
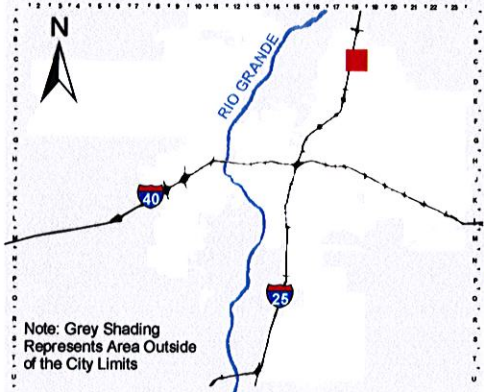


For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 1/28/2016



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-18-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

January 26, 2018

Ms. Kym Dicome, Chair.
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Dear Madame Chair,

The purpose of this letter is to authorize Consensus Planning, Inc. to act as the agent for Legacy Hospitality, LLC. on this request for a Site Plan for Building Permit for property located in the North I-25 Sector Plan (Tract A, Unit B, North Albuquerque Acres). Legacy Hospitality, LLC. is the owner of this property.

Sincerely,



Faizel Kassam



February 2, 2018

Ms. Kym Dicome, Chair.
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Landscape Architecture
Urban Design
Planning Services

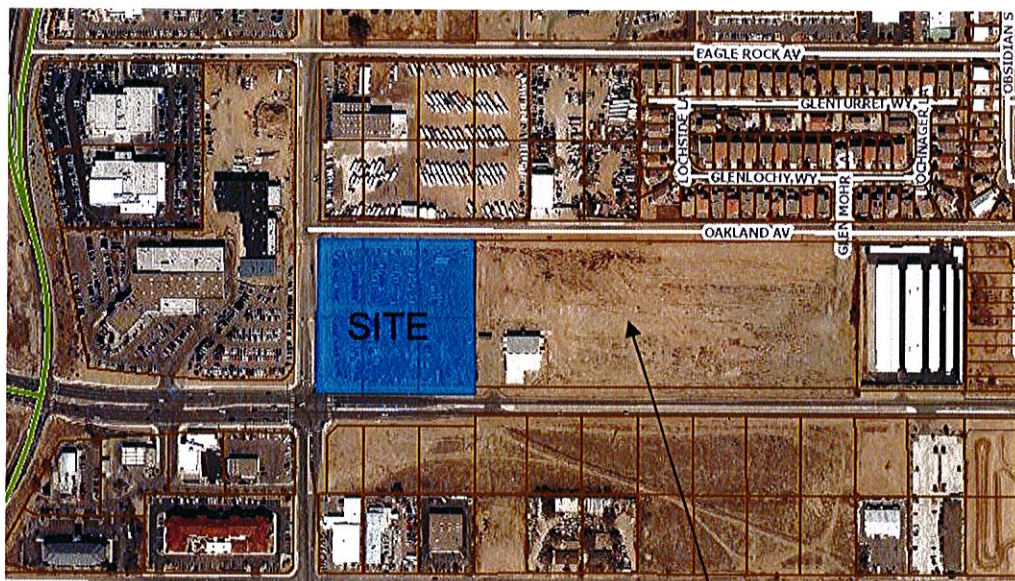
302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Re: Site Development Plan for Building Permit – San Pedro Drive and Alameda Boulevard

Dear Madam Chair:

The purpose of this letter is to provide an explanation for a request of a Site Development Plan for Building Permit for the property located on San Pedro Drive NE, between Alameda Boulevard and Oakland Avenue, and an amendment to the existing Site Plan for Building Permit for the Markana Apartments property to the east, on behalf of Legacy Hospitality, LLC. The property is legally described as Tract A, Unit B of North Albuquerque Acres and was approved on November 10, 2017 for SU-2 for HDR zoning on the approximately 4.8 acre property (Project #1011396; 17EPC-40051). The zone change was requested to accommodate the proposed multi-family development, as illustrated by the Site Plan. The property is within the North I-25 Sector Development Plan.



Subject Property

Markana Apartments
(currently under construction)

PRINCIPALS

James K. Strotzer, AICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



Site Development Plan for Building Permit

The proposed Site Plan for Building Permit demonstrates Phase 2 of the Markana Apartments currently under construction directly to the east of the subject site. Markana II, as shown on the Site Plan for Building Permit, is proposed as a 99-unit rental community with a density of 22.06 dwelling units per acre. Each of the four buildings are 3-story and 39 feet in height. The project is designed in compliance with the design guidelines contained in the North I-25 Sector Development Plan.

The buildings are composed of three-story wood frame construction with individual garages serving as the first floor with two stories of residential units above. The site will have a total of 231 parking stalls in the form of carports. Surface parking is dispersed around the site. The building footprints are a series of U-shaped buildings that focus on the San Pedro street frontage and a common area. The average unit size is approximately 892 square feet. Approximately 40% of these units will be one bedroom, one bathroom and the remaining 60% will be two-bedroom, two bathroom units.

The project design is tailored to respond to market demand and includes structured garage and covered parking, updated floor plans, highlighted unit finishes, and enhanced common area amenities. Common areas include a resort-style pool and outdoor activity center for gaming and growing social activity demands. The pool area will share a common area courtyard with outdoor cooking areas and open space that contains a combination of artificial and natural grass for outdoor gaming and seating. A pedestrian path system will link the proposed building and subject site to the Phase I community to the east. Additionally, the architecture of the proposed buildings has been designed in the spirit of the Phase I buildings, which will harmonize Phase I and Phase II through refined contemporary forms with rich textured elements. The four buildings have been designed in accordance with the design guidelines of the North I-25 SDP.

Amendment Site Development Plan for Building Permit to the East

In addition to the primary request for a Site Plan for Building Permit for the subject property, the applicant is also requesting an amendment to the Phase I Markana Apartments Site Plan for Building Permit for the property directly to the east. The intent of the amendment is to accommodate two driveway connections to the proposed Phase 2 area. This amendment requires the removal of six parking spaces, 5 on the north and 1 mid-site, and relocation of a trash enclosure. The six removed parking spaces and trash enclosure are provided on Phase 2 Site Plan for Building Permit. Additionally, a light pole in the northwest corner is proposed to be relocated to the adjacent east lot.

Approval of this amendment will facilitate an appropriate connection between the existing Markana Apartments and the proposed development.

CONCLUSION

In conclusion, this request for Site Development Plan for Building Permit facilitates the provision of housing diversity and rentals within one of Albuquerque's primary employment centers, North I-25. It will allow for less drive times and another



PLANNING

CONSENSUS

housing choice in an area dominated by single family residential development and will be complementary to adjacent residential and commercial properties. This project will provide a productive use to a property with a history of being adjacent to an old landfill. The proposed multi-family development will facilitate a project that will be an excellent neighbor to the surrounding properties.

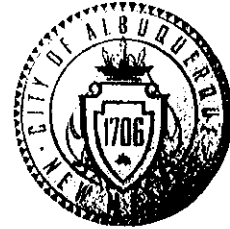
We respectfully request that the Development Review Board approve the request for this Site Development Plan for Building Permit and the amendment to the Site Plan for Building Permit for Phase 1. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jacqueline Fishman'.

Jacqueline Fishman, AICP
Principal

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

November 10, 2017

Legacy Hospitality, LLC
6501 Eagle Rock Av. NE. #B-5
ABQ, NM 87113

Project# 1011396
17EPC-40051 Sector Development Plan Map Amendment

LEGAL DESCRIPTION:

The above action for all or a portion of Lots 1, 2, 3, & 30, 31 & 32, Tract A, Unit B, North Albuquerque Acres, zoned SU-2 for HC or NC, to SU-2 HDR, located on San Pedro Dr. NE, between Oakland Ave. NE and Alameda Blvd. NE, containing approximately 4.8 acres. (C-38)

Staff Planner: Maggie Gould

PO Box 1293
On November 9, 2017 the Environmental Planning Commission (EPC) voted to APPROVE Project 1011396/17EPC-40051, a Sector Development Plan Map Amendment, based on the following findings:

Albuquerque
FINDINGS:

1. This is a request for a Sector Development Plan Amendment (zone change) for Lots 1, 2, 3, & 30, 31 & 32, Tract A, Unit B, North Albuquerque Acres located on San Pedro Dr. NE, between Oakland Ave. NE and Alameda Blvd. NE, containing 4.8 acres .
2. This request will change the SU-2 NC or SU-2 HC zone to the SU-2 HDR zone to allow the development of multi-family housing at a maximum of 26 dwelling units per acre.
3. The request constitutes an amendment to the North I-25 Sector Development Plan because the zoning was established by this plan.
4. Future development on this site will be reviewed by the Development Board, provided it meets the requirements of the North I-25 Sector Development Plan.
5. The Albuquerque/Bernalillo County Comprehensive Plan, North I-25 Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site is within an Area of Change of the Comprehensive Plan. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:
Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

OFFICIAL NOTICE OF DECISION

Project #1011396

November 9, 2017

Page 2 of 6

- a) Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.
- b) Encourage development that offers choice in transportation, work areas, and lifestyles.
- d) Encourage development that broadens housing options to meet a range of incomes and lifestyles.
- h) Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.
- n) Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request furthers Policy 5.2.1 a),b), d),h) and n) because it will allow the redevelopment of vacant lot/ parking area, will be an infill project that will offer new housing options close to employment and services and be a use that is compatible with the surrounding uses.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request furthers Policy 5.3.1 because the subject property served by existing water and sewer infrastructure, access to the major street network, transit routes (Bus Route 98), the Alameda Bike Lane, and existing police, fire and other community services.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial, and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

- c) Foster a range of housing options at various densities according to each Center or Corridor type.
- d) Encourage higher-density housing and mixed-use development as appropriate land uses that support transit and commercial and retail uses.
- f) Encourage development where adequate infrastructure and community services exist.

The request furthers Policy 5.6.2 c), d) and f) because it will allow the development of multi-family housing near transit and existing services on a site with a full range of existing urban infrastructure.

Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

OFFICIAL NOTICE OF DECISION

Project #1011396

November 9, 2017

Page 3 of 6

a) Provide appropriate transitions between uses of different intensity or density and between non-residential uses and single-family neighborhoods to protect the character and integrity of existing residential areas.

b) Minimize development's negative effects on individuals and neighborhoods with respect to noise, lighting, air pollution, and traffic.

The request furthers Policy 5.6.4 a) and b) because it will allow the development of multi-family housing that will act as transition between the existing residential development to the east and more intense commercial development to the west. The site is subject to the requirements of the Zoning Code and the N I-25 SDP, these requirements will ensure that the character of the existing neighborhoods is protected and that the impacts of noise, lighting and traffic will be mitigated.

Policy 7.3.4/Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

b) Promote buildings and massing of commercial and office uses adjacent to single-family neighborhoods that is neighborhood-scale, well- designed, appropriately located, and consistent with the existing development context and neighborhood character.

The request furthers Policy 7.3.4 b) because future development will comply with the Zoning Code and the design standards of the N I-25 SDP, these requirements will ensure that the character of the existing neighborhoods is protected and that the impacts of noise, lighting and traffic will be mitigated.

Policy 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

c) Prioritize local job creation, employer recruitment, and support for development projects that hire local residents

The request furthers Policy 8.1.2 c) because the proposed zone will allow the development of multi-family housing that will add housing options for new and existing residents, improving their quality of life. The development will provide short term economic benefits during the construction phase and will create a jobs for people maintaining the apartments. The existing zoning would allow a variety of commercial development. Although the request removes that opportunity, it adds additional people to the area and increases the customer bases for existing and future business.

Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.

The request furthers Goal 9.1 because the proposed zone will allow the development of multi-family housing that will add to the available housing types in the area.

OFFICIAL NOTICE OF DECISION

Project #1011396

November 9, 2017

Page 4 of 6

Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

c) Assure the availability of a wide distribution of quality housing for all persons regardless of race, color, religion, sex, national origin, ancestry, age, or disabled status.

e) Provide for the development of quality housing for elderly residents. i) Provide for the development of multi-family housing close to public services, transit, and shopping.

The request furthers Policy 9.1.1 c) and e) because it will add an additional housing option that may accommodate people looking for a smaller housing option or a temporary housing option. The subject is close to a variety of services, transit and shopping.

Policy 9.2.1 Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and responds to its development context-i.e. urban, suburban, or rural- with appropriate densities, site design, and relationship to the street.

The request furthers Policy 9.2.1 because it will add a use that is compatible with the surrounding use because it will the development of multi-family housing at slightly higher density than the current zone. Future development will comply with the Zoning Code and the design standards of the N I-25 SDP. This will ensure compatibility with the surrounding uses and the context of the area.

7. The subject site is within the boundaries of the North I-25 Sector Development Plan.

Land Use Goal: Integrate existing and future land uses to support and promote economic and employment opportunities within the Plan area.

The proposed use adds a housing option near the employment opportunities in the area. Residents could live, work, shop and enjoy recreation opportunities in close proximity. The requests further the Land Use Goal.

Policy LUZ2: Promote land uses that contribute to the vitality of the Plan area and strengthen the economic and functional relationships to surrounding areas.

The proposed use and allowed development will add residents to the area who may work and shop in the area contributing to the vitality and adding an additional land use that will increase the interaction with surrounding area. The applicant submitted survey results showing that the demand for multi-family housing in the area is high. The request furthers with Policy LUZ3.

Policy LUZ3: Encourage a mix of uses that will balance the time and direction of traffic movements and promote other means of vehicular trip reduction so as to minimize increases in vehicular traffic produced by new development.

The proposed use will add a housing option close to several employment options and near services. The site has access to transit and is near bike paths, residents may choose to use these modes of travel and reduce the number cars used. This may help to balance the flow of traffic. The request is consistent with Policy LUZ3.

OFFICIAL NOTICE OF DECISION

Project #1011396

November 9, 2017

Page 5 of 6

8. The applicant has justified the zone change request pursuant to *R-270-1980* as follows:
 - A. The proposed zone will act as transition between the properties to the east that are developed with lower density multifamily use and single family and the more intense commercial uses that are allowed and developed to the west. The request is consistent with the goals and policies of the Comprehensive Plan and the North I-25 SDP.
 - B. The proposed zone is compatible with the surrounding uses because it will provide slighter higher density multi-family housing that can act as transition between the more intense use to the west and the les intense uses to the east. This will add to the stability in the area.
 - C. See findings 6 and 7
 - D. The existing zoning is inappropriate because the proposed zoning is more appropriate because it will allow the development of a needed housing option in close proximity to transit, employment and services. The request allows development that will be compatible with existing development in the area which has developed with residential uses, rather than commercial uses. The request responds to changing demographics that are trending towards renting rather than home ownership. Additionally, the newly adopted Comprehensive Plan encourages additional density in areas of change, along and near transit corridors.
 - E. The proposed zone will allow multi-family use at a slightly higher density than currently allowed. The use will be compatible with the surrounding uses and will provide a buffer from the more intense uses to the west. The permissive uses in the proposed zone will not be harmful to adjacent properties.
 - F. The site has access to a full range of existing infrastructure and will be developed privately. The request will not result in any unprogrammed capital expenditure for the city.
 - G. While economics may be a factor in the request, it is not the determining factor. The applicant has justified the request as furthering the applicable goals and policies of the applicable plans.
 - H. The applicant demonstrated that the request furthers policies in the Comprehensive Plan and the N1-25 SPD. The location is appropriate for the proposed zone, but is not the only factor in the justification.
 - I. The request will create a justifiable spot zone because it will provide a transition between existing less intense uses to the east and existing more intense uses to the west. The intent of the prohibition on spots is ensure that adjacent lands uses are compatible. The proposed zone will allow multi-family uses that are slightly more dense that what is currently allowed and will therefore be compatible with the existing development
 - J. The request will not create a strip of land with zoning that is different from the surrounding zones.
9. The Nor Este and West La Cueva Neighborhood Associations and the District 4 Coalition were notified of the request along with property owners within 100 feet of the subject site. A facilitated meeting was not requested or recommended.
10. Staff has not received any public comments as of this writing.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **NOVEMBER 27, 2017**. The date of the EPC's decision is not included in the 15-day period for filing an

OFFICIAL NOTICE OF DECISION

Project #1011396

November 9, 2017

Page 6 of 6

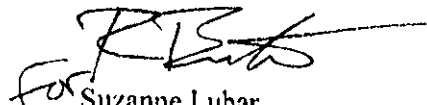
appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

Sincerely,


For Suzanne Lubar
Planning Director

SL/MG

cc: Legacy Hospitality, I.L.C, 6501 Eagle Rock Av. NE, Suite B-5, ABQ, NM 87113
Consensus Planning, Inc., 302 Eight St. NW, ABQ, NM 87102
Dist. 7 Coalition, Lynne Martin, 1531 Espejo NE, ABQ, NM 87112
Dist 7 Coalition, David Haughawout, 2824 Chama St. NE, ABQ, NM 87110
Nor Este NA, Jim Griffec, P.O. Box 94115, ABQ, NM 87199
Nor Este NA, Bob Smith, P.O. Box 94115, ABQ, NM 87199
West La Cueva NA, Terry Daughton, 8309 Calle Soquelle NE, ABQ, NM 87113
West La Cueva NA, Michael Gonzales, 8201 La Milpita St. NE, ABQ, NM 87113

Malak Hakim

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Thursday, January 18, 2018 12:17 PM
To: Malak Hakim
Subject: Notification Inquiry_San Pedro Dr and Oakland Ave_DRB
Attachments: Alameda-C-18-Z.PDF; Notification Inquiry_San Pedro Dr and Oakland Ave_DRB.xlsx; INSTRUCTION SHEET FOR APPLICANTS.pdf

Malak,

See attached list of affected associations related to your upcoming DRB submittal. Please also review the attached instruction sheet. Thank you.

Association Name	First Name	Last Name	Address Line 1	City	State	Zip	Mobile Phone	Pho
West La Cueva NA	Terry	Daughton	8309 Calle Soquelle NE	Albuquerque	NM	87113	8478632679	
West La Cueva NA	Michael	Gonzales	8201 La Milpita Street NE	Albuquerque	NM	87113	5057203956	505797
Nor Este NA	Bob	Smith	PO Box 94115	Albuquerque	NM	87199		505828
Nor Este NA	Jim	Griffiee	PO Box 94115	Albuquerque	NM	87199		505296

Respectfully,

Vicente M. Quevedo, MCRP

Neighborhood Liaison, Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332
cabq.gov/neighborhoods

Follow us;



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Tuesday, January 16, 2018 5:55 PM
To: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Notification Inquiry Sheet Submission

Notification Inquiry For:

Development Review Board Submittal

If you selected "Other" in the question above, please describe what you are seeking a Notification Inquiry for below:

Contact Name

Malak Hakim

Company Name

Consensus Planning, Inc.

Address

302 Eighth Street NW

City

Albuquerque

State

NM

ZIP

87102

Telephone Number

5052053315

Email Address

hakim@consensusplanning.com

Anticipated Date of Public Hearing (if applicable):

February 21

Describe the legal description of the subject site for this project:

Lots 1, 2, 3, and 32. 031028 & 030028; Tract A.

Located on/between (physical address, street name or other identifying mark):

San Pedro Drive, between Oakland Avenue and Alameda Boulevard.

This site is located on the following zone atlas page:

C-18-Z

Association Name	First Name	Last Name	Address Line 1	City	State	Zip	Mobile Phone	Phone	Email
West La Cueva NA	Terry	Daughton	8309 Calle Soquelle NE	Albuquerque	NM	87113	8478632679		terryin@gonquin@gmail.com
West La Cueva NA	Michael	Gonzales	8201 La Milpita Street NE	Albuquerque	NM	87113	5057203956	5057977283	michaelinmi@msn.com
Nor Este NA	Bob	Smith	PO Box 94115	Albuquerque	NM	87199		5058281319	balloonerbob@aol.com
Nor Este NA	Jim	Griffie	PO Box 94115	Albuquerque	NM	87199		5052968129	jwg2001a@comcast.net

Neighborhood Notification Letters Must Include the Following:

Prior to filing an application with the Planning Department, all applicants requesting approvals through the Environmental Planning Commission (EPC), Development Review Board (DRB), Landmarks & Urban Conservation Commission (LUCC), approval of a Wireless Telecommunication Facility (WTF), or Administrative Approvals (AA) are required to notify any affected neighborhood and/or homeowner associations via certified mail.

1. The street address for the subject property;
2. The currently recorded legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision;
3. A physical description of the location, referenced to streets and existing land uses;
4. A complete and detailed description of the action(s) being requested;
5. ***** NEW*** Facilitated Meeting Information** – All notification letters must include the following text:
Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Alternative Dispute Resolution (ADR) Program by email at striplett@cabq.gov, by phone at (505) 768-4712 or (505) 768-4660.
A facilitated meeting request must be received by ADR by: February 5, 2018.
6. *****NEW*** Public Hearing Information** - Hearing Date, Start Time and Location.

Neighborhood Notification Checklist

The following information must be included for **each** application packet submitted to the City of Albuquerque Planning Department.

1. ONC's "Notification Inquiry Email" outlining any affected Neighborhood and/or Homeowner Associations.

*Note: If your ONC Correspondence is more than 30 days old, you must contact ONC to ensure that the contact information is still current.

2. Copies of Letters sent to any affected Neighborhood and/or Homeowner Associations.
3. Copies of certified receipts mailed to any affected Neighborhood and/or Homeowner Associations.

Any questions, please feel free to contact our office at (505) 768-3334 or ONC@cabq.gov.

Thank you for your cooperation on this matter.

February 2, 2018

Terry Daughton
8309 Calle Soquelle NE
Albuquerque, NM 87113

Michael Gonzales
8201 La Milpita Street NE
Albuquerque, NM 87113

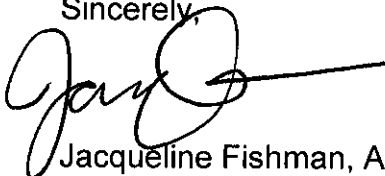
Dear Mr. Daughton, Mr. Gonzales, and the West La Cueva Neighborhood Association:

This letter is notification that Consensus Planning has submitted a request for a Site Development Plan for Building Permit and an Amendment to a Site Development Plan for Building Permit to the Development Review Board (DRB) on behalf of Legacy Hospitality, LLC. The site is located between Oakland Avenue and Alameda Boulevard, along San Pedro Drive NE. The DRB hearing for this application will be held on **February 28, 2018** 9:00 a.m. at the Plaza del Sol Building, located at 600 2nd Street NW.

The existing zoning is SU-2 for HDR. The applicant is proposing a total of 99 multifamily units in four buildings. Three of the buildings will be 3-stories, have 30 units each, and garage parking. The fourth building along Alameda will also be 3-stories, contain 9 units, and garages. The site will contain outdoor amenities, including swimming pool, BBQ grills, cabanas, etc.

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information. Please note, affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Alternative Dispute Resolution (ADR) Program by email at striplett@cabq.gov, by phone at (505) 768-4712 or (505) 768-4660. A facilitated meeting request must be received by ADR by February 5, 2018.

Sincerely,

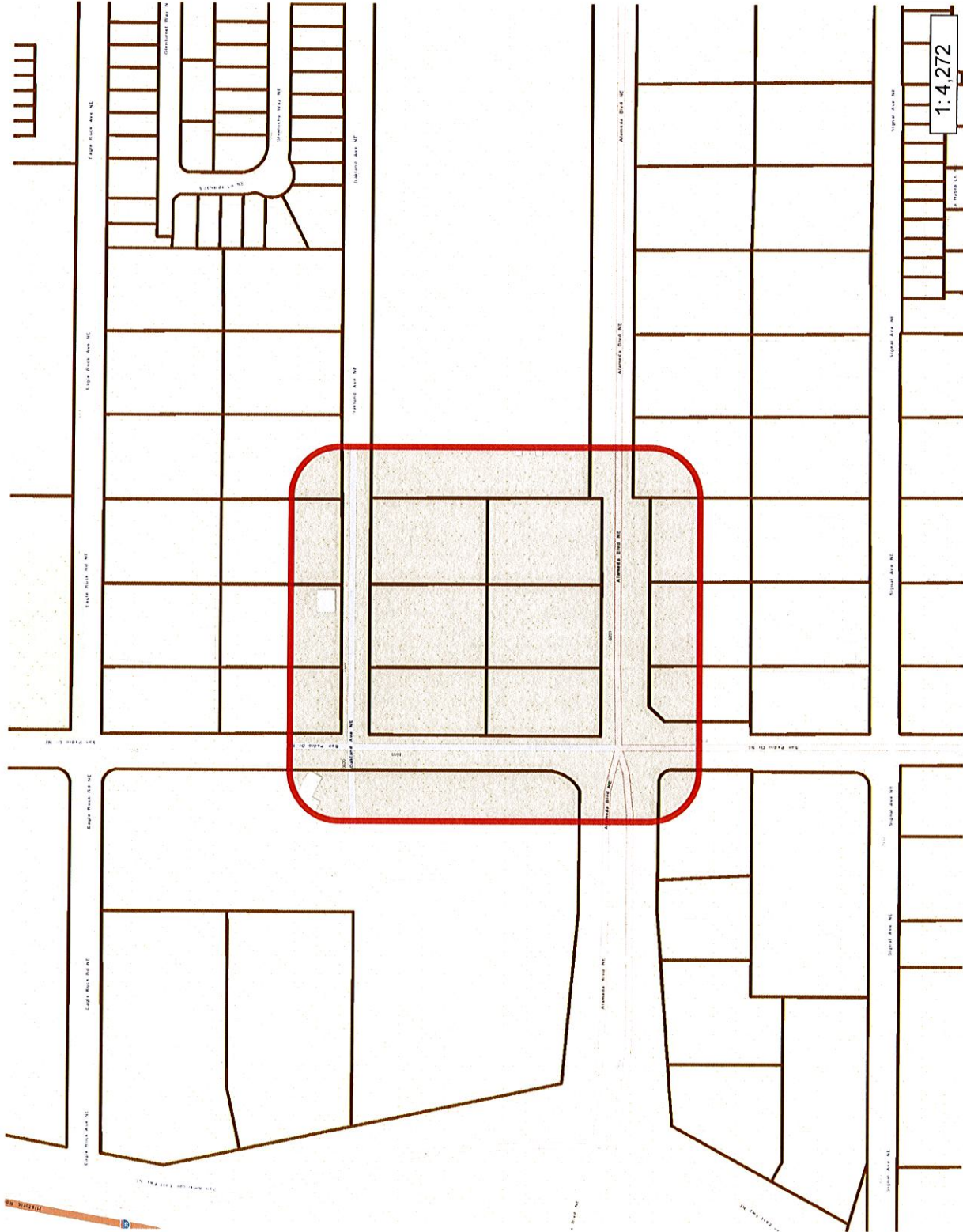


Jacqueline Fishman, AICP
Principal

Att: 11x17 copy of Site Plan, Landscape Plan, and Building Elevations.



Legacy Hospitality - San Pedro & Alameda ZMA - Property Owner Notification Map
 Prepared by: Consensus Planning



1:4,272

0.1 0 0.05 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
 © City of Albuquerque

This map is a user generated static output from www.cabq.gov/gis and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
 THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES

Legend

- Bernalillo County Parcels
- Municipal Limits
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED
- World Street Map

Notes
 100 foot buffer map

UPC Owner
 1.01806E+17 V MOD LLC
 1.01806E+17 LOUCKS RICHARD A & PATRICIA A CO-TRUSTEES LOUCKS TRUST
 1.01806E+17 VANDY INVESTMENTS LLC C/O LEGACY HOSPITALITY LLC
 1.01806E+17 QUALITY JEEP LIMITED PARTNERSHIP
 1.01806E+17 CORONADO AUTO SALVAGE
 1.01806E+17 VANDY INVESTMENTS LLC C/O LEGACY HOSPITALITY
 1.01806E+17 CORONADO AUTO SALVAGE INC
 1.01806E+17 MILLER LAWRENCE H & KAREN G

Owner Add Owner Add SITUS Addr SITUS Addr Legal Descr Property Cl Acres
 11010 RAN ALBUQUER ALAMEDA ALBUQUER * 004 029T V 0.8864
 9320 SAN F ALBUQUER OAKLAND ALBUQUER LT 31 BLK 2 V 0.8864
 6501 EAGLE ALBUQUER OAKLAND ALBUQUER * 003 028T V 0.8864
 8101 LOM ALBUQUER 8721 SAN F ALBUQUER LT 22-D-2 EC 0.9183
 9320 SAN F ALBUQUER OAKLAND ALBUQUER LT 29 BLK 2 V 0.8864
 6501 EAGLE ALBUQUER OAKLAND ALBUQUER * 001 028T V 0.7252
 9320 SAN F ALBUQUER OAKLAND ALBUQUER LT 30 BLK 2 V 0.8864
 5995 ALAN ALBUQUER 5995 ALAN ALBUQUER TR A-1-A S I C 10.1339

February 2, 2018

Property Owner:

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Development Review Board will hold a **Public Hearing on Wednesday, February 28, 2018 at 9:00 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following item.

DRB RULES OF CONDUCT OF BUSINESS

A copy of the Rules of Conduct is posted on the Planning Department's website at <https://www.cabq.gov/planning/boards-commissions/development-review-board> and printed copies are available in the Planning Department office on the third floor of the Plaza del Sol Building, 600 Second Street NW. For more information, please contact Kym Dicome, Current Planning Manager, Urban Design and Development Division, at (505) 924-3337 or at kdicome@cabq.gov.

DRB Agendas, Archives, and Action Sheets are posted on the City website, <https://www.cabq.gov/planning/boards-commissions/development-review-board/development-review-board-agenda-archives>.

REQUEST

Consensus Planning, agent for Legacy Hospitality, request a Site Development Plan for Building Permit for Lots 1, 2, 3, and 32. 031028 & 030028, Tract A, North Albuquerque Acres, zoned SU-2 for HDR, and an Amendment to a Site Development Plan for Building Permit for Tract 1, Legacy Apartments located on San Pedro Drive, between Oakland Avenue and Alameda Boulevard, containing approximately 4.8 acres.

If you have questions or need additional information regarding this request contact Ms. Kym Dicome, City Planning at (505) 924-3337 or at kdicome@cabq.gov.


Sincerely,

Consensus Planning, Inc.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.

 2/2/18
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale:
1.0 acre or less 1" = 10' Over 5 acres 1" = 50'
1.0 - 5.0 acres 1" = 20' Over 20 acres 1" = 100'
[other scales, if approved by staff] 1" = 40'
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
9. Phases of development including location and square footages of structures, circulation, parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 183 provided: 231
Handicapped spaces (included in required total) required: 8 provided: 8
Motorcycle spaces (in addition to required total) required: N/A provided: N/A
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 50 provided: 60
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

1. Scale - must be same as scale on sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
12. Verification of adequate sight distance
13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Building footprints
6. Location of Retaining walls

B. Grading Information

1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
3. Identify whether ponding is required
4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
 - A. Conceptual onsite drainage system
 - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
 - a. Identify facade orientation (north, south, east, & west)
 - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
 - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
 - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Legacy Hospitality, LLC. DATE OF REQUEST: 9/22/17 ZONE ATLAS PAGE(S): C-18-Z

CURRENT:

ZONING SU-2 for HC or NC

PARCEL SIZE (AC/SQ. FT.) 4.8 acres

LEGAL DESCRIPTION:

LOT OR TRACT # Tract A, Unit B BLOCK # _____

SUBDIVISION NAME North Albuquerque Acres

REQUESTED CITY ACTION(S):

ANNEXATION []

ZONE CHANGE : From SU-2 for HC or NC To SU-2 for HDR

SECTOR, AREA, FAC, COMP PLAN

AMENDMENT (Map/Text) []

Zone Map Amendment/Sector Plan Map Amendment to the North I-25 Sector Development Plan

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []

BUILDING PERMIT [] ACCESS PERMIT []

BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT

NEW CONSTRUCTION []

EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: _____

BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature]

DATE 9/22/17

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES NO [] BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

Notes:
A TIS was previously completed. An updated trip generation will be required for DRB.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

9/22/17
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER _____

DATE _____

Monday, December 18, 2017

Ernest Armijo, P.E.
Transportation Development Section
City of Albuquerque
600 2nd St. NW
Albuquerque, NM 87102

Re: Legacy NAA Developments (Alameda Blvd. / San Pedro Dr.)

Dear Ernest:

Attached are the following documents for your review and comment:

- 1) Vicinity map depicting project location
- 2) 2016 Site Plan for Legacy NAA Developments project
- 3) 2017 Site Plan for apartments to replace retail commercial component of project
- 4) 2016 Trip Generation table from Traffic Impact Study
- 5) 2017 Trip Generation table comparison

The 2016 Traffic Impact Study calculated the trip generation rates for the project based on the ITE Trip Generation Manual, 9th Edition assuming retail commercial uses for the hard-northeast corner of Alameda Blvd. / San Pedro Dr. The 2017 Trip Generation rate calculations are based on the recently released ITE Trip Generation Manual, 10th Edition assuming the newly proposed Multi-Family (Mid-Rise) use. The 9th Edition of the ITE Trip Generation Manual classified the apartment use in slightly different categories than the 10th Edition. The 10th Edition classifies apartments into three different categories of land use: 1) Multifamily Housing (Low-Rise), 2) Multifamily Housing (Mid-Rise), and 3) Multifamily Housing (High-Rise). As the category names imply, the distinguishing difference in the categories is the building height (i.e., number of stories). Low-Rise Multifamily Housing is defined as 1 or 2 floors (or stories). Mid-Rise Multifamily Housing is defined as 3 to 10 floors (or stories). High-Rise Multifamily Housing is defined as more than 10 floors. The current project is three stories which qualifies the use of ITE Trip Generation rate for Multifamily (Mid-Rise). For purposes of comparison, the attached trip generation table for the 2017 project changes calculates and reports Mid-Rise Multifamily trip generation rates based on 135 dwelling units.

Page 2 of 2
Ernest Armijo, P.E.
 Monday, December 18, 2017

Re: Legacy NAA Developments (Alameda Blvd. / San Pedro Dr.)

This calculation demonstrates that there will be dramatic reduction in the number of trips generated by the project as a result of replacing the retail commercial uses on the west side of the project with a 135-dwelling-unit mid-rise apartment complex. Following is a summary table of the results:

Legacy NAA Development (Alameda Blvd. / San Pedro Dr.)
Trip Generation Data (ITE Trip Generation Manual - 10th Edition)

USE (ITE CODE)	DESCRIPTION	24 HR VOL	A. M. PEAK HR.		P. M. PEAK HR.		
		GROSS	ENTER	EXIT	ENTER	EXIT	
Summary Sheet		Units					
Multifamily Housing - Mid-Rise (221)		135	733	12	34	36	23
Trip Generation Rate assumed in TIS for same Parcel (Commercial)			4,932	155	146	196	196
<i>% Increase (Reduction) compared to Mid-Rise Multifamily</i>			<i>-573%</i>	<i>-1192%</i>	<i>-329%</i>	<i>-444%</i>	<i>-752%</i>

Please call me if you have questions.

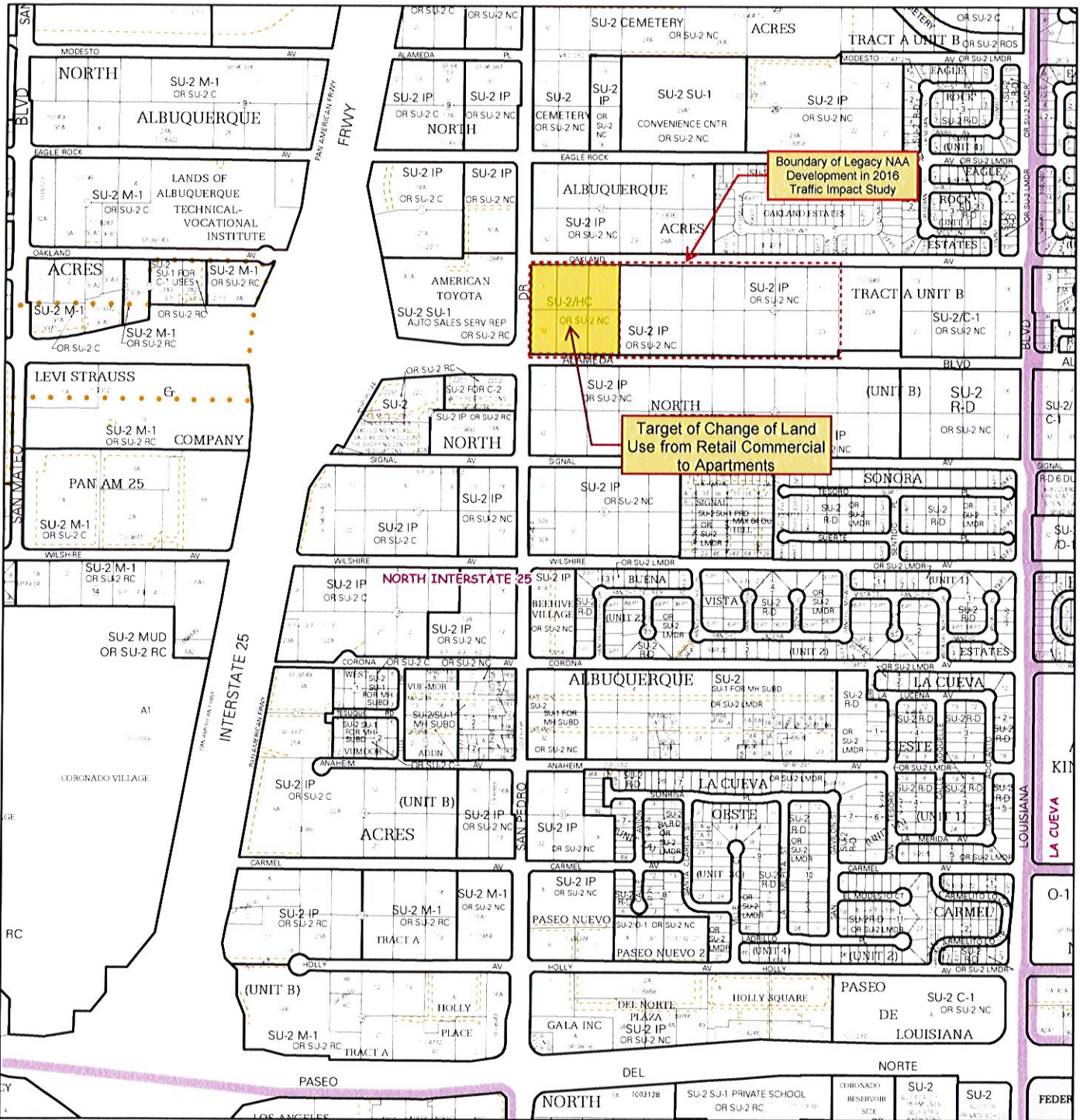
Best Regards,



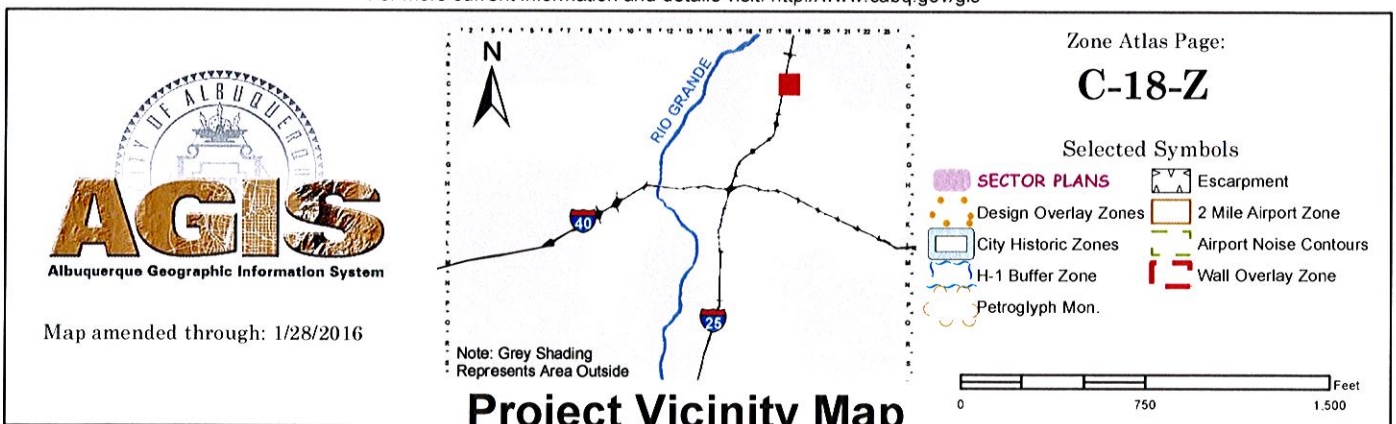
Terry O. Brown, P.E.

attachments as noted

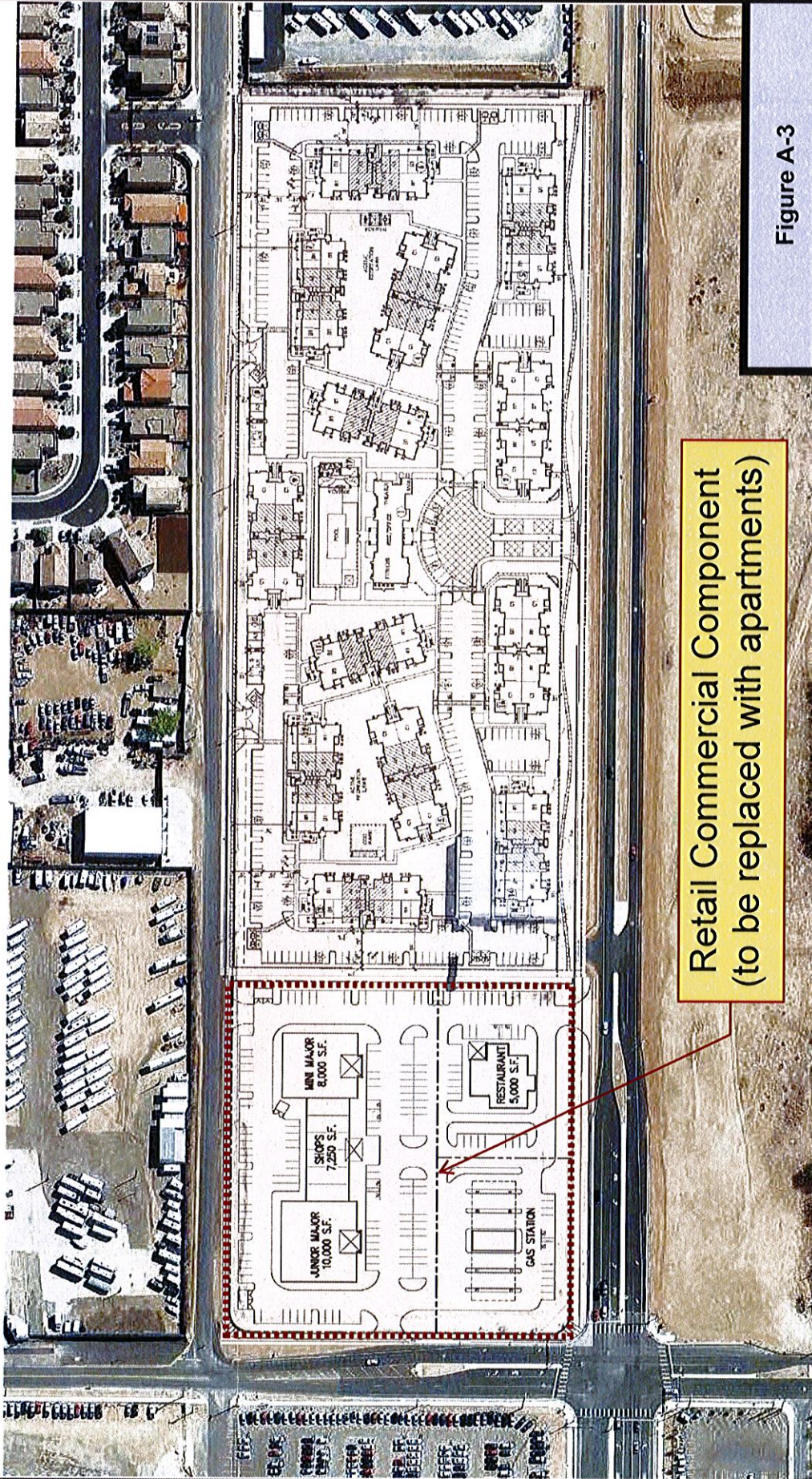
cc: Racquel Michel, Transportation Development w/attachments
 Jackie Fishman, Consensus Planning w/attachments



For more current information and details visit: <http://www.cabq.gov/gis>



Legacy NAA Developments (2016 Plan)



Retail Commercial Component
(to be replaced with apartments)

Figure A-3

Site Plans



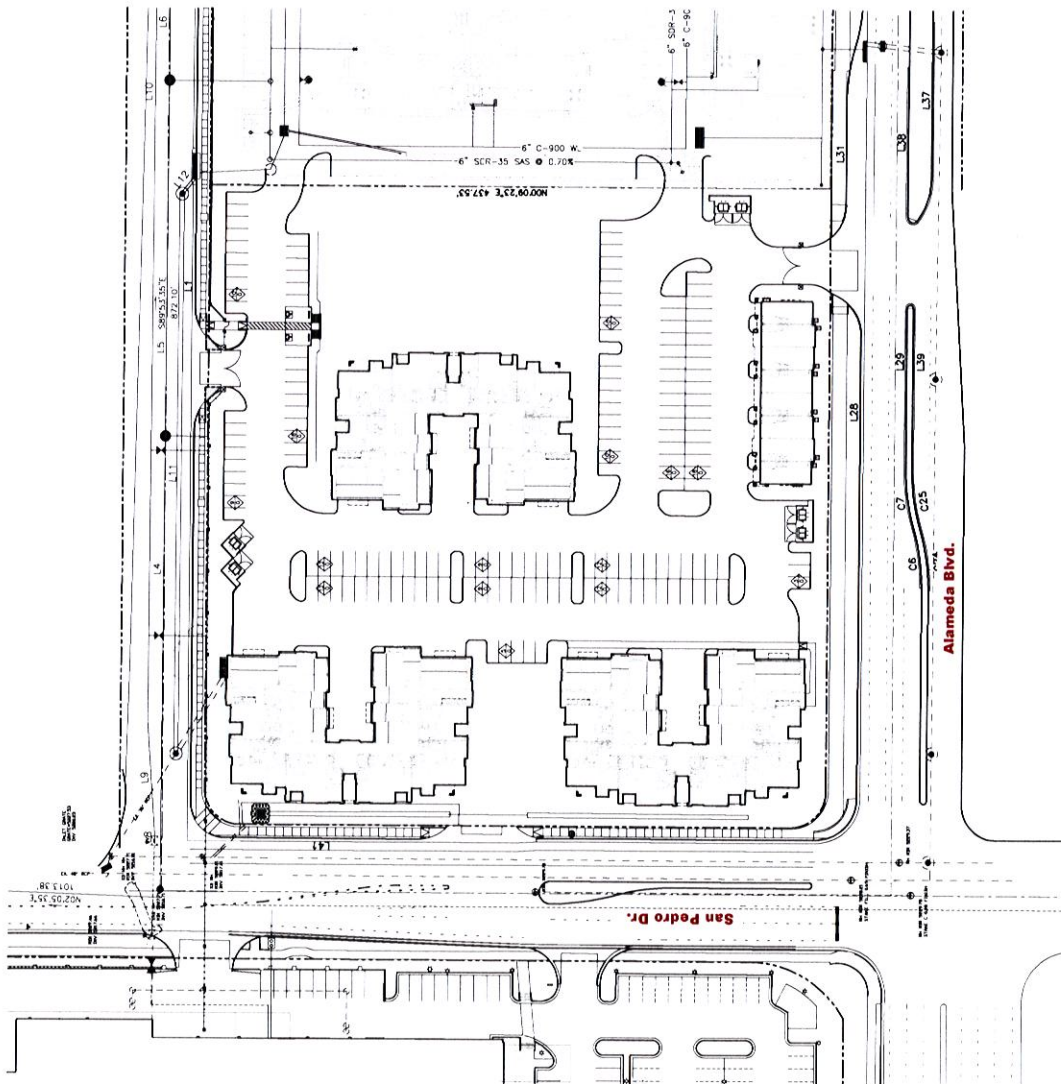
DEVELOPMENT DATA

NET SITE AREA:
4.4878 ACRES (194,478 S.F.)
ZONING: SU-2
CURRENT: SU-2

SETBACKS PROVIDED:

FRONT: 15' SIDE (W) SIDE (S) FRONT (E)
REAR: 10' SIDE (W) SIDE (S) FRONT (E)
PARKING: 5'

UNIT TYPE	UNIT MIX											TOTAL BLDG BLOS/UNITS	
	S1	A1	A2	A3	B2	B3	B4	B5	TOTR	TRUNITS	NO.		TOTAL
BLDG TYPE 1	6	3	1	4	4	4	6	4	4	4	4	4	42
BLDG TYPE 2	4	2	1	3	3	3	6	4	4	4	4	4	40
BLDG TYPE 3	4	2	1	3	3	3	6	4	4	4	4	4	40
TOTAL	14	7	3	10	10	10	20	14	4	4	4	4	110



SCALE: 1" = 40'-0"

PRELIMINARY SITE PLAN

2017 Site Plan

A1.10
SITE PLAN
PRELIMINARY

DATE: NOVEMBER 27, 2017 DBP #: 17-218

LEGACY NAA
APARTMENTS - II
1111 BROADWAY, ALAMEDA
ALBUQUERQUE, NEW MEXICO



www.rbaarch.com
RICH BARBER
NO. 2595



4.0 TRIP GENERATION, DISTRIBUTION AND ASSIGNMENT

4.1 TRIP GENERATION

Project trips were generated using the Institute of Transportation Engineers (ITE) *Trip Generation*, 9th Edition, and the trip generation data are summarized in Table 6. Trips were generated based upon a series of land use categories. No specific tenants or tenant types for the commercial (shopping center) land use are known or assumed at this time. Should specific tenants generate trips differently than a generic shopping center, a reevaluation of the trip generation may be required. The data worksheet is contained in Appendix D.

Table 6
Trip Generation - Proposed Land Use

LU Code	Development	Units	Daily	AM In	AM Out	PM In	PM Out
220	Apartment	232 DU	1529	23	94	94	51
820	Shopping Center	25,250 SF	1078	15	9	45	49
934	High Turnover Restaurant	5,000 SF	1250	58	56	43	39
934	Gasoline Station w/ Convenience Store	16 pumps	2604	82	81	108	108
	Subtotal		6461	178	240	290	247
	Pass-By Trips (see breakout in App D.)		-	- 41	- 41	- 85	- 85
	Site Access Total		6461	178	240	290	247
	Roadway Network Total		6461	137	199	205	162

The pass-by trip reduction for retail trips was applied based upon agreement with City of Albuquerque staff. The ITE *Trip Generation Handbook* recommends pass-by reductions varying from 34% to 62% for the land uses listed. The gasoline station (#945) was rounded down to 50%, the high turnover restaurant (#932) to 40% and the retail (#820) has rounded down to 30% trips. The estimated pass-by trips are considered conservative.

4.2 TRIP DISTRIBUTION

The trip distribution from the site was generated using the Mid-Region Council of Governments (MRCOG) 2040 model year land use. The databank is consistent with the 2040 MTP travel demand model. Two trip distributions were developed for the site, one for retail trips and one for residential trips. The retail distribution area was determined based upon the population from data analysis subzones (DASZ) that fall within an approximate 3-mile radius of the site. The residential distribution area was the subzones within the AMPA, west of the Sandia Mountains and north of Valencia County. The residential trips were based upon employment within the subzones evaluated. Table 7 contains subarea routing descriptions to the site and O-D percentages for trips entering and exiting DASZ #7202 for the buildout year. Appendix D contains drawings of the distribution subarea boundaries and distribution percentage graphics. The residential and retail distributions are shown graphically in Figures D-1 and D-2, respectively.

Legacy NAA Development (Alameda Blvd. / San Pedro Dr.)
Trip Generation Data (ITE Trip Generation Manual - 10th Edition)

USE (ITE CODE)	DESCRIPTION	24 HR VOL		A. M. PEAK HR.		P. M. PEAK HR.	
		GROSS		ENTER	EXIT	ENTER	EXIT
Summary Sheet							
	Multifamily Housing - Mid-Rise (221)	733	135	12	34	36	23

Trip Generation Rate assumed in TIS for same Parcel (Commercial)

% Increase (Reduction) compared to Mid-Rise Multifamily

-573% -1192%

-329%

-444%

-752%

*Legacy NAA Development (Alameda Blvd. / San Pedro Dr.)
Trip Generation Data (ITE Trip Generation Manual - 10th Edition)*

USE (ITE CODE)	24 HOUR TWO-WAY VOLUME		A. M. PEAK HOUR		P. M. PEAK HOUR	
	GROSS	NET	ENTER	EXIT	ENTER	EXIT

Units

Multifamily Housing - Mid-Rise (221)

733	12	34	36	23
-----	----	----	----	----

135

Dwelling Units

ITE Trip Generation Equations:

Average Vehicle Trip Ends on a Weekday (24 HOUR TWO-WAY VOLUME);

$$T = 5.44 (X) + -1.75$$

50% Enter, 50% Exit

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7am and 9am (A.M. PEAK HOUR)

$$\ln(\pi) = 0.98 \ln(X) + -0.98$$

26% Enter, 74% Exit

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4pm and 6pm (P.M. PEAK HOUR)

$$\ln(\pi) = 0.96 \ln(X) + -0.63$$

61% Enter, 39% Exit

Comments:

Tract No.



Based on ITE Trip Generation Manual - 10th Edition

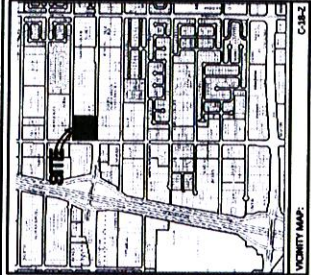


LEGACY NAA APARTMENTS II FIRE ONE PLAN

GHS Alameda Blvd. ME
Alameda, New Mexico 87113

RESPEC WATER & MUTUAL RESOURCES
 5971 BERTSON ST. SUITE 101 ALBUQUERQUE, NM 87109
 PHONE 505 366 4187 FAX 505 366 4188

DATE: 1/2018
 CHECKED BY: [Signature]
 DESIGNED BY: [Signature]

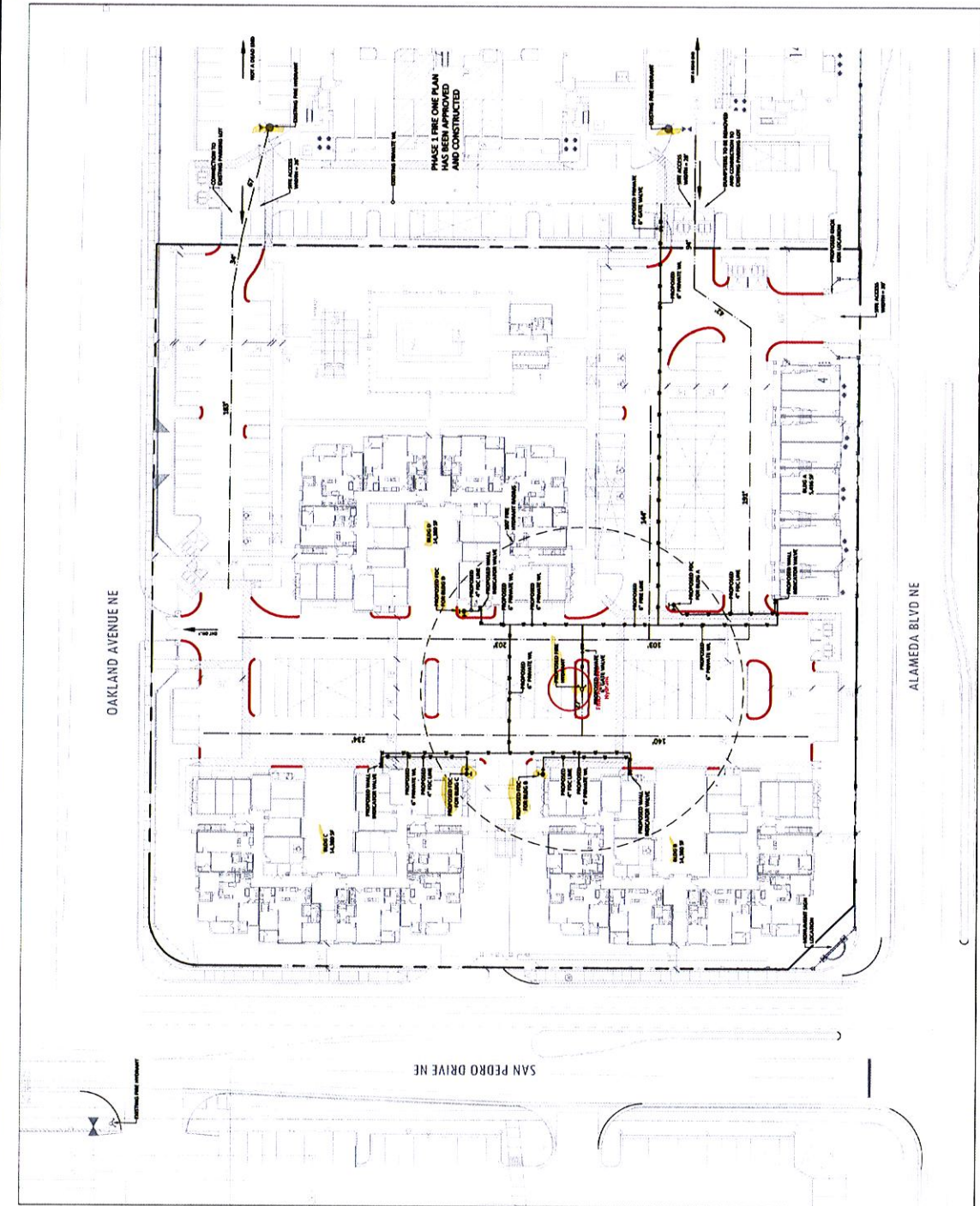


- FIRE ONE NOTES:**
1. BUILDINGS TYPE: V-A
 2. THE TOTAL HEIGHT OF THE PROPOSED BUILDINGS SHALL EXCEED 30'.
 3. THE PROPOSED BUILDINGS SHALL BE FAULT.
 4. THE PROPOSED BUILDINGS SHALL BE APPROVED AND CHARGES SHALL BE APPROVED AS A FIRE APPROPRIATE WEIGHING 75,000 LBS.
 5. THE AMERICAN DRIVE BAY WIDTH SHALL BE 30' UNLESS OTHERWISE SPECIFIED.
 6. BUILDINGS SHALL HAVE APPROVED ADDRESSES LOCATED WITHIN 100' OF A FIRE HYDRANT AND IN A POSITION PLANNED LEGIBLY AND VISIBLE FROM THE STREET.
 7. FIRE COMPARTMENT COMPARTMENTS SHALL BE LOCATED WITHIN 100' OF A FIRE HYDRANT AND IN A POSITION PLANNED LEGIBLY AND VISIBLE FROM THE STREET FOR A MINIMUM DISTANCE OF 30'.
 8. FOOT CURETIONS SHALL BE PROVIDED PER NFPA 11.
 9. A FIRE BOX SHALL BE PROVIDED AT THE ENTRANCE OF THE PROPOSED GATE LOCATION.
 10. WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN DRIVE BAY WIDTH SHALL BE 30' UNLESS OTHERWISE SPECIFIED.
 11. ANY CHANGES MADE DURING CONSTRUCTION SHALL BE NOT IN COMPLIANCE WITH THE ORIGINAL APPROVAL. ANY CHANGES SHALL BE SUBMITTED FOR APPROVAL AS AN AMENDED SET. STAMPED SHOP DRAWINGS SHALL BE ON SITE FOR INSPECTIONS.

APPROVED
 DRAFT AND FIRE ACCESS
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE ARCHITECT.
 [Signature]

LEGEND

- PROPOSED EXISTING
- PROPOSED EXISTING
- PROPOSED EXISTING
- PROPOSED EXISTING
- PROPOSED EXISTING



Current DRC _____
 Project No. _____

Figure 12
 INFRASTRUCTURE LIST

EXHIBIT 'A'
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
 Portions of Lots 1, 30, 31 and 32 and all of Lots 2 and 3, Block 28, North Albuquerque Acres, Tract A, Unit B
 City of Albuquerque, Bernalillo County, New Mexico

Date Submitted: _____ January 24, 2018
 Date Site Plan Bldg Permit Approved: _____
 Date Site Plan for Sub. Approved: _____
 Final Preliminary Plat Approved: _____
 Final Preliminary Plat Expires: _____
 DRB Project No. _____

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantee. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	50 LF SANITARY SEWER LINE AND CONNECTION TO EXISTING MANHOLE	SAN PEDRO DR BETWEEN ALAMEDA BLVD & OAKLAND AVE			/	/	/
			DEMO DRIVEWAY, NEW CURB & GUTTER AND SIDEWALK	SAN PEDRO DR BETWEEN ALAMEDA BLVD & OAKLAND AVE			/	/	/

AGENT/OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

PREPARED BY: PRINT NAME DATE DRB CHAIR DATE PARKS & GENERAL SERVICES DATE

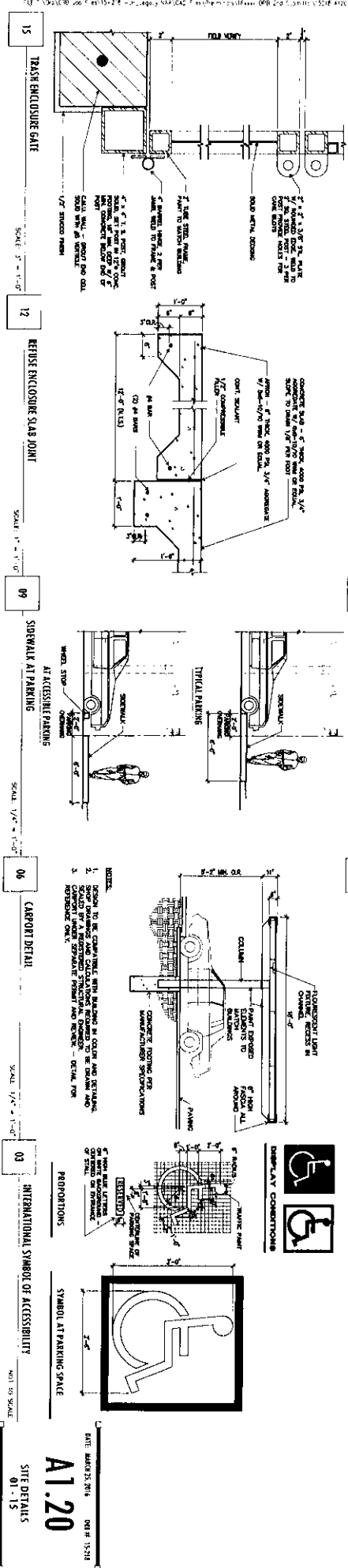
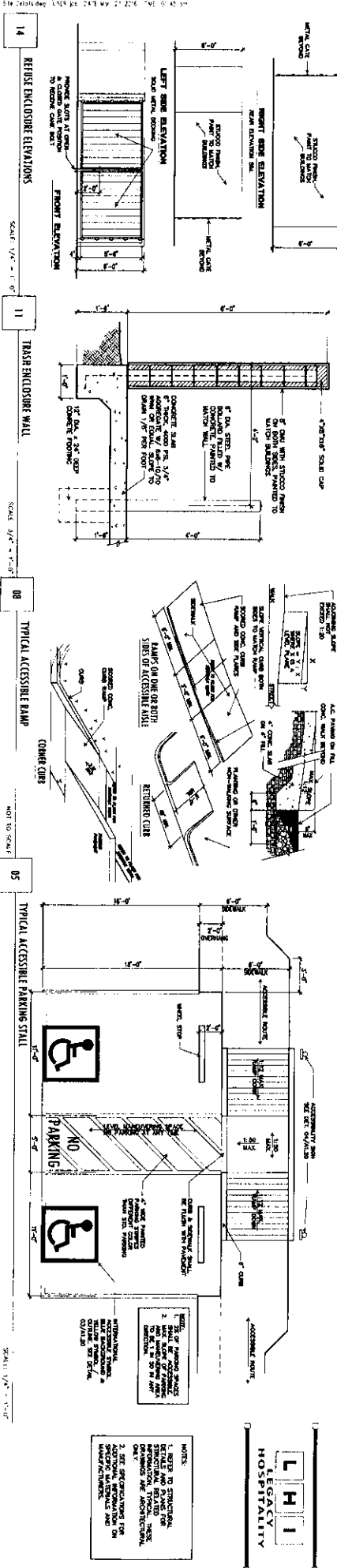
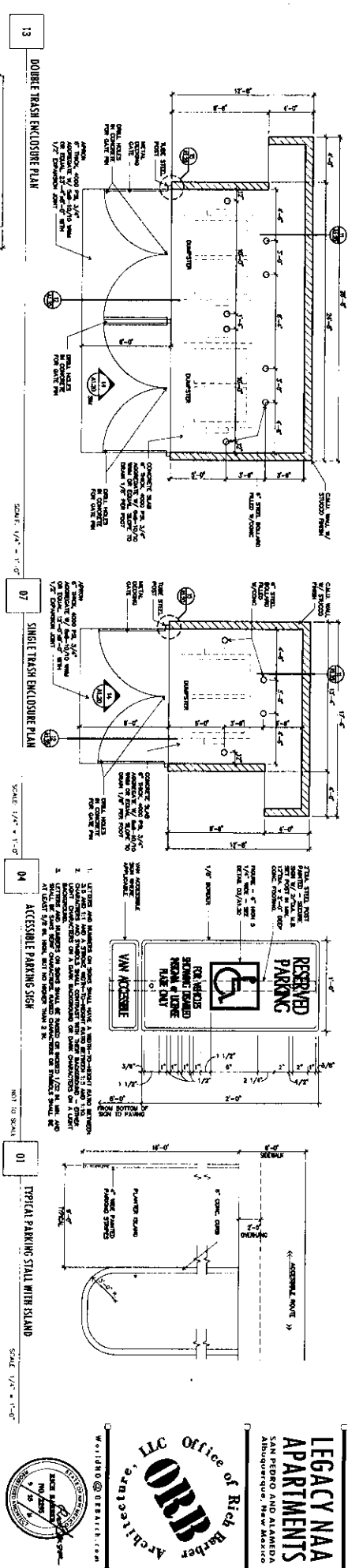
FIRM: RESPEC TRANSPORTATION DEVELOPMENT DATE AMAFCA DATE

SIGNATURE ABCMUA DATE CITY ENGINEER DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT/OWNER



Legacy NAA Apartments
 SAN PEDRO AND ALAMEDA
 SAN PEDRO, NEW MEXICO

Office of Rick Barber
RRB
 Architects

WORLDWIDE CONSULTANTS

LEGACY LEGACY HOSPITALITY

DATE: MARCH 25, 2014 **JOB #:** 15218

NOTES:

1. REFER TO STRUCTURAL DETAILS AND PLANS FOR DIMENSIONS, TYPICAL TRASH ENCLOSURE, AND ARCHITECTURAL FINISHES.
2. SET SEPARATION FOR ACCESSIBILITY FOR MANUFACTURING.

INTERNATIONAL SYMBOL OF ACCESSIBILITY

SYMBOL AT PARKING SPACE

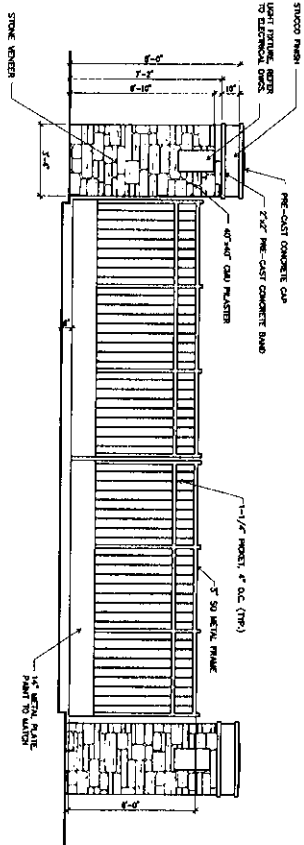
PROPORTIONS:

DATE: MARCH 25, 2014 **JOB #:** 15218

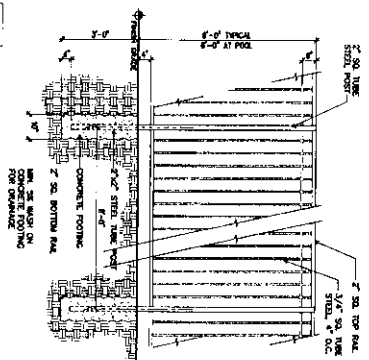
A1.20

SITE DETAILS

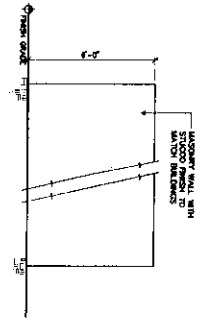
01 - 15



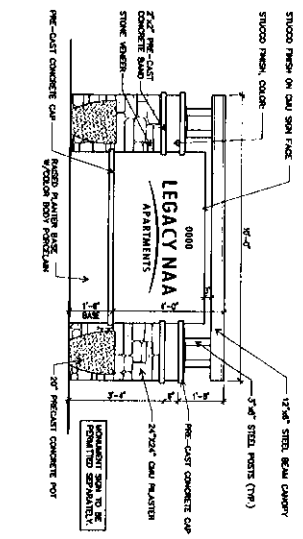
28 VEHICULAR ENTRY GATE
SCALE: 3/8" = 1'-0"



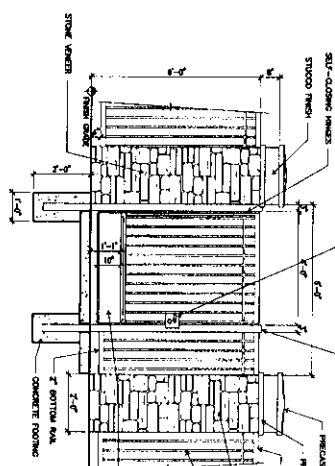
19 TUBULAR STEEL FENCE
SCALE: 3/8" = 1'-0"



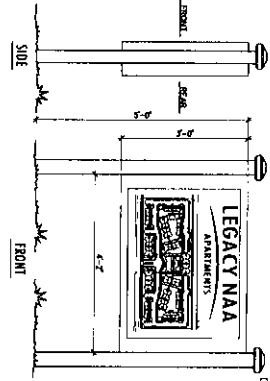
16 PERIMETER MASONRY WALL
SCALE: 3/8" = 1'-0"



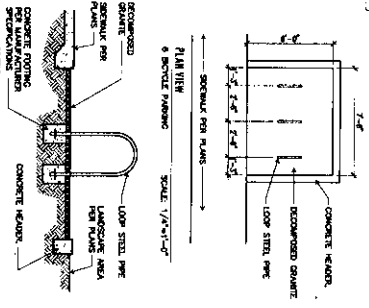
29 ENTRY ADJUNCT ELEVATION
SCALE: 1/2" = 1'-0"



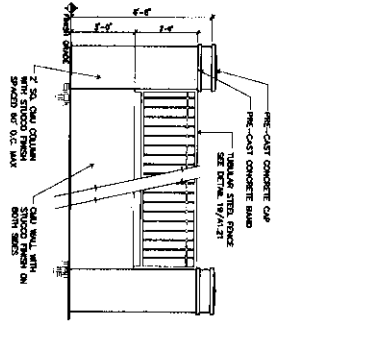
23 PEDESTRIAN ENTRY GATE
SCALE: 1/2" = 1'-0"



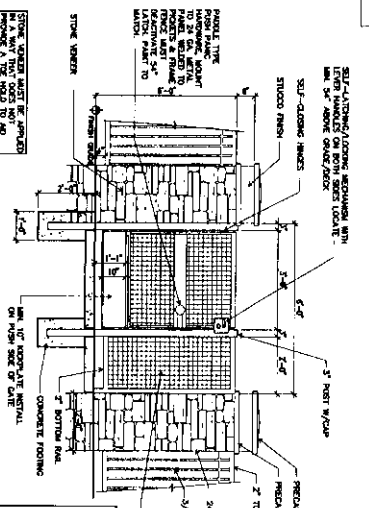
17 SITE DIRECTORY MAP
NOT TO SCALE



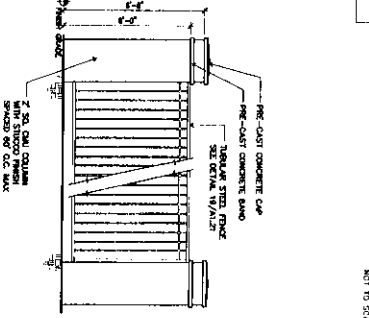
30 BICYCLE PARKING
SCALE: 1/2" = 1'-0"



27 PLASTER AT CAN/TUBULAR CONDO FENCE
SCALE: 3/8" = 1'-0"

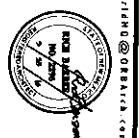


24 PEDESTRIAN ENTRY GATE AT POOL FENCE
SCALE: 1/2" = 1'-0"



18 PLASTER AT PERIMETER TUBULAR STEEL FENCE
SCALE: 3/8" = 1'-0"

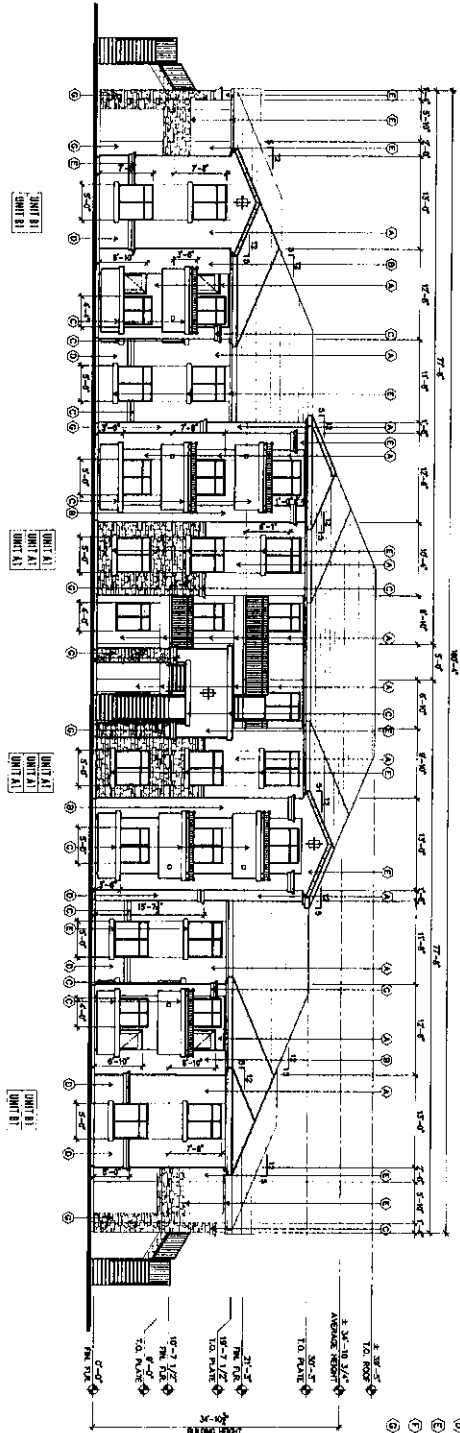
LEGACY NAA APARTMENTS
LEGACY HOSPITALITY



Office of Brad Barber
BRB Architects
LEGACY NAA APARTMENTS
SAN FRANCISCO AND AMERICA
ALBANY, NEW YORK

NOTES:
1. REFER TO STRUCTURAL DETAILS AND PLANS FOR MATERIALS, FINISHES, DIMENSIONS, TYPICAL NOTES, AND OTHER INFORMATION.
2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MANUFACTURING.

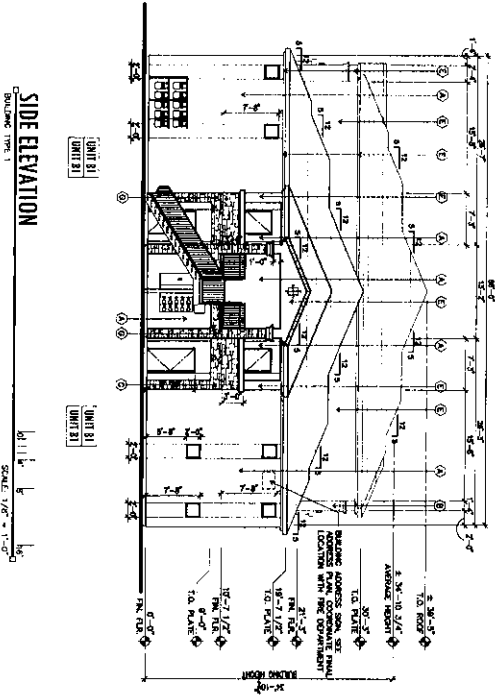
DATE: MARCH 20, 2014
A1.21
SITE DETAILS
16-30



FRONT/REAR ELEVATION

BUILDING TYPE 1

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

BUILDING TYPE 1

SCALE: 1/8" = 1'-0"

- MATERIAL KEY NOTES:**
- Ⓐ STUCCO FINISH BOISE
 - Ⓑ STUCCO FINISH LIGHT BROWN
 - Ⓒ STUCCO FINISH DARK BROWN
 - Ⓓ STUCCO FINISH BROWN
 - Ⓔ STUCCO FINISH LIGHT BOISE
 - Ⓕ TILE ROOF
 - Ⓖ STONE VENEER

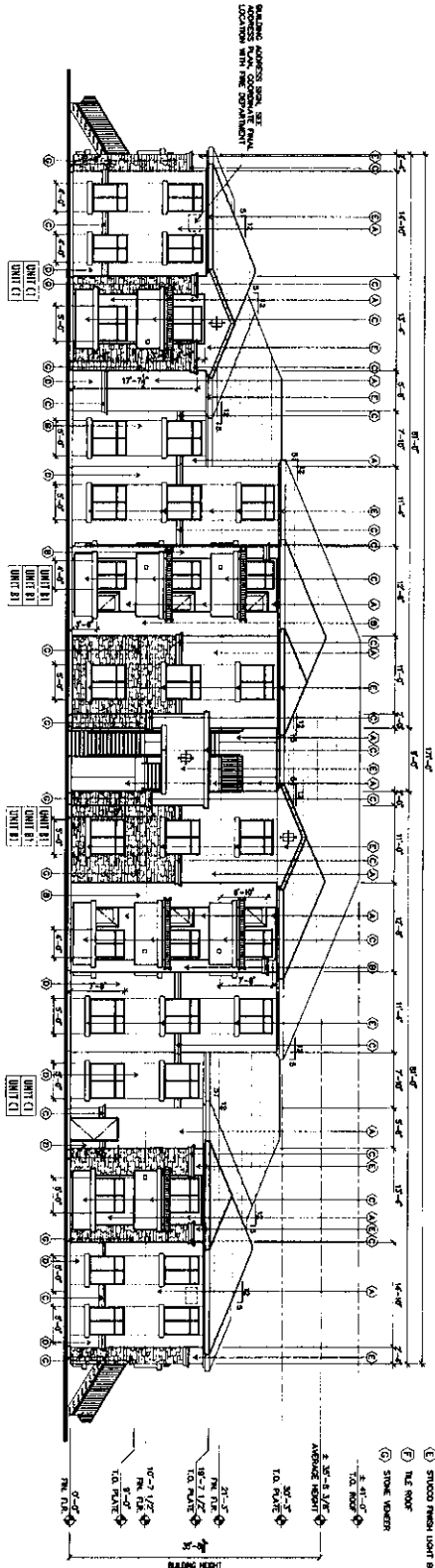


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 Office of Rick Barber
 WorldID@osbsarch.com

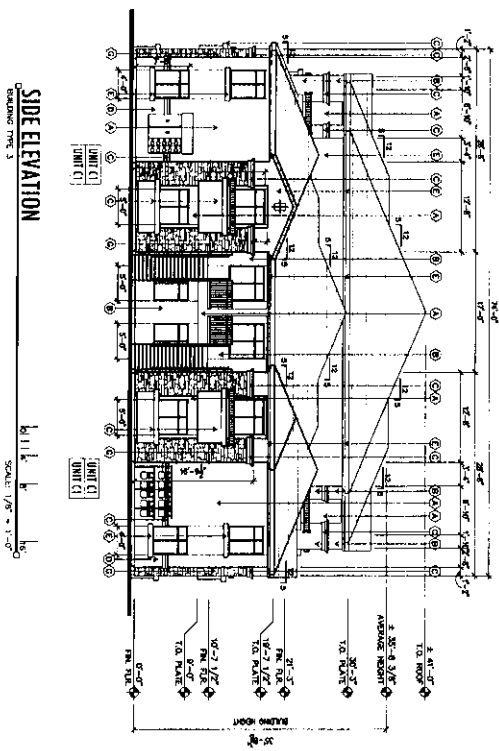
LEGACY NAA APARTMENTS
 SAN PEDRO AND ALAMEDA
 Albuquerque, New Mexico

LHI
 LEGACY HOSPITALITY

DATE: MARCH 25, 2016 JOB #: 15318
A3.14
 BUILDING TYPE 1
 EXTERIOR ELEVATIONS



FRONT/REAR ELEVATION
BUILDING TYPE 3
SCALE: 1/8" = 1'-0"

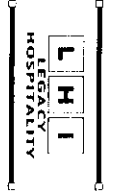
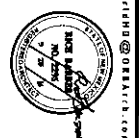
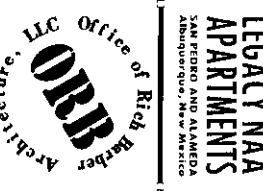


SIDE ELEVATION
BUILDING TYPE 3
SCALE: 1/8" = 1'-0"

MATERIAL KEY NOTES:

- 1) STUCCO FINISH BROWN
- 2) STUCCO FINISH LIGHT BROWN
- 3) STUCCO FINISH DARK BROWN
- 4) STUCCO FINISH LIGHT BROWN
- 5) TILE ROOF
- 6) STONE VENEER
- 7) T.O. ROOF
- 8) 3/8" x 3/8" T.O. FLAKE
- 9) 3/8" x 3/8" T.O. FLAKE
- 10) 3/8" x 3/8" T.O. FLAKE
- 11) 3/8" x 3/8" T.O. FLAKE
- 12) 3/8" x 3/8" T.O. FLAKE
- 13) 3/8" x 3/8" T.O. FLAKE
- 14) 3/8" x 3/8" T.O. FLAKE
- 15) 3/8" x 3/8" T.O. FLAKE
- 16) 3/8" x 3/8" T.O. FLAKE
- 17) 3/8" x 3/8" T.O. FLAKE
- 18) 3/8" x 3/8" T.O. FLAKE
- 19) 3/8" x 3/8" T.O. FLAKE
- 20) 3/8" x 3/8" T.O. FLAKE
- 21) 3/8" x 3/8" T.O. FLAKE
- 22) 3/8" x 3/8" T.O. FLAKE
- 23) 3/8" x 3/8" T.O. FLAKE
- 24) 3/8" x 3/8" T.O. FLAKE
- 25) 3/8" x 3/8" T.O. FLAKE
- 26) 3/8" x 3/8" T.O. FLAKE
- 27) 3/8" x 3/8" T.O. FLAKE
- 28) 3/8" x 3/8" T.O. FLAKE
- 29) 3/8" x 3/8" T.O. FLAKE
- 30) 3/8" x 3/8" T.O. FLAKE
- 31) 3/8" x 3/8" T.O. FLAKE
- 32) 3/8" x 3/8" T.O. FLAKE
- 33) 3/8" x 3/8" T.O. FLAKE
- 34) 3/8" x 3/8" T.O. FLAKE
- 35) 3/8" x 3/8" T.O. FLAKE
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- 47) 3/8" x 3/8" T.O. FLAKE
- 48) 3/8" x 3/8" T.O. FLAKE
- 49) 3/8" x 3/8" T.O. FLAKE
- 50) 3/8" x 3/8" T.O. FLAKE
- 51) 3/8" x 3/8" T.O. FLAKE
- 52) 3/8" x 3/8" T.O. FLAKE
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- 54) 3/8" x 3/8" T.O. FLAKE
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- 58) 3/8" x 3/8" T.O. FLAKE
- 59) 3/8" x 3/8" T.O. FLAKE
- 60) 3/8" x 3/8" T.O. FLAKE
- 61) 3/8" x 3/8" T.O. FLAKE
- 62) 3/8" x 3/8" T.O. FLAKE
- 63) 3/8" x 3/8" T.O. FLAKE
- 64) 3/8" x 3/8" T.O. FLAKE
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- 66) 3/8" x 3/8" T.O. FLAKE
- 67) 3/8" x 3/8" T.O. FLAKE
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- 72) 3/8" x 3/8" T.O. FLAKE
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- 77) 3/8" x 3/8" T.O. FLAKE
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- 83) 3/8" x 3/8" T.O. FLAKE
- 84) 3/8" x 3/8" T.O. FLAKE
- 85) 3/8" x 3/8" T.O. FLAKE
- 86) 3/8" x 3/8" T.O. FLAKE
- 87) 3/8" x 3/8" T.O. FLAKE
- 88) 3/8" x 3/8" T.O. FLAKE
- 89) 3/8" x 3/8" T.O. FLAKE
- 90) 3/8" x 3/8" T.O. FLAKE
- 91) 3/8" x 3/8" T.O. FLAKE
- 92) 3/8" x 3/8" T.O. FLAKE
- 93) 3/8" x 3/8" T.O. FLAKE
- 94) 3/8" x 3/8" T.O. FLAKE
- 95) 3/8" x 3/8" T.O. FLAKE
- 96) 3/8" x 3/8" T.O. FLAKE
- 97) 3/8" x 3/8" T.O. FLAKE
- 98) 3/8" x 3/8" T.O. FLAKE
- 99) 3/8" x 3/8" T.O. FLAKE
- 100) 3/8" x 3/8" T.O. FLAKE

LEGACY NAA
APARTMENTS
3441 PRINCE AND ALANES
ALBUQUERQUE, NEW MEXICO

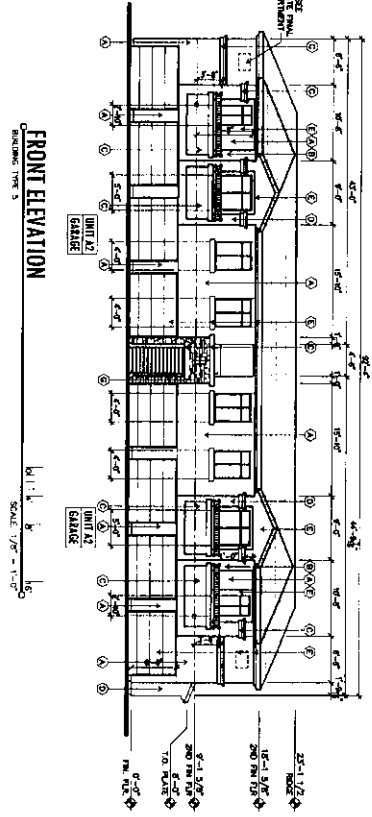


DATE: MARCH 2016 DRW # 15211

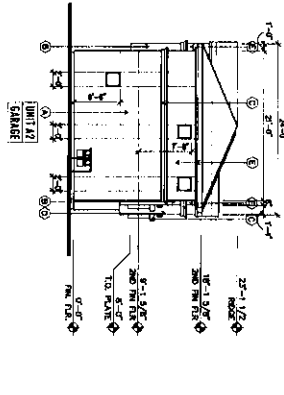
A3.34

BUILDING TYPE 3
EXTERIOR ELEVATIONS

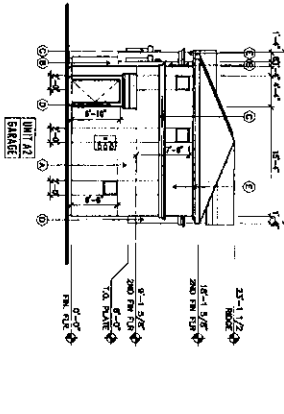
BUILDING ADDRESS SIGN, SEE PLAN
 ADDRESS MAIN CORNER PLATE
 ADDRESS MAIN CORNER PLATE
 ADDRESS MAIN CORNER PLATE



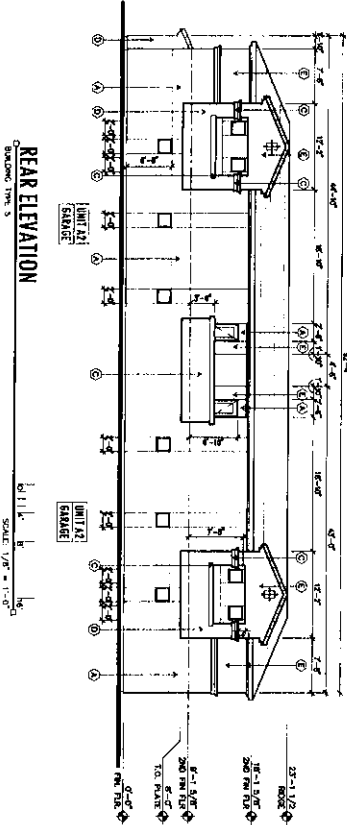
FRONT ELEVATION
 BUILDING TYPE 3
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 BUILDING TYPE 3
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
 BUILDING TYPE 3
 SCALE: 1/8" = 1'-0"



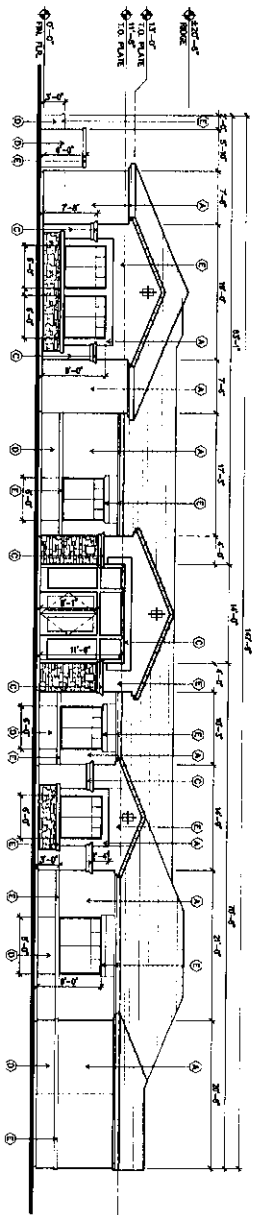
REAR ELEVATION
 BUILDING TYPE 3
 SCALE: 1/8" = 1'-0"

- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH BROWN
 - (B) STUCCO FINISH LIGHT BROWN
 - (C) STUCCO FINISH DARK BROWN
 - (D) STUCCO FINISH BROWN
 - (E) STUCCO FINISH LIGHT BROWN
 - (F) TILE ROOF
 - (G) STONE VENEER

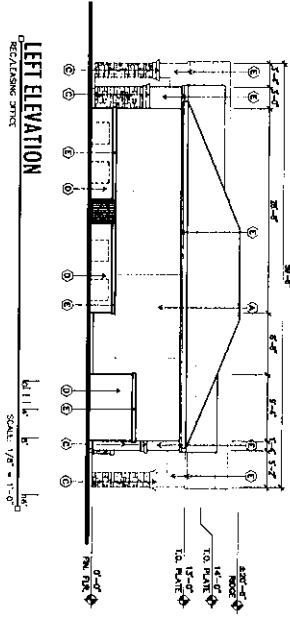
**LEGACY NAA
 APARTMENTS**
 SAN PEDRO AND ALAMEDA
 Alhambra, New Mexico



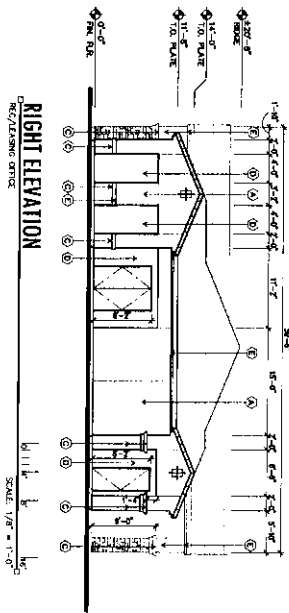
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 BUILDING TYPE 3
 EXTERIOR ELEVATIONS



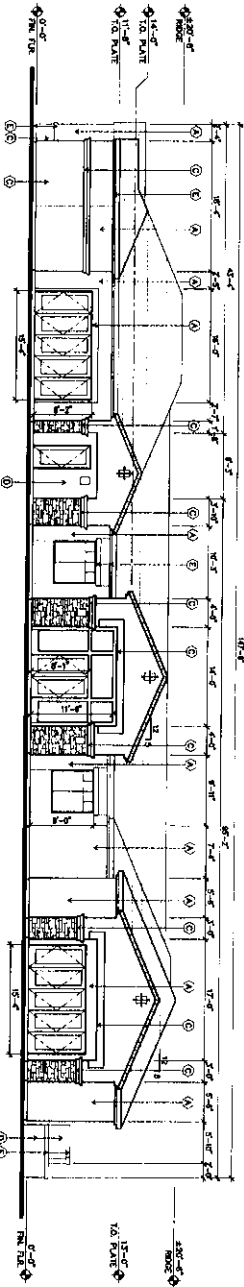
FRONT ELEVATION
RECLENSING OFFICE
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
RECLENSING OFFICE
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
RECLENSING OFFICE
SCALE: 1/8" = 1'-0"



REAR ELEVATION
RECLENSING OFFICE
SCALE: 1/8" = 1'-0"

- MATERIAL KEY NOTES:**
- ① STUCCO FINISH BROWN
 - ② STUCCO FINISH LIGHT BROWN
 - ③ STUCCO FINISH DARK BROWN
 - ④ STUCCO FINISH BROWN
 - ⑤ STUCCO FINISH LIGHT BROWN
 - ⑥ TILE ROOF
 - ⑦ STONE VENEER

**LEGACY NAA
APARTMENTS**
SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico

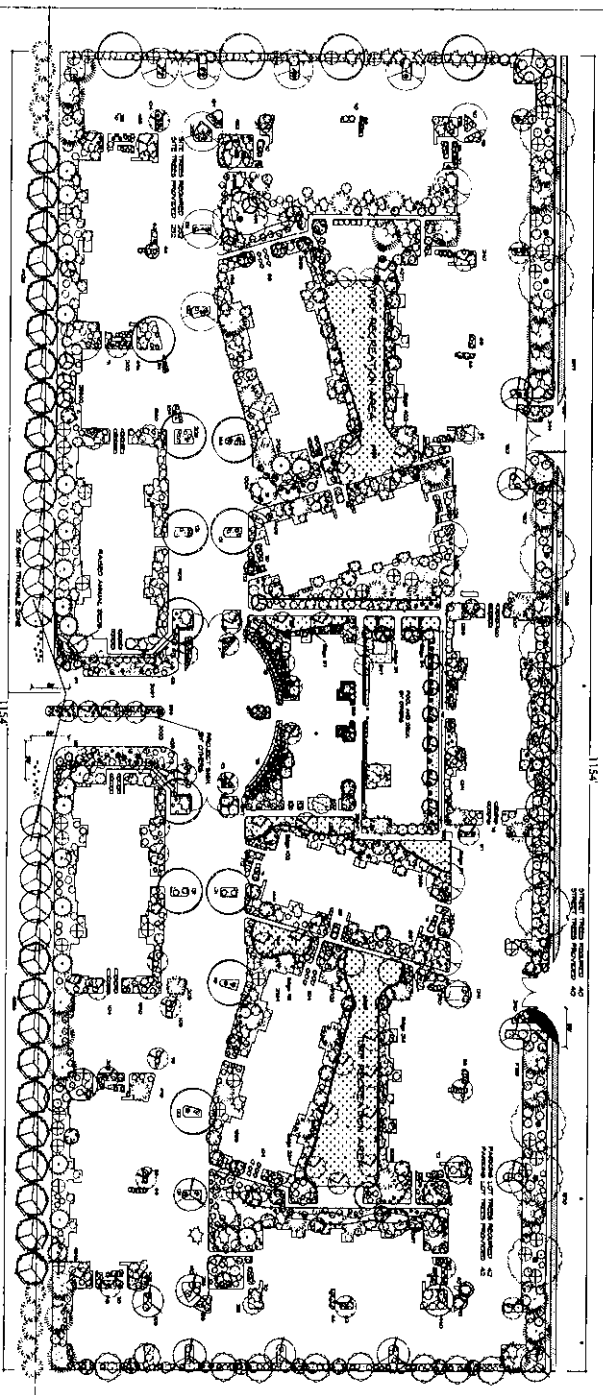
PRO Architecture, LLC
Office of Rick Barber
MOJIB@ORNLTC.COM



L H I
LEGACY
HOSPITALITY

DATE: MARCH 2016
DRAWN BY: JSB
A5.12
RECLENSING/FINISH
ELEVATIONS

OAKLAND AVE NE



LANDSCAPE LEGEND

1	1" Cal. Orange Blossom	4000	4000
2	2" Cal. Orange Blossom	4000	4000
3	3" Cal. Orange Blossom	4000	4000
4	4" Cal. Orange Blossom	4000	4000
5	5" Cal. Orange Blossom	4000	4000
6	6" Cal. Orange Blossom	4000	4000
7	7" Cal. Orange Blossom	4000	4000
8	8" Cal. Orange Blossom	4000	4000
9	9" Cal. Orange Blossom	4000	4000
10	10" Cal. Orange Blossom	4000	4000
11	11" Cal. Orange Blossom	4000	4000
12	12" Cal. Orange Blossom	4000	4000
13	13" Cal. Orange Blossom	4000	4000
14	14" Cal. Orange Blossom	4000	4000
15	15" Cal. Orange Blossom	4000	4000
16	16" Cal. Orange Blossom	4000	4000
17	17" Cal. Orange Blossom	4000	4000
18	18" Cal. Orange Blossom	4000	4000
19	19" Cal. Orange Blossom	4000	4000
20	20" Cal. Orange Blossom	4000	4000
21	21" Cal. Orange Blossom	4000	4000
22	22" Cal. Orange Blossom	4000	4000
23	23" Cal. Orange Blossom	4000	4000
24	24" Cal. Orange Blossom	4000	4000
25	25" Cal. Orange Blossom	4000	4000
26	26" Cal. Orange Blossom	4000	4000
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28	28" Cal. Orange Blossom	4000	4000
29	29" Cal. Orange Blossom	4000	4000
30	30" Cal. Orange Blossom	4000	4000
31	31" Cal. Orange Blossom	4000	4000
32	32" Cal. Orange Blossom	4000	4000
33	33" Cal. Orange Blossom	4000	4000
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35	35" Cal. Orange Blossom	4000	4000
36	36" Cal. Orange Blossom	4000	4000
37	37" Cal. Orange Blossom	4000	4000
38	38" Cal. Orange Blossom	4000	4000
39	39" Cal. Orange Blossom	4000	4000
40	40" Cal. Orange Blossom	4000	4000
41	41" Cal. Orange Blossom	4000	4000
42	42" Cal. Orange Blossom	4000	4000
43	43" Cal. Orange Blossom	4000	4000
44	44" Cal. Orange Blossom	4000	4000
45	45" Cal. Orange Blossom	4000	4000
46	46" Cal. Orange Blossom	4000	4000
47	47" Cal. Orange Blossom	4000	4000
48	48" Cal. Orange Blossom	4000	4000
49	49" Cal. Orange Blossom	4000	4000
50	50" Cal. Orange Blossom	4000	4000

Species / Groundcovers

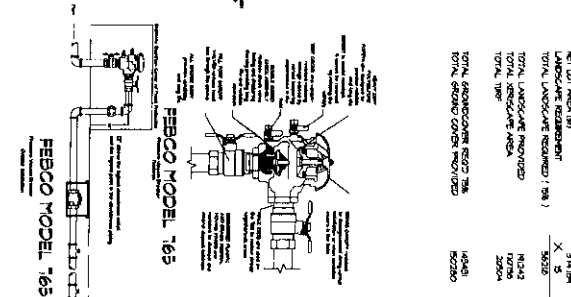
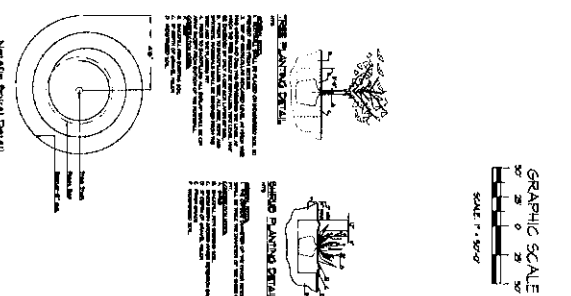
1	1" Cal. Orange Blossom	4000	4000
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3	3" Cal. Orange Blossom	4000	4000
4	4" Cal. Orange Blossom	4000	4000
5	5" Cal. Orange Blossom	4000	4000
6	6" Cal. Orange Blossom	4000	4000
7	7" Cal. Orange Blossom	4000	4000
8	8" Cal. Orange Blossom	4000	4000
9	9" Cal. Orange Blossom	4000	4000
10	10" Cal. Orange Blossom	4000	4000
11	11" Cal. Orange Blossom	4000	4000
12	12" Cal. Orange Blossom	4000	4000
13	13" Cal. Orange Blossom	4000	4000
14	14" Cal. Orange Blossom	4000	4000
15	15" Cal. Orange Blossom	4000	4000
16	16" Cal. Orange Blossom	4000	4000
17	17" Cal. Orange Blossom	4000	4000
18	18" Cal. Orange Blossom	4000	4000
19	19" Cal. Orange Blossom	4000	4000
20	20" Cal. Orange Blossom	4000	4000
21	21" Cal. Orange Blossom	4000	4000
22	22" Cal. Orange Blossom	4000	4000
23	23" Cal. Orange Blossom	4000	4000
24	24" Cal. Orange Blossom	4000	4000
25	25" Cal. Orange Blossom	4000	4000
26	26" Cal. Orange Blossom	4000	4000
27	27" Cal. Orange Blossom	4000	4000
28	28" Cal. Orange Blossom	4000	4000
29	29" Cal. Orange Blossom	4000	4000
30	30" Cal. Orange Blossom	4000	4000
31	31" Cal. Orange Blossom	4000	4000
32	32" Cal. Orange Blossom	4000	4000
33	33" Cal. Orange Blossom	4000	4000
34	34" Cal. Orange Blossom	4000	4000
35	35" Cal. Orange Blossom	4000	4000
36	36" Cal. Orange Blossom	4000	4000
37	37" Cal. Orange Blossom	4000	4000
38	38" Cal. Orange Blossom	4000	4000
39	39" Cal. Orange Blossom	4000	4000
40	40" Cal. Orange Blossom	4000	4000
41	41" Cal. Orange Blossom	4000	4000
42	42" Cal. Orange Blossom	4000	4000
43	43" Cal. Orange Blossom	4000	4000
44	44" Cal. Orange Blossom	4000	4000
45	45" Cal. Orange Blossom	4000	4000
46	46" Cal. Orange Blossom	4000	4000
47	47" Cal. Orange Blossom	4000	4000
48	48" Cal. Orange Blossom	4000	4000
49	49" Cal. Orange Blossom	4000	4000
50	50" Cal. Orange Blossom	4000	4000

GRAPHIC SCALE

SCALE: 1" = 10'-0"

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sq ft)	1,620,000
TOTAL BUILDING AREA (sq ft)	500,000
TOTAL PAVED AREA (sq ft)	1,120,000
TOTAL LANDSCAPE REQUIRED (sq ft)	500,000
TOTAL LANDSCAPE PROVIDED (sq ft)	500,000
TOTAL LANDSCAPE DEFICIT (sq ft)	0
TOTAL LANDSCAPE SURPLUS (sq ft)	0



LANDSCAPE NOTES:

1. Landscape maintenance shall be the responsibility of the Property Owner. All maintenance shall be performed in accordance with the City of Albuquerque zoning code in general, and the City of Albuquerque landscape maintenance code in particular. The Property Owner shall be responsible for the maintenance of the landscape and shall be responsible for the replacement of any plants that die or become diseased. The Property Owner shall be responsible for the maintenance of the landscape and shall be responsible for the replacement of any plants that die or become diseased.

LANDSCAPE CALCULATIONS:

TOTAL LOT AREA (sq ft): 1,620,000
 TOTAL BUILDING AREA (sq ft): 500,000
 TOTAL PAVED AREA (sq ft): 1,120,000
 TOTAL LANDSCAPE REQUIRED (sq ft): 500,000
 TOTAL LANDSCAPE PROVIDED (sq ft): 500,000
 TOTAL LANDSCAPE DEFICIT (sq ft): 0
 TOTAL LANDSCAPE SURPLUS (sq ft): 0

15-101

DRAWN BY: [Signature]

DATE: 08/20/22

The Hilltop

LEGACY NAA APARTMENTS
 SAN PEDRO AND ALAMEDA
 ALBUQUERQUE, NM

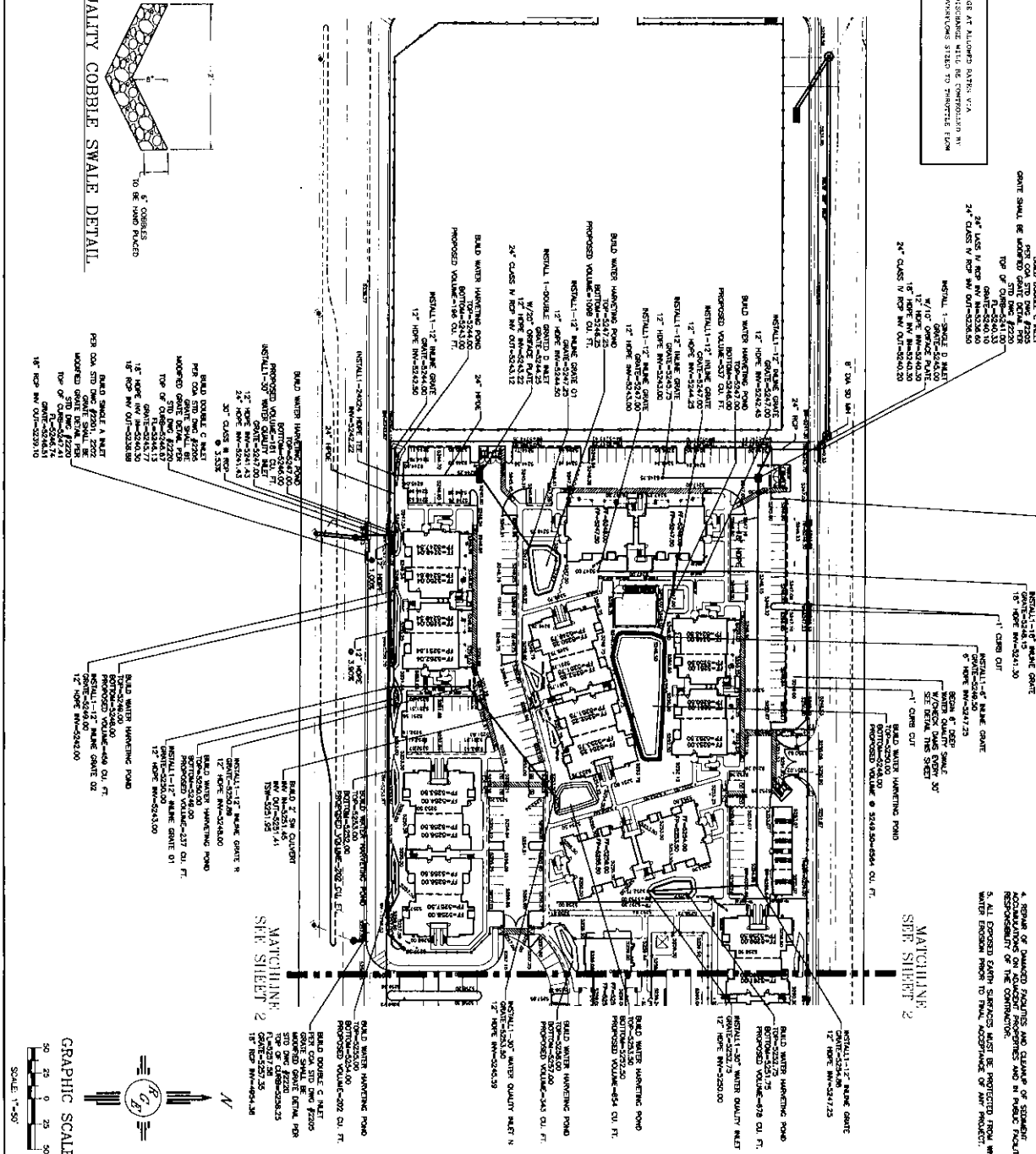
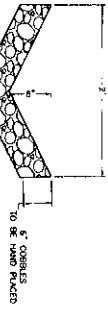
LANDSCAPE PLAN

The Hilltop
 1515 15th NE
 Albuquerque, NM 87106
 Phone: (505) 243-4444
 Fax: (505) 243-4444

CAUTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TOPICAL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES AND ADJACENT PROPERTIES.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING OR NEW DRAINAGE SYSTEMS.
 4. GRADE OF EXPOSED SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

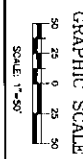
DRAINAGE MAINTENANCE:
 THE SITE WILL DISCHARGE AT ALLOWED RATES, VIA THE EXISTING DRAINAGE SYSTEM, TO THE STREET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TOPICAL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

WATER QUALITY COBBLE SWALE DETAIL



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPICAL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES AND ADJACENT PROPERTIES.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING OR NEW DRAINAGE SYSTEMS.
4. GRADE OF EXPOSED SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGACY NAA APARTMENTS GRADING AND DRAINAGE PLAN

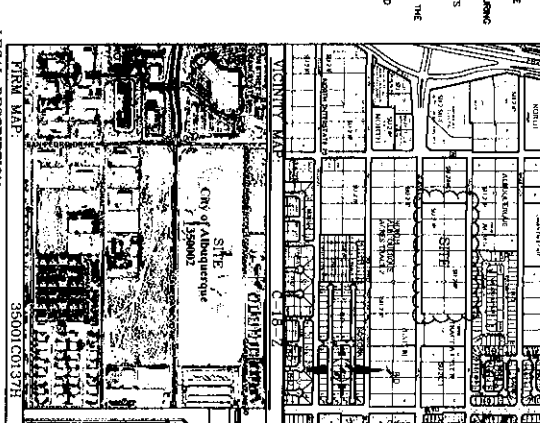
DATE: 11/15/23
 SHEET: 7 OF 11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DESIGNED BY: [Name]

LEGEND

[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING INDEX CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	PROPOSED INDEX CONTOUR
[Symbol]	SLOPE 1% (1:100)
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	PROPOSED SETBACK
[Symbol]	PROPOSED SCOUR WALL
[Symbol]	PROPOSED SCOUR WALL DESIGN BY OTHERS

NOTES:

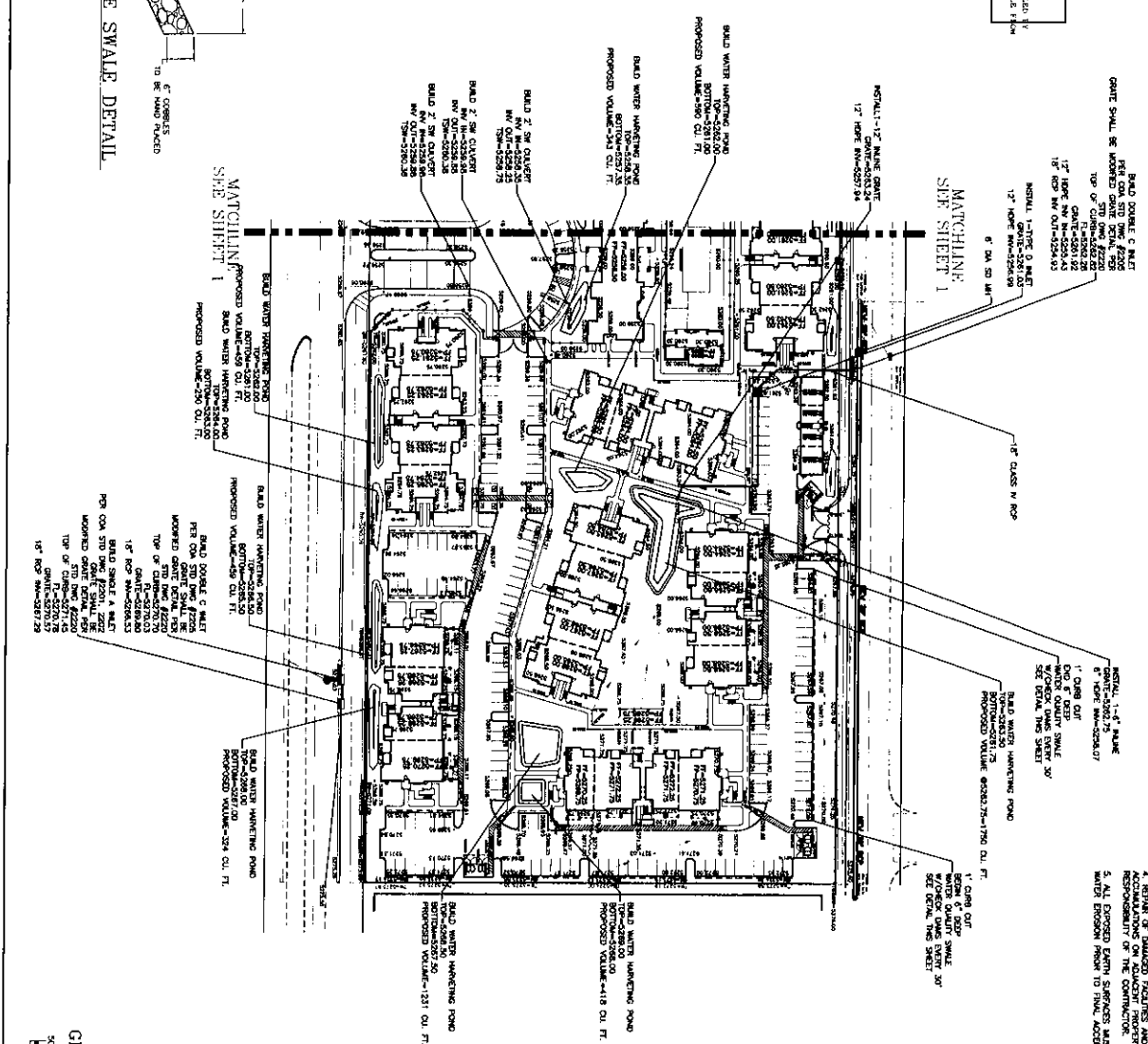
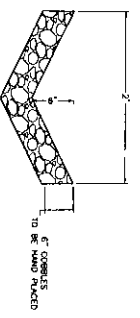
1. ALL SPOT ELEVATIONS REPRESENT FINISHED ELEVATION UNLESS OTHERWISE NOTED.
2. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.



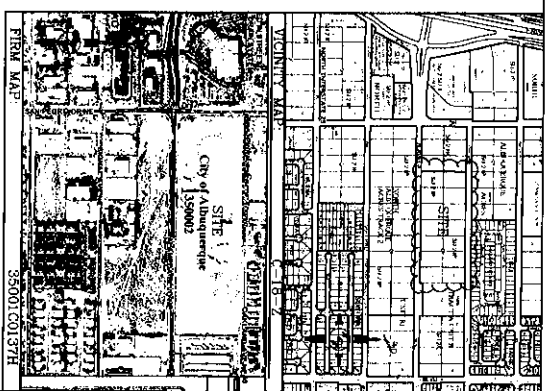
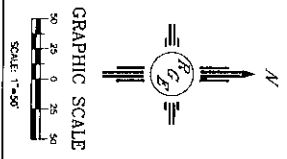
CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UNEXPECTED UTILITIES SHALL BE STOPPED IMMEDIATELY AND THE ENGINEER SHALL BE NOTIFIED.
 THE SITE WILL REMAIN AT ALL TIMES OPEN TO THE PUBLIC. ALL TRAFFIC SHALL BE CONTROLLED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

DATA/VALUATION:
 THE SITE WILL REMAIN AT ALL TIMES OPEN TO THE PUBLIC. ALL TRAFFIC SHALL BE CONTROLLED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

WATER QUALITY COBBLE SWALE DETAIL



EROSION CONTROL NOTES:
 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING 10'-0" OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RUN-OF-WAY.
 4. REMOVAL OF DAMAGED FEATURES AND CLEANUP OF SEDIMENT RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED IN REMOVAL AND REPAIR OF ALL DAMAGED FEATURES AND IN PUBLIC FACILITIES IN THE AREA.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE BY THE PROJECT.



LEGAL DESCRIPTION:
 NOTES:
 1. ALL SPOT ELEVATIONS REPRESENT FORMER ELEVATIONS UNLESS OTHERWISE NOTED.
 2. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

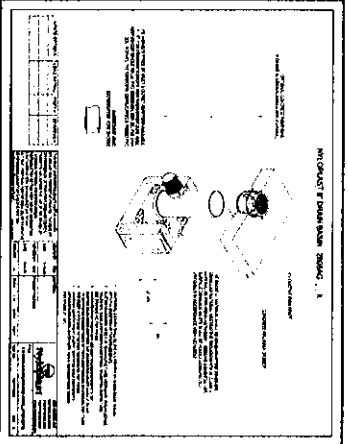
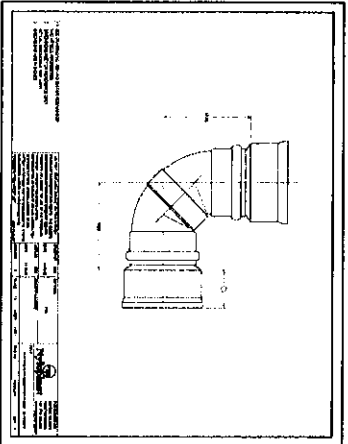
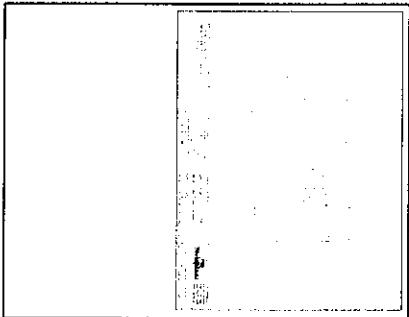
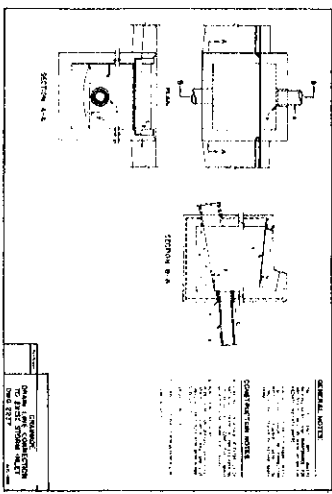
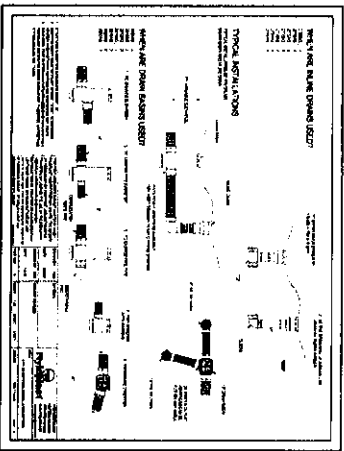
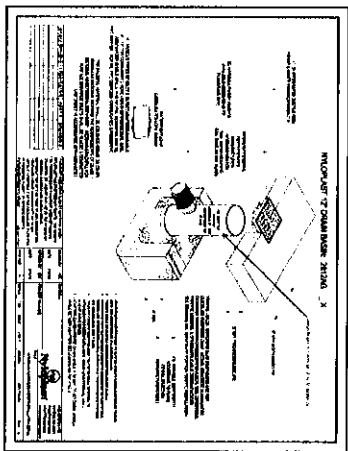
LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- SLOPE 1% (1:100)
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- CONTOUR
- ROOF-OF-WAY
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED UTILITY
- PROPOSED CURB WALL
- DESIGN BY OTHERS

LEGACY NAA APARTMENTS GRADING AND DRAINAGE PLAN

DATE: 3-14-18
 SHEET: C2
 OF: 1

Ro Grande Engineering
 1800 W. 10th St., Suite 100
 Phoenix, AZ 85007
 602.498.1111



GENERAL NOTES

1. DRAIN BASIN SHALL BE CAST IRON OR STEEL WITH A MINIMUM THICKNESS OF 1/2" (12.5mm) AND SHALL BE FINISHED WITH AN ANTI-RUST COATING.
2. THE DRAIN BASIN SHALL BE PROVIDED WITH A 1" (25.4mm) DIA. CLEANOUT AT THE TOP AND A 2" (50.8mm) DIA. DRAIN AT THE BOTTOM.
3. THE DRAIN BASIN SHALL BE PROVIDED WITH A 1/2" (12.5mm) DIA. CLEANOUT AT THE TOP AND A 2" (50.8mm) DIA. DRAIN AT THE BOTTOM.
4. THE DRAIN BASIN SHALL BE PROVIDED WITH A 1/2" (12.5mm) DIA. CLEANOUT AT THE TOP AND A 2" (50.8mm) DIA. DRAIN AT THE BOTTOM.
5. THE DRAIN BASIN SHALL BE PROVIDED WITH A 1/2" (12.5mm) DIA. CLEANOUT AT THE TOP AND A 2" (50.8mm) DIA. DRAIN AT THE BOTTOM.

10

CONSTRUCTION

REVISIONS

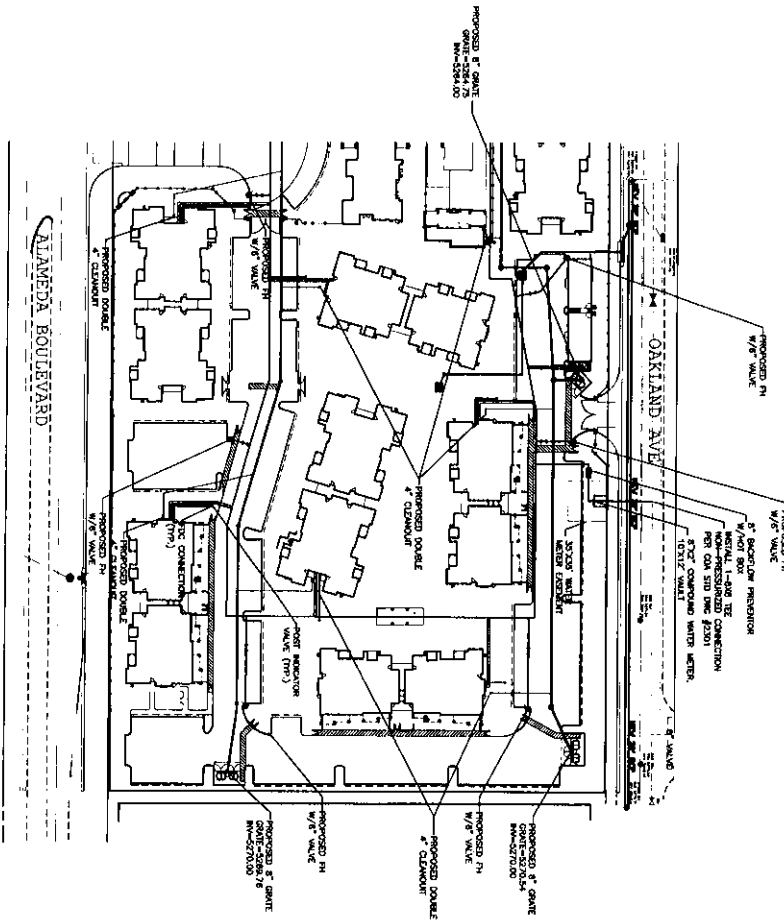
NO.	DATE	DESCRIPTION
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STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 12345
 EXPIRES 12/31/2025

NOTICE TO CONTRACTORS

1. ALL CONTRACTORS/CONSTRUCTION SHALL BE REQUIRED TO OBTAIN A PERMIT FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING AT THE TIME OF APPLICATION FOR THE PERMIT.
2. ALL WORK PERFORMED ON THESE PLANS TO BE PERFORMED EXCEPT AS OTHERWISE SPECIFIED BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING PERMITS FOR PUBLIC WORKS CONSTRUCTION, 1984.
3. THE WORKING DAYS REFER TO ANY EXISTING, EXISTING OR NEW CONDUIT LINE LOCATIONS. 24HRS/24HRS PER LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES AND/OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
5. SPECIAL CONSTRUCTION SHALL BE ACCORDING TO APPLICABLE STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON UTILITY STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTORS SHALL EXCAVATE, LOCATE AND VERIFY UNDERGROUND FACILITIES IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OBJECTORS OF SAID FACILITIES PER SECTION 82-14.5 FROM 1978.
9. CONTRACTORS SHALL FURNISH ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF EXISTING UTILITIES AND/OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
10. CONTRACTORS SHALL PROVIDE ADEQUATE WARNING AND/OR CONSTRUCTION SIGNS TO ALL PERSONS AND VEHICLES IN THE VICINITY OF THE WORK AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
11. CONTRACTORS SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND/OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
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20. CONTRACTORS SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND/OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
21. CONTRACTORS SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND/OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
22. CONTRACTORS SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND/OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
23. CONTRACTORS SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND/OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
24. CONTRACTORS SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND/OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
25. CONTRACTORS SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND/OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.
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27. CONTRACTORS SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND/OR STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING.



LEGEND

- EXISTING STORM SEWER LINE
- EXISTING GAS MAINLINE
- EXISTING VALVE W/BOX
- EXISTING WATER LINE
- PROPOSED 30"
- PROPOSED FIRE HYDRANT (PERMITS)
- PROPOSED FIRE LINE (PERMITS)
- PROPOSED WATER LINE
- PROPOSED 30" OF FIREHANT
- PROPOSED GAS & OUTLET
- BOUNDARY LINE
- CENTRAL LINE
- RIGHT-OF-WAY
- LOT LINES
- EXISTING
- STREET LIGHTS

1. ALL UTILITIES WATER AND SEWER SHALL BE PLACED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING PERMITS FOR PUBLIC WORKS CONSTRUCTION, 1984.

2. ALL UTILITIES WATER AND SEWER SHALL BE PLACED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING PERMITS FOR PUBLIC WORKS CONSTRUCTION, 1984.

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5. ALL UTILITIES WATER AND SEWER SHALL BE PLACED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING PERMITS FOR PUBLIC WORKS CONSTRUCTION, 1984.

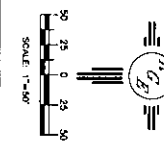
6. ALL UTILITIES WATER AND SEWER SHALL BE PLACED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING PERMITS FOR PUBLIC WORKS CONSTRUCTION, 1984.

7. ALL UTILITIES WATER AND SEWER SHALL BE PLACED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING PERMITS FOR PUBLIC WORKS CONSTRUCTION, 1984.

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10. ALL UTILITIES WATER AND SEWER SHALL BE PLACED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING PERMITS FOR PUBLIC WORKS CONSTRUCTION, 1984.

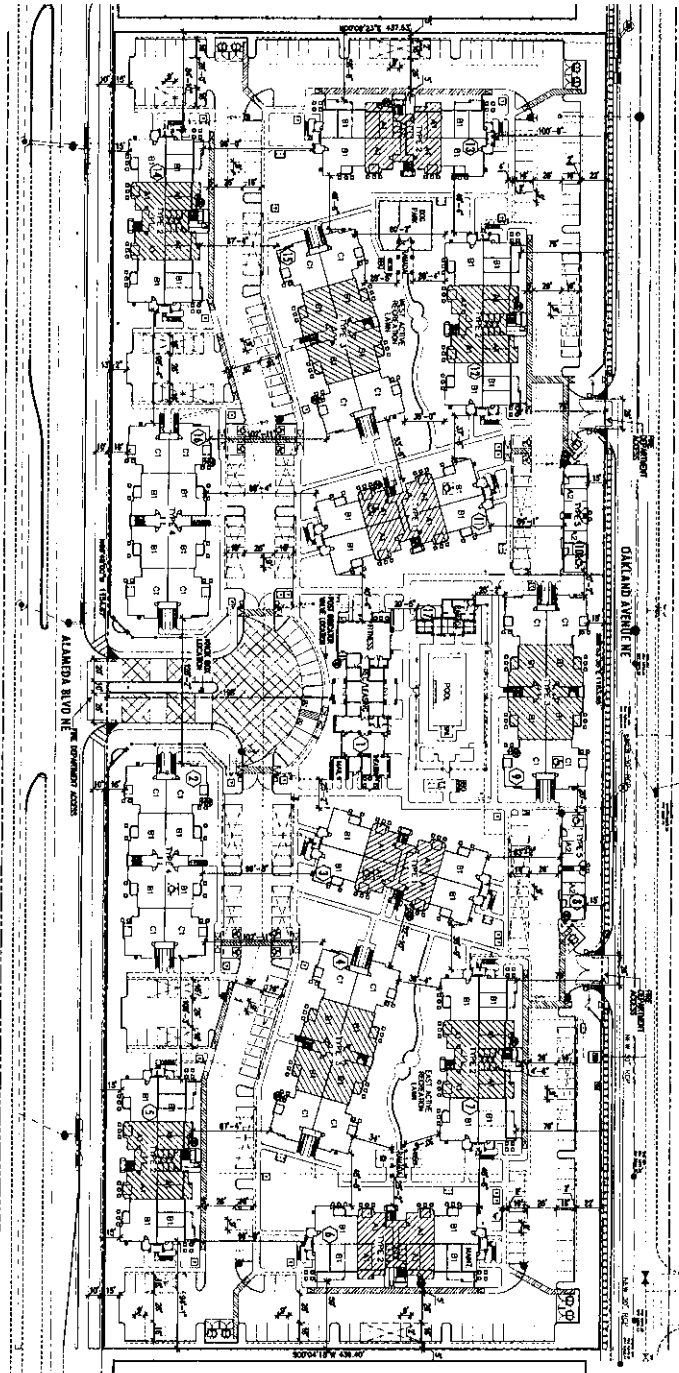


DATE SCALE P.E. #1232	DESIGNER'S SKN	LEGACY NAA APARTMENTS MASTER UTILITY PLAN	DRAWN BY DATE 3-17-16 CHECKED DATE 3-17-16	SHEET # C5	DATE 2/18/17
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Rio Grande
Engineering
1000 Market Street, Suite 1000
San Francisco, CA 94102
415.774.8888

FIRE - SITE PLAN

SCALE: 1" = 50'-0"



BUILDING AREAS

BUILDING TYPE	FLOOR	AREA	PERMITTED AREA	1ST FLOOR AREA	2ND FLOOR AREA	3RD FLOOR AREA	TOTAL AREA	BUILDING HEIGHT	PERMITTED BUILDING HEIGHT
BUILDING TYPE 1	F-1	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	45,000 S.F.	3	3
BUILDING TYPE 2	F-1	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	45,000 S.F.	3	3
BUILDING TYPE 3	F-1	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	45,000 S.F.	3	3
BUILDING TYPE 4	F-1	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	45,000 S.F.	3	3
BUILDING TYPE 5	F-1	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	45,000 S.F.	3	3
REC./LEASING	F-1	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	45,000 S.F.	3	3
RECREATION - POOL	F-1	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	45,000 S.F.	3	3
RECREATION - COURT	F-1	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	45,000 S.F.	3	3
RECREATION - MEET	F-1	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	15,000 S.F.	45,000 S.F.	3	3

- 1) 1-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 10,000 S.F.
- 2) 2-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 15,000 S.F.
- 3) 3-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 20,000 S.F.
- 4) 4-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 25,000 S.F.
- 5) 5-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 30,000 S.F.
- 6) 6-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 35,000 S.F.
- 7) 7-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 40,000 S.F.
- 8) 8-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 45,000 S.F.
- 9) 9-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 50,000 S.F.
- 10) 10-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 55,000 S.F.
- 11) 11-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 60,000 S.F.
- 12) 12-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 65,000 S.F.
- 13) 13-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 70,000 S.F.
- 14) 14-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 75,000 S.F.
- 15) 15-1/2 TIMES THE ALLOWABLE AREA FOR EACH FLOOR - 80,000 S.F.

LEGEND

- 1. BUILDING NUMBER
- 2. FIRE ALARM ZONE
- 3. FIRE HYDRANT LOCATION
- 4. FIRE ALARM ZONE
- 5. FIRE ALARM ZONE
- 6. FIRE ALARM ZONE
- 7. FIRE ALARM ZONE
- 8. FIRE ALARM ZONE
- 9. FIRE ALARM ZONE
- 10. FIRE ALARM ZONE
- 11. FIRE ALARM ZONE
- 12. FIRE ALARM ZONE
- 13. FIRE ALARM ZONE
- 14. FIRE ALARM ZONE
- 15. FIRE ALARM ZONE

FIRE NOTES:

1. THE FIRE ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM CODE.
2. THE FIRE ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM CODE.
3. THE FIRE ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM CODE.
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6. THE FIRE ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM CODE.
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8. THE FIRE ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM CODE.
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13. THE FIRE ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM CODE.
14. THE FIRE ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM CODE.
15. THE FIRE ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM CODE.

GENERAL FIRE NOTES:

1. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
2. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
3. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
4. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
5. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
6. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
7. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
8. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
9. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
10. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
11. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
12. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
13. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
14. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.
15. GENERAL FIRE NOTES WILL BE SHOWN ON SHEET F1.10.

REVISIONS

NO.	DATE	DESCRIPTION
1	11/11/09	ISSUED FOR PERMIT
2	12/15/09	ISSUED FOR PERMIT
3	01/15/10	ISSUED FOR PERMIT
4	02/22/10	ISSUED FOR PERMIT

DATE: JANUARY 11, 2010
 SHEET NO. OF 15318
F1.10
 FIRE - SITE PLAN

LEGACY HOSPITALITY

1511 CITY SUBMITTAL

PROFIT AND LOSS STATEMENT

LEGACY HOSPITALITY

LEGACY HOSPITALITY

1511 CITY SUBMITTAL

LEGACY HOSPITALITY

1511 CITY SUBMITTAL

LEGACY HOSPITALITY

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1511 CITY SUBMITTAL

LEGACY HOSPITALITY

1511 CITY SUBMITTAL



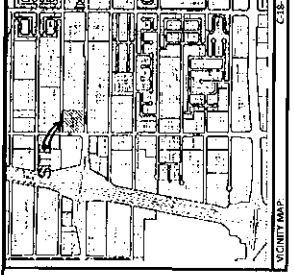
LEGACY NAA
APARTMENTS II
UTILITY PLAN

LEGAL DESCRIPTION:
TRACTS 1, 2, 3, & 30, 31 & 32,
ABUQUERQUE ACRES

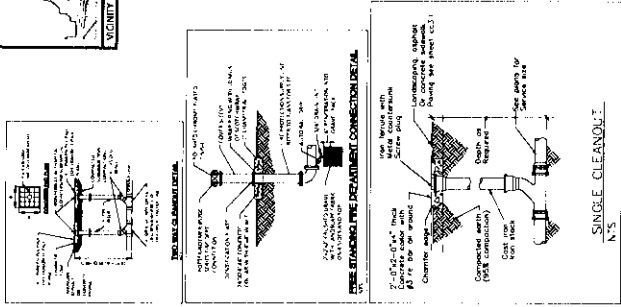


DATE	2/2018
DESIGNED BY	ME
CHECKED BY	ME
REVISION	

RESPEC
5973 KENNEDY ST. N.E.
ALBUQUERQUE, NM 87109
PHONE: 505.866.4187

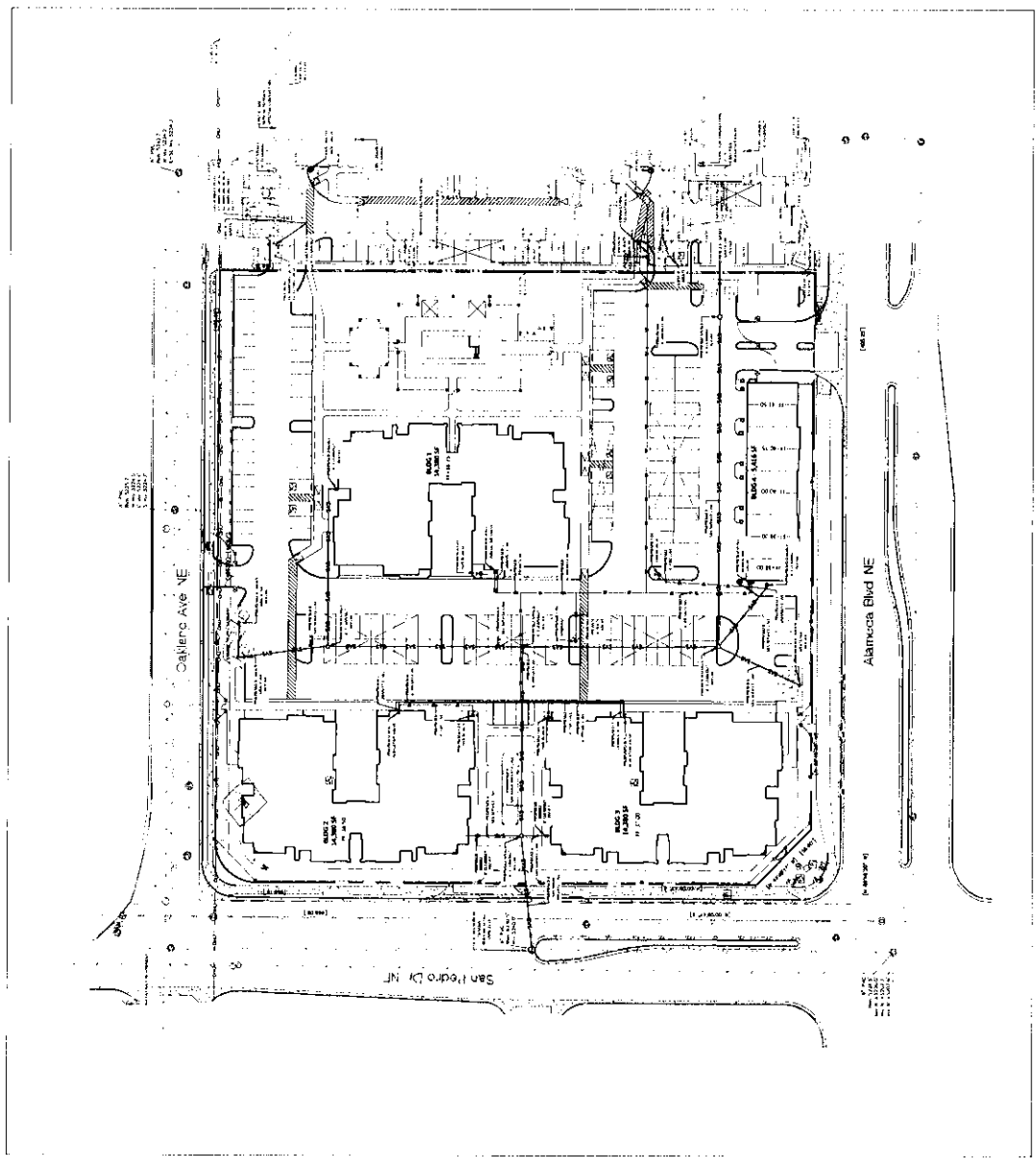


GENERAL NOTES:
1. THIS PLAN IS BASED ON PRELIMINARIES FOR THE PROJECT AND IS NOT TO BE USED FOR CONSTRUCTION. ALL INFORMATION IS SUBJECT TO THE PROPOSED BUILDING PERMITS AND STANDARD DRAWINGS. THE BUILDING PERMITTER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND FOR THE CONNECTION AT THE MAIN LINE.



LEGEND

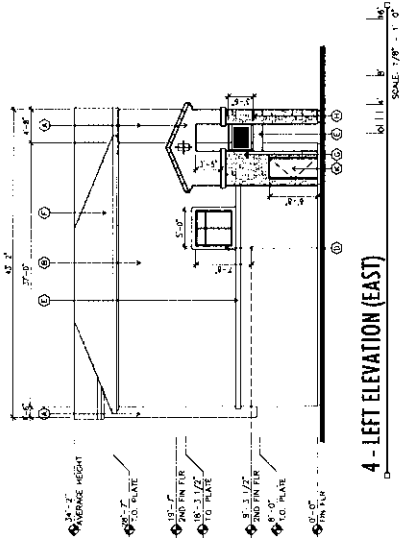
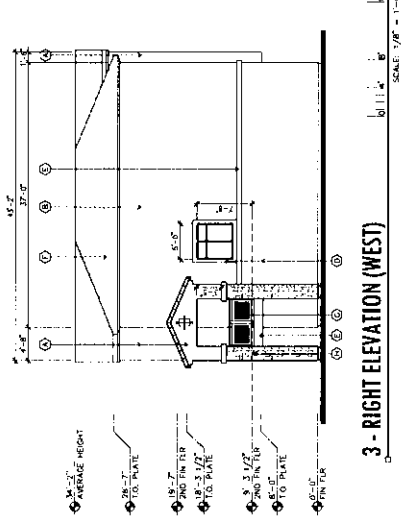
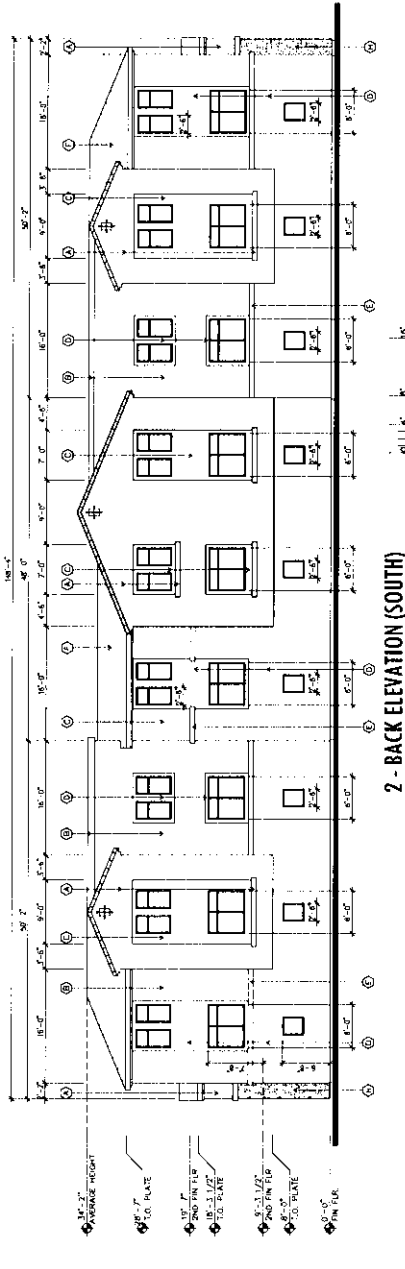
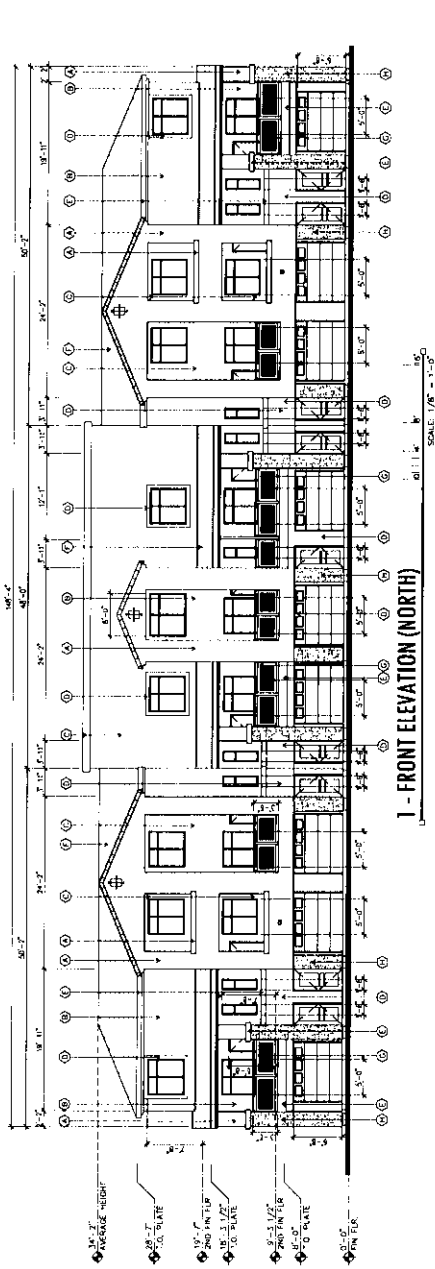
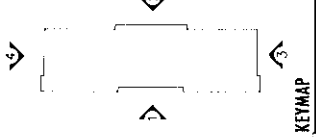
---	PROPOSED MAINLINE
---	EXISTING MAINLINE
---	PROPOSED BRANCH LINE
---	EXISTING BRANCH LINE



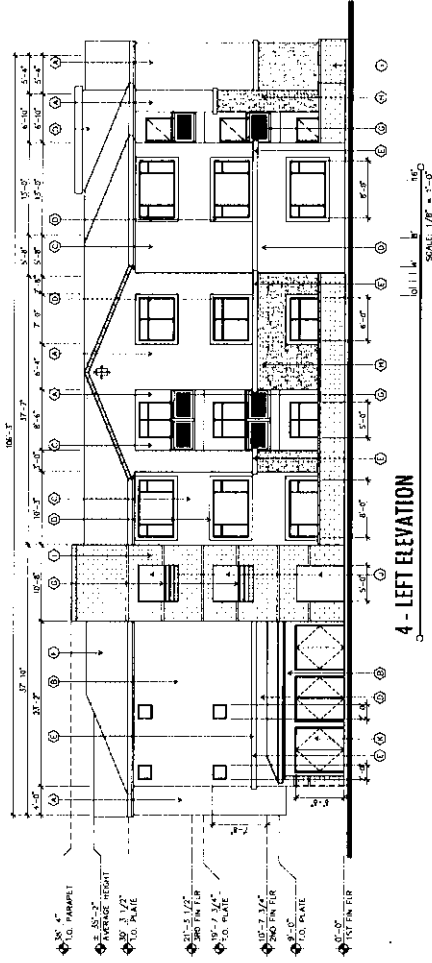
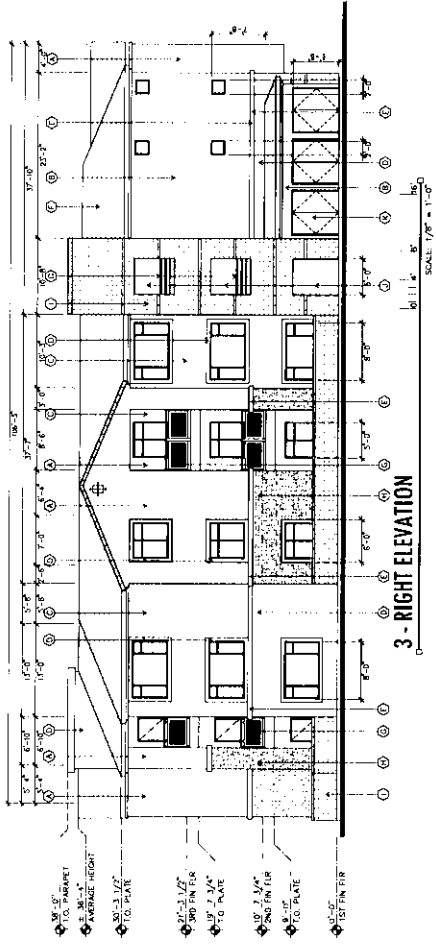
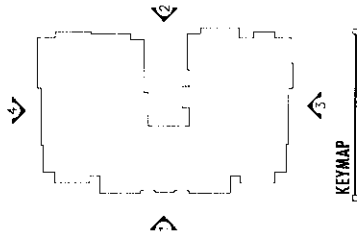


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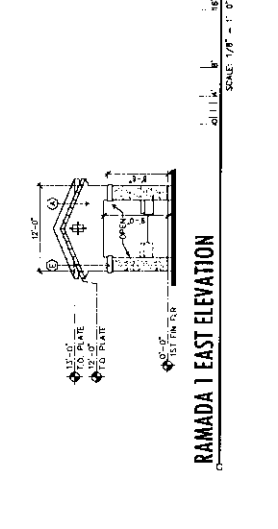
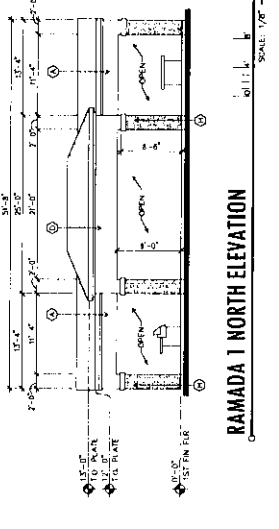
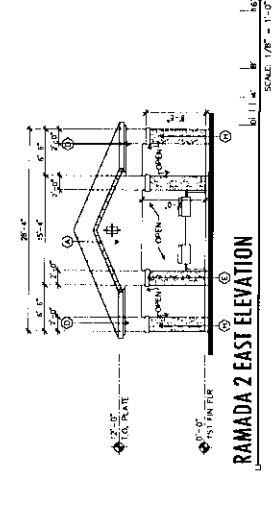
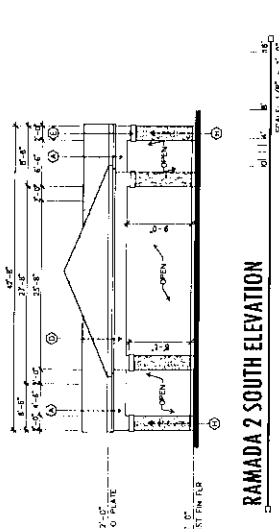
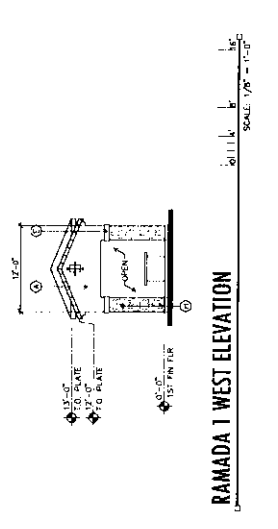
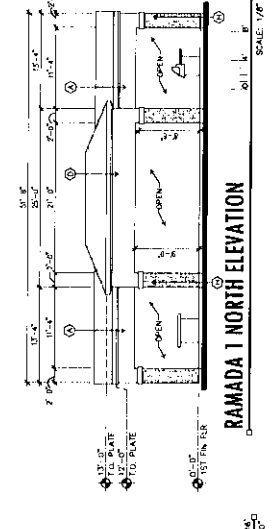
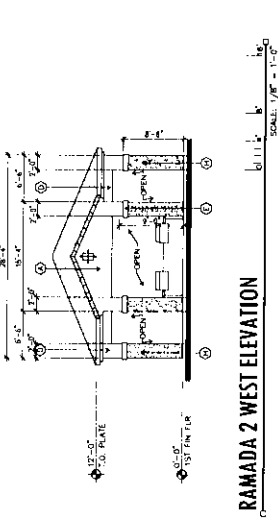
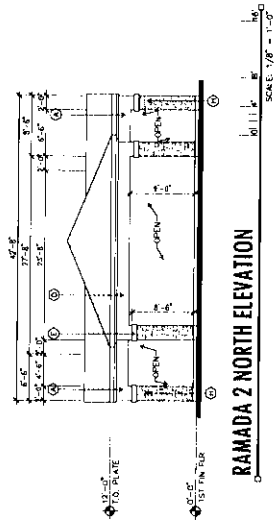
- 1 STUCCO FINISH LIGHT BEIGE
- 2 STUCCO FINISH DARK BEIGE
- 3 STUCCO FINISH LIGHT BROWN
- 4 STUCCO FINISH DARK BROWN
- 5 STUCCO FINISH DARK GRAY
- 6 RAISED DARK GRAY
- 7 NONE / SINKER
- 8 BRICK / SINKER
- 9 WALL OPENING
- 10 BRICK / SINKER / WALL TO BRICK / SINKER / WALL



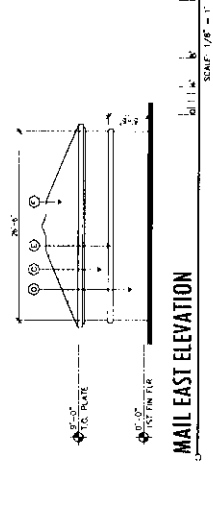
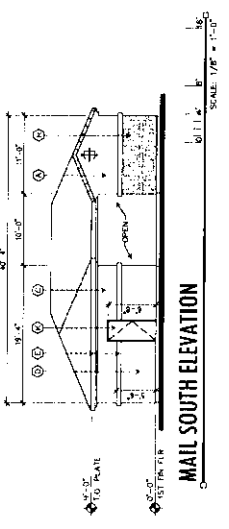
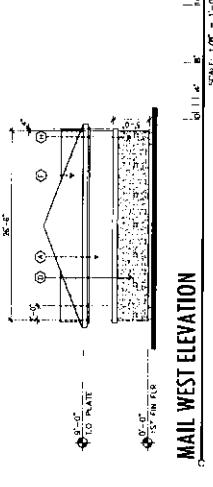
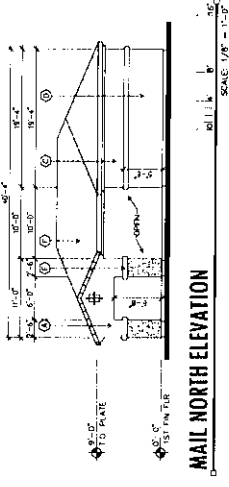
- MATERIAL KEY NOTES:**
- 1 STUCCO FINISH LIGHT BEIGE
 - 2 STUCCO FINISH DARK BEIGE
 - 3 STUCCO FINISH LIGHT BROWN
 - 4 STUCCO FINISH DARK BROWN
 - 5 STUCCO FINISH DARK GRAY
 - 6 TILE ROOF
 - 7 RAILING DARK GRAY
 - 8 STONE VENEER
 - 9 BRICK VENEER
 - 10 WALL OPENING
 - 11 STUCCO CORNER COLOR TO MATCH ADJACENT WALL



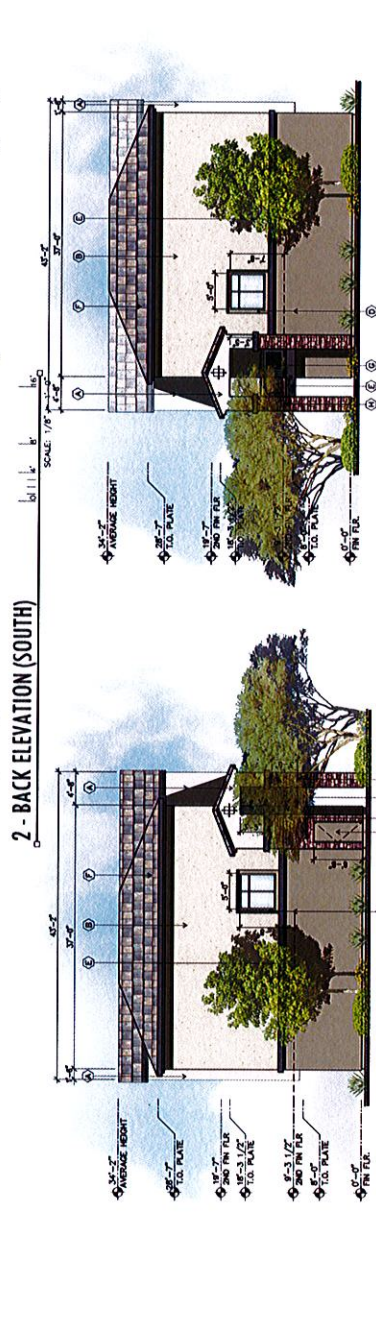
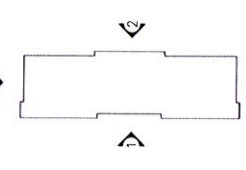
- MATERIAL KEY NOTES:**
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 - (B) STUCCO FINISH DARK BEIGE
 - (C) STUCCO FINISH LIGHT BROWN
 - (D) STUCCO FINISH DARK BROWN
 - (E) STUCCO FINISH DARK GRAY
 - (F) TILE ROOF
 - (G) PAINTING DARK GRAY
 - (H) STONE VENEER
 - (I) BRICK VENEER
 - (J) WALL OPENING
 - (K) STUCCO ACCENT WALL



- MATERIAL KEY NOTES:**
- ① STUCCO FINISH LIGHT BEIGE
 - ② STUCCO FINISH DARK BEIGE
 - ③ STUCCO FINISH LIGHT BROWN
 - ④ STUCCO FINISH DARK BROWN
 - ⑤ STUCCO FINISH DARK GRAY
 - ⑥ TILE ROOF
 - ⑦ RAILINGS DARK GRAY
 - ⑧ STONE TRIMMER
 - ⑨ BRICK ARCHER
 - ⑩ WALL OPENING
 - ⑪ SINKING DOOR COLOR TO MATCH ADJACENT WALL

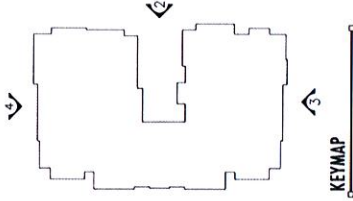


- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH LIGHT BROWN
 - (B) STUCCO FINISH DARK BROWN
 - (C) STUCCO FINISH LIGHT BROWN
 - (D) STUCCO FINISH DARK BROWN
 - (E) STUCCO FINISH DARK GRAY
 - (F) TILE ROOF
 - (G) BALCONY DARK GRAY
 - (H) STONE VENEER
 - (I) BRICK VENEER
 - (J) WALL OPENING
 - (K) STUCCO ACCENT WALL TO



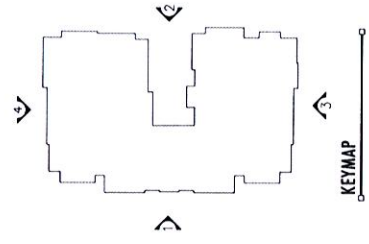
MATERIAL KEY NOTES:

- (A) STUCCO FINISH LIGHT BEIGE
- (B) STUCCO FINISH DARK BEIGE
- (C) STUCCO FINISH LIGHT BROWN
- (D) STUCCO FINISH DARK BROWN
- (E) STUCCO FINISH DARK GRAY
- (F) TILE ROOF
- (G) RAUMER'S DARK GRAY
- (H) STONE MONK
- (I) BRICK MONK
- (J) WALL OPENING
- (K) SPANCE WOODEN COLOR TO MATCH ADJACENT WALL



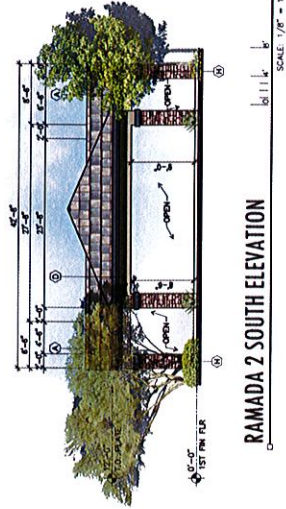


- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH LIGHT BEIGE
 - (B) STUCCO FINISH DARK BEIGE
 - (C) STUCCO FINISH LIGHT BROWN
 - (D) STUCCO FINISH DARK BROWN
 - (E) STUCCO FINISH DARK GRAY
 - (F) TILE ROOF
 - (G) PAINTS DARK GRAY
 - (H) STONE MOWER
 - (I) BRICK MOWER
 - (J) WALL OPENING
 - (K) SERVICE DOOR, COLOR TO MATCH ADJACENT WALL

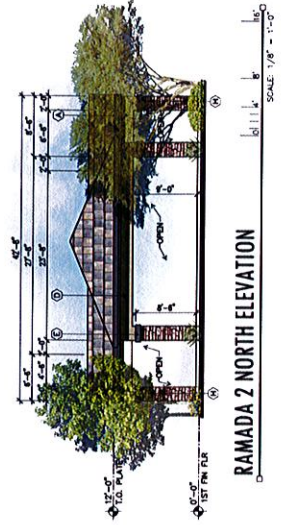


- 11'-0" - 11' PARAPET
- 10'-0" - 10' PARAPET
- 9'-0" - 9' PARAPET
- 8'-0" - 8' PARAPET
- 7'-0" - 7' PARAPET
- 6'-0" - 6' PARAPET
- 5'-0" - 5' PARAPET
- 4'-0" - 4' PARAPET
- 3'-0" - 3' PARAPET
- 2'-0" - 2' PARAPET
- 1'-0" - 1' PARAPET
- 0'-0" - 0' PARAPET
- 11'-0" - 11' PARAPET
- 10'-0" - 10' PARAPET
- 9'-0" - 9' PARAPET
- 8'-0" - 8' PARAPET
- 7'-0" - 7' PARAPET
- 6'-0" - 6' PARAPET
- 5'-0" - 5' PARAPET
- 4'-0" - 4' PARAPET
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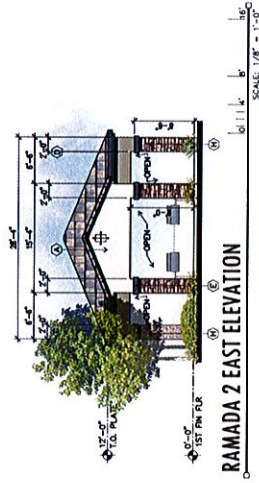
- 11'-0" - 11' PARAPET
- 10'-0" - 10' PARAPET
- 9'-0" - 9' PARAPET
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- 7'-0" - 7' PARAPET
- 6'-0" - 6' PARAPET
- 5'-0" - 5' PARAPET
- 4'-0" - 4' PARAPET
- 3'-0" - 3' PARAPET
- 2'-0" - 2' PARAPET
- 1'-0" - 1' PARAPET
- 0'-0" - 0' PARAPET
- 11'-0" - 11' PARAPET
- 10'-0" - 10' PARAPET
- 9'-0" - 9' PARAPET
- 8'-0" - 8' PARAPET
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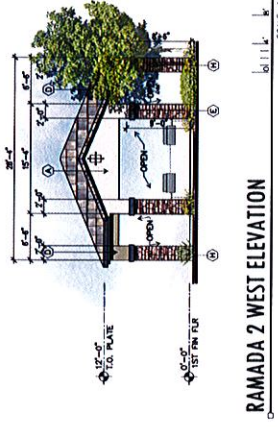
RAMADA 2 SOUTH ELEVATION



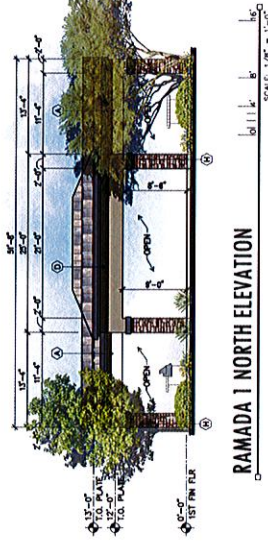
RAMADA 2 NORTH ELEVATION



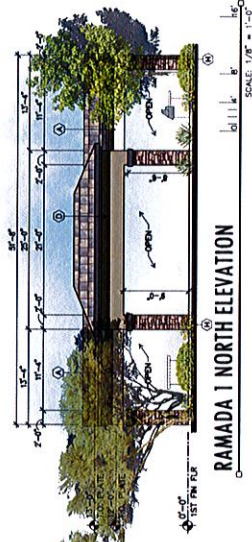
RAMADA 2 EAST ELEVATION



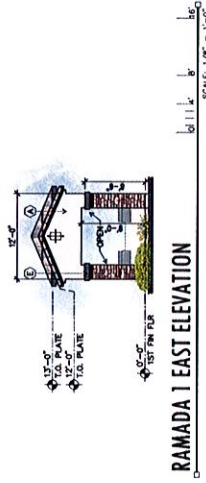
RAMADA 2 WEST ELEVATION



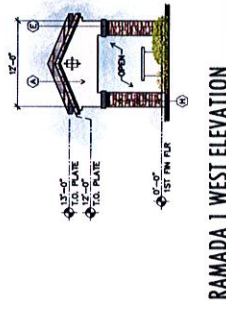
RAMADA 1 NORTH ELEVATION



RAMADA 1 NORTH ELEVATION



RAMADA 1 EAST ELEVATION



RAMADA 1 WEST ELEVATION

- MATERIAL KEY NOTES:**
- (A) STUCCO FINISH LIGHT BROWN
 - (B) STUCCO FINISH DARK BROWN
 - (C) STUCCO FINISH LIGHT BROWN
 - (D) STUCCO FINISH DARK BROWN
 - (E) STUCCO FINISH DARK GRAY
 - (F) TILE ROOF
 - (G) RAILING DARK GRAY
 - (H) STONE VENEER
 - (I) BRICK VENEER
 - (J) WALL OPENING
 - (K) BRICK VENEER TO MATCH EXISTING WALL

**LEGACY NAA
APARTMENTS - II**
SAN PEDRO AND ALAMEDA
ALBUQUERQUE, NEW MEXICO

Office of Rich Barber
ORB Architecture, LLC

WARREN@ORBARCH.COM



LEGACY HOSPITALITY

DATE: JANUARY 31, 2018 OR# #: 12/219

A5.10

RAMADAS
ELEVATIONS