

A1 CONCEPTUAL GRADING AND DRAINAGE PLAN
SCALE: 1"=20'

A1 CONCEPTUAL GRADING AND DRAINAGE PLAN
SCALE: 1"=20'

LEGEND:

• 38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)	=====	GRADE BREAK-HIGH POINT
• MATCH (95.19)	MATCH EXISTING ELEVATIONS	-----	SWALE
TC ON	TOP OF CONCRETE	-----SD-----	STORM DRAIN LINE
FL	FLOW LINE, CURB		
INV	INVERT		
FG	FINISH GRADE	-----	PROPOSED MAJOR CONTOUR
TBC	TOP OF BASE COURSE	-----	PROPOSED MINOR CONTOUR
TC	TOP OF CURB	-----	EXISTING MAJOR CONTOUR
TG	TOP OF GRATE	-----	EXISTING MINOR CONTOUR
↗	FLOW ARROW		

GRADING AND DRAINAGE NARRATIVE

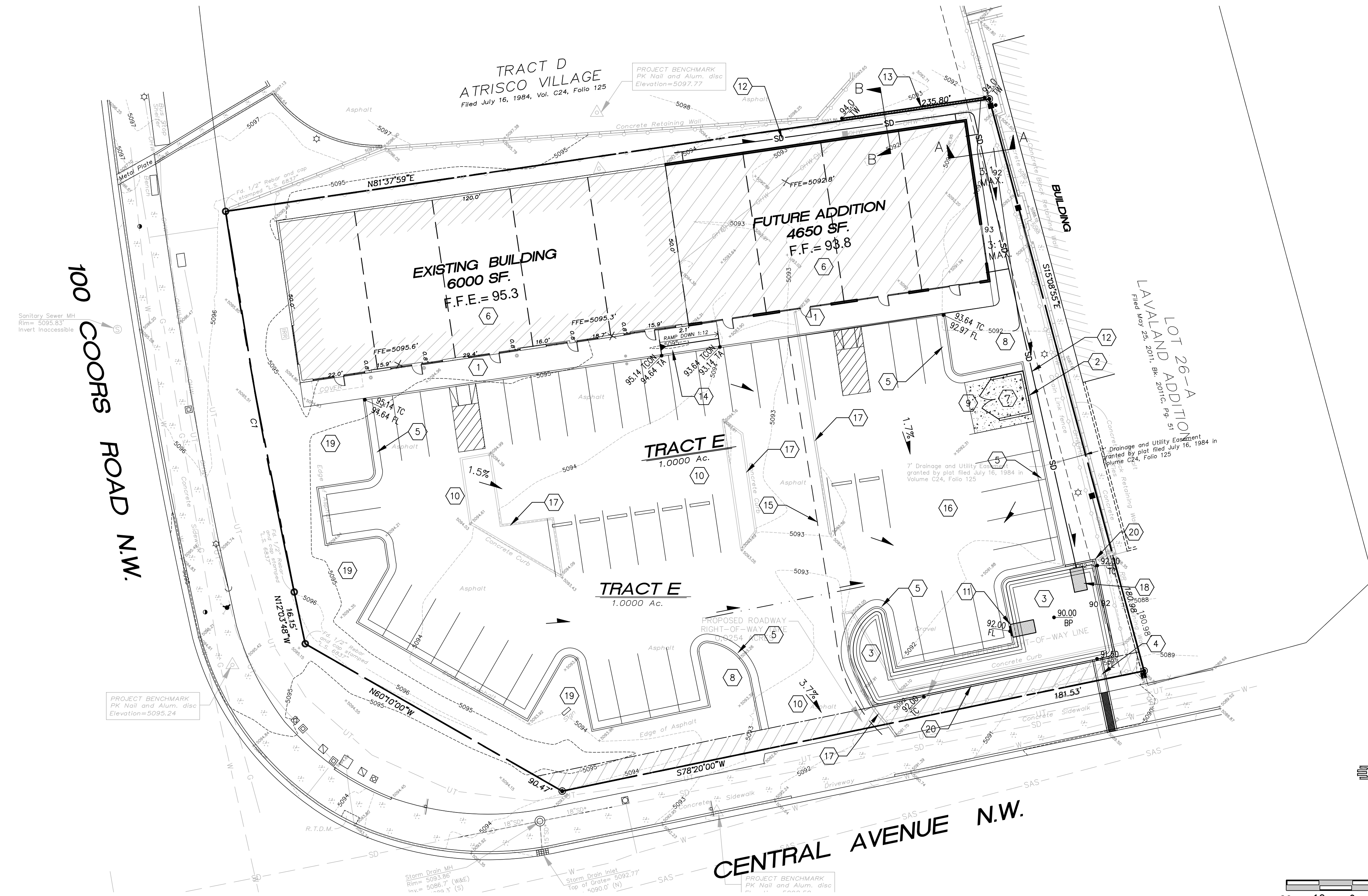
THE PROJECT SITE IS LOCATED AT 100 COORS BLVD. N.W. IN ALBUQUERQUE, NM. THE PROPERTY BOUNDARY IS MOSTLY RECTANGULAR IN SHAPE WITH A PORTION OF THE SOUTHWEST CORNER CUT TO RIGHT-OF-WAY. THE PROPERTY IS BOUNDED BY AN EXISTING BUSINESS TO THE EAST, AN EXISTING BUSINESS TO THE NORTH, CENTRAL AVE. N.W. TO THE SOUTH, AND COORS ROAD N.W. TO THE WEST. THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING BUILDING AND AN EXISTING ASPHALT PAVED PARKING AREA LOCATED SOUTH OF THE BUILDING ALONG CENTRAL AVENUE N.W. AND COORS ROAD N.W. THE SITE IS ACCESSED FROM CENTRAL AVENUE N.W. ON THE SOUTH SIDE OF THE SITE. THE PROPERTY GENERALLY SLOPES FROM THE NORTHWEST TO THE SOUTHEAST AT APPROXIMATELY 1.7%. THERE ARE EXISTING RETAINING WALLS THAT RUN ALONG THE NORTH SIDE OF THE PROPERTY AND ALONG THE EAST SIDE OF THE PROPERTY. THE PROPOSED BUILDING WILL BE CONSTRUCTED NEAR THE EAST SIDE OF THE PROPERTY, ADJACENT TO, AND ATTACHED TO THE EXISTING BUILDING LOCATED NEAR THE WEST SIDE OF THE PROPERTY. THE NEW BUILDING WILL HAVE A NEW ASPHALT PARKING LOT IMMEDIATELY SOUTH OF THE BUILDING.

THE PROPOSED DEVELOPMENT OF THE SITE WILL CONSIST OF 10831 SQUARE FOOT BUILDING, ASSOCIATED CONCRETE FLATWORK, SIDEWALKS, ASPHALT PARKING LOT, AND LANDSCAPING. THE GRADING IMPROVEMENTS WILL CONTINUE TO ALLOW STORM WATER TO FLOW FROM THE NORTHWEST TO THE SOUTHEAST. NEW CURB AND GUTTER, A CURB CUT, AND NEW RIP RAP RUNDOWN WILL CONVEY THE STORMWATER INTO A PROPOSED WATER HARVESTING AREA LOCATED AT THE SOUTHEAST CORNER OF THE PROPERTY. THIS WATER HARVESTING AREA WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REQUIRED VOLUME = (0.33 IN. * 33,106 S.F.)/12 = 910 C.F.) THE PROPOSED WATER HARVEST AREA VOLUME IS GREATER THAN 910 CF, AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. ALL ROOF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO THE PROPOSED WATER HARVEST AREA LOCATED AT THE SOUTHEAST CORNER OF THE PROPERTY.

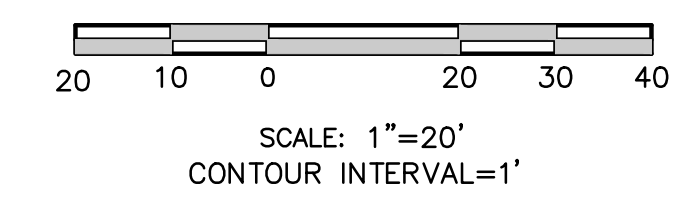
THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A F.E.M.A. DESIGNATED FLOOD ZONE AS ACCORDING TO F.E.M.A. MAP 35001C0329H.

KEYED NOTES:

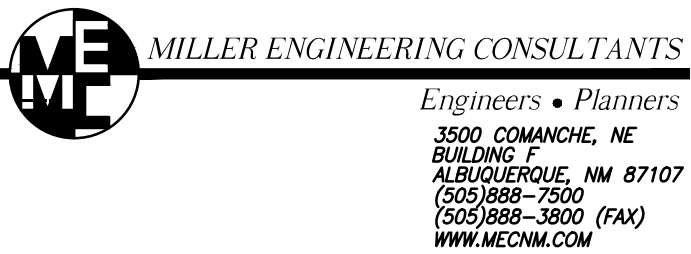
- 1 CONCRETE SIDEWALK OR CONCRETE FLATWORK AS PER C.O.A. STANDARD DRAWINGS CONTRACTOR SHALL SUBMIT A JOINT PATTERN TO THE PROJECT ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- 2 CONCRETE HEADER CURB.
- 3 WATER HARVEST AREA. TOP=92.00, INV=90.00. SIDE SLOPE 2:1 WITH FILTER FABRIC AND 6" OF 2-3" COBBLE STONES.
- 4 24" CONCRETE CHANNEL WITH 24" SIDEWALK CULVERT.
- 5 CURB AND GUTTER.
- 6 BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 7 TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 8 LANDSCAPE AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9 HEAVY DUTY CONCRETE PAVEMENT SECTION. SEE PAVING SECTIONS AND THE GEOTECHNICAL REPORT FOR RECOMMENDATIONS.
- 10 EXISTING ASPHALT PAVED PARKING LOT TO BE REMOVED AND DISPOSED, RE-GRADED AS REQUIRED, AND REPLACED WITH NEW ASPHALT.
- 11 CURB CUT WITH RIP RAP RUNDOWN.
- 12 STORM DRAIN PIPING FOR ROOF DRAINS.
- 13 PROPOSED RETAINING WALL.
- 14 18" HANDICAP RAMP WITH RAILING.
- 15 SAWCUT EXISTING ASPHALT TO A CLEAN STRAIGHT EDGE FOR NEW PAVING AREA.
- 16 NEW ASPHALT PAVED PARKING LOT.
- 17 EXISTING CURB TO BE REMOVED.
- 18 RIP RAP RUNDOWN.
- 19 EXISTING GRASSY KNOLL TO REMAIN IN PLACE.
- 20 CONCRETE HEADER CURB FOR CONTAINMENT.



A1 CONCEPTUAL GRADING AND DRAINAGE PLAN
SCALE: 1"=20'



CONSULTANT:



ARCHITECT:



Architect:
Clint Wilsey / 66Architect, LLC
clint.wilsey@gmail.com
505 280-0043

DRAWN BY: **CJW**

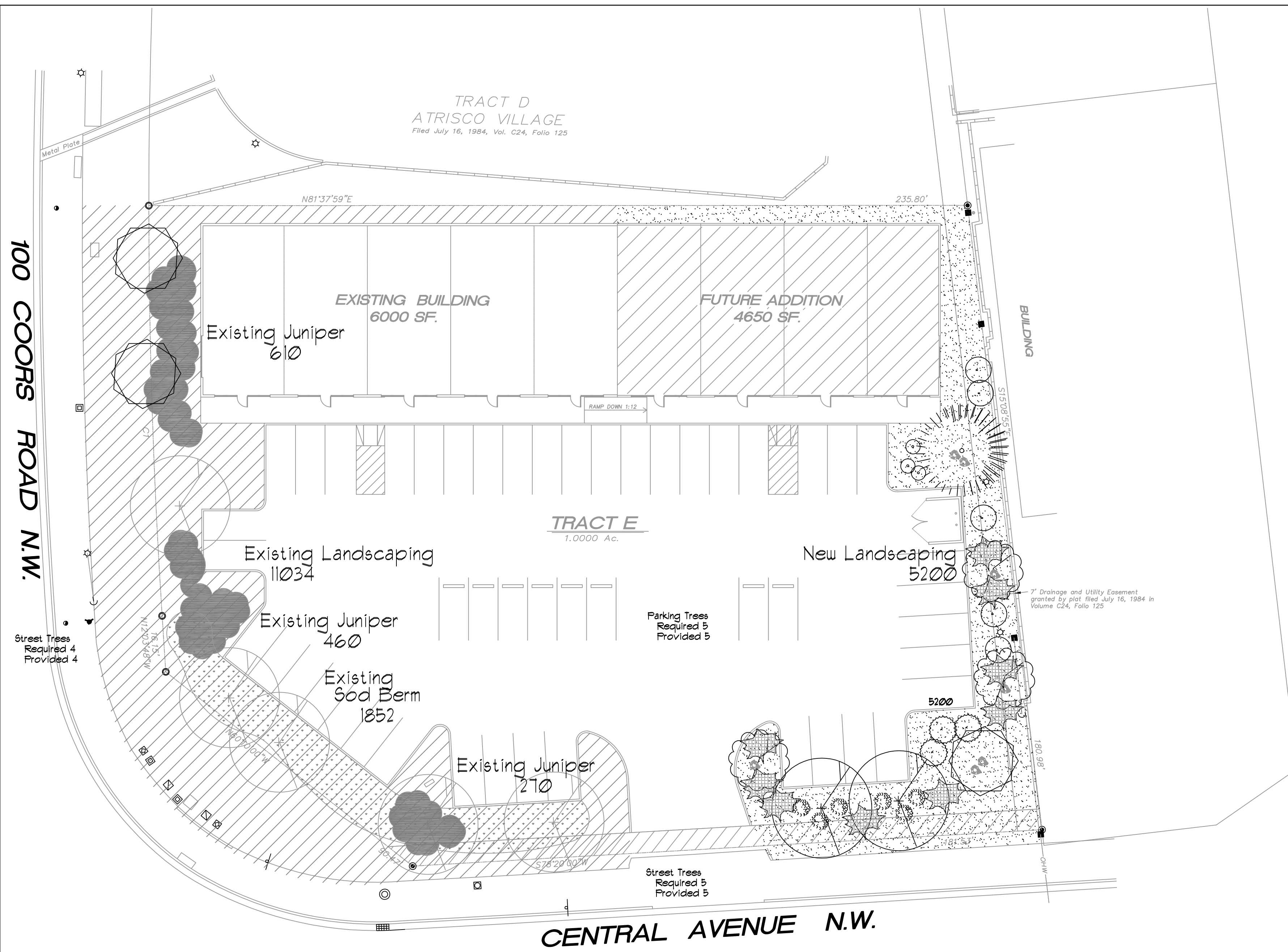
ISSUE: **PERMIT SET**

COORS AND CENTRAL
100 COORS BLVD. NW
Albuquerque, NM

DATE: **9/20/17**

SHEET TITLE:
CONCEPTUAL GRADING AND DRAINAGE PLAN

C-101



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
5		Existing Shade <i>Fraxinus</i> sp.	40x30 900 4500 M+
3	2" cal	Chinese Pistache <i>Fraxinus</i> sp.	40x35 625 1875 M+
1	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25 625 625 M
3	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	15x12 625 1875 M
3	15 Gal.	Desert Willow <i>Chilopsis linearis</i>	20x25 625 1875 M
Shrubs & Groundcovers			
Mass		Existing Juniper	1340 M
Mass		Existing Sod 115% Total L5	1852 M
6	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x5 25 150 M
9	5 Gal	Buffalo Juniper <i>Juniperus sabinia 'Buffalo'</i>	1x12 144 1236 M
3	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 27 M
3	5 Gal	Apache Plume <i>Folugia paradoxa</i>	6x1 49 147 L
5	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x1 49 245 L
1	2-3cf	Boulders To be placed at contractor discretion	5051
		Landscape Gravel / Filter Fabric 3/4" Crushed Grey	5200

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with City of Albuquerque Landscape Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the County of Bernalillo Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

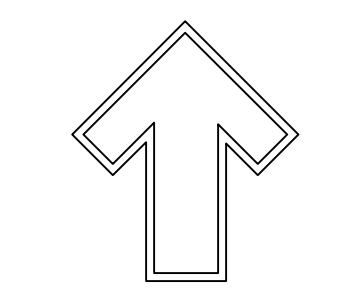
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	43510
TOTAL BUILDING AREA (sf)	-10650
TOTAL LOT AREA (sf)	32860
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	4929
TOTAL EXISTING LANDSCAPING	11034
TOTAL NEW LANDSCAPING	5200
TOTAL LANDSCAPE PROVIDED	16234
TOTAL GROUNDCOVER REQUIRED	4810
TOTAL GROUNDCOVER PROVIDED	5051
TOTAL PLANT MATERIAL REQUIRED	12175
TOTAL PLANT MATERIAL PROVIDED	14845



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Landscape Architect

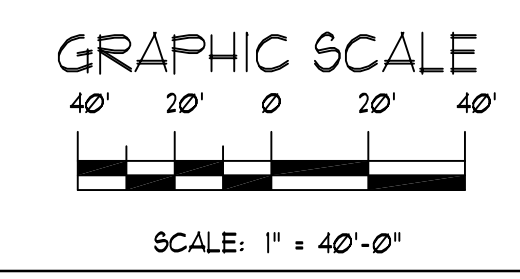
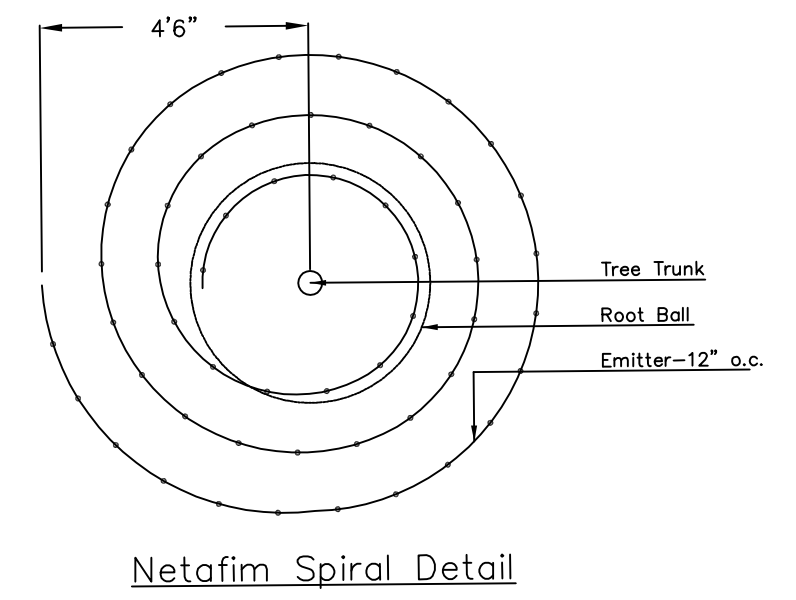
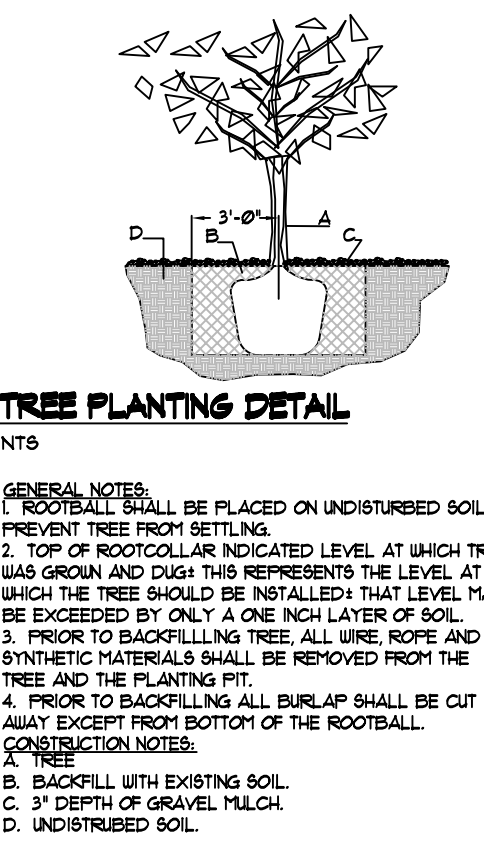
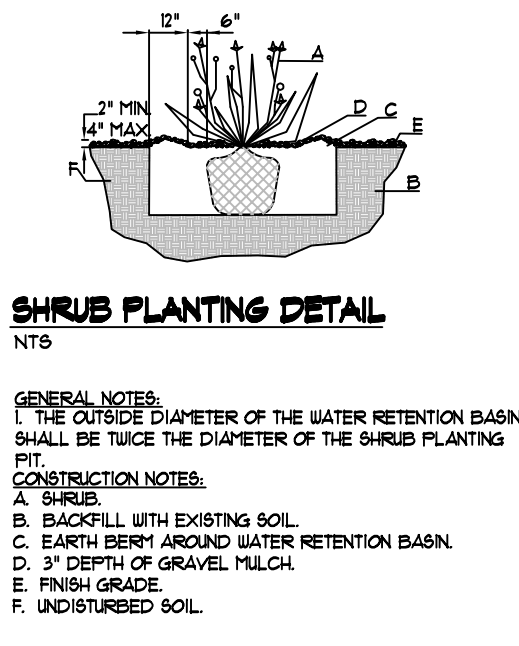
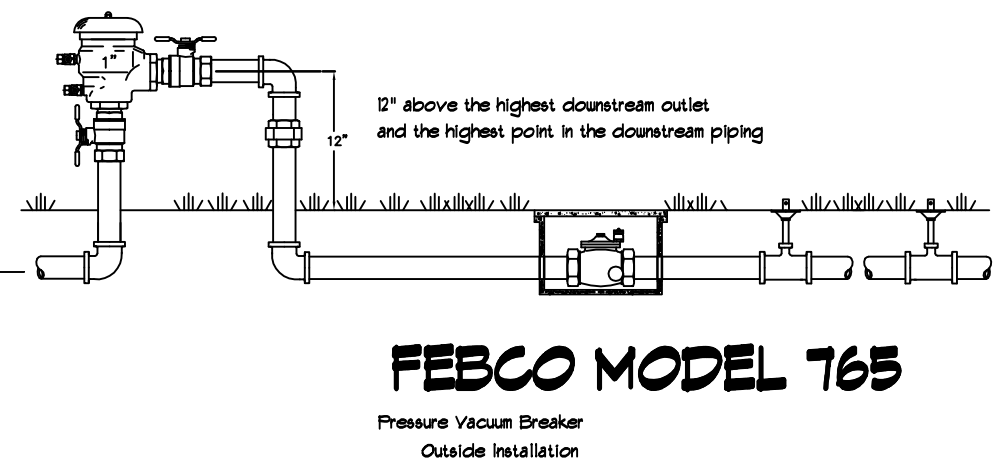
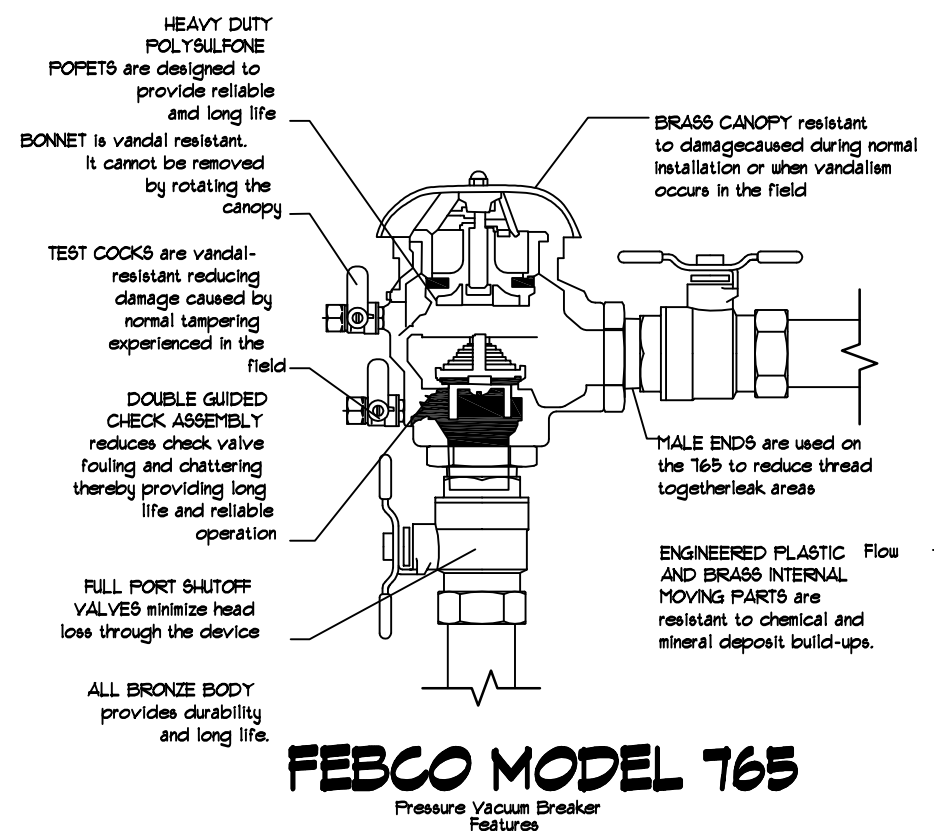


66 Architects

100 Coors
Albuquerque, NM

LANDSCAPE PLAN

L1 LANDSCAPE PLAN - 100 COORS BLVD.
SCALE: 1" = 20'-0"
0 20' 40' 60'



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DRAWN BY ca	REVISION -	DATE 8/15/2017
SHEET #		
LS-101		



Specifications
 EPA: 0.95 ft
 Length: 26"
 Width: 13"
 Height: 7"
 Weight: 16 lbs
 (max)

DSX2 LED 80C 1000 50K T3M
 MVOLT HS DBLXD (BLACK)

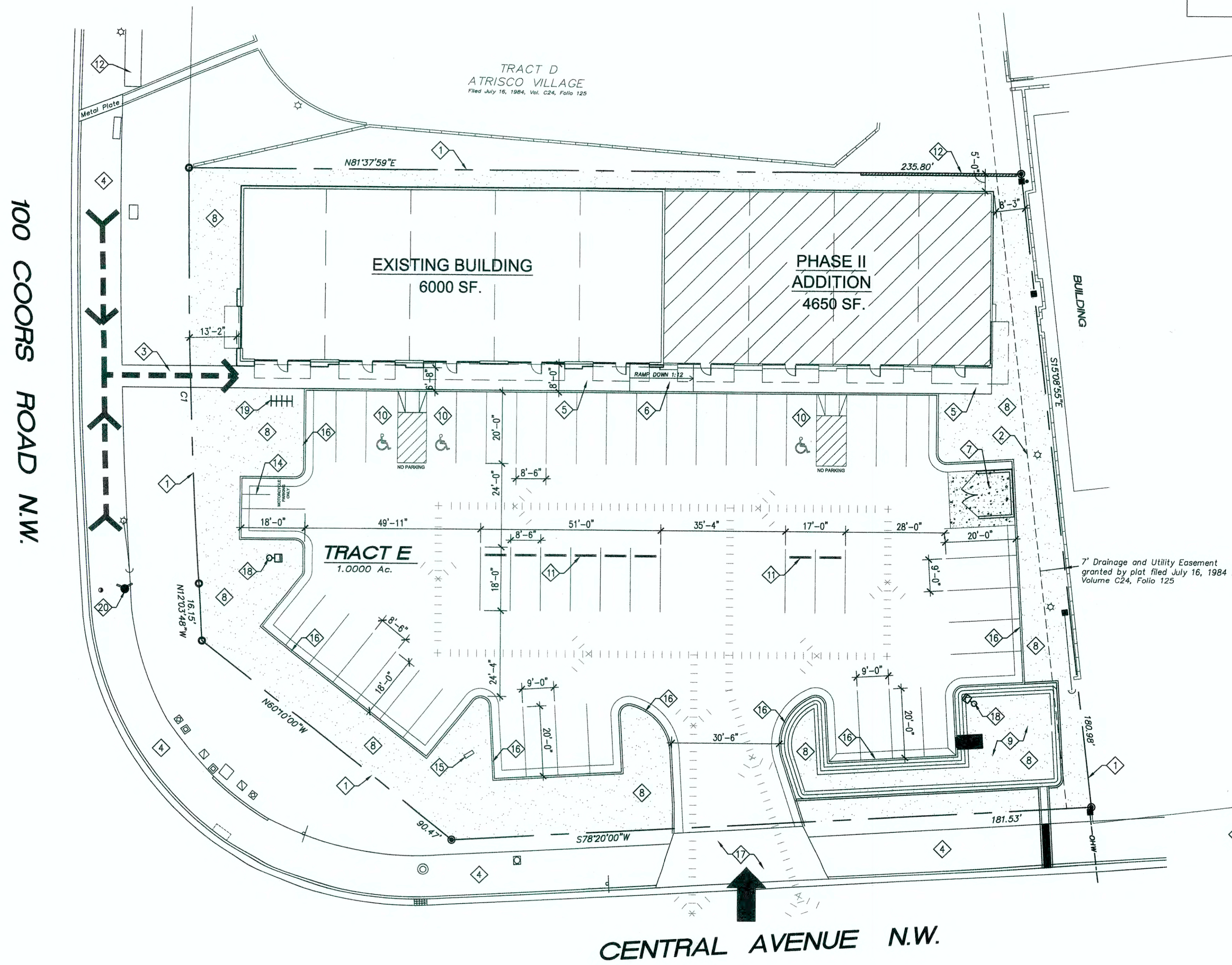
SITE LIGHTING NOTES:

1. THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLES SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTIES
2. THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP SHALL BE 20'.
3. LIGHTING SHALL BE PROVIDED ON BUILDING FACADE SHALL BE MOUNTED AT 12' A.F.G. MAX.

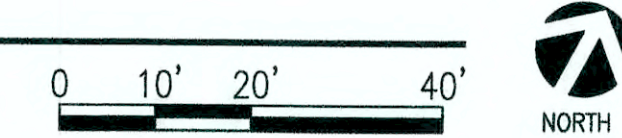
LUMINAIRE SCHEDULE

TYPE	QTY	MANUFACTURER	MODEL NUMBER	LAMPS PER FIXTURE			COLOR	MOUNTING	
				NO.	OSRAM/SYLVANIA TYPE	WATTS			
□-○	5	LITHONIA	DSX2 LED 80C 1000 50K T3M MVOLT HS DBLXD (BLACK)	80 EA TOP OF 8'	80 LEDS (FOUR ENGINES) 275 WATT	275	MVOLT	BLACK	POLE MOUNT MAX HT. 20'

3 SITE LIGHTING DETAILS & SCHEDULE
 SCALE: N.T.S.



A1 SITE DEVELOPMENT PLAN
 1"=20'



PROJECT NUMBER: _____
Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABOWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Public Works Management	Date
DRB Chairperson, Planning Department	Date

Environmental Health, if necessary
 6/24/17

FIRE DEPT. DATA

A. BUILDING CRITERIA
 BUILDING CODE: 2015 IBC
 FIRE CODE: 2015 IFC
 OCCUPANCY: MERCANTILE
 BUILDING/CONSTRUCTION TYPE: II-B
 SPRINKLERED: NO

B. BUILDING AREA
 TOTAL FLOOR AREA: 10,650 SF.

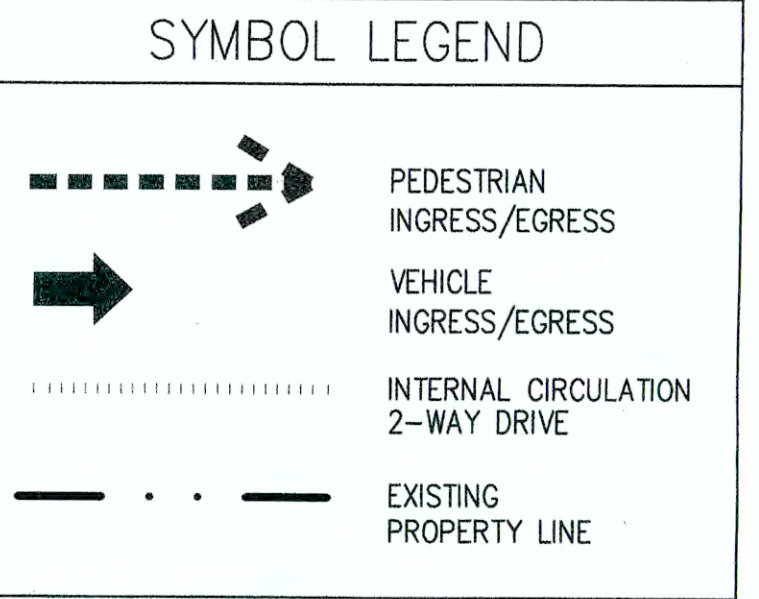
C. OCCUPANT LOADING
 SHELL BUILDING ONLY. FUTURE OCCUPANT LOAD TO BE DETERMINED UNDER FUTURE TENANT IMPROVEMENT PERMITS

D. GENERAL FIRE NOTES
 HYDRANTS PROVIDED = 1 EXISTING

1. APPARATUS ACCESS EXTENDS TO WITHIN 150' OF ALL PARTS OF THE BUILDING
2. FIRE APPARATUS ROAD DIMENSIONS HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET AND AN UNOBSTRUCTED HEIGHT OF NOT LESS THAN 28 FEET.
3. PREMISE ID: BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR THE ROAD FRONTING THE PROPERTY.

- SITE PLAN KEYED NOTES**
1. EXISTING PROPERTY LINE
 2. 7' DRAINAGE AND UTILITY EASEMENT GRANTED BY PLAT FILED JULY 16, 1984 IN VOL. C24, FOLIO 125
 3. NEW PEDESTRIAN CONNECTION / PUBLIC WALKWAY
 4. EXISTING PUBLIC SIDEWALK
 5. NEW ACCESSIBLE SIDEWALK. WIDTH VARIES WITH BUILDING FACADE BETWEEN 6'-8" & 8'-0"
 6. NEW RAMP AT SIDEWALK. MAX SLOPE 1:12
 7. NEW CMU TRASH ENCLOSURE AND CONC. APRON PER CITY OF ABO SPECIFICATIONS. 12'-0"x9'-6" CLEAR INSIDE DIMENSION.
 8. LANDSCAPE AREA
 9. SITE DRAINAGE / RETENTION
 10. ADA VAN ACCESSIBLE PARKING SPACE. 9'x20' W/ 8' ACCESS AISLE. PROVIDE 'HANDICAP PARKING ONLY' SIGN.
 11. CONCRETE WHEEL STOPS AT EACH PARKING SPACE IN FIELD
 12. NEW RETAINING WALL. MAX. HT. 2'-0"
 13. EXISTING BUS STOP & SHELTER
 14. (2) MOTORCYCLE PARKING SPACES. 4'-0"x8'-0". PROVIDE 'MOTORCYCLE PARKING ONLY' SIGN
 15. EXISTING POLE SIGN. APPROX. 14' HIGH.
 16. NEW CURB AND GUTTER
 17. EXISTING DRIVE TO REMAIN
 18. PROPOSED SITE LIGHTING. LED POLE LIGHT. SEE DTL. 3
 19. BIKE RACK FOR 4 BIKES
 20. EXISTING HYDRANT

- SITE PLAN GENERAL NOTES**
1. THE PROJECT WILL BE CONSTRUCTED IN 2 PHASES. ALL SITE WORK SHOWN WILL BE COMPLETED IN PHASE 1, INCLUDING GRADING/DRAINAGE, SIDEWALK IN FRONT OF EXISTING BUILDING, PARKING, LANDSCAPING, UTILITIES AND FUTURE BUILDING PAD PREP. PHASE 2 WILL CONSIST ONLY OF CONSTRUCTING THE 4650 SF. BUILDING ADDITION, ALONG WITH SIDEWALK AND RAMP DIRECTLY ADJACENT TO ADDITION
 2. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB)
 3. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
 4. ALL NEW REFUSE ENCLOSURES MUST BE BUILT TO COA MINIMUM SPEC. REQUIREMENTS INCLUDING A SANITARY DRAIN.
 5. GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6" OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO PNJM ELECTRIC SERVICE GUIDE AT WWW.PNJM.COM FOR SPECIFICATIONS
 6. THE SUBDIVISION OF THE SITE SHALL COMPLY WITH THE SUBDIVISION ORDINANCE AND REGULATIONS OF THE SUBDIVISION ORDINANCE (14-14-1-3)
 7. THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE, THE SUBDIVISION ORDINANCE, AND ALL OTHER APPLICABLE DESIGN REGULATIONS
 8. IT IS NECESSARY FOR THE DEVELOPER TO CONTACT PNJM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE REGARDING THIS PROJECT
 9. IT IS THE APPLICANTS OBLIGATION TO DETERMINE IF EXISTING UTILITY EASEMENTS OR RIGHTS-OF-WAY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THOSE EASEMENTS



SITE DATA

LEGAL DESCRIPTION:
 TRACT 'E'
 ATRISCO VILLAGE SUBDIVISION

ZONING:
 C-2

SECTOR PLAN:
 WEST ROUTE 66

SITE AREA
 TOTAL (EXISTING) LOT SQ. FT. = 43,560 SF.
 TOTAL (EXISTING) LOT ACRES = 1.0 ACRES

BUILDING HEIGHT
 MAX. 26'-0"

LOT SIZE
 NO REQUIREMENT

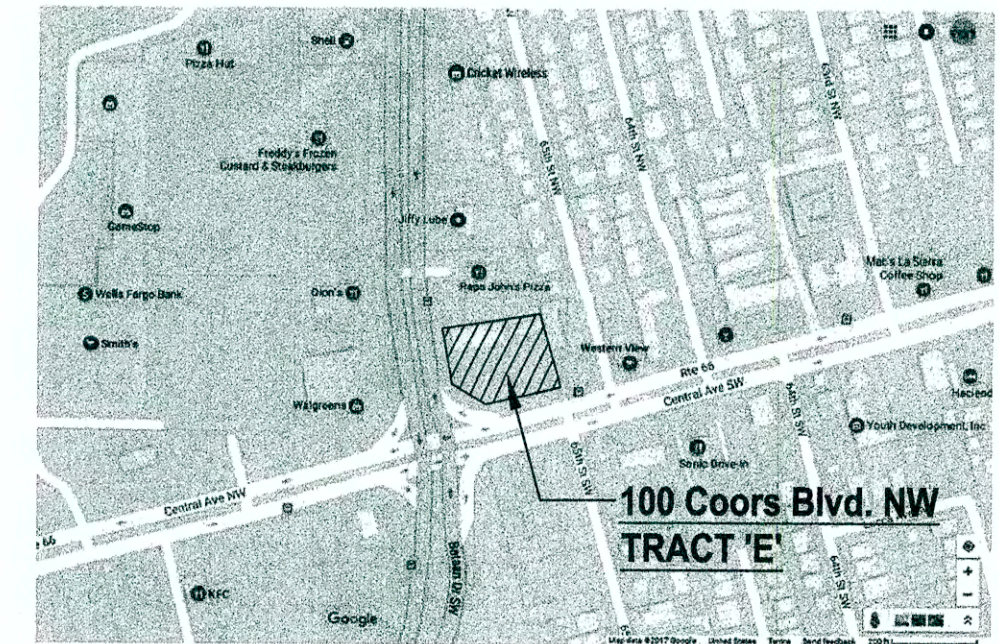
SETBACKS
 FRONT - MIN. 5'
 SIDE - MIN. 5'
 REAR - NO REQUIREMENT

PARKING DATA

REQUIRED:
 1 SPACE PER 200 SF.
 10,650 SF. (INCLUDES FUTURE PHASE) = 53 SPACES
 10% REDUCTION FOR PROXIMITY TO BUS STOP = 48 SPACES REQUIRED. 48 SPACES PROVIDED

DISABLED PARKING SPACES REQ'D: 3 SPACES
 DISABLED PARKING SPACES PROVIDED: 4 SPACES

MOTORCYCLE PARKING SPACES REQ'D: 2 SPACES
 MOTORCYCLE PARKING SPACES PROVIDED: 2 SPACES



VICINITY MAP: TRACT 'E', ATRISCO VILLAGE ZONE ATLAS PAGE K10

ARCHITECT:

Architect:
Clint Wilsey RA / 66Architect, LLC
 clint.wilsey@gmail.com
 505 280-0043

DRAWN BY: CJW

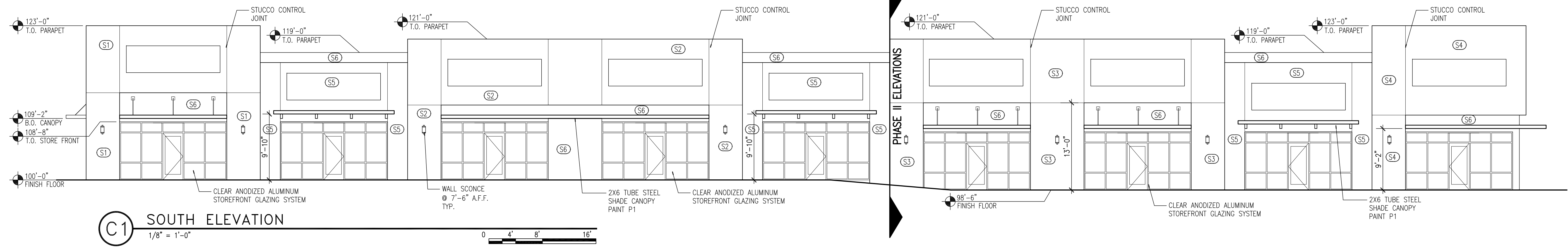
ISSUE: DRB SUBMITTAL

MULTI-TENANT SHOPS BLDG. SHELL REMODEL & CELLULAR STORE T.I.
 100 Coors Blvd.
 Albuquerque, NM

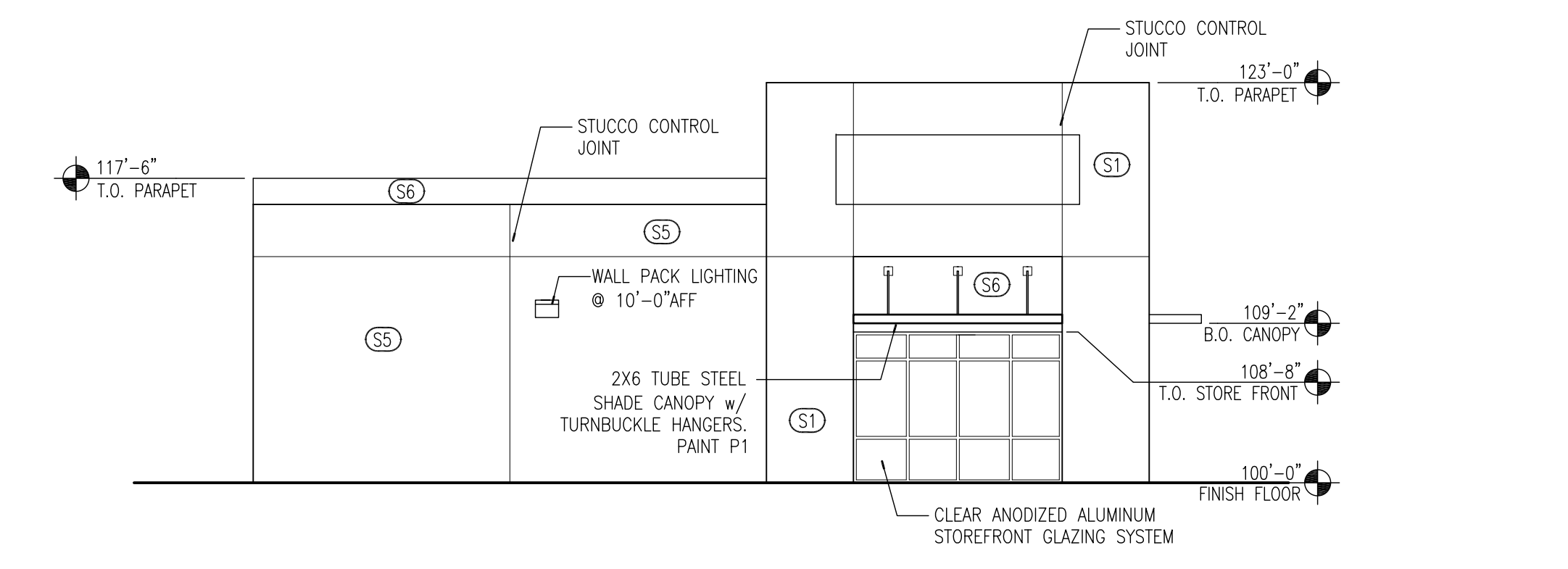
DATE: 10/19/17

SHEET TITLE:
DRB SITE DEVELOPMENT PLAN

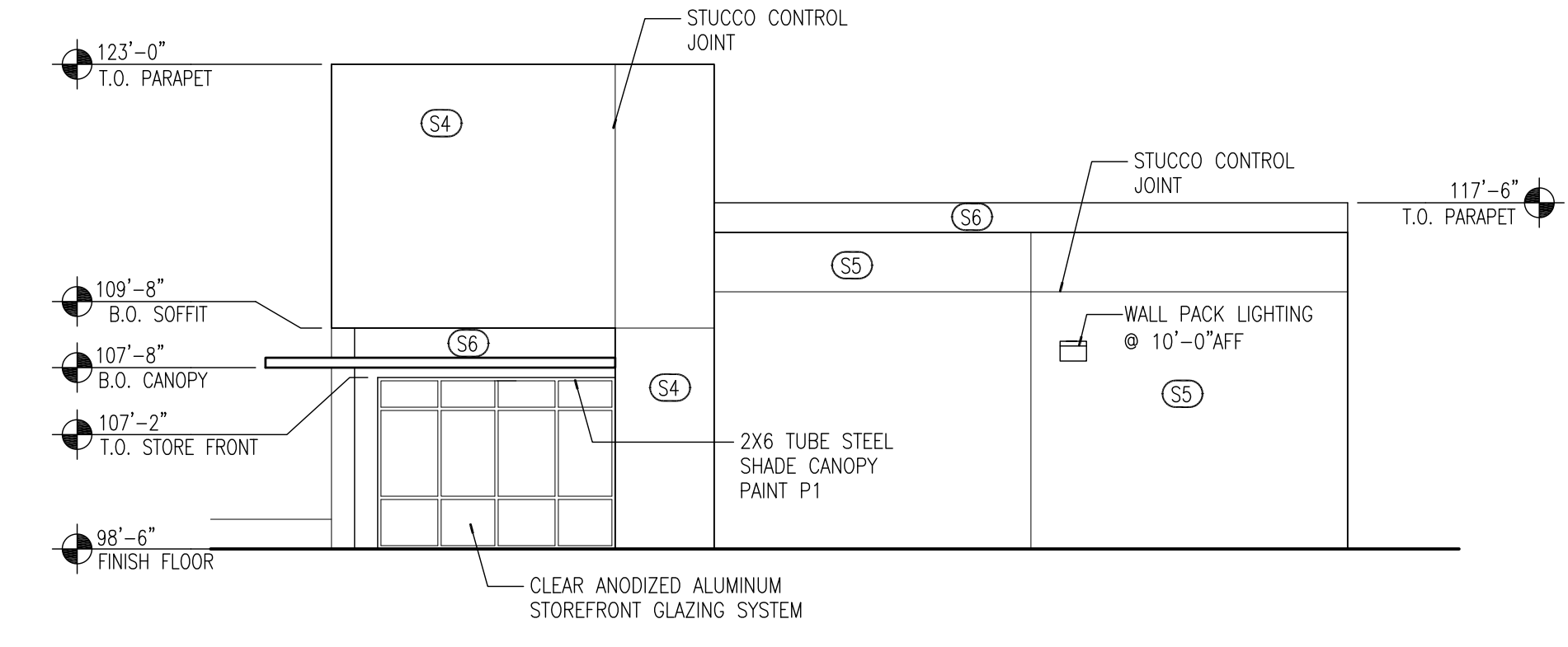
A-1



C1 SOUTH ELEVATION
1/8" = 1'-0"



B1 WEST ELEVATION
1/8" = 1'-0"

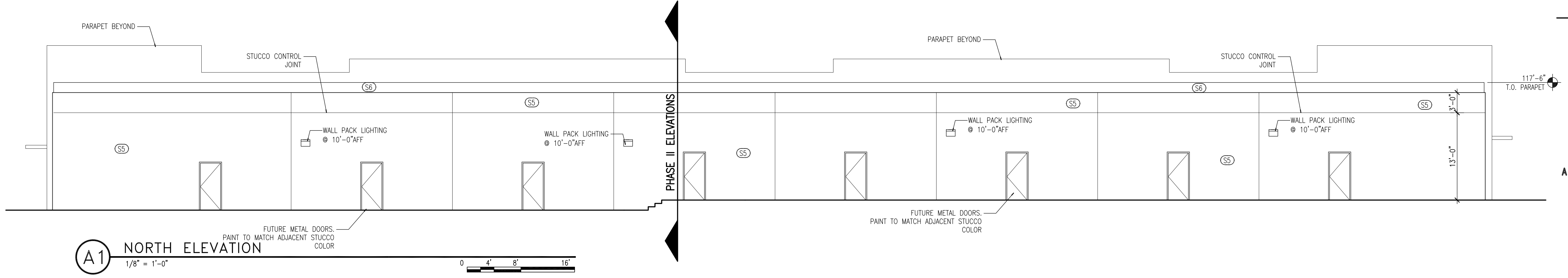


B3 EAST ELEVATION - PHASE II
1/8" = 1'-0"

FINISH COLOR LEGEND

NOTE* ALL STUCCO TO BE 2 COAT SYSTEM W/ LIGHT SAND FINISH

	STO COLOR 31310 (GOLD) (S1)
	STO COLOR 35340 (BLUE) (S2)
	STO COLOR 36210 (SAGE GREEN) (S3)
	STO COLOR 36210 (YELLOW) (S4)
	STO COLOR 35435 (LIGHT GREY) (S5)
	STO COLOR 35431 (DARK GREY) (S6)
	EXTERIOR PAINT (METAL WORK) SHERWIN WILLIAMS SW 6269 'BEGUILING MAUVE' (P1)



A1 NORTH ELEVATION
1/8" = 1'-0"

ARCHITECT:

Architect:
Clint Wilsey RA / 66Architect, LLC
clint.wilsey@gmail.com
505 280-0043

DRAWN BY: CJW

ISSUE: DRB SUBMITTAL

**MULTI-TENANT SHOPS
BLDG. SHELL REMODEL
& CELLULAR STORE T.I.**

100 Coors Blvd.
Albuquerque, NM

DATE: 10/19/17

SHEET TITLE:
ELEVATIONS

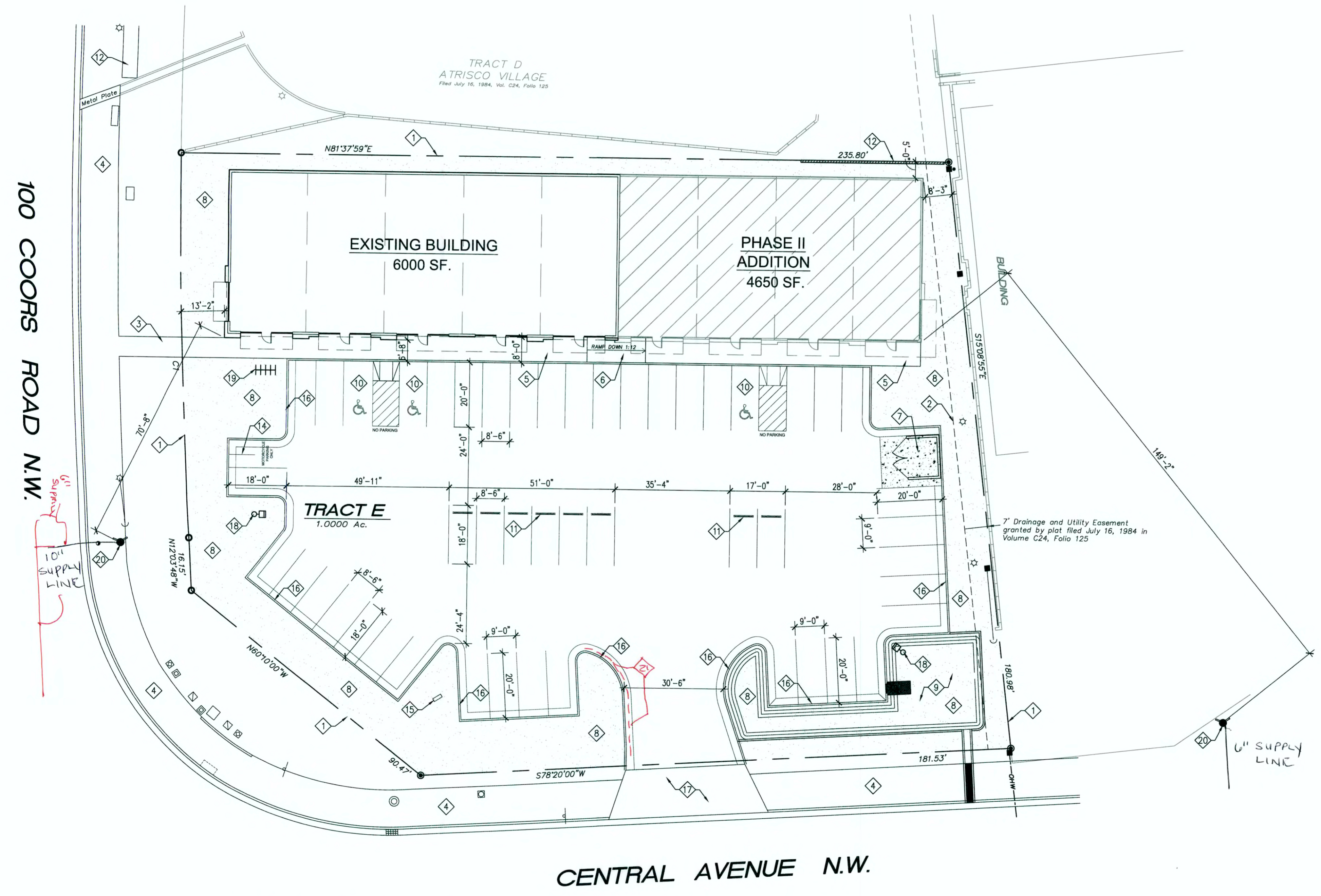
A-2

FIRE DEPT. DATA	
A. BUILDING CRITERIA	
BUILDING CODE:	2015 IBC
FIRE CODE:	2015 IFC
OCCUPANCY:	MERCANTILE
BUILDING/CONSTRUCTION TYPE:	II-B
SPRINKLERED:	NO
B. BUILDING AREA	
TOTAL FLOOR AREA:	10,650 SF.
C. OCCUPANT LOADING	
SHELL BUILDING ONLY. FUTURE OCCUPANT LOAD TO BE DETERMINED UNDER FUTURE TENANT IMPROVEMENT PERMITS	
D. GENERAL FIRE NOTES	
HYDRANTS PROVIDED = 2 EXISTING	
1. APPARATUS ACCESS EXTENDS TO WITHIN 150' OF ALL PARTS OF THE BUILDING	
2. FIRE APPARATUS ROAD DIMENSIONS HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET AND AN UNOBSTRUCTED HEIGHT OF NOT LESS THAN 26 FEET.	
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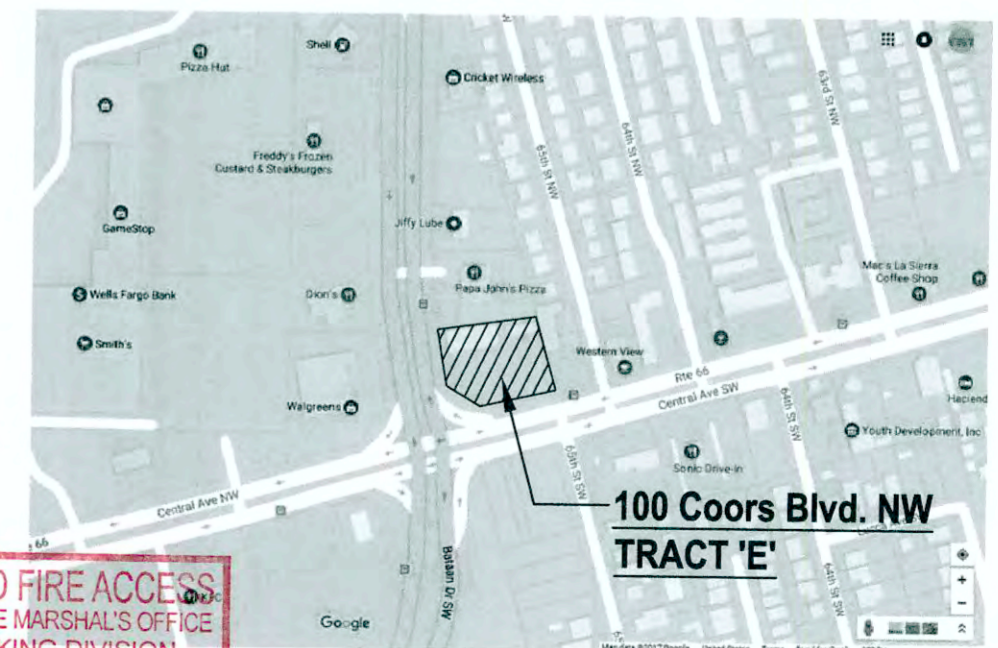
- SITE PLAN KEYED NOTES**
- 1 EXISTING PROPERTY LINE
 - 2 7' DRAINAGE AND UTILITY EASEMENT GRANTED BY PLAT FILED JULY 16, 1984 IN VOL. C24, FOLIO 125
 - 3 NEW PEDESTRIAN CONNECTION / PUBLIC WALKWAY
 - 4 EXISTING PUBLIC SIDEWALK
 - 5 NEW ACCESSIBLE SIDEWALK. WIDTH VARIES WITH BUILDING FACADE BETWEEN 6'-8" & 8'-0"
 - 6 NEW RAMP AT SIDEWALK. MAX SLOPE 1:12
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 - 8 LANDSCAPE AREA
 - 9 SITE DRAINAGE / RETENTION
 - 10 ADA VAN ACCESSIBLE PARKING SPACE. 9'X20' W/ 8' ACCESS AISLE. PROVIDE 'HANDICAP PARKING ONLY' SIGN.
 - 11 CONCRETE WHEEL STOPS AT EACH PARKING SPACE IN FIELD
 - 12 NEW RETAINING WALL. MAX. HT. 2'-0"
 - 13 EXISTING BUS STOP & SHELTER
 - 14 (2) MOTORCYCLE PARKING SPACES. 4'-0"X8'-0". PROVIDE 'MOTORCYCLE PARKING ONLY' SIGN
 - 15 EXISTING POLE SIGN. APPROX. 14' HIGH.
 - 16 NEW CURB AND GUTTER
 - 17 EXISTING DRIVE TO REMAIN
 - 18 PROPOSED SITE LIGHTING. LED POLE LIGHT. SEE DTL. 3
 - 19 BIKE RACK FOR 4 BIKES
 - 20 EXISTING HYDRANT

SITE DATA	
LEGAL DESCRIPTION:	
TRACT 'E' ATRISCO VILLAGE SUBDIVISION	
ZONING:	
C-2	
SECTOR PLAN:	
WEST ROUTE 66	
SITE AREA	
TOTAL (EXISTING) LOT SQ. FT. = 43,560 SF.	
TOTAL (EXISTING) LOT ACRES = 1.0 ACRES	
BUILDING HEIGHT	
MAX. 26'-0"	
LOT SIZE	
NO REQUIREMENT	
SETBACKS	
FRONT - MIN. 5'	
SIDE - MIN. 5'	
REAR - NO REQUIREMENT	

20 FIRE LANE, PAINT CURBS
RED - MARK "NO PARKING"



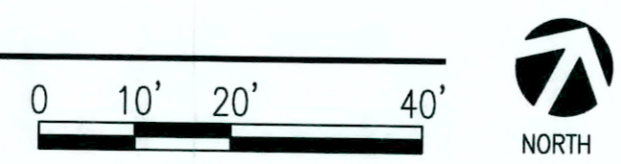
(A1) AREA MAP - HYDRANT LOCATIONS
N.T.S.
TRUE NORTH



6387-17
HYDRANT AND FIRE ACCESS
ALBUQUERQUE FIRE MARSHAL'S OFFICE
PLANS CHECKING DIVISION
SOFT 10/19/17 CONSTRUCTION TYPE II B
GPU 10/19/17 NUMBER OF HYDRANTS 2
APPROVED/DISAPPROVED
10/19/17
SIGNATURE / MAN NUMBER / DATE

MAP: TRACT 'E', ATRISCO VILLAGE
ZONE ATLAS PAGE K10

(A1) SITE DEVELOPMENT PLAN
1"=20'



ARCHITECT:	
Architect: Clint Wilsey RA / 66Architect, LLC clint.wilsey@gmail.com 505 280-0043	
DRAWN BY: CJW	
ISSUE: DRB SUBMITTAL	
MULTI-TENANT SHOPS BLDG. SHELL REMODEL & CELLULAR STORE T.I.	
100 Coors Blvd. Albuquerque, NM	
DATE:	10/19/17
SHEET TITLE: SITE PLAN	
FIRE 1	

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Clint Wilsey / 66Architect, LLC DATE OF REQUEST: 10/13/17 ZONE ATLAS PAGE(S): K10 & K11

CURRENT:

ZONING C-2
PARCEL SIZE (AC/SQ. FT.) 1.0 ACRES

LEGAL DESCRIPTION:

LOT OR TRACT # Tract E BLOCK # _____
SUBDIVISION NAME Atrisco Village

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [X] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT [X]

GENERAL DESCRIPTION OF ACTION:

OF UNITS: _____
BUILDING SIZE: 6000sf existing (sq. ft.)
4650sf. future expansion

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE 

DATE 10/13-17

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []

Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**


TRAFFIC ENGINEER

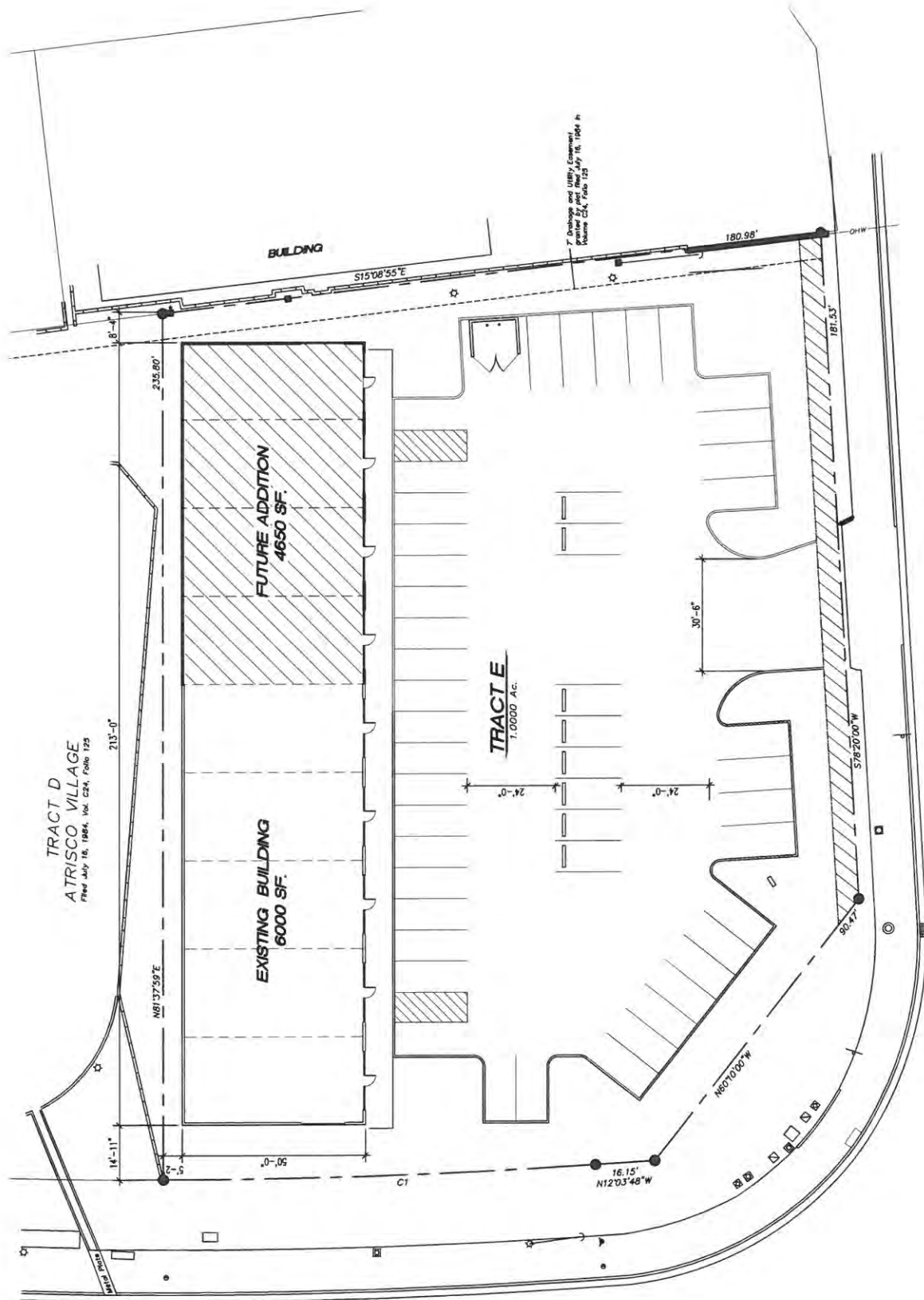
10-17-17
DATE

Required **TIS must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER

DATE



CENTRAL AVENUE N.W.



FLOOR PLAN - 100 COORS BLVD.
 SCALE: 1" = 40'-0"

A1



**Los Pinones Limited Partnership
Los Pinones II Limited Partnership
2101 Loma Linda Drive
Los Alamos, NM 87544**

To Whom it May Concern:

On behalf of Los Pinones Limited Partnership and Los Pinones II Limited Partnership, I hereby authorize Clint Wilsey of 66Architect, LLC to act as owners' agent in the City of Albuquerque Design Review Board (DRB) submittal and hearing for site development approval of 100 Coors Blvd. NW.

10/20/17
Date

Gerald G. Ohlsen
Gerald G. Ohlsen, General Partner
Los Pinones Limited Partnership and
Los Pinones II Limited Partnership

66Architect

November 8, 2017

2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043
clint.wilsey@gmail.com

To: City of Albuquerque Development Review Board

To whom it may concern,

66Architect LLC, representing **Los Pinos Limited Partnership** is pleased to present the following application for the approval of Site Development Plan for Building Permit. The intent is to permit the development of a 1.0 acre site at 100 Coors Blvd. NW, including the remodel of an existing 6000sf. building into a multi-tenant shops building and future phase construction of 4650sf. multi-tenant shops building. Shops building may include retail, office and/or restaurant use. Site improvements include new grading and drainage, landscape, parking and sidewalks. Existing drive from Central Ave. will be utilized. Existing on-site utilities will be reused, expanded or improved. Our goal and intent is to provide a safe, visually pleasing, functional, and convenient development, while adding needed amenities and uses to the surrounding neighborhoods. The development shall meet or exceed the design standards of the West Route 66 Sector Development Plan, the Albuquerque Comprehensive Zoning Code and Albuquerque Development Process Manual.

Thank you for your consideration.

Clint Wilsey
66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043

PRE-APPLICATION REVIEW TEAM (PRT) MEETING

PA# 17-140 Date: 9/26/2017 Time: 1:00 PM

Address: 100 COOPS NW

1. AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: Kym Dicome Other: CHERYL SOMERFELT
Code Enforcement: Ben McIntosh Other: _____
Fire Marshall: Antonio Chinchilla Eric Gonzales
Transportation: Mawra Al-Najji

2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

- | | | |
|--|---------------------------------------|---|
| <input type="checkbox"/> Zone Map Amendment | <input type="checkbox"/> EPC Approval | <input type="checkbox"/> City Council Approval |
| <input type="checkbox"/> Sector Dev. Plan Amendment | <input type="checkbox"/> EPC Approval | <input type="checkbox"/> City Council Approval |
| <input type="checkbox"/> Site Dev. Plan for Subdivision | <input type="checkbox"/> EPC Approval | <input type="checkbox"/> DRB Approval <input type="checkbox"/> Admin Approval |
| <input type="checkbox"/> Site Dev. Plan for Bldg. Permit | <input type="checkbox"/> EPC Approval | <input type="checkbox"/> DRB Approval <input type="checkbox"/> Admin Approval |
| <input type="checkbox"/> Other _____ | | |

3. SUMMARY OF PRT DISCUSSION:

Current Zoning: O-2
Proposed Use/Zone: NO CHANGE.
Applicable Plans: ~~GOORS CORRIDOR PLAN~~ / W. FT 66 SDP
Applicable Design Regulations: _____
Previously approved site plans/project #s: _____
Requirements for application: (R-270-1980, Notification, as-built drawings, TIS, Check Lists, Other) _____

Handouts Given:

- Zone Map Amendment Process R-270-1980 AA Process EPC Schedule

Additional Notes:

STRAIGHT ZONING. MUST COMPLY W/ ZONING CODE + CCP.

DESIGN STDS IN W. FT 66 PLAN (PG. 82) REQUIRES A

SITE PLAN THRU DRB (PUBLIC HEARING)

MTG.

PROPOSING 10,500 SF COMMERCIAL / 200 = 52 SPACES X
10% REDUCTION = 47 SPACES REQ'D.

*****Please Note: PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY: THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL. Statements regarding Zoning are not Certificates of Zoning. Additional research may be necessary to determine the exact type of application and/or process needed. It is possible that factors unknown at this time and/or thought of as minor could become significant as the case progresses.**

FM. NOT SPRINKLED.

FH LOCATION? FROM AERIAL - ALONG CENTRAL AVE.

ABUTTING PROPERTY. HOW MANY NEEDED? PER FM §.2.

225' TO CLOSEST HYDRANT. REQ'MENT.

STREET TREES ALONG COORS / CENTRAL (ART PUTTING IN...)

ART. LAWRENCE KLINE OF TRANSIT FOR PLANS ALONG CENTRAL (CURB CUT).

TREES 1 PER 10 SPACES NO MORE THAN 100' FROM

66Architect

November 9, 2017

2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043
clint.wilsey@gmail.com

West Mesa NA
Attn. Steven Budenski
5732 La Anita Ave. NW
Albuquerque, NM 87105

Dear Mr. Budenski,

Please be advised that **66Architect, LLC**, representing **Los Pinos Limited Partnership** is applying for Site Development Plan for Building Permit approval and is scheduled to present our case at the DRB Hearing on December 6, 2017 at the Plaza Del Sol Building at 600 2nd St. NW, hearing room. We encourage your input, questions and concerns and look forward to working with the West Mesa NA to provide a development that is not only satisfactory, but welcomed by your community and all parties involved.

The intent is to allow the development of a 1.0 acre site at 100 Coors Blvd. NW, including the remodel of an existing 6000sf. building into a multi-tenant shops building and future phase construction of 4650sf. multi-tenant shops building. Shops building may include retail, office and/or restaurant use. Site improvements include new grading and drainage, landscape, parking and sidewalks. Existing drive from Central Ave. will be utilized. Our goal and intent is to provide a safe, visually pleasing, functional, and convenient development, while adding needed amenities and uses to the surrounding neighborhoods. The development shall meet or exceed the design standards of the West Route 66 Sector Development Plan, the Albuquerque Comprehensive Zoning Code and Albuquerque Development Process Manual.

We appreciate your consideration and support and we look forward to answering any questions you may have.

Clint Wilsey
66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043

66Architect

November 9, 2017

2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043
clint.wilsey@gmail.com

West Mesa NA
Attn. Frank Gonzales
9024 Santa Catalina Ave. NW
Albuquerque, NM 87121

Dear Mr. Gonzales,

Please be advised that **66Architect, LLC**, representing **Los Pinos Limited Partnership** is applying for Site Development Plan for Building Permit approval and is scheduled to present our case at the DRB Hearing on December 6, 2017 at the Plaza Del Sol Building at 600 2nd St. NW, hearing room. We encourage your input, questions and concerns and look forward to working with the West Mesa NA to provide a development that is not only satisfactory, but welcomed by your community and all parties involved.

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We appreciate your consideration and support and we look forward to answering any questions you may have.

Clint Wilsey
66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043

66Architect

November 9, 2017

2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043
clint.wilsey@gmail.com

Los Volcanes NA
Attn. Doug Cooper
6800 Silkwood Ave. NW
Albuquerque, NM 87121

Dear Mr. Cooper,

Please be advised that **66Architect, LLC**, representing **Los Pinos Limited Partnership** is applying for Site Development Plan for Building Permit approval and is scheduled to present our case at the DRB Hearing on December 6, 2017 at the Plaza Del Sol Building at 600 2nd St. NW, hearing room. We encourage your input, questions and concerns and look forward to working with the Los Volcanes NA to provide a development that is not only satisfactory, but welcomed by your community and all parties involved.

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We appreciate your consideration and support and we look forward to answering any questions you may have.

Clint Wilsey
66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043

66Architect

November 9, 2017

2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043
clint.wilsey@gmail.com

Los Volcanes NA
Attn. Ted Trujillo
6601 Honeylocust Ave. NW
Albuquerque, NM 87121

Dear Mr. Trujillo,

Please be advised that **66Architect, LLC**, representing **Los Pinos Limited Partnership** is applying for Site Development Plan for Building Permit approval and is scheduled to present our case at the DRB Hearing on December 6, 2017 at the Plaza Del Sol Building at 600 2nd St. NW, hearing room. We encourage your input, questions and concerns and look forward to working with the Los Volcanes NA to provide a development that is not only satisfactory, but welcomed by your community and all parties involved.

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We appreciate your consideration and support and we look forward to answering any questions you may have.

Clint Wilsey
66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043

66Architect

November 9, 2017

2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043
clint.wilsey@gmail.com

Alamosa NA
Attn. Jerry Gallegos
6013 Sunset Gardens SW
Albuquerque, NM 87121

Dear Mr. Gallegos,

Please be advised that **66Architect, LLC**, representing **Los Pinos Limited Partnership** is applying for Site Development Plan for Building Permit approval and is scheduled to present our case at the DRB Hearing on December 6, 2017 at the Plaza Del Sol Building at 600 2nd St. NW, hearing room. We encourage your input, questions and concerns and look forward to working with the Alamosa NA to provide a development that is not only satisfactory, but welcomed by your community and all parties involved.

The intent is to allow the development of a 1.0 acre site at 100 Coors Blvd. NW, including the remodel of an existing 6000sf. building into a multi-tenant shops building and future phase construction of 4650sf. multi-tenant shops building. Shops building may include retail, office and/or restaurant use. Site improvements include new grading and drainage, landscape, parking and sidewalks. Existing drive from Central Ave. will be utilized. Our goal and intent is to provide a safe, visually pleasing, functional, and convenient development, while adding needed amenities and uses to the surrounding neighborhoods. The development shall meet or exceed the design standards of the West Route 66 Sector Development Plan, the Albuquerque Comprehensive Zoning Code and Albuquerque Development Process Manual.

We appreciate your consideration and support and we look forward to answering any questions you may have.

Clint Wilsey
66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043

66Architect

November 9, 2017

2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043
clint.wilsey@gmail.com

Alamosa NA
Attn. Jeanette Baca
901 Field SW
Albuquerque, NM 87121

Dear Ms. Baca,

Please be advised that **66Architect, LLC**, representing **Los Pinos Limited Partnership** is applying for Site Development Plan for Building Permit approval and is scheduled to present our case at the DRB Hearing on December 6, 2017 at the Plaza Del Sol Building at 600 2nd St. NW, hearing room. We encourage your input, questions and concerns and look forward to working with the Alamosa NA to provide a development that is not only satisfactory, but welcomed by your community and all parties involved.

The intent is to allow the development of a 1.0 acre site at 100 Coors Blvd. NW, including the remodel of an existing 6000sf. building into a multi-tenant shops building and future phase construction of 4650sf. multi-tenant shops building. Shops building may include retail, office and/or restaurant use. Site improvements include new grading and drainage, landscape, parking and sidewalks. Existing drive from Central Ave. will be utilized. Our goal and intent is to provide a safe, visually pleasing, functional, and convenient development, while adding needed amenities and uses to the surrounding neighborhoods. The development shall meet or exceed the design standards of the West Route 66 Sector Development Plan, the Albuquerque Comprehensive Zoning Code and Albuquerque Development Process Manual.

We appreciate your consideration and support and we look forward to answering any questions you may have.

Clint Wilsey
66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043

66Architect

November 9, 2017

2041 S. Plaza St. NW
Albuquerque, NM 87104
Ph. 505.280.0043
clint.wilsey@gmail.com

To whom it may concern,

***Please be advised that the hearing date for the following project has changed from November 29th to December 6, 2017. Please disregard the prior neighborhood notice sent and dated Nov. 3, 2017. If you have any questions or concerns, please feel free to call me at 505-280-0043**

**Thank you.
Clint Wilsey, RA**

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
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Postage	\$0.49	
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	11/09/2017

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 City, State, ZIP+4®

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	11/09/2017

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 City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	11/09/2017

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 City, State, ZIP+4®

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ALBUQUERQUE, NM 87121

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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.49	
Total Postage and Fees	\$3.84	11/09/2017

Sent To COOPER
 Street and Apt. No., or PO Box No.
 City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions


Notification Inquiry_Central Ave & Coors Blvd_DRB

1 message

Quevedo, Vicente M. <vquevedo@cabq.gov>
 To: "clint@66architect.com" <clint@66architect.com>

Wed, Oct 25, 2017 at 9:56 AM

Clint,

Good morning. See list of affected neighborhood associations below and attached related to your upcoming DRB submittal. Please also review the attached instruction sheet. Thank you.

Association Name	First Name	Last Name	Address Line 1	City	State	Zip	Mobile Phone	Phone	Email
West Mesa NA	Steven	Budenski	5732 La Anita Avenue NW	Albuquerque	NM	87105	5054891218	5058317124	stevenbudenski@gmail.com
West Mesa NA	Frank	Gonzales	9024 Santa Catalina Avenue NW	Albuquerque	NM	87121	5054265800	5056100570	frankgonzales334@gmail.com
Los Volcanes NA	Doug	Cooper	6800 Silkwood Avenue NW	Albuquerque	NM	87121	5054171560		douglascooper@hotmail.com
Los Volcanes NA	Ted	Trujillo	6601 Honeylocust Avenue NW	Albuquerque	NM	87121	5058508375	5058360336	nedcarla@live.com
Alamosa NA	Jerry	Gallegos	6013 Sunset Gardens SW	Albuquerque	NM	87121	5052610878	5053855809	jgallegos@wccdg.org
Alamosa NA	Jeanette	Baca	901 Field SW	Albuquerque	NM	87121		5058363281	jetbac@aol.com

Respectfully,

Vicente M. Quevedo, MCRP

Neighborhood Liaison, Office of Neighborhood Coordination

City of Albuquerque – City Council

(505) 768-3332

cabq.gov/neighborhoods

Follow us;



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Monday, October 23, 2017 9:16 AM
To: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Notification Inquiry Sheet Submission

Notification Inquiry For:

Development Review Board Submittal

11/3/2017

66architect Mail - Notification Inquiry_Central Ave & Coors Blvd_DRB

If you selected "Other" in the question above, please describe what you are seeking a Notification Inquiry for below:

Contact Name

Clint Wilsey

Company Name

66Architect

Address

2041 S. Plaza St. NW

City

Albuquerque

State

NM

ZIP

87104

Telephone Number

505-280-0043

Email Address

clint@66architect.com

Anticipated Date of Public Hearing (if applicable):

Describe the legal description of the subject site for this project:

tract E, Atrisco Village

Located on/between (physical address, street name or other identifying mark):

northeast corner of Central Ave & Coors Blvd.

This site is located on the following zone atlas page:

k10 & k11

3 attachments



Page_K-10-Z.JPG
3162K

 **Notification Inquiry_Central Ave & Coors Blvd_DRB.xlsx**
15K

 **INSTRUCTION SHEET FOR APPLICANTS.pdf**
127K

Association Name	First Name	Last Name	Address Line 1	City	State	Zip	Mobile Phone	Phone
West Mesa NA	Steven	Budenski	5732 La Anita Avenue NW	Albuquerque	NM	87105	5054891218	5058317124
West Mesa NA	Frank	Gonzales	9024 Santa Catalina Avenue NW	Albuquerque	NM	87121	5054265800	5056100570
Los Volcanes NA	Doug	Cooper	6800 Silkwood Avenue NW	Albuquerque	NM	87121	5054171560	
Los Volcanes NA	Ted	Trujillo	6601 Honeylocust Avenue NW	Albuquerque	NM	87121	5058508375	5058360336
Alamosa NA	Jerry	Gallegos	6013 Sunset Gardens SW	Albuquerque	NM	87121	5052610878	5053855809
Alamosa NA	Jeanette	Baca	901 Field SW	Albuquerque	NM	87121		5058363281

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