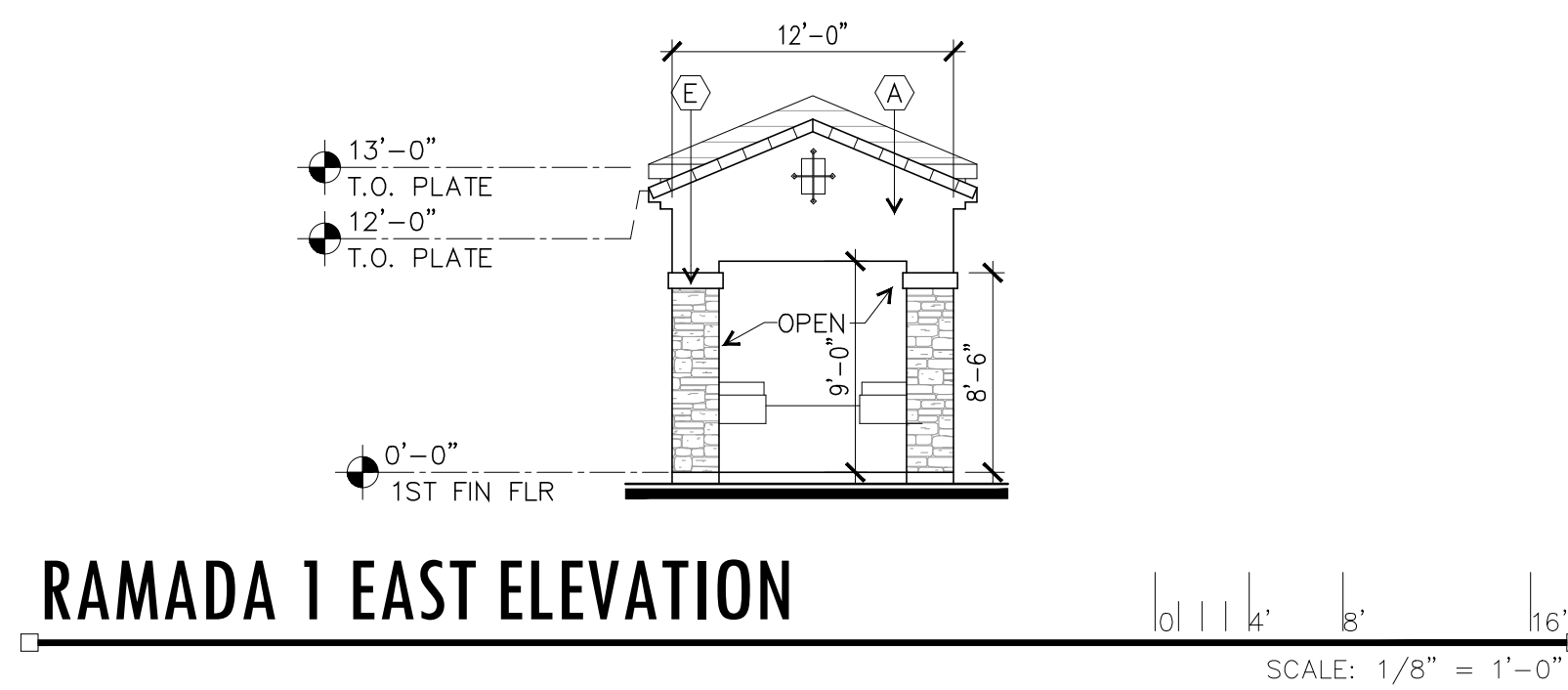
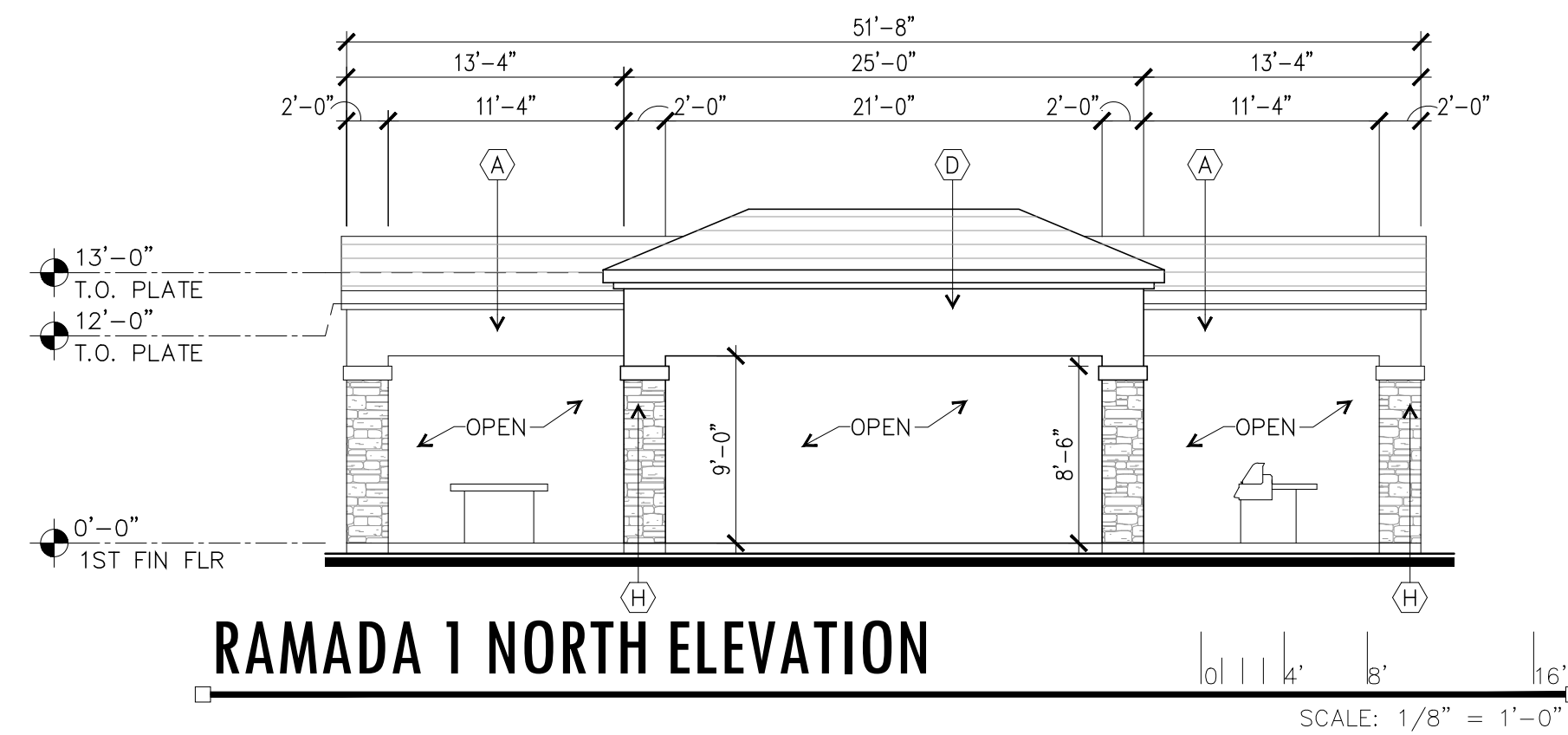
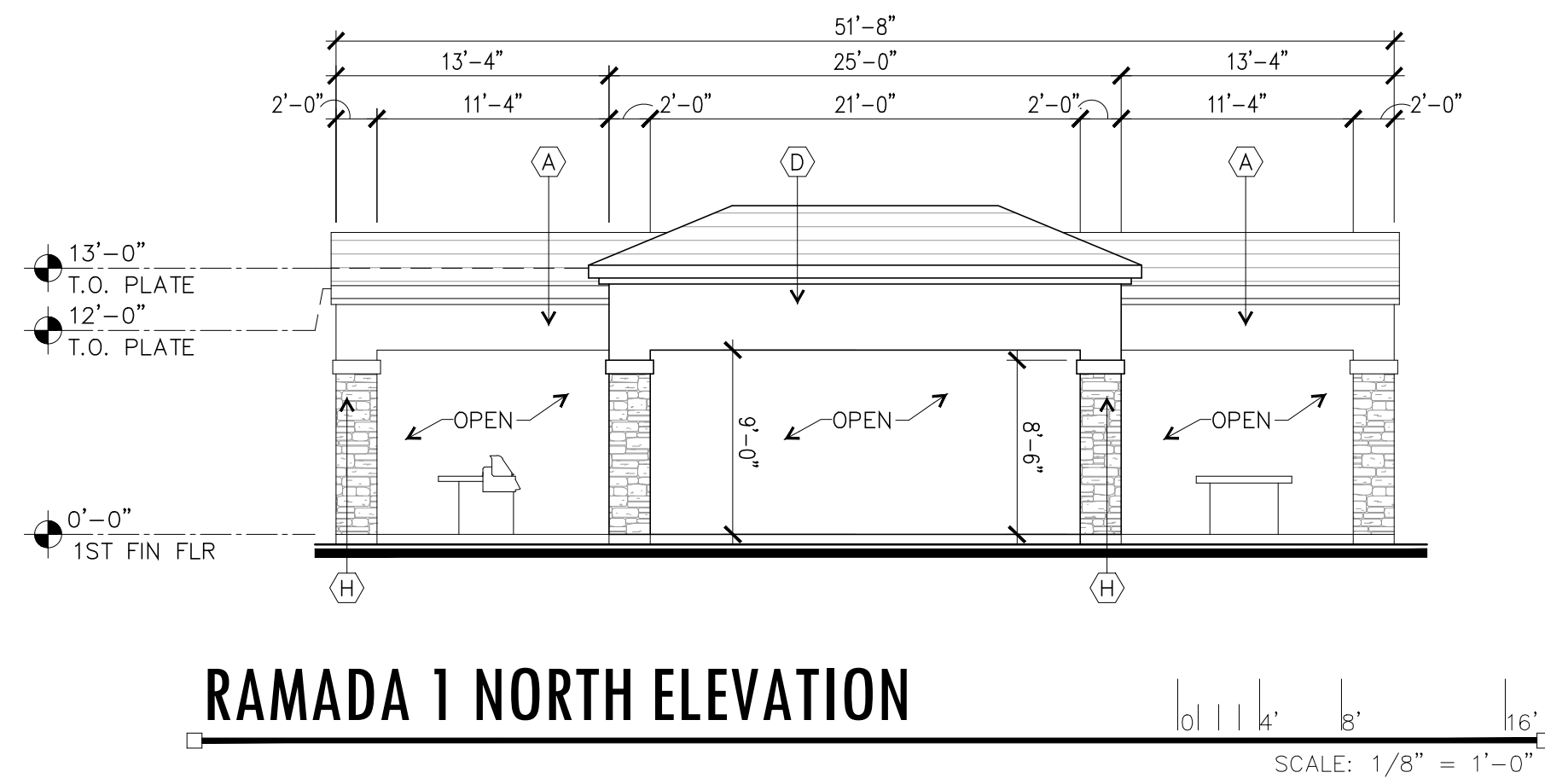
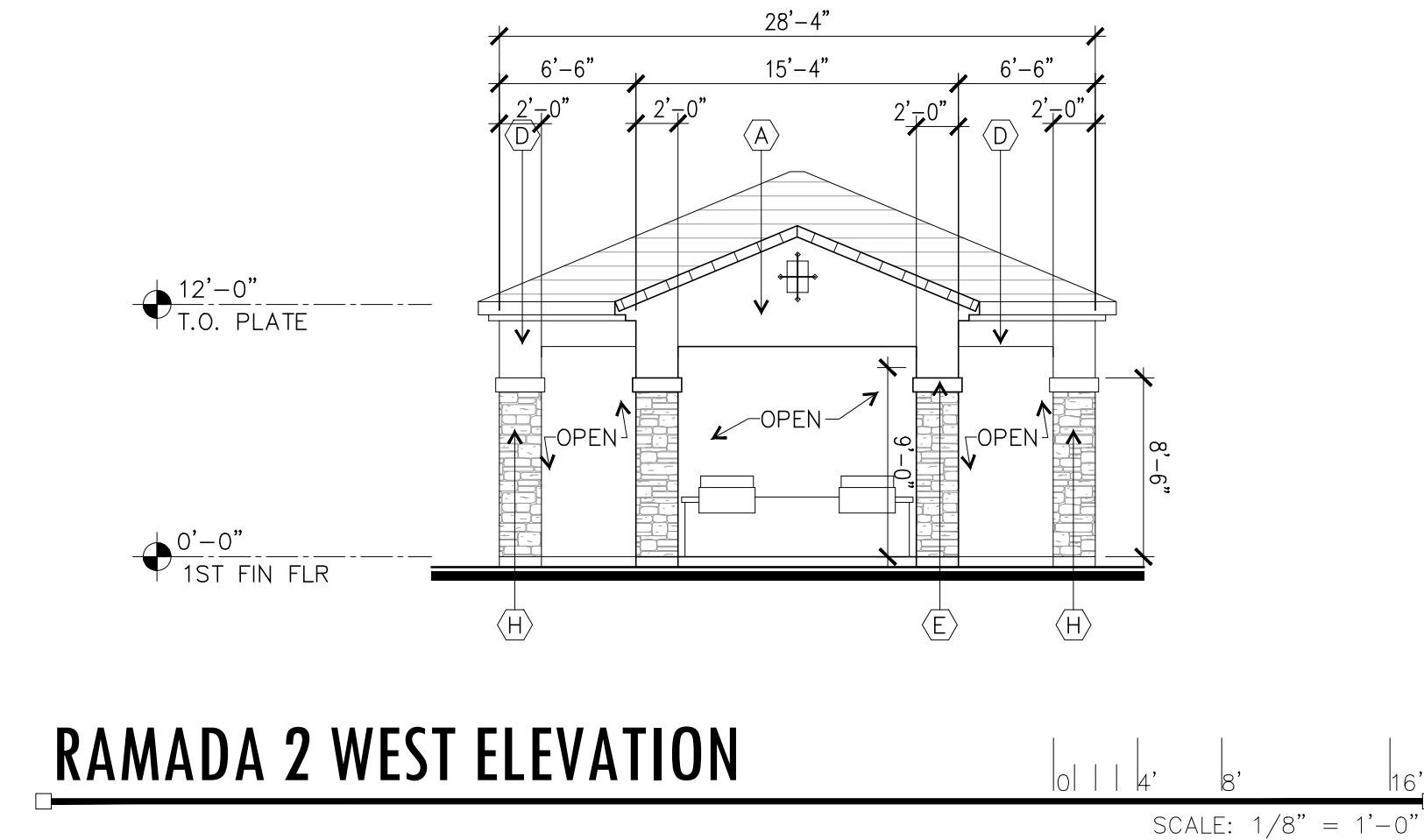
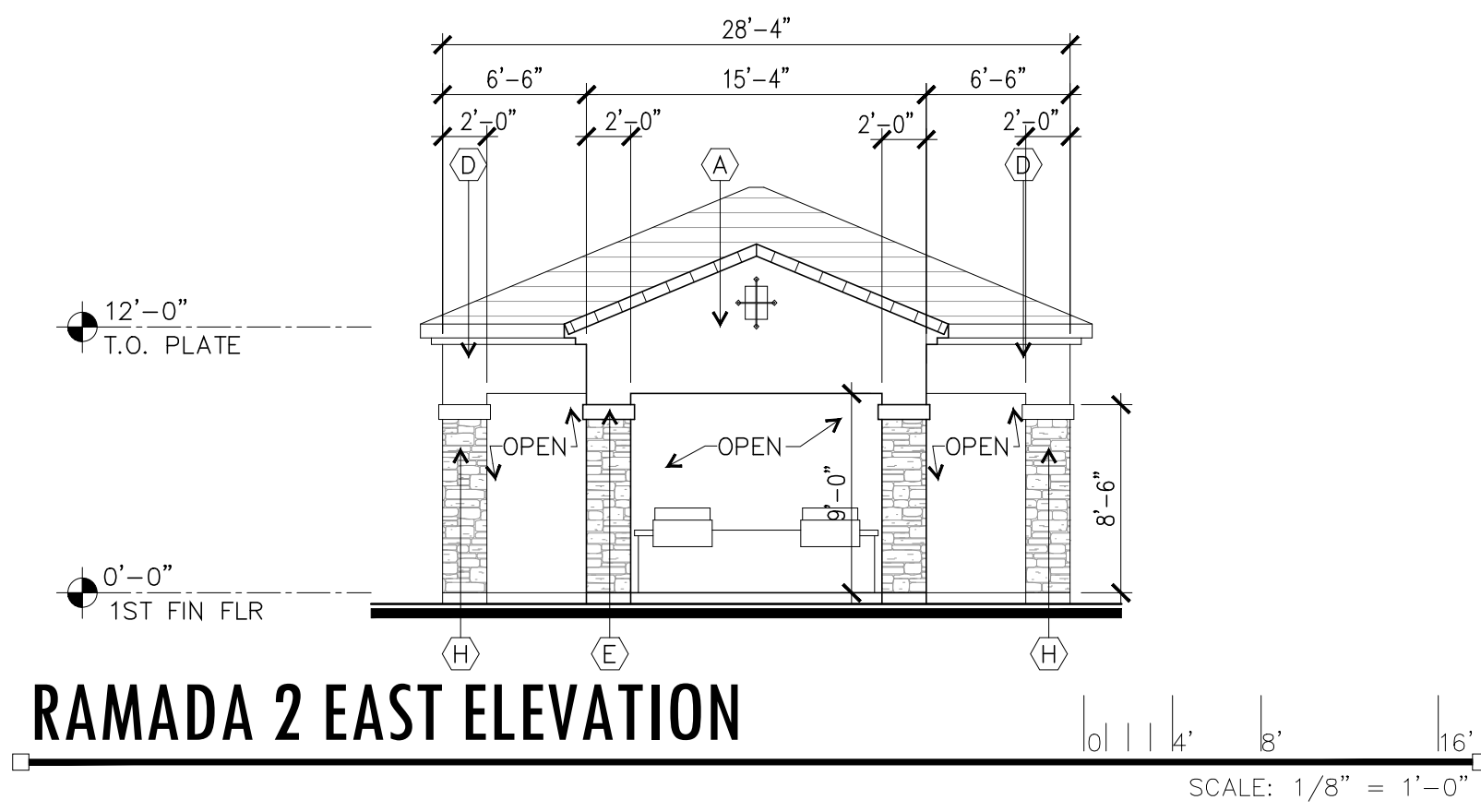
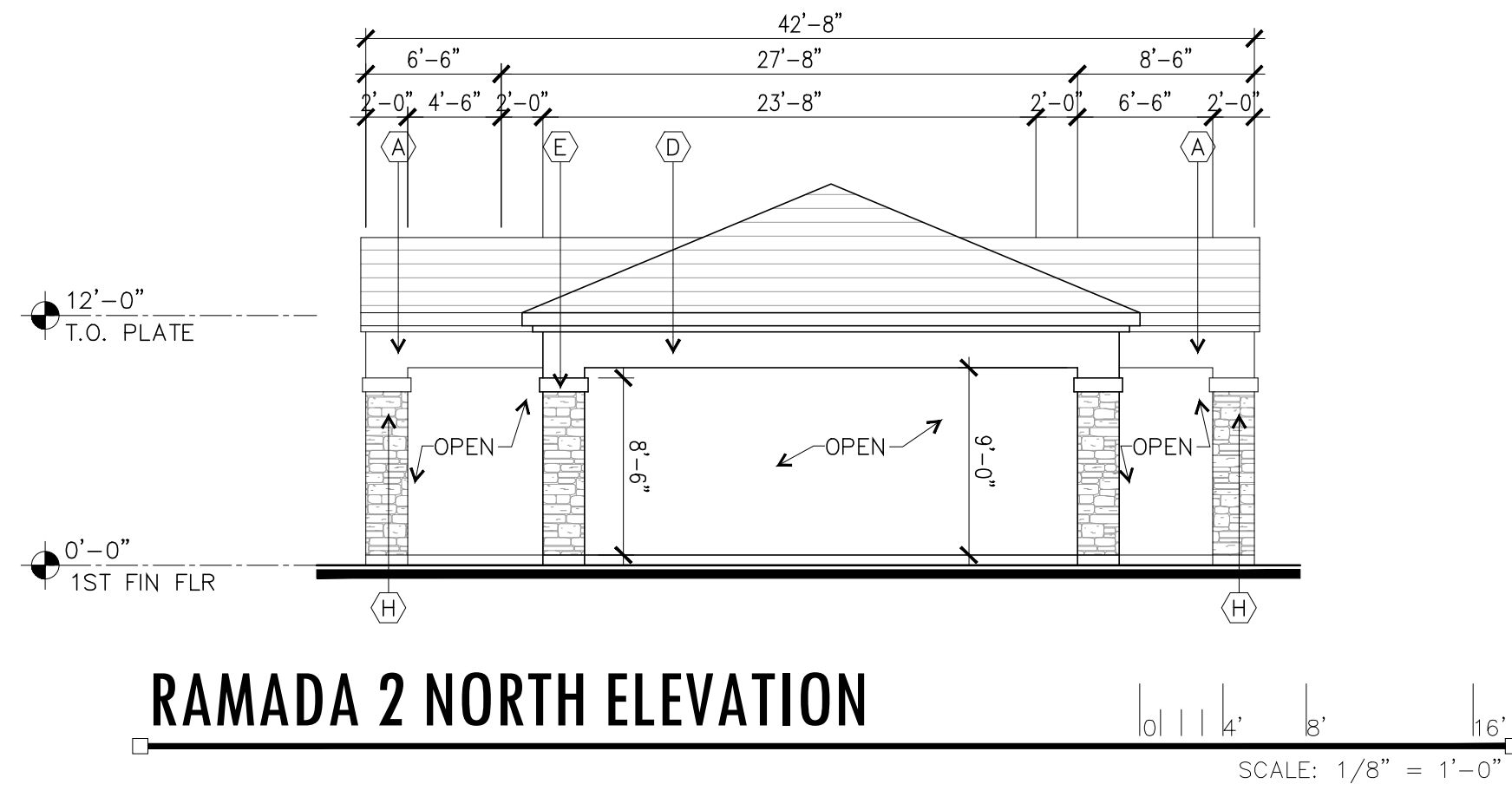
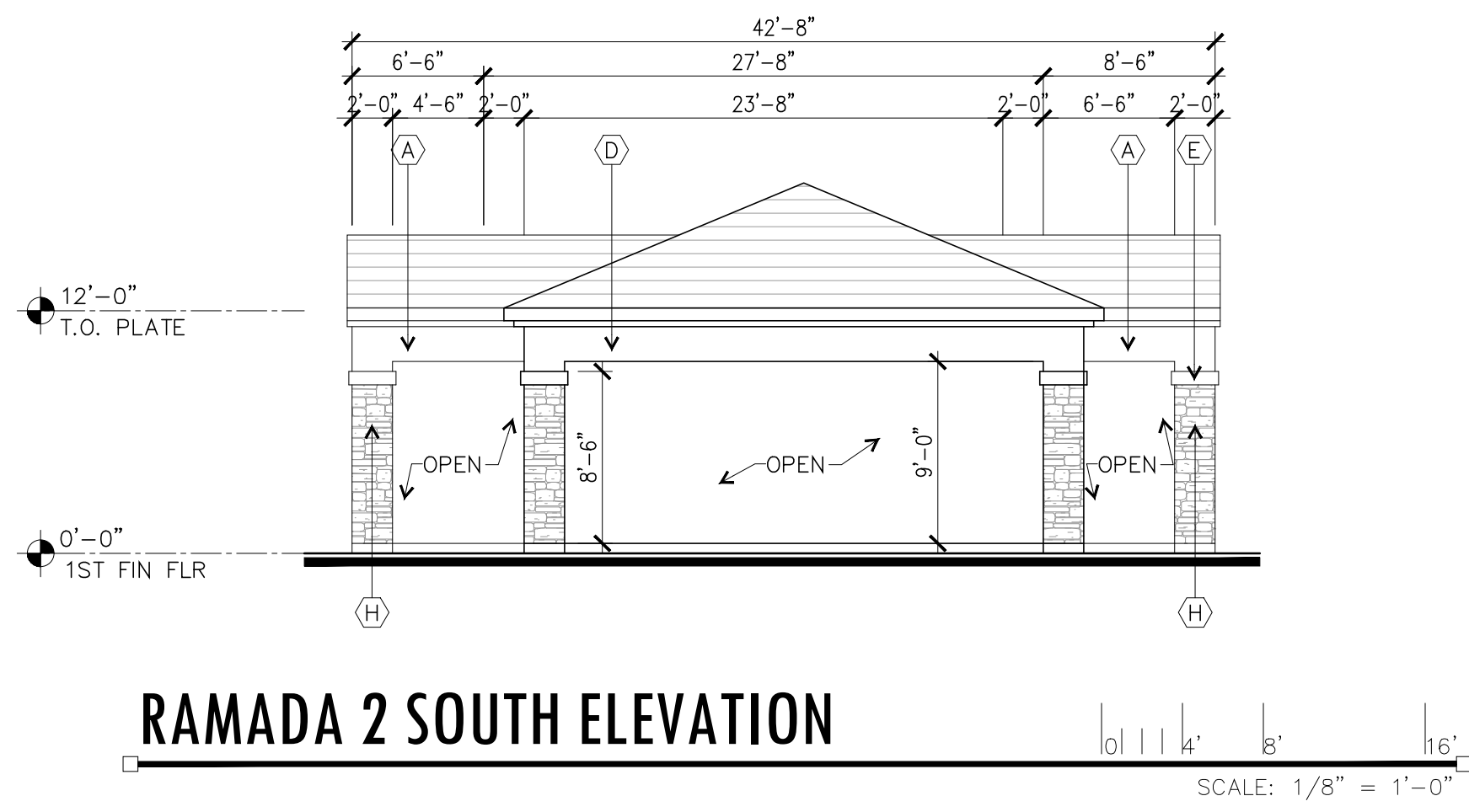


4 - LEFT ELEVATION



KEYMAP





MATERIAL KEY NOTES:

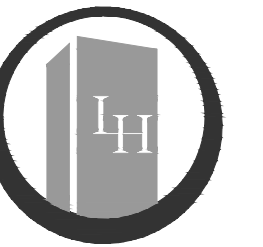
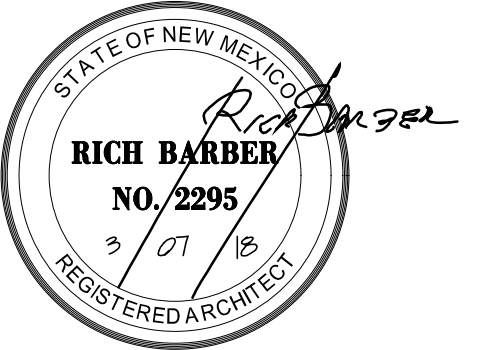
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- (G) RAILINGS DARK GRAY
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- (I) BRICK VENEER
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- (K) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL

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**LEGACY NAA
APARTMENTS - II**
SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico

Office of Rich Barber
ORB Architecture, LLC
WorldHQ@ORBArch.com

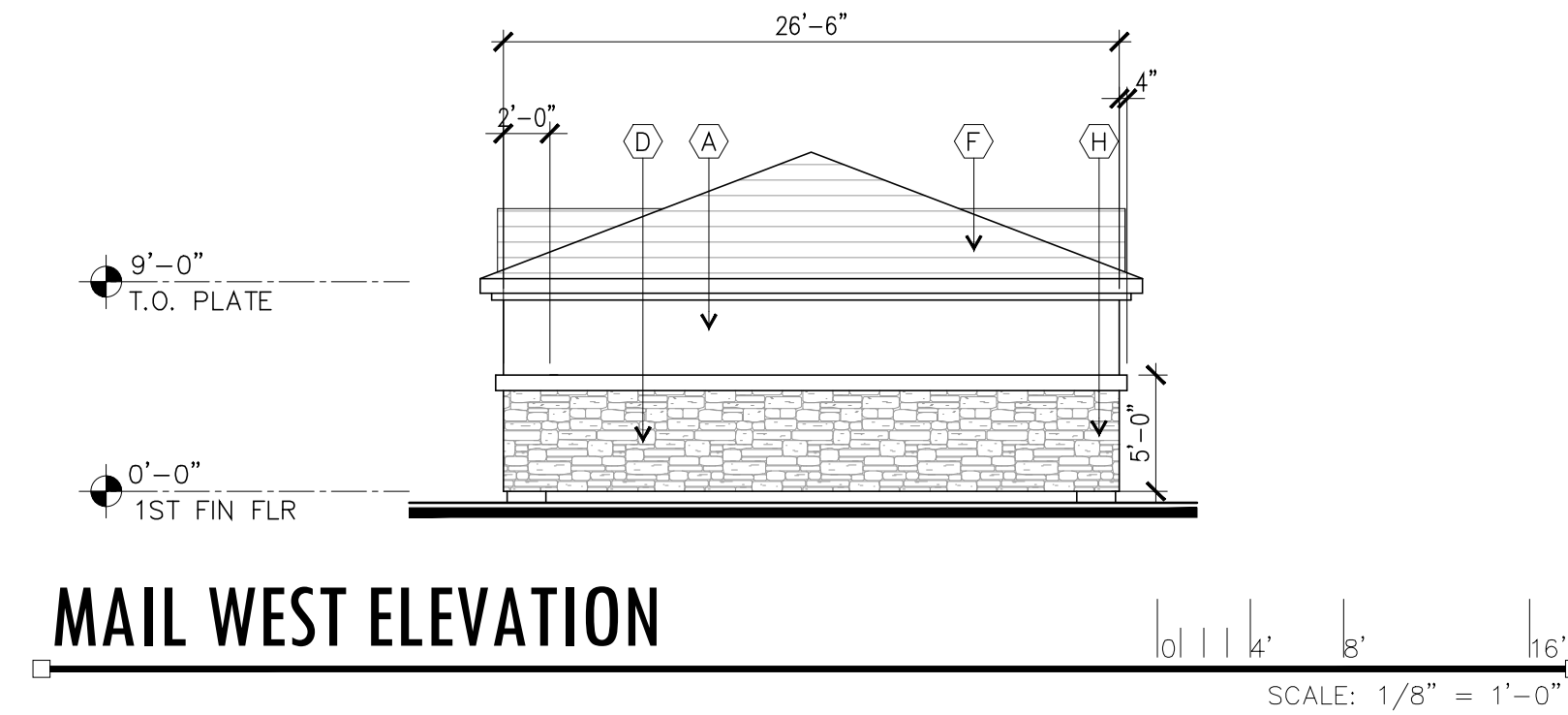
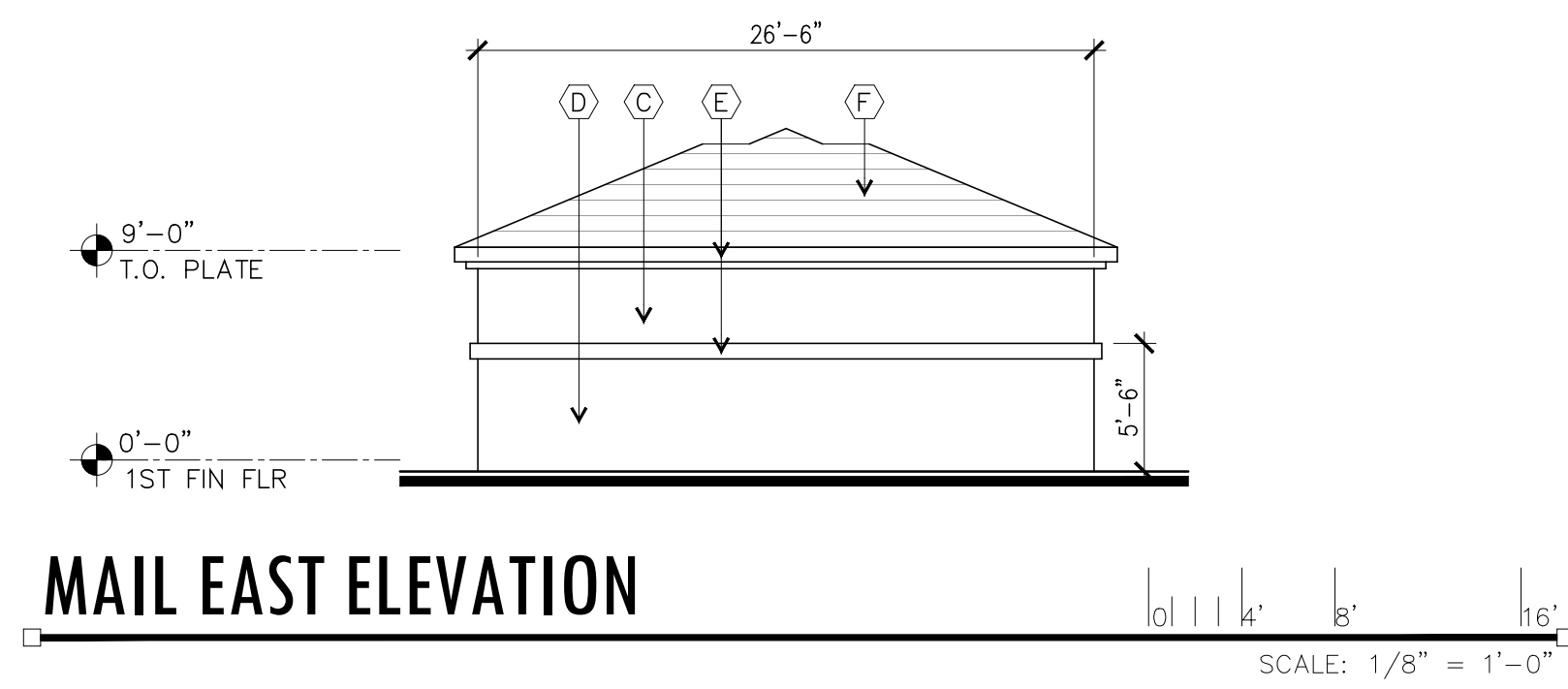
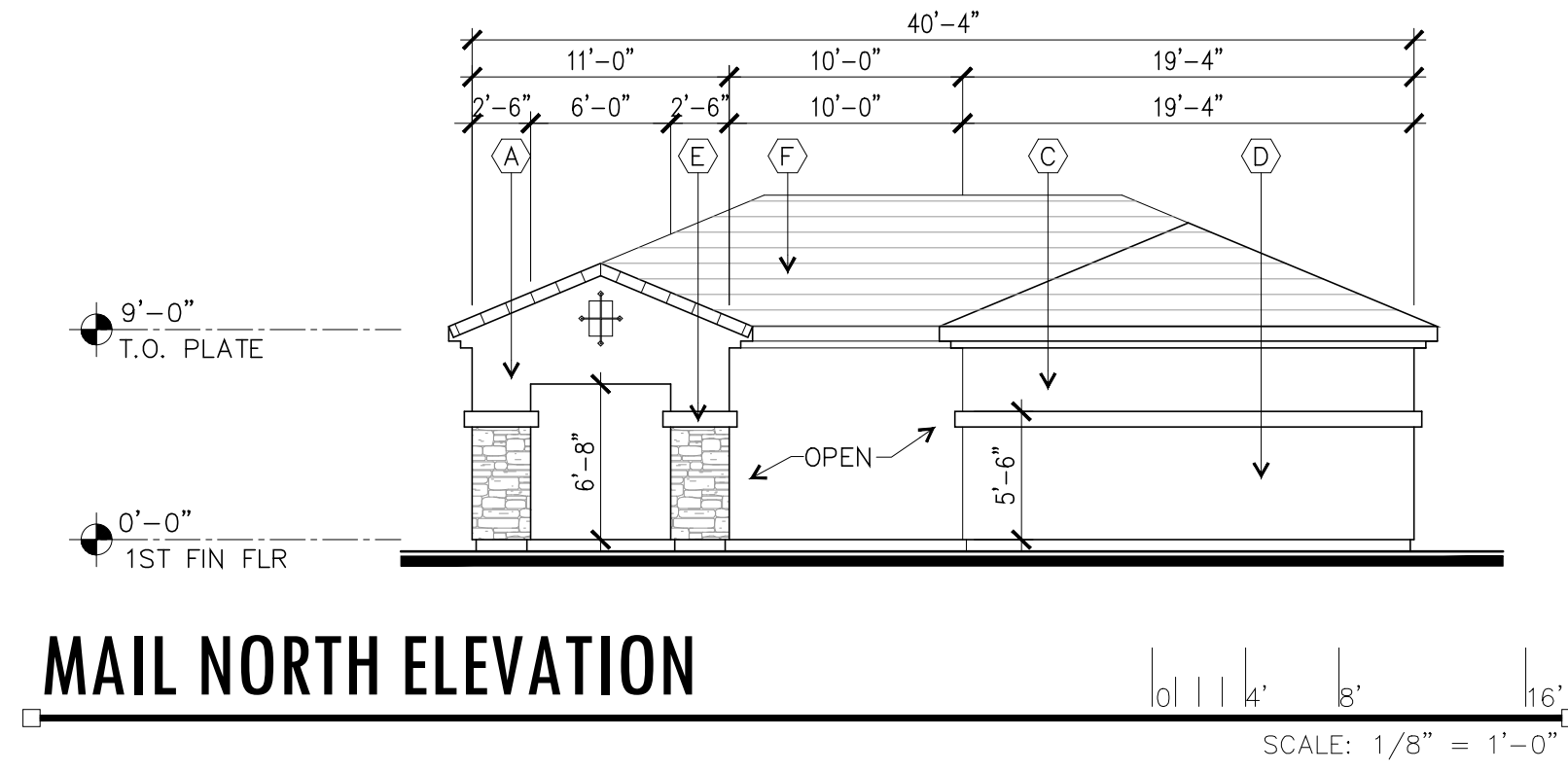
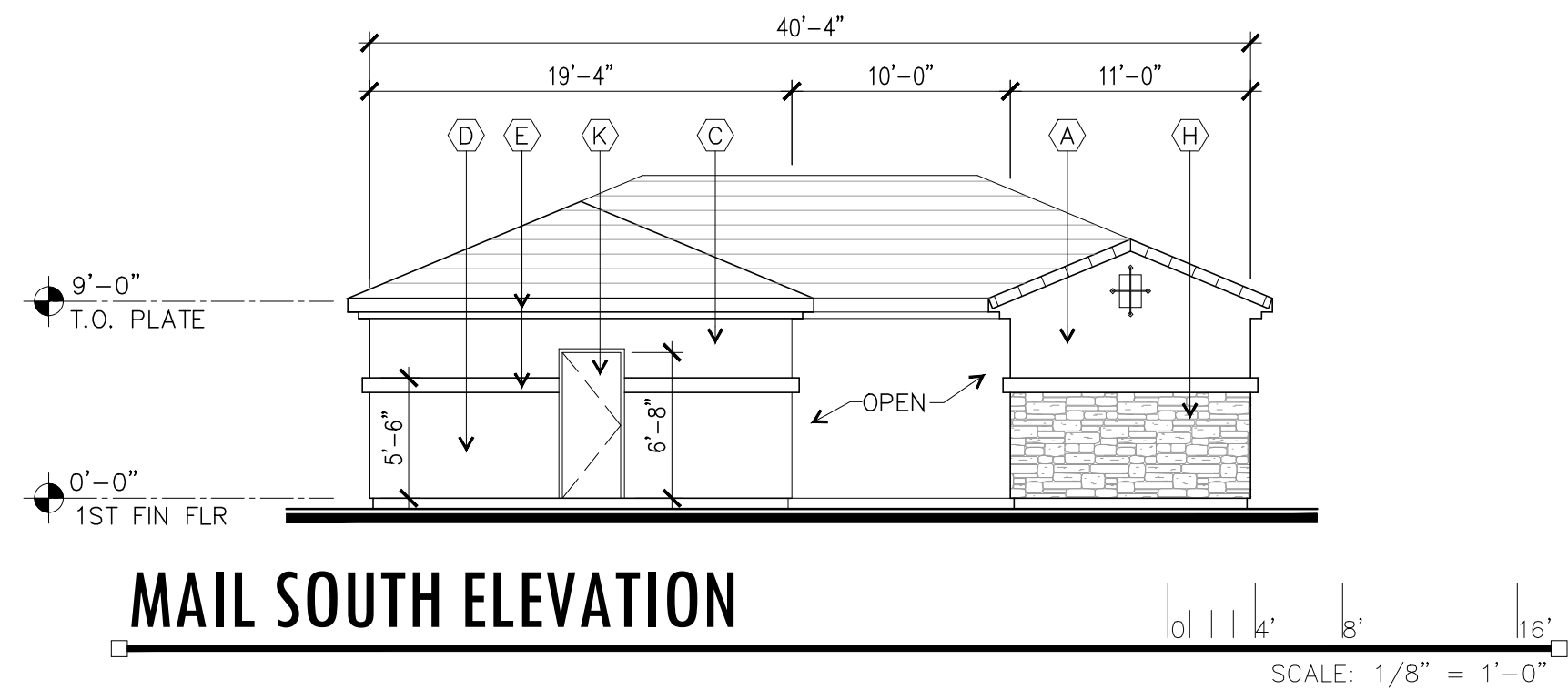


LEGACY HOSPITALITY

A5.10

RAMADAS
ELEVATIONS

FILE: F:\04\ORB Job Files\17-219_LH_Legacy NAA Phase 2\CAD Files\Prelim\17219_A510 Remodel - Mail Elev.dwg USER: jaa DATE: Mar, 07 2018 TIME: 11:51 am



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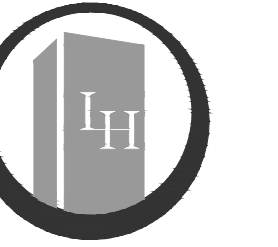
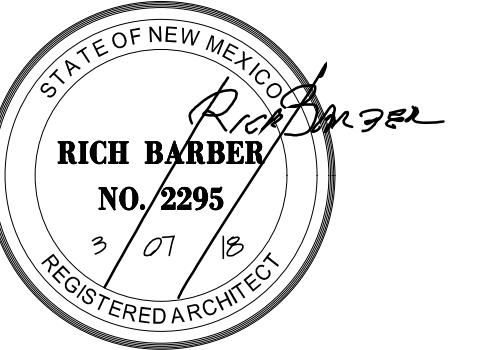
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LEGACY NAA APARTMENTS - II
SAN PEDRO AND ALAMEDA
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WorldHQ@ORBArch.com



LEGACY HOSPITALITY

DATE: MARCH 7, 2018 ORB # 17-219

A5.11

MAIL ROOM ELEVATIONS