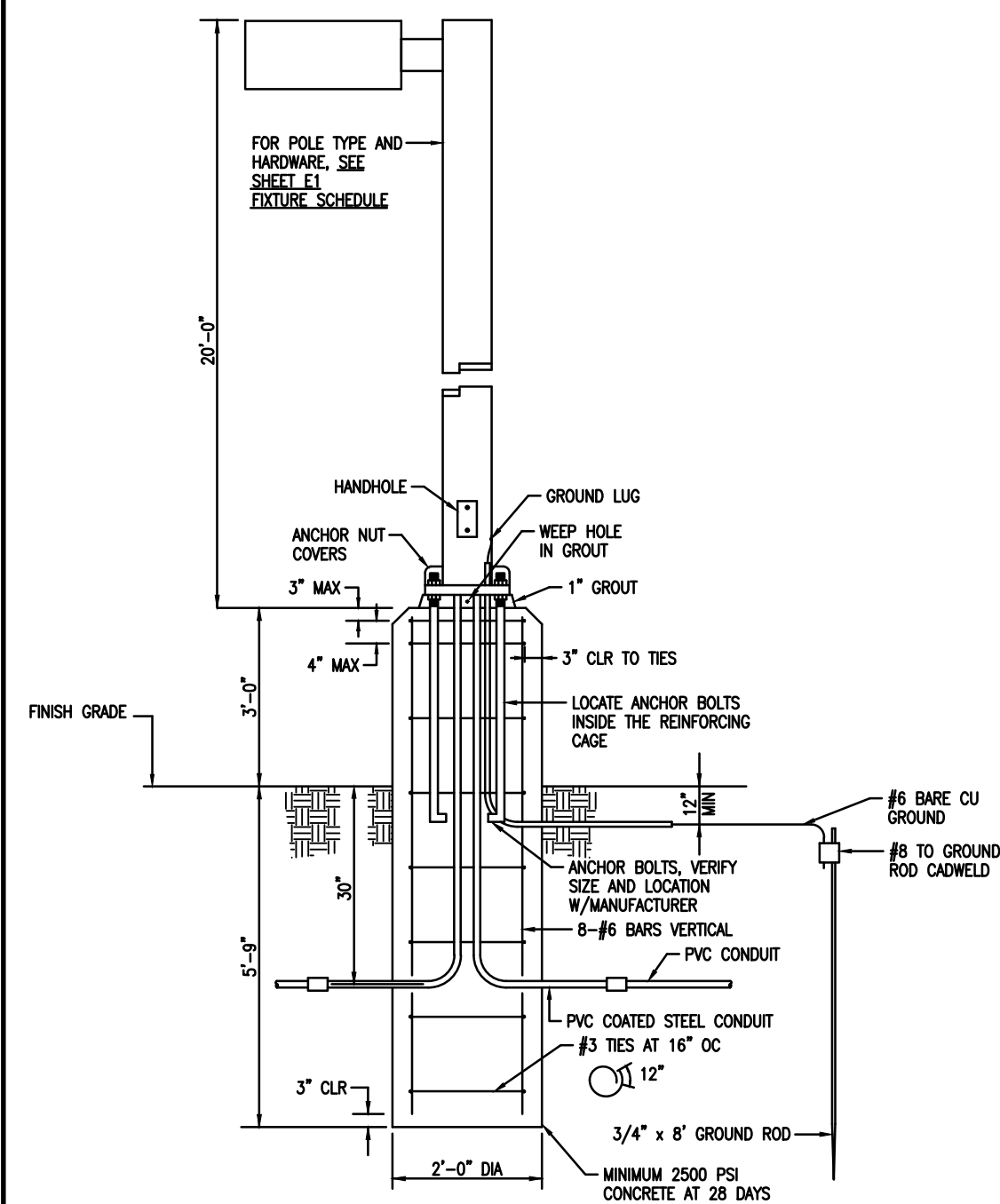
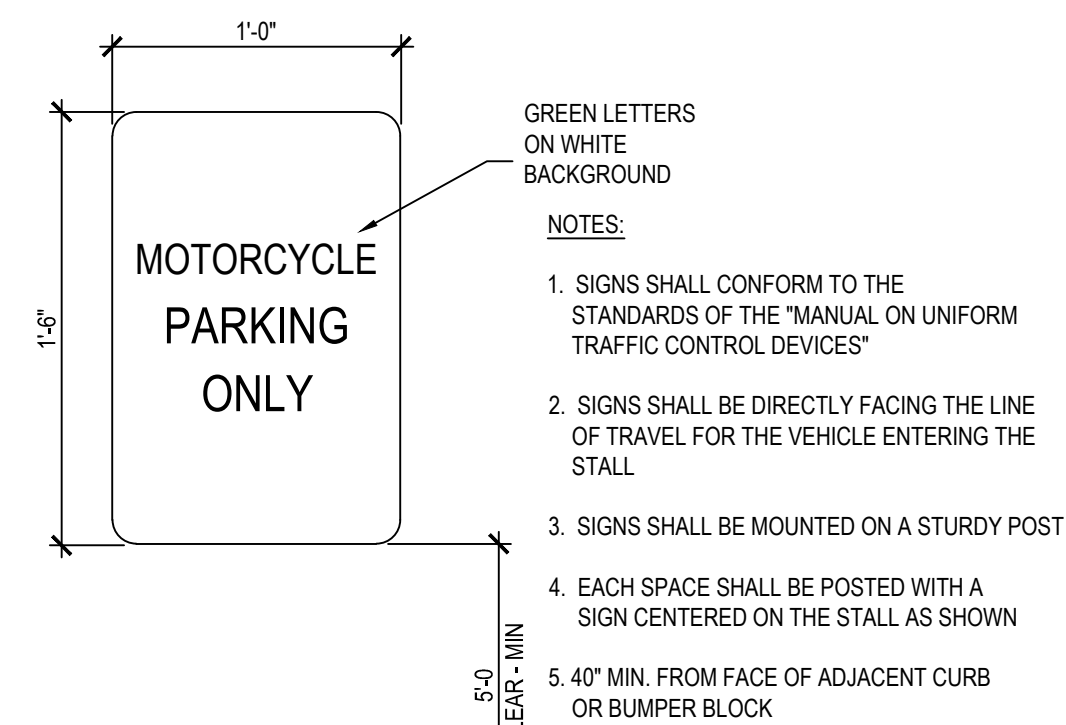
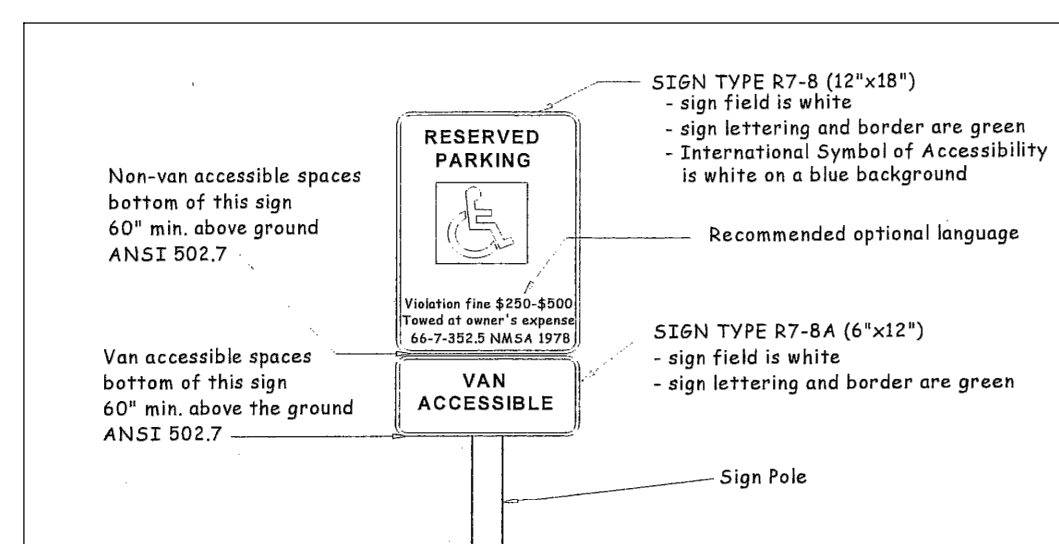




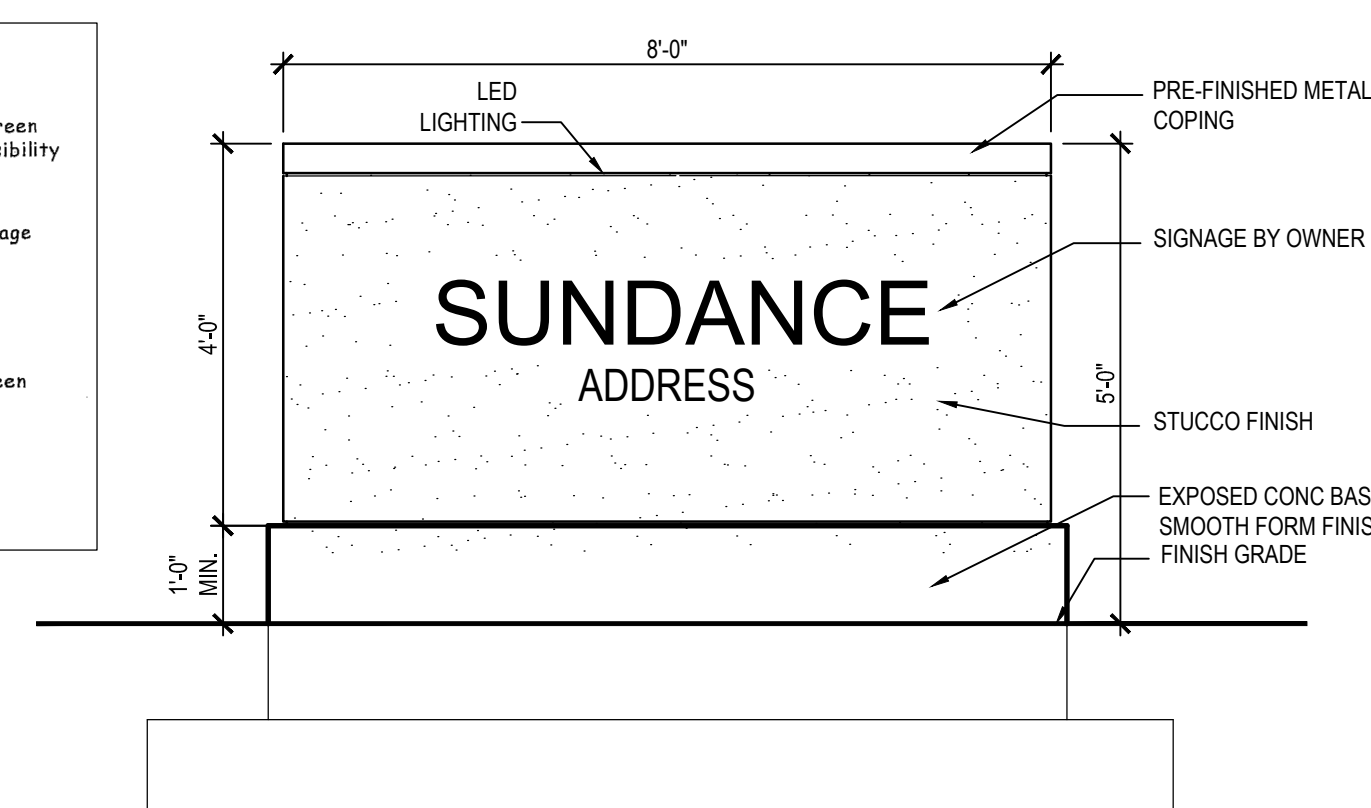
C1 POLE BASE DETAIL
SCALE: NTS



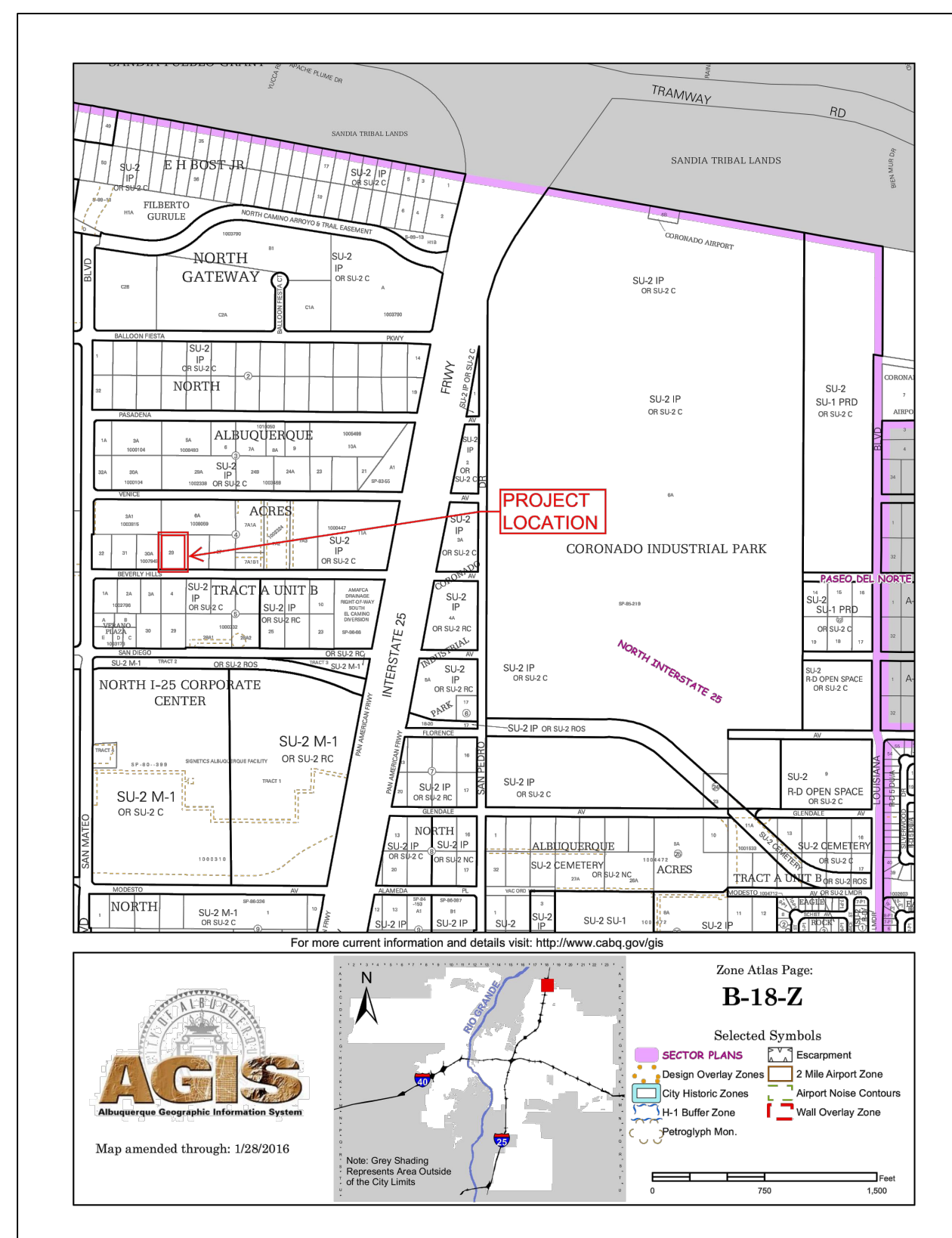
D2 MOTORCYCLE PARKING SIGN
SCALE: NTS



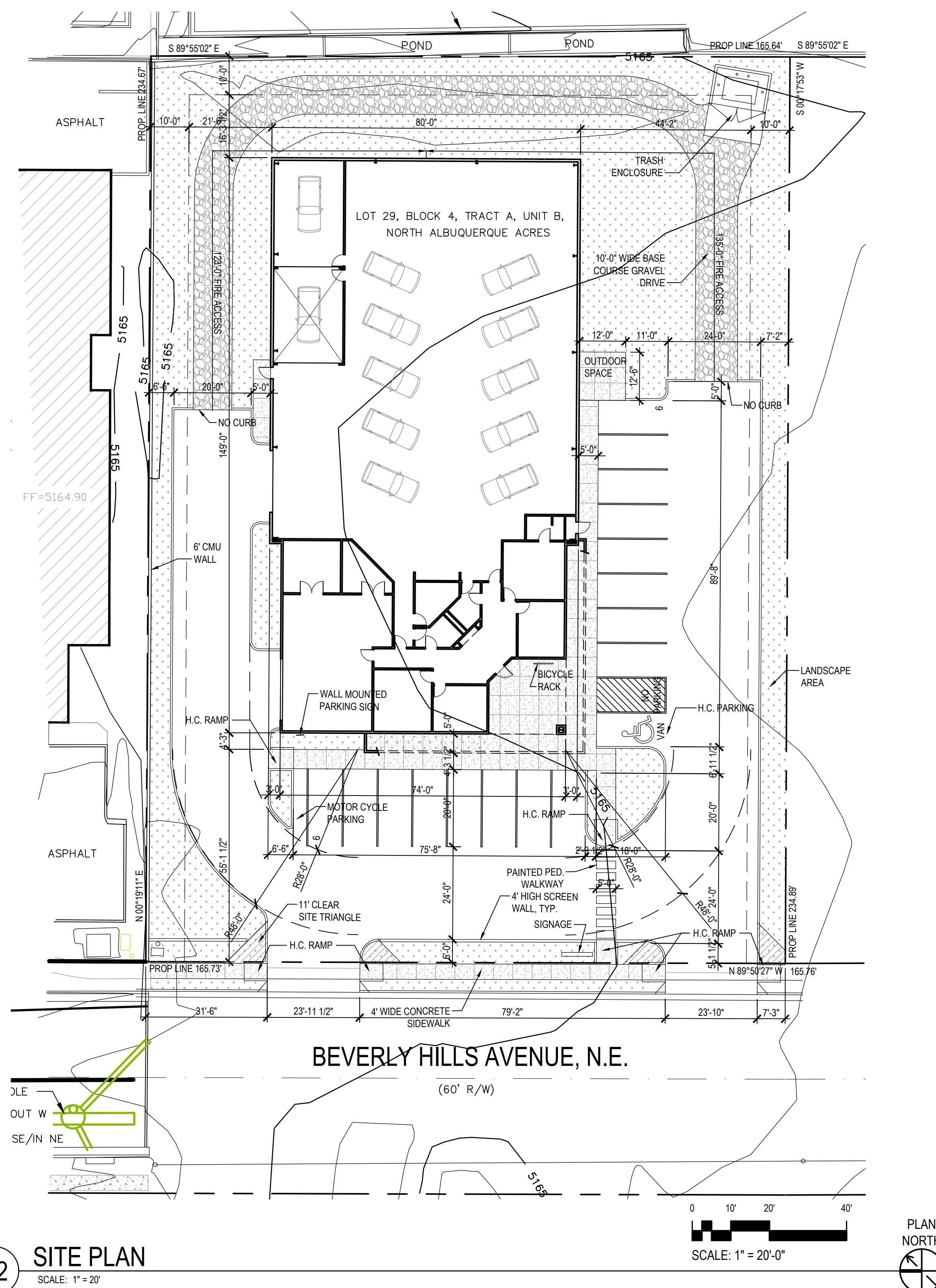
D3 TYP. H.C. PARKING SIGN
SCALE: NTS



D4 TYP. MONUMENT SIGN
SCALE: 1/2\"/>



A2 SITE PLAN
SCALE: 1\"/>



LEGAL DESCRIPTION

5401 BEVERLY HILLS AVE NE
LOT 29
BLOCK 4
TRACT A
UNIT B
NORTH ALBUQUERQUE ACRES
ZONE: SU-2 M1
AREA: .893 ACRES

PARKING/SIGNAGE CALCULATIONS

OFFICE	1200 SF = 1 SPACE / 200 SF =	6 SPACES
WAREHOUSE	10078 SF = 1 SPACE / 2,000 SF =	6 SPACES
TOTAL PARKING SPACES		17 SPACES
MOTORCYCLE PARKING REQUIRED	1-25 = 1 SPACES	
BICYCLE PARKING REQUIRED	1 SPACES	
HANDICAPPED PARKING REQUIRED	1-25 = 1 H.C. SPACES	

SIGNAGE

- 1) ALLOWABLE SIGNAGE PER 14-16-3-2, 1 SIGN (150 MAX SF) PER 300' OF STREET FRONTAGE-1 SIGN ALLOWABLE @ 165.73' STREET FRONTAGE. 1 SIGN ACTUAL.
- 2) FUTURE SIGNAGE CAN BE APPROVED ADMINISTRATIVELY IF IT COMPLIES WITH THE ZONING CODE.

AREA SCHEDULE

MARK	AREA	% OF TTL
STRUCTURE	11,345 S.F.	29 %
OPEN AREA @ STRUCTURE	955 S.F.	< 2%
PARKING	3,306 S.F.	8.5 %
CIRCULATION	9,080 S.F.	23.5 %
LANDSCAPING	14,512 S.F. ALLOWABLE	37 %
TOTAL AREA	39,198 S.F. (.9 ACRES)	

LEGEND

	LANDSCAPING AREA
	ASPHALT PAVING
	CONCRETE WALK

PROJECT NUMBER:

Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

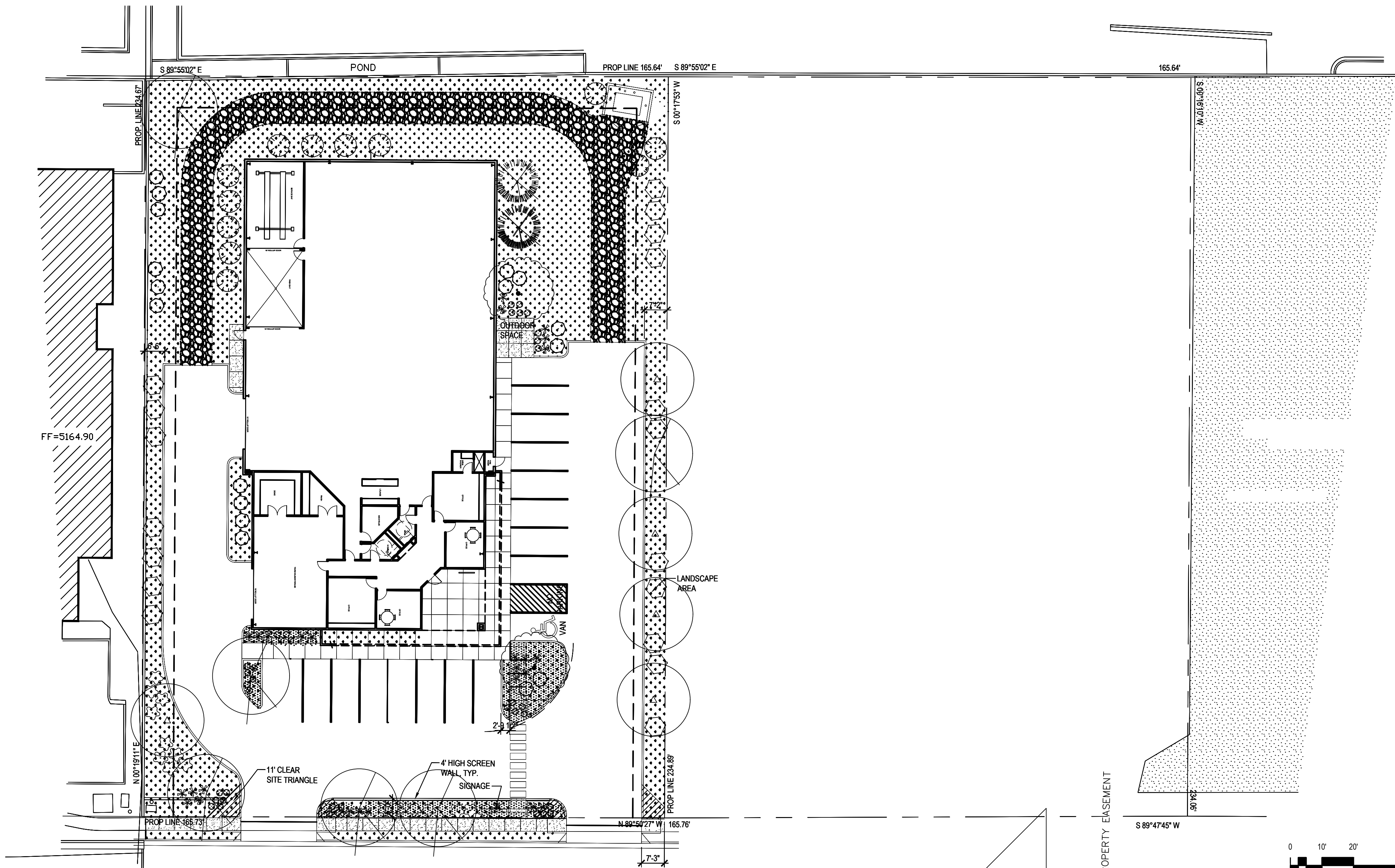
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

SUNDANCE CONSTRUCTION ALBUQUERQUE, NEW MEXICO SUNDANCE CONSTRUCTION

SPBP-001

SITE PLAN

project no. 17-015



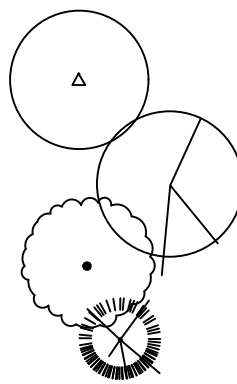
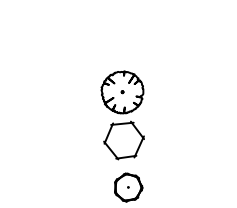
A1

LANDSCAPE PLAN
SCALE: 1" = 20'

BEVERLY HILLS AVENUE, N.E.

PLAN NORTH

PLANT LEGEND

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE		CONDITION
				INSTALLED	MATURE	
	<u>TREES</u>					
	TEXAS RED OAK	QUERCUS BUCKLEYI	5	2" cal., 12'-14' ht.	35' ht., 25 spd.	
	HONEY LOCUST TREE	ROBINIA NEOMEXICANA	6	2" cal., 12'-14' ht.	25' ht., 25 spd.	
	DESERT WILLOW	CHILOPSIS LINEARIS	2	MULTI TRUNK.	20' ht., 20' spd.	24" box
	LIMBER PINES	PINUS FLEXILIS	2	8'-10' ht.	40' ht., 15 spd.	8' HT
	<u>SHRUBS</u>					
	APACHE PLUME	FALLUGIA PARADOXA	12	5' ht.	8' spd.	1 GALLON
	DWARF CHAMISA	CHRYSOTHAMNUS DEPRESSUS	18	4' ht.	5'-6' ht., 5' spd.	1 GALLON
	CHERRY SAGE	SALVIA GREGGII	13	4' ht.	3-4' ht., 4' spd.	1 GALLON
<u>PERENNIALS</u>						
	DESERT ZINNIA	ZINNIA GRANDIFLORA	32	1-6" ht.	2' spd.	1 GALLON
	REGAL MIST MUHLY	MUHLenbergIA CAPILLARIS "REGAL MIST"	27	2-5' ht.	5' spd.	1 GALLON
	BLACK DALEA	DALEA FRUTESCENS	16	3-5' ht.	5' spd.	1 GALLON

GENERAL SHEET NOTES

- SHEET IS MEANT TO PLOT AT 24" X 36" SIZE TO BE CORRECT SCALE.
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10, APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT AND WATER CONSERVATION ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND MULCH.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS; THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MINIMUM PLANT SIZES ARE PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEM. REFER TO CIVIL.
- ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW TEN FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND FIVE TO SIX FEET OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE. SEE PLAN FOR CLEAR ZONES SHOWN IN DASHED LINE. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- CONTRACTOR TO COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
- NO SMALLER ROCK THAN 2" DIAMETER SHALL BE PLACED AROUND STORM DRAIN INLETS.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 9 AC = 39,198 SF
AREA OF LOT COVERED BY BUILDINGS = 11,345 SF
NET LOT AREA = 27,853 SF

REQUIRED LANDSCAPE
REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 4,178 SF
PROVIDED LANDSCAPE AREA = 9809 SF = 35%
NOT INCLUDED IN ABOVE NUMBER: FIRE LANE CIRCULATION = 2633 SF

REQUIRED TREES
TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
TOTAL NUMBER OF PARKING: 17 SPACES
REQUIRED NUMBER OF TREES: 2 TREES
PROVIDED NUMBER OF TREES = 13 TREES
NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK
REQUIRED STREET TREES = 0 (PLACED AT 30' ON CENTER)
PROVIDED STREET TREES = 3

REQUIRED VEGETATIVE COVERAGE
REQUIRED GROUND COVERAGE = 7377 = 75%
A MINIMUM OF 30% OF TOTAL LANDSCAPING COVERAGE BY GROUND PLANTS
PROVIDED TOTAL GROUND COVERAGE = 7377 SF = 75%
TREE CANOPY COVERAGE = 4300 SF = 60 % OF PROVIDED COVERAGE
GROUND PLANT COVERAGE = 3140 SF = 40 % OF PROVIDED COVERAGE
THE LANDSCAPE PLAN MEETS THE 75% LIVE GROUND COVERAGE REQUIREMENT AS STATED IN THE ZONING CODE. CALCULATIONS ASSUMES AN AVERAGE OF 300 SF PER TREE AND 20 SF PER GROUND PLANT.

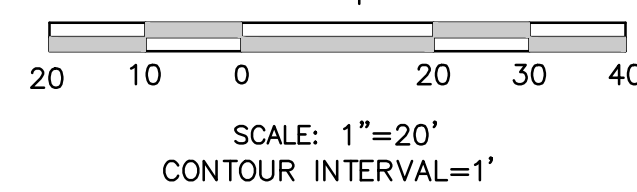
LEGEND

- INSTALL GRAVEL MULCH, SIZE 1/2" COLOR: SANTA FE BROWN, DEPTH: 3" INSTALLED OVER FILTER FABRIC.
- INSTALL SHREDDED BARK MULCH WALK ON MULCH FROM GRO-WELL (WESTERN ORGANICS)

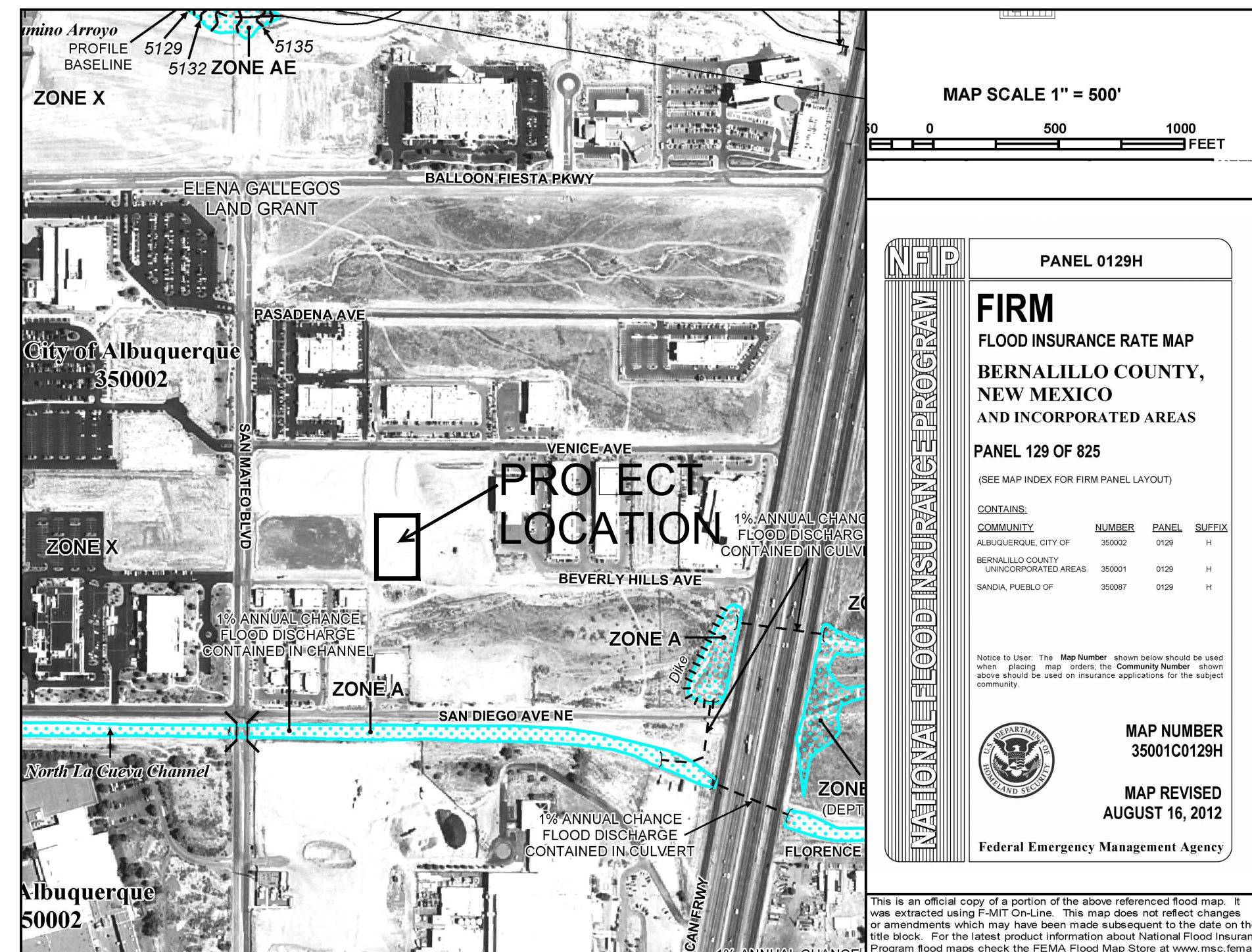
A



SCALE: 1" = 20'



ZONE ATLAS MAP B-18-Z



A1

FLOOD ZONE MAP: FM35001C0129H

- 1) NEW CONCRETE DRIVEPAD.
- 2) NEW HANDICAP RAMP.
- 3) NEW HOT MIX ASPHALT.
- 4) NEW CURB CUT AND DRAINAGE RUNDOWN INTO WATER HARVESTING AREA.
- 5) NEW CONCRETE CURB AND GUTTER.
- 6) APPROXIMATE LOCATION OF PROPERTY LINE.
- 7) NEW SIDEWALK OR CONCRETE FLATWORK.
- 8) NEW WATER HARVEST AREA.
- 9) NEW CONCRETE VALLEY GUTTER.
- 10) NEW SIDEWALK CULVERT

date: OCTOBER, 2017
drawn by: MEC
checked by: JAJ
file name: Fire1Plan_100517.dwg
revisions:

C-101

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(505)888-3800 (FAX)
WWW.MECNM.COM

LOT 3-A-1, BLOCK 4, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

BLOCK 4, TRACT A, UNIT B,
ALBUQUERQUE ACRES

FF 164 10

LOT 29, BLOCK 4, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

LOT 28, BLOCK 4, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

LOT 27, BL
NORTH

RECYCLED ASPHALT

BEVERLY HILLS AVENUE, N.E.

A1 CONCEPTUAL SITE UTILITY PLAN
SCALE: 1"=20'

LEGEND:

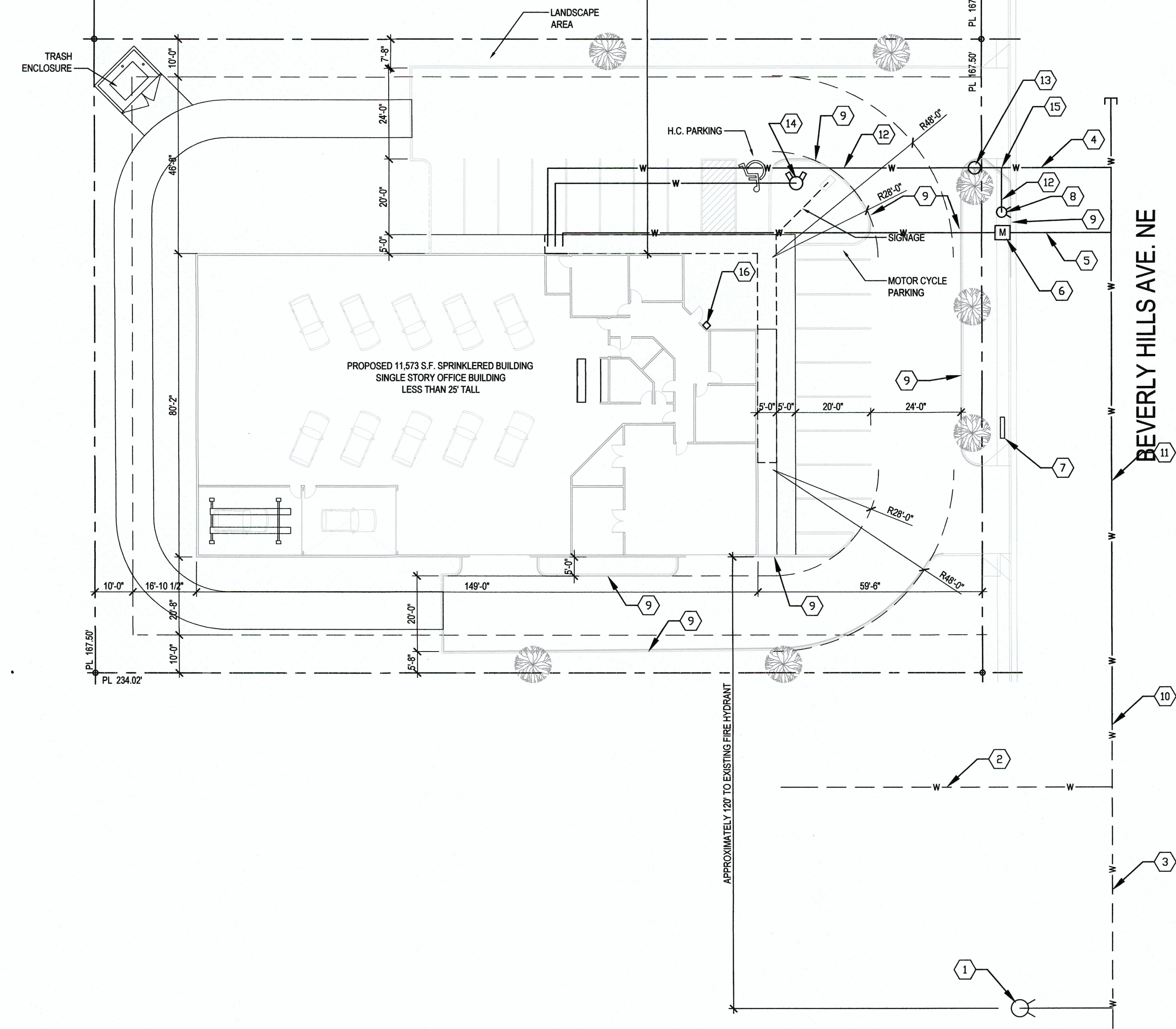
- W PROPOSED WATER SERVICE LINE
- S PROPOSED SANITARY SEWER LINE
- W EXISTING WATER SERVICE LINE
- S EXISTING SANITARY SEWER LINE
- PROPOSED CLEANOUT
- M PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE

GENERAL SHEET NOTES

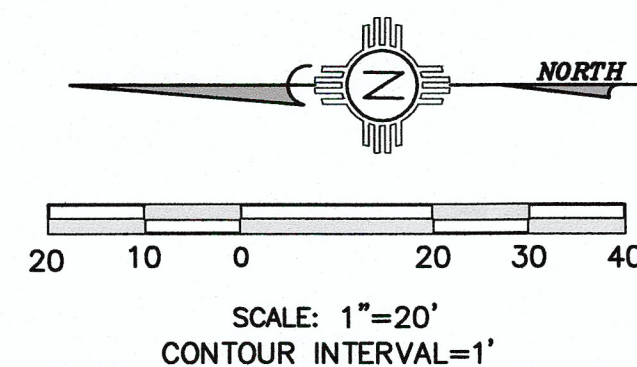
- THE FIRE APPARATUS ACCESS ROAD TO BE USED IS BEVERLY HILLS NE FROM THE WEST TO 5401 BEVERLY HILLS NE. THEN THE FIRE ACCESS ROAD LOCATED ON THE WEST SIDE OF THE BUILDING AT 5401 BEVERLY HILLS NE TO THE NORTH. BEVERLY HILLS NE IS 40' WIDE CURB FACE TO CURB FACE. THE FIRE ACCESS ROAD LOCATED AT 5401 BEVERLY HILLS NE IS 20' WIDE CURB FACE TO CURB FACE.
- THE BUILDING WILL NOT HAVE A FIRE SPRINKLER SYSTEM.
- THE PREMISE ID WILL BE DISPLAYED NEAR THE FRONT OF THE BUILDING ON THE SOUTH SIDE OF THE BUILDING. (SEE KEYNOTE #7)
- IT IS ASSUMED THAT THE FIRE APPARATUS ROADS WERE BUILT IN COMPLIANCE WITH CITY REGULATIONS WHEN THE ORIGINAL SUBDIVISION WAS BUILT.
- THE FIRE ACCESS ROAD WHERE THE FIRE HYDRANT IS LOCATED HAS A WIDTH OF 26' WIDE CURB FACE TO CURB FACE.
- NO GRADES ON OR OFFSITE OR ADJACENT TO THE SITE HAVE GRADES > 10%.
- THE TURNING RADII ON THE FIRE APPARATUS ACCESS ROAD HAS RADIUS GREATER THAN OR EQUAL TO 28'.
- THE BUILDING IS A SINGLE STORY BUILDING AND < 25' IN HEIGHT.
- THE FIRE ACCESS ROAD HAS A DRIVING SURFACE TO SUPPORT AN IMPOSED LOAD OF AT LEAST 75,000 LBS.

SHEET KEYNOTES

- EXISTING FIRE HYDRANT TO REMAIN IN PLACE.
- EXISTING WATER LINE TO REMAIN IN PLACE.
- EXISTING 8" WATER MAIN TO REMAIN IN PLACE.
- NEW 8" FIRE PROTECTION WATER LINE.
- NEW 2 1/2" DOMESTIC WATER LINE.
- NEW CITY OF ALBUQUERQUE APPROVED WATER METER.
- NEW 4" SANITARY SEWER SERVICE LINE.
- NEW FIRE HYDRANT AND VALVE ASSEMBLY.
- NEW SANITARY SEWER SERVICE SADDLE TAP AT SANITARY SEWER MAIN.
- CONNECT NEW 8" WATER LINE TO EXISTING 8" WATER LINE.
- NEW 8" WATER MAIN. EXTEND NEW WATER MAIN APPROXIMATELY 5' PAST NEW 8" FIRE PROTECTION WATER LINE AND CAP NEW 8" WATER MAIN.
- NEW 8" FIRE PROTECTION WATER LINE.
- NEW POST INDICATOR VALVE.
- NEW FIRE DEPARTMENT CONNECTION.
- NEW 8" X 6" X 6" TEE FITTING.
- KNOX BOX LOCATION PER CITY OF ALBUQUERQUE ORDINANCE.
- NEW 45° BEND WITH CLEANOUTS.
- NEW 8" SANITARY SEWER MAIN.
- CONNECT NEW 8" SANITARY SEWER MAIN TO EXISTING SANITARY SEWER MAIN.
- CAP NEW 8" SANITARY SEWER MAIN FOR FUTURE DEVELOPMENT.
- NEW DOUBLE CLEANOUT.
- CONNECT NEW 4" SANITARY SEWER SERVICE LINE TO NEW BUILDING.



A1 FIRE 1 PLAN
SCALE: 1" = 20'



5857-17 Rev.3 ed
HYDRANT AND FIRE ACCESS
ALBUQUERQUE FIRE MARSHAL'S OFFICE
PLANS CHECKING DIVISION
SOFT: 11/8/13 CONSTRUCTION TYPE: 11/8
GPM: 1500 NUMBER OF HYDRANTS: 1
APPROVED DISAPPROVED
12/11/13 11/14/13
SIGNATURE: [Signature] DATE: 11/14/13

ME MILLER ENGINEERING CONSULTANTS
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ALBUQUERQUE, NM 87107
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(505)888-3000 (FAX)
WWW.MECNM.COM

PROJECT DATA

OWNER
SUNDANCE CONSTRUCTION
10611 4TH ST. NW
ALBUQUERQUE, NM 87114
(505)856-2804

ARCHITECT
VIGIL & ASSOCIATES
4477 IRVING BLVD. NW
ALBUQUERQUE, NM 87114
(505)890-5030

CIVIL ENGINEER
MILLER ENGINEERING CONSULTANTS
3500 COMANCHE NE., BLDG. F
ALBUQUERQUE, NM 87107
(505)888-7500

STRUCTURAL ENGINEER
QPEC
6621 GULTON CT. NE
ALBUQUERQUE, NM 87109
(505)858-1456

MECHANICAL,
ELECTRICAL,
AND PLUMBING
TESTUDO ENGINEERING
4015 CARLISLE NE, SUITE E
ALBUQUERQUE, NM 87107
(505)350-2243

CODE DATA

ADDRESS:
5401 BEVERLY HILLS NE
ALBUQUERQUE, NEW MEXICO

APPLICABLE CODES:
• 2015 INTERNATIONAL BUILDING CODE (2015 IBC)
• 2015 NEW MEXICO COMMERCIAL BUILDING CODE
• 2012 NEW MEXICO PLUMBING AND MECHANICAL CODE
• 2014 NEW MEXICO ELECTRICAL CODE
• 2009 NEW MEXICO ENERGY CONSERVATION CODE
• 2009 INTERNATIONAL FIRE CODE
• ICC/ANSI A117.1-2009 ACCESSIBILITY STANDARDS

OCCUPANCY CLASSIFICATION:
GROUP B (BUSINESS)
CONSTRUCTION TYPE:
TYPE IIB, NEW CONSTRUCTION

ACTUAL BUILDING AREA:
GROUP B: 11,573 SF

ALLOWABLE FLOOR AREA:
SPRINKLERED ONE STORY: GROUP B 92,000 SF

ALLOWABLE HEIGHT:
GROUP B 75 FT (4 STORY)

ACTUAL HEIGHT: 1 STORY, 25'-0"

OCCUPANT LOAD:
TOTAL OCCUPANT LOAD: 36 OCCUPANTS
GROUP B (OFFICE): 1560 SF / 100 SF/OCC = 16
GROUP B (WAREHOUSE): 10,013 SF / 500 SF/OCC = 20

EGRESS WIDTH:
EGRESS COMPONENTS REQUIRED: 19 x 2 = 7.2"

EGRESS COMPONENTS PROVIDED: 72"

ALLOWABLE TRAVEL DISTANCE TO EXITS:
ALLOWABLE MAXIMUM: 250 FT.

PLUMBING FIXTURE COUNT:
CALCULATIONS PER IBC CHAPTER 29 & TABLE 2902.1
SEE SHEET G-101

SEISMIC DESIGN CATEGORY: D

GENERAL SHEET NOTES

- THE FIRE APPARATUS ACCESS ROAD TO BE USED IS BEVERLY HILLS NE FROM THE WEST TO 5401 BEVERLY HILLS NE. THEN THE FIRE ACCESS ROAD LOCATED ON THE WEST SIDE OF THE BUILDING AT 5401 BEVERLY HILLS NE TO THE NORTH. BEVERLY HILLS NE IS 40' WIDE CURB FACE TO CURB FACE. THE FIRE ACCESS ROAD LOCATED AT 5401 BEVERLY HILLS NE IS 20' WIDE CURB FACE TO CURB FACE.
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SHEET KEYNOTES

- EXISTING FIRE HYDRANT TO REMAIN IN PLACE.
- EXISTING WATER LINE TO REMAIN IN PLACE.
- EXISTING 8" WATER MAIN TO REMAIN IN PLACE.
- NEW 8" FIRE PROTECTION WATER LINE.
- NEW 2 1/2" DOMESTIC WATER LINE.
- NEW CITY OF ALBUQUERQUE APPROVED WATER METER.
- PREMISE ID WILL BE DISPLAYED NEAR THE FRONT OF THE BUILDING (SOUTH SIDE). 10" HIGH, 2" STROKE PER CITY OF ALBUQUERQUE ORDINANCE.
- NEW FIRE HYDRANT AND VALVE ASSEMBLY.
- FIRE LANE DESIGNATION-PAINT CURB RED WITH ALTERNATING "NO PARKING" AND "FIRE LANE" TEXT @ 50' INTERVALS, MAX.
- CONNECT NEW 8" WATER LINE TO EXISTING 8" WATER LINE.
- NEW 8" WATER MAIN. EXTEND NEW WATER MAIN APPROXIMATELY 5' PAST NEW 8" FIRE PROTECTION WATER LINE AND CAP NEW 8" WATER MAIN.
- NEW 6" FIRE PROTECTION WATER LINE.
- NEW POST INDICATOR VALVE.
- NEW FIRE DEPARTMENT CONNECTION.
- NEW 8" X 6" X 6" TEE FITTING.
- KNOX BOX LOCATION PER CITY OF ALBUQUERQUE ORDINANCE.

VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.
WWW.VA-ARCHITECTS.COM

PROGRESS SET
NOT FOR
CONSTRUCTION

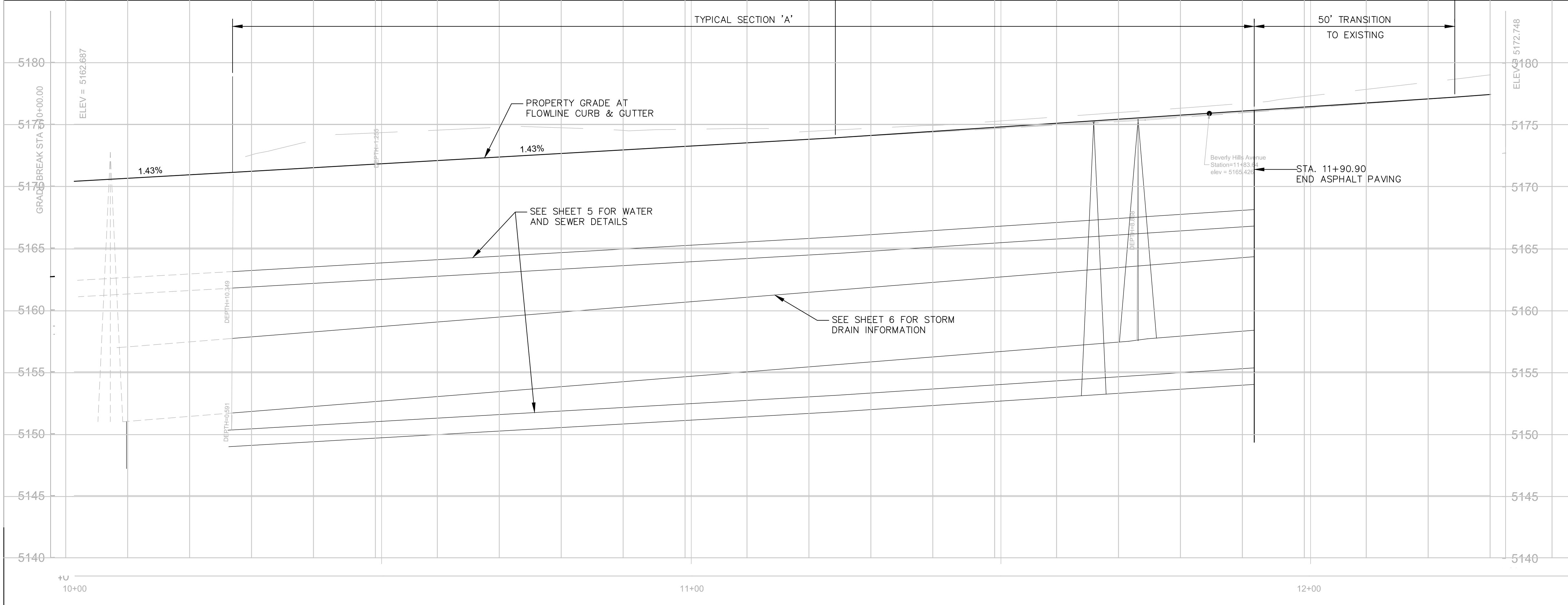
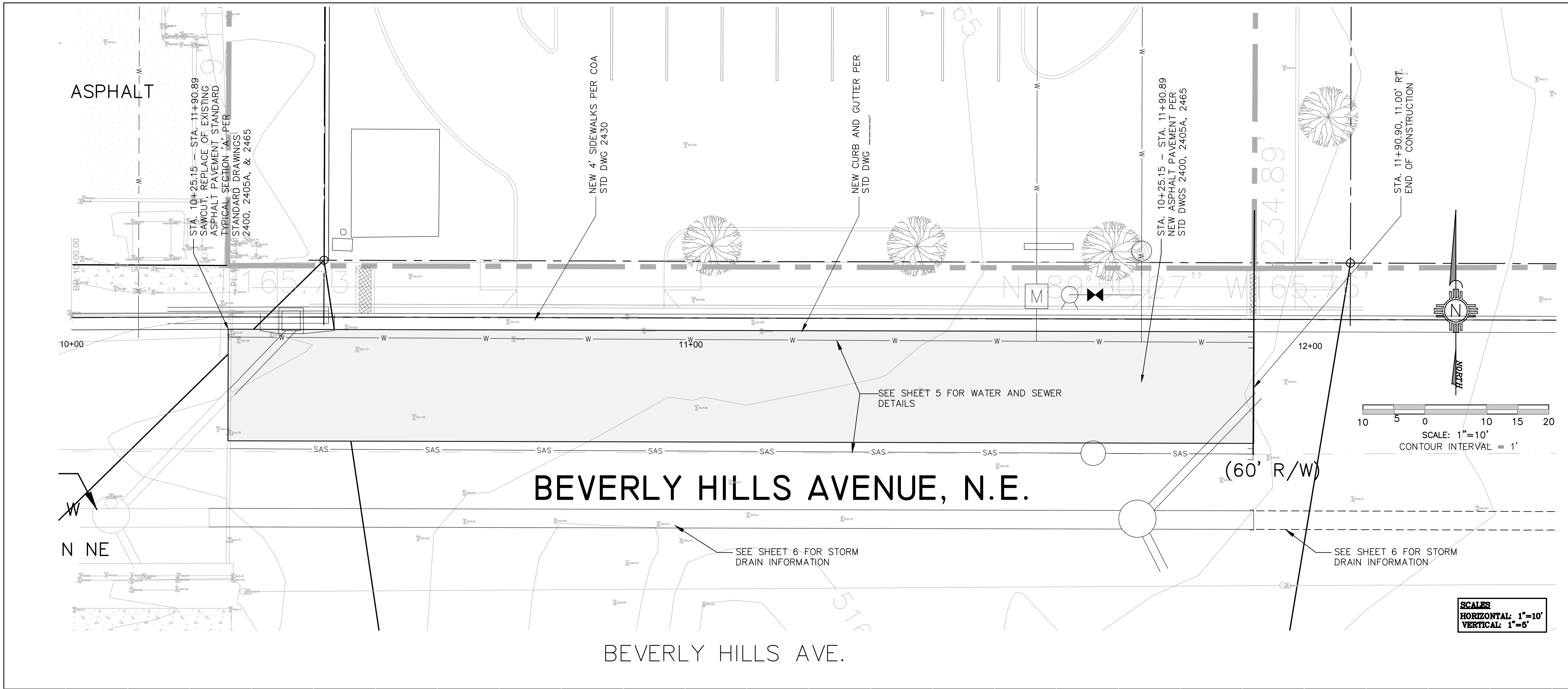
SUNDANCE CONSTRUCTION
BEVERLY HILLS AVE NE
SUNDANCE CONSTRUCTION

date: OCTOBER, 2017
drawn by: MEC
checked by: JAJ
file name: Fire1Plan_100517.dwg
revisions:

FIRE-1

\\MEC-dco\Public\Clients\VGU & ASSOCIATES\Beverly Hills\ACAD\Sheets\Beverly Hills_DRC Submittal\Waterline Install_101917.dwg, PAVING_LayerState_Sht-4, 1/10/2018 4:35:55 PM, jjaquez, 1:1

BEVERLY HILLS_08018SUBMITT4_WATERLINE INSTALL_101917



LEGEND

• 38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
• MATCH (95.19)	MATCH EXISTING ELEVATIONS
TCON	TOP OF CONCRETE
FL	FLOW LINE, CURB
INV	INVERT
FG	FINISH GRADE
TBC	TOP OF BASE COURSE
TC	TOP OF CURB
TG	TOP OF GRATE
TA	TOP OF ASPHALT
→	FLOW ARROW
---	SWALE
SD	STORM DRAIN LINE
— 5895 —	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
— W —	PROPOSED WATERLINE
— SAS —	PROPOSED SEWER LINE
---	EXISTING WATERLINE
---	EXISTING SEWER LINE
⊕	PROPOSED FIRE HYDRANT
⊕	PROPOSED GATE VALVE
W	SAWCUT, REMOVE, REPLACE EXISTING ASPHALT IN THESE AREAS
W	SAWCUT, REMOVE, REPLACE CONCRETE SIDEWALK IN THESE AREAS

RESTRAINED JOINTS LENGTH

1. TEE BRANCH — EACH RUN PIPE SHALL BE MINIMUM 10' WITHOUT JOINTS.
2. DISTANCE SHOWN IS IN EACH DIRECTION FOR VALVES AND BENDS.
3. ALL TEMPORARY DEAD END CAPS SHALL BE BLOCKED.

SIZE	90°	45°	22½°	11¼°	VALVE	CAP
8"	38'	15'	8'	4'	38'	75'
10"	45'	19'	9'	5'	48'	96'

GENERAL NOTES

- ALL WATERLINE PIPE SHALL BE C-900 PVC.
- ALL SEWERLINE PIPE SHALL BE SDR-35 PVC.
- CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER AND THE ABCWUA FOR REVIEW PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL TRACER WIRE DIRECTLY ABOVE ALL UTILITY INSTALLATIONS.
- THERE SHALL BE A MINIMUM 12" CLEARANCE FROM EXISTING UTILITIES.
- THE CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION OF ALL SIDEWALKS AND HANDICAPPED RAMPS ARE ADA COMPLIANT. ALL HANDICAPPED RAMPS SHALL INCLUDE A DETECTABLE WARNING SURFACE CONSISTING OF TRUNCATED DOMES.

**MILLER ENGINEERING CONSULTANTS**
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(505)888-3900 (FAX)

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
AND CITY OF ALBUQUERQUE

BEVERLY HILLS AVE
PLAN PROFILE - OFFSITE WATER/SEWER LINE
PAVING PLAN
STA 14+00.00 - 1+00.00

Design Review Committee	ABCWUA Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. 780482	COA Project No.	Zone Map No. B-1	Sheet 4	Of 8
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AS BUILT INFORMATION

CONTRACTOR WORK	DATE
STANDARD BY	DATE
ACCEPTANCE BY	DATE
FIELD INVESTIGATION BY	DATE
DRAWINGS CORRECTED BY	DATE

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

CONTRACTOR WORK	DATE
STANDARD BY	DATE
ACCEPTANCE BY	DATE
FIELD INVESTIGATION BY	DATE
DRAWINGS CORRECTED BY	DATE

SURVEY INFORMATION

TEMPORARY BENCH MARK	
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ENGINEER'S SEAL

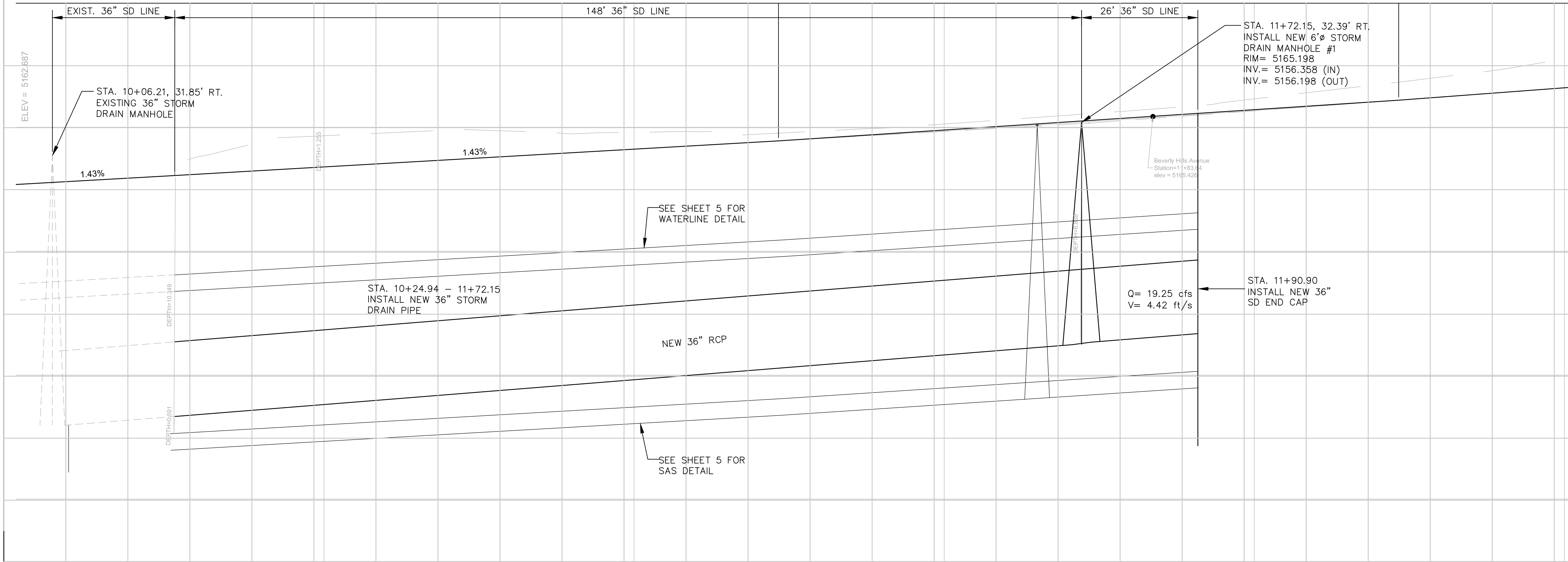
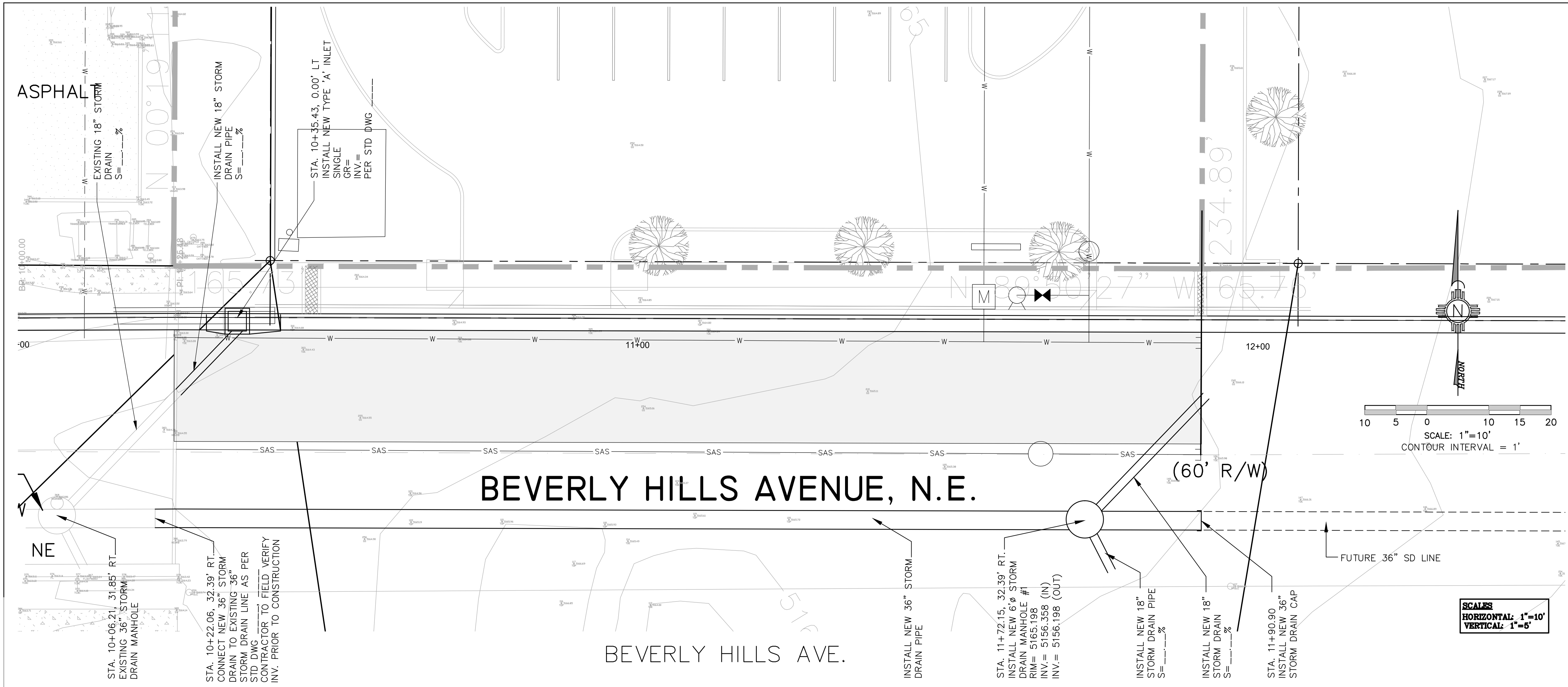
NO.	DATE	REVISIONS	BY
		DESIGN	

DESIGNED BY:	DATE:	OCTOBER 2017
DRAWN BY:	DATE:	OCTOBER 2017
CHECKED BY:	DATE:	OCTOBER 2017

**PRELIMINARY
NOT FOR
CONSTRUCTION**

\\MEC-dco1\Public\Clients\Beverly Hills\ACAD\Sheets\Beverly Hills_DWG_Submittal_Waterline Install_101917.dwg, STORM_Layerstate_Swt-6, 1/10/2016 4:39:43 PM, jjaquez, 11

BEVERLY HILLS\0601SUBMITT4_WATERLINE INSTALL_101917



LEGEND

• 38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
• MATCH (95.19)	MATCH EXISTING ELEVATIONS
TCON	TOP OF CONCRETE
FL	FLOW LINE, CURB
INV	INVERT
FG	FINISH GRADE
TBC	TOP OF BASE COURSE
TC	TOP OF CURB
TG	TOP OF GRATE
TA	TOP OF ASPHALT
→	FLOW ARROW
---	SWALE
SD	STORM DRAIN LINE
— 5895 —	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
- - - 5895 - - -	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
— W —	PROPOSED WATERLINE
— SAS —	PROPOSED SEWER LINE
- - - W - - -	EXISTING WATERLINE
- - - SAS - - -	EXISTING SEWER LINE
⊙	PROPOSED FIRE HYDRANT
⊙	PROPOSED GATE VALVE
W	SAWCUT, REMOVE, REPLACE EXISTING ASPHALT IN THESE AREAS
W	SAWCUT, REMOVE, REPLACE CONCRETE SIDEWALK IN THESE AREAS

SCALE: 1"=10'
CONTOUR INTERVAL = 1'

SCALES
HORIZONTAL: 1"=10'
VERTICAL: 1"=5'

RESTRAINED JOINTS LENGTH

1. TEE BRANCH — EACH RUN PIPE SHALL BE MINIMUM 10' WITHOUT JOINTS.

2. DISTANCE SHOWN IS IN EACH DIRECTION FOR VALVES AND BENDS.

3. ALL TEMPORARY DEAD END CAPS SHALL BE BLOCKED.

SIZE	90°	45°	22½°	11¼°	VALVE	CAP
8"	38'	15'	8'	4'	38'	75'
10"	45'	19'	9'	5'	48'	96'

GENERAL NOTES

1. ALL WATERLINE PIPE SHALL BE C-900 PVC.

2. ALL SEWERLINE PIPE SHALL BE SDR-35 PVC.

3. CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE PROJECT ENGINEER AND THE ABCWUA FOR REVIEW PRIOR TO CONSTRUCTION.

4. THE CONTRACTOR SHALL INSTALL TRACER WIRE DIRECTLY ABOVE ALL UTILITY INSTALLATIONS.

5. THERE SHALL BE A MINIMUM 12" CLEARANCE FROM EXISTING UTILITIES.

6. THE CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION OF ALL SIDEWALKS AND HANDICAPPED RAMPS ARE ADA COMPLIANT. ALL HANDICAPPED RAMPS SHALL INCLUDE A DETECTABLE WARNING SURFACE CONSISTING OF TRUNCATED DOMES.

**MILLER ENGINEERING CONSULTANTS**
Engineers • Planners

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BUILDING F
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ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
AND CITY OF ALBUQUERQUE

BEVERLY HILLS AVE
PLAN & PROFILE - OFFSITE WATER/SEWER LINE
STORM DRAIN PLAN
STA 14+00.00 - 1+00.00

Design Review Committee	ABCWUA Approval	Last Design Update	Mo./Day/Yr.	

City Project No. 780482	COA Project No.	Zone Map No. B-1	Sheet 6	Of 8
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AS BUILT INFORMATION

CONTRACTOR WORK	DATE
STANDARD BY	DATE
ACCEPTANCE BY	DATE
FIELD INVESTIGATION BY	DATE
DRAWINGS CORRECTED BY	DATE

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

SURVEY INFORMATION

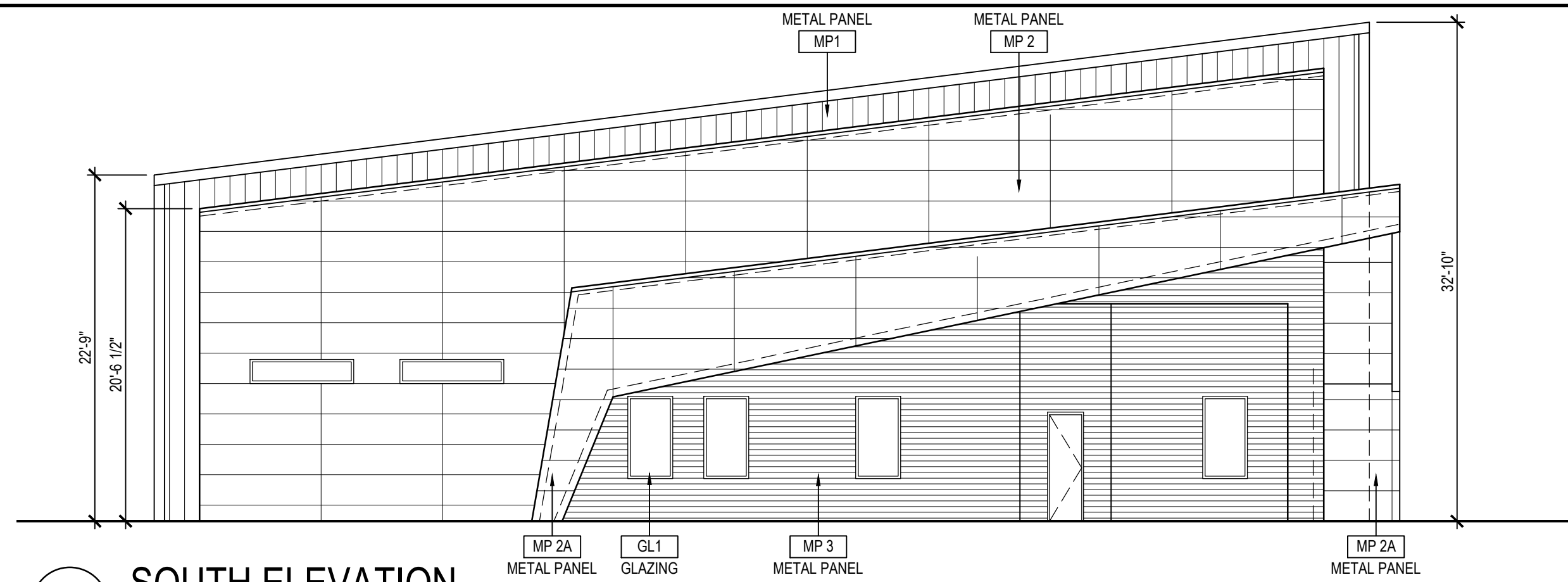
TEMPORARY BENCH MARK

ENGINEER'S SEAL

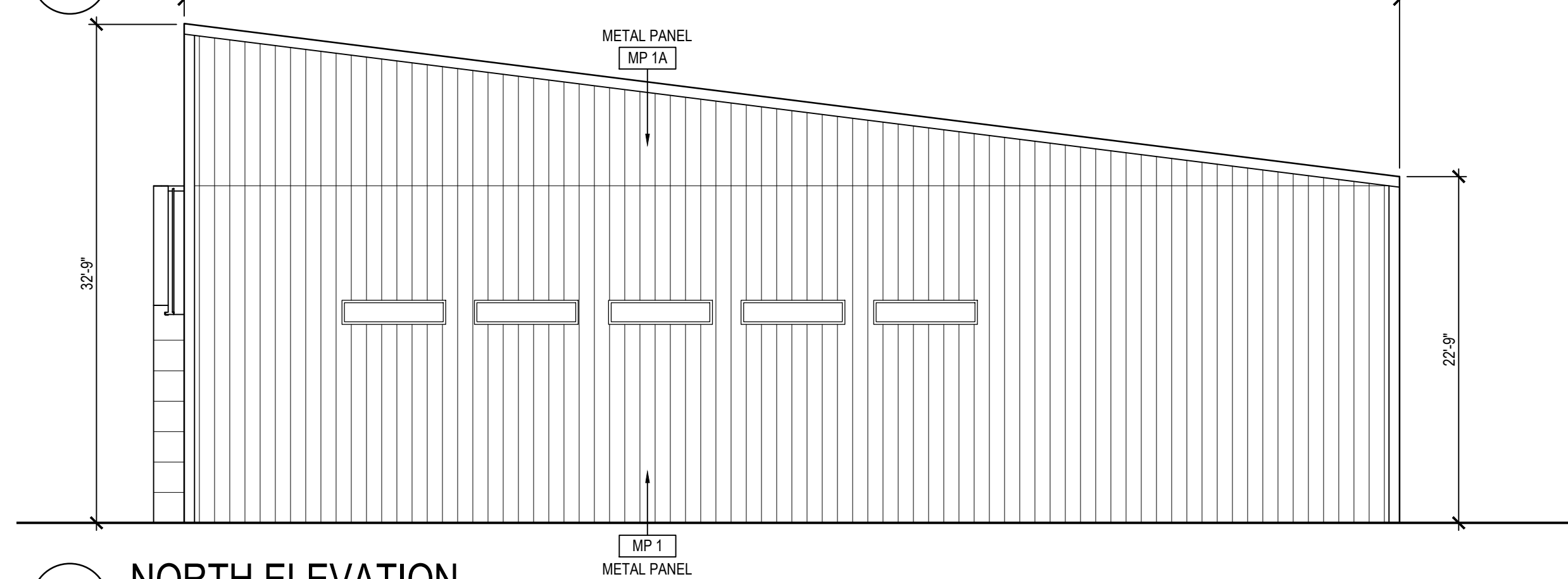
NO.	DATE	REVISIONS	BY
		DESIGN	
		MEC	
		VAM	

DESIGNED BY: JMJ DATE: OCTOBER 2017
DRAWN BY: MEC DATE: OCTOBER 2017
CHECKED BY: VAM DATE: OCTOBER 2017

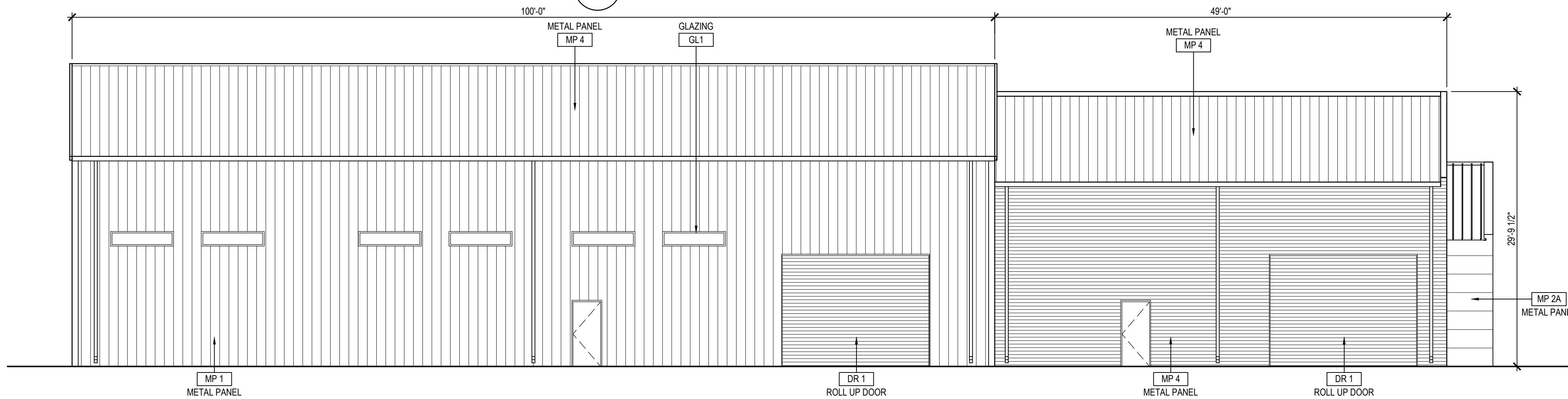
**PRELIMINARY
NOT FOR
CONSTRUCTION**

**D2 SOUTH ELEVATION**

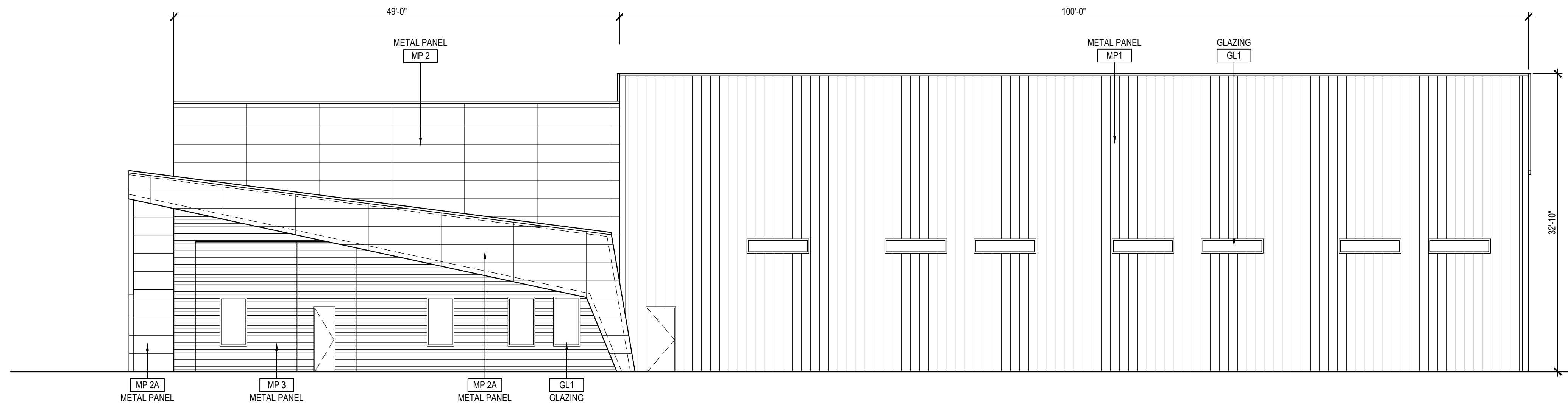
SCALE: 1/8" = 1'-0"

**C2 NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

**B1 WEST ELEVATION**

SCALE: 1/8" = 1'-0"

**A1 EAST ELEVATION**

SCALE: 1/8" = 1'-0"

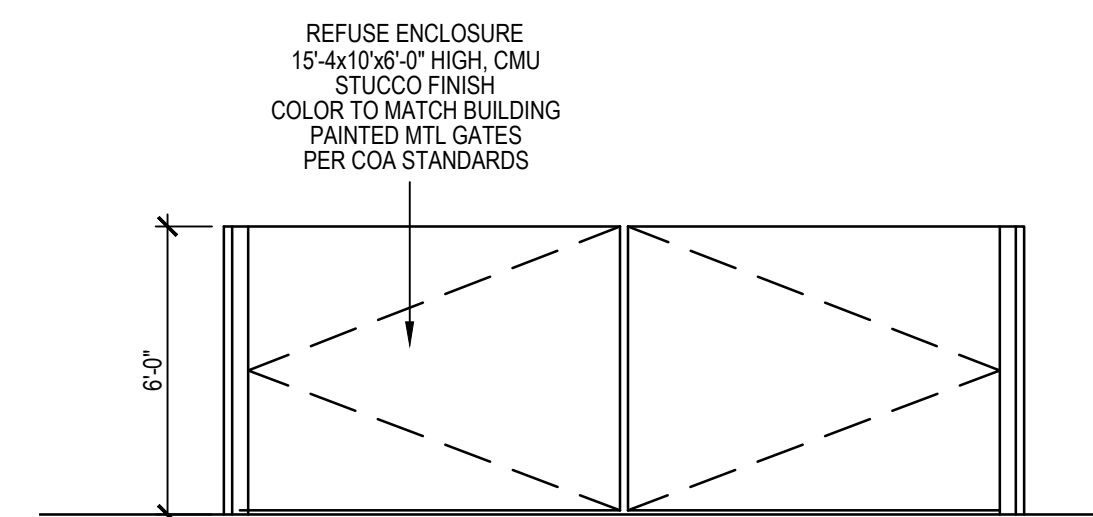
GENERAL NOTES

- A. ANY EXTERIOR LIGHT ON THE FRONT FACADE MUST BE MOUNTED BETWEEN 6'-0" AND 14'-0" ABOVE THE ADJACENT GRADE.
- B. ANY ROOF MOUNTED EQUIPMENT MUST BE SCREENED FROM THE ADJACENT STREET WITH PARAPET WALL OR STRUCTURE FEATURE.
- C. ANY GROUND MOUNTED EQUIPMENT PLACED ADJACENT TO THE FRONT FACADE MUST BE SCREENED.

COLOR SCHEDULE

MARK	COLOR	DESCRIPTION
MP1	SLATE GRAY	PBR VERTICAL METAL WALL PANELS
MP2	DARK GRAY METALLIC	CF ARCHITECTURAL METAL WALL PANELS
MP2A	BRITE RED	CF ARCHITECTURAL METAL WALL PANELS
MP3	SILVER METALLIC	PBC HORIZONTAL METAL WALL PANELS
MP4	CHARCOAL GRAY	12" SUPERLOK STANDING SEAM ROOF SYSTEM
GL 1	GREEN TINT	GLAZING
DR 1	ALUMINUM	ROLL UP DOOR

NOTE: WALL AND ROOF PANELS TO BE BY 'STAR' BUILDING SYSTEMS

**A5 REFUSE ENCLOSURE**

SCALE: 1/4" = 1'-0"

