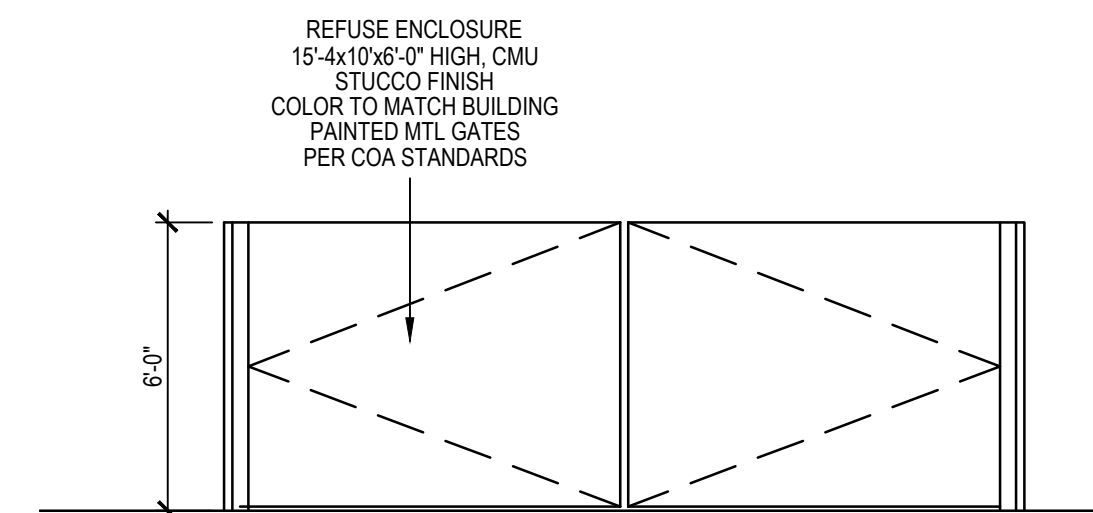
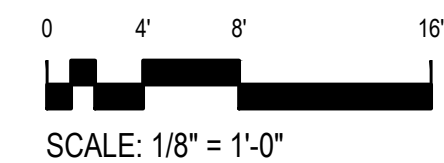


COLOR SCHEDULE

MARK	COLOR	DESCRIPTION
MP1	SLATE GRAY	VERTICAL METAL WALL PANELS
MP2	GRAY METALLIC	METAL WALL PANELS
MP3	SILVER METALLIC	HORIZONTAL METAL WALL PANELS
MP4	CHARCOAL GRAY	HORIZONTAL METAL WALL PANELS
GL 1	GREEN TINT	GLAZING
DR 1	ALUMINUM	ROLL UP DOOR



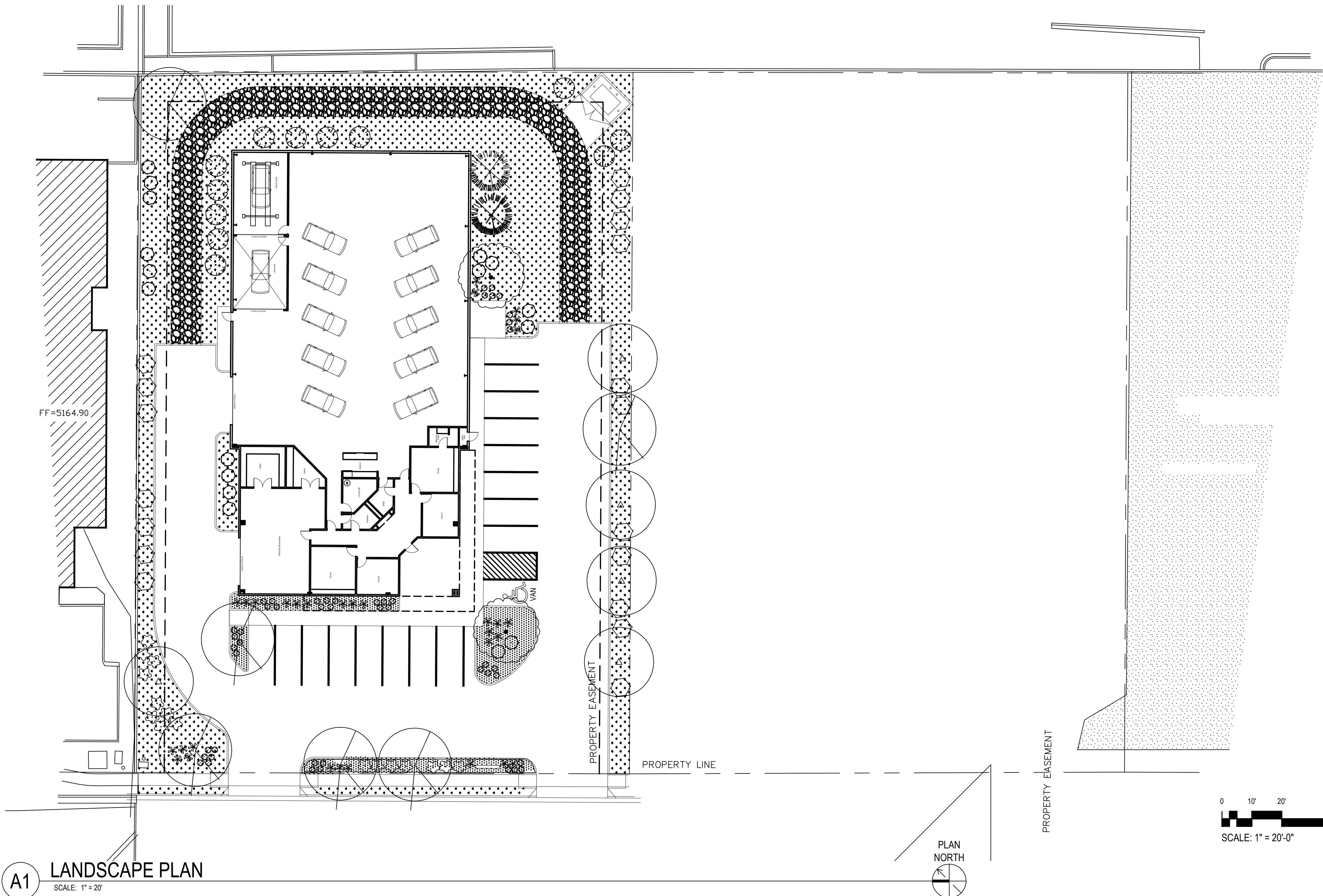
A5 REFUSE ENCLOSURE
SCALE: 1/4" = 1'-0"



date: NOVEMBER 17, 2017
drawn by: V&A
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revisions:

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A1 LANDSCAPE PLAN
SCALE: 1" = 20'

PLANT LEGEND

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE		CONDITION
				INSTALLED	MATURE	
	<u>TREES</u>					
	TEXAS RED OAK	QUERCUS BUCKLEYI	5	2" cal., 12'-14' ht.	35' ht., 25 spd.	
	HONEY LOCUST TREE	ROBINIA NEOMEXICANA	6	2" cal., 12'-14' ht.	25' ht., 25 spd.	
	DESERT WILLOW	CHILOPSIS LINEARIS	2	MULTI TRUNK.	20' ht., 20' spd.	24" box
	LIMBER PINES	PINUS FLEXILIS	2	8'-10' ht.	40' ht., 15 spd.	8' HT
	<u>SHRUBS</u>					
	APACHE PLUME	FALLUGIA PARADOXA	12	5' ht.	8' spd.	1 GALLON
	DWARF CHAMISA	CHRYSOETHAMNUS DEPRESSUS	18	4' ht.	5'-6' ht., 5' spd.	1 GALLON
	CHERRY SAGE	SALVIA GREGGII	13	4' ht.	3-4' ht., 4' spd.	1 GALLON
	<u>PERENNIALS</u>					
	DESERT ZINNIA	ZINNIA GRANDIFLORA	42	1-6" ht.	2' spd.	1 GALLON
	REGAL MIST MUHLY	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	31	2-5' ht.	5' spd.	1 GALLON
	BLACK DALEA	DALEA FRUTESCENS	16	3-5' ht.	5' spd.	1 GALLON

GENERAL SHEET NOTES

- SHEET IS MEANT TO PLOT AT 24" X 36" SIZE TO BE CORRECT SCALE.
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10: APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT AND WATER CONSERVATION ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND MULCH.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MINIMUM PLANT SIZES ARE PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEM. REFER TO CIVIL.
- ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW TEN FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND FIVE TO SIX FEET OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE. SEE PLAN FOR CLEAR ZONES SHOWN IN DASHED LINE. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- CONTRACTOR TO COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
- NO SMALLER ROCK THAN 2" DIAMETER SHALL BE PLACED AROUND STORM DRAIN INLETS.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 9 AC = 39,198 SF
AREA OF LOT COVERED BY BUILDINGS = 11,345 SF
NET LOT AREA = 27,853 SF

REQUIRED LANDSCAPE
REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 4,178 SF
PROVIDED LANDSCAPE AREA = 9877 SF = 35%
NOT INCLUDED IN ABOVE NUMBER: FIRE LANE CIRCULATION = 2633 SF

REQUIRED TREES
TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
TOTAL NUMBER OF PARKING: 17 SPACES
REQUIRED NUMBER OF TREES: 2 TREES
PROVIDED NUMBER OF TREES = 13 TREES
NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK
REQUIRED STREET TREES = 0 (PLACED AT 30' ON CENTER)
PROVIDED STREET TREES = 3

REQUIRED VEGETATIVE COVERAGE
REQUIRED GROUND COVERAGE = 7407 = 75%
A MINIMUM OF 30% OF TOTAL LANDSCAPING COVERAGE BY GROUND PLANTS
PROVIDED TOTAL GROUND COVERAGE = 7440 SF = 75 %
TREE CANOPY COVERAGE = 4300 SF = 60 % OF PROVIDED COVERAGE
GROUND PLANT COVERAGE = 3140 SF = 40 % OF PROVIDED COVERAGE
THE LANDSCAPE PLAN MEETS THE 75% LIVE GROUND COVERAGE REQUIREMENT AS STATED IN THE ZONING CODE. CALCULATIONS ASSUMES AN AVERAGE OF 300 SF PER TREE AND 20 SF PER GROUND PLANT.

LEGEND

- INSTALL GRAVEL MULCH, SIZE 1/2" COLOR: SANTA FE BROWN, DEPTH: 3" INSTALLED OVER FILTER FABRIC.
- INSTALL SHREDDED BARK MULCH WALK ON MULCH FROM GRO-WELL (WESTERN ORGANICS)

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TRACT A, UNIT B,
UE ACRES

INIT B,

FF 164 10

LOT 29, BLOCK 4, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRESLOT 28, BLOCK 4, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

BEVERLY HILLS AVE. NE

BEVERLY HILLS AVENUE, N.E.
(60' R/W)

INV. N=5155.34

A1

CONCEPTUAL GRADING AND DRAINAGE PLAN

SCALE: 1"=20'

LEGEND:

38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)	==	GRADE BREAK-HIGH POINT
MATCH (95.19)	MATCH EXISTING ELEVATIONS	---	SWALE
TC ON	TOP OF CONCRETE	SD	STORM DRAIN LINE
FL	FLOW LINE, CURB		
INV	INVERT		
FG	FINISH GRADE	5895	PROPOSED MAJOR CONTOUR
TBC	TOP OF BASE COURSE	5895	PROPOSED MINOR CONTOUR
TC	TOP OF CURB		EXISTING MAJOR CONTOUR
TG	TOP OF GRATE		EXISTING MINOR CONTOUR
TA	TOP OF ASPHALT		
	FLOW ARROW		

GRADING AND DRAINAGE
NARRATIVE

THE EXISTING PROPERTY FOR BEVERLY HILLS IS LOCATED AT 5401 BEVERLY HILLS AVE. N.E. THE SITE IS ACCESSED FROM THE SOUTH SIDE FROM BEVERLY HILLS AVE. N.E. THE SITE CONSISTS OF A VACANT LOT WITH NO DEVELOPMENT. THERE IS AN EXISTING ROADWAY (BEVERLY HILLS AVE.) ON THE SOUTH SIDE. THERE IS AN EXISTING COMMERCIAL DEVELOPMENT TO THE NORTH AND WEST SIDE. THERE IS AN ADJACENT VACANT LOT LOCATED ON THE EAST SIDE OF THE PROPERTY. THE LAND IS GENERALLY FLAT AND SLOPES FROM THE NORTHEAST TO THE SOUTHWEST. THERE ARE EXISTING FLOWS COMING FROM THE VACANT LOT LOCATED EAST OF THE PROPERTY. THESE FLOWS SHEET FLOW ONTO THE PROPERTY. THE PROPOSED BUILDING WILL BE CONSTRUCTED NEAR THE CENTER OF THE SITE WITH AN ASPHALT PARKING LOT LOCATED ON THE EAST, THE WEST, AND THE SOUTH OF THE PROPOSED BUILDING.

THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE STANDARD CURB AND GUTTER, WITH CURB CUTS AND RUNDOWNS ALLOWING STORMWATER INTO PROPOSED WATER HARVESTING AREAS. THESE WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REQUIRED VOLUME = $(0.33 \text{ IN.} \times 25,811 \text{ SF})/12 = 710 \text{ CF}$, 0.016 AC-FT. THE PROPOSED WATER HARVEST AREAS VOLUME IS GREATER THAN 0.016 AC-FT. THE PROPOSED WATER HARVEST AREAS VOLUME IS APPROXIMATELY 0.038 AC-FT, WHICH IS GREATER THAN 0.016 AC-FT, AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. ALL ROOF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO WATER HARVEST AREAS LOCATED AT THE EAST AND WEST SIDES OF THE PROJECT SITE.

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEMA DESIGNATED FLOOD ZONE AS PER FEMA MAPS.

NOTE TO CONTRACTOR: ALL EXISTING UTILITIES THAT ARE BEING AFFECTED BY NEW IMPROVEMENTS ON THIS PROJECT SHALL ADJUST THEM TO GRADE. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AS NECESSARY FOR ALL ADJUSTMENTS TO EXISTING UTILITIES.

KEYED NOTES:

- 1) NEW CONCRETE DRIVEPAD.
- 2) NEW HANDICAP RAMP.
- 3) NEW HOT MIX ASPHALT.
- 4) NEW CURB CUT AND DRAINAGE RUNDOWN INTO WATER HARVESTING AREA.
- 5) NEW CONCRETE CURB AND GUTTER.
- 6) APPROXIMATE LOCATION OF PROPERTY LINE.
- 7) NEW SIDEWALK OR CONCRETE FLATWORK.
- 8) NEW WATER HARVEST AREA.
- 9) NEW CONCRETE VALLEY GUTTER.
- 10) NEW SIDEWALK CULVERT

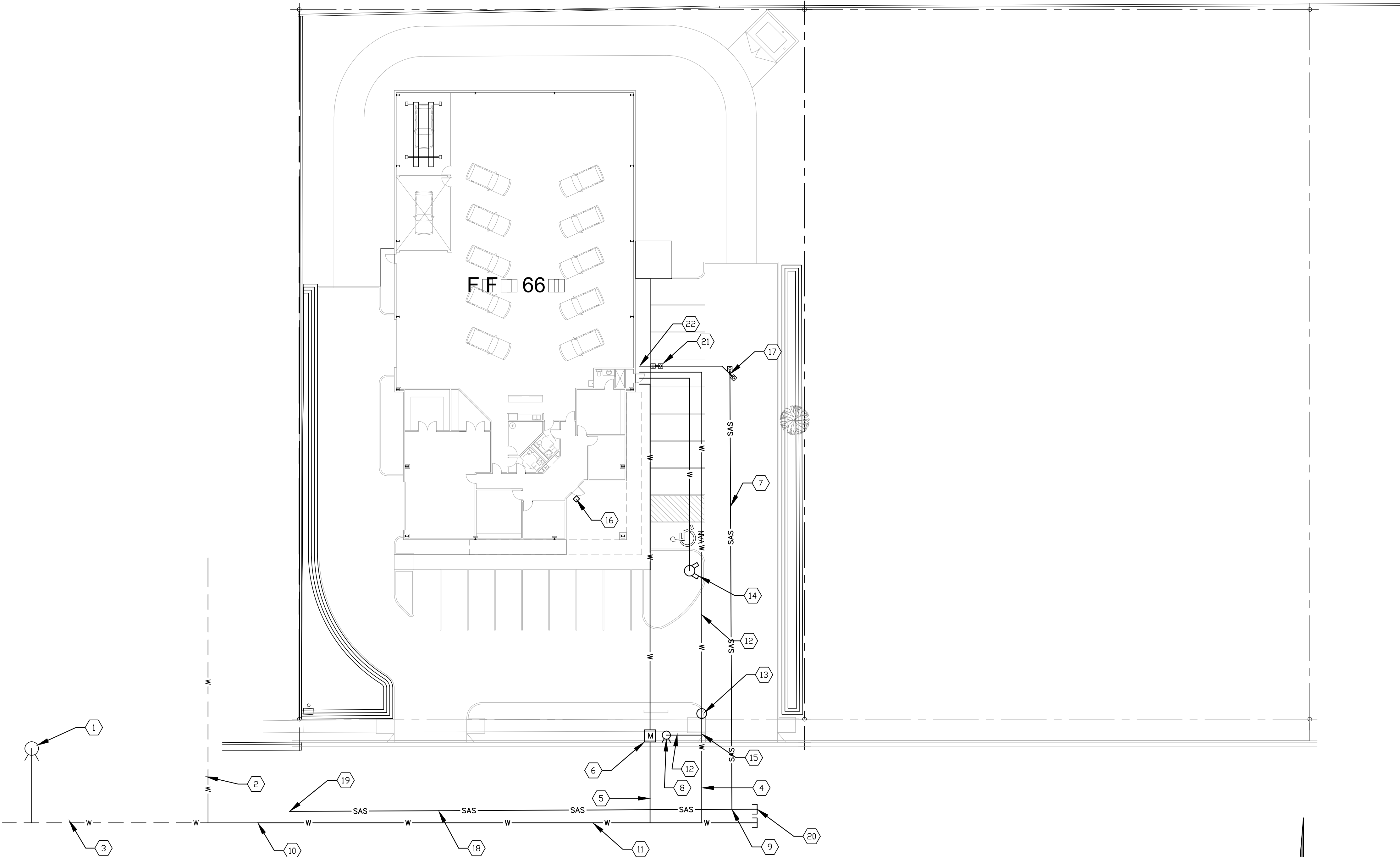
PROGRESS SET
NOT FOR
CONSTRUCTIONSUNDANCE CONSTRUCTION
BEVERLY HILLS AVE NE
SUNDANCE CONSTRUCTION

CONCEPTUAL GRADING AND DRAINAGE PLAN

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C-101

project no. 17-015



LEGEND:

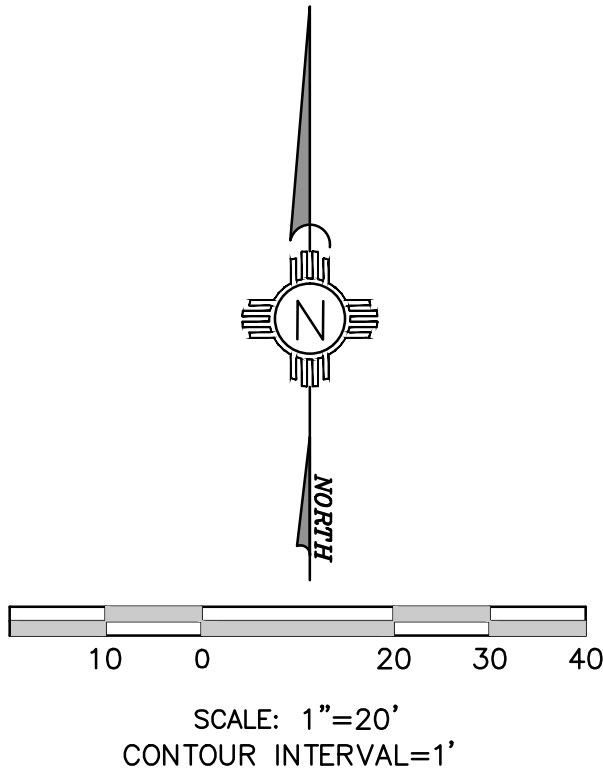
- W PROPOSED WATER SERVICE LINE
- S PROPOSED SANITARY SEWER LINE
- W EXISTING WATER SERVICE LINE
- S EXISTING SANITARY SEWER LINE
- PROPOSED CLEANOUT
- M PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE

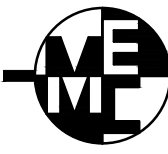
GENERAL SHEET NOTES

- A. THE FIRE APPARATUS ACCESS ROAD TO BE USED IS BEVERLY HILLS NE FROM THE WEST TO 5401 BEVERLY HILLS NE. THEN THE FIRE ACCESS ROAD LOCATED ON THE WEST SIDE OF THE BUILDING AT 5401 BEVERLY HILLS NE TO THE NORTH. BEVERLY HILLS NE IS 40' WIDE CURB FACE TO CURB FACE. THE FIRE ACCESS ROAD LOCATED AT 5401 BEVERLY HILLS NE IS 20' WIDE CURB FACE TO CURB FACE.
- B. THE BUILDING WILL NOT HAVE A FIRE SPRINKLER SYSTEM.
- C. THE PREMISE ID WILL BE DISPLAYED NEAR THE FRONT OF THE BUILDING ON THE SOUTH SIDE OF THE BUILDING. (SEE KEYNOTE #7).
- D. IT IS ASSUMED THAT THE FIRE APPARATUS ROADS WERE BUILT IN COMPLIANCE WITH CITY REGULATIONS WHEN THE ORIGINAL SUBDIVISION WAS BUILT.
- E. THE FIRE ACCESS ROAD WHERE THE FIRE HYDRANT IS LOCATED HAS A WIDTH OF 28' WIDE CURB FACE TO CURB FACE.
- F. NO GRADES ON OR OFFSITE OR ADJACENT TO THE SITE HAVE GRADES > 10%.
- G. THE TURNING RADII ON THE FIRE APPARATUS ACCESS ROAD HAS RADIUS GREATER THAN OR EQUAL TO 28'.
- H. THE BUILDING IS A SINGLE STORY BUILDING AND < 25' IN HEIGHT.
- I. THE FIRE ACCESS ROAD HAS A DRIVING SURFACE TO SUPPORT AN IMPOSED LOAD OF AT LEAST 75,000 LBS.

SHEET KEYNOTES

- 1. EXISTING FIRE HYDRANT TO REMAIN IN PLACE.
- 2. EXISTING WATER LINE TO REMAIN IN PLACE.
- 3. EXISTING 8" WATER MAIN TO REMAIN IN PLACE.
- 4. NEW 8" FIRE PROTECTION WATER LINE.
- 5. NEW 2 1/2" DOMESTIC WATER LINE.
- 6. NEW CITY OF ALBUQUERQUE APPROVED WATER METER.
- 7. NEW 4" SANITARY SEWER SERVICE LINE.
- 8. NEW FIRE HYDRANT AND VALVE ASSEMBLY.
- 9. NEW SANITARY SEWER SERVICE SADDLE TAP AT SANITARY SEWER MAIN.
- 10. CONNECT NEW 8" WATER LINE TO EXISTING 8" WATER LINE.
- 11. NEW 8" WATER MAIN. EXTEND NEW WATER MAIN APPROXIMATELY 5' PAST NEW 8" FIRE PROTECTION WATER LINE AND CAP NEW 8" WATER MAIN.
- 12. NEW 6" FIRE PROTECTION WATER LINE.
- 13. NEW POST INDICATOR VALVE.
- 14. NEW FIRE DEPARTMENT CONNECTION.
- 15. NEW 8" X 6" X 6" TEE FITTING.
- 16. KNOX BOX LOCATION PER CITY OF ALBUQUERQUE ORDINANCE.
- 17. NEW 45° BEND WITH CLEANOUTS.
- 18. NEW 8" SANITARY SEWER MAIN
- 19. CONNECT NEW 8" SANITARY SEWER MAIN TO EXISTING SANITARY SEWER MAIN.
- 20. CAP NEW 8" SANITARY SEWER MAIN FOR FUTURE DEVELOPMENT.
- 21. NEW DOUBLE CLEANOUT.
- 22. CONNECT NEW 4" SANITARY SEWER SERVICE LINE TO NEW BUILDING.





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A1 CONCEPTUAL SITE UTILITY PLAN
SCALE: 1" = 20'

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